



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert K. Sutton
Chairman

Date: April 6, 2023

MEMORANDUM

TO: Rabbiah Sabbakhan , DPS Director
Dan Bruechert

FROM: Historic Preservation Section
Maryland-National Capital Park & Planning Commission
Historic Area Work Permit #1023017 - Garage ADU Conversion

SUBJECT:

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the March 23, 2022 HPC meeting with revisions approved at the March 22, 2023 HPC meeting.

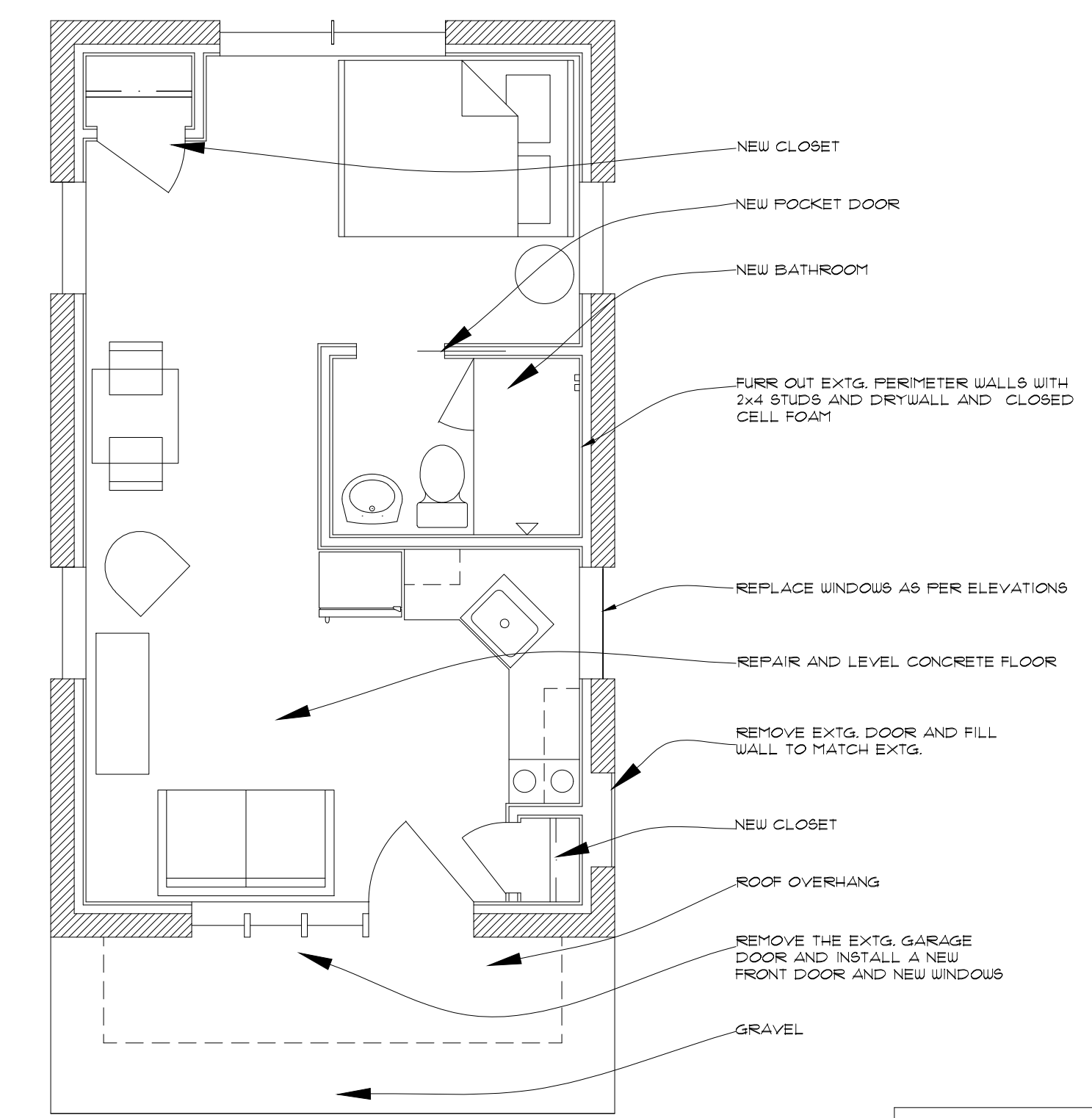
The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

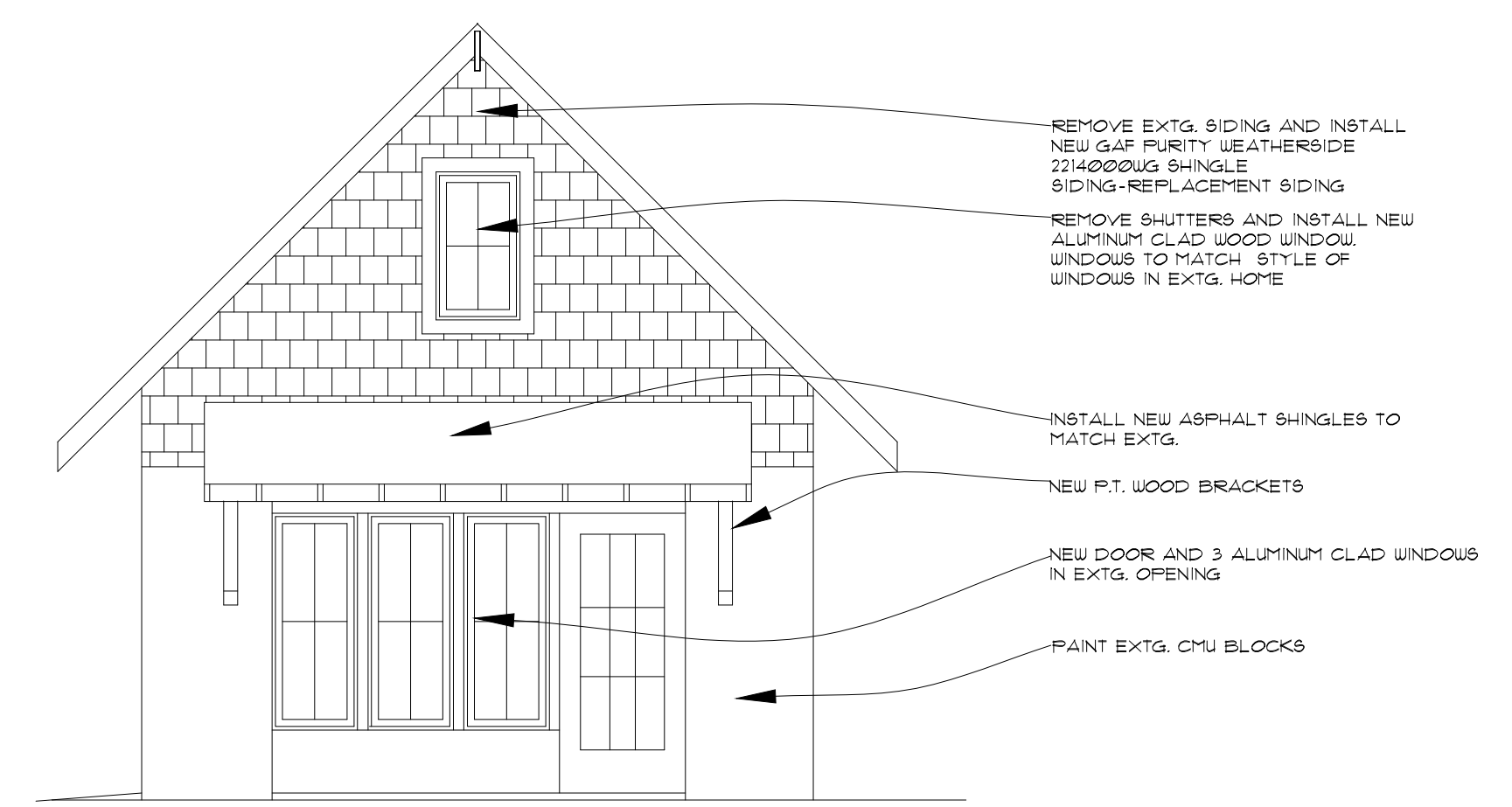
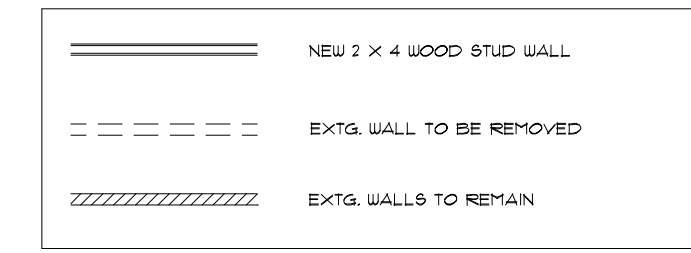
Applicant: Pat Hanrahan
Address: 7421 Cedar Ave., Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301563.3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.

