



## HISTORIC PRESERVATION COMMISSION

Marc Elrich  
*County Executive*

Robert Sutton  
*Chairman*

Date: March 15, 2021

### MEMORANDUM

TO: Mitra Pedoeem  
Department of Permitting Services

FROM: Dan Bruechert  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit # 937310 - Porch construction, hardscape alteration and window replacement

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** at the February 24, 2021 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Ann and Eric Lichter  
Address: 10405 Fawcett St., Kensington

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3400 or [dan.bruechert@montgomeryplanning.org](mailto:dan.bruechert@montgomeryplanning.org) to schedule a follow-up site visit.



SUBMISSION & DATE

Issued for Pricing  
July 29, 2020

Issued for HAWP Review  
December 17, 2020

ARCHITECT  
Robert Nehrebecky, AIA  
10124 Parkwood Terrace  
Bethesda, MD 20814  
240.396.2051  
301.204.5636 mobile  
rbnehrebecky@verizon.net

APPROVED  
Montgomery County  
Historic Preservation Commission

*Robert H. Votaw*

REVIEWED  
By Dan.Bruechert at 11:37 am, Mar 15, 2021

EXTERIOR  
ELEVATIONS  
&  
DETAILS

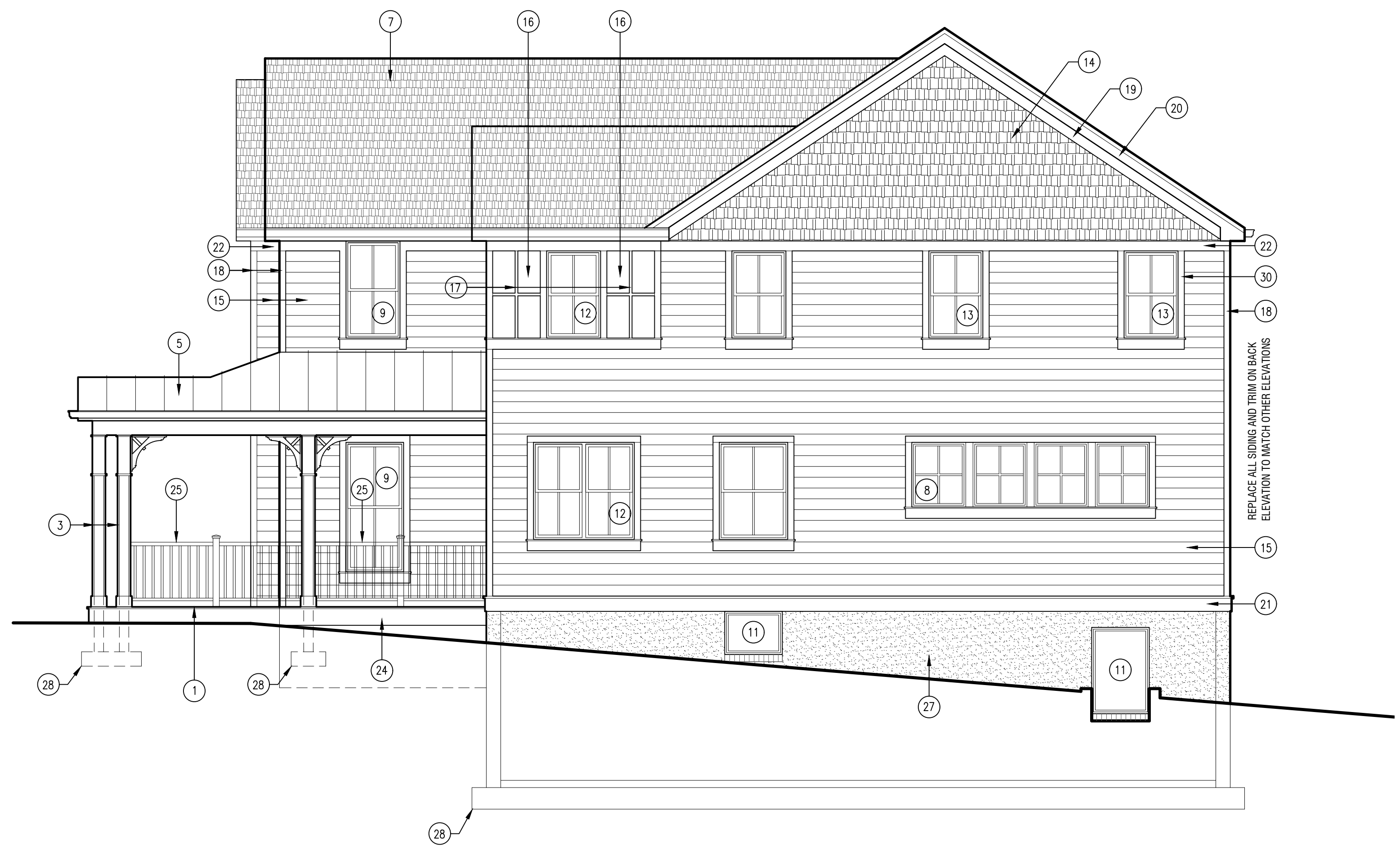
SCALE  
December 17, 2020  
DATE

A2

SHEET NUMBER



**1 FRONT ELEVATION**  
Scale 1/4" = 1'-0"



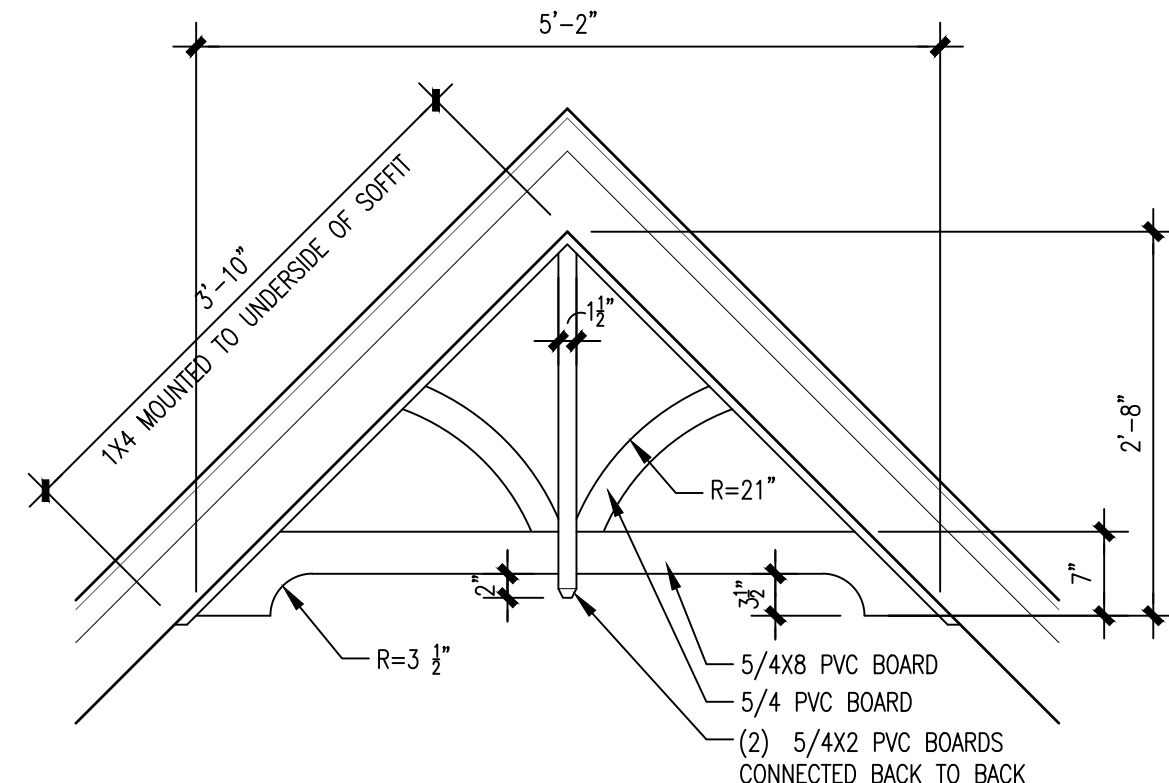
**2 RIGHT SIDE ELEVATION**  
Scale 1/4" = 1'-0"

**GENERAL NOTES**

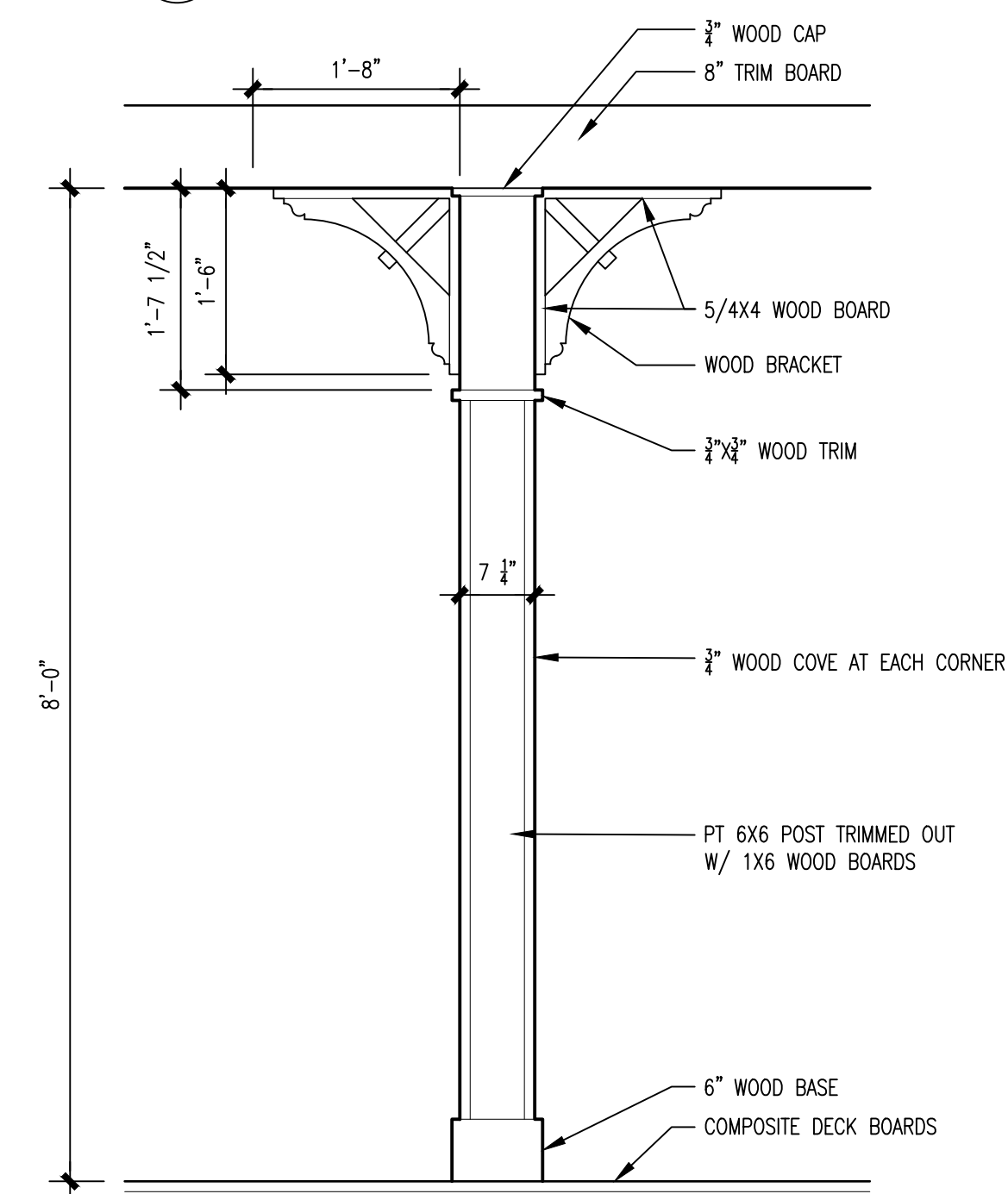
- A. ALL EXISTING SIDING AND TRIMWORK TO BE REMOVED AND REPLACED WITH NEW PER EXTERIOR ELEVATIONS
- B. INSTALL 1" ZIP SYSTEM INSULATED R-SHEATHING OVER EXISTING SHEATHING. TAPE ALL SEAMS W/ ZIP TAPE
- C. NEW WINDOWS TO BE ANDERSON 400 SERIES W/ SDL GRILLES PER ELEVATIONS. COLOR TBD BY HOME OWNER
- D. NEW GUTTERS AND DOWNSPOUTS TO MATCH EXISTING

