



HISTORIC PRESERVATION COMMISSION

HAWP #: _____ at: _____

submitted on: _____

has been reviewed and determined that the proposal fits into the following category/categories:

Repair or replacement of a masonry foundation with new masonry materials that closely match the original in appearance;

Installation of vents or venting pipes in locations not visible from the public right-of-way;

New gutters and downspouts;

Removal of vinyl, aluminum, asbestos, or other artificial siding when the original siding is to be repaired and/or replaced in kind;

Removal of accessory buildings that are not original to the site or non-historic construction;

Repair or replacement of missing or deteriorated architectural details such as trim or other millwork, stairs or stoops, porch decking or ceilings, columns, railings, balusters, brackets shutters, etc., with new materials that match the old in design, texture, visual characteristics, and, where possible materials, so long as the applicant is able to provide one extant example, photographic evidence, or physical evidence that serves as the basis for the work proposed;

Construction of wooden decks that are at the rear of a structure and are not visible from a public right-of-way;

Roof replacement with -compatible roofing materials, or with architectural shingles replacing 3-Tab asphalt shingles;

Installation of storm windows or doors that are compatible with the historic resource or district;

Repair, replacement or installation of foundation-level doors, windows, window wells, and areaways, or foundation vents, venting pipes, or exterior grills that do not alter the character-defining features and/or the historic character of the resource;

Construction of fences that are compatible with the historic site or district in material, height, location, and design;

Fence is lower than 48" in front of rear wall plane;

Construction of walkways, parking pads, patios, driveways, or other paved areas that are not visible from a public right-of-way and measure no more than 150 square feet in size;

Replacement of existing walkways, parking pads, patios, driveways, or other paved areas with materials that are compatible with the visual character of the historic site and district and that are no greater than the dimensions of the existing hardscape;

Construction of small accessory buildings no larger than 250 square feet in size that are not visible from the public right-of-way;

Installations of skylights on the rear of a structure that will not be visible from the public right-of-way, and would not remove or alter character-defining roof materials;

Installation of solar panels and arrays in locations that are not readily visible from the public right-of-way or that are designed so as to have a minimal impact on the historic resource or the historic district (e.g., systems that are ground-mounted in areas other than the front or side yard of a corner lot, located on accessory or outbuildings, on non-historic additions, or on rear facing roof planes);

Installation of car charging stations in any location on a property or in the right-of-way;

Installation of satellite dishes;

Removal of trees greater than 6" in diameter (d.b.h.) that are dead, dying, or present an immediate hazard.

Removal of trees greater than 6" in diameter (d.b.h.) in the rear of the property that will not impact the overall tree canopy of the surrounding district or historic site;

Replacement tree required as a condition; and,

Other minor alterations that may be required by the Department of Permitting Services post-Commission approval that would have no material effect on the historic character of the property.

Staff finds the proposal complies with Chapter 24A, the Secretary of the Interior's Standards for Rehabilitation, and any additional requisite guidance. Under the authority of COMCOR No. 24A.04.01, this HAWP is approved by J. Brueckert on _____. The approval memo



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Sandra I. Heiler
Chairman

Date: February 5, 2021

MEMORANDUM

TO: Mitra Pedoeem
Department of Permitting Services

FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit # 940299 - Light Installation

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** historic preservation staff.