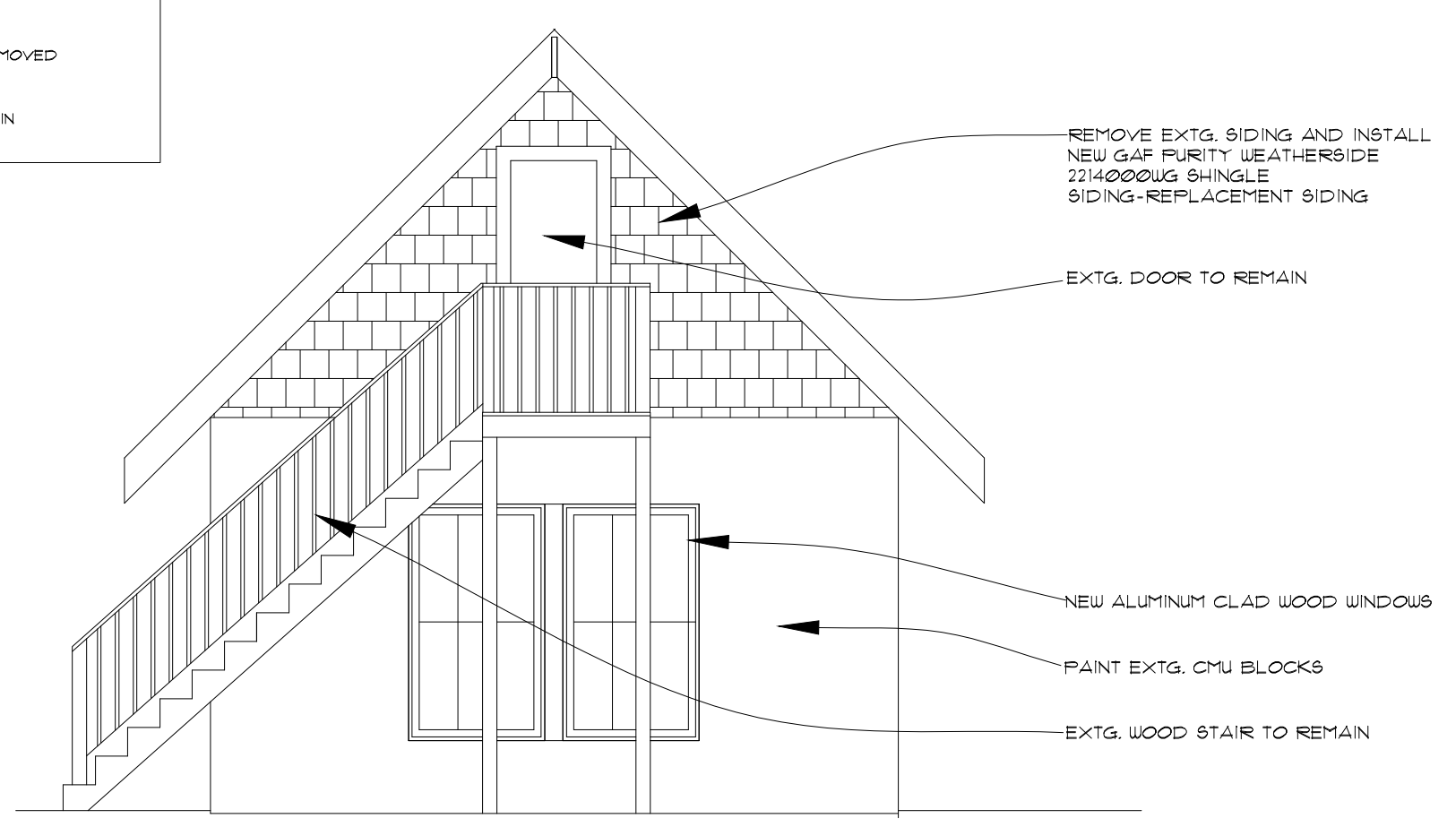




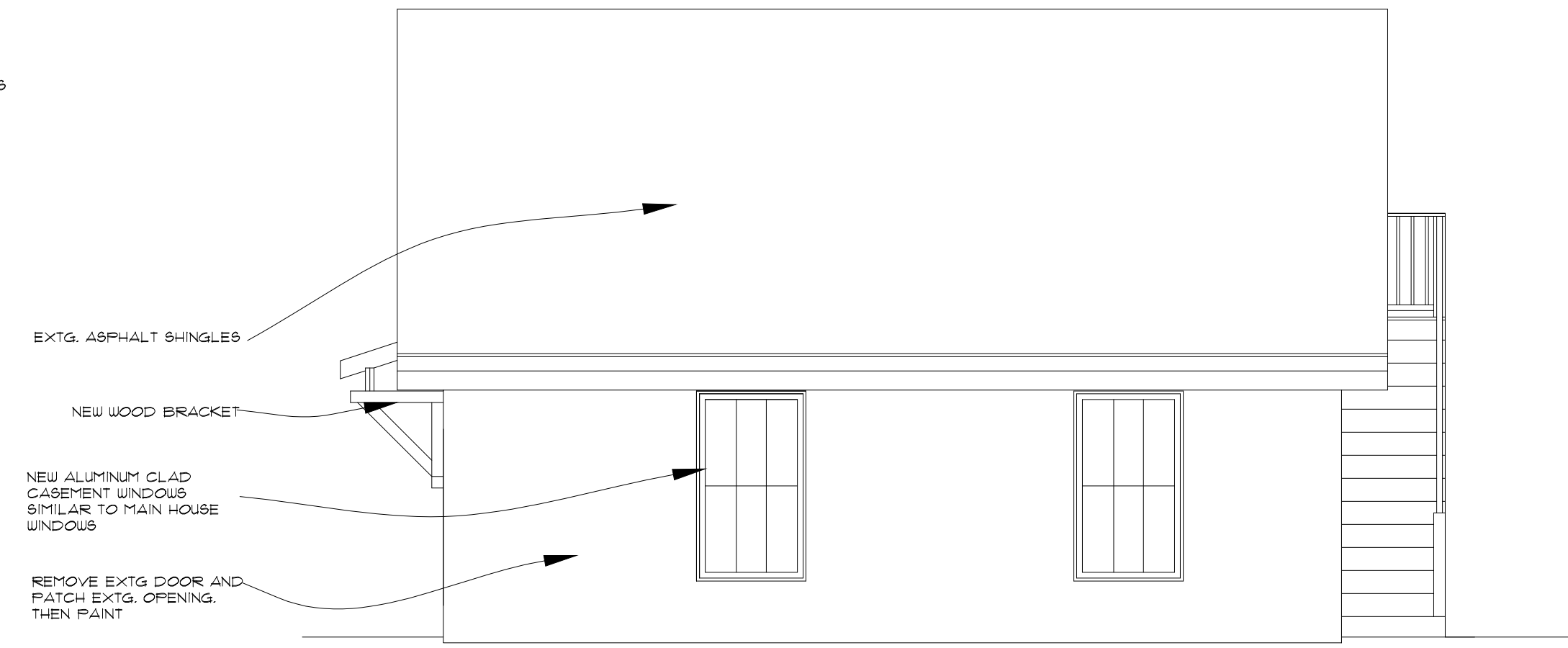
1 FIRST FLOOR PLAN
 A001 SCALE: 1/4" = 1'-0"



