



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert Sutton
Chairman

Date: February 19, 2021

MEMORANDUM

TO: Mitra Pedoeem
Department of Permitting Services

FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission Historic

SUBJECT: Area Work Permit #941000 - Hardscape and Rear Porch Construction

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** by historic preservation staff.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Andrew Umhau
Address: 2. E. Kirke St., Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



NOTES:

Construction plans to comply with all local codes, including IRC 2018, IECC 2018 as amended by Montgomery County Executive Regulation 31-19.

Fire/smoke detector system to be installed per IRC 2018, sec. R314.
Carbon monoxide alarms to be installed per IRC 2018, sec. R315.

Fire rating of interior and exterior bearing and non-bearing walls, other than party wall = 0.
Party wall to be 2 hr. fire rated block wall.

DESIGN CRITERIA:

Floor occupancy live load: 40 psf
Floor dead load: 10 psf
Roof live load/snow load: 30 psf
Roof dead load: 15 psf
Ground snow load: 30 psf
Wind load: 115 mph, 3 second gust
Wind importance factor: 1W = 1.0
Wind exposure category: B
Minimum design wind pressure for main wind force resisting system & components/cladding = 20 psf
Seismic importance factor = 1.0
Seismic design category = B

Framing lumber: kiln dried Western SPF
Framing studs: kiln dried Eastern SPF
Concrete: 3,000 psf minimum, no air
Foundation soil: 2,000 psf soil bearing
Frost line depth: 30"

Wall insulation to be 6" R-21 fiberglass insulation
Ceiling insulation to be 15" R-49 fiberglass insulation
Floor insulation to be 6" R-19 fiberglass insulation
Basement wall insulation to be R-10/13

Exhaust fans and hoods to be ducted outside.

APPROVED
Montgomery County
Historic Preservation Commission



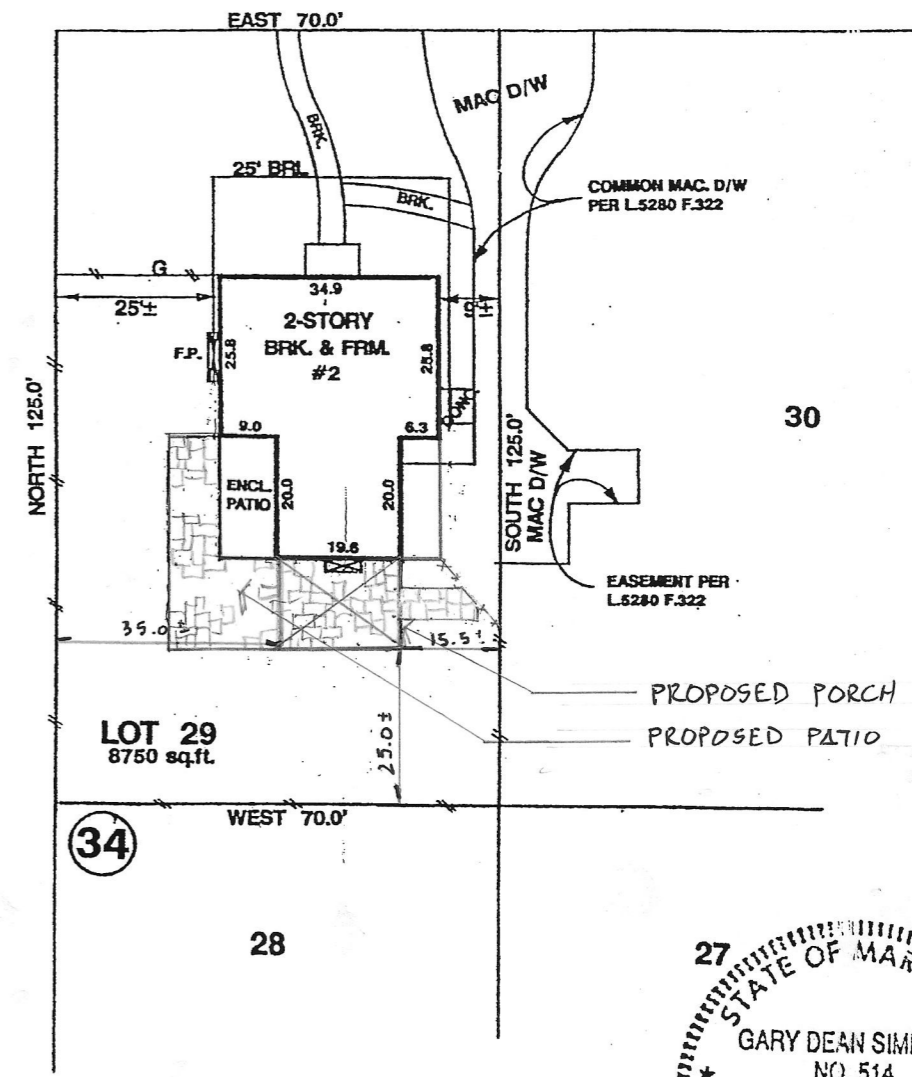
REVIEWED
By Dan.Bruechert at 11:14 am, Mar 15, 2021