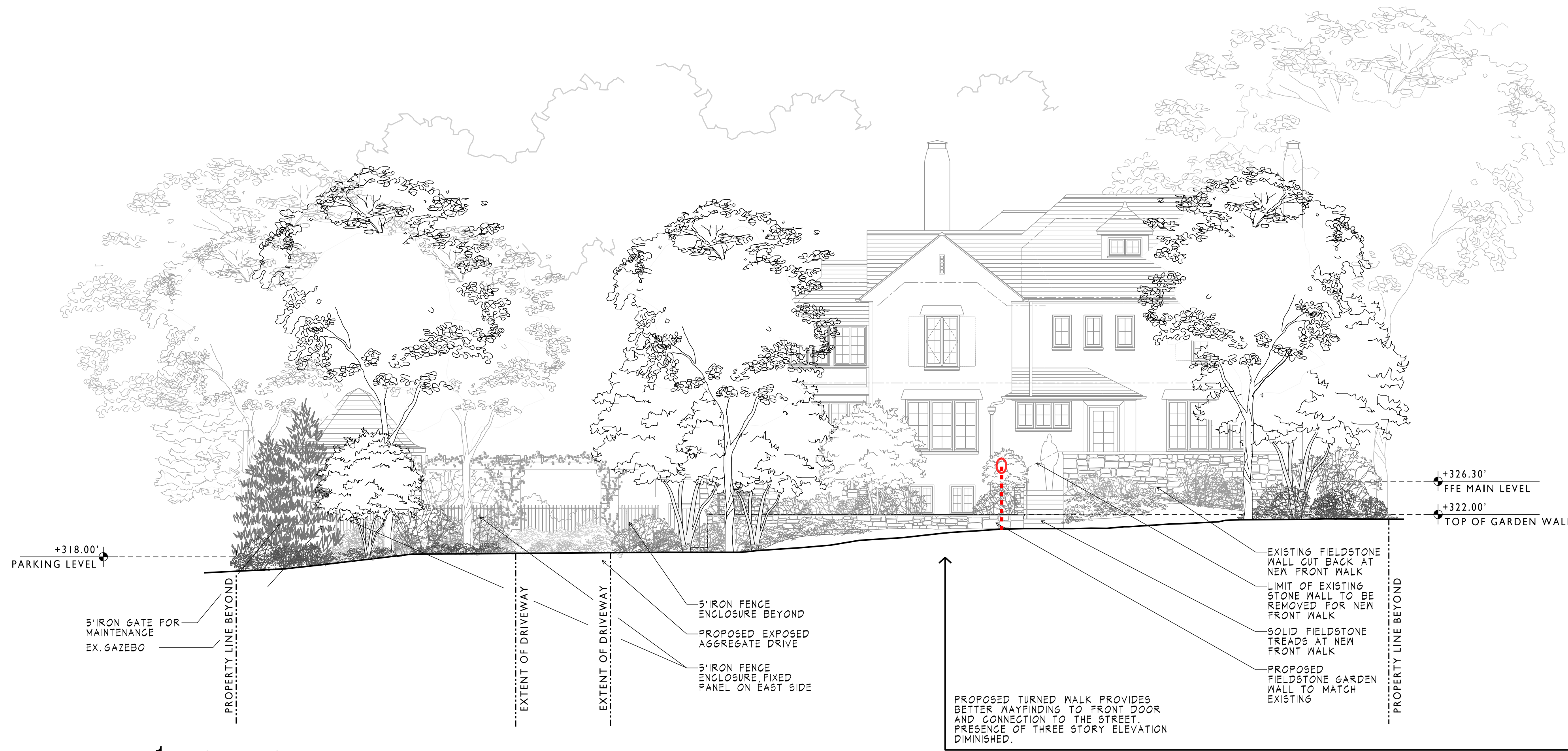
The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Laura Billings
Address: 5904 Cedar Pkwy., Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.

