



## HISTORIC PRESERVATION COMMISSION

Marc Elrich  
*County Executive*

Robert Sutton  
*Chairman*

Date: March 26, 2021

### MEMORANDUM

TO: Mitra Pedoeem  
Department of Permitting Services

FROM: Michael Kyne  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #943562: Alterations and rear alterations

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the March 24, 2021 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Barbara Winnik (Phillip Long, Architect)  
Address: 5804 Connecticut Avenue, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Michael Kyne at 301.563.3403 or [michael.kyne@montgomeryplanning.org](mailto:michael.kyne@montgomeryplanning.org) to schedule a follow-up site visit.



# WINNIK RESIDENCE

5804 CONNECTICUT AVENUE, CHEVY CHASE, MD 20815

## INTERIOR DESIGN BY:

G.L. SMITH ASSOCIATES  
2908 M STREET, NW, WASHINGTON, DC 20007

**REVIEWED**  
By Michael Kyne at 3:26 am, Mar 26, 2021

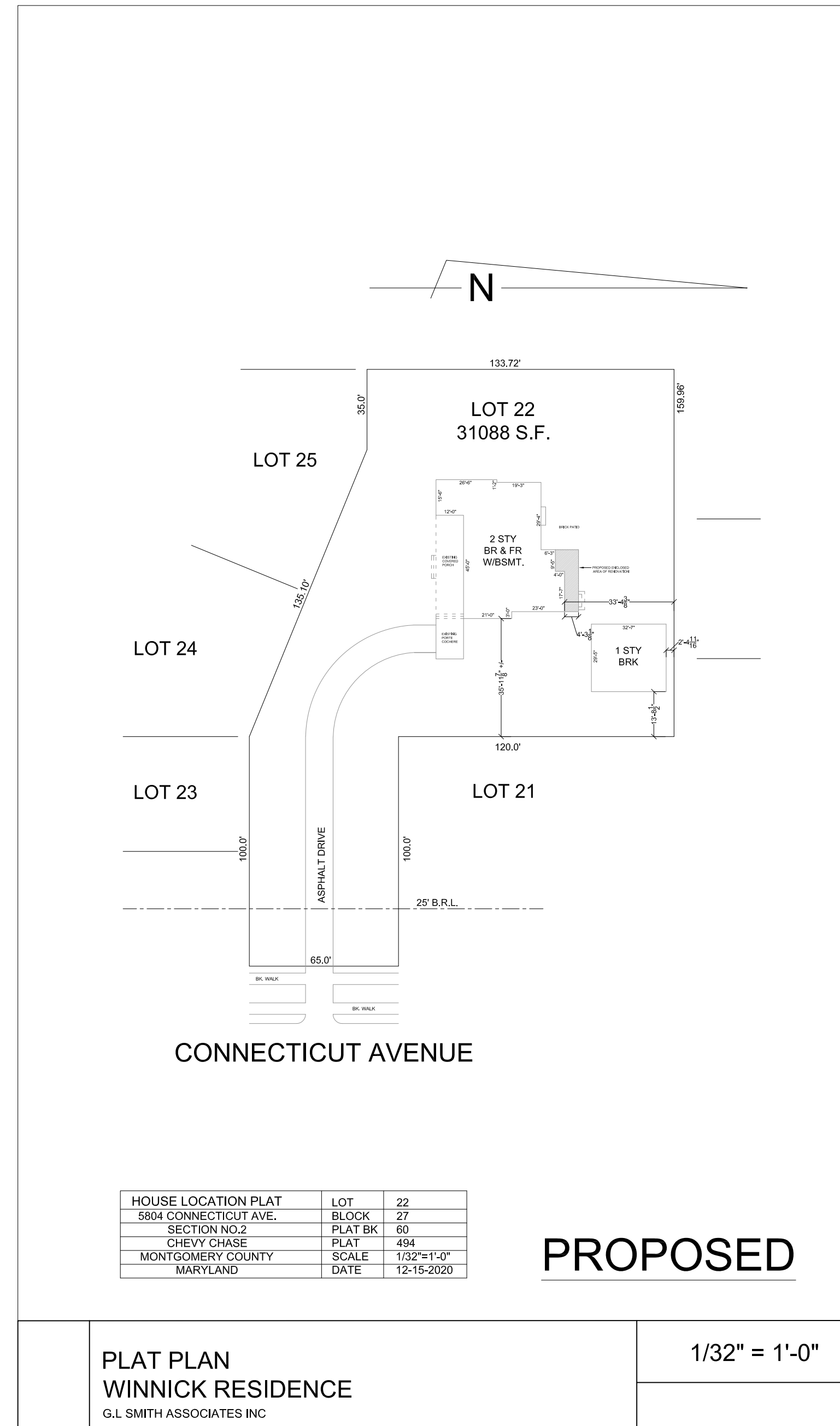


G.L. SMITH ASSOCIATES  
2908 M ST NW  
WASHINGTON, DC 20007

## PROJECT GENERAL NOTES

### PROJECT GENERAL NOTES:

- THE CONSTRUCTION OF THE PROJECT, AS DESCRIBED ON THE DRAWINGS AND SPECIFICATION HEREIN, CONSTITUTES THE SCOPE OF WORK. CONTRACTOR TO PROVIDE ALL WORK NECESSARY FOR THE COMPLETION OF THE PROJECT, INCLUDING: FURNISH LABOR, EQUIPMENT, AND MATERIALS, OBTAIN PERMITS, AND FURNISH SYSTEMS AS DESCRIBED WITHIN THE DRAWINGS AND SPECIFICATIONS.
- BY ACCEPTING THE OWNER-CONTRACTOR AGREEMENT THE CONTRACTOR REPRESENT THAT:
  - HE HAS READ AND UNDERSTANDS THE CONTRACT DOCUMENT AND THE AGREED CONTRACT AMOUNT WAS CREATED IN ACCORDANCE THEREWITH.
  - HE HAS VISITED THE SITE AND HAS FAMILIARIZED HIMSELF WITH THE LOCAL CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED.
  - THE CONTRACT AMOUNT IS BASED UPON THE MATERIALS, SYSTEMS, AND EQUIPMENT DESCRIBED IN THE CONTRACT DOCUMENTS WITHOUT EXCEPTION.
- ALL WORK IS TO BE DONE IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS, CONTRACTOR SHALL CONFORM TO ALL O.S.H.A REQUIREMENT. APPROVAL OF THESE DRAWINGS BY GOVERNING AUTHORITIES DOES NOT RELEASE THE CONTRACTOR FROM COMPLYING WITH ALL APPLICABLE CODES AND STANDARDS.
- THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY & COSTS FOR THE FOLLOWING:
  - BUILDING PERMITS, LICENSES, INSPECTIONS AND FEES (ALL IMPACT FEES).
  - LIABILITY AND WORKMEN'S COMPENSATION INSURANCE, ETC.
  - AND OTHER ITEMS INDICATED IN DRAWINGS/SPECIFICATIONS.
- CONTRACTOR SHALL REVIEW CONTRACT DOCUMENTS AND FIELD CONDITIONS AND COMPARE DRAWINGS WITH EXISTING CONDITIONS AND MEASUREMENTS PRIOR TO BIDDING / START OF WORK TO ASCERTAIN THE FULL AMOUNT OF WORK INVOLVED. THE CONTRACTOR WILL BE REQUIRED TO EXECUTE ALL LABOR AND PROVIDE ALL MATERIALS TO CARRY OUT ALL THE WORK REQUIRED TO OBTAIN THE RESULTS AS INDICATED ON THE DRAWINGS AND IN THE SPECIFICATIONS, WHETHER EACH AND EVERY ITEM IS MENTIONED OR NOT. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR SUCH WORK OR MATERIALS AS ARE NOT SHOWN ON THE DRAWINGS AND/OR SPECIFIED, BUT WHICH ARE REQUIRED TO OBTAIN THE ABOVE MENTIONED RESULTS.
- CHECK ALL DIMENSIONS ON JOB AND FULLY VERIFY PRIOR TO EXECUTION. ALL ELEVATIONS GIVEN ARE APPROXIMATE AND ARE GIVEN FOR RELATIONAL PURPOSES. CONTRACTOR SHALL ESTABLISH EXACT LEVELS PRIOR TO START OF WORK AND NOTIFY DESIGNER AND OWNER OF ANY SIGNIFICANT DISCREPANCIES. CONTRACTOR SHALL NOT SCALE DRAWINGS.
- CONTRACTOR TO VISIT SITE AND COMPLETELY FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS PRIOR TO EXECUTION OF ANY CONSTRUCTION. DISCREPANCIES BETWEEN EXISTING CONDITIONS AND DRAWINGS SHALL BE REPORTED TO DESIGN AND/OR OWNER FOR CLARIFICATION PRIOR TO COMMENCEMENT OF WORK. CONTACT DESIGNER AND/OR OWNER PRIOR TO EXECUTING ANY WORK IN QUESTION.
- IF THERE IS ANY INCONSISTENCY IN THE DRAWINGS, OR BETWEEN THE DRAWINGS AND THE SPECIFICATIONS, UNLESS OTHERWISE ORDERED IN WRITING BY THE DESIGNER AND/OR OWNER, AND ENGINEER, THE CONTRACTOR SHALL PROVIDE THE BETTER QUALITY OF, OR GREATER QUANTITY OF, WORK OR MATERIALS IN ACCORDANCE WITH THE DESIGNER'S INTERPRETATION. WHERE A TYPICAL OR REPRESENTATIVE DETAIL IS SHOWN ON THE DRAWINGS, SUCH DETAIL SHALL CONSTITUTE THE STANDARD OF WORKMANSHIP AND MATERIALS THROUGHOUT CORRESPONDING PORTIONS OF THE WORK. WHERE NECESSARY, THE CONTRACTOR SHALL ADOPT SUCH DETAIL FOR USE IN SAID CORRESPONDING PORTIONS OF THE WORK IN A MANNER THAT IS SATISFACTORY TO DESIGNER/ENGINEER/OWNER. IT IS NOT INTENDED TO MENTION EVERY ITEM OF WORK IN THE SPECIFICATIONS WHICH CAN BE ADEQUATELY SHOWN ON THE DRAWINGS, NOR TO SHOW ON THE DRAWINGS ALL ITEMS OF WORK DESCRIBED OR REQUIRED BY THE SPECIFICATIONS EVEN IF THEY ARE OF SUCH NATURE THAT THEY COULD HAVE BEEN SPECIFIED THEREIN OR SHOWN THEREON. IN THE EVENT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS SIMILAR CONDITIONS THAT ARE SHOWN OR NOTED.
