



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert K. Sutton
Chairman

Date: March 30, 2023

MEMORANDUM

TO: Rabbiah Sabbakhan, DPS Director
Department of Permitting Services

FROM: Michael Kyne
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1020827: Regrading, fence installation, and hardscaping

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved with conditions** at the March 8, 2023 HPC meeting.

- 1. Include a note on the fence wall specification sheet that the fence will be wood.**
- 2. Delete reference to the “4’-high” fence in the quote.**
- 3. Replace the black vinyl post caps with wood or metal post caps.**
- 4. Submit all gate design and specification sheets.**
- 5. Require the application submit a copy of the City of Takoma Park’s Tree Impact Assessment, include the location of all trees along the proposed fence line on the site plan, and include a note how the fence will be treated at these locations.**
- 6. Submit dimensions and details for the regraded area and trashcan pad near the chimney along the north elevation of the building.**

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Wesley Jay & Kristen Reppert (Karen Rowley, Agent)
Address: 36 Philadelphia Avenue, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the





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applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Michael Kyne at 301.563.3403 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.





APPLICATION FOR HISTORIC AREA WORK PERMIT
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP#
DATE ASSIGNED

APPLICANT:

Name: Reppert
Address: 36 Philadelphia Ave
Daytime Phone: 410 507 7705
E-mail: Khkpermits@yahoo.com
City: Takoma Park Zip: 20912
Tax Account No.: 13-01064644

AGENT/CONTACT (if applicable):

Name: Karen Rowley
Address: 293 Southland Ct
Daytime Phone: 410 507-7705
E-mail: Khkpermits@yahoo.com
City: Dunkirk Zip: 20754
Contractor Registration No.:

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property 1020827

Is the Property Located within an Historic District? Yes/Dis No/Indi
Is there an Historic Preservation/Lease Trust/Environmental Ea map and documentation from the Easement
Are o Planning and/or Hearing Examiner Approvals /Revie (Conditional Use, Variance, Record Plat, etc.?) If YES, include in supplemental information.

REVIEWED
By Michael Kyne at 11:25 am, Mar 30, 2023

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]

Building Number: 1017134 Street: 36 Philadelphia Ave
Town/City: Takoma Park Nearest Cross Street:
Lot: 18 Block: 3 Subdivision: Hill Crest Parcel:

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- New Construction
Addition
Demolition
Grading/Excavation
Deck/Porch
Fence
Hardscape/Landscape
Roof
Shed/Garage/Accessory Structure
Solar
Tree removal/planting
Window/Door
Other: convert rain garden to drywell
steps + retaining wall

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: Karen Rowley
Date: 2/14/23

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

*Reppert
 36 Philadelphia Ave
 Tak. Park 20912*

Owner's Agent's mailing address

*Karen Rowley
 293 Southland Ct
 Dunkirk MD 20754*

Adjacent and confronting Property Owners mailing addresses

*34 Philadelphia Ave
 Tak. Park MD 21912
 Moise Claude Jr.*

*39 Philadelphia Ave
 Tak. Park MD 21912
 Thomas Bray*

*37 Philadelphia Ave
 Tak. Park MD 21912
 Christopher Durban*

116 Grant Avenue, Takoma Park 20912
 120 Grant Avenue, Takoma Park 20912

*38 Philadelphia Ave
 Tak. Park MD 21912
 Gary Lovett*

256 Park Avenue, Takoma Park 20912

REVIEWED

By Michael Kyne at 11:25 am, Mar 30, 2023

APPROVED

Montgomery County

Historic Preservation Commission

[Signature]

Work Item 1: _____

Description of Current Condition:

Attached

Proposed Work:

Work Item 2: _____

Description of Current Condition:

Attached

Proposed Work:

REVIEWED

By Michael Kyne at 11:25 am, Mar 30, 2023

APPROVED

Montgomery County

Historic Preservation Commission

[Signature]