**ELEVATION NOTES**

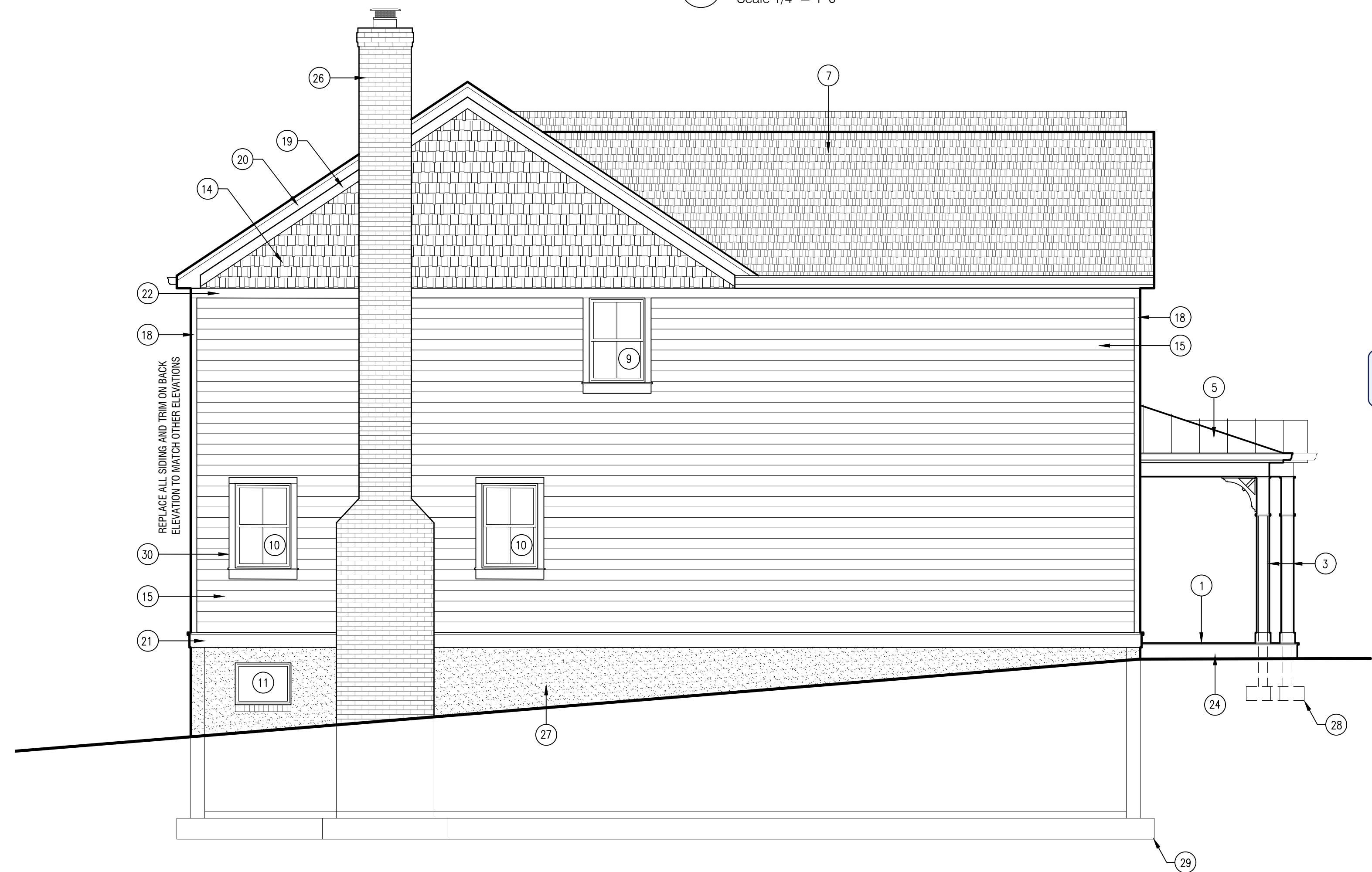
- 1 PT FRAMED PORCH FLOOR W/ TREX TRANSCEND COMPOSITE DECK BOARDS, COLOR TBD
- 2 PT FRAMED STEP W/ PAINTED PVC RISER AND 1 1/2" DEEP COMPOSITE TREAD
- 3 PT 6X6 POST TRIMMED OUT PER DETAIL 5/A2
- 4 DECORATIVE GABLE BRACKET, SEE DETAIL 4/A2
- 5 STANDING SEAM METAL ROOF BELOW, COLOR: TBD
- 6 84" TALL SIMPSON DOOR STYLE #37444 W/ 15" WIDE SIDELIGHT #37720, DOOR AND SIDELIGHT TO BE PAINTED, COLOR TBD BY HOME OWNER
- 7 EXISTING ROOF SHINGLES TO REMAIN
- 8 EXISTING WINDOWS TO BE REPLACED WITH WINDOWS W/ (2) 2X4'S IN BETWEEN
- 9 EXISTING WINDOW TO BE REPLACED WITH NEW SIZED TO FIT EXISTING FRAMED OPENING
- 10 ENLARGE EXISTING FRAMED WINDOW OPENING TO ALLOW PLACEMENT OF TALLER WINDOW
- 11 EXISTING WINDOW TO REMAIN
- 12 NEW WINDOW IN NEW EXTERIOR WALL, PROVIDE W/ (2) 2X8 HEADER
- 13 INSTALL NEW WINDOW IN EXISTING EXTERIOR WALL, PROVIDE W/ (2) 2X8 HEADER
- 14 FIELD PAINTED HARDISHINGLE SIDING W/ SQUARE BOTTOM EDGE
- 15 5" EXPOSURE FIELD PAINTED HARDI LAP SIDING, SMOOTH FINISH
- 16 PAINTED HARDIPANEL
- 17 1X2 PVC TRIM
- 18 4" PVC TRIM AT OUTSIDE CORNERS, TYP.
- 19 6" PVC TRIM
- 20 8" PVC RAKE BOARD W/ 1X3 PVC BOARD UNDER SHINGLES
- 21 8" PVC BAND BOARD W/ 1X PVC CAP PROJECTED 1/4"
- 22 6" PVC BAND BOARD
- 23 6" PVC BOARD W/ WM-53 PVC CROWN ON TOP W/ 1X PVC CAP
- 24 1X10 PAINTED PVC BOARD TO COVER PT FRAMING
- 25 36" TALL PAINTED WOOD RAILING, COLOR : TBD
- 26 EXISTING BRICK TO REMAIN UNPAINTED
- 27 REPAINT EXISTING MORTAR WASH
- 28 PT 6X6 POST SET ON 24" SQ. X 12" THICK CONC. FOOTING
- 29 EXISTING FOUNDATION WALL AND FOOTING
- 30 SEE DETAIL 3/A1 FOR TYPICAL WINDOW TRIMWORK