- THE DESIGNER WILL NOT BE RESPONSIBLE FOR AND WILL NOT HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE DESIGNER WILL NOT BE RESPONSIBLE FOR THE FAILURE OF THE OWNER OR HIS/HER CONTRACTORS, SUBCONTRACTORS, OR ANYONE PERFORMING ANY OF THE WORK, TO CARRY OUT THE WORK IN ACCORDANCE WITH THE APPROVED CONTRACT DOCUMENTS.
- IN AREAS WHERE THE DRAWINGS DO NOT ADDRESS METHODOLOGY, THE CONTRACTOR SHALL BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- CONTRACTOR TO PROVIDE FULL TIME SUPERVISION AND ACCURATE RECORDS OF ALL TIME AND MATERIALS INVOLVED IN THE COMPLETION OF THE PROJECT. CONTRACTOR TO BE RESPONSIBLE FOR THE DIRECTION OF SUBCONTRACTORS AND THE PERFORMANCE/COORDINATION OF ALL ASSOCIATED TRADES. THE CONTRACTOR SHALL MANAGE THE ENTIRE PROJECT BY SUPERVISING, COORDINATING AND EXPEDITING THE SUBCONTRACTORS' WORK. THE CONTRACTOR SHALL INSPECT THE WORK AS IT IS PERFORMED TO ASSURE CONFORMANCE WITH THE CONTRACT DOCUMENTS. THE SUBCONTRACTORS SHALL DIRECT THEIR WORK FORCE IN ACCORDANCE WITH THE INSTRUCTIONS OF THE CONTRACTOR SUBJECT TO THE TERMS HEREIN PROVIDED. SUPERVISION AND DIRECTION OF THE WORK OF ALL THE SUBCONTRACTORS BY THE CONTRACTOR SHALL NOT RELIEVE THE SUBCONTRACTOR FROM HIS DUTY TO COORDINATE AND DIRECT HIS OWN WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS/VENDOR DATA SUBMITTAL SCHEDULE TO DESIGNER/OWNER FOR REVIEW AND APPROVAL WITHIN FIFTEEN (15) BUSINESS DAYS FROM COMMENCEMENT OF WORK.
- THE DESIGNER/OWNER WILL CONSIDER FORMAL REQUESTS FROM THE CONTRACTOR FOR SUBSTITUTION OF PRODUCTS, MATERIALS, OR MANUFACTURERS. THESE REQUESTS SHALL ACCOMPANY BUT NOT BE INCLUDED IN THE BSE BID OR THE SPECIFIED BID DUE DATE. CONTRACTOR SHALL SUBMIT TWO COPIES OF REQUEST FOR SUBSTITUTION TO DESIGNER/OWNER FOR REVIEW AND APPROVAL PRIOR TO START OF WORK.
- CONTRACTOR SHALL PROVIDE THE FOLLOWING SUBMITTALS PRIOR TO PURCHASING FOR FINAL APPROVAL.
  - CONTRACTOR TO HAVE MECHANICAL, ELECTRICAL, AND PLUMBING SUBCONTRACTOR REVIEW DRAWINGS AND VERIFY DESIGN, LOCATIONS OR EQUIPMENT, SIZES, ETC. PRIOR TO BID. PROVIDE CATALOG CUTS AND ALL ELECTRICAL/PLUMBING FIXTURES AND MISC. HARDWARE.
  - COLOR/MATERIAL SAMPLES OF ALL PAINTS, TRIM, TILE, FLOORING, ROOFING, FLASHING, SIDING, AND DECK MATERIAL.
  - COLOR/MATERIAL SAMPLES OF COUNTERTOPS AND CATALOG CUTS ON ALL PRE-MANUFACTURER CABINETRY. PROVIDE SHOP DRAWINGS FOR ALL CUSTOM CABINETS AND BUILT-INS.
  - SHOP DRAWINGS FOR CUSTOM DOORS, STAIRS, RAILING, ROOF AWNING, AND SHOWER ENCLOSURES, WHERE APPLICABLE.
  - CONTRACTOR TO PROVIDE FULL SCALE MOCK-UPS OF INTERIOR AND EXTERIOR TRIM.
- WHERE NEW WORK IS TO BE DONE, CARE SHALL BE TAKEN TO PROTECT ALL EXISTING ADJACENT SURFACES AND AREAS FROM DAMAGE. ANY AREAS DAMAGED DURING CONSTRUCTION OF DEMOLITION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT NO ADDITIONAL COST TO OWNER. THIS APPLIES PARTICULARLY TO ADJACENT SPACES, ROOF, AND OTHER EXTERIOR AREAS AND SURFACES.
- ONLY NEW, FIRST CLASS MATERIALS WILL BE USED, UNLESS NOTED OTHERWISE. ALL WORK AND EQUIPMENT SHALL BE WARRANGED BY THE CONTRACTOR FOR A MINIMUM OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE EXCEPT FOR MANUFACTURER'S GUARANTEES WHICH MAY BE LONGER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE INCLUSION OF ALL WORK NECESSARY FOR A COMPLETE INSTALLATION WHETHER SUCH WORK IS OR IS NOT INDICATED ON THE DRAWINGS OR IN THE SPECIFICATIONS.
- ALL MANUFACTURED ITEMS SHALL BE INSTALLED PER THE MANUFACTURER'S STRICT WRITTEN INSTRUCTIONS. WARRANTIES, GUARANTEES, AND MANUFACTURER'S INSTRUCTIONS ON EQUIPMENT FURNISHED AND INSTALLED BY THE CONTRACTOR SHALL BE GIVEN TO THE OWNER.



PLAT PLAN  
WINNIK RESIDENCE  
G.L. SMITH ASSOCIATES INC

1/32" = 1'-0"

## LOT INFORMATION

**PROJECT ADDRESS:** 5804 CONNECTICUT AVENUE, CHEVY CHASE, MD 20815

**EXISTING BUILDING AREA:** 717 SF - GROUND FLOOR (TOTAL)

**EXISTING RENOVATED BUILDING AREA:** 717 SF - GROUND FLOOR (TOTAL)

**PROPOSED NEW BUILDING AREA (CONDITIONED SPACE):** 717 SF - GROUND FLOOR (TOTAL)

**PROPOSED NEW BUILDING AREA (UNCONDITIONED SPACE):** 22 SF - PORCH

**CONSTRUCTION TYPE:**

**FULLY SPRINKLERED:** N/A

**SMOKE DETECTORS:** YES (IS IT HARDWIRED, ON A DEDICATED CIRCUIT?)

PROJECT

WINNIK  
RESIDENCE

DATE

2/10/2021

SCALE

AS NOTED

DRAWING BY

D.Y.G.

APPROVED BY

G.L.S.