CASE NO. 10105-91 N/A
NEW CASE NO. 10967-93

HOUSE LOCATION
SECTION 2 - CHEVY CHASE
LOT 29 BLOCK 34
MONTGOMERY COUNTY, MARYLAND

EAST KIRKE ST.
(100' R/W)
(FORMERLY KIRKE ST.)

NORTH
CONNECTICUT AVE.
(130' R/W)



LOT 29
8750 sq.ft.

34



SCALE: 1" = 30'

THE PROPERTY SHOWN HEREON IS LOCATED IN ZONE C (AREA OF MINIMAL FLOODING)
ACCORDING TO NATIONAL FLOOD INSURANCE PROGRAM FIRM MAP COMMUNITY
PANEL NO. 240049 0175 C AS REVISED 08-01-1984

Smith, Thomas & Smith, Inc.

General Contractors

4713 MAPLE AVENUE, BETHESDA, MARYLAND 20814
TELEPHONE (301) 656-0141

MD. LICENSE # 453
D.C. LICENSE # 17
VA. LICENSE # 035673

UMHAU RESIDENCE

#2 E. KIRKE STREET

REAR PATIO/PORCH

SCALE: AS NOTED

DATE: JANUARY 21, 2021

9 C/S

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Historic Preservation Commission



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By Dan.Bruechert at 11:14 am, Mar 15, 2021

WOOD STEPS

PORCH ROOF

ELECT
MTR PHONE

EXISTING FLAGSTONE PATIO
(WITH CONCRETE BASE)