**4 GABLE DETAIL**  
Scale 3/4" = 1'-0"



**5 COLUMN DETAIL**  
Scale 3/4" = 1'-0"



**3 LEFT SIDE ELEVATION**  
Scale 1/4" = 1'-0"

NOT FOR CONSTRUCTION



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240.396.2051  
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rbnehrebecky@verizon.net

PROPOSED  
FLOOR PLANS

SCALE  
December 17, 2020  
DATE

A1

**GENERAL NOTES**

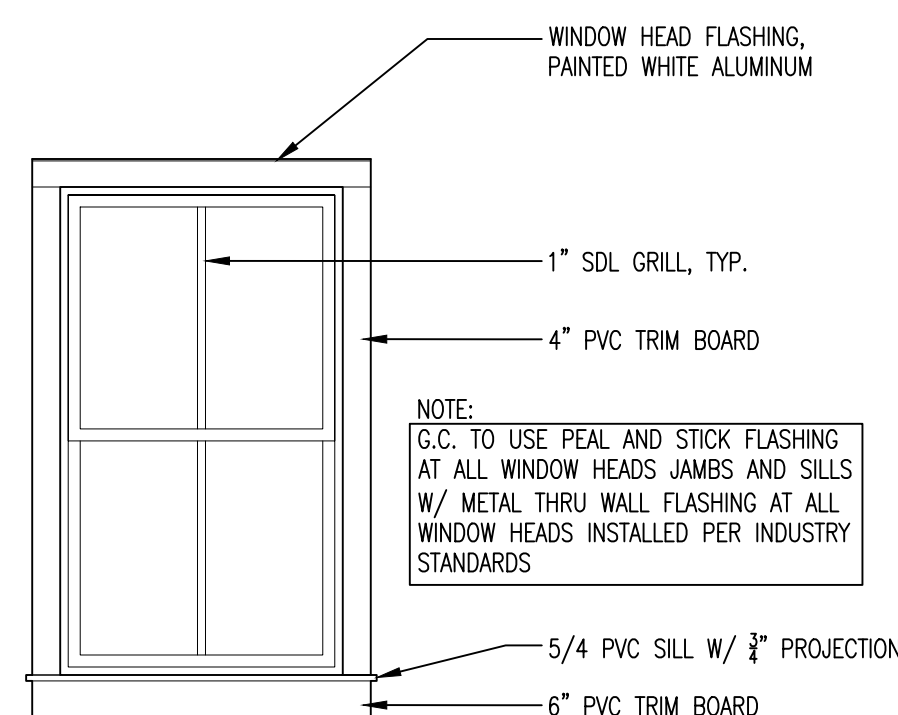
- A. ALL EXISTING SIDING AND TRIMWORK TO BE REMOVED AND REPLACED WITH NEW PER EXTERIOR ELEVATIONS
- B. INSTALL 1" ZIP SYSTEM INSULATED R-SHEATHING OVER EXISTING SHEATHING. TAPE ALL SEAMS W/ ZIP TAPE
- C. NEW WINDOWS TO BE ANDERSON 400 SERIES W/ SDL GRILLES PER ELEVATIONS. COLOR TBD BY HOME OWNER
- D. ALL NEW AND REPLACED WINDOW CASINGS TO MATCH EXISTING