REVISIONS

DRAWING NAME

COVER SHEET,  
GENERAL & PROJECT NOTES

SHEET #

G-0

# SITE WORK GENERAL NOTES

## SCOPE OF WORK

RENOVATE AND ENLARGE KITCHEN TO ADD NEW INTERIOR SITTING AREA AND MUDROOM, INCLUDING:  
1. ENCLOSE EXISTING REAR PORCH PER FLOORPLANS AND ELEVATIONS

2. REPLACE ALL KITCHEN CABINETS, APPLIANCES, PLUMBING FIXTURES/FITTINGS, LIGHTING
3. ADD NEW BAY WINDOW AND RE-ORIENT EXISTING EAST 1ST FLOOR WINDOWS TO NEW LOCATIONS.
4. EXTERIOR: RETAIN EXISTING REAR PORCH ROOF AND GUTTERS, ADD NEW WINDOWS/DOORS, STEPS

## SITE WORK GENERAL NOTES

1. **GENERAL:** FURNISH ALL LABOR, TOOLS AND EQUIPMENT AND MAKE EXCAVATION OF CODE DEPTH IN EARTH FOR TRENCHES AND STRUCTURES; REMOVE UNSUITABLE EXISTING MATERIAL; BACKFILL SUCH EXCAVATIONS; FURNISH NECESSARY MATERIAL AND CONSTRUCT EMBANKMENTS AND FILLS; FURNISH SPECIFIED DRAIN TILE AND PROVIDE NECESSARY END WALLS, RETAINING WALLS, BUILD EARTH BERMS, AND SWALES AS APPLICABLE.
2. **EXCAVATION:** THE CONTRACTOR IN THE FIELD SHALL ASSESS AND DETERMINE THE METHOD FOR EXCAVATION, SHORING, AND FORMING NEW FOOTINGS AND FOUNDATIONS WALLS. THE EXCAVATION CONTRACTOR WILL USE ALL NECESSARY PRECAUTIONS WHEN EXCAVATING AT OR NEAR EXISTING BUILDING FOUNDATIONS, TREES, ETC.
3. **BACKFILL:** CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO BRACE THE FOUNDATION WALLS WHEN BACKFILLING. BACKFILLING AGAINST SUCH WALLS SHALL BE DONE IN SUCH A MANNER AS TO NOT DAMAGE THE WALLS AND SHALL BE WELL TAMPED TO MINIMIZE SETTLING OF SOIL.
4. **DRAIN TILE:** FOUR (4) INCH DIAMETER PERFORATED PVC DRAIN PIPE. ALL JOINTS TO BE TONGUE AND GROOVE TYPE. SET PIPE WITH PERFORATION FACING DOWNWARD. FINISHED PIPE TO BE STRAIGHT AND FREE FROM CRACKS OR OTHER DEFECTS. SLOPE TO BE 1/4" PER 12' MINIMUM. COVER WITH 12" DEEP, MINIMUM, GRAVEL WITH FILTER FABRIC BETWEEN GRAVEL AND SURROUNDING SOIL. RUN TO GRADE, SUMP PUMP, DRYWELL, OR TIE INTO EXISTING, AS APPROPRIATE.
5. **WATER:** PROVIDE NECESSARY LINES AND HOOK-UP TO WATER SUPPLY SYSTEM. PROVIDE METER, CONTROLS, VALVES AS APPROPRIATE.
6. **SEWER:** WASTE DISPOSAL SYSTEM TO CONFORM TO LOCAL CODES. VERIFY SIZE AND LAYOUT.
7. **RADON:** PROVIDE RADON VENT SYSTEM WHERE REQUIRED BY COUNTY AND STATE CODES. CONTRACTOR TO ENSURE ALL WORK IS DONE IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
8. **TERMITES/PROOFING:** TREAT BACKFILL SOIL WITH AN APPROVED SOLUTION. DO NOT APPLY WHEN SOIL IS WET. DO NOT USE OIL SOLUTION NEAR VAPOR BARRIER. PEST CONTROL SERVICES SHALL BE ONE OF THE FOLLOWING: 'ORKN', 'TERMIKIN', OR 'AMERICAN PEST'.
  1. FOUNDATIONS: RATE 1 GALLON PER 10 LINEAL FEET (OR AS RECOMMENDED BY PEST CONTROL SERVICE) BOTH SIDES OF FOUNDATION PIERS, INTERIOR WALLS, PLUMBING, ETC. MIX CHEMICAL WITH SOIL AS IT IS REPLACED.
  2. UNDER SLAB: RATE 1 GALLON PER 10 SQUARE FEET (OR AS RECOMMENDED BY PEST CONTROL SERVICE) INCLUDING PORCHES AND ENTRANCE PLATFORMS, ETC.
9. **TREES:** TO BE PROTECTED DURING CONSTRUCTION. SEE SITE PLAN FOR LOCATION OF TREES TO BE REMOVED (IF APPLICABLE). CONTACT OWNER BEFORE CUTTING ANY TREES. COORDINATE WITH OWNER THE RELOCATION OF EXISTING TREES OR OTHER PLANTS AS NECESSARY FOR NEW DESIGN WORK.
10. **SEDIMENT CONTROL:** CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION AGAINST THE DEPOSIT OF SOIL, GRAVEL, OR OTHER MATERIAL ON ANY PUBLIC PROPERTY OR OTHER NEIGHBORING PREMISES PER LOCAL/STATE CODE REQUIREMENTS.
11. **FINISH GRADING:** ALL TOPSOIL REMOVED FOR EXCAVATION TO BE REDISTRIBUTED IN FINAL GRADING, AS MAY BE APPLICABLE. ENSURE ADEQUATE SLOPING OF GRADE FROM STRUCTURE IN ALL AREAS. ENSURE THAT NO MINOR AND MAJOR DEPRESSIONS, SOFT SOIL, AND POTENTIAL WET AND PONDING AREAS EXIST. RESEED AND FERTILIZE, COVER WITH STRAW. PROTECT AND ENSURE NO EROSION. RESEED WHERE NECESSARY IN AREAS LACKING IN FERTILE TOPSOIL. ENSURE MAJOR SITE DRAINAGE IS AWAY FROM ALL STRUCTURES, TOWARDS PROPER CHANNELS AND CORRECT DIRECTIONS OFF-SITE.

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12. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS/EXTERIOR DATA SUBMITTAL SCHEDULE TO DESIGNER/OWNER FOR REVIEW AND APPROVAL WITHIN FIFTEEN (15) BUSINESS DAYS FROM COMMENCEMENT OF WORK.
13. THE DESIGNER/OWNER WILL CONSIDER FORMAL REQUESTS FROM THE CONTRACTOR FOR SUBSTITUTION OF PRODUCTS, MATERIALS, OR MANUFACTURERS. THESE REQUESTS SHALL ACCOMPANY BUT NOT BE INCLUDED IN THE BID OR THE SPECIFIED BID DUE DATE. CONTRACTOR SHALL SUBMIT TWO COPIES OF REQUEST FOR SUBSTITUTION TO DESIGNER/OWNER FOR REVIEW AND APPROVAL PRIOR TO START OF WORK.
14. CONTRACTOR SHALL PROVIDE THE FOLLOWING SUBMITTALS PRIOR TO PURCHASING FOR FINAL APPROVAL.
  - A. CONTRACTOR TO HAVE MECHANICAL, ELECTRICAL AND PLUMBING SUBCONTRACTOR REVIEW DRAWINGS AND VERIFY DESIGN, LOCATIONS OR EQUIPMENT, SIZES, ETC. PRIOR TO BID. PROVIDE CATALOG CUTS AND ALL ELECTRICAL/PLUMBING FIXTURES AND MISC. HARDWARE.
  - B. COLOR/MATERIAL SAMPLES OF ALL PARTS, TRIM, TILE, FLOORING, ROOFING, FLASHING, SIDING, AND DECK MATERIAL.
  - C. COLOR/MATERIAL SAMPLES OF COUNTERTOPS AND CATALOG CUTS ON ALL PRE-MANUFACTURER CABINETRY. PROVIDE SHOP DRAWINGS FOR ALL CUSTOM CABINETS AND BUILT-INS.
  - D. SHOP DRAWINGS FOR CUSTOM DOORS, STAIRS, RAILING, ROOF AWNING, AND SHOWER ENCLOSURES, WHERE APPLICABLE.
  - E. CONTRACTOR TO PROVIDE FULL SCALE MOCK-UPS OF INTERIOR AND EXTERIOR TRIM.
15. WHERE NEW WORK IS TO BE DONE, CARE SHALL BE TAKEN TO PROTECT ALL EXISTING ADJACENT SURFACES AND AREAS FROM DAMAGE. ANY AREAS DAMAGED DURING CONSTRUCTION OF DEMOLITION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT NO ADDITIONAL COST TO OWNER. THIS APPLIES PARTICULARLY TO ADJACENT SPACES, ROOF, AND OTHER EXTERIOR AREAS AND SURFACES.
16. ONLY NEW, FIRST CLASS MATERIALS WILL BE USED, UNLESS NOTED OTHERWISE. ALL WORK AND EQUIPMENT SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE EXCEPT FOR MANUFACTURER'S GUARANTEES WHICH MAY BE LONGER.
17. CONTRACTOR SHALL BE RESPONSIBLE FOR THE INCLUSION OF ALL WORK NECESSARY FOR A COMPLETE INSTALLATION WHETHER SUCH WORK IS OR IS NOT INDICATED ON THE DRAWINGS OR IN THE SPECIFICATIONS.
18. ALL MANUFACTURED ITEMS SHALL BE INSTALLED PER THE MANUFACTURER'S STRICT WRITTEN INSTRUCTIONS, WARRANTIES, GUARANTEES, AND MANUFACTURER'S INSTRUCTIONS ON EQUIPMENT FURNISHED AND INSTALLED BY THE CONTRACTOR SHALL BE GIVEN TO THE OWNER.