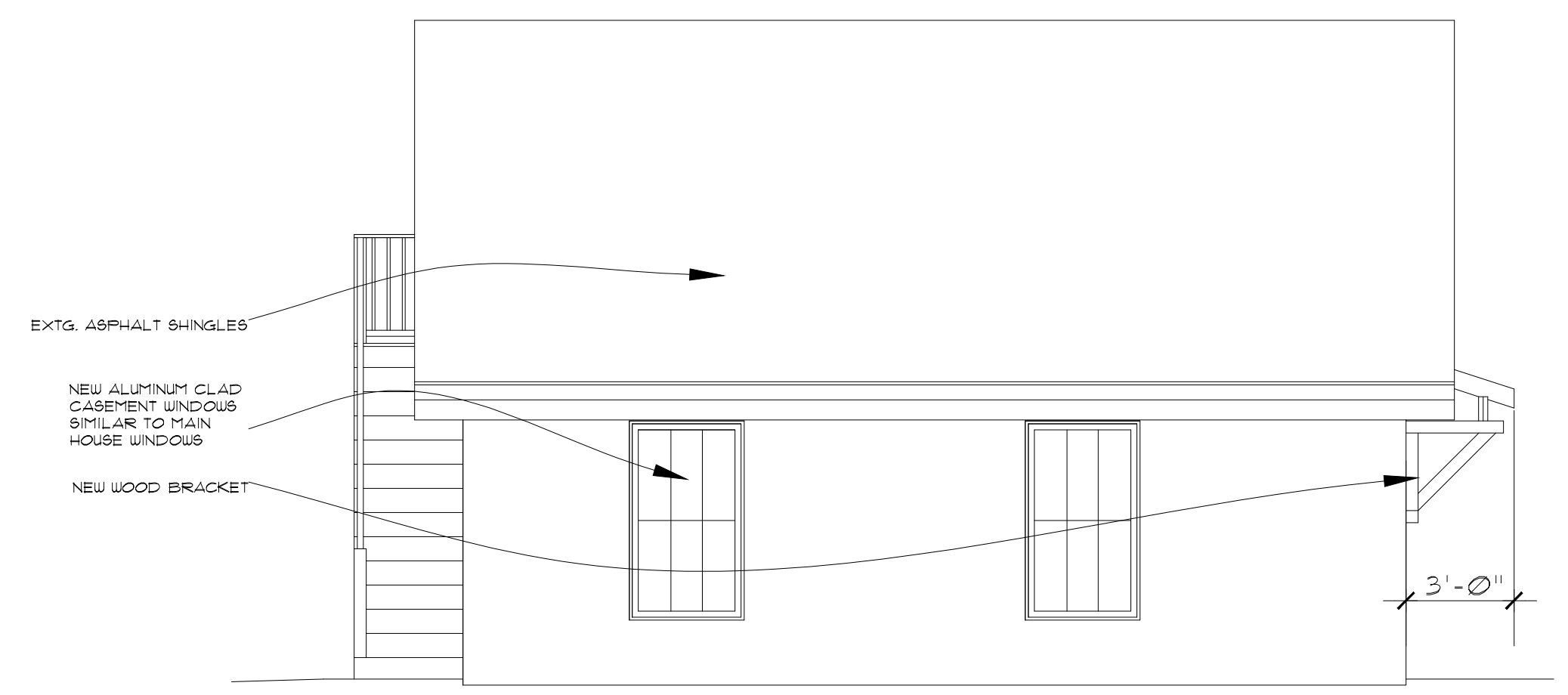
2 NEW FRONT ELEVATION
 A001 SCALE: 1/4" = 1'-0"



3 NEW REAR ELEVATION
 A001 SCALE: 1/4" = 1'-0"



5 NEW RIGHT SIDE ELEVATION
 A001 SCALE: 1/4" = 1'-0"



4 NEW LEFT SIDE ELEVATION
 A001 SCALE: 1/4" = 1'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature]

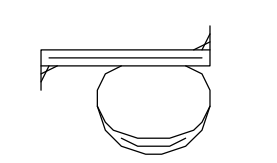
REVIEWED
 By Dan.Bruechert at 9:53 am, Apr 06, 2023

Professional Certification: I certify that these documents were prepared or approved by me, and that I am a licensed architect under the laws of the state of Maryland license number 15639, expiration date 12/17/24.



GARAGE CONVERSION TO ADU
 7421 CEDAR AVE.
 TAKOMA PARK, MD

STUDIO D
 132 cresthaven dr
 silver spring, md
 301-231-0537

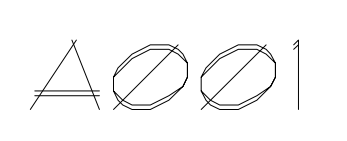


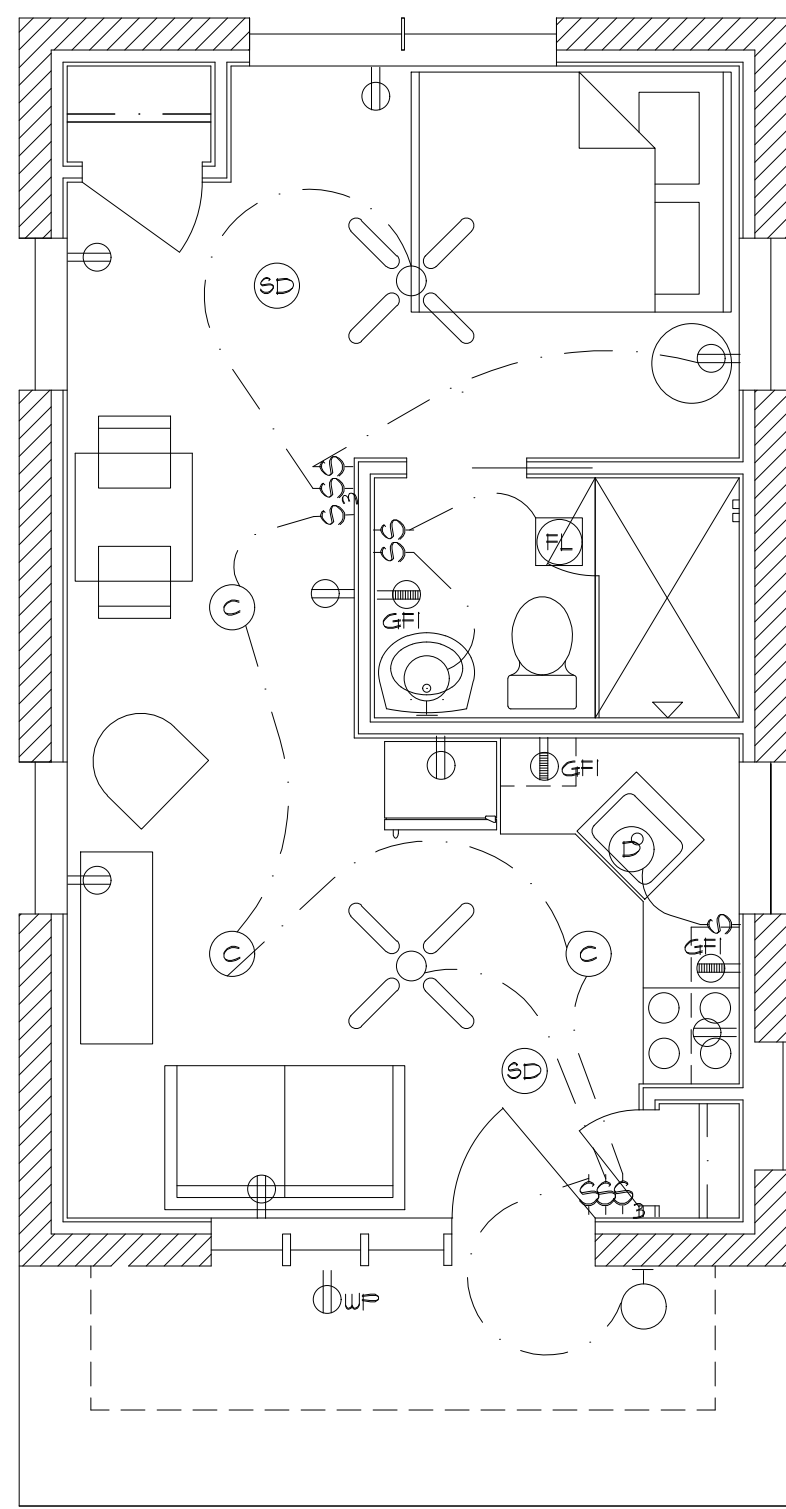
DANA ROGERS HADEN, AIA architect

ISSUE:
 PERMIT SET: 4/4/23

SHEET:

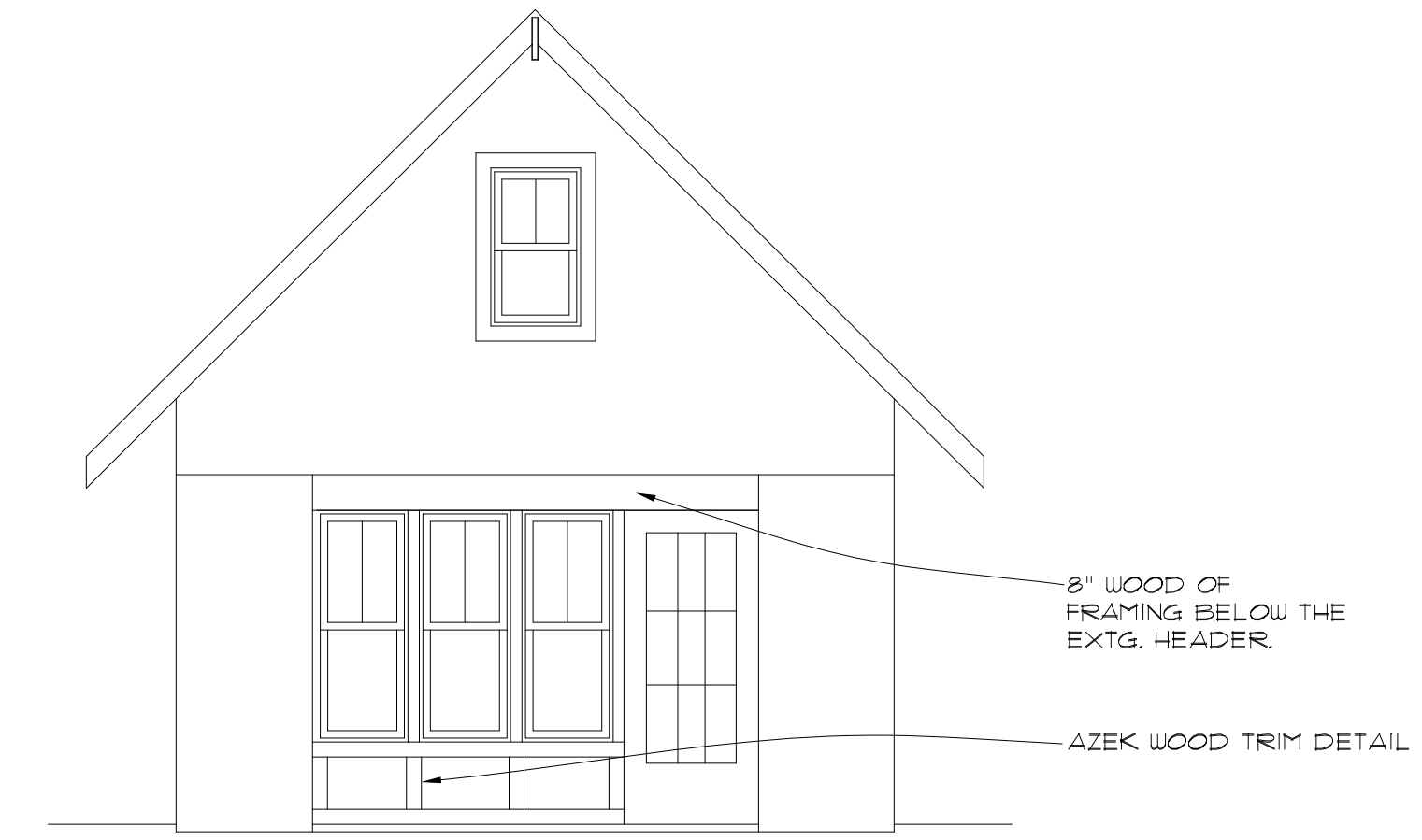
NEW PLAN AND EXTERIOR ELEVATIONS



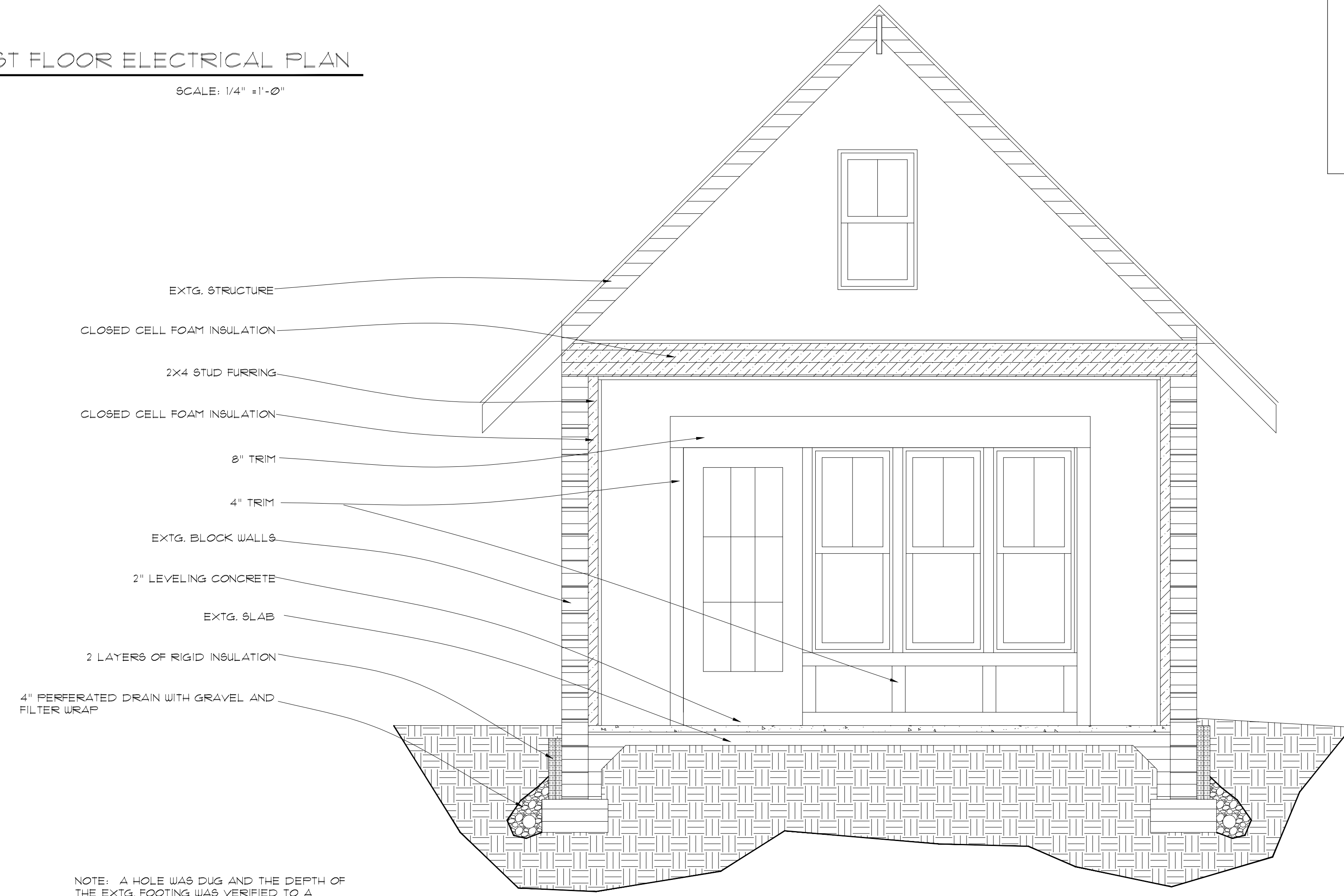


ELECTRICAL LEGEND	
	120 V DUPLEX RECEPTACLE 18" AFF.
	120 V DUPLEX RECEPTACLE 48" AFF.
	GROUND FAULT INTERRUPTOR RECEPTACLE
	WATER PROOF FIXTURE
	SPECIAL PURPOSE CONNECTION
	CEILING MOUNTED LIGHT FIXTURE
	RECESSED CAN LIGHT
	PENDANT LIGHT
	WALL MOUNTED LIGHT FIXTURE
	SWITCH
	3 WAY SWITCH
	EXHAUST FAN
	SMOKE DETECTOR
	FAN/LIGHT FIXTURE

1 FIRST FLOOR ELECTRICAL PLAN
A002 SCALE: 1/4" = 1'-0"

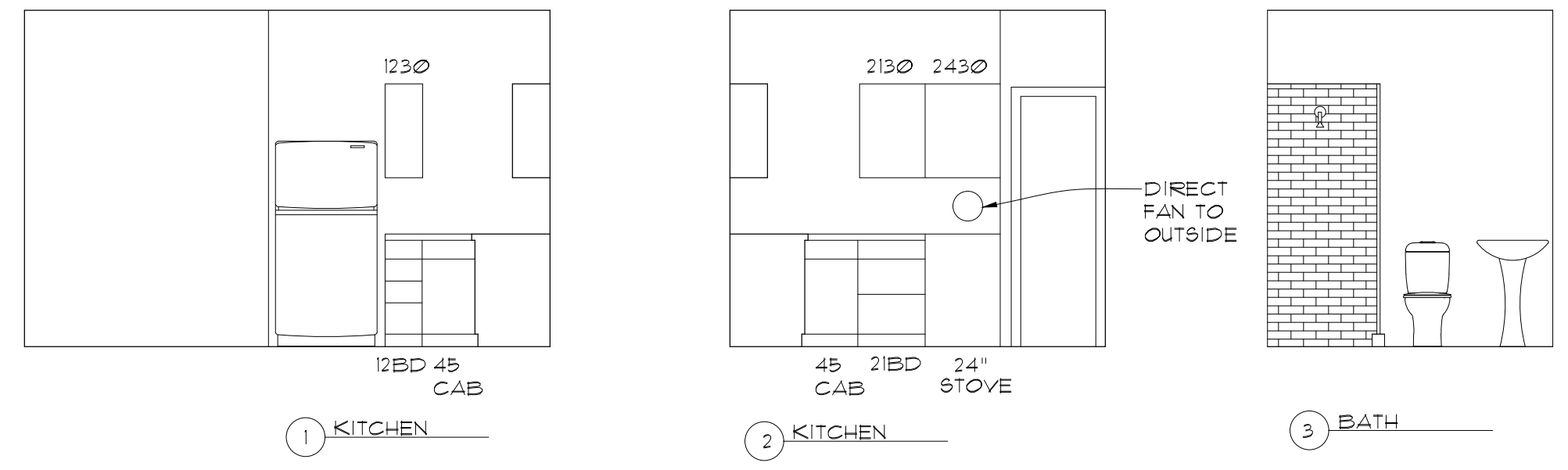


2 FRONT DOOR EXTERIOR ELEV.
A002 SCALE: 1/4" = 1'-0"



NOTE: A HOLE WAS DUG AND THE DEPTH OF THE EXTG. FOOTING WAS VERIFIED TO A DEPTH OF 30" BELOW GRADE

4 SECTION
A002 SCALE: 1/4" = 1'-0"



3 INTERIOR ELEVATIONS
A002 SCALE: 1/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission

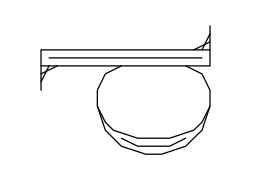
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SHEET:

ELECT. PLAN, SECTION,
DOOR DETAIL, INT. ELEV

A002

GARAGE CONVERSION TO ADU

7421 CEDAR AVE.

TAKOMA PARK, MD

ZONING INFORMATION

LOT: 6
 BLOCK: 86
 TAKOMA PARK
 MONTGOMERY COUNTY, MD

GENERAL NOTES

ALL MATERIAL AND WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH MONTGOMERY COUNTY AND THE 2018 IRC BUILDING CODE.