**PLAN NOTES**

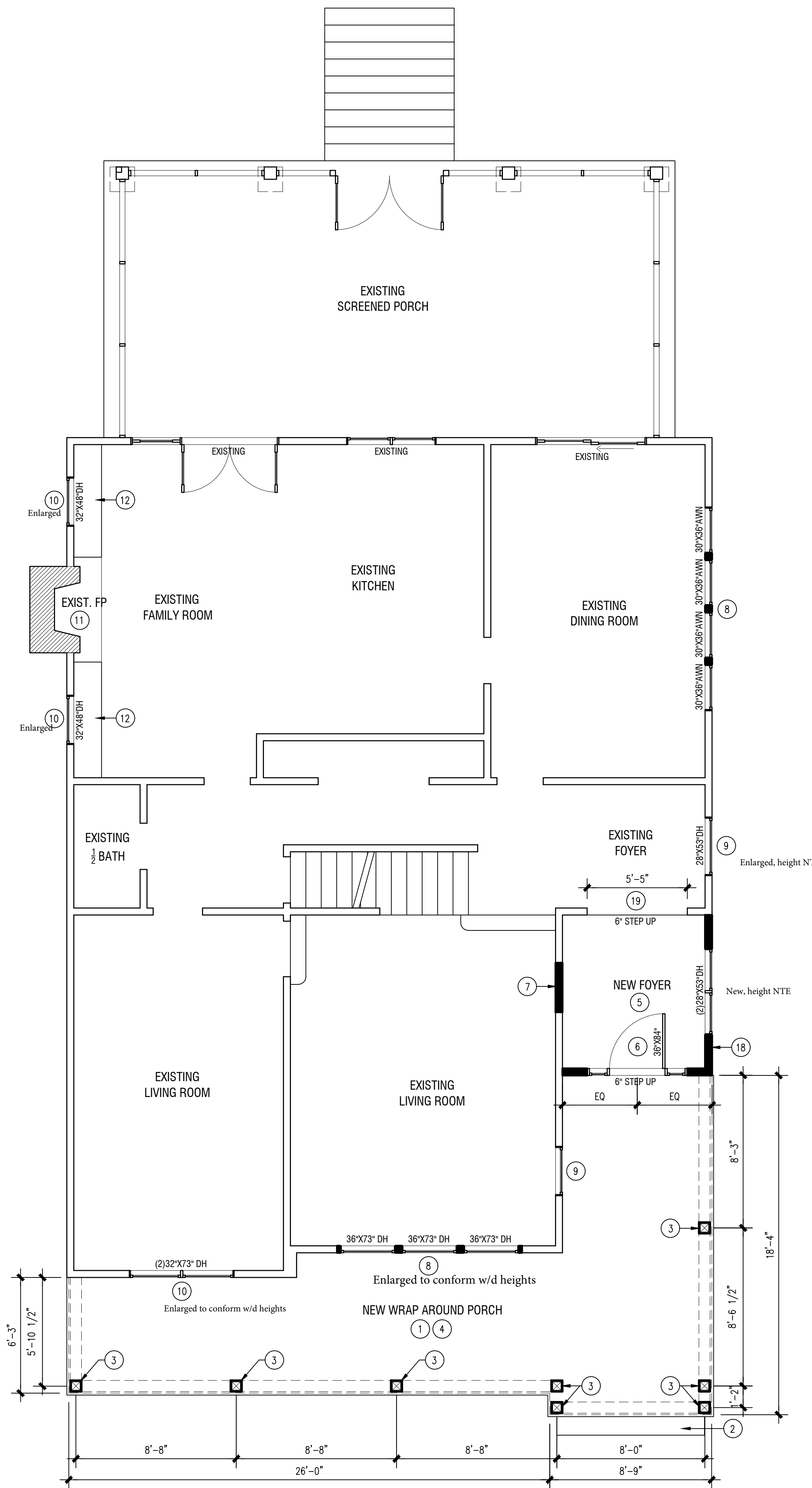
- 1 2X8 PT FRAMED PORCH FLOOR W/ TREX TRANSCEND DECK BOARDS, COLOR TBD
- 2 PT FRAMED STEP W/ PAINTED PVC RISER AND 11" DEEP COMPOSITE TREAD
- 3 PT 6X6 POST TRIMMED OUT PER DETAIL 5/A2
- 4 INSTALL PAINTED 4" PINE T&G PLANK CEILING W/ PAINTED SM-81 COVE CROWN
- 5 TILE FLOOR OVER EXISTING CONCRETE SLAB
- 6 84" TALL SIMPSON DOOR STYLE #37444 W/ 15" WIDE SIDELIGHT #37720, DOOR AND SIDELIGHT TO BE PAINTED, COLOR TBD BY HOME OWNER
- 7 EXISTING WINDOW TO BE REMOVED, INFILL W/ FRAMING AND DRYWALL ON BOTH SIDES
- 8 EXISTING WINDOWS TO BE REPLACED WITH WINDOWS W/ (2) 2X4'S IN BETWEEN
- 9 EXISTING WINDOW TO BE REPLACED WITH NEW SIZED TO FIT EXISTING FRAMED OPENING
- 10 ENLARGE EXISTING FRAMED WINDOW OPENING TO ALLOW PLACEMENT OF TALLER WINDOW
- 11 CONVERT EXISTING WOOD BURNING FIREPLACE TO GAS LOGS
- 12 BUILD 18" TALL X 20" DEEP PAINTED WOOD WINDOW SEAT
- 13 INSTALL NEW WINDOW IN EXISTING EXTERIOR WALL, PROVIDE W/ (2) 2X8 HEADER
- 14 DEMO PORTION OF EXISTING EXTERIOR WALL, INSTALL (2) 11 1/2" LVL HEADER FLUSH W/ CEILING TO SUPPORT ENDS OF EXISTING ROOF TRUSSES
- 15 EXISTING FLOOR JOISTS TO REMAIN, REMOVE EXISTING ROOFING AND INSTALL SLEEPERS W/ 3/4" OSB SHEATHING FLUSH W/ EXISTING FLOOR SHEATHING
- 16 INSTALL FIELD FINISHED HARDWOOD FLOORING TO MATCH EXISTING
- 17 STANDING SEAM METAL ROOF BELOW, COLOR: BLACK
- 18 NEW 2X4 FRAMED EXTERIOR WALL W/ R-15 HIGH DENSITY BATT INSULATION
- 19 REMOVE EXISTING DOOR/SIDELIGHT UNIT AND PROVIDE CASED OPENING