G.L. SMITH ASSOCIATES  
2908 M ST NW  
WASHINGTON, DC 20007

PROJECT

WINNIK  
RESIDENCE

DATE

2/15/2021

SCALE

N/A

DRAWING BY

D.Y.G.

APPROVED BY

G.L.S.

REVISIONS

DRAWING NAME  
GENERAL, PROJECT &  
SCOPE OF WORK NOTES

SHEET #

G-1

# DEMOLITION GENERAL NOTES

## DEMOLITION GENERAL NOTES

1. **GENERAL:** CONTRACTOR SHALL PROVIDE DEMOLITION AS REQUIRED TO OBTAIN THE RESULTS AS INDICATED ON THE DRAWINGS AND IN THE SPECIFICATIONS AND REMOVE ALL TRASH AND EXCESS MATERIAL FROM THE SITE.
2. **SHORING:** ALL TEMPORARY SHORING, BRACING, ETC. REQUIRED FOR THE REMOVAL OF EXISTING WORK AND/OR FOR THE INSTALLATION OF NEW WORK, SHALL BE INCLUDED IN THIS CONTRACT. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR THE WORK AND SHALL MAKE GOOD AT NO COST TO THE OWNER ANY DAMAGE CAUSED BY IMPROPER SUPPORT OR FAILURE OF SHORING IN ANY RESPECT. WHEN PERMANENT SUPPORTS ARE COMPLETED, THE CONTRACTOR SHALL REMOVE ALL SHORING, TEMPORARY BRACING, AND SIMILAR ELEMENTS.
3. **CUTTING & PATCHING:** EXISTING WORK SHALL BE CUT, DRILLED, ALTERED, REMOVED OR TEMPORARILY REMOVED AND REPLACED AS NECESSARY FOR THE PERFORMANCE AND EXECUTION OF THE CONTRACT. WORK THAT IS REPLACED SHALL MATCH SIMILAR EXISTING WORK. HOWEVER, UNLESS OTHERWISE PROVIDED FOR BY THE DRAWINGS AND/OR SPECIFICATIONS, NO STRUCTURAL MEMBERS SHALL BE CUT OR ALTERED WITHOUT THE AUTHORIZATION OF THE ENGINEER OF RECORD. WORK REMAINING IN PLACE, WHICH IS DAMAGED OR DEFACED BY REASON OR WORK DONE UNDER THIS CONTRACT SHALL BE RESTORED EQUAL TO ITS CONDITION AT THE TIME OF AWARE OF CONTRACT. IF REMOVAL OF EXISTING WORK EXPOSES DISCOLORED OR UNFINISHED SURFACES, OR WORK ALIGNMENT, SUCH SURFACES SHALL BE REFINISHED OR THE MATERIALS SHALL BE REPLACED AS NECESSARY TO MAKE CONTIGUOUS WORK UNIFORM AND HARMONIOUS.
4. **FLOORS:** EXISTING TILE FLOORS AND UNDERLAMENT TO BE REMOVED IN ENTIRETY. CONTRACTOR TO PROVIDE ALL NECESSARY TEMPORARY AND PERMANENT SUPPORTS FOR BEARING WALLS, ETC. PRIOR TO DEMOLITION.
5. **WALLS:** REMOVE ALL EXISTING WALLS AS NOTED ON PLANS AND AS REQUIRED FOR NEW DESIGN. PROVIDE ALL NECESSARY TEMPORARY AND PERMANENT SUPPORTS FOR BEARING WALLS, ETC. PRIOR TO DEMOLITION.
6. **DOORS & WINDOWS:** REMOVE ALL EXISTING DOORS/WINDOWS IN ENTIRETY. STOP OPENINGS OF ALL TRIM, HARDWARE, ETC., INFILL OR ENLARGE WALL OPENINGS AS REQUIRED. COORDINATE WITH DRAWINGS AND SPECIFICATIONS IN DRAWINGS FOR LOCATIONS AND SIZES OF NEW DOORS/WINDOWS.
7. **CEILING:** REMOVE CEILING FINISHES AND STRUCTURE IN ENTIRETY. PROVIDE ALL NECESSARY TEMPORARY AND PERMANENT SUPPORTS FOR BEARING WALLS, ETC. PRIOR TO DEMOLITION.
8. **ELECTRICAL:** REMOVE ALL EXISTING WIRING, OUTLETS, SWITCHES, CONVEYERS, ETC. CHECK ALL WIRING FROM BOX TO SUB-PANEL. CUT AND GAP (PER CODE) ANY LINES TO BE ABANDONED. REMOVE ALL ABANDONED OR NON-WORKING ELECTRICAL/COMMUNICATION LINES AND FIXTURES FROM THE INTERIOR OF THE STRUCTURE.
9. **PLUMBING:** DISCONNECT/RELOCATE EXISTING SUPPLY AND DRAIN LINES IN AREAS TO BE RENOVATED.
10. **HVAC:** DISCONNECT/RELOCATE EXISTING SUPPLY/RETURN LINES IN AREAS TO BE RENOVATED.
11. **LANDSCAPE:** REVIEW ITEMS TO BE REMOVED WITH OWNER/DESIGNER PRIOR TO START OF WORK.
12. **SAVE:** ALL FIXTURES, CABINETRY, ETC ARE TO BE REMOVED IN TACT FOR POSSIBLE REUSE AS INSTRUCTED BY DESIGNER AND/OR OWNER. DISPOSAL ONLY AFTER PRIOR REVIEW/APPROVAL OF DESIGNER AND/OR OWNER.

# CONCRETE & MASONRY GENERAL NOTES

## CONCRETE AND MASONRY GENERAL NOTES

1. **GENERAL:** ALL CONCRETE DETAILS AND CONSTRUCTION ARE TO COMPLY WITH LATEST AMERICAN CONCRETE INSTITUTE (A.C.I.) RECOMMENDATIONS AND LOCAL CODES.
2. **PRE PLACEMENT INSPECTIONS:** BEFORE PLACING CONCRETE, INSPECT AND COMPLETE THE FORMWORK, INSTALLATION, REINFORCING STEEL, AND TIES TO BE EMBEDDED OR CAST IN. NOTIFY OTHER CRAFTS TO PERMIT THE INSTALLATION OF THEIR WORK; COORDINATE WITH OTHER CRAFTS IN SETTING SUCH WORK. NOTIFY THE DESIGNER/OWNER AT LEAST 24 HOURS IN ADVANCE OF CONCRETE PLACEMENT. PLACEMENT OF REINFORCING SHALL OCCUR IN SUCH SEQUENCE THAT THE DESIGNER/OWNER HAS SUFFICIENT TIME TO INSPECT THE CORRECTNESS OF THE REINFORCING WITHIN THE PLACEMENT AREA AND RETAINS THE RIGHT TO REQUIRE NECESSARY REVISIONS BE MADE BEFORE CONCRETE IS PLACED.
3. **FOOTINGS:** MINIMUM 10" X 20" WITH THREE(3) #4 REBARS, BOTTOM OF FOOTINGS SHALL EXTEND AT LEAST 1'-0" INTO UNDISTURBED SOIL; WHERE SUBJECT TO FROST ACTION, AT LEAST 2'-0" BELOW FINISH GRADE. SEE DRAWINGS FOR ACTUAL SIZES. REINFORCING AND FINISH DEPTHS PRIOR TO START OF WORK.
4. **CONCRETE BLOCK:** PROVIDE 4"/8"/12"W X 16" D X 8" H. LAD IN MORTAR AND REINFORCED WITH DUROWALL AT 16" ON CENTER VERTICALLY. AS NECESSARY, FILL TOP COURSE SOLID WITH CONCRETE, USE 100% SOLID BLOCK AT ALL BEARING CONDITIONS, TYPICAL. CONTRACTOR TO SECURELY COVER TOP OF BLOCKS WITH WATERPROOF PLASTIC AS REQUIRED DURING THE CONSTRUCTION PHASE TO PREVENT RAINFALL FROM FILLING JOINTS IN BLOCK. USE 1/2" CEMENT PANKING ON ALL CONCRETE BLOCK BELOW GRADE AND EXPOSED CMU ABOVE GRADE, UNLESS NOTED OTHERWISE. COVER WITH WATERPROOFING BELOW GRADE. SEE DRAWINGS FOR ACTUAL SIZES AND REINFORCING PRIOR TO START OF WORK.
5. **FOUNDATION WATERPROOFING:** COVER EXTERIOR FACE OF SUB-GRADE FOUNDATION WALL WITH "MRM PRIME-A-SEAL PRIMER" BY "COLBOND, INC.", OR DESIGNER APPROVED EQUAL. APPLY OVER PRIMER WITH "MRM SUBSIAL SHEET MEMBRANE" BY "COLBOND, INC." OR DESIGNER-APPROVED EQUAL. APPLY "SKA-KRAW" DRAINAGE MAT BY "COLBOND, INC." OR DESIGNER-APPROVED EQUAL BETWEEN FOUNDATION WATER PROOFING AND SURROUNDING SOIL. INSTALL COMPLETE ASSEMBLAGE PER MANUFACTURER'S RECOMMENDATION.
6. **MORTAR:** MORTAR TO BE PORTLAND TYPE-N CEMENT/LIME MORTAR. SUBMIT SAMPLES OF MORTAR FOR APPROVAL BY THE DESIGNER AND/OR OWNER PRIOR TO BEGINNING WORK.
7. **MASONRY VENEER:** TOOLING OF MORTAR JOINTS AND BOND PATTERN TO MATCH EXISTING. USE METAL TIES EVERY FIFTH COURSE AT 2'-0" INTERVALS, MAXIMUM, ALONG MORTAR JOINTS TO THE VENEER TO STRUCTURAL WALL. PROVIDE ALL NECESSARY FLASHINGS AND WEAP HOLE AS REQUIRED AND AS RECOMMENDED BY THE BRICK INDUSTRY ASSOCIATION (BIA) AND/OR MASON CONTRACTORS ASSOCIATION OF AMERICA (MCAA). AFTER SETTING MASONRY VENEER, CLEAN SURFACE THOROUGHLY. CONTRACTOR TO SUBMIT SAMPLE (AFTER CONSULTATION WITH DESIGNER AND/OR OWNER) OR MASONRY TO BE USED AND IS TO INSPECT MASONRY PRIOR TO CONSTRUCTION.