EXISTING

STONE

WALK

- EXISTING CONDITIONS -

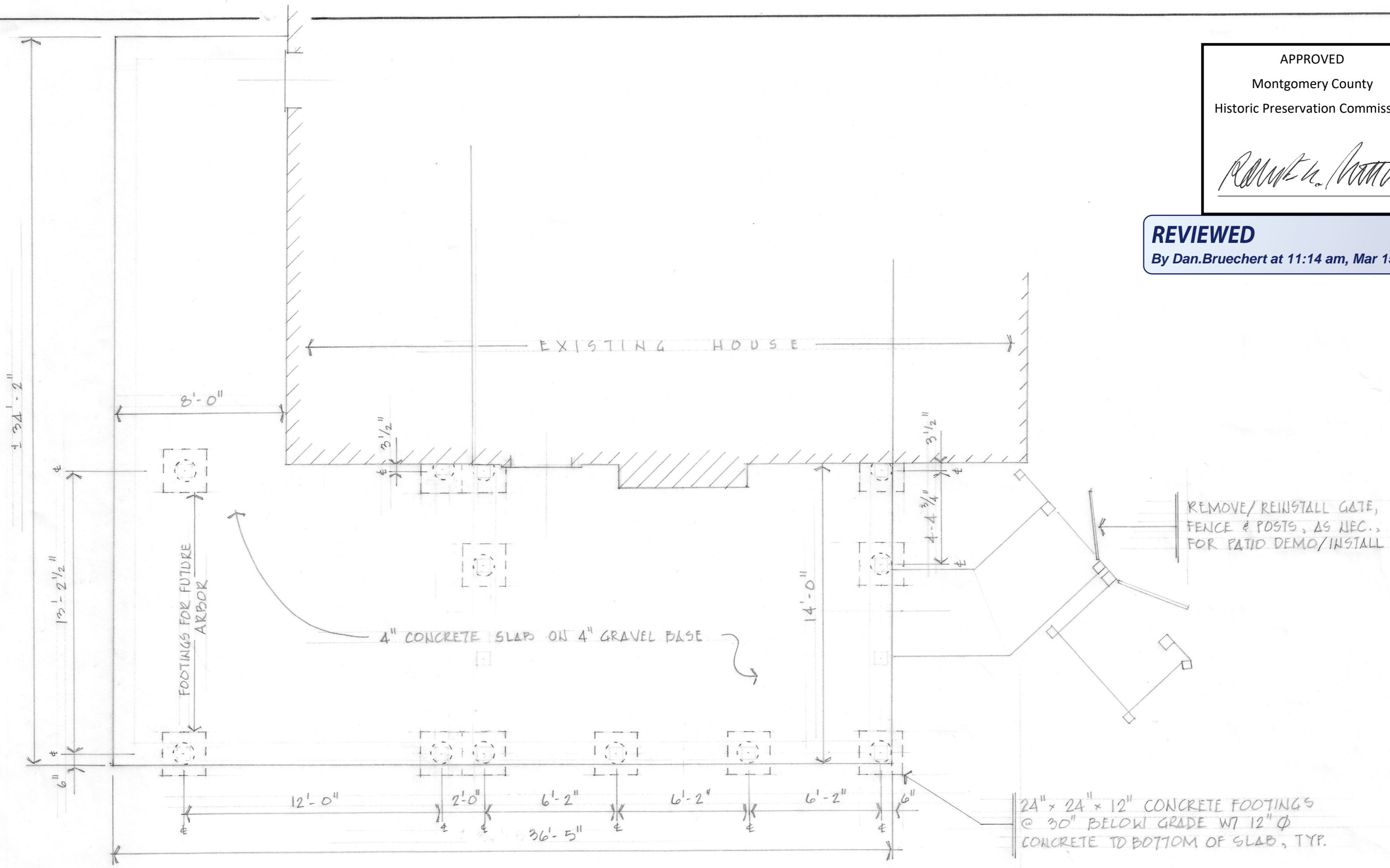
SCALE: 1/4" = 1'-0"

1

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 Historic Preservation Commission

Robert A. [Signature]