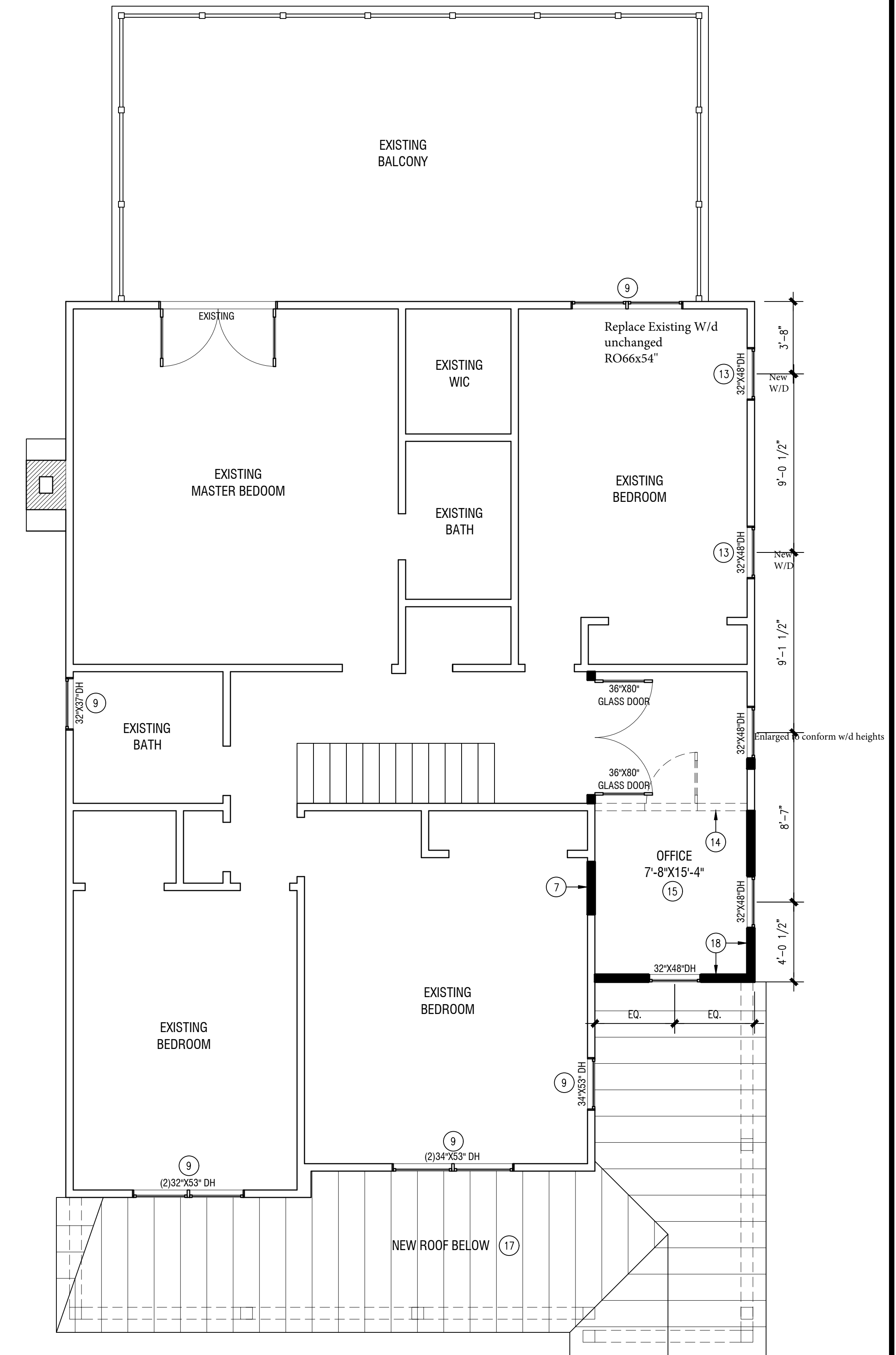
**REVIEWED**  
By Dan.Bruechert at 11:38 am, Mar 15, 2021



**3 TYP. WINDOW TRIM**  
Scale 1/2" = 1'-0"



**1 GROUND FLOOR PLAN**  
Scale 1/4" = 1'-0"



**2 SECOND FLOOR PLAN**  
Scale 1/4" = 1'-0"

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Bethesda, MD 20814

240.396.2051  
301.204.5636 mobile  
rbnebecky@verizon.net

SITE PLAN  
&  
PROJECT INFO.

SCALE  
December 17, 2020  
DATE

A0

SHEET INDEX

- A0 SITE PLAN & PROJECT INFORMATION
- A1 FLOOR PLANS
- A2 EXTERIOR ELEVATIONS

SCOPE OF WORK

THIS PROJECT PROPOSES THE CONSTRUCTION OF A NEW COVERED FRONT PORCH AS WELL AS THE RE-SIDING AND REPLACEMENT OF EXISTING WINDOWS. SCOPE OF WORK ALSO INCLUDES THE ENCLOSURE OF AN EXISTING SECOND FLOOR BALCONY AND SELECTIVE INTERIOR REMODELING.