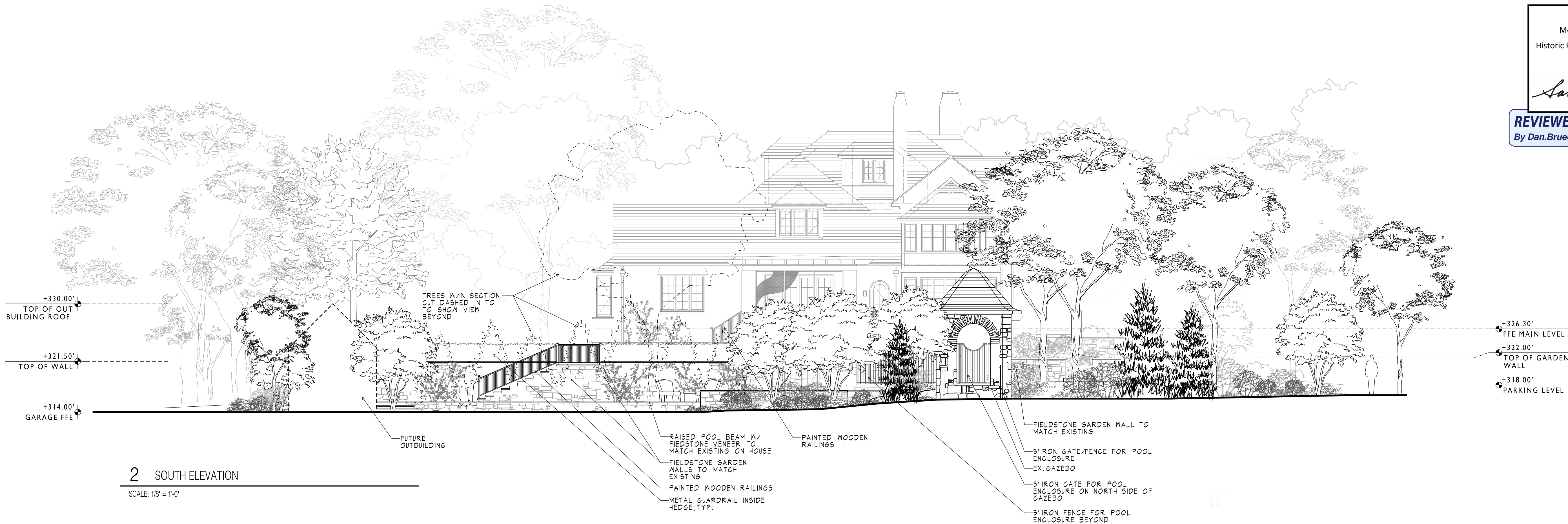




EXISTING EAST ELEVATION: FRONT DOOR IS NOT EASILY RECOGNIZABLE AND WALK DOES NOT PROVIDE A STRONG CONNECTION TO THE STREET. THREE STORY ELEVATION LOOMS OVER CALCULATION TO THE FRONT DOOR AND IS OUT OF SCALE WITH THE PEDESTRIAN EXPERIENCE OF MOVING TO THE FRONT PORCH.