Work Item 3: _____

Description of Current Condition:

Attached

Proposed Work:



DEPARTMENT OF PERMITTING SERVICES

Marc Elrich
County Executive

Rabbiah Sabbakhan
Director

HISTORIC AREA WORK PERMIT APPLICATION

Application Date: 2/6/2023

Application No: 1020827
AP Type: HISTORIC
Customer No: 1456964

Comments

Building permit 101734 for reference

Affidavit Acknowledgement

The Contractor is the Primary applicant authorized by the property owner
This application does not violate any covenants and deed restrictions

Primary Applicant Information

Address 36 PHILADELPHIA AVE
TAKOMA PARK, MD 20912

Othercontact Polizos (Primary)

Othercontact reppert

Othercontact Rowley

Historic Area Work Permit Details

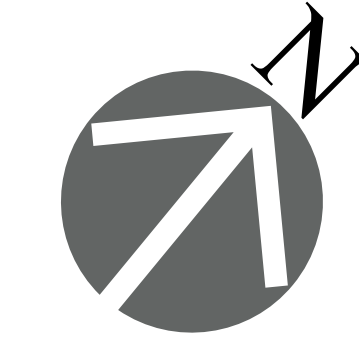
Work Type ALTER

Scope of Work convert exist rain garden to drywell, 3' high retaining wall, 6' fence, stone steppers

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APPROVED
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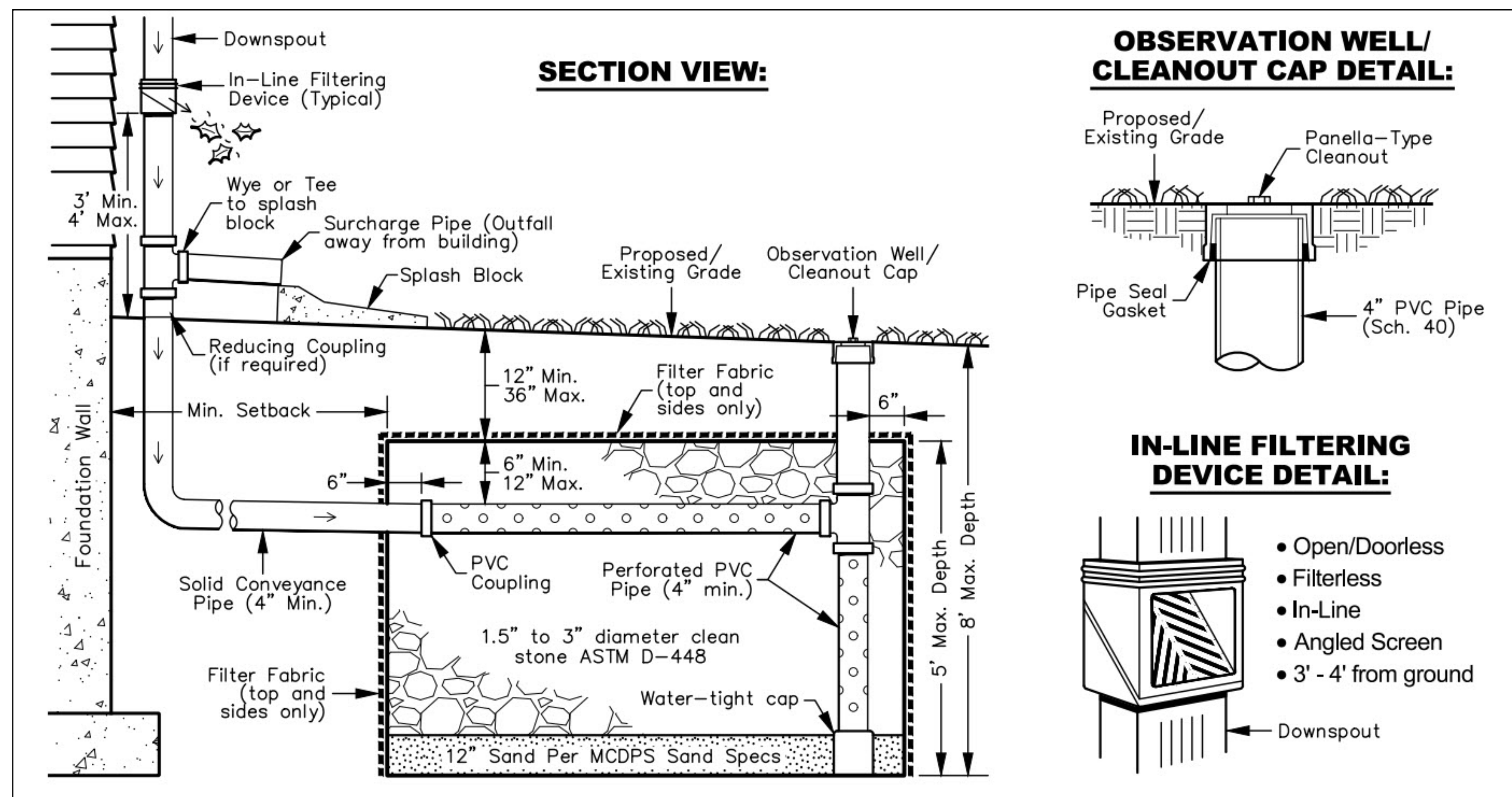
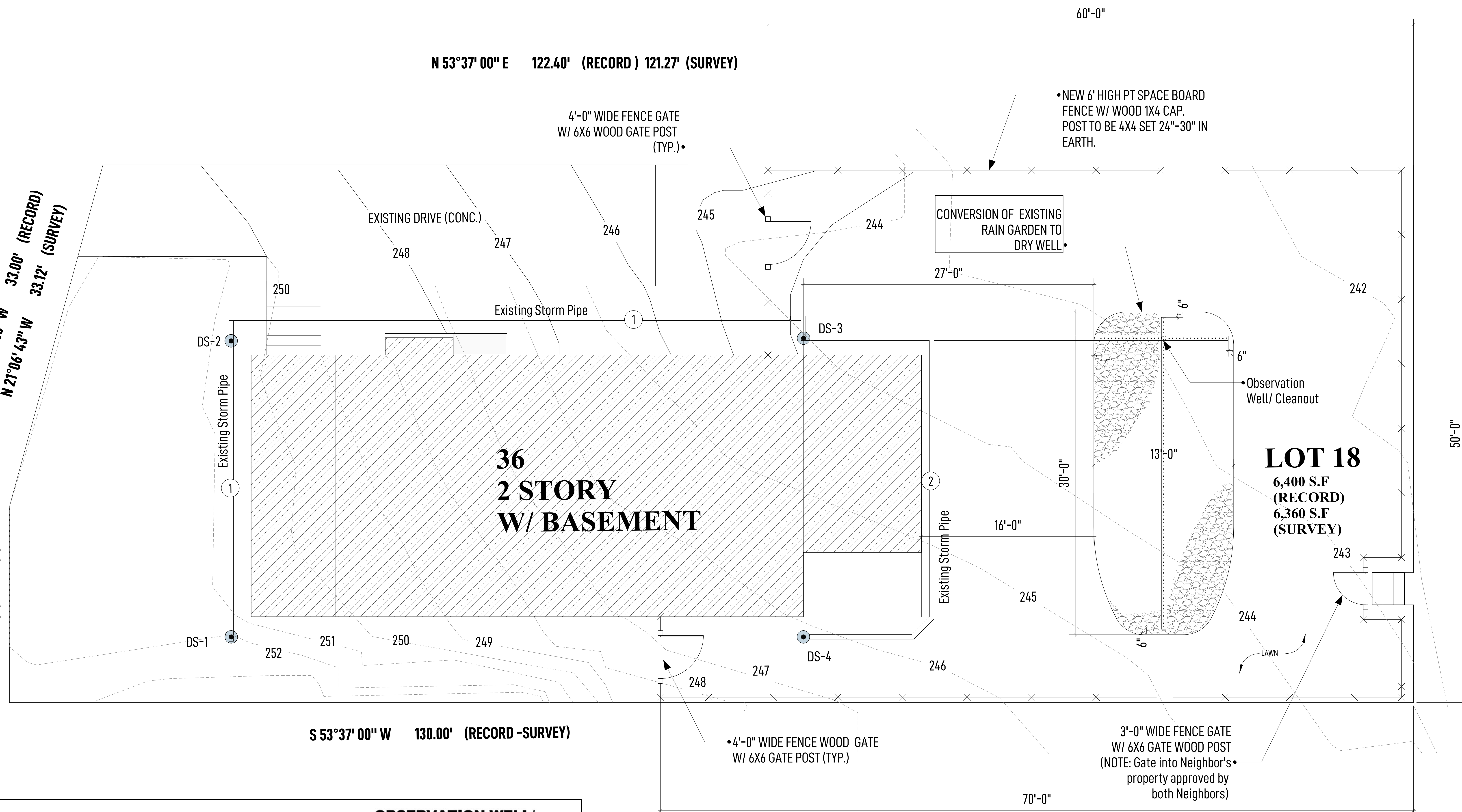

DRY WELL (Conversion of existing Rain garden) TO THE REPPERT RESIDENCE



APPROVAL STAMP

REVIEWED
By Michael Kyne at 11:25 am, Mar 30, 2023

APPROVED
Montgomery County
Historic Preservation Commission
Robert A. ...



DRY WELL PLAN

1/4"=1'-0"

DRY WELL DETAILS

NTS

REPPERT RESIDENCE
36 Philadelphia Ave. MD 20912

CADD

JAP

DRAWING TITLE

DRY WELL PLAN

6	Post County Review comments addressed	Feb 28 2023
5	All Retaining walls removed.	01/19/23
4	Sheet size and scale changed per County review	01/08/23
3	Fence height changed to 6'-0"	12/12/22
2	PERMIT	12/10/22
1	PRE-PERMIT	12/09/22
##	REVISION	DATE

SCALE

1/4"=1'-0"

DATE

12/07/22

A01

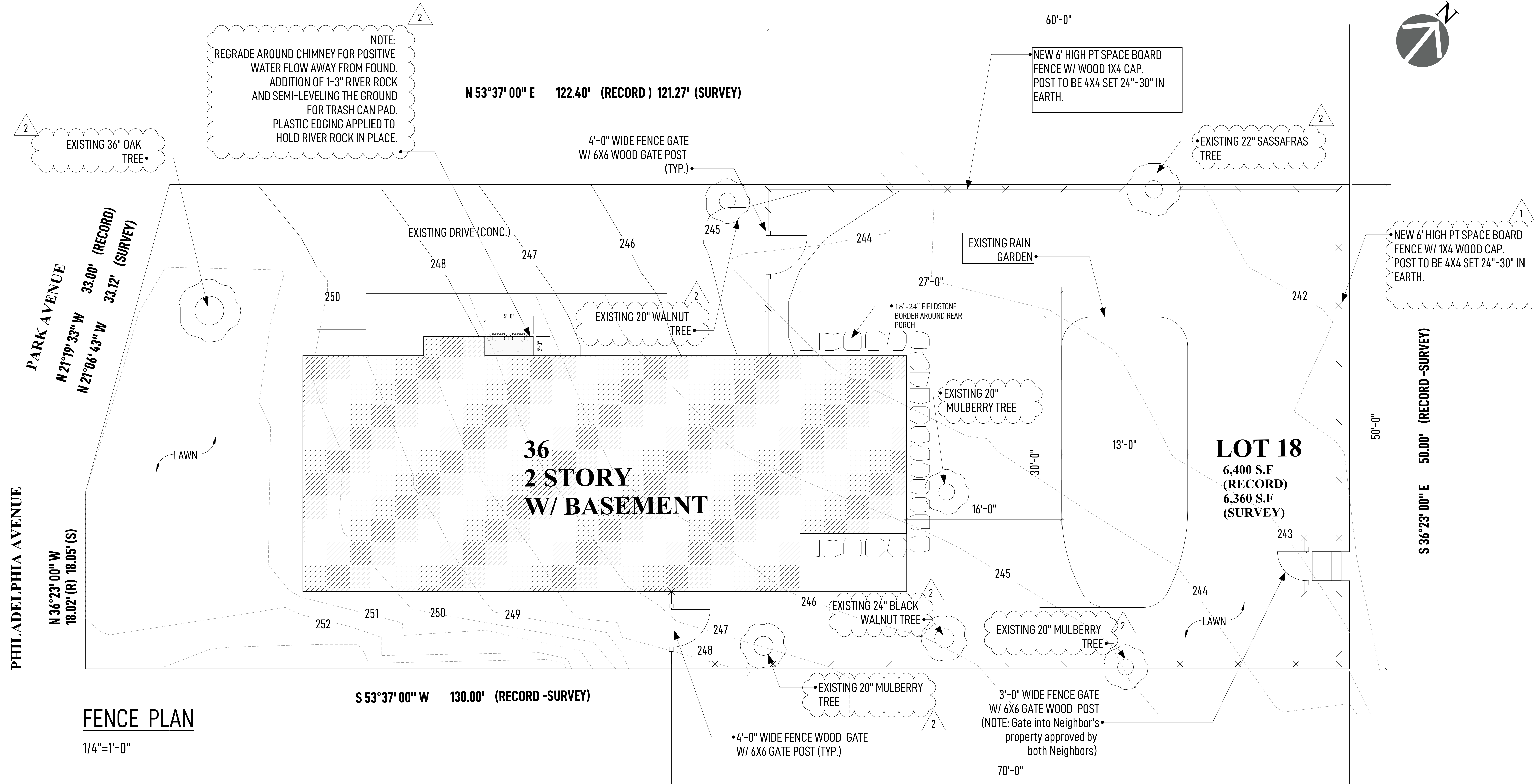
NOTE: REMOVE EXISTING FENCE

FENCE WALL TO THE REPPERT RESIDENCE

APPROVAL STAMP

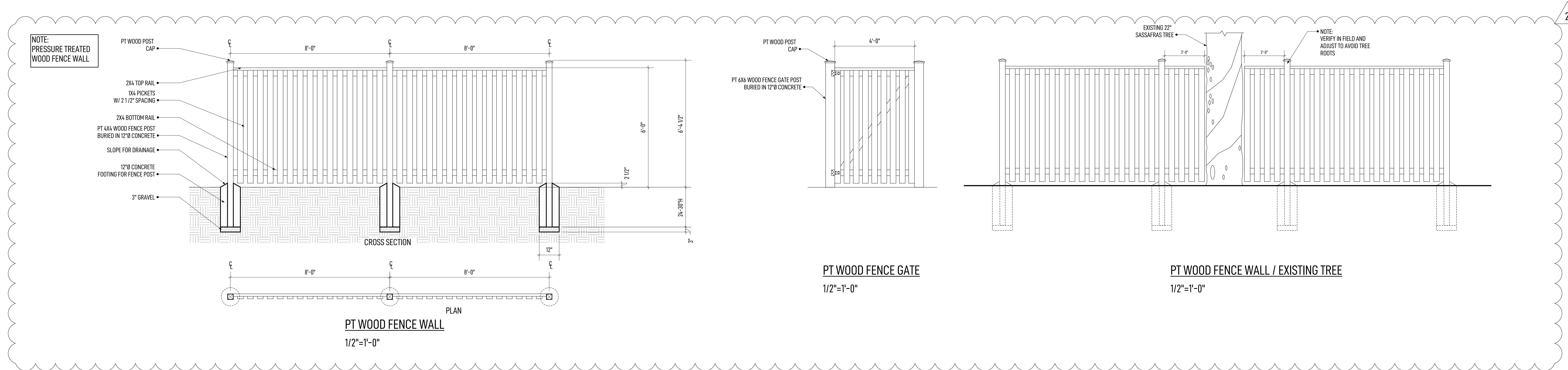
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Montgomery County
Historic Preservation Commission
Robert A. Norton



FENCE PLAN

1/4"=1'-0"



PT WOOD FENCE WALL
1/2"=1'-0"

PT WOOD FENCE GATE
1/2"=1'-0"

PT WOOD FENCE WALL / EXISTING TREE
1/2"=1'-0"

REPPERT RESIDENCE

36 Philadelphia Ave. MD 20912

CADD

JAP

DRAWING TITLE

FENCE WALL PLAN

7	Stone pavers added	Mar 27 2023
6	Post County Review comments addressed	Feb 28 2023
5	All Retaining walls removed.	01/19/23
4	Sheet size and scale changed per County review	01/08/23
3	Fence height changed to 6'-0"	12/12/22
2	PERMIT	12/10/22
1	PRE-PERMIT	12/09/22
##	REVISION	DATE

SCALE

1/4"=1'-0" 1/2"=1'-0"

DATE

12/07/22

A01

From: [Matt Hemric](#)
To: [Liebertz, John](#)
Subject: FW: Tree Impact Assessment :: W010185-010523
Date: Monday, March 27, 2023 7:45:38 AM

[EXTERNAL EMAIL] Exercise caution when opening attachments, clicking links, or responding.

From: Wes Reppert <wesleyjreppert@gmail.com>
Sent: Monday, March 27, 2023 7:44 AM
To: Matt Hemric <matt@hometownlandscape.com>
Subject: Fwd: Tree Impact Assessment :: W010185-010523

REVIEWED

By Michael Kyne at 11:25 am, Mar 30, 2023

Begin forwarded message:

APPROVED
Montgomery County
Historic Preservation Commission



From: Takoma Park Online Request Manager <TakomaParkMD@mycusthelp.com>
Date: January 13, 2023 at 12:19:01 PM EST
To: wesleyjreppert@gmail.com
Cc: Matt@hometownlandscape.com
Subject: Tree Impact Assessment :: W010185-010523



01/13/2023

APPLICATION NUMBER [W010185-010523](#)

Wesley Reppert
36 Philadelphia Ave
Takoma Park, MD 20912

RE: Tree Impact Assessment Request
Reference Number: W010185-010523
36 Philadelphia Ave

Takoma Park MD 20912

Dear Wesley Reppert:

This letter is in response to the Request for Tree Impact Assessment received on 1/5/2023. After my inspection I have determined that the work described in your submission does not require a Tree Protection Plan Permit. However, you are required to comply with the guidance provided below:

- The excavation for the dry well(s) is not a concern as long as it stays within the footprint of the existing large rain garden.
- Equipment to be used must be no larger than a Dingo skid steer.
- The existing drain pipe must be used to feed the drywalls, no excavation for new pipes outside the footprint of the existing rain garden is permitted.
- A few trees up to 20-in diameter are in the vicinity of the work and have roots growing in the equipment traffic area. Equipment must not travel over unprotected soil within 12 feet of any trees. Protection may consist of 3/4-in plywood or polyethylene construction mats.
- The retaining wall discussed for the back of the property is not approved for installation. Light grading, stump grinding, landscaping, and removal of rubble are permitted.

If you have any questions, please contact the Urban Forest Manager by replying to this email.

REVIEWED

By Michael Kyne at 11:25 am, Mar 30, 2023

APPROVED

Montgomery County

Historic Preservation Commission