APPLICABLE CODES

- 2018 INTERNATIONAL RESIDENTIAL CODE ER 31-19
- NFPA 70 NATIONAL ELECTRIC CODE
- WSSC PLUMBING CODE
- 2018 INTERNATIONAL MECHANICAL CODE
- 2018 INTERNATIONAL FUEL AND GAS CODE
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)

SITE PLAN NOTES

- 1 PA FLAGSTONE OVER 4" CONCRETE SLAB
- 2 8" WIDE STEP W/ FIELD STONE RISER AND 2" THICK (12" DEEP) PA FLAGSTONE TREAD W/ THERMAL EDGE
- 3 REMOVE PORTION OF EXISTING CONCRETE DRIVEWAY
- 4 EXISTING TREE TO BE REPLACED WITH NEW TREE, EXACT SPECIES AND SIZE TBD
- 5 LANDSCAPED AREA

APPROVED  
Montgomery County  
Historic Preservation Commission



REVIEWED  
By Dan.Bruechert at 11:38 am, Mar 15, 2021

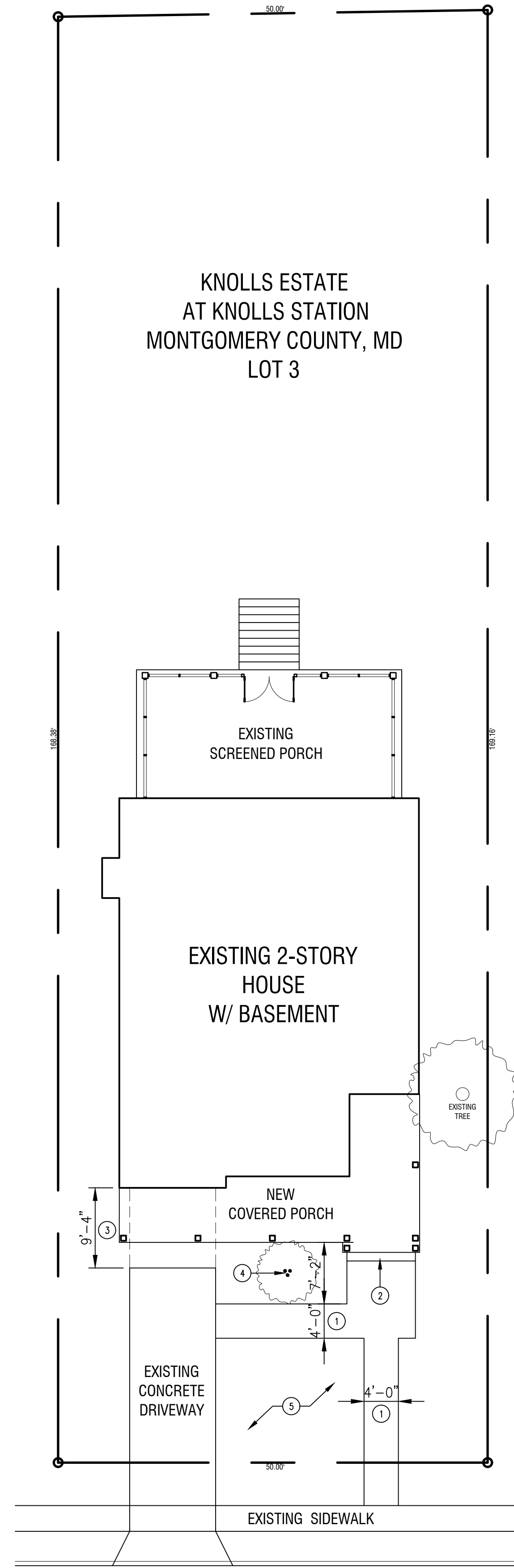
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STRUCTURAL NOTES