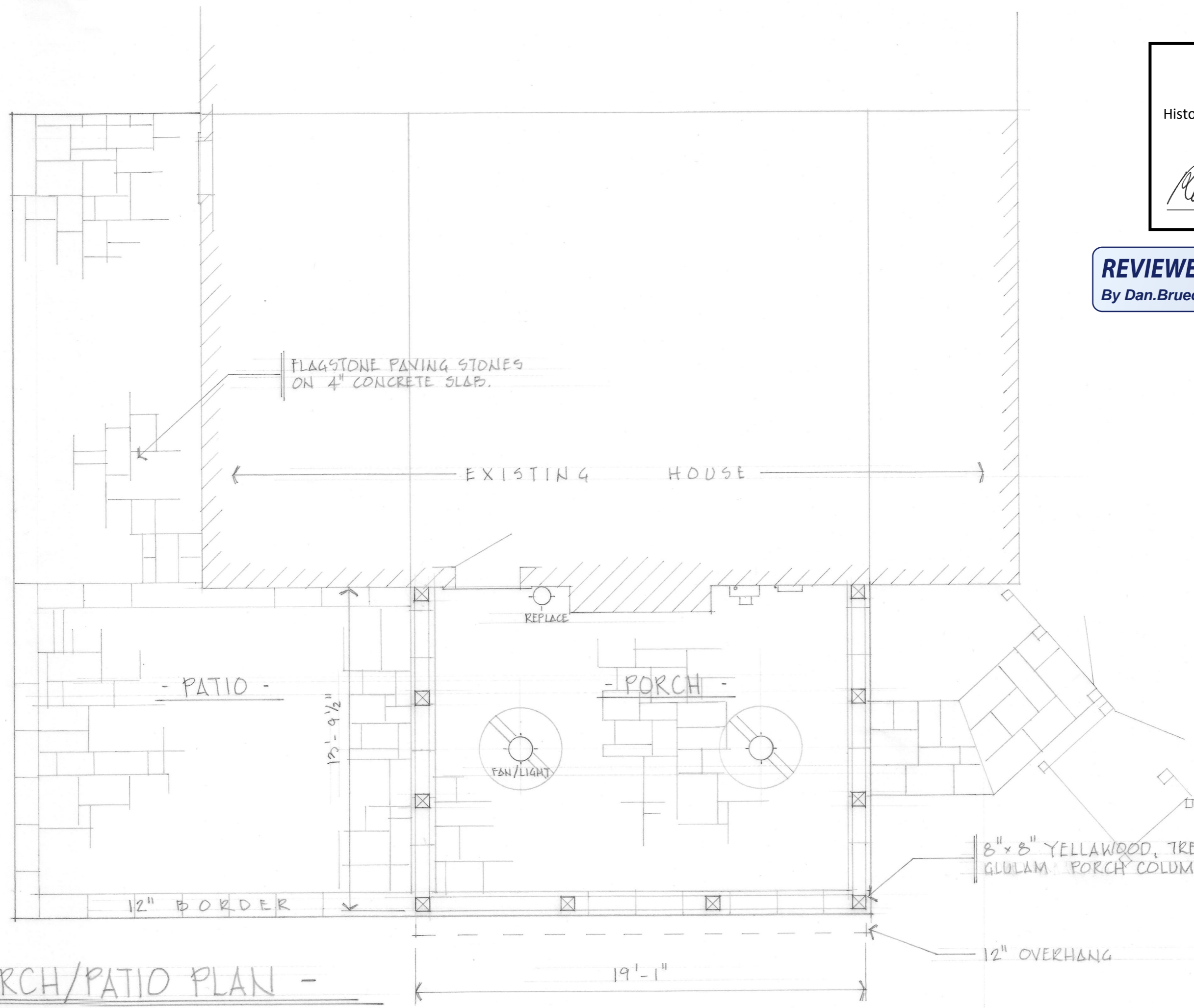
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- FOUNDATION PLAN -
 SCALE: 1/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
Ronald A. Patton