1 EAST ELEVATION

SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
Sandra A. Heiler

REVIEWED
By Dan.Bruechert at 2:25 pm, Feb 05, 2021

CONCEPT DRAWINGS

ISSUE DATE: 07.25.2018

ILLUSTRATIVE ELEVATIONS

L-2.0

JOB NO. 1885

SCALE: AS SHOWN

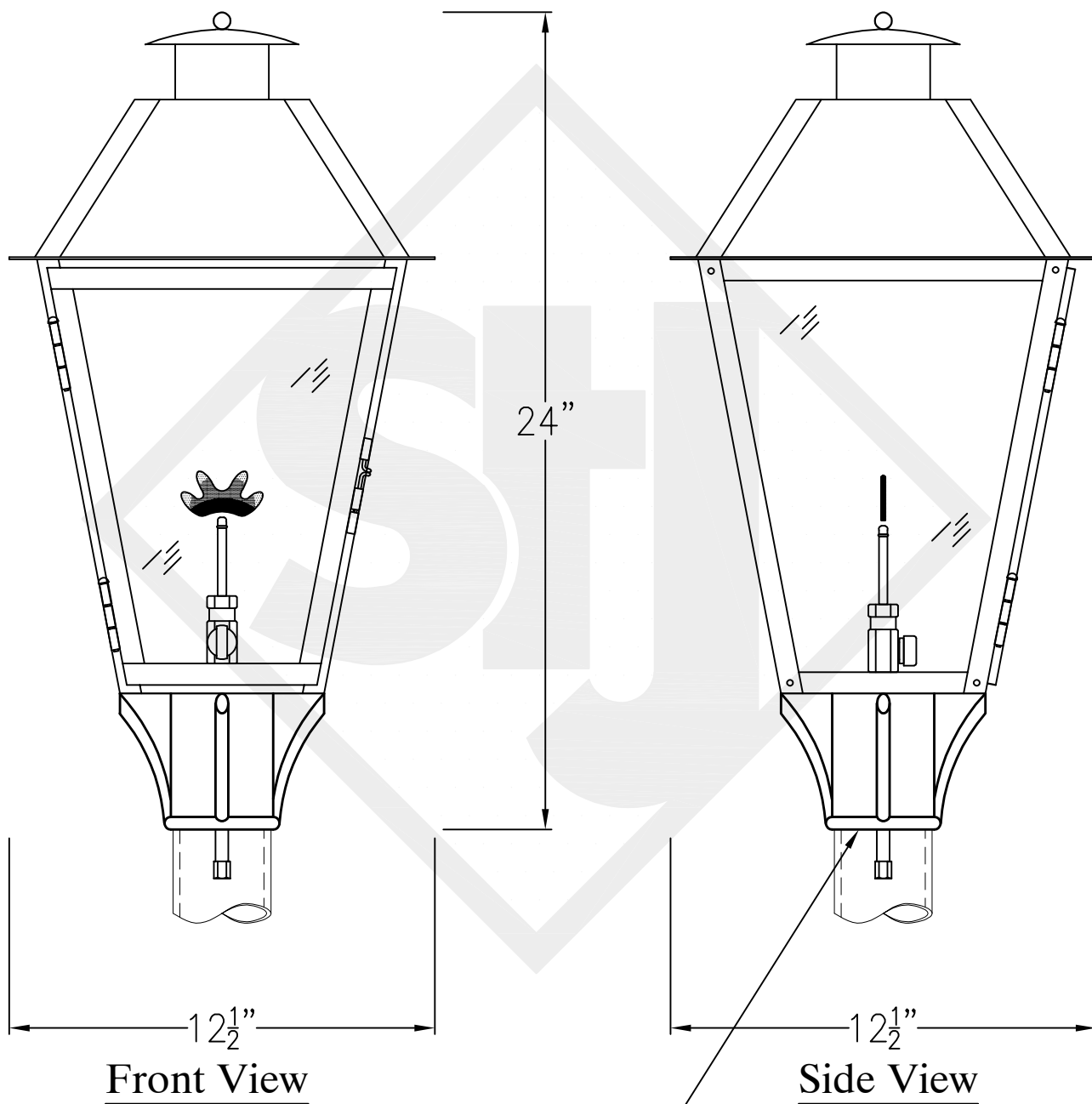
BILLINGS O'NEIL RESIDENCE
5904 CEDAR PARKWAY
CHEVY CHASE, MD. 20815

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LANDSCAPE ARCHITECTS, LLC
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CUSTOM MAGNOLIA MEDIUM COPPER POST MOUNT