- LOADS:**
- LIVE LOADS
  - DECK: 40 PSF
  - ATTIC: 20 PSF
  - FLOOR: 40 PSF
  - BEDROOM: 30 PSF
  - ROOF: 30 PSF
- WIND LOADS:**
- BASIC WIND SPEED: 115 MPH
  - WIND LOAD IMPORTANCE FACTOR: 1.0
  - WIND EXPOSURE FACTOR: B
  - WIND DESIGN PRESSURE: A = 14.4PSF; B = 9.9PSF; C = 11.5PSF; D = 7.9PSF
- SNOW LOADS:**
- GROUND SNOW LOAD (PG): 30 PSF
  - FLAT ROOF SNOW LOAD(PF): 20 PSF
  - SNOW EXPOSURE FACTOR (CE): 0.9
  - SNOW IMPORTANCE FACTOR (I): 1.0
1. All work and materials to comply with the requirements of the 2018 IRC as revised by Montgomery County Executive Regulation #4-15AMII.
  2. Codes: the following design standards are applicable by reference:  
ACI 530-99/ASCE 5-99 Building Code Requirements for Masonry Structures.  
AISC - Timber Construction Manual - fifth Ed.  
ACI 318-95 Building Code Requirements for Reinforced Concrete  
AISC - Manual of Steel Construction Ninth Ed.
  3. Foundations: footings, underpinning and slab on grades are designed to bear on native soil with an allowable bearing pressure of 2000 psf. A qualified soil-bearing inspector prior to placement of concrete shall verify all bearing values.
  4. Structural steel:  
A. All structural steel, including detail material shall conform to ASTM A572 Fy = 50 ksi, U.N.O.  
B. All structural tubing shall conform to ASTM A500, grd. B  
C. All steel pipe shall be ASTM A53, type E or S, grade B  
D. All welders shop and field, shall be certified. Use E70xx electrodes only.  
E. All steel exposed to weather and exterior masonry support shall receiver one shop coat of corrosion-inhibiting primer.  
F. Detailing, fabrication and erection shall be in accordance with AISC. Adequately brace all steel against lateral loads during erection.  
G. All exterior structural steel shall receive rust preventative paint.  
H. Connections:  
All beam connections shall be simple shear connections, U.N.O. Where no reaction is provided, the beam shall be assumed to carry 120 % of the allowable uniform load in Kips for beams laterally supported, as given in the AISC steel construction manual.Except as noted,all fasteners shall be 3/4" diameter ASTM A325 bolts, designed to act in bearing type connections with threads included.
  5. Compacted Fill:  
A. All soil compaction shall be supervised by a licensed professional engineer specializing in Geotechnical Engineering.  
B. Lift heights shall be determined by the Geotechnical Engineer and shall not exceed 2'-0".  
C. Use only compactable soils for back fill.  
D. Soil shall be compacted to a min of 95% of its density. The Geotechnical Engineer shall keep a record of the soil compaction and submit a report as requested.
  6. Lumber:  
II. Lumber shall be SPF #2 with a min. Fb = 875 psi Min. Fv = 135 psi and min. E = 1,400,000 psi.  
I. LVL and PSL shall have a min. Fb = 2850 psi; Fv = 285 psi; E = 2,000,000 psi.  
J. Nail all multiple members together per the manufacturers recommendations and at a minimum use 2-10d nails at 6" O.C. staggered.  
Glue multiple studs together and stagger the sides that nails are driven from.  
K. Provide bridging at center of all joist spans Exceeding 8'-0" and at 1/3 points of all joist spans exceeding 16'-0". Provide solid blocking at all bearing points on top of walls or beams. Provide squash blocking below all posts and multiple studs.  
L. Exterior load bearing walls shall be 2x6 studs at 16" O.C. and interior load bearing walls shall be 2x4 studs @ 16"O.C. with a double top plate and a single bottom plate of the same size. Provide solid blocking @ 4'-0" with a min. of solid blocking at the midpoint of the wall.  
M. Floor decking shall be 3/4" APA rated decking and roof decking shall be 3/4"APA rated decking. Wall sheathing shall be 3/4" APA rated sheathing. Glue and screw decking to floor joists and roof rafters.  
N. All posts shall have Simpson Cap and Base Plates top.  
O. All joists shall have Simpson Hangers where applicable.  
P. Glue and nail all multiple studs together with 2-10d nails at 6" O.C. stagger sides that nails are driven from.  
Q. Place a double stud below all beams, headers, and double joists.  
R. Provide double joists below all walls that span parallel to floor framing.  
S. All lumber in contact with masonry or concrete shall be pressure treated. All lumber placed within 8" of soil shall be pressure treated.  
T. All lumber shall be protected against decay and termites per IRC Chapter R3.  
U. See IRC table R602.3(1) for nailing not shown on the plans.  
V. Wood Headers shall be as follows:  
Opening < 3'-0" - 2-2x6  
3'-0" < Opening < 4'-6" - 2-2x8  
4'-6" < Opening < 6'-0" - 2-2x10 or 2-1 3/4"x7 1/2" LVL  
6'-0" < Opening < 8'-0" - 2-1 3/4"x9 1/2" LVL  
8'-0" < Opening < 12'-0" - 2-1 3/4"x11 1/2" LVL
  7. Fasteners:  
A. All prefabricated angles, bearing plates, and joist hangers shall be installed per the manufacturer recommendations.  
B. Follow the manufacturer recommendations for setting epoxy bolts.  
C. Expansion bolts shall be RAWL Power Stud.
  8. Masonry:  
A. Masonry construction shall be in conformance with the applicable sections of ACI 530-99/ASCE5-99, "Specifications for Masonry Structures.  
B. Concrete masonry units shall be hollow load bearing units (ASTM C90) grade n-1 with a net strength of 2000 psi and Fm - 1500 psi.  
C. All joints to be filled solid with mortar.  
D. Mortar to comply with ASTM C270 (type M or S).  
E. Place weep holes and expansion joints per the IRC Code.  
F. Place horizontal truss style reinforcement at 16" O.C. vertically.
  9. Cast in place concrete:  
A. Concrete construction shall be in conformance with the applicable sections of ACI 318-95, "Part 3 - Construction Requirements."  
B. Concrete shall have a minimum compressive strength at 28 days of 3500 psi, UNO (unless noted otherwise).  
C. All concrete shall be placed with a slump of 4" (+ 1/2")  
D. All concrete shall be normal weight, UNO.  
E. All concrete shall have 6% ±1% entrained air.  
F. Concrete cover for reinforcement shall be:  
Columns and beams 1 1/2"  
Slabs 3/4"  
Footings 3"
  10. Reinforcement:  
A. Reinforcing bars shall be deformed bars conforming to ASTM A615, grade 60 (Fy = 60 ksi)  
B. Welded wire fabric (wwf) shall conform to ASTM A185. Lap edges of wire fabric at least 6" in each direction.
  11. Dimensions: the contractor shall field verify all dimensions prior to fabrication of structural components.
  12. Coordination: The contractor shall coordinate all sleeves, duct openings and holes between trades.

GENERAL NOTES

- A. All work shall be done in strict compliance with all applicable codes, ordinances, rules, regulations and requirements of all governmental agencies having jurisdiction over this project.
- B. The contractor is responsible for schedule, methods & construction sequence to ensure constructability & safety at the site throughout the course of the project construction. See O.S.H.A. regulations for construction: 29 CFR, part 1926.
- C. All work shall be performed by mechanics skilled in there respective trade in accordance with the best practice of the trade and in accordance with the requirements of the materials manufactured for use on the project.
- D. DO NOT SCALE DRAWINGS. The general contractor shall verify dimensions prior to start of construction. If there is any discrepancy, the general contractor shall notify the architect for a solution prior to start of construction.
- E. The general contractor shall coordinate work involving different trades and notify the architect of any discrepancy or requirement prior to start of construction.
- F. Refer to structural notes and construction drawings for structural requirements.
- G. All wood in contact with masonry or concrete shall be pressure treated.
- H. The general contractor shall carry general liability and hazard insurance as well as workman compensation insurance.



1 SITE PLAN  
Scale 1" = 10'-0"  
NORTH

NOT FOR CONSTRUCTION