REVIEWED  
By Michael Kyne at 3:26 am, Mar 26, 2021

APPROVED  
Montgomery County  
Historic Preservation Commission  


# FRAMING GENERAL NOTES

## FRAMING GENERAL NOTES

- GENERAL:** DIMENSIONS ARE TO FACE OF EXISTING FINISHES OR TO FACE OF NEW WOOD FRAMING/SHEATHING OR FINISHED CONCRETE/MASONRY.
- WOOD FRAMING:** ALL LUMBER SHALL BE #2 SOUTHERN PINE, DOUGLAS FIR OR WEST COAST HEMLOCK, CONSTRUCTION GRADE OR BETTER. ALL CONSTRUCTION HEADERS, NAILING SCHEDULE AND SHEATHING THICKNESS SHALL CONFORM TO THE IRC BUILDING CODE (VERIFY APPLICABLE EDITION WITH LOCAL JURISDICTION) AS A MINIMUM REQUIREMENT WHERE SUCH INFORMATION IS NOT SHOWN ON THE PLANS AND SPECIFICATIONS. WALL FRAMING TO BE 2X4 AND/OR 2X6 @ 16" ON CENTER, MINIMUM UNLESS NOTED OTHERWISE. CAREFULLY LAYOUT FRAMING TO COORDINATE WITH ELECTRIC/PLUMBING/HVAC SYSTEMS. NOTIFY DESIGNER OF CONFLICTS PRIOR TO INSTALLATION.
- PRESSURE TREATED PINE (P-1):** ALL WOOD FRAMING EXPOSED TO THE WEATHER SHALL BE PRESSURE TREATED IN ACCORDANCE WITH AWP. FOR USE ON WOOD NEAR GRADE, EXTERIOR FENCES, ETC. AS REQUIRED, AND AT ALL SILL PLATES AND LEDGERS AGAINST MASONRY/CONCRETE. TREATMENT AS FOLLOWS: TREAT ALL WOOD, EXCEPT REDWOOD OR CEDAR, LESS THAN 2" ABOVE FINISH GRADE, AND INCLUDING ALL EXTERIOR DECKS, FRAMES, GAZEBO, AND FENCES, BY TREATING WITH APPROVED PRESERVATIVE. PROVIDE FOAM SILL SEALS BETWEEN ALL SILL PLATES/LEDGERS AND ADJACENT MASONRY/CONCRETE.
- SILL SEALER:** PROVIDE "PROTECTION PREMIUM ENERGY SILL SEALER" BY "PROTECTO WRAP COMPANY", OR DESIGNER APPROVED EQUAL. AT ALL WOOD SILL PLATES AND LEDGERS AGAINST MASONRY/CONCRETE. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- FLOOR SHEATHING:** 3/4" THICK, MINIMUM, TONGUE-AND-GROOVE ORIENTED-STRAND BOARD SHEATHING TO BE "ADVANTECH" AS MANUFACTURED BY "HUMBER ENGINEERED WOODS". FOLLOW MANUFACTURER'S PRODUCT INFORMATION STRICTLY FOR THE RIGHT PERFORMANCE AND INSTALLATION. USE 1-1/8" THICK BELOW STONE.
- WALL SHEATHING:** 7/16" (1/2" NOM.) THICK, MINIMUM, WATER RESISTANT SHEATHING TO BE "ZIP SYSTEM" AS MANUFACTURED BY "HUBER ENGINEERED WOODS". MEMBRANE BY SAME MANUFACTURER.

# WINDOW & DOOR GENERAL NOTES

## WINDOW AND DOOR GENERAL NOTES

- GENERAL:** QUANTITIES LISTED IN WINDOW/DOOR SCHEDULE ARE FOR REFERENCE ONLY. COORDINATE WITH PLANS AND ELEVATIONS FOR EXACT QUANTITY PRIOR TO BIDDING/PURCHASING. FIELD VERIFY EXISTING OPENING SIZES AND COORDINATE AS REQUIRED. CHECK DRAWINGS FOR SWING DIRECTIONS AND LOCATIONS OF ALL UNITS.
- WINDOWS & EXTERIOR GLASS DOORS:** TO BE PROVIDED BY PELLA'S LIFESTYLE SERIES.
- TEMPERED GLAZING:** WINDOWS LISTED IN WINDOW SCHEDULE AS TEMPERED ARE FOR REFERENCE ONLY. COORDINATE WITH WINDOW SUPPLIER AND APPLICABLE CODES TO VERIFY REQUIRED WINDOWS TO BE TEMPERED PRIOR TO BIDDING/PURCHASING.
- EXTERIOR WOOD DOORS:** 1.75" THICK, SOLID-CORE PRE-HUNG DOOR AND FRAME AS MANUFACTURED BY PELLA. COORDINATE MANUFACTURER, DESIGN, AND MATERIALS WITH DESIGNER/OWNER PRIOR TO ORDERING. PROVIDE ALL NECESSARY TRIM PIECES, WEATHER STRIPPING, HARDWARE, GRILLES, ETC. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. COORDINATE COLOR, FINISH, AND HARDWARE WITH DESIGNER/OWNER.
- INSTALLATION:** SET EXTERIOR DOOR/WINDOW ON ADJUSTABLE PAN SILL FLASHING BY MANUFACTURER, OR EQUAL. PROVIDE ACRYLIC ADHESION FLASHING TAPE BY "ZIP SYSTEM" AS MANUFACTURED BY "HUBER ENGINEERED WOODS" AT PERIMETER OF ALL EXTERIOR DOORS/WINDOWS. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. APPLY CAULK AROUND EXTERIOR PERIMETER BEHIND WINDOW/DOOR TRIM AND SET INTO OPENING. APPLY FOAM BACKER ROD AND CALK TO EXTERIOR PERIMETER OF TRIM AT SIDING JOINT. APPLY LOW EXPANSION SPRAY FOAM AROUND ALL JAMBS.
- INTERIOR DOORS:** INTERIOR DOORS TO MATCH EXISTING DOOR PANELS, HARDWARE, STYLE AND FINISH UNLESS NOTED OTHERWISE. PROVIDE ALL NECESSARY HARDWARE, TRIM PIECES, ETC. COORDINATE WITH OWNER FOR EXISTING DOOR PANELS TO BE RELOCATED/RE-USED. SUBMIT CATALOG CUT SHEETS FOR APPROVAL BY DESIGNER/OWNER PRIOR TO ORDERING. UNLESS NOTED OTHERWISE, DOORS TO BE 4" FROM ADJACENT WALL OR CENTERED WITHIN THE SPACE.
- THRESHOLDS:** INTERIOR THRESHOLDS TO BE WOOD TO MATCH WOOD FLOORS AND STONE TO MATCH ADJACENT TILE AT TILE FLOORS, UNLESS NOTED OTHERWISE. USE STOCK SHAPES AND SIZES. COORDINATE EXACT MATERIAL AND COLOR WITH DESIGNER/OWNER WHERE NOT CLEARLY NOTED.
- HARDWARE:** ALL INTERIOR DOORS TO BE PROVIDED WITH DOOR STOPS, HINGES, KNOBS, AND LATCHES, INCLUDING PRIVACY LATCHES ON BATHROOMS AND BEDROOMS. ALL EXTERIOR DOORS TO BE EQUIPPED WITH SAME PLUS DEADBOLT LOCK. ALL BYPASS/POCKET DOORS TO BE PROVIDED WITH TRACK, FRAME, AND GUIDES BY JOHNSON HARDWARE OR EQUAL. PROVIDE FLUSH PULLS, AND DOOR-EDGE PULL, AT ALL BYPASS/POCKET DOORS INCLUDING PRIVACY BOLTS ON BATHROOMS AND BEDROOMS. COUNTER-SINK DOOR-EDGE PULL TO PROVIDE FLUSH INSTALLATION AT EDGE OF DOOR PANEL. COORDINATE MANUFACTURER AND STYLE OF HARDWARE WITH DESIGNER/OWNER. SUBMIT CATALOG CUT SHEETS ON ALL HARDWARE FOR APPROVAL PRIOR TO ORDERING.