Standard body & Roof
Custom Chimney



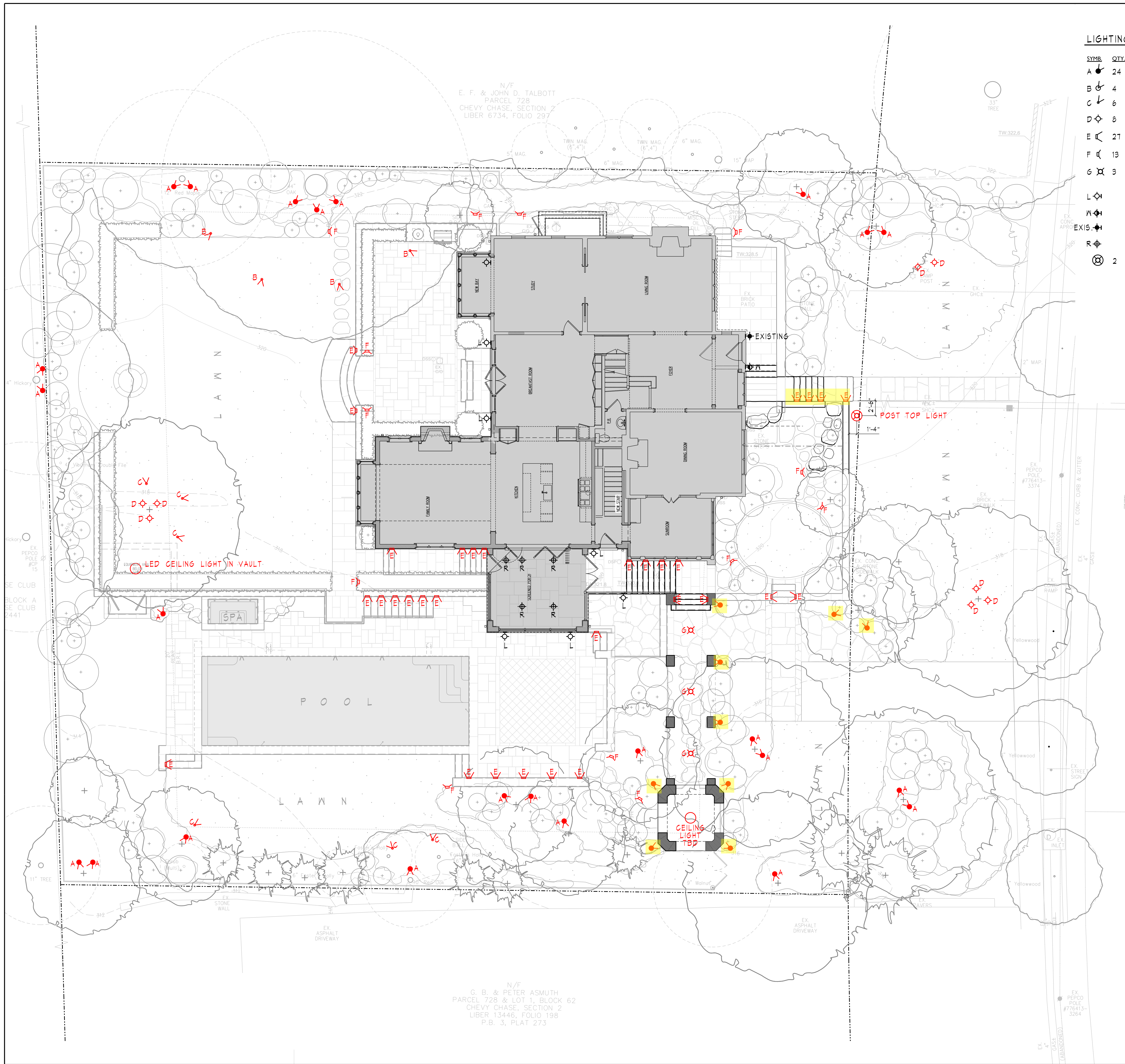
Fits over 3" post
1/4" Female Flare
Fitting

APPROVED
Montgomery County
Historic Preservation Commission

Sandra J. Heiler

Custom Magnolia Medium Copper Post Mount	
St. James LIGHTING	
SCALE: N.T.S.	DRAFT: B. Vial
FILE: MAGM	APP'D: J. Ragan
JOB: X	DATE: 01/14/21