REVIEWED
By Dan.Bruechert at 11:14 am, Mar 15, 2021

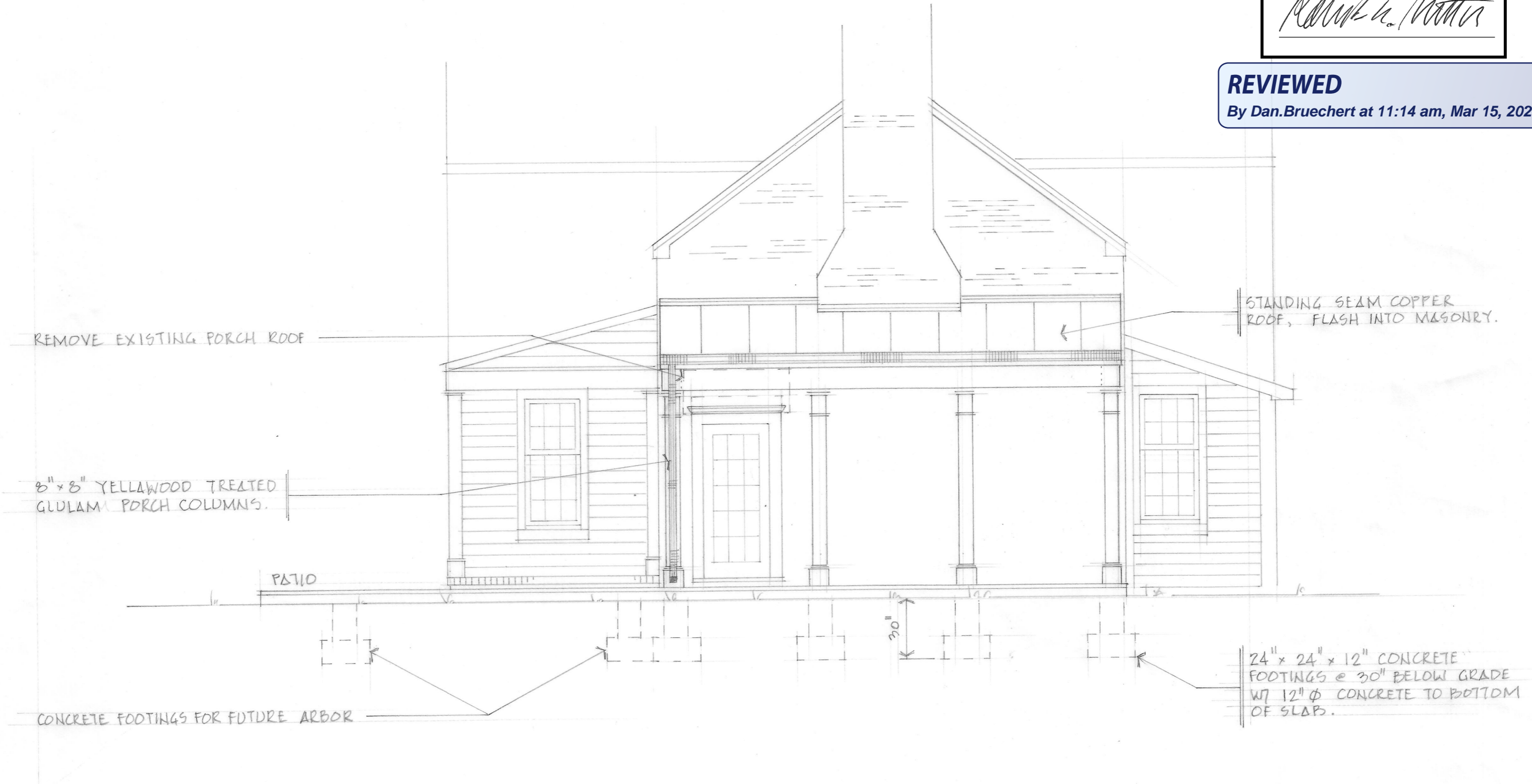


- PORCH/PATIO PLAN -

SCALE: 1/4" = 1'-0"

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Historic