# EXTERIOR FINISHES GENERAL NOTES

## EXTERIOR FINISHES GENERAL NOTES

- FLASHING:** AS SHOWN ON THE DRAWINGS AND/OR AS REQUIRED BY CODE. UNLESS NOTED OTHERWISE, MATERIAL TO BE COLOR-COATED ALUMINUM. FINAL COLOR AND FINISH TO BE SELECTED BY DESIGNER/OWNER. MINIMUM THICKNESS AS FOLLOWS:  
 A. THRU-WALL & ROOF EDGE FLASHING: .025"/22 GAUGE  
 B. BASE/CAP/VENT FLASHING & METAL-WRAPPED TRIM: .032"/20 GAUGE  
 FINAL THICKNESS TO BE DETERMINED BY APPLICATION SUCH THAT 'OIL-CANNING' DOES NOT OCCUR. FLASHING TO BE COATED WITH BITUMINOUS PAINT WHERE IT MEETS DISSIMILAR METALS. GALVANIZED AND PLASTIC FLASHINGS OF EQUAL PERFORMANCE ARE ACCEPTABLE WITH DESIGNER/OWNER PRE-APPROVAL.
- EXTERIOR TRIM:** PROVIDE EXTERIOR TRIM BOARDS AND CORNER BOARDS IN MATERIALS AND FINISHES TO MATCH EXISTING AND/OR IN ACCORDANCE WITH MONTGOMERY COUNTY HISTORICAL COMMISSION GUIDELINES. FOLLOW MRF'S PRODUCT INFORMATION STRICTLY FOR THE RIGHT PERFORMANCE AND INSTALLATION. PRIOR TO PAINTING, VERIFY SURFACES ARE CLEAN, DRY, AND FREE OF DIRT, MILDEW, GREASE OR OTHER SURFACE CONTAMINANTS. NAIL HOLES TO BE FINISHED WITH AN ACRYLIC BASED UV RESISTANT CAULK. USE 100% ACRYLIC LATEX, FOLLOW THE PAINT MANUFACTURER'S APPLICATION RECOMMENDATIONS.
- EXTERIOR SIDING:** PROVIDE EXTERIOR WOOD SIDING IN MATERIALS AND FINISHES TO MATCH EXISTING AND/OR IN ACCORDANCE WITH MONTGOMERY COUNTY HISTORICAL COMMISSION GUIDELINES. SMOOTH FINISH AT ALL EXPOSED SURFACES. FOLLOW MANUFACTURER'S PRODUCT INFORMATION STRICTLY FOR THE RIGHT PERFORMANCE AND INSTALLATION. PRIOR TO PAINTING, VERIFY SURFACES ARE CLEAN, DRY, AND FREE OF DIRT, MILDEW, GREASE OR OTHER SURFACE CONTAMINANTS. NAIL HOLES ON PAINTED SIDING TO BE FINISHED WITH AN ACRYLIC BASED UV RESISTANT CAULK. ON PAINTED SIDING USE 100% ACRYLIC LATEX, FOLLOW THE PAINT MANUFACTURER'S APPLICATION RECOMMENDATIONS. INSURE FINAL ASSEMBLY IS WATERPROOF.
- EXTERIOR SOFFITS AND CEILINGS:** PROVIDE EXTERIOR SOFFITS AND/OR CEILINGS AS NOTED IN DRAWINGS AND SPECIFIED HEREIN. SMOOTH FINISH AT ALL EXPOSED SURFACES. FOLLOW MANUFACTURER'S PRODUCT INFORMATION STRICTLY FOR THE RIGHT PERFORMANCE AND INSTALLATION. PRIOR TO PAINTING, VERIFY SURFACES ARE CLEAN, DRY, AND FREE OF DIRT, MILDEW, GREASE OR OTHER SURFACE CONTAMINANTS. NAIL HOLES ON PAINTED SIDING TO BE FINISHED WITH AN ACRYLIC BASED UV RESISTANT CAULK. ON PAINTED SIDING USE 100% ACRYLIC LATEX, FOLLOW THE PAINT MANUFACTURER'S APPLICATION RECOMMENDATIONS. INSURE FINAL ASSEMBLY IS WATERPROOF.

# ELEC., MECH. & PLUMBING GENERAL NOTES

## ELECTRICAL GENERAL NOTES

- GENERAL:** SEE DRAWINGS FOR ELECTRICAL LAYOUT, SPECIFICATIONS, SWITCHING, OUTLETS, ETC. ALL WORK TO CONFORM TO STATE AND LOCAL CODES. CAREFULLY COORDINATE FLOOR/CEILING FRAMING AND REQUIRED BULKHEADS/LOWERED CEILINGS WITH LIGHTING PLAN AND PLUMBING/HVAC SYSTEMS TO PREVENT CONFLICT - ADJUST FRAMING LAYOUTS AS REQUIRED TO MAINTAIN LIGHTING CENTERLINES AND CLEARANCES. CONSULT DESIGNER ON CONFLICTS WITH STRUCTURE, MECHANICAL, ETC. COORDINATE FINAL LOCATIONS AND MOUNTING HEIGHT OF ALL FIXTURES, SWITCHES, OUTLETS, ETC. WITH DESIGNER AND/OR ARCHITECT PRIOR TO INSTALLATION.
- WIRING:** ALL WIRING TO BE CONCEALED. CONSULT DESIGNER ON CONFLICTS WITH STRUCTURE, MECHANICAL, ETC. ALL WIRING TO BE 14 GAUGE NMC CABLE "ROMEX" FOR OUTLETS AND SWITCHES. PROVIDE CAT-5 CABLE FOR ALL COMPUTER AND PHONE JACKS. PROVIDE HDMI LINES FOR ALL CABLE JACKS. ALL BOXES TO BE NONMETALLIC OUTLET/SWITCH BOXES MADE OF THERMOSETTING MATERIALS. USE STEEL BOXES WHERE REQUIRED BY CODE.
- OUTLETS & SWITCHES:** UNLESS NOTED OTHERWISE, ALL OUTLETS, TELEPHONE AND TELEVISION JACKS, SWITCHES, ETC. TO BE "DESIGNER" LINE BY "LUTRON" IN SATIN COLORS SPECIFIED BY DESIGNER WITH MATCHING SCREWLESS COVERPLATES. NO SUBSTITUTIONS ALLOWED WITHOUT PRIOR REVIEW/APPROVAL BY DESIGNER. CONSULT W/ DESIGNER ON ALL LOCATIONS FOR SWITCHES, OUTLETS, TELEPHONE AND TV JACKS. UNLESS NOTED OTHERWISE, DIMMER SWITCHES TO BE "MAESTRO" LINE OF DIGITAL DIMMERS BY "LUTRON" WITH MATCHING COMPANION SWITCH AT ALL 3-WAY LOCATIONS - CONTRACTOR TO COORDINATE PROPER SWITCH SELECTION WITH FIXTURE SPECIFIED. COLORS AND FINISHES TO BE SELECTED BY DESIGNER AND GENERAL CONTRACTOR TO ALLOW FOR 2 CUSTOM COLORS. PROVIDE WALL OUTLETS AT 12" MAXIMUM ON CENTER OR AS REQUIRED BY CODE. PROVIDE TAMPER-PROOF/GFI RECEPTACLES AS REQUIRED BY CODE.
- LIGHTING FIXTURES:** SEE DRAWINGS AND LIGHTING FIXTURE SCHEDULE FOR FIXTURE TYPES AND MOUNTING LOCATIONS. COLORS AND FINISHES TO BE SELECTED BY DESIGNER/OWNER. SUBMIT CATALOG CUT SHEETS FOR ANY FIXTURES/FITTINGS NOT PROVIDED FOR IN THESE DRAWINGS FOR DESIGNER/OWNER APPROVAL BEFORE ORDERING. THERMAL INSULATION SHALL NOT BE INSTALLED ABOVE A RECESSED LUMINAIRE OR WITHIN 3 INCHES OF THE RECESSED LUMINAIRE'S ENCLOSURE. WIRING COMPARTMENT, OR BALLAST UNLESS IT IS IDENTIFIED FOR CONTACT WITH INSULATION, TYPE IC. TRACK LIGHTING AND CABINET LIGHTING SYSTEMS TO COME COMPLETE WITH ALL NECESSARY FITTINGS, TRANSFORMERS, FASTENERS, COUPLINGS, ETC. UNLESS NOTED OTHERWISE, LIGHT BULBS TO BE "SOFT WHITE" (2700K IF LED) TYPE AS MANUFACTURED BY "SYLVANIA", OR APPROVED EQUAL.
- SMOKE & CARBON MONOXIDE DETECTORS:** PROVIDE AS REQUIRED BY CODE. UNLESS NOTED OTHERWISE, DETECTORS TO BE INTERCONNECTED, HARD-WIRED UNITS WITH BATTERY BACK-UP AS MANUFACTURED BY "KIDDE", OR DESIGNER APPROVED EQUAL.
- SYSTEMS COORDINATION:** COORDINATE WITH OWNER AS REQUIRED FOR WORK RELATED TO SECURITY SYSTEMS, AUDIO-VISUAL/SPEAKER SYSTEMS, AND/OR OTHER SPECIALTY SYSTEMS PRIOR TO START OF CONSTRUCTION.

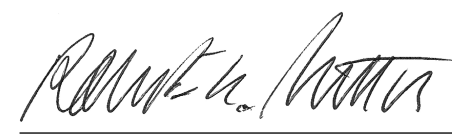
## MECHANICAL GENERAL NOTES

- GENERAL:** ALL WORK TO CONFORM TO APPLICABLE STATE AND LOCAL CODES. REMOVAL, DISPOSAL, ALTERATION, AND RELOCATION OF EXISTING EQUIPMENT, CONDUITS, PIPES, AND DUCTS ARE INCLUDED IN THE WORK AS MAY BE REQUIRED BY DESIGN.
- MAKE-UP AIR SYSTEM:** PROVIDE MAKE-UP AIR SYSTEM AS REQUIRED BY CODE. COORDINATE FINAL SIZE WITH EXHAUST HOOD SPECIFICATIONS. COORDINATE FINAL INSTALLATION LOCATION WITH DESIGNER PRIOR TO START OF WORK. MANUFACTURER TO BE CONTRACTOR'S OPTION. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. PROVIDE REMOTE SWITCHING TIED TO EXHAUST HOOD OPERATION AS WELL AS ALL NECESSARY FITTINGS AND HARDWARE.
- HEATING, VENTILATION & AIR CONDITION SYSTEM:** COORDINATE TYPE OF HEATING/COOLING SYSTEM WITH OWNER PRIOR TO BIDDING. HVAC PIPES/DUCTS TO MEET APPLICABLE CODES. HVAC SUB-CONTRACTOR TO VERIFY CFM FLOWS, DUCT SIZES, ETC. FOR ADEQUACY OF EXISTING SYSTEM AND NOTIFY DESIGN AND/OR OWNER OF ANY CONFLICTS WITH SAME. COORDINATE LOCATIONS OF ALL HEATING/COOLING EQUIPMENT AS WELL AS DUCT LAYOUT AND REGISTER/GRILLE LOCATIONS WITH DESIGNER PRIOR TO START OF WORK.
- DUCT WORK:** ALL DUCTS USED SHALL BE OF #90 GALVANIZED HARD DUCT. THE USE OF ROUND FLEXIBLE DUCTS SHALL BE PROHIBITED ON THIS PROJECT, UNLESS SPECIFICALLY APPROVED BY ARCHITECT/OWNER. GALVANIZED SHEET METAL DUCT WORK SHALL BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH THE LOW VELOCITY DUCT CONSTRUCTION STANDARD BY SMACNA. PROVIDE DOUBLE THICKNESS TURNING VANES ON ALL SQUARE ELBOWS. PROVIDE DUCT INSULATION TO MEET APPLICABLE CODES, INCLUDING THE FOLLOWING:  
 A. PROVIDE A CONTINUOUS VAPOR BARRIER FOR ALL COLD PIPING AND AIR CONDITIONING DUCTWORK.  
 B. INSULATE REFRIGERANT SUCTION PIPE WITH 1/2" THICK FLEXIBLE ELASTOMERIC PIPE INSULATION "ARMSTRONG", "ARMAFLEX" OR EQUAL.  
 C. ALL SUPPLY AIR DUCTS IN ATTICS, GARAGES, CRAWL SPACES, AND OTHER UN-CONDITIONED SPACES SHALL BE INSULATED WITH TWO (2) LAYERS OF "REFLECTIX50 DUCT INSULATION" BY "REFLECTIX, INC." RATED R8 FOR EACH LAYER. ALL OTHER SUPPLY DUCTS IN THE BUILDING SHALL BE INSULATED WITH ONE (1) LAYER OF "REFLECTIX50 DUCT INSULATION" RATED R8.
- HVAC PIPING, DRAINS & FLUES:** USE TYPE "L" COPPER PIPING. USE OF TYPE "M" PIPING AT THIS JOB IS PROHIBITED. USE PVC DWV TYPE CONDENSATE DRAINS WITH SOLVENT CEMENT JOINTS TO MEET ASTM STANDARD D-2665. PROVIDE CONDENSATE PUMP AS NECESSARY. EXTEND TO EXTERIOR SPLASH BLOCKS. PROVIDE FLUES AS NECESSARY FOR ALL VENTED FURNACES TO MEET MANUFACTURER'S SPECIFICATIONS AND TO BE UL-LISTED TYPE "B".
- THERMOSTAT:** COORDINATE LOCATION OF THERMOSTAT WITH HVAC CONTRACTOR AND DESIGNER AND OWNER PRIOR TO START OF WORK. UNLESS NOTED OTHERWISE, THERMOSTAT SHALL BE A PROGRAMMABLE THERMOSTAT AS RECOMMENDED BY HVAC EQUIPMENT MANUFACTURER. SUBMIT CATALOG CUT SHEET FOR APPROVAL PRIOR TO ORDERING.
- AIR OUTLETS:** UNLESS NOTED OTHERWISE, WALL/CEILING GRILLES AND REGISTERS SHALL BE "ADJUSTABLE WALL/CEILING REGISTER" (MODEL h210m) BY "TRUaire", OR DESIGNER-APPROVED EQUAL. ALUMINUM, ADJUSTABLE BLADES, WHITE COLOR FINISH AND MATCHING FASTENERS, LENGTH AND WIDTH PER DRAWINGS. FLOOR REGISTERS SHALL BE FLUSH-MOUNT WOOD REGISTERS TO MATCH FLOORING AND FLOORING FINISH BY CONTACTOR'S OPTION, LENGTH AND WIDTH PER DRAWINGS. SUBMIT CATALOG CUT SHEET FOR APPROVAL PRIOR TO ORDERING. ALL REGISTERS AND GRILLES SHALL BE CENTERED IN FRONT OF WINDOW AT DESIGNER SPECIFIED SPACING FROM EXTERIOR WALL. NOTIFY PROJECT SUPERVISOR WHERE THE LOCATIONS INTERFERE WITH STRUCTURAL OR OTHER TRADES. ALL CEILING DIFFUSER SHALL BE COORDINATED WITH ARCHITECTURAL CEILING LAYOUTS. REPORT ALL DISCREPANCIES TO DESIGNER BEFORE INSTALLATION. REPLACE ALL EXISTING TO REMAIN REGISTERS AND GRILLS WITH NEW COVER OF SAME SIZE AND PATTERN. VERIFY COLOR AND LOCATION OF EXISTING TO REMAIN REGISTERS AND GRILLES WITH THE DESIGNER AND/OR OWNER.
- EXHAUST FANS:** PROVIDE 10" SQUARE "ULTRA SILENT" INSULATED BATH EXHAUST FANS AS MANUFACTURED BY "BROAN", "NUTONE", UNLESS NOTED OTHERWISE. SIZE UNIT BASED ON ROOM SIZE AND MANUFACTURER'S RECOMMENDATIONS AND GUIDELINES. PROVIDE FANS WITH GALVANIZED HARD DUCT TO OUTSIDE WITH SOFFIT OR WALL CAP AND BACK DRAFT DAMPER. INSULATE ALL DUCTS. CAULK AND FLASH AS REQUIRED.
- EXTERIOR WALL CAP VENTS:** PROVIDE SCREENED ALUMINUM WALL CAPS AT ALL EXTERIOR WALL BATH VENTS/DRYER VENTS (MODEL: SB) AND COOKTOP EXHAUST VENTS (MODEL: SFX) WITH ACKDRAFT DAMPERS BY "SEIHO INTERNATIONAL, INC.", UNLESS NOTED OTHERWISE. SECURE TO WALL WITH ALUMINUM SCREWS. CAULK AND FLASH AS REQUIRED.