REVIEWED crafted
By Dan.Bruechert at 2:25 pm



LIGHTING SCHEDULE

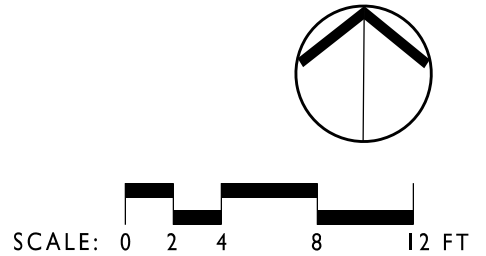
SYMB	QTY	MANUFACTURER	MODEL	DESCRIPTION	BULB	TRANSF.	FINISH
A	24	BK-LIGHTING DELTA STAR	DS-MR-8-BZP-9-360SL	TREE UPLIGHT	BRILLIANCE-SW-30DEG-12V (wire fixtures for dimming)	REQ.	BRONZE
B	4	VISTA	5237-SB	TREE MOUNTED DOWN LIGHT (FOR LARGE TREES)	BRILLIANCE-PAR-36-12W-60DEGREE	REQ.	BRONZE
C	6	HEVI LITE	309 BZ	TREE MOUNTED DOWN LIGHT (FOR MEDIUM TREE)	BRILLIANCE MR-8-2W-60DEG	REQ.	BRONZE
D	8	UNIQUE LIGHTING - NOVA STAR	NOVS-12-L427-WB	IN-GROUND (for mowing), TREE UPLIGHT	BRILLIANCE-SW-30DEG-12V (wire fixtures for dimming)	REQ.	BRONZE
E	27	FX LUMINAIRE	PO-RD-AB	STEP LIGHT / MASONRY WALL LIGHT	BRILLIANCE-SW-12V, LED 2700K (wire fixtures for dimming)	REQ.	BRONZE
F	13	HUNZA	BL-BZ-18-OLDSTYLE-NPS	PATH LIGHT	LED, BUILT-IN (wire fixtures for dimming)	REQ.	BRONZE
G	3	LUMIERE	CAMBRIA 213-NL-12-BZ	DOWN LIGHT, HANGING	BRILLIANCE SW-60DEG	REQ.	BRONZE
L				REFER TO ARCH. DWGS.			
M				REFER TO ARCH. DWGS.			
EXIS				REFER TO ARCH. DWGS.			
R				REFER TO ARCH. DWGS.			
⊙	2			POST TOP LIGHT (MATCH ARCH. TO BE DETERMINED)			

APPROVED
 Montgomery County
 Historic Preservation Commission
Sandra L. Heiler

REVIEWED
 By Dan.Bruechert at 2:25 pm, Feb 05, 2021

NOTES:

- 1) FINAL SWITCHING/TIMER LOCATIONS AND ZONES TO BE APPROVED BY HOMEOWNER.
- 2) LIGHT LOCATIONS, TRENCHING AND JUNCTION BOX LOCATIONS TO BE STAKED OUT ON SITE PRIOR TO INSTALLATION TO BE APPROVED BY LANDSCAPE ARCHITECT.
- 3) ALL FIXTURES TO BE DIMMABLE ON DIMMING SWITCHES AND SHALL BE WIRE ACCORDINGLY (I.E. TRADITIONAL WIRING FOR HALOGEN LOW VOLTAGE FIXTURES)
- 4) SEE LOW-VOLTAGE CONTROL DRAWINGS (BY OTHERS) FOR LIGHTING ZONES.
- 5) LIGHTING CONTRACTOR TO REVIEW PLAN AND SCHEDULE FOR QUANTITIES. CONTRACTOR RESPONSIBLE FOR ALL LIGHTING SHOWN NO PLAN. CONTRACTOR TO NOTIFY LA OF ANY DISCREPANCIES.
- 6) LIGHTING CONTRACTOR TO ENSURE ALL LANDSCAPE LIGHTING MEETS LOCAL CODE.
- 7) LIGHTS IN RIGHT-OF-WAY REQUIRE PERMIT FROM VILLAGE, BY OTHERS.
- 8) COLOR OF ALL LIGHTING TO BE WARM WHITE, 2700 k TEMP. FOR LED.



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BILLINGS O'NEIL RESIDENCE
 5904 CEDAR PARKWAY
 CHEVY CHASE, MD. 20815

ISSUE DATE: **06.21.2019**
 6/8/20 LIGHTING PLAN
 12/9/21 LIGHTING PLAN UPDATE

ISSUED FOR CONSTRUCTION

LIGHTING PLAN

LG-1

SCALE: 1/8"=1'-0"
 JOB NO. 1885