Preservation Commission
Ronald A. Patton

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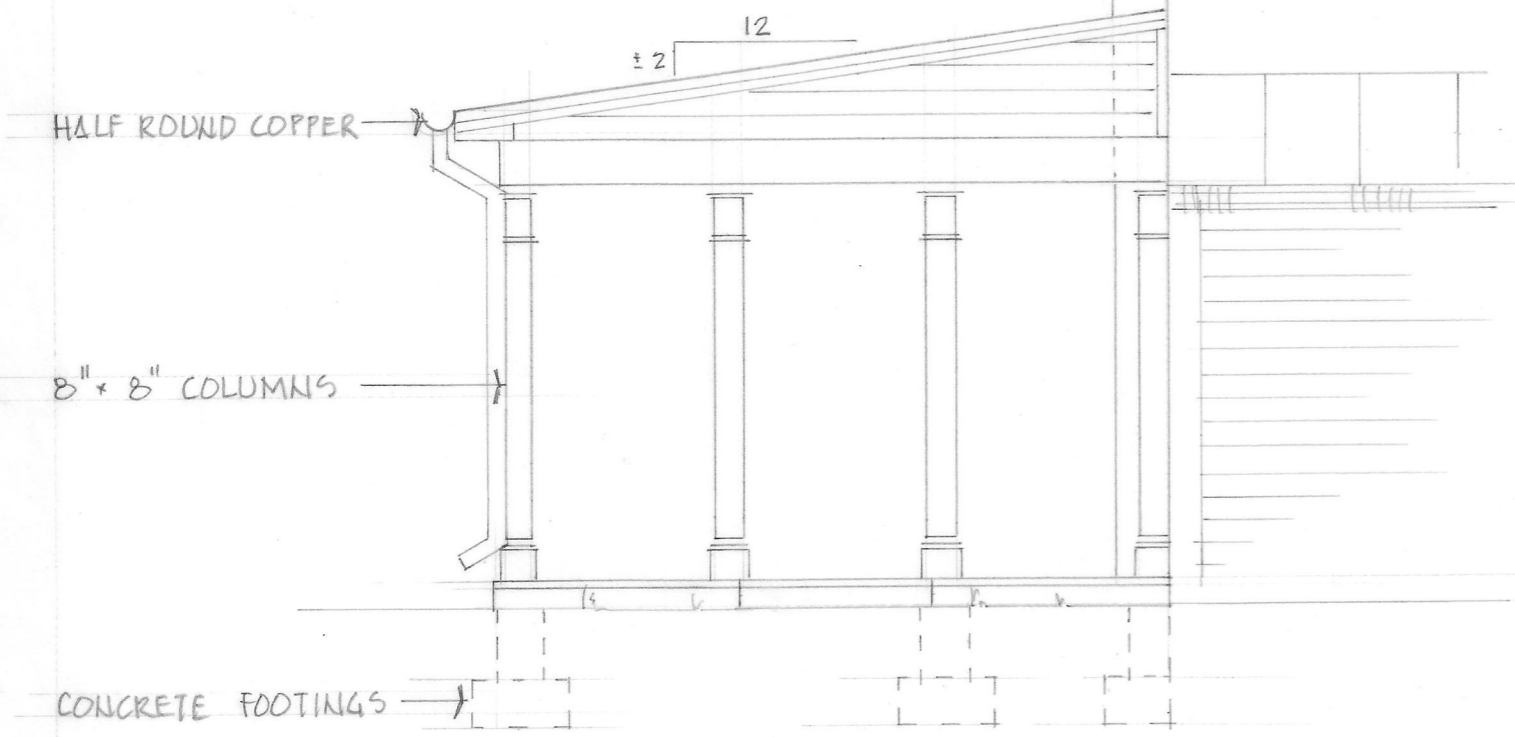
- REAR ELEVATION -

SCALE: 1/4" = 1'-0"

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 Historic Preservation Commission

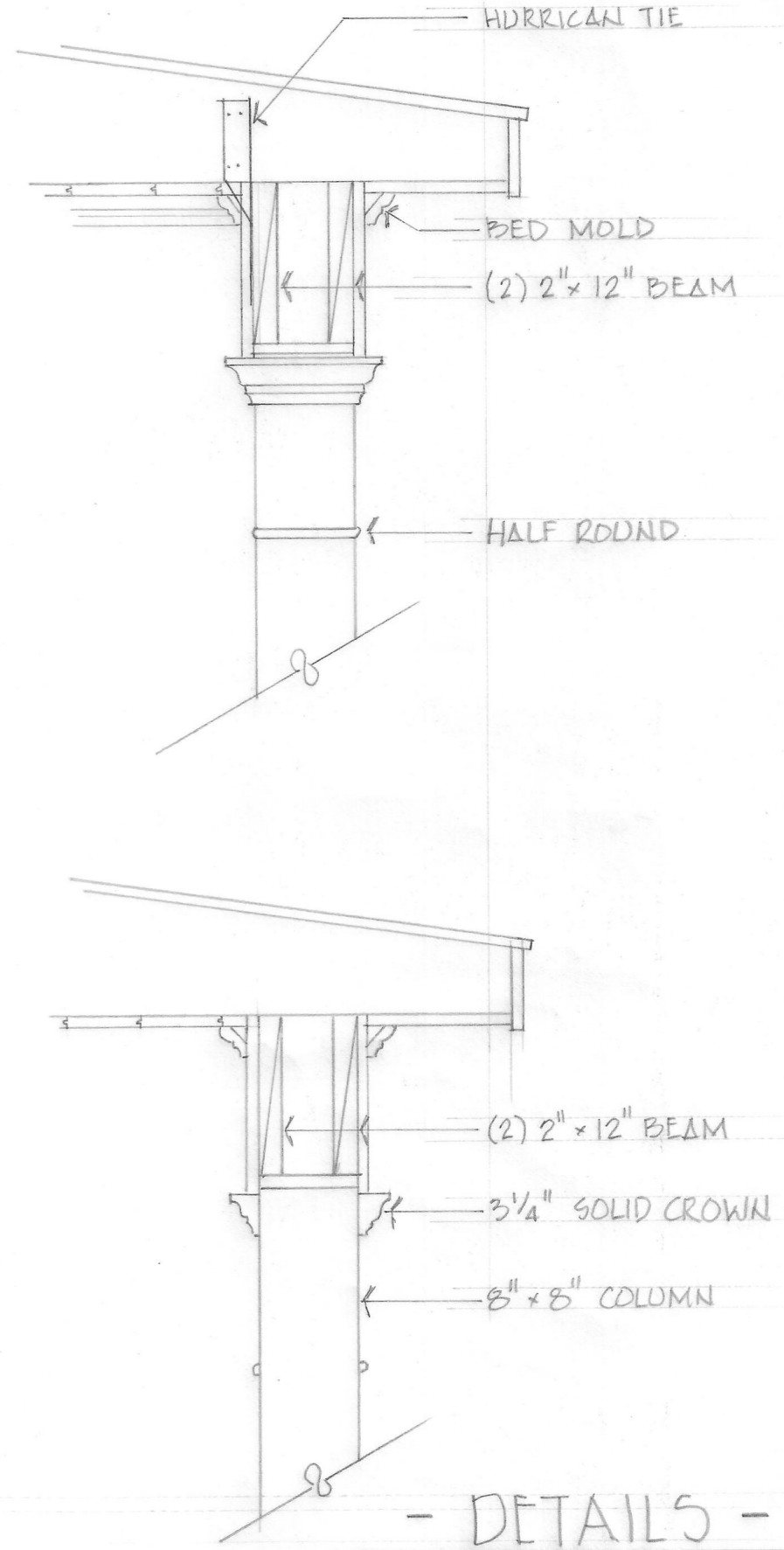
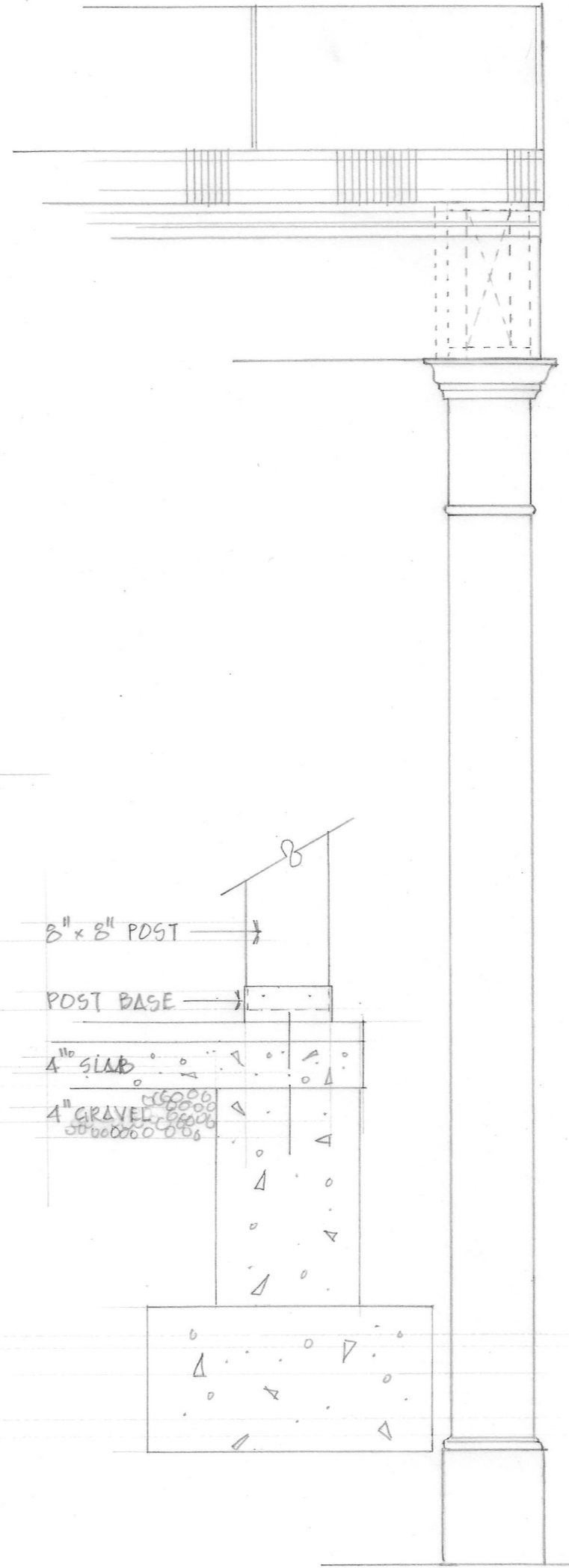