WIND LOAD: 80 MPH W/ 3 SECOND GUSTS.

THE CONTRACTOR SHALL OBTAIN PERMITS FOR CONSTRUCTION AND INSPECTIONS OF WORK.

THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL INFORM THE ARCHITECT OF CONDITIONS WHICH MAY AFFECT THE CONSTRUCTION AS SHOWN.

THE CONTRACTOR SHALL PROVIDE WORKMAN EXPERIENCED IN THEIR TRADE AND ALL WORK SHALL CONFORM TO THE ACCEPTED STANDARDS OF THE INDUSTRY. THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL BE LEGALLY REGISTERED IN MARYLAND.

THE CONTRACTOR AND SUB-CONTRACTORS SHALL CLEAN THE SITE OF DUST AND DEBRIS DAILY AFTER WORK IS COMPLETED. ALL EFFORTS SHALL BE MADE TO KEEP DUST FROM OCCUPIED ROOMS OF THE HOUSE. THE HOUSE SHALL BE LEFT IN A SPOTLESS CONDITION AFTER FINAL COMPLETION OF THE WORK.

DO NOT SCALE THE DRAWINGS. DIMENSIONAL DISCREPANCIES AND QUESTIONS SHALL BE DIRECTED TO THE ARCHITECT.

DO NOT STACK BUILDING MATERIALS IN SUCH A MANNER THAT WOULD CREATE CONCENTRATED LOADS ON THE EXISTING STRUCTURE.

ALL EXISTING AREAS AFFECTED BY THE NEW WORK SHALL BE RESTORED TO MATCH EXISTING

THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR AND EQUIPMENT REQUIRED FOR THE FULL PERFORMANCE OF THE WORK HEREIN, UNLESS SPECIFICALLY NOTED OTHERWISE.

CONDITIONS:
 THE GENERAL CONTRACTOR SHALL GIVE HIS PERSONAL SUPERVISION TO THE WORK AND HAVE A RESPONSIBLE FOREMAN CONTINUALLY ON THE SITE TO ACT FOR HIM. THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL COOPERATE WITH ALL TRADES SO AS TO FACILITATE THE GENERAL PROGRESS OF THE WORK. EACH TRADE SHALL AFFORD ALL OTHER TRADES EVERY REASONABLE OPPORTUNITY FOR THE INSTALLATION OF THEIR WORK.

THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL CARRY WORKMAN'S COMPENSATION INSURANCE AND ANY OTHER INSURANCES AS REQUIRED BY LAW.

Z
 OWNER AND THE CONTRACTOR IN WRITING PRIOR TO PROCEEDING WITH THE WORK.

ALL DIMENSIONS ARE TO ROUGH FRAMING UNLESS OTHERWISE NOTED.

ALL FRAMING MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING LIVE LOAD DESIGN STRENGTHS:
 ROOF- 30PSF
 FLOORS- 40PSF

WOOD STUDS (2x4 @ 16" O.C.)- NO. 3 STANDARD STUD GRADE LUMBER OR EQUIVALENT.

ALL JOISTS SHALL HAVE MINIMUM BEARING OF 1 1/2" ON WOOD OR STEEL AND NOT LESS THAN

WALL FRAMING: UNLESS NOTED OTHERWISE 2x4 STUDS @ 16" O.C. WITH DOUBLE STUDS AT OPENING, 3 FULL MEMBERS @ CORNERS, DOUBLE PLATES FOR BEARING PARTITIONS.

3" ON MASONRY.

ALL WOOD IN CONTACT WITH EXTERIOR WALLS BELOW GRADE OR CONCRETE SLABS ON GRADE (SILLS, PLATES, SLEEPERS) SHALL BE PRESSURE TREATED. ALL EXTERIOR WOOD SHALL BE PRESSURE TREATED OR APPROVED FOR EXTERIOR USE.

FOOTINGS: BOTTOMS OF ALL FOOTINGS SHALL EXTEND 1'-0" MIN. INTO UNDISTURBED SOIL AND WHERE SUBJECT TO FROST ACTION AT LEAST 2'-6" BELOW FINISHED GRADE. FOOTINGS SHALL EXTEND BELOW ELEVATIONS SHOWN WHERE NECESSARY TO REACH THE SOIL BEARING VALUE OF 2,000 PSF.

ALL ASSEMBLIES AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION.

USE APPROVED METAL (KANT-SAG) OR EQUIVALENT CONNECTORS FOR ALL STRUCTURAL LUMBER CONNECTIONS.

ALL OPENINGS THROUGH ROOF OR WALLS SHALL BE THOROUGHLY SEALED AND FLASHED.

INTERIOR TRIM AND DOOR FRAMES: INSTALL TRIM TO MATCH EXTG. AROUND DOORS AND WINDOWS (INTERIOR) WOOD SHALL BE SECURED WITH FINE FINISH NAILS AND GLUED WHERE REQUIRED TO ASSURE PERMANENT TIGHT JOINTS. SET WOOD BASE AFTER FINISH FLOOR IS IN PLACE.

GUTTERS AND DOWNSPOUTS: ALUMINUM SYSTEM; SIZE, SHAPE AND COLOR TO MATCH EXISTING.

INSTALL SPLASH BLOCKS AT EACH DOWNSPOUT.

CAULKING AND SEALANTS: APPLY DAP ACRYLIC LATEX CAULK WITH SILICONE OVER POLYETHYLENE FOAM BACKING. MAXIMUM JOINT DEPTH 1/2"

ELECTRICAL AND RECEPTACLE OUTLETS: CONTRACTOR SHALL FURNISH AND INSTALL DUPLEX OUTLETS AS SHOWN ON DRAWINGS. PROVIDE ADDITIONAL CAPACITY ON CIRCUITS FOR FUTURE OUTLETS TO BE INSTALLED BY OWNER. PROVIDE DEDICATED CIRCUITS SIZED AS REQUIRED BY EQUIPMENT MANUFACTURER.

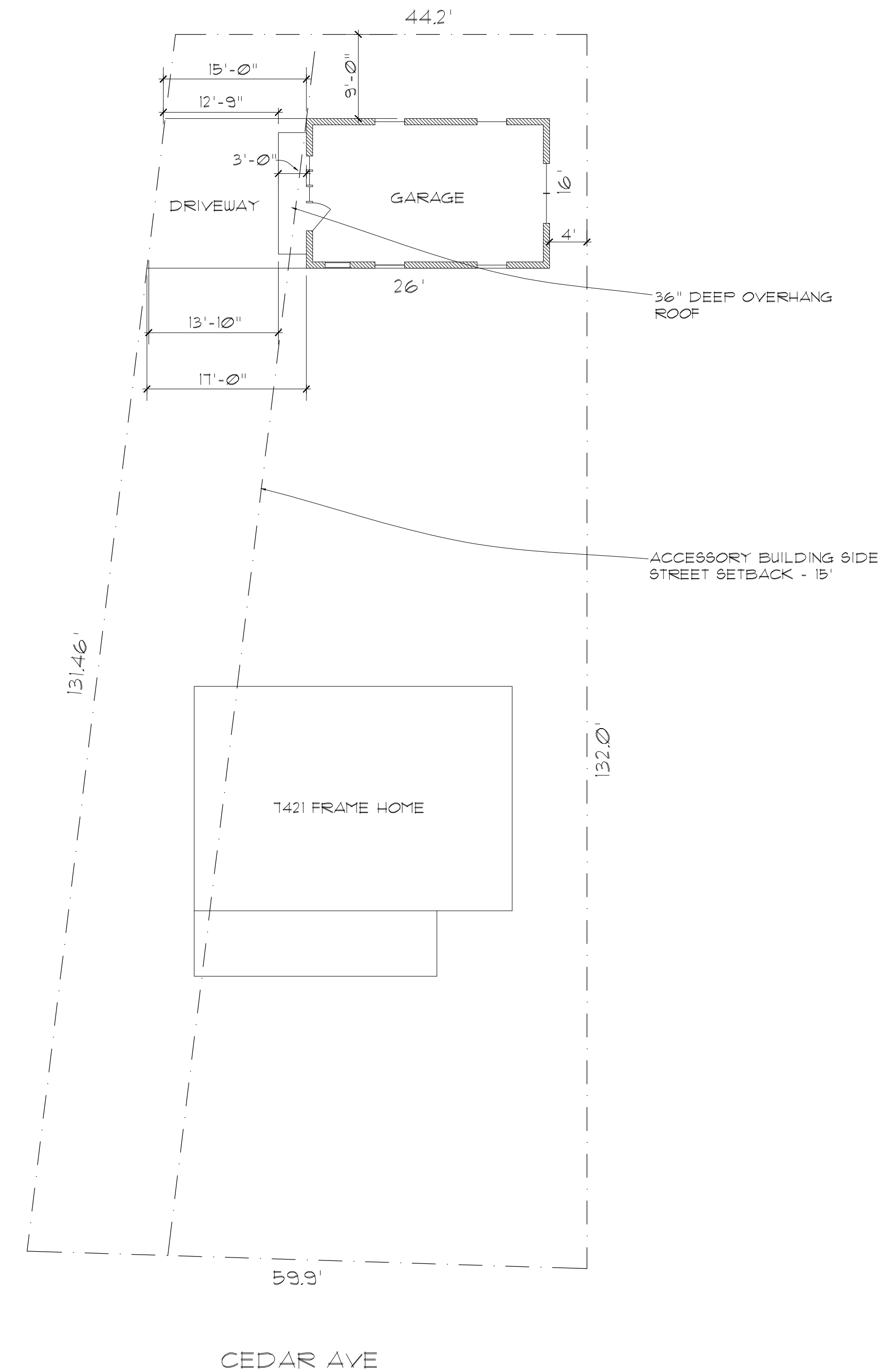
CONTRACTOR SHALL FURNISH AND INSTALL ALL LIGHT FIXTURES, WIRING, AND SWITCHES AS INDICATED.

INSTALL R-38 BATT INSULATION IN THE CEILING OF 2ND FLOOR IN NEW ROOF TRUSSES
 INSTALL R-21 BATT INSULATION IN THE 2x6 STUD WALL
 INSTALL R-21 BATT INSULATION IN THE REST OF THE NEW EXTERIOR 2x6 WALLS.

***MECHANICAL WORK AND DRAWINGS TO BE SUPPLIED BY MECHANICAL CONTRACTOR.

LIST OF DRAWINGS

SHEET	TITLE
C001	ZONING INFORMATION, GENERAL NOTES, LIST OF DRAWINGS, SITE PLAN.
X001	EXTG. PLANS AND ELEVATIONS
A001	NEW FLOOR PLAN AND 4 ELEVATIONS
A002	ELECT. PLAN, EXT. DOOR ELEV., INT. DETAILS, SECTION



1 SITE PLAN
 C001 SCALE: 1" = 10'-0"

TWO VARIANCES WERE APPROVED BY THE ZONING BOARD ON DECEMBER 14.
 ONE VARIANCE WAS FOR THE SETBACK AND ONE WAS FOR THE NEW PORTICO COVERING THE ENTRANCE.



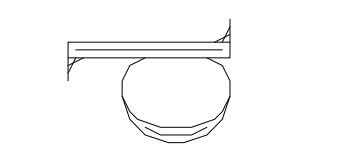
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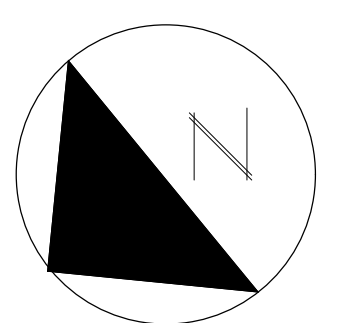
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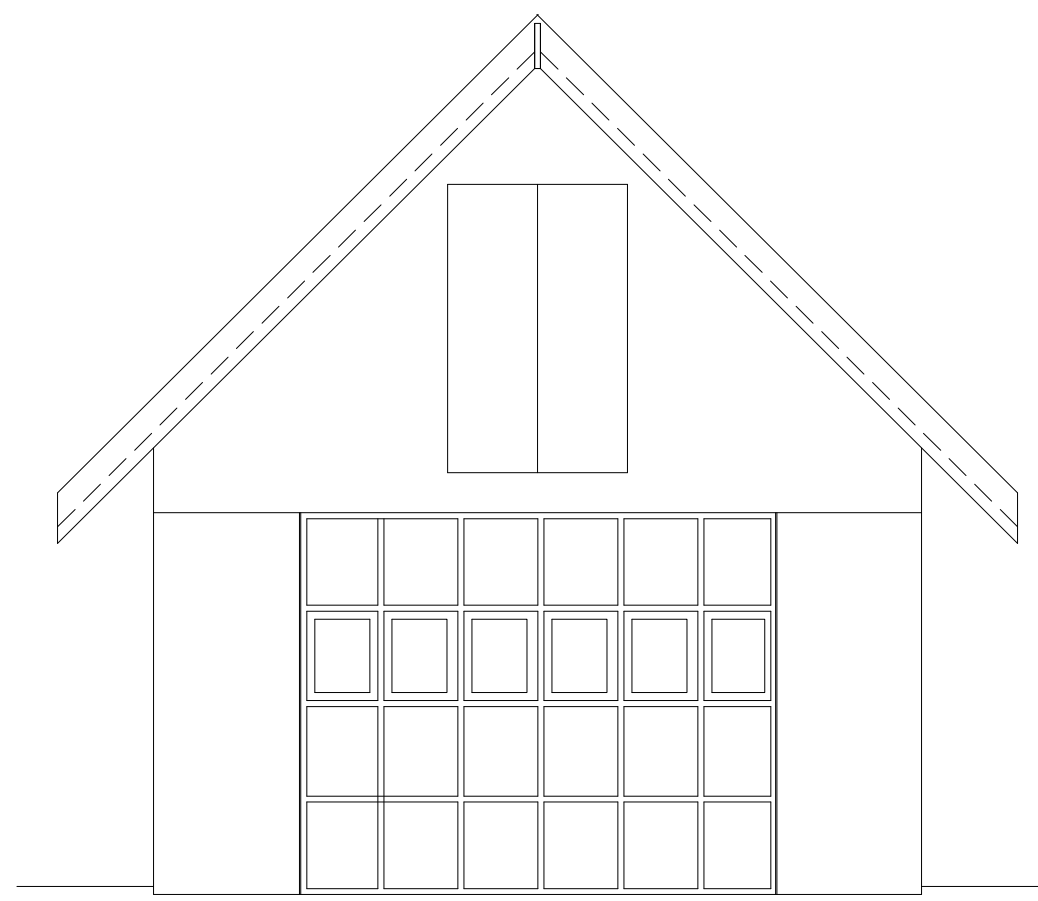


SHEET:
 ZONING INFORMATION
 GENERAL NOTES
 LIST OF DRAWINGS
 SITE PLAN

C001

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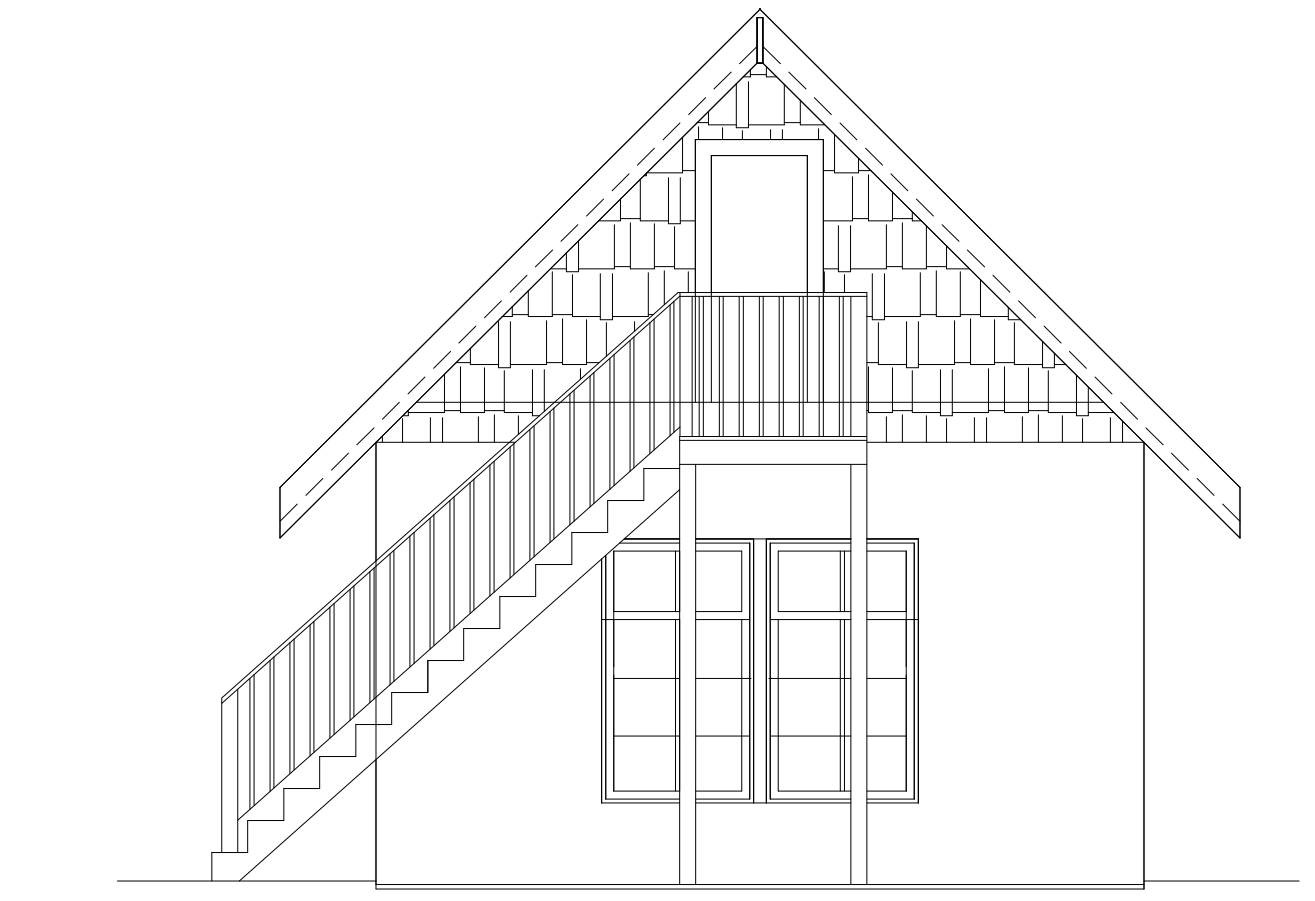
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1 EXTG. FRONT ELEVATION
SCALE: 1/4" = 1'-0"



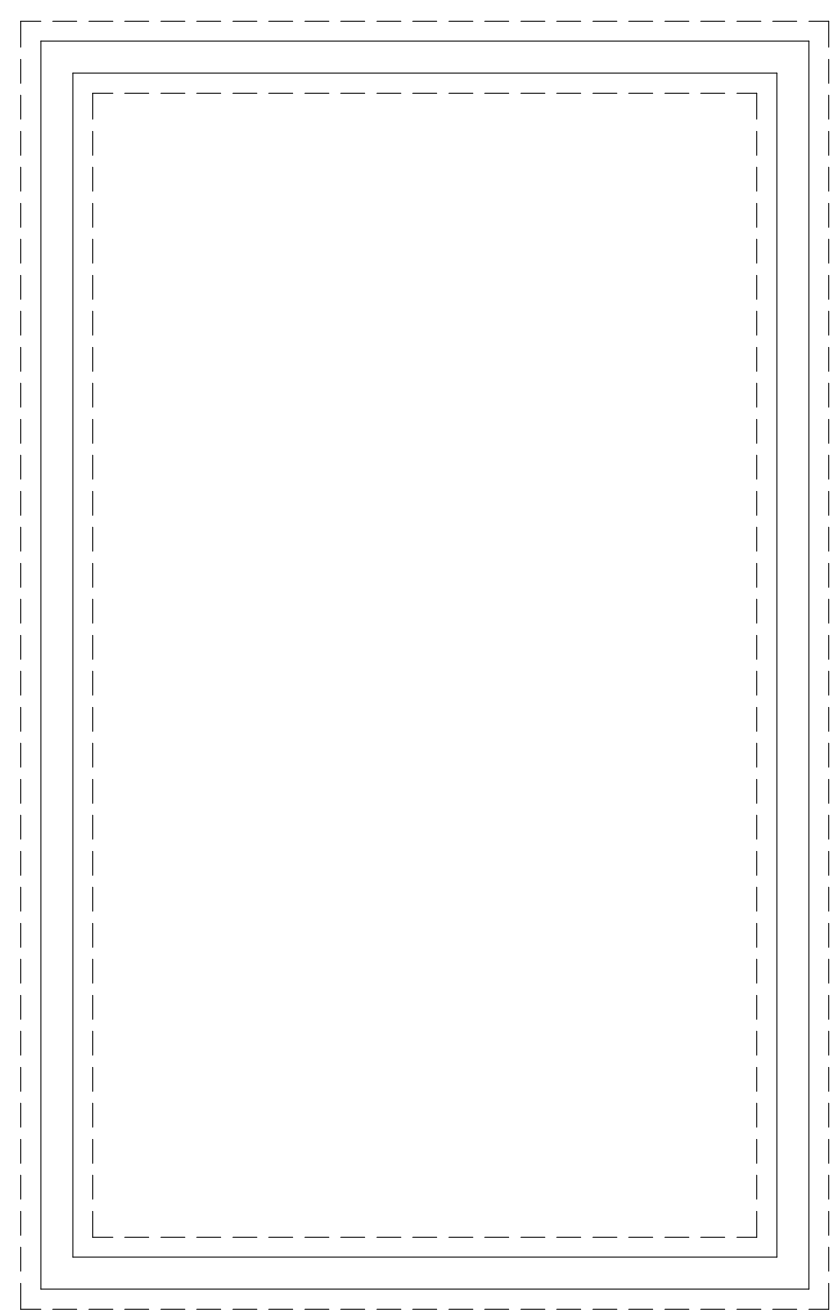
2 EXTG. LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



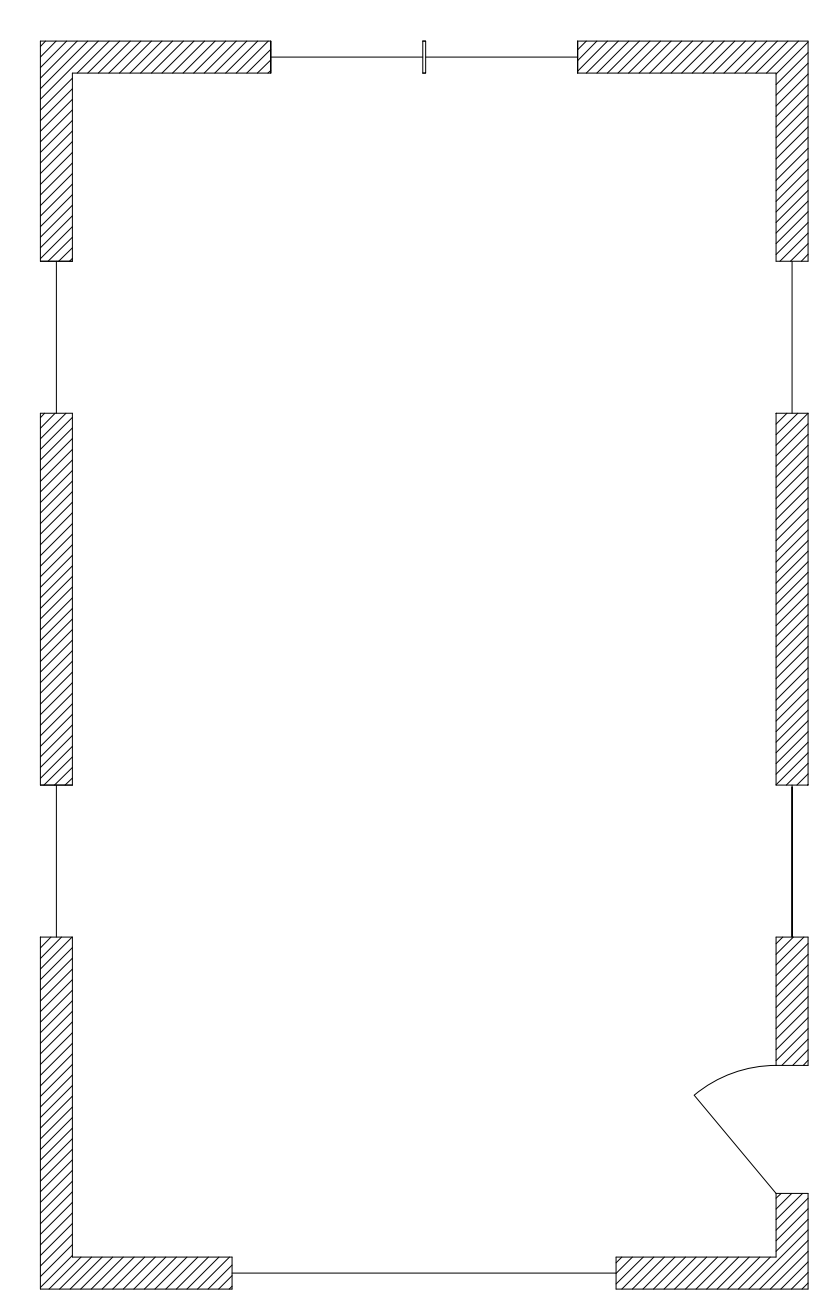
3 EXTG. REAR ELEVATION
SCALE: 1/4" = 1'-0"



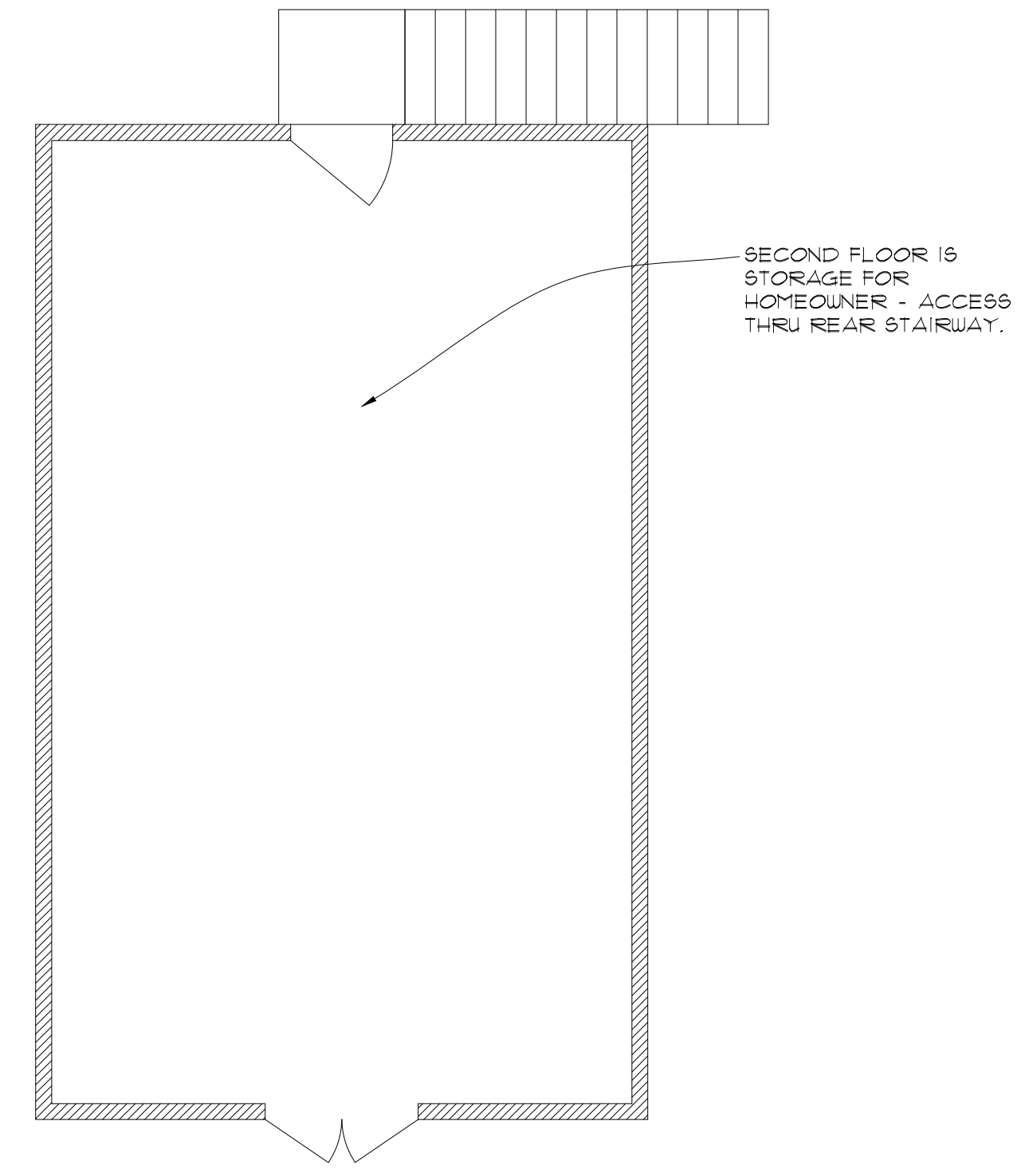
4 EXTG. RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



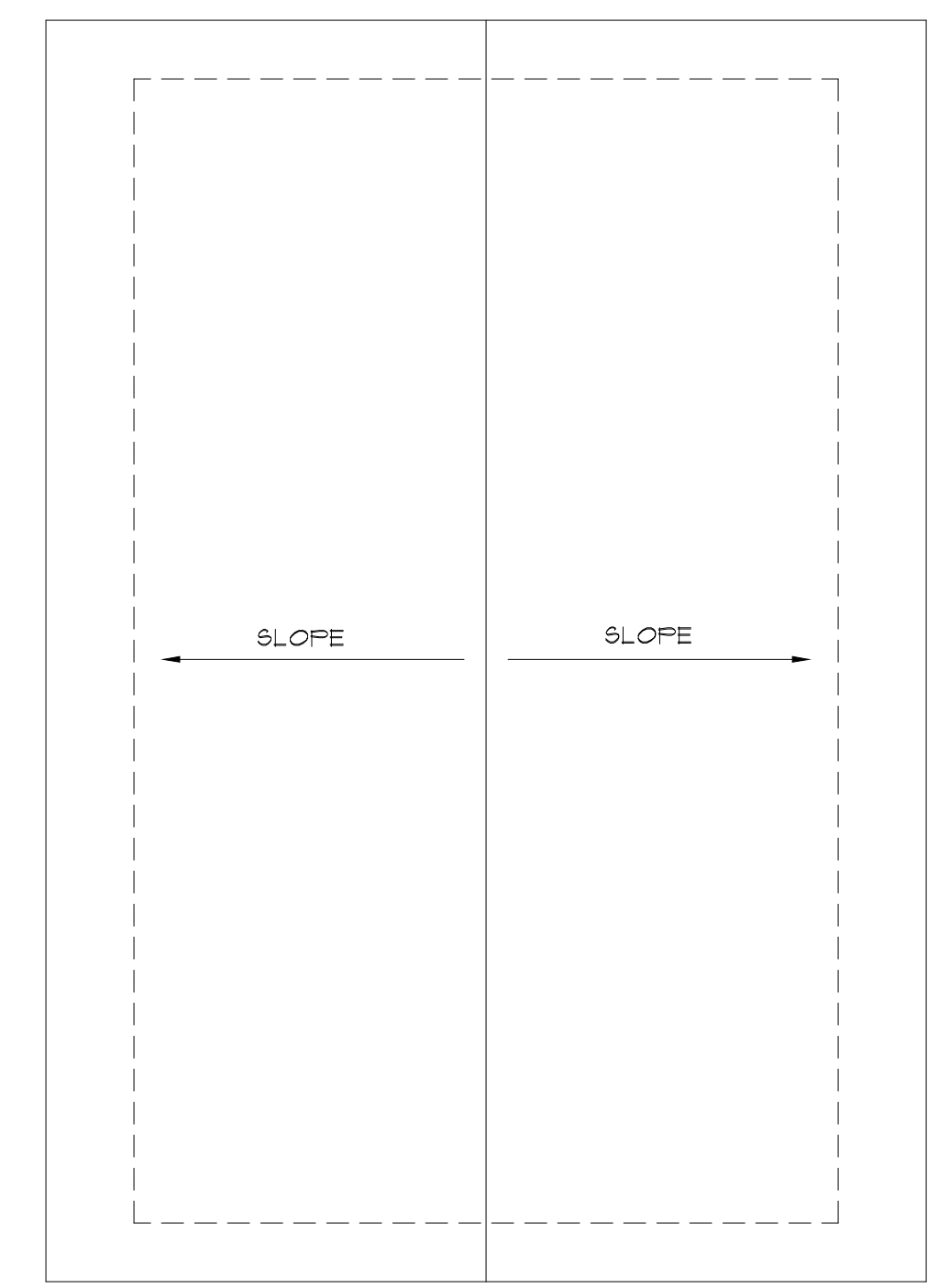
5 EXTG. FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



6 EXTG. FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



7 EXTG. ROOF PLAN
SCALE: 1/4" = 1'-0"



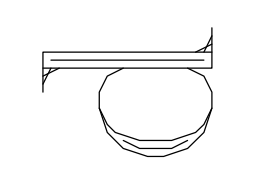
7 EXTG. ROOF PLAN
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EXTG. PLANS & ELEVATIONS

X001