## PLUMBING GENERAL NOTES

- GENERAL:** ALL WORK TO CONFORM TO APPLICABLE STATE AND LOCAL CODES. UNLESS NOTED OTHERWISE, USE CPVC TUBING ON ALL WATER SUPPLY LINES, SIZE AS PER CODE AND PVC, WITH A MINIMUM PRESSURE RATING FOR PLASTIC TUBING OF 100 PSI. @ 180 DEGREES F., FOR WASTE AND VENT LINES. PROVIDE R-3, MINIMUM, INSULATION AT ALL HOT WATER LINES.
- PLUMBING FIXTURES:** SEE DRAWINGS AND PLUMBING FIXTURE SCHEDULE FOR FIXTURE TYPES AND MOUNTING LOCATIONS. SUBMIT CATALOG CUT SHEET FOR APPROVAL PRIOR TO ORDERING. PROVIDE ALL NECESSARY FITTINGS, VALVES, DRAINS, HARDWARE, ETC. REQUIRED FOR PROPER FUNCTIONING AND ACCORDING TO MANUFACTURER'S GUIDELINES AND SPECIFICATIONS. PROVIDE MANUFACTURER'S RECOMMENDED SEAT AND COVER AT ALL TOILETS. SHOWER DRAINS TO MATCH FAUCET FINISH. PROVIDE "CLAMPING-TYPE" SHOWER FLOOR DRAIN AS RECOMMENDED BY WATER-PROOF TILE UNDERLAYMENT MANUFACTURER. ALL FIXTURES TO BE WHITE/CHROME, UNLESS NOTED OTHERWISE. CONSULT DESIGNER/ENGINEER ON CONFLICTS WITH STRUCTURE, MECHANICAL, ETC. COORDINATE FINAL LOCATIONS AND MOUNTING HEIGHTS WITH DESIGNER/OWNER PRIOR TO ORDERING.
- GARBAGE DISPOSAL:** PROVIDE UNDER-SINK GARBAGE DISPOSAL AS SHOWN ON DRAWINGS. UNLESS NOTED OTHERWISE, DISPOSAL TO BE "BADGER-5XP" WITH 3/4 HORSEPOWER HEAVY-DUTY MOTOR AND SINK TOP PRESSURE SWITCH AS MANUFACTURED BY "INSINKERATOR". SWITCH FINISH TO MATCH SINK FUACET. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. SUBMIT CATALOG CUT SHEET FOR APPROVAL PRIOR TO ORDERING.
- WATER HEATER AND/OR BOILER:** PROVIDE ELECTRIC OR GAS-FIRED WATER HEATER/BOILER AS SHOWN ON DRAWINGS AND DEDICATED TO FLOOR HEAT FOR EXISTING MASTER BATH ON 2ND FLOOR. PROVIDE DESIGNER AND/OR OWNER WITH CONTRACTOR RECOMMENDED HYDROLIC HEATING SYSTEM FOR PRIOR APPROVAL BEFORE ORDERING, INCLUDING SYSTEM REQUIREMENTS, INSTALLATION METHODS AND GUIDELINES.
- ACCESS PANELS:** PROVIDE ACCESS PANELS AS REQUIRED BY CODE AND/OR SITE CONDITIONS. PANELS TO BE "STEALTH ACCESS PANELS" BY WIND-LOCK - COORDINATE FINAL SIZES AS NECESSARY.

**REVIEWED**  
By Michael Kyne at 3:26 am, Mar 26, 2021

APPROVED  
Montgomery County  
Historic Preservation Commission  


## COMPLIANCE NOTE:

PLAN DESIGN AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH 2018 IRC AND IECC AS AMENDED BY MONTGOMERY COUNTY EXECUTIVE REGULATION.

G.L. SMITH ASSOCIATES  
2908 M ST NW  
WASHINGTON, DC 20007

PROJECT

WINNIK  
RESIDENCE

DATE

2/10/2021

SCALE

AS NOTED

DRAWING BY

D.Y.G.

APPROVED BY

G.L.S.

REVISIONS

DRAWING NAME  
GENERAL NOTES

SHEET #

G-2

# INSULATION GENERAL NOTES

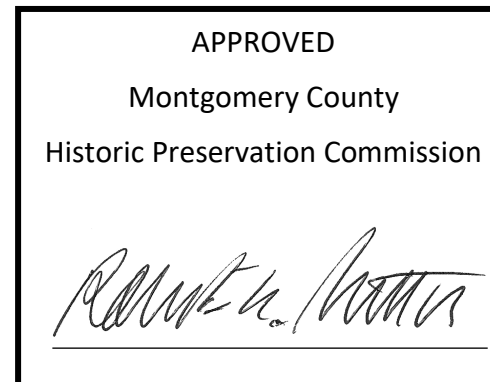
## INSULATION GENERAL NOTES

- GENERAL:** PROJECT TO BE DESIGNED TO MEET OR EXCEED THE CURRENT IECC REQUIREMENTS AS DETERMINED BY THE GOVERNING AUTHORITIES. COMPLY WITH ALL APPLICABLE CODES, REGULATIONS, AND STANDARDS.
- AIR SEALING:** PROVIDE CONTINUOUS SHEATHING AT EXTERIOR FACE OF BUILDING ENVELOPE AND LOW-EXPANSION SPRAY FOAM ENERGY SEALING AT PERIMETERS OF ALL EXTERIOR DOORS AND WINDOWS.
- ENERGY SEALING:** USE "POLYCEL ONE", OR DESIGNER APPROVED EQUAL, TO REDUCE AIR INFILTRATION AND MINIMIZE ENERGY LOSS CAUSED BY AIR LEAKAGE THROUGH THE ENVELOPE. THE ENERGY SEALING OF THIS STRUCTURE COMPLIES WITH THE REQUIREMENTS FOR SEALING SET FORTH IN THE BUILDING CODES PUBLISHED BY THE BUILDING OFFICIALS AND CODE ADMINISTRATORS (BOCA), INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS (ICBO), SOUTHERN BUILDING CODE CONGRESS INTERNATIONAL (SBCCI) AND THE REQUIREMENTS SET FORTH IN ASHRAE 90-75. IN COMPLIANCE WITH THE ABOVE REQUIREMENTS, ENERGY SEALING HAS BEEN APPLIED AT EXTERIOR JOINGS AROUND WINDOWS AND DOORS FRAMES, BETWEEN WALL CAVITIES AND WINDOW FRAMES, BETWEEN WALL AND FOUNDATIONS, BETWEEN WALL AND ROOF, BETWEEN WALL PANELS, A PENETRATIONS OR UTILITY SERVICE THROUGH WALL, FLOOR, ROOF, AND ALL OTHER OPENINGS IN THE EXTERIOR ENVELOPE.

AREAS NEEDED TO BE SEALED FOR PROPER STOPPING OF AIR INFILTRATIONS:

- SILL PLATES - CRACKAGE AND GAPS BETWEEN PLATE AND FOUNDATION.
  - SOLE PLATES - CRACKAGE BETWEEN PLATES AND SUB-FLOORING; BUTT JOINTS BETWEEN PLATE MEMBERS; CORNER BUTT GAPS.
  - TOP PLATES - CRACKAGE BETWEEN TOP PLATES; BUTT JOINTS BETWEEN PLATE MEMBERS; CORNER BUTT GAPS.
  - D. WALL SECTIONS - VERTICAL CRACKAGE AT BUTT JOINTS BETWEEN SECTIONAL WALL PANELS, TEES AND CORNERS.
  - E. SHEATHING - PATCHES, CRACKS AND SMALL RUPTURES.
  - F. BAND JOISTS AND CANTILEVERED OVERHANGS - BUTT JOINTS AND CORNERS, LINEAR CRACKAGE, OVERHANGS.
  - G. HEATING AND COOLING SYSTEMS - HOLES AND CUT OUTS AROUND AIR DUCTS, REGISTERS AND RETURNS.
  - H. EXHAUST SYSTEMS - HOLES AND CUT OUTS AROUND BATHROOM, KITCHEN, MAJOR APPLIANCE AND UTILITY VENTS, FLUES AND CHIMNEYS.
  - I. PLUMBING CHASES - HOLES AND CUT OUTS AROUND WATER, WASTE, VENT AND FUEL PIPES.
  - K. UNTELS - CRACKS AND BUTT JOINTS.
  - L. WINDOWS - GAPS AND CRACKS BETWEEN FRAMES AND WALL STUDS.
  - M. DOORS - GAPS AND CRACKS BETWEEN FRAMES AND WALL STUDS.
- MATERIALS TO BE USED:
- SINGLE COMPONENT FROTHED POLYMERIC ISOCYANATE.
  - NON-SAG LAMINAR PIGMENT REINFORCED ELASTOMERIC ACRYLIC.
  - REINFORCED LAMINATED VAPOR PERMEABLE FIBER BARRIER.
- CAULKING:** EXTERIOR CAULK TO BE PL PREMIUM POLYURETHANE CAULK. INTERIOR CAULK TO BE "GIF STRETCH" ACRYLIC CAULK BY "SASHCO", OR EQUAL. USE CAULKING RECOMMENDED FO RSPECIFIC INSTALLATIONS BY MANUFACTURER'S WHEREEVER POSSIBLE, E.G. BATHROOM, WINDOWS, ETC. USE MARINE GRADE CAULKING ON SKYLIGHTS. CAULK TO BE CAREFULLY APPLIED AND STRUCK SMOOTHLY WITHOUT EXCESS CAULK ON ADJACENT TRIM AND WALL SURFACES. COORDINATE FINAL COLORS WITH DESIGNER AND/OR OWNER.
  - INSULATED FENESTRATION:** PROVIDE INSULATED EXTERIOR FENESTRATION AS NOTED ON DRAWINGS AND SPECIFIED HEREIN. MINIMUM INSULATION U-VALUES: WINDOWS/DOORS: .35 - DOUBLE PANE/ARGON/LOW-E.
  - THERMAL INSULATION:** PROVIDE THERMAL INSULATION AS NOTED ON DRAWINGS AND SPECIFIED HEREIN. UNLESS NOTED OTHERWISE, INSULATION TO BE AS MANUFACTURