



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert K. Sutton
Chairman

Date: March 16, 2023

MEMORANDUM

TO: Rabbiah Sabbakhan , DPS Director
Dan Bruechert

FROM: Historic Preservation Section
Maryland-National Capital Park & Planning Commission
Historic Area Work Permit #1016595 - Building Addition

SUBJECT:

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the March 8, 2023 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Fernando Angulo
Address: 7300 Holly Ave., Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301563.3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



7300 HOLLY AVENUE

LE DESIGN LLC
 LEADING PROJECTS CONSTRUCTION
 5310 DORIS DR.
 WALDORF, MD 20601
 PHONE: 703-725-2822
 WWW.LEDESIGN.US
 angulof@yahoo.com

SPECIFICATION

- DESIGN LOADS:
 - ROOF:
 - 30PSF LIVE LOAD AND 17 PSF DEAD LOAD = 47PSF
 - FIRST FLOOR,
 - 40PSF LIVE LOAD AND 10 PSF DEAD LOAD = 50PSF
 - SECOND FLOOR:
 - 40 PSF LIVE LOAD AND 10 PSF DEAD LOAD= 50 PSF
 - EXCEPT SLEEPING AREAS 30 PSF LIVE LOAD AND 10 PSF DEAD LOAD =40 PSF.
- LATERAL LOADS
 - WINDS 20PSF
- SOIL VALUE
 - ASSUMED TO BE 1500 PSF BEARING CAPACITY
 - WATER TABLE, min 2"-0" BELOW BOTTOM FO ALL CONCRETE SLABS AND FOOTINGS.
 - SOIL TYPES, FOOTINGS, FOUNDATION WALLS, AND SLABS SHALL NOT BE PLACED ON OR IN MARINE CLAY, PEAT OR OTHER ORGANIC MATERIALS.
- FOOTINGS
 - BOOTOMS OF ALL FOOTINGS SHALL EXTEND 1'-0" MINIMUM INTO UNDISTURBED SOIL AND WHERE SUBJECT TO FROST ACTION, AT LEAST 2'-6" BELOW FINISH GRADE.
 - FOOTINGS FOR SOLID MASONRY PIERS SHALL PROJECT 9" EACH SIDE FO THE PIER ABOVE AND SHALL BE 1'-6" DEEP UNLESS OTHERWISE NOTED.
- CONCRETE
 - ALL CONCRETE SHALL BE 3000 PSI @28DAYS. (EXCEPT STPOO AND GARAGE WHICH SHALL BE 3500 PSI @28 DAYS) MAXIMUM SLUMP OF 5"
 - CONCRETE TEST CYLINDERS SHALL BE TAKEN IN ACCORDANCE WITH ACI CODE AND CONTRACT SPECIFICATIONS.
 - REINFORCING STEEL SHALL BE HIGH STRENGTH NEW BILLET DEFORMED BARS CONFORMING TO ASTM A615 GRADE 60.
 - WELDED WIRE MESH CONFORM TO ASTM 185.
 - ALL EXPOSED EXTERIOR CONCRETE SHALL BE 7+/-1% AIR EXTRACTED.
 - DETAILS OF REINFORCING SHALL CONFORM TO ACI 318-77 AND CRSI STANDARDS.
 - CONCRETE PROTECTION FOR REINFORCEMENT SHAHL BE AS FOLLOWS

	NOT EXPOSED	# 5 OR SMALLER
SLABS	3/4"	1-1/2"
BEAMS	1-1/2"	1-1/2"
COLUMNS	1-1/2"	1-1/2"D
WALLS	3/4"	3"
FOOTINGS	-	3

 - REINFORCE CONCRETE FOUNDATIONS WALLS WITH #4 REBARS @24"O.C. HORIZONTALLY +/- 16" VERTICALLY (DESIGNED POR 60# LATERAL PRESSURE) OR PER CODE REQUIREMENTS.
 - FOOTINGS FOR 8" MASONRY OR CONCRETE WALS SHALL BE 16"x8"
 - FOOTING FOR 10" MASONRY OR CONCRETE WALLS SHALL BE 20"x10"
 - FOTINGS FOR 12" MASONRY OR CONCRETE WALLS SHALL BE 20"x10"
 - STEPS FOOTINGS 2 HORIZONTAL UNITS TO 1 VERTICAL UNIT
 - FOOTINGS FOR MASONRY PIERS AND CHIMNEY SHALL HAVE PROJECTIONS x 12" DEPTH
 - ALL FOOTINGS TO BE SIZED AS ABOVE UNLESS OTHERWISE NOTED.
- CONCRETE FOUNDATIONS WALLS
 - UNLESS OTHERWISE NOTED, SLABS ON GRADE SHALL BE 4" THICK POURED CONCRETE AND REINFORCED WITH 6x6 W1.4(#3/8)WELDED WIRE FABRIC IDN THE UPPER THIRD PORTION OF THE SLAB THICKNESS. CONCRETE TO BE POURED ON 6MIL POLYETHYLENE VAPOR BARRIER OVER 4" THICK GRAVEL.
 - PLACING LAP, ETC. SHALL CONFORM TO WRL STANDARDS.
 - FILLING UNDER SLABS ON GRADE SHALL BE MADE WITH MATERIAL APPROVED BY THE GEOTECHNICAL ENGINEER AND SHALL BE COMPACTED IN A MANNER THAT WILL NOT DAMAGE FOUNDATION WALLS.
- CONCRETE RETAINING WALLS
 - FOOTING DOWELS SHALL PROJECT A MINIMUM OF 30 BAR DIAMETERS TO WALL
 - PROVIDE WEAKEND PLANE CONTRACTION VERTICAL JOINTS AT APPROXIMATELY 25' O.C. STOP ALL HORIZONTAL BARS IN INSIDE FACE AT JOINTS.
 - PROVIDE CONTINUOUS DRAINAGE SYSTEM BEHIND WALLS IN ACCORDANCE WITH ARCHITECTURAL DRAWINGS.
- MASONRY
 - PIERS, PLASTERS, CHIMNEYS AND BEARING UNDER BEAMS SHALL BE SOLID MASONRY WITH TYPE S MORTAR ASTM C-270
 - BOND ALL MASONRYWITH METAL JOINT REINFORCEMENT EVERY 16 VERTICALLY.
 - WALLS LESS THAN 5'-0" BELOW FINISHED GRADE SHALL BE 8" THICK MASONRY.
 - 5'-0" TO 8'-0" SHALL BE 12" THICK MASONRY REINFORCED WITH #4'S@24"O.C. INTO THE FOOTINGS TO TOP OF THE WALL WITH CELLS OR VOIDS FILLED WITH PEA GRAVEL CONCRETE.
 - TIE ALL BRICK TO WOOD STUD BACK-UP WITH CORRUGATED MEATL TIES AT 24" O.C. (MAX).
 - ALL MORTAR BELOW GRADE TO BE TYPE h
 - PROVIDE 3 COURSES OF SOLID BRICK OR 1 COURSE OF 100% SOLID (NOT FILLED) BLOCK CONTINUOUS BY 8" WIDTH UNDER ALL WOOD TRUSSES AND CONCRETE SLABS BEARING ON MASONRY WALLS.
 - UNLESS OTHERWISE NOTED, PROVIDE 6 COURSES FO SOLID BRICK OR 2 COURSES OF 100% SOLID BLOCK, 8" WIDTH BY 2'-8" MINIMUM LENGHT AT ALL STRUCTURAL STEEL BEARING.
 - PIERS INDICATED AS SOLID MASONRY SHALL BE 100% SOLID FROM TOP OF FOOTING TO BEAM BEARING.
 - PIERS SHALL BE BONDED WITH HEADER COURSES.
 - PROVIDE THROUGH MASONRY CONTINUITY (CEMENT GROUP) WHERE PIERS EXTEND ABOVE STEELS BEAMS.
- MASONRY RETAINING WALLS
 - FOOTINGS DOWELS SHALL PROJECT A MINIMUM OF 30 BAR DIAMETERS INTO WALL
 - CONCRETE BLOCKS SHALL BE 2 CELL UNITS CONFORMING TO ASTM C-90.
 - KEEP CELLS TO RECEIVE BARS CLEAN OF MORTAR DROPPINGS. THE VERTICAL BARS TO DOWELS AT BOTTOMS AND SECURE WITH TIES ANS SPACERS AT TOP TO ASSURE THAT BARS REMAIN IN POSITION DURING GROUTING.
 - FILL ALL CELLS CONTAINING DOWELS AND VERTICAL BARS WITH PEA GRAVEL CONCRETE, 2500 PSI @ 28 DAYS, OR MASONRY GROUT PER ASTM C-476- CLOSE CLEANOUT ONLY AFTER GROUT FLOWS FULLY TO BOTTOM OF WALL VIBRATE CONCRETE DURING PLACEMENT TO ELIMINATE ALL AIR POCKETS.
 - MORTAR SHALL CONFORM TO ASTM C-270 TYPE H.
 - PROVIDE DUROWAL (OR EQUAL) 8"O.C. VERTICALLY.
- BACKFILL COMPACTION
 - PER GEOTECHNICAL REQUIREMENTS

- WOOD FRAMING
 - PROVIDE SIDE ANCHORAGE INTO MASONRY WALLS WITH METAL STRAP ANCHORS 6" ON CENTER MAXIMUM ATTACHED TO3 WOODS JOISTS. PROVIDE WOOD FLOOR JOIST END ANCHORAGE AT MASONRY BEARING WALLS WITH METAL TEE ANCHORS ON EVERY 3RD JOIST WITH ALT LEAST 4-8 PENNY NAILS AT 6"O.C.
 - PROVIDE TECO FRAMING ANCHORS, OR EQUIVALENT, AT EACH ROOF JOIST BEARING POINT STUDES SHALL BE BE MIN. S-P-F S-DRY, CONSTRUCTION GRADE
- WOOD TRUSSES (PREFABRICATED/PRE-ENGINEERED)
 - FLOOR TRUSSES SHALL BE DESIGNED AND SPECIFIED BY MANUFACTURER TO CARRY THE ABOVE LISTED DESIGN LOADS WITH A MAX. DEFLECTION OF L-360SPAN. REFER TO FLOOR TRUSS MANUFACTURER'S RECOMMENDATIONS FOR ERECTIONS BRACING, INSTALLATION METHODS, HANDLING OF TRUSSES, STORAGE, ALLOWABLE HOLE SIZES, STIFFENERS AND BEARING DETAILS.
 - TRUSSES ARE DESIGNED AND SHALL BE FABRICATED IN ACCORDANCE WITH NFPA STANDARDS
 - TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH TEH DESIGN SPECIFICATIONS FOR METAL PLATE CONNECTED WOOD TRUSSES (TPI-78), PUBLISHED BY THE TRUSS PLATE INSTITUTE, AND FABRICATED IN ACCORDANCE WITH TPI QUALITY CONTROL MANUAL (QCM-77).
 - ERECTION LAYOUT, CALCULATIONS, JOINT STRENGTH INFORMATION (ALLOWABLE LOAD) PER SQUARE INCH OR PER NAIL, ALLOWABLE EDGE DISTANCES AND END DISTANCES. LOAD TEST DATA, AND DETAILS FOR TRUSS-TO TRUSS CONNCTIONS AND ANY OTHER INFORMATION DEEMED NECESSARY BY THE ENGINEER SHALL BE SUBMITTED FOR REVIEW PRIOR TO FABRICATION.
 - TRUSS DESIGNED SHALL BE CERTIFIED BY A REGISTERED ENGINEER AND SHALL BE SHOP INSPECTED BY AN APPROVED INDEPENDENT TESTING LABORATORY.
 - ROOF TRUSSES SHALL BE SECURED AT BEARING WITH ONE TECO OR EQUIVALENT FRAMING ANCHOR END.
 - ALL TRUSSES SHALL BE SECURELY BRACED BOTH DURING ERECTION AND AFTER PERMANENT INSTALLATION IN THE STRUCTURE IN ACCORDANCE WITH BRACING WOOD TRUSSES .
- MICRO-LAM BEAMS
 - SHALL HVE AN EXTREME FIBER BEDING OF FB-2800PSI, E-2,000,000PSI, Fv-285 PSI AND SHALL BE INSTALLED AS RECOMMENDED BY MANUFACTURER.
- PLYWOOD WEB JOISTS
 - JOISTS SHALL MANUFACTURED AND ERECTED IN ACCORDANCE WITH THE CONTRACT SPECIFICATIONS, THEY SHALL BE CAPABLE OF SUPPORTING THE DESIGN LIVE LOADS SHOWN ON THE DRAWINGS IN ADDITION TO THE DEAD LOAD SHOW BUT NOT LESS THAN 10PSF.
- STRUCTURAL STEEL
 - STRUCTURAL STEEL BELOW GRADE SHALL HAVE A MINIMUM OF 3" CONCRETE OR 4" SOLID MASONRY COVER
 - ALL WELDING SHALL CONFORM TO AWS STRUCTURAL WELDING CODE WELDS SHALL BE INSTALLED BY WELDERS QUALIFIED IN ACCORDANCE WITH AWS PROCEDURES FOR WELDERS QUALIFICATION.
 - ONE SHOP COAT OF PAINT, SOUTHERN COATING, OR AN APPROVED EQUIVALENT TWO MILS DRY FILM THICKNESS SHLL BE APPLIED TO ALL STRUCTURAL MEMBERS.
 - STRUCTURAL STEEL SHALL CONFORM TO TEH AISC SPECIFICATIONS FOR BUILDINGS, AND UNLESS OTHERWISE NOTED, IT SHALL CONFORM TO ASTM A-36.

GENERAL NOTES:

- SCOPE OF WORK TO INCLUDE CONSTRUCTION AS INDICATED ON THE DRAWINGS AND SPECIFIED HEREIN. EACH CONTRACTOR TO FURNISH ALL LABOR AND MATERIALS NECESSARY FOR COMPLETE INSTALLATION. EACH CONTRACTOR SHALL RESPECT WORK OF OTHER CONTRACTORS AND BE RESPONSIBLE AND LIABLE TO REPLACE OR REPAIR ANY DAMAGE CAUSE BY THEIR WORK.
- CODES: ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH LOCAL CODES AND STATE CODES AND REGULATIONS HAVING JURISDICTION. THE CONTRACTOR SHALL PROTECT AND INDEMNIFY THE OWNER AND DESIGNER AGAINST ANY CLAIM OR LIABILITY ARISING FROM VIOLATION OF ANY SUCH CODE REGULATION.
- THE CONTRACTOR SHALL OBTAIN REQUIRED PERMITS, INSPECTIONS AND APPROVALS.
- QUALITY: WORKMANSHIP SHALL BE OF THE HIGHEST TYPE AND MATERIALS USED OR SPECIFIED OF THE BEST QUALITY THAT THE MARKET AFFORDS. ALL INSTALLATION AND APPLICATIONS SHALL CONFIRM TO MANUFACTURER'S SPECIFICATION.
- COORDINATION OF THE WORK: THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK OF ALL SUBCONTRACTORS AND MECHANICAL TRADES WHETHER THEY RECEIVE CONTRACT FROM THE CONTRACTOR
- EXAMINATION OF THE SITE AND DOCUMENTS: THE CONTRACTOR, BEFORE SUBMITTING HIS PROPOSAL, SHALL VISIT THE SITE AND EXAMINE FOR HIMSELF ALL CONDITIONS AND LAMINATIONS WHICH EFFECT THE CONTRACT. HE SHALL CAREFULLY EXAMINE ALL CONTRACT DOCUMENTS TITLES AND SUBDIVISIONS IN THESE DOCUMENTS ARE FOR CONVENIENCE AND NO REAL OR ALLEGED ERRORS IN ARRANGEMENT OF MATTER SHALL BE REASON FOR OMISSION OR DUPLICATION BY ANY CONTRACTOR.
- SEPARATE CONTRACTS: THE OWNER RESERVES THE RIGHT TO LEFT OTHER CONTRACTS IN CONNECTION WITH THE WORK. THE GENERAL CONTRACTOR SHALL AFFORD OTHER CONTRACTS REASONABLE OPPORTUNITY FOR THE EXECUTION OF THEIR WORK AND SHALL PROPERLY CONNECT AND COORDINATE HIS WORK WITH THEIRS.
- GUARANTEE: ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE UNLESS SPECIFIED OTHERWISE FOR LONGER PERIOD
- TRASH REMOVAL: EACH CONTRACTOR SHALL PROVIDE FOR TRASH REMOVAL. IF TRASH AND DEBRIS ARE NOT REMOVED, THE OWNER MAY (AT HIS OPTION) PAY FOR ITS REMOVAL AND BACK CHARGE THE CONTRACTOR UNLESS OWNER AGREE IN CONTRACT TO PAY FOR TRASH REMOVAL OF TIME OF CERTAIN ITEMS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCIES TO THE DESIGNER
- ALL SECTIONS, DETAILS, MATERIALS, METHODS, ETC. SHOWN AND/OR NOTED ON ANY PLAN OR SECTION SHALL APPLY TO ALL SIMILAR

SCOPE OF WORK:

DESCRIPTION: EXISTING OFFICE TO BE CONVERTED IN A NEW BEDROOM/SUITE AND IT WILL HAVE AN ADDITION TO THE LEFT TO CREATE THE AREA NEEDED EXISTING BATHROOM WILL BE PART OF THE BEDROOM/SUITE.

DRAWING LIST

- 0001 COVER SHEET
- 0002 CODE ANALYSIS
- A001 EXISTING BASEMENT FLOOR PLAN
- EXISTING FIRST FLOOR PLAN
- EXISTING SECOND FLOOR PLAN.
- A002 DEMO FIRST FLOOR PLAN
- PROPOSED FIRST FLOOR PLAN.
- A003 BUILDING SECTION A-A'
- DETAILS
- A004 EXISTING FRONT ELEVATION
- PROPOSED FRONT ELEVATION
- A005 EXISTING LEFT SIDE ELEVATION
- PROPOSED LEFT SIDE ELEVATION
- A006 EXISTING REAR ELEVATION
- PROPOSED REAR ELEVATION
- S001 FOUNDATION PLAN
- FIRST FLOOR FRAMING PLAN
- ROOF FRAMING PLAN
- S002 WALL BRACING PLANS.
- S003 DETAILS

NOTE:

- ALL WORK SHALL COMPLY WITH CURRENT MARYLAND WIDE UNIFORM BUILDING CODE, I.R.C. 2018 AS WELL AS WITH ANY LOCAL CODES, REGULATIONS OR ORDINANCES.

HEATING:

- THERMOSTAT LOCATION TO BE COORDINATED A/C CONTRACTOR & OWNER.

AIR CONDITIONING / VENTILATION:

- CONTRACTOR TO PROVIDE AND INSTALL AIR CONDITIONING
- CONTRACTOR TO FURNISH AND INSTALL EXHAUST FANS FOR EACH BATHROOM AND LAV, AS MANUFACTURED BY NUT ONE, BROAN OR APPROVED EQUAL.

APPROVED
 Montgomery County
 Historic Preservation Commission



REVIEWED
 By Dan.Bruechert at 10:44 am, Mar 16, 2023

TAKOMA PARK
 MD 20912

OWNER:
MR. & MRS. ROBERTS

HOUSE LOCATION:
7300 HOLLY AVE.

COVER SHEET

DRAWING BY:
 FERNANDO ANGULO

REVISION
 DATE

ISSUE DATE
 02/13/2023

PROJECT NUMBER

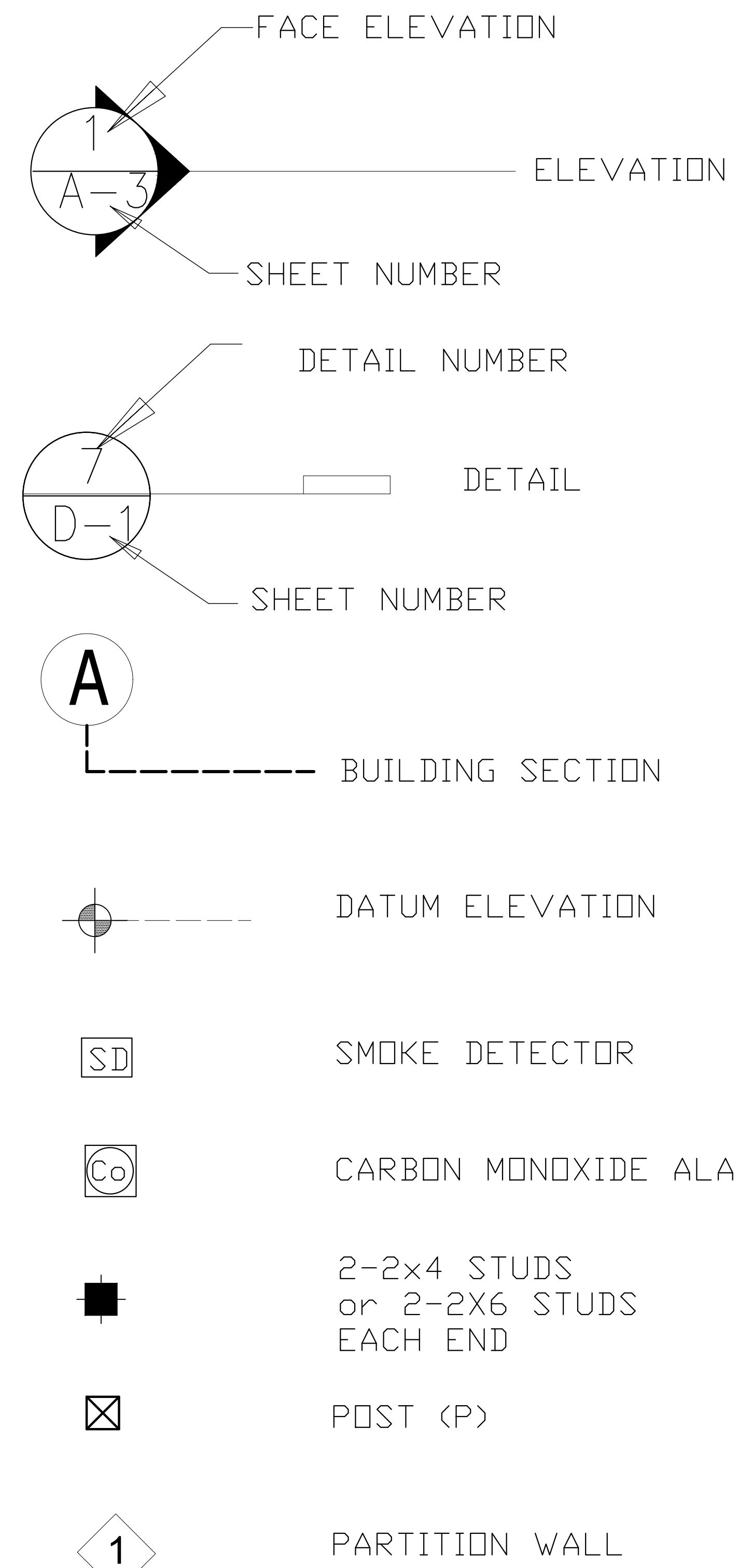
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BUILDING DATA

BUILDING DATA			
CODE STANDARD I.R.C. 2018 EDITION			
SQUARE FOOTAGE	EXISTING	PROPOSED	TOTAL
FIRST FLOOR	1,276 SQ.FT.	1,484 SQ.FT.	1,484 SQ.FT.
SECOND FLOOR	917 SQ.FT.	—	917 SQ.FT.
BASEMENT	858 SQ.FT.	—	858 SQ.FT.
TOTAL			3,259 SQ.FT.
DETACHED GARAGE	240 SQ.FT.	—	240 SQ.FT.
COVERED PORCH	189 SQ.FT.	—	189 SQ.FT.
BUILDING USE	RESIDENTIAL		

BUILDING INFORMATION	
USE GROUP	RS: I.R.C. 2018 FOR ONE AND TWO FAMILY DWELLING
CONSTRUCTION TYPE	VB
SQUARE FOOTAGE OF TOTAL CONDITIONED SPACE	3,259 SQ.FT.
BUILDING HEIGHT	24.0 FT.
NUMBER OF STORIES	2 STORY
DATE	11/30/2022

SYMBOLS

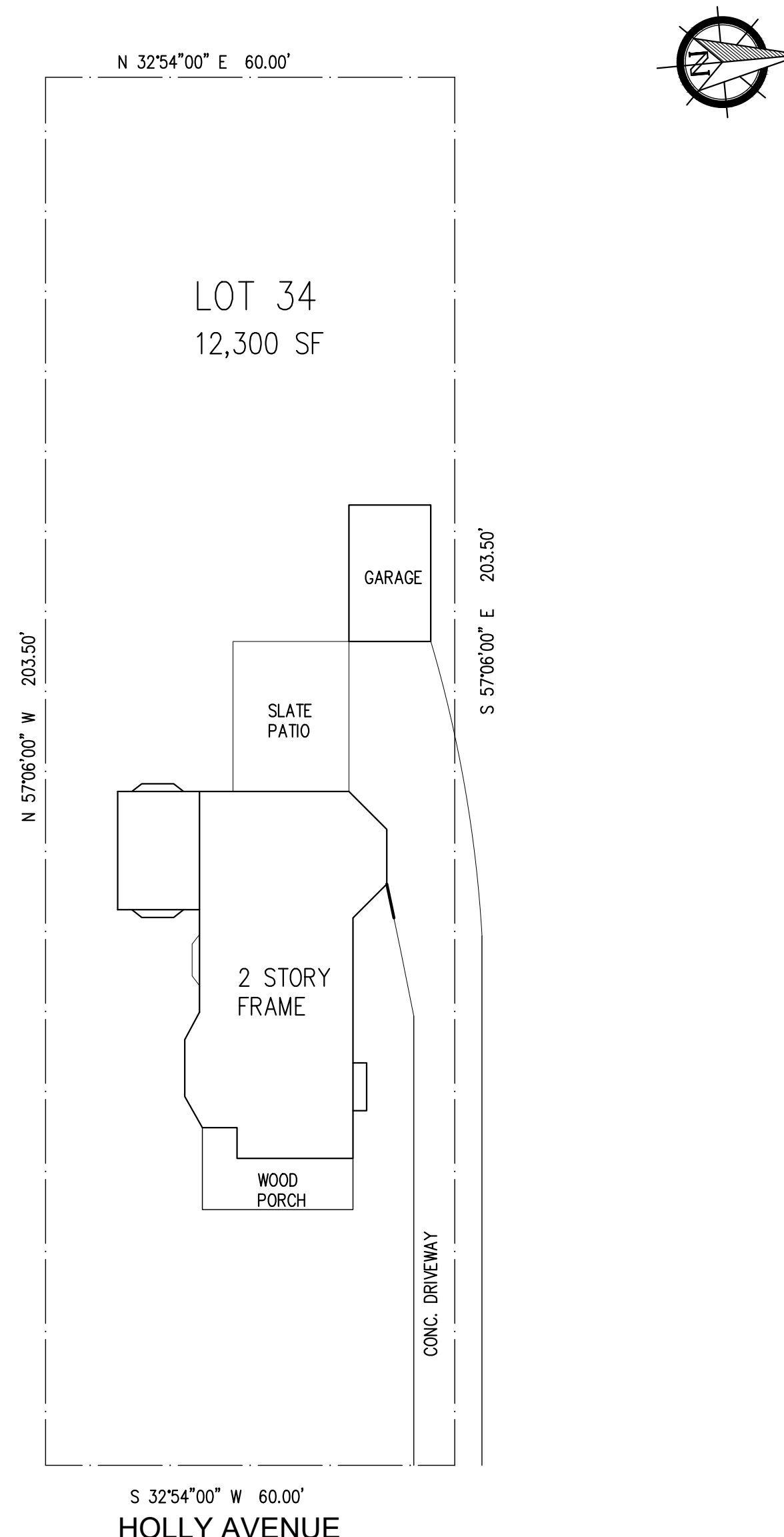
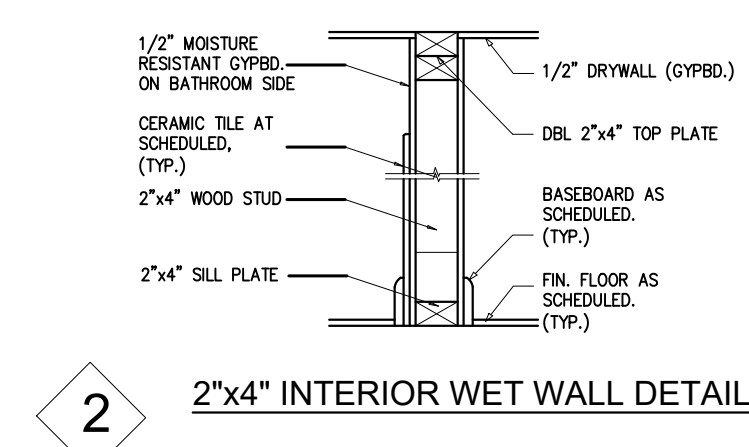
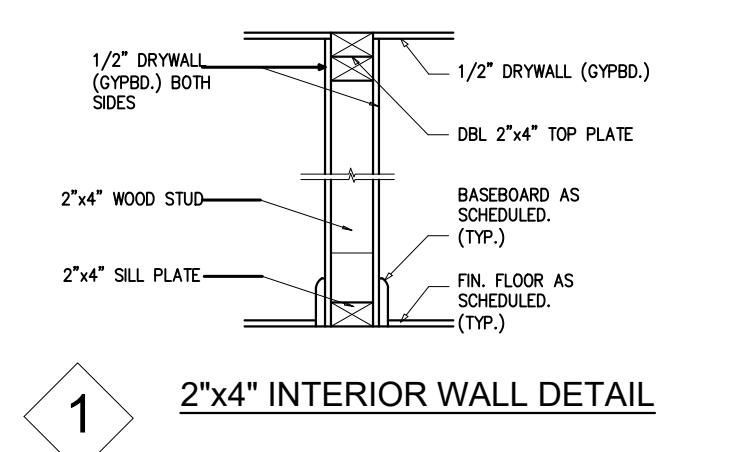


DESIGN CRITERIA

- DESIGN LOADS:
 - ROOF: 30PSF LIVE LOAD AND 17 PSF DEAD LOAD = 47PSF
 - FIRST FLOOR: 40PSF LIVE LOAD AND 10 PSF DEAD LOAD = 50PSF
 - SECOND FLOOR: 40 PSF LIVE LOAD AND 10 PSF DEAD LOAD = 50 PSF EXCEPT SLEEPING AREAS 30 PSF LIVE LOAD AND 10 PSF DEAD LOAD = 40 PSF.
- LATERAL LOADS
 - WINDS 20PSF
- SOIL VALUE
 - ASSUMED TO BE 1500 PSF BEARING CAPACITY
 - WATER TABLE, min 2"-0" BELOW BOTTOM FO ALL CONCRETE SLABS AND FOOTINGS.
 - SOIL TYPES, FOOTINGS, FOUNDATION WALLS, AND SLABS SHALL NOT BE PLACED ON OR IN MARINE CLAY, PEAT OR OTHER ORGANIC MATERIALS.
- FOOTINGS
 - BOOTOMS OF ALL FOOTINGS SHALL EXTEND 1'-0" MINIMUM INTO UNDISTURBED SOIL AND WHERE SUBJECT TO FROST ACTION, AT LEAST 2'-6" BELOW FINISH GRADE.
 - FOOTINGS FOR SOLID MASONRY PIERS SHALL PROJECT 9" EACH SIDE FO THE PIER ABOVE AND SHALL BE 1'-6" DEEP UNLESS OTHERWISE NOTED.

INSULATION & FENESTRATION NOTES:

- INSULATION AND FENESTRATION REQUIREMENTS
 - CLIMATE ZONE: 4
 - FENESTRATION U-FACTOR 0.35
 - GLAZED FENESTRATION SHGC 0.40
 - CEILING R-VALUE 49
 - WOOD FRAME WALL R-VALUE 20
 - MASS WALL R-VALUE 13
 - FLOOR VALUE R-19
 - BASEMENT WALL R-VALUE 10 / 13
 - SLAB R-VALUE & DEPTH 10, 2FT.



HOUSE LOCATION

APPROVED
Montgomery County
Historic Preservation Commission

Ronald L. ...

REVIEWED
By Dan.Bruechert at 10:44 am, Mar 16, 2023

LE DESIGN LLC
IDEAS PROJECTS CONSTRUCTION
5310 DORIS DR.
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angulo@lellc.com

TAKOMA PARK
MD 20912

OWNER:
MR. & MRS. ROBERTS
HOUSE LOCATION:
7300 HOLLY AVE.

CODE ANALYSIS

DRAWING BY:
FERNANDO ANGULO

REVISION	
Δ	DATE

ISSUE DATE
02/13/2023
PROJECT NUMBER

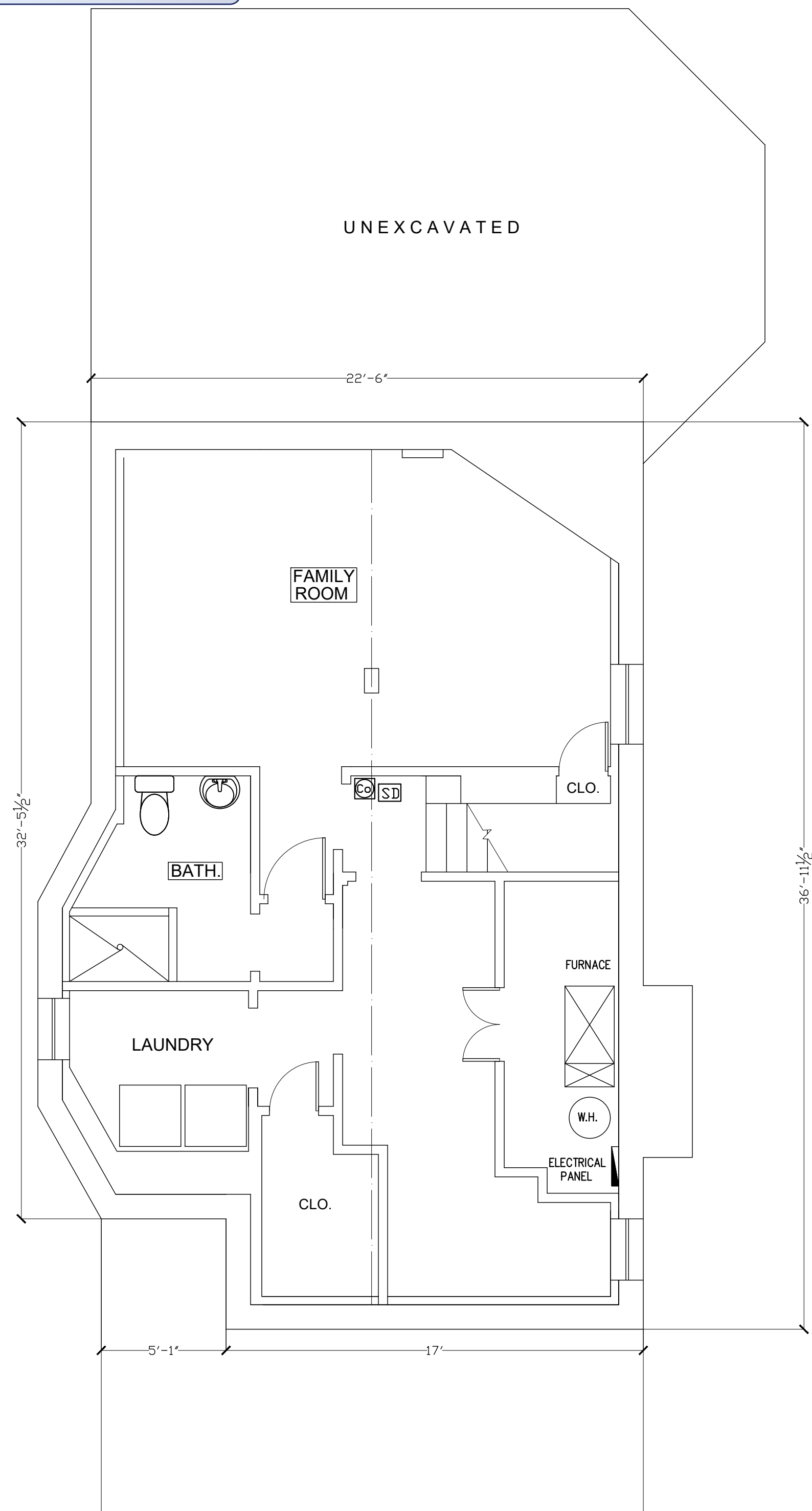
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a PARTITION TYPES

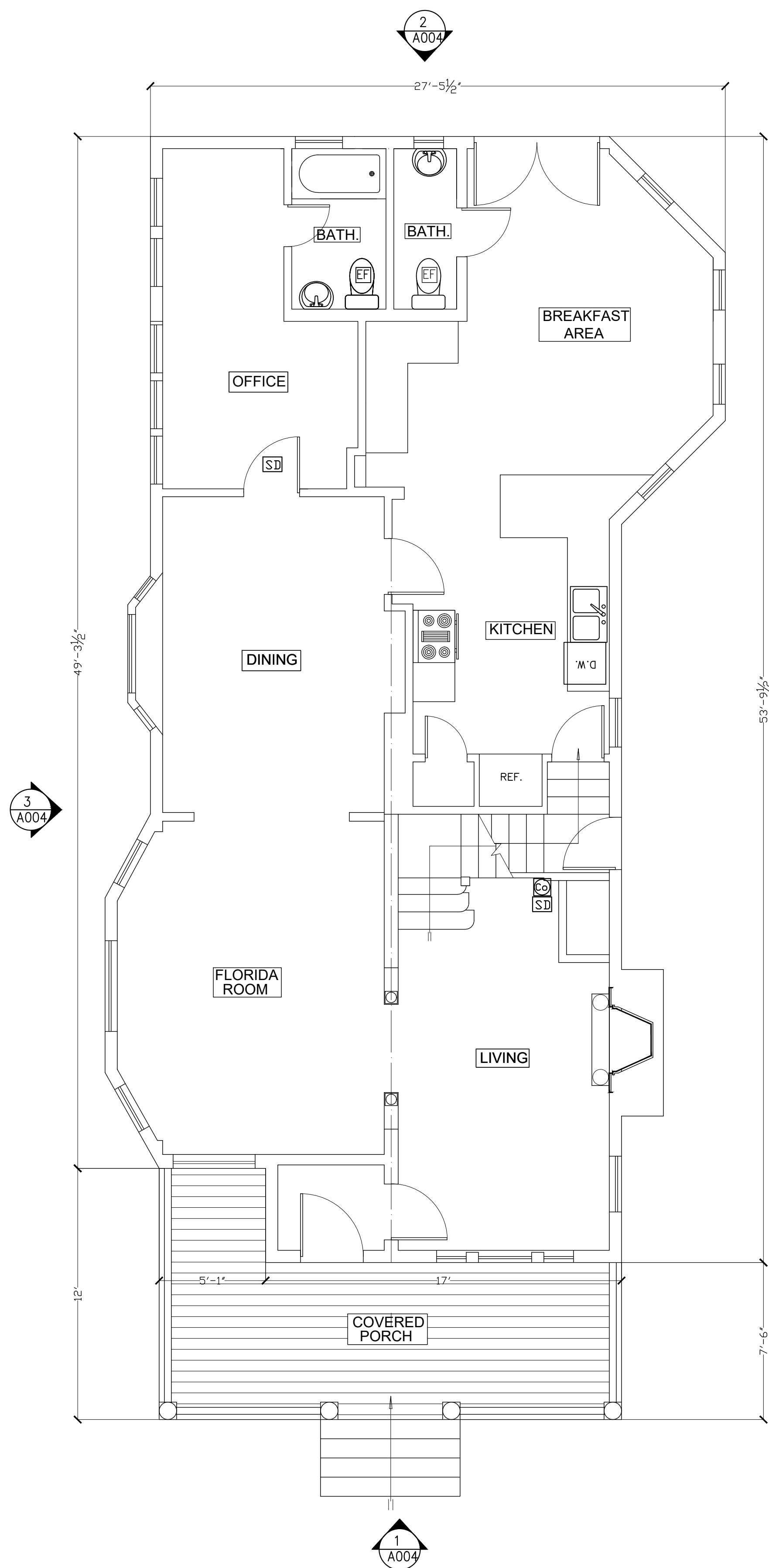
APPROVED
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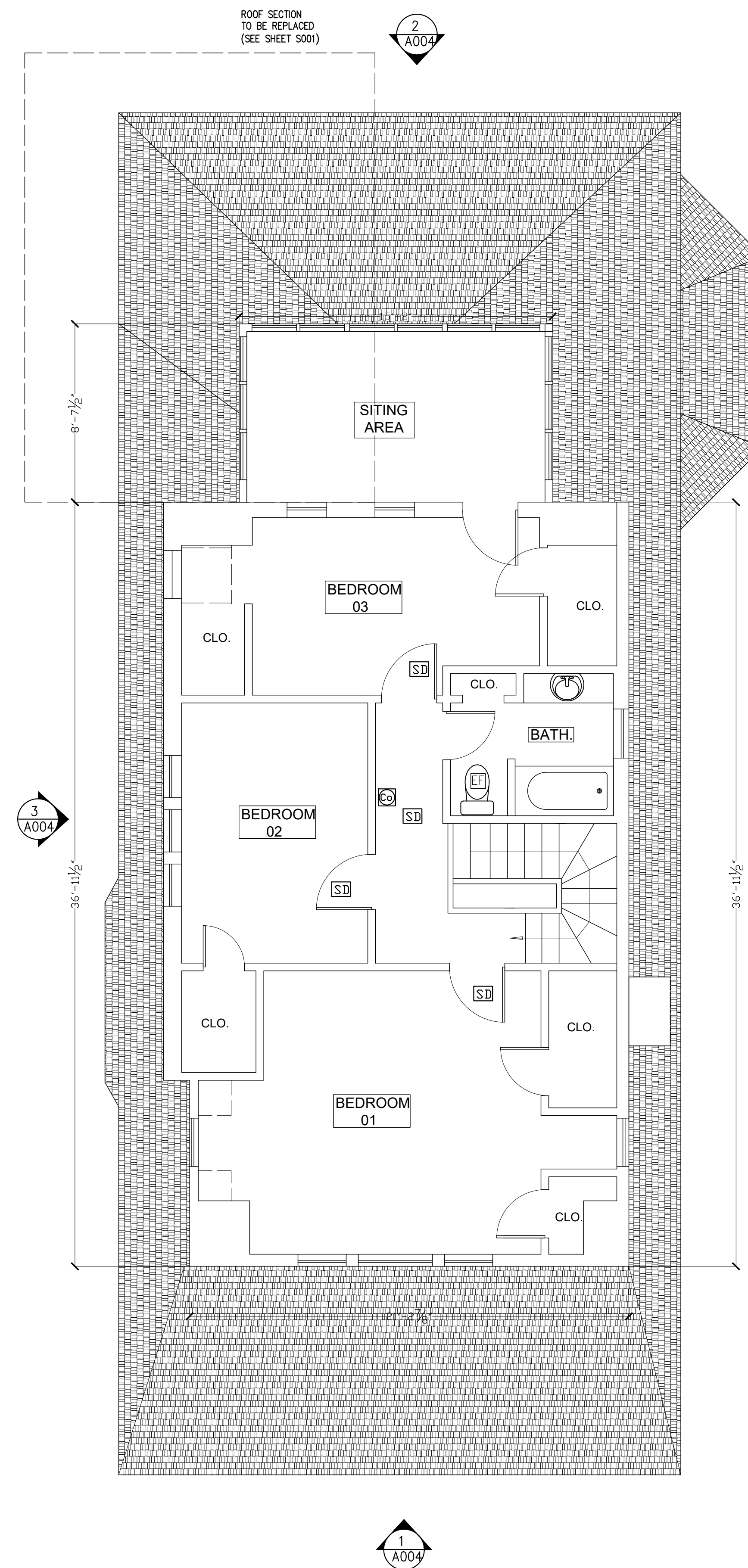
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EXISTING BASEMENT FLOOR PLAN
SCALE: 1/4"=1'-0"



EXISTING FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



EXISTING SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

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TAKOMA PARK
MD 20912**

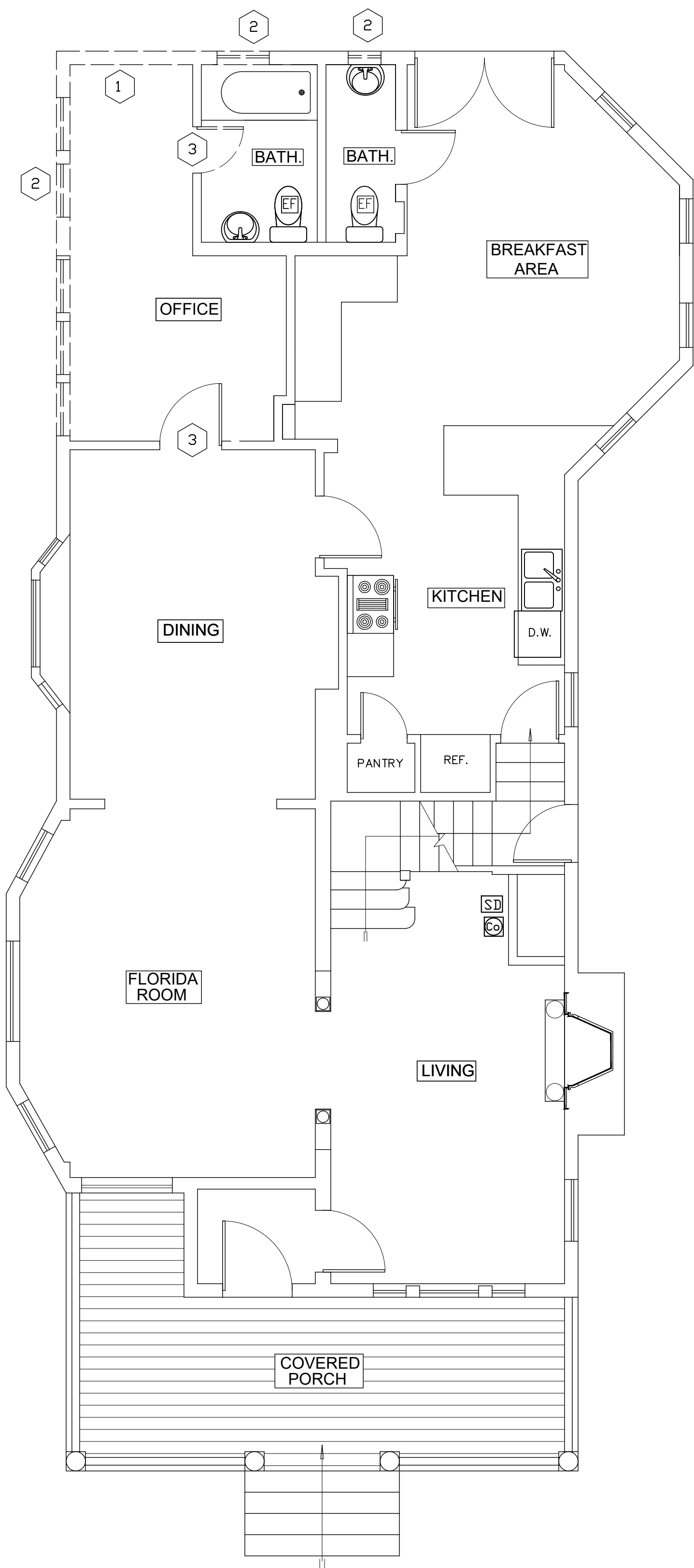
**EXISTING
FLOOR PLANS**

DRAWING BY:
FERNANDO ANGULO

REVISION
DATE

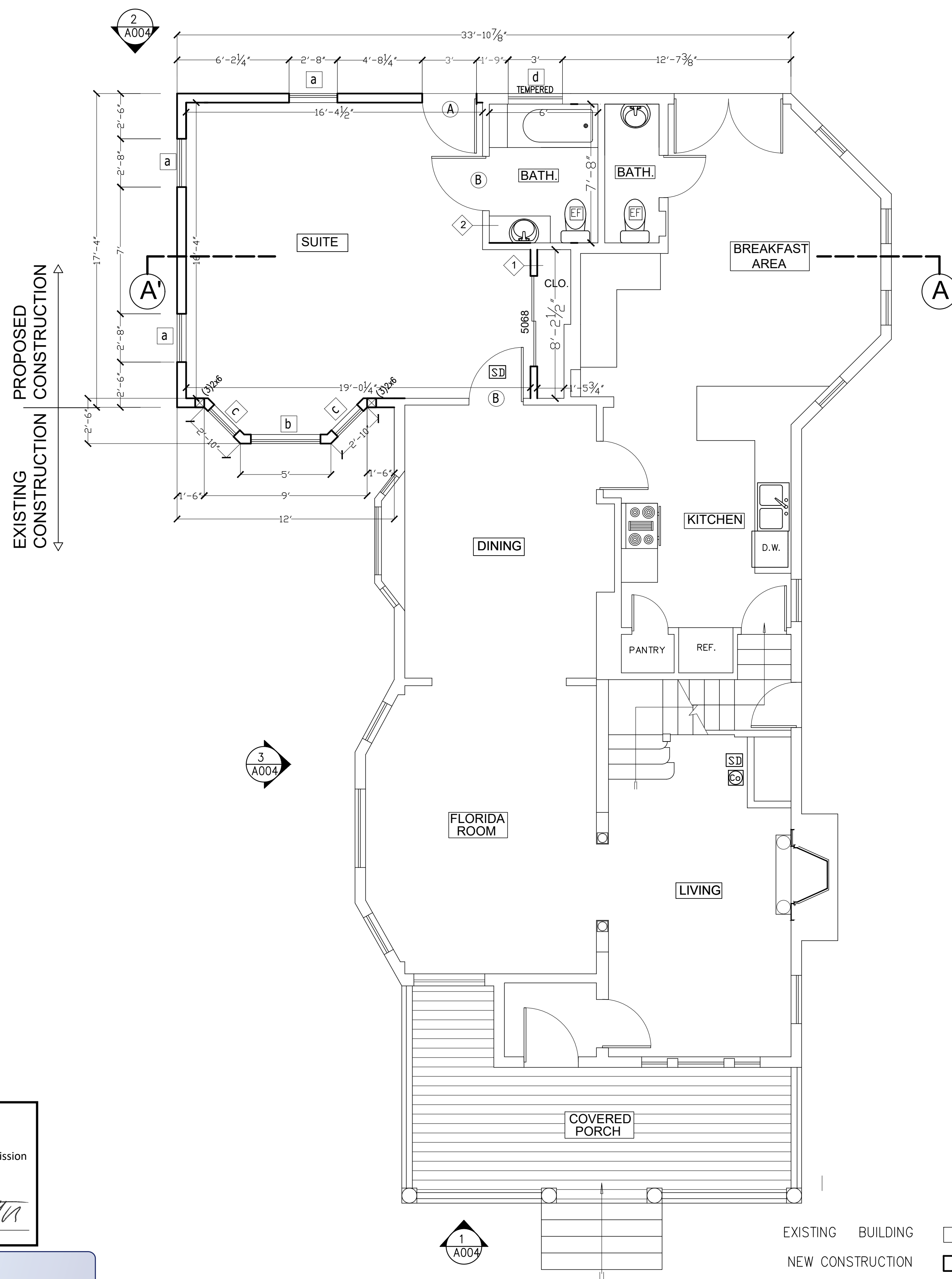
ISSUE DATE
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SHEET NUMBER
A001



DEMO FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"



PROPOSED FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

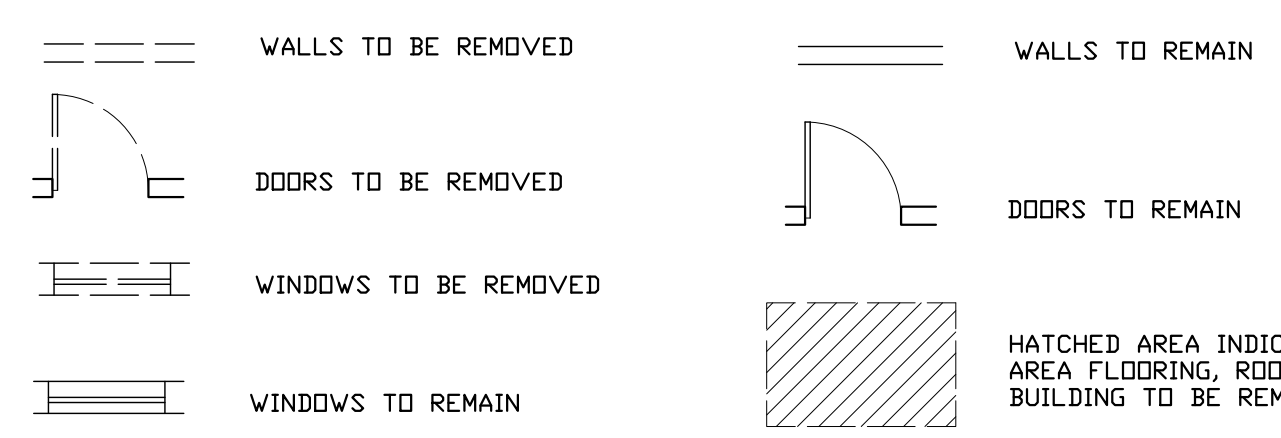
APPROVED
Montgomery County
Historic Preservation Commission

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DEMOLITION NOTES

- REMOVE ALL PORTIONS OF EXISTING WALLS, CEILINGS, FINISHES, LIGHT FIXTURES OUTLETS, ETC. AS REQUIRED TO EFFECT THE WORK SHOWN. ALL ELECTRICAL WIRING TO BE REMOVE BACK TO PANEL.
- DRAPE DUST BARRIERS OR CONSTRUCT TEMPORARY PARTITIONS TO PROTECT BALANCE OF HOUSE FROM FREE FLOW OF CONSTRUCTION DEBRIS OR DIRT THROUGH THE AIR.
- PROTECT ALL AREAS OF HOUSE NOT LOCATED IN AREAS TO BE DISTURBED DURING CONSTRUCTION RESTORE ALL DAMAGES AREAS TO ORIGINAL CONDITION.
- REMOVE EXISTING DOORS, WINDOWS, TRIM, ETC. AS REQUIRED TO EFFECT THE WORK SHOWN OR IMPLIED BY THESE DRAWINGS.
- CONTRACTOR SHALL ENGINEER AND PROVIDE ALL SHORING AS REQUIRED TO TEMPORARILY SUPPORT EXISTING BUILDING AREAS & STRUCTURES TO REMAIN. CONTRACTOR TO NOTIFY ARCHITECT IMMEDIATELY IF ANY WALLS ARE DISCOVERED TO BE BEARING WHICH WEREN'T ORIGINALLY SHOWN IN STRUCTURAL DRAWINGS AS BEARING DURING DEMOLITION WORK.

DEMOLITION NOTES



DEMOLITION NOTES

- 1 WALL TO BE DEMOLISHED
- 2 WINDOW TO BE REMOVED
- 3 DOOR TO BE REPLACED

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angulo@le.com

OWNER:
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HOUSE LOCATION:
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MD 20912**

**PROPOSED FIRST
FLOOR PLAN**

DRAWING BY:
FERNANDO ANGULO

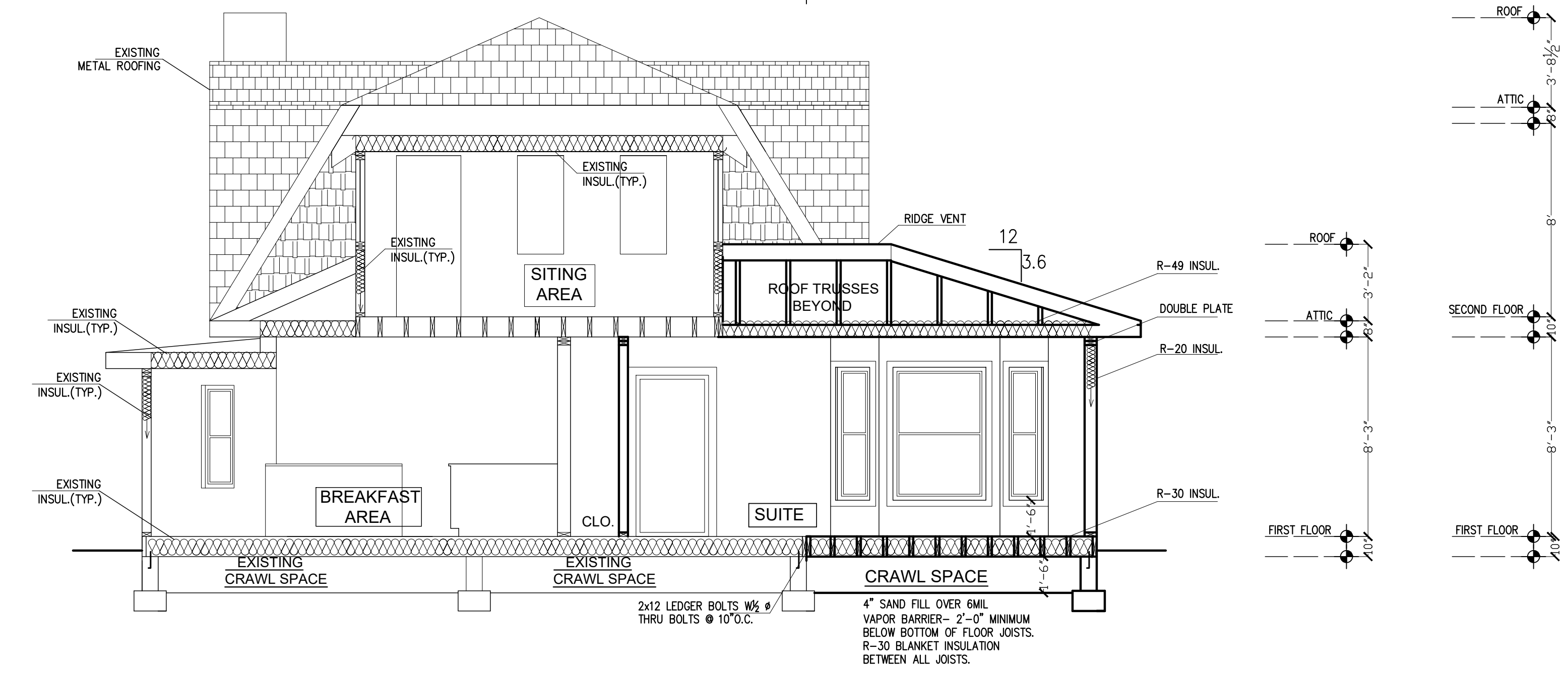
REVISION	
Δ	DATE

ISSUE DATE
02/13/2023
PROJECT NUMBER

SHEET NUMBER
A002

REVISION	
Δ	DATE

EXISTING CONSTRUCTION ← | → PROPOSED CONSTRUCTION

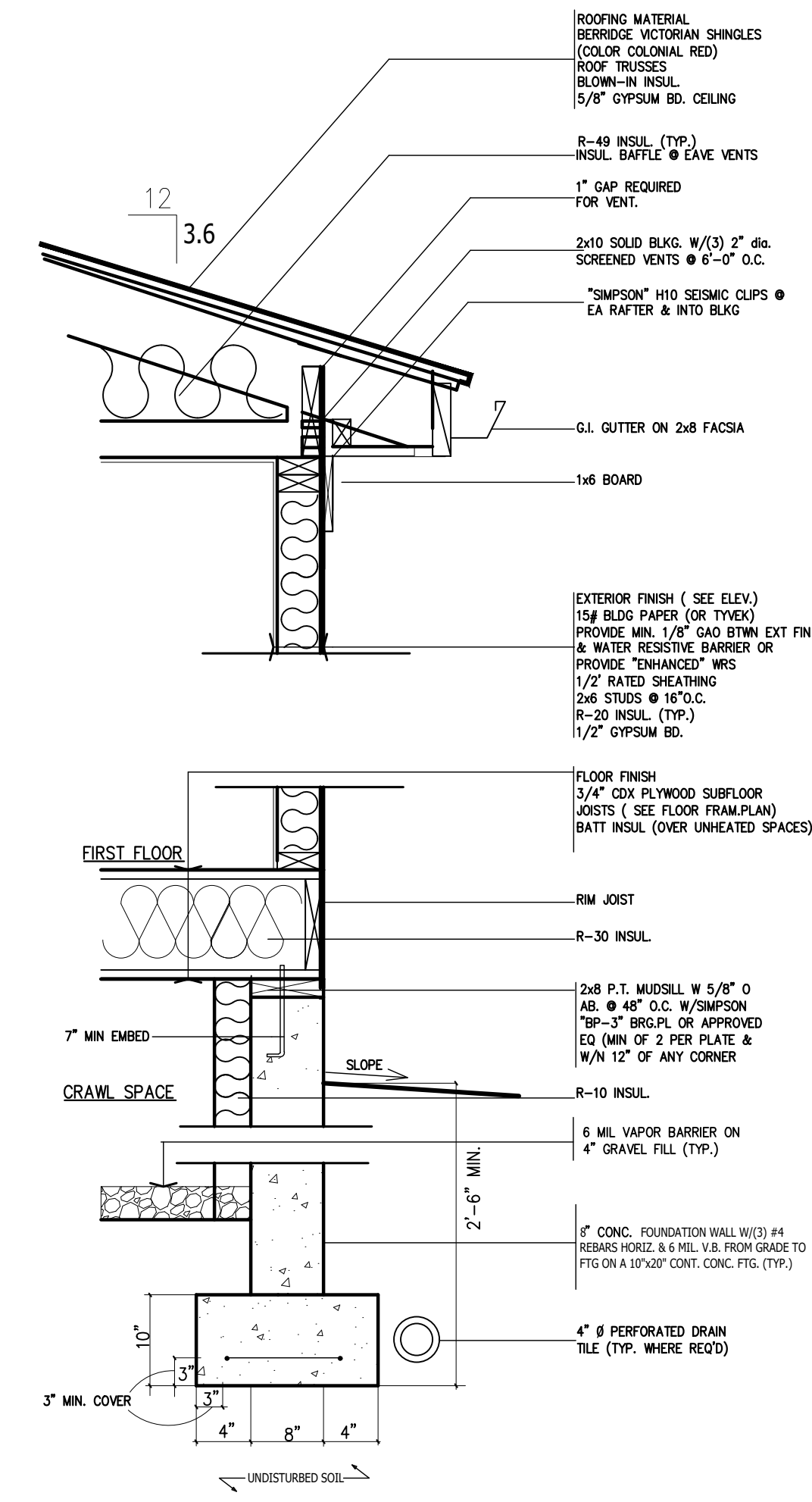


BUILDING SECTION A-A'
 SCALE: 1/4"=1'-0"

EXISTING BUILDING [Line Style]
 NEW CONSTRUCTION [Line Style]

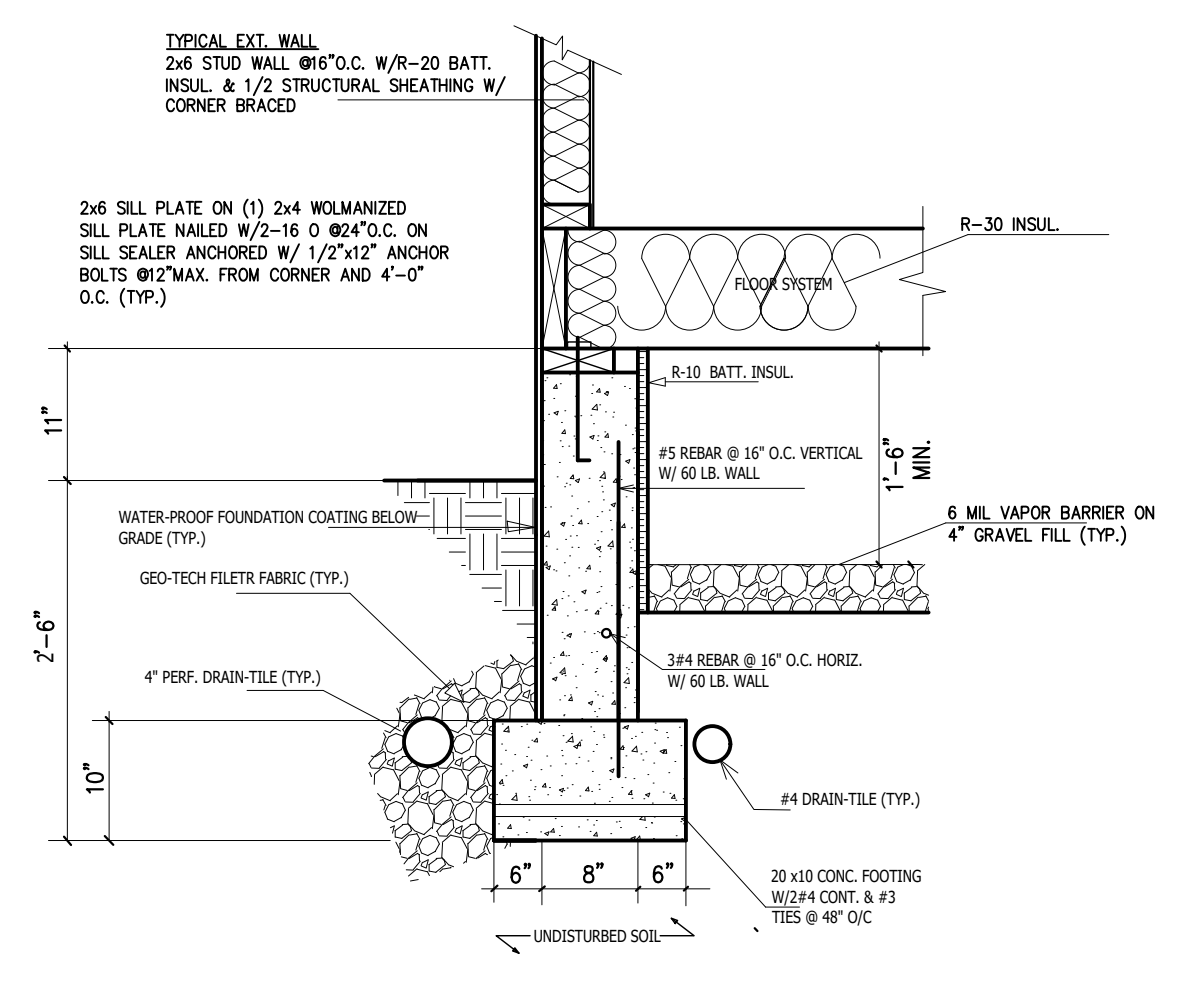
APPROVED
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[Signature]

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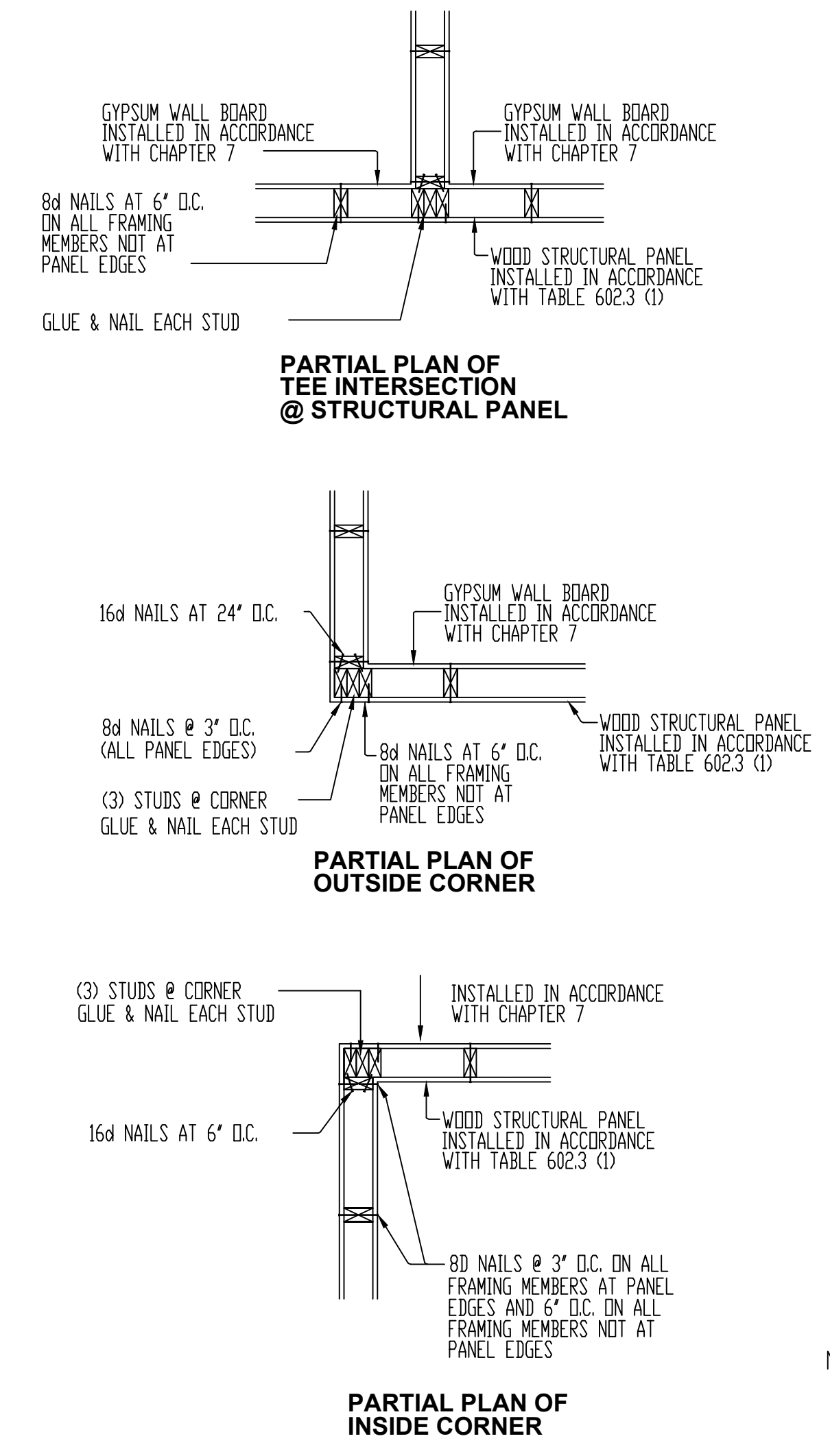
1 TYP. WALL SECTION

N/S



2 FOUNDATION

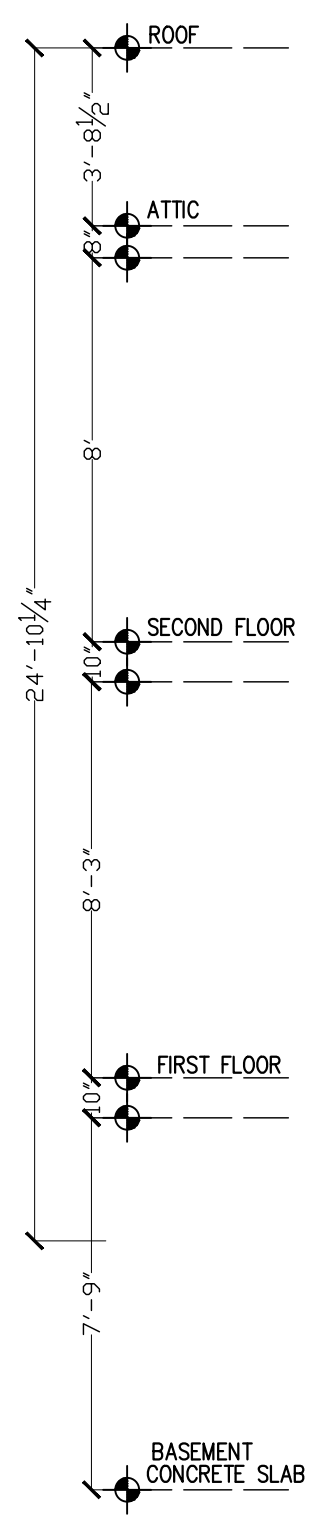
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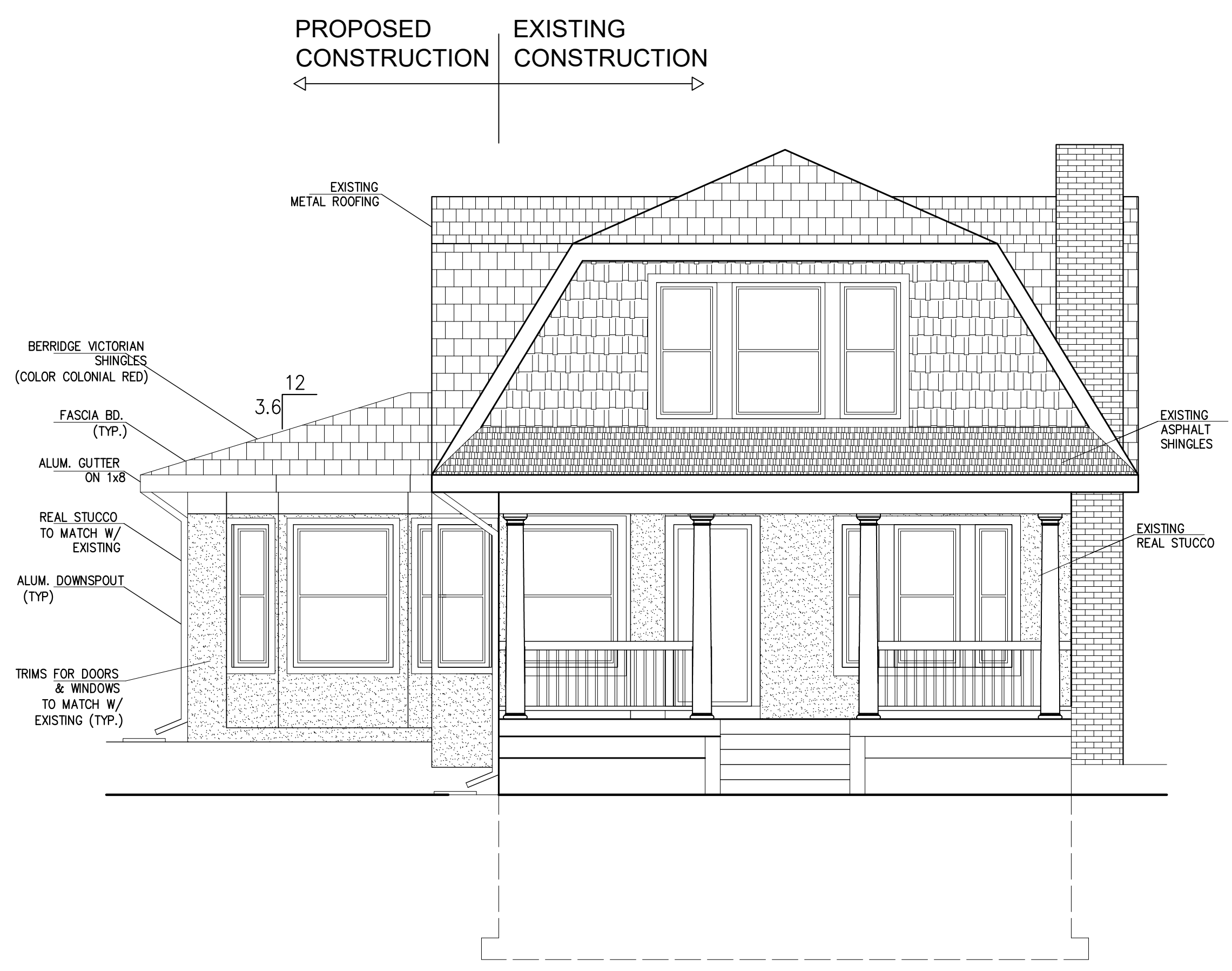
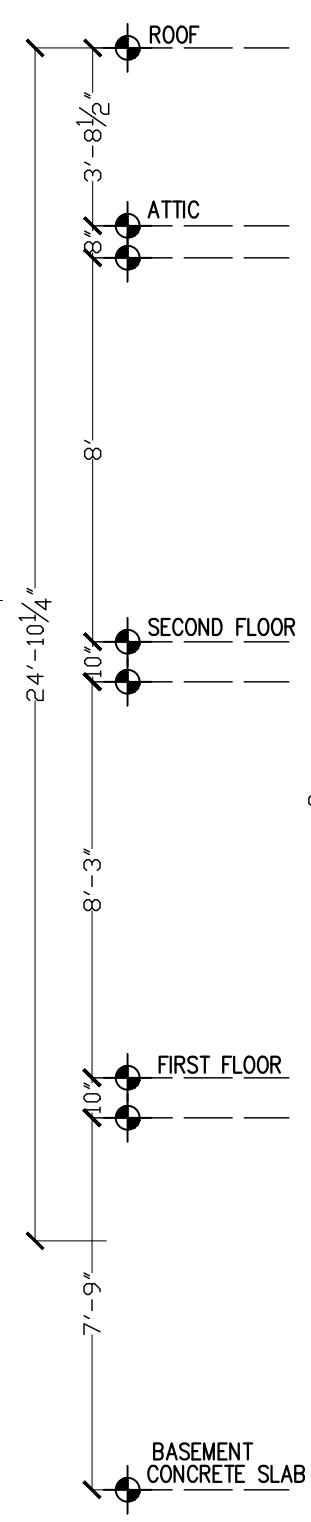
4 CORNER STUD FRAMING DETAILS

N/S

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Δ	DATE



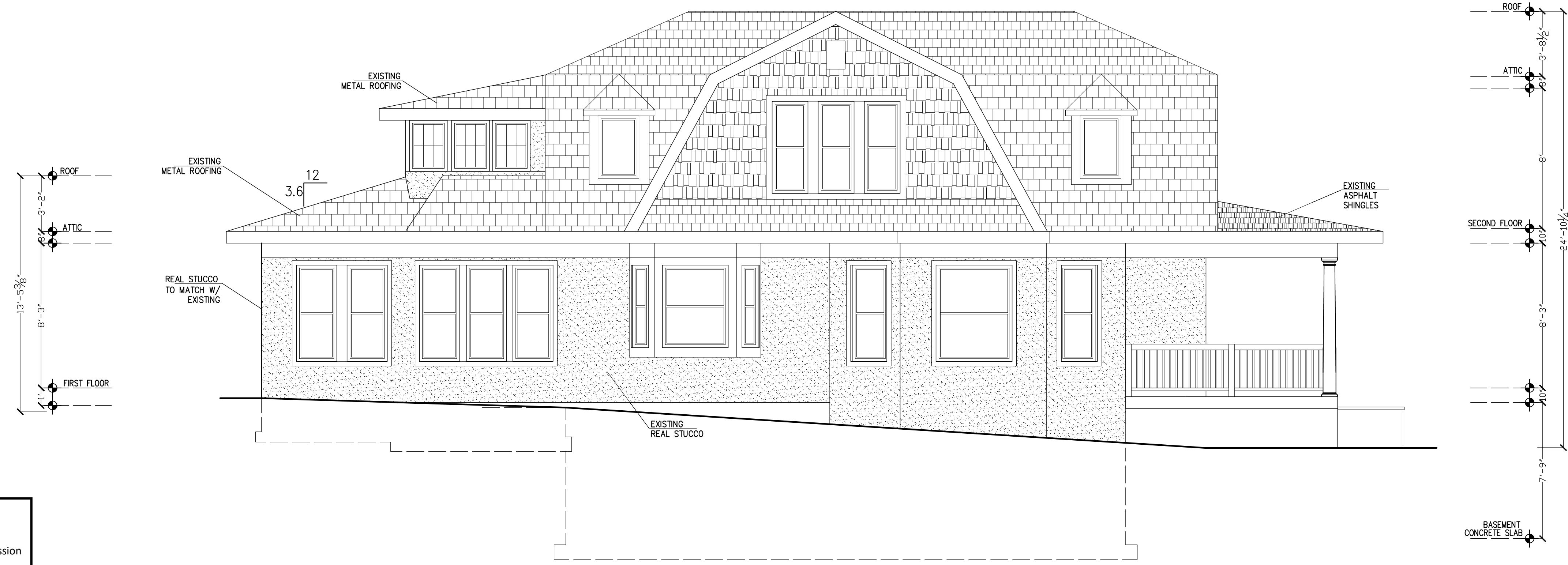
EXISTING FRONT ELEVATION
 SCALE: 1/4"=1'-0"



PROPOSED FRONT ELEVATION
 SCALE: 1/4"=1'-0"

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 Montgomery County
 Historic Preservation Commission

REVIEWED
 By Dan.Bruechert at 10:42 am, Mar 16, 2023



EXISTING LEFT SIDE ELEVATION

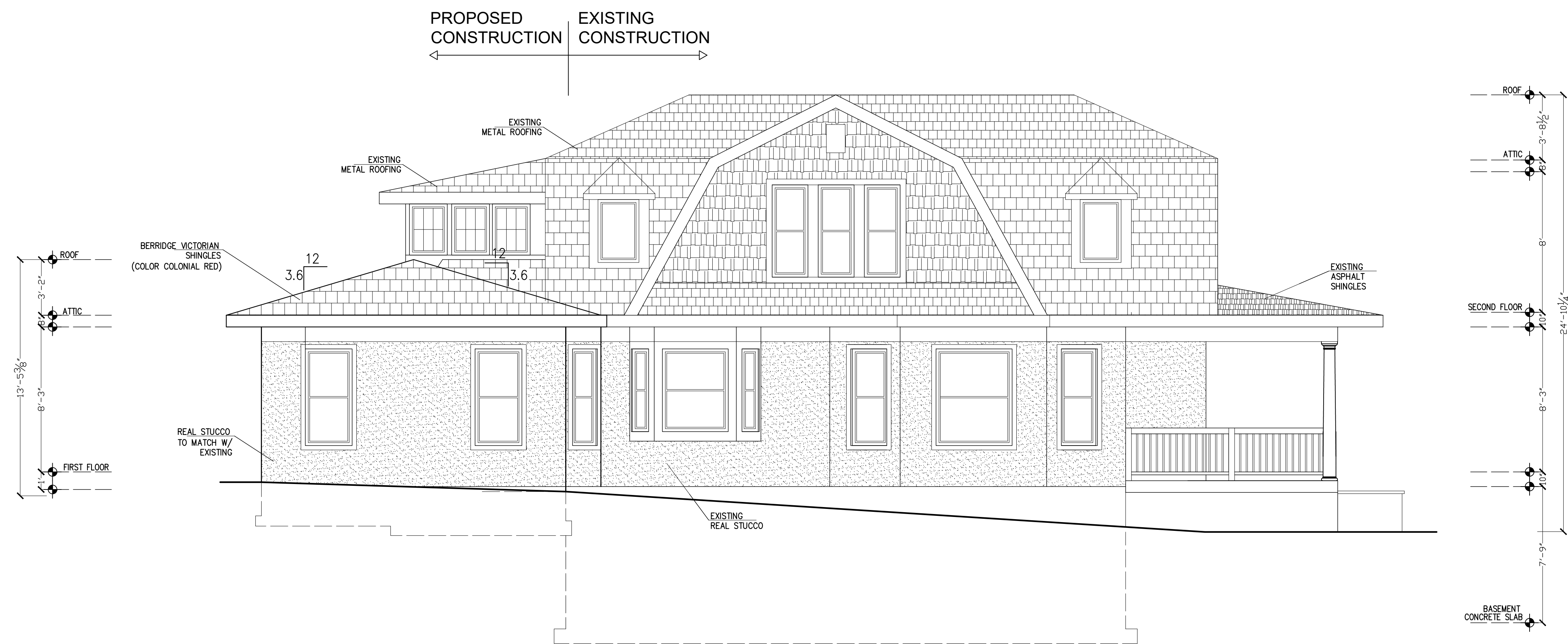
SCALE: 1/4"=1'-0"

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Montgomery County
Historic Preservation Commission

[Signature]

REVIEWED

By Dan.Bruechert at 10:42 am, Mar 16, 2023



PROPOSED LEFT SIDE ELEVATION

SCALE: 1/4"=1'-0"

3
A004

LE DESIGN LLC
LEAS PROJECTS CONSTRUCTION
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WALDORF, MD 20601
PHONE: 703-725-2822
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angulo@yahoo.com

OWNER:
MR. & MRS. ROBERTS

HOUSE LOCATION:
**7300 HOLLY AVE.
TAKOMA PARK
MD 20912**

ELEVATIONS

DRAWING BY:
FERNANDO ANGULO

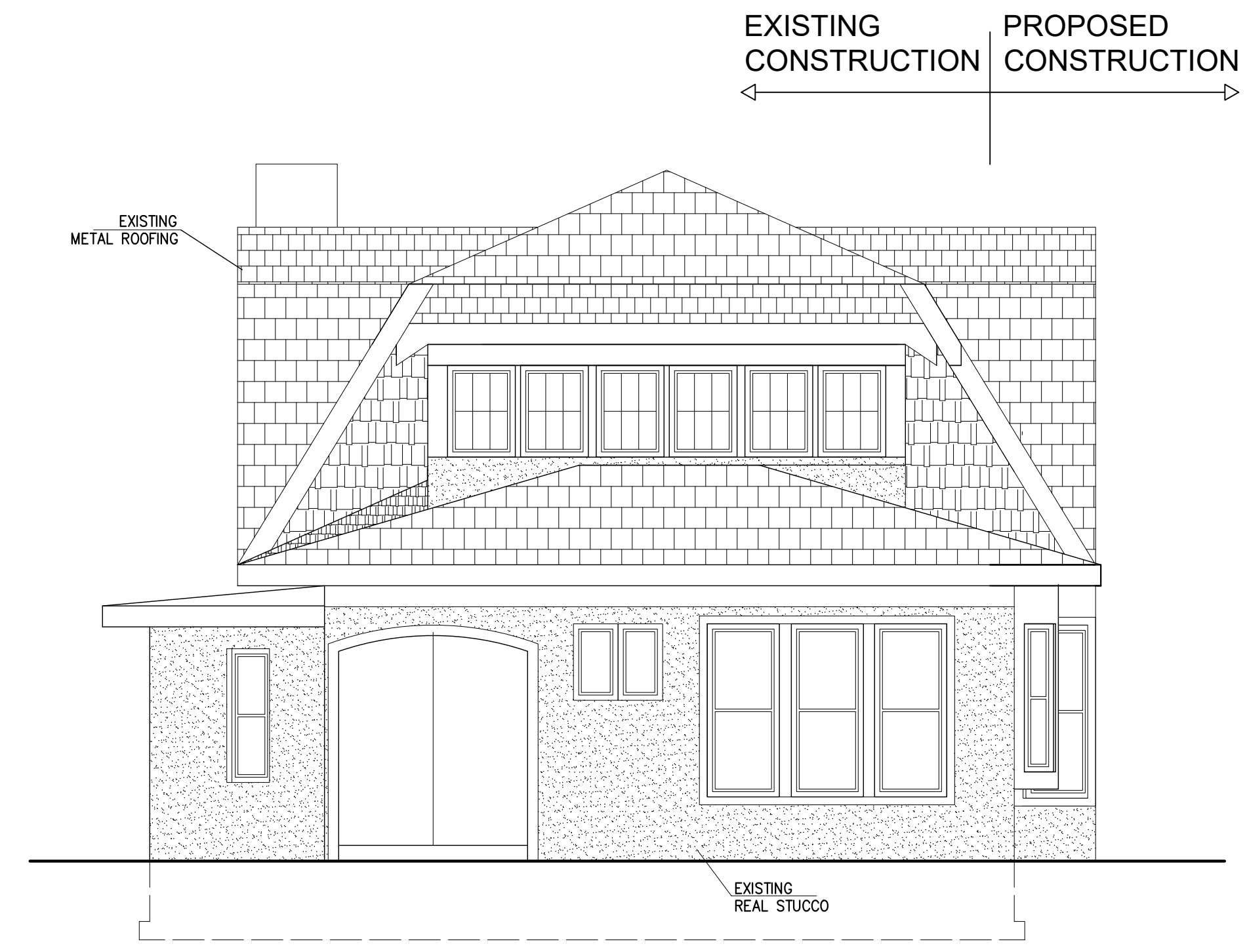
REVISION
△ DATE

ISSUE DATE
02/13/2023
PROJECT NUMBER

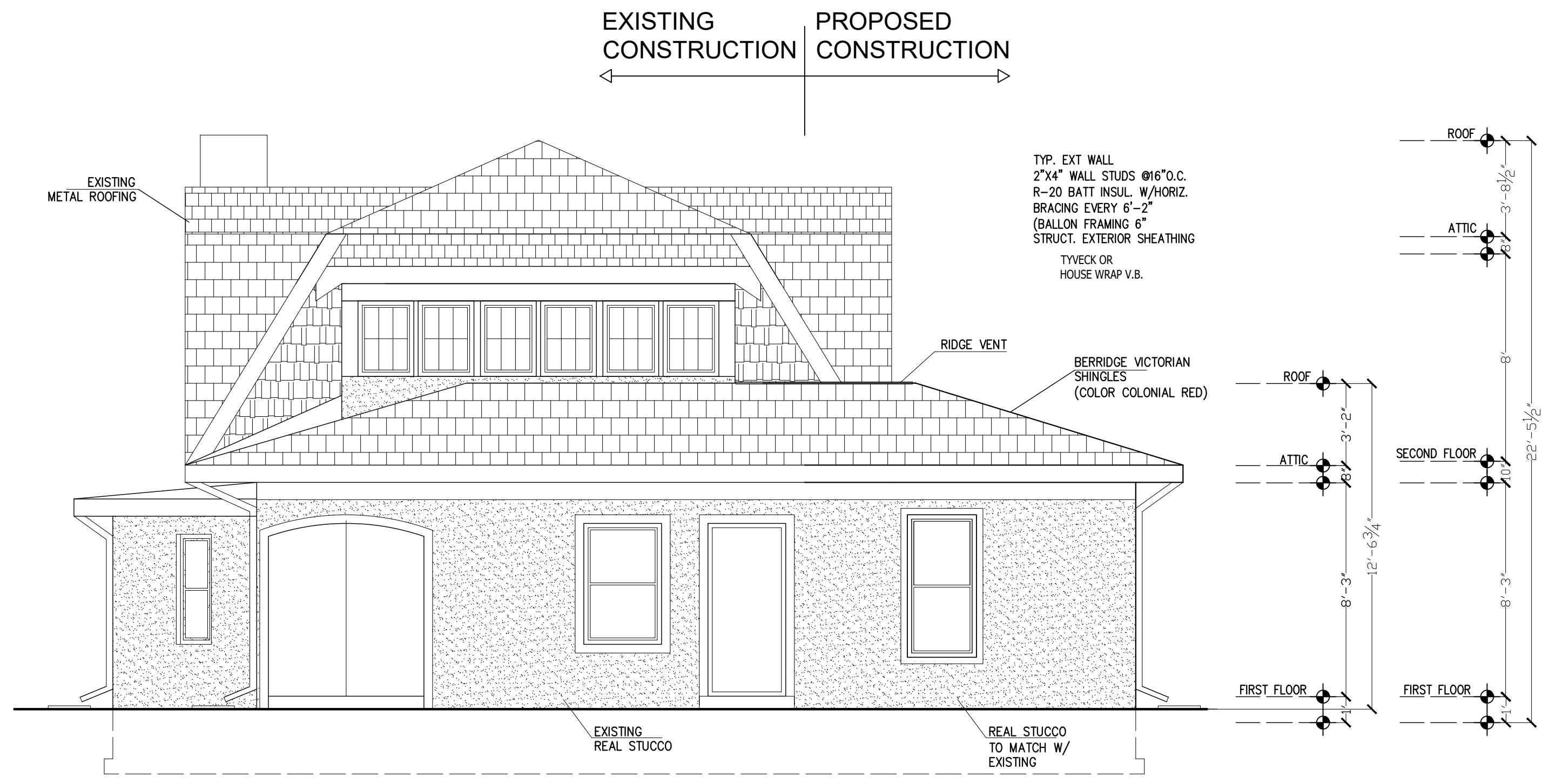
A005

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NUMBER

REVISION	
△	DATE



EXISTING REAR ELEVATION
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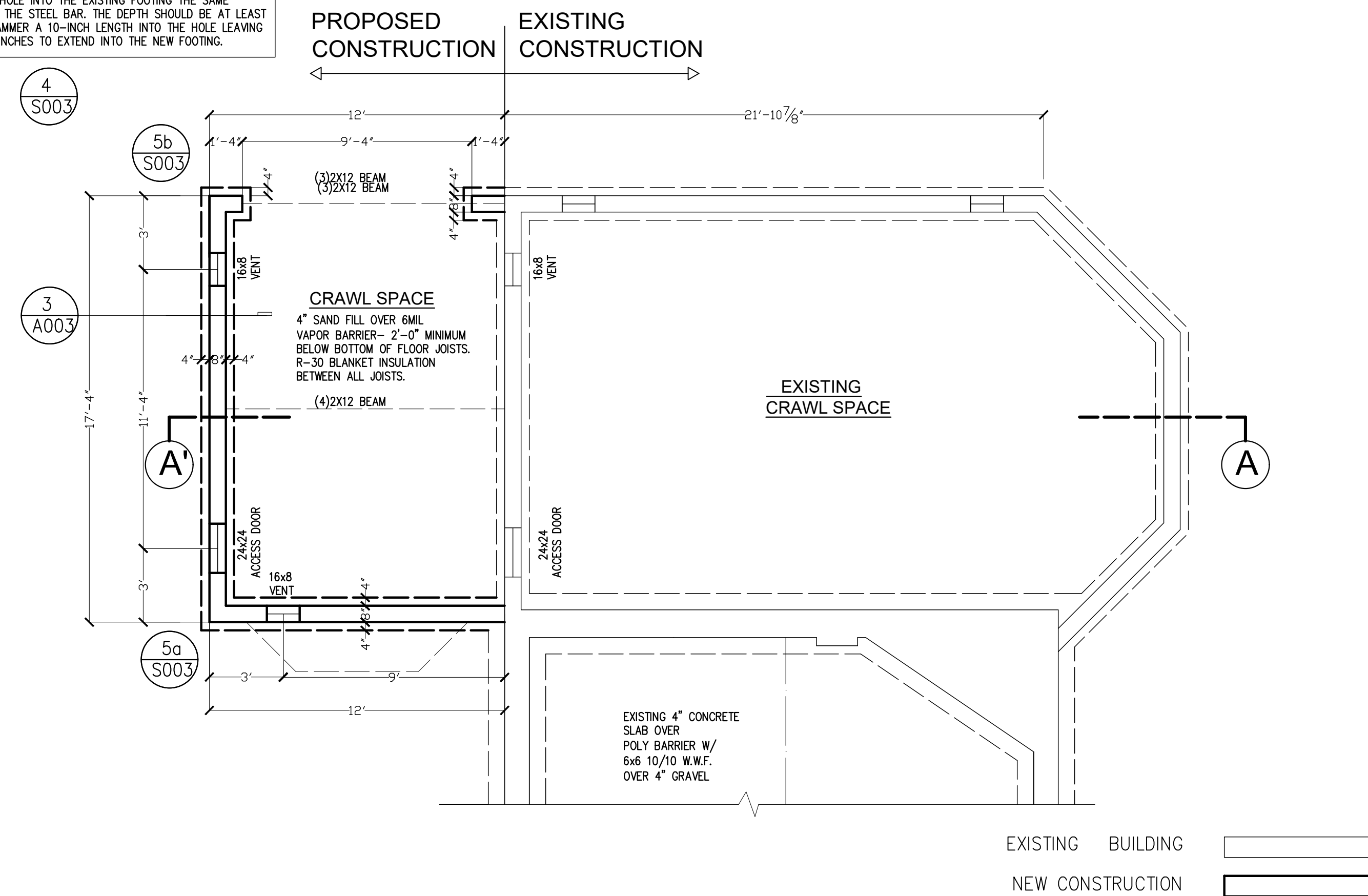


PROPOSED REAR ELEVATION
 SCALE: 1/4"=1'-0" 2
A004

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REVIEWED
 By Dan.Bruechert at 10:43 am, Mar 16, 2023

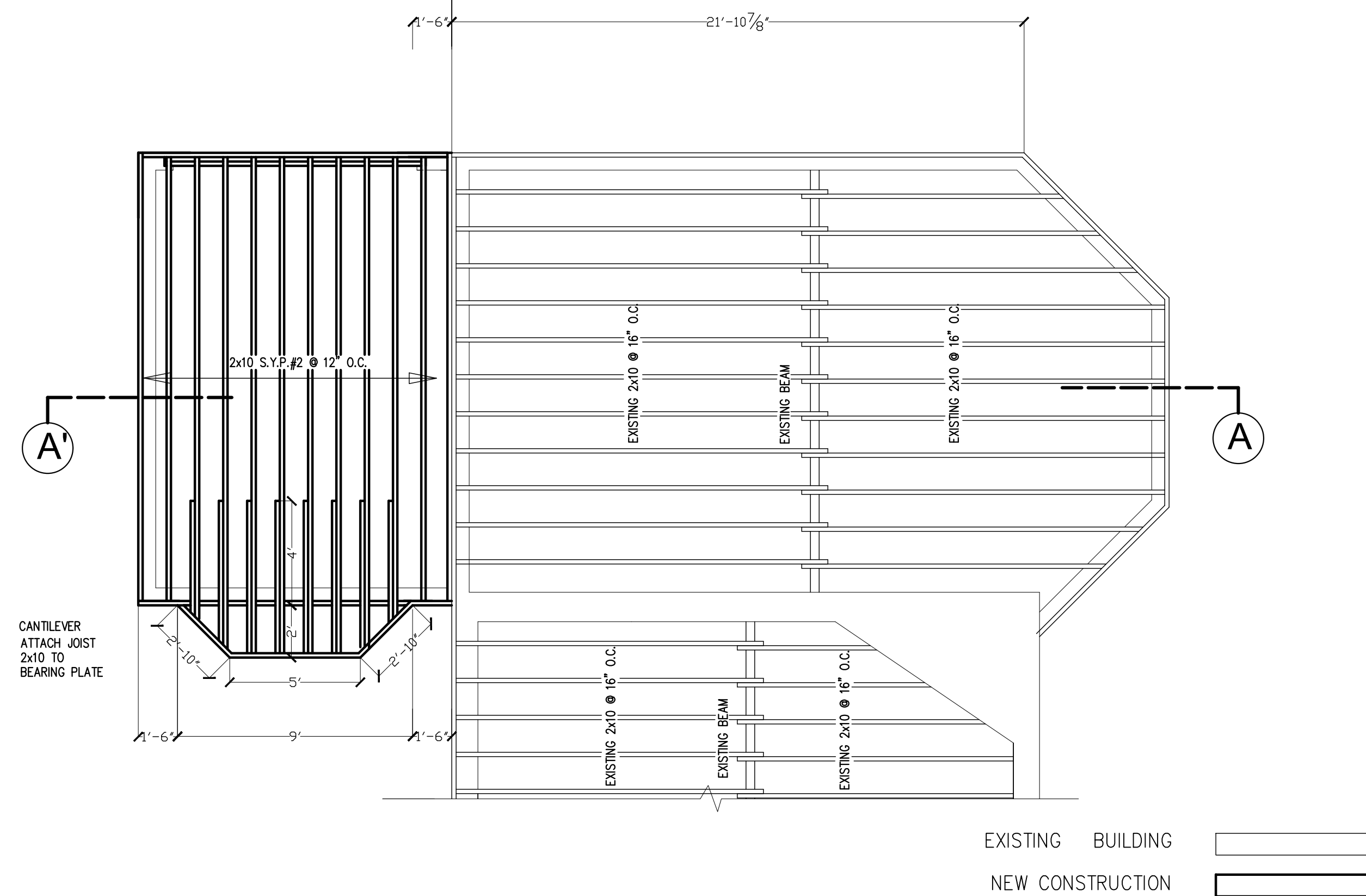
NOTE TO TIE A NEW FOUNDATION TO AN EXISTING FOUNDATION:
USE STEEL RODS TO CONNECT A NEW FOOTING TO AN EXISTING ONE. DRILL A HOLE INTO THE EXISTING FOOTING THE SAME DIAMETER AS THE STEEL BAR. THE DEPTH SHOULD BE AT LEAST 4 INCHES. HAMMER A 10-INCH LENGTH INTO THE HOLE LEAVING AT LEAST 6 INCHES TO EXTEND INTO THE NEW FOOTING.



FOUNDATION PLAN

SCALE: 1/4"=1'-0"

PROPOSED CONSTRUCTION EXISTING CONSTRUCTION



FIRST FLOOR FRAMING PLAN

SCALE: 1/4"=1'-0"

CONCRETE

1. ALL CONCRETE WORK SHALL CONFORM WITH THE REQUIREMENTS OF THE AMERICAN CONCRETE INSTITUTE A.C.I. 318-89.
2. ALL CONCRETE UNLESS NOTED OTHERWISE SHALL BE STONE CONCRETE HAVING A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 3,000 PSI AFTER 28 DAYS.
3. REINFORCING STEEL SHALL BE DEFORMED BARS OF INTERMEDIATE GRADE NEW BILLET STEEL CONFORMING TO CURRENT REQUIREMENTS OF A.S.T.M. A-615 GRADE 60. DESIGN STRESS=60,000 PSI. LAP BARS 40 DIAM. UNLESS OTHERWISE SHOWN.
4. WELDED WIRE FABRIC SHALL HAVE A MINIMUM ULTIMATE STRENGTH OF 70,000 PSI AND SHALL CONFORM TO A.S.T.M. A-185.
5. MINIMUM STEEL PROTECTION UNLESS OTHERWISE SHOWN, SHALL BE 1" FOR SLABS, 3" FOR FOOTINGS AND OTHERS STRUCTURAL CONCRETE DEPOSITED AGAINST GROUND.
6. EXCAVATION SHALL BE KEPT FREE OF WATER, NO CONCRETE SHALL BE PLACED IN WATER.

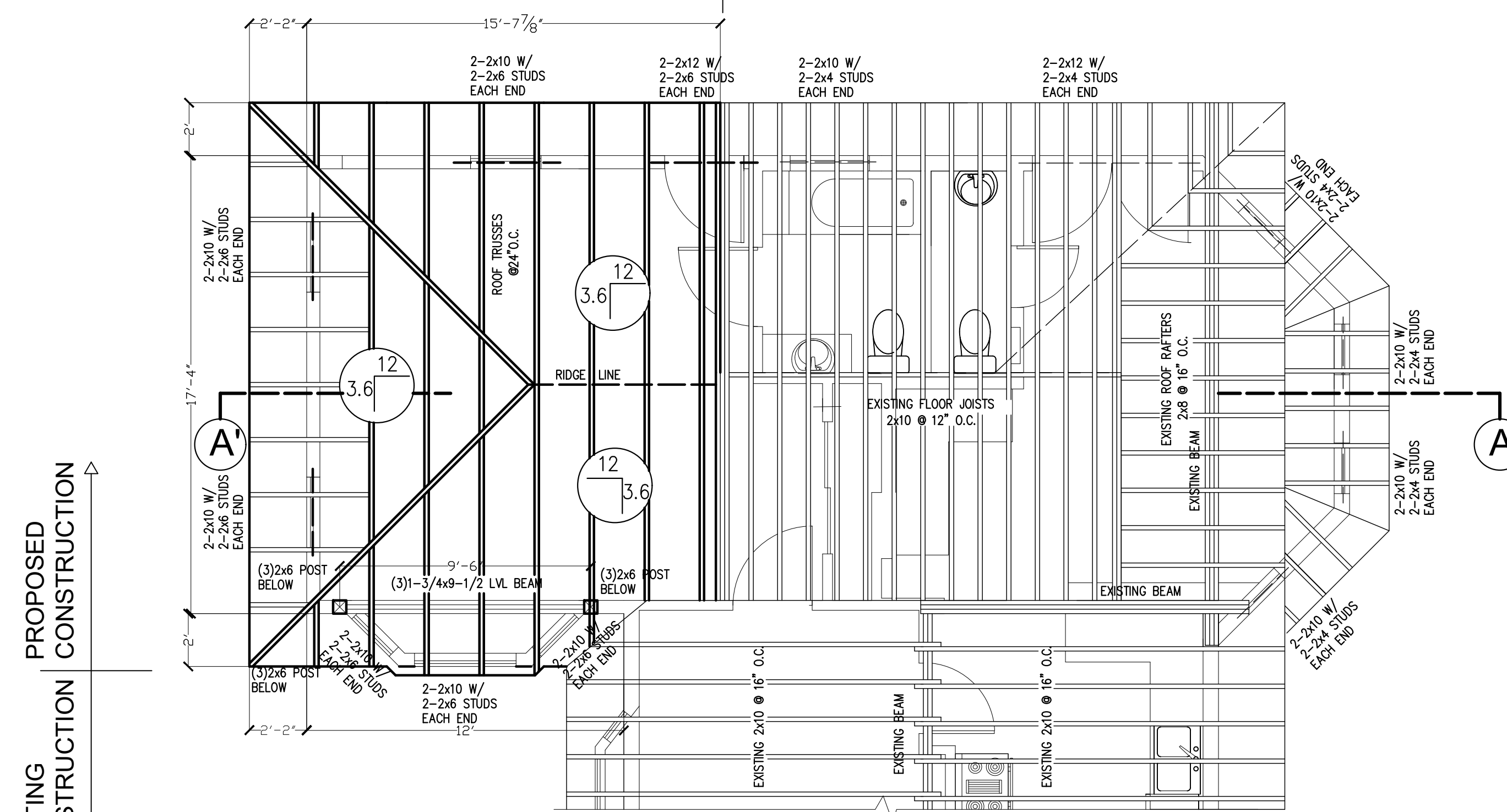
FOUNDATION

1. ALL FOOTINGS SHALL BEAR ON NATURAL UNDISTURBED SOIL HAVING A MINIMUM SAFE BEARING CAPACITY OF 1,500 PSF, OF ENGINEERED CONTROLLED COMPACTED FILL AS REQUIRED HAVING ALLOWABLE BEARING CAPACITY OF 1,500 PSF.
2. THE CONTRACTOR SHALL SAFEGUARD AND PROTECT ALL EXCAVATIONS, AND EXCAVATIONS SHALL BE KEPT FREE OF WATER.
3. EDGES OF FOOTINGS SHALL NOT BE PLACED AT A SLOPE GREATER THAN 1 (VERTICAL) TO 2 (HORIZONTAL) WITH RESPECT TO ANY ADJACENT FOOTINGS U.N.O.
4. THE FOUNDATION CONTRACTOR SHALL REFER TO THE MECHANICAL AND ELECTRICAL CONTRACTOR DRAWINGS FOR ALL LOCATIONS OF TRENCHES, PITS, CONDUITS, UNDERFLOOR AND PERIMETER DRAINAGE SYSTEMS, ETC.
5. THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MAXIMUM OF 2'-6" BELOW FINISH EXTERIOR GRADE U.N.O.

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REVIEWED
By Dan.Bruechert at 10:41 am, Mar 16, 2023

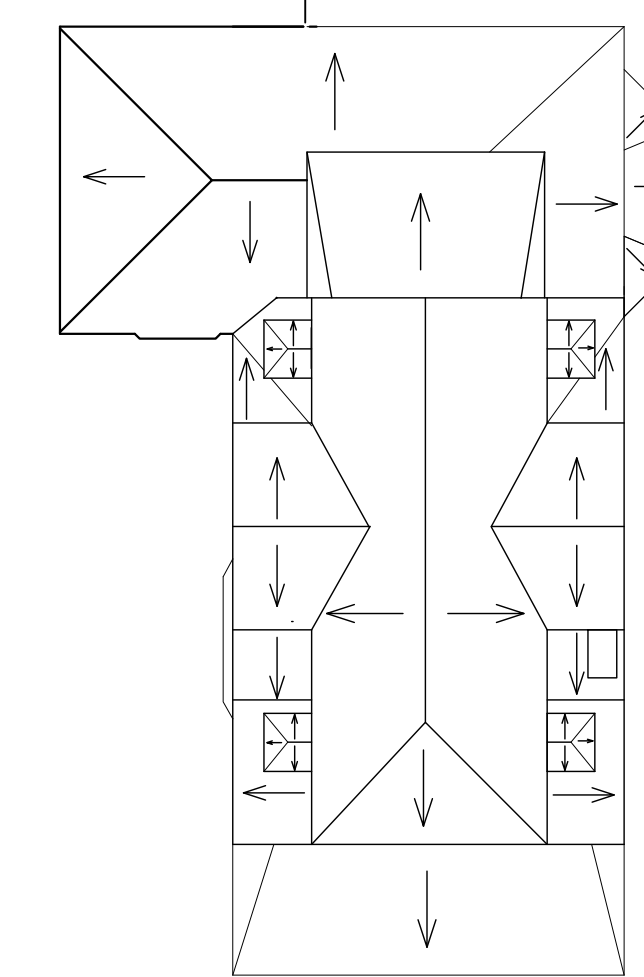
PROPOSED CONSTRUCTION EXISTING CONSTRUCTION



ROOF FRAMING PLAN

SCALE: 1/4"=1'-0"

PROPOSED CONSTRUCTION EXISTING CONSTRUCTION



NOTES:
ALL ROOF FRAMING SHALL USE PRE-ENGINEERED ROOF TRUSSES AND ALL SIZES/DESIGN TO BE REVIEWED AND APPROVED BY ROOF TRUSS SUPPLIER OR CONTRACTOR

EXISTING BUILDING
NEW CONSTRUCTION

LE DESIGN LLC
IBEA'S PROJECTS CONSTRUCTION
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angulo@yahoo.com

OWNER:
MR. & MRS. ROBERTS

HOUSE LOCATION:
7300 HOLLY AVE.

TAKOMA PARK
MD 20912

FOUNDATION PLAN

FRAMING PLANS

DRAWING BY:
FERNANDO ANGULO

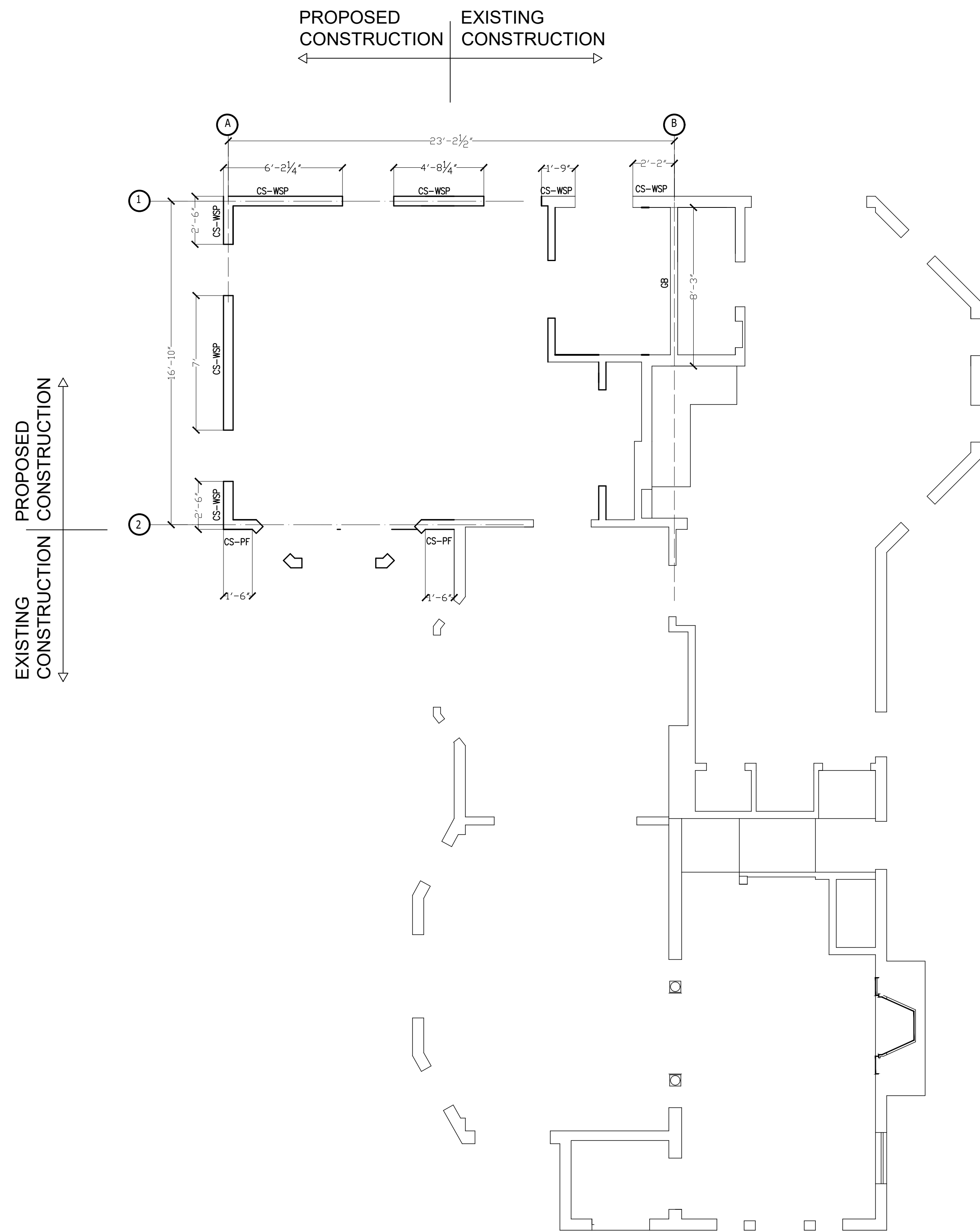
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Δ	DATE

ISSUE DATE
02/13/2023

PROJECT NUMBER

SHEET NUMBER
S001



WALL BRACING- FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

FIRST FLOOR-BRACING CALCULATION									
Braced Wall Line	TYPE	Dist. Between BWLs	Min. Braced Panel	Wall Height Factor	Roof Height Factor	No. BWL Factor	Required Braced Panels	Available Braced Panels	Results
1	CS-WSP	16.9'	3.5'	0.90	0.70	1.00	2.21'	15.1'	OK
2	CS-PF	16.9'	3.5'	0.90	0.70	1.00	2.21'	3.2'	OK
A	CS-WSP	23.2'	5.0'	0.90	0.70	1.00	3.15'	12.0'	OK
B	GB	23.2'	9.5'	0.90	0.70	1.00	5.9'	8.3'	OK

Bracing Notes

1. Wind bracing method is CS-WSP per section .602.12 of IRC 2018.
2. Sheathing material shall be wood structural panels with a minimum thickness of 5/8" in.
3. All exterior walls must finished on the inside with 1/2 inch minimum gypsum board.
4. A bracing unit must begin within 10 feet of any corner of the structure.
5. The distance between bracing units can not exceed 20 feet.
6. No side of the rectangle can be more than 60'.
7. Basic wind speed is 90 mph, and seismic Design Category is B.
8. LVLs shall have min. Fb = 2800 psi and 2.0E
9. Connection criteria: 6d common (2"x0.113") nails at 6" spacing (panel edges) and at 12" spacing (intermediate supports) or 16 ga.x 1-3/4 staples: at 3" spacing (panel edges) and 6" spacing (intermediate supports).

APPROVED
Montgomery County
Historic Preservation Commission



REVIEWED
By Dan.Bruechert at 10:42 am, Mar 16, 2023

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HOUSE LOCATION:
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MD 20912**

**WALL BRACING
PLANS**

DRAWING BY:
FERNANDO ANGULO

REVISION
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ISSUE DATE
02/13/2023
PROJECT NUMBER

SHEET NUMBER
S002