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- LEFT SIDE ELEVATION -

SCALE: 1/4" = 1'-0"



- DETAILS -

SCALE: 1" = 1'-0"

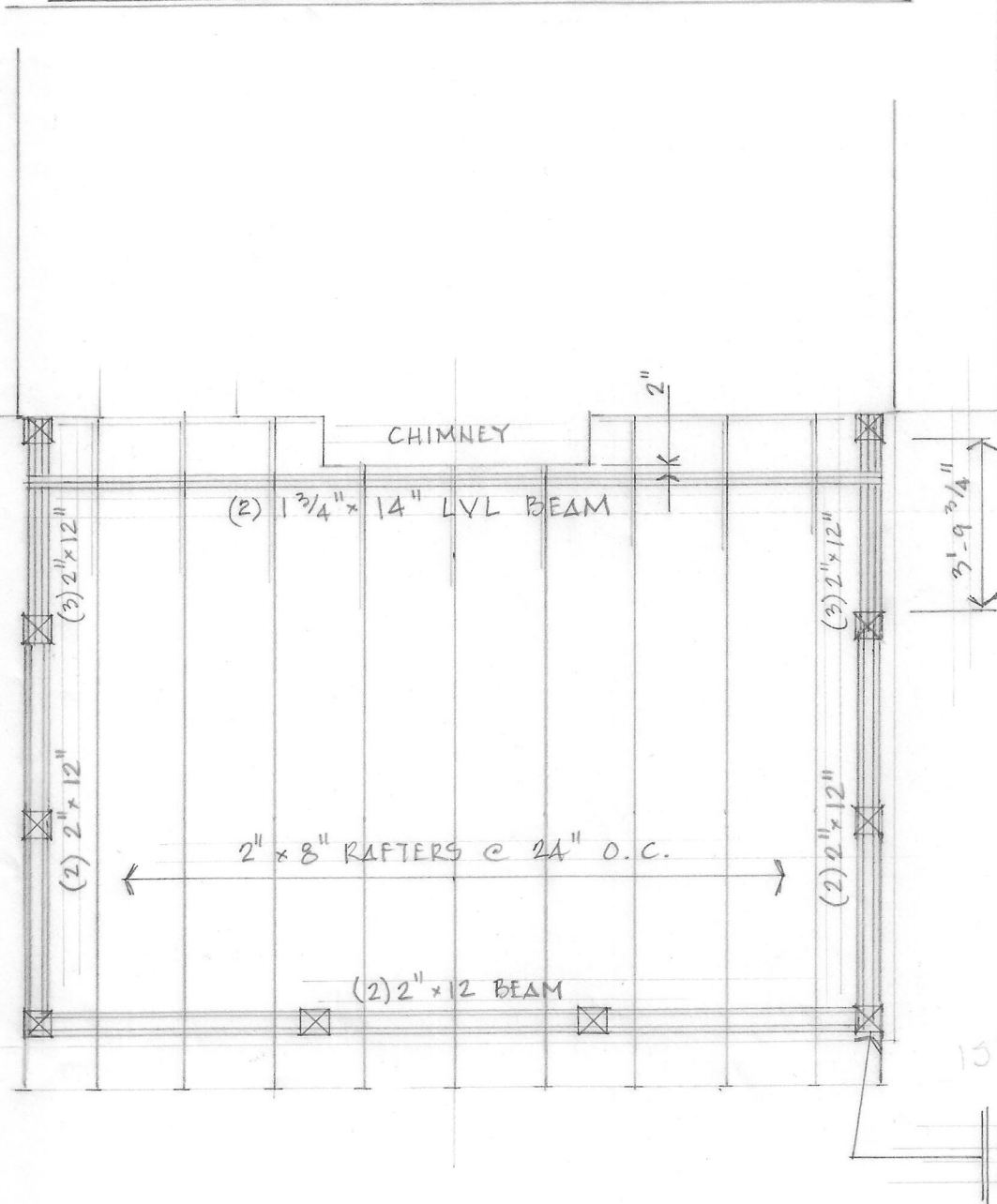
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- ROOF FRAMING -



- SECTION -

SCALE: 1/4" = 1'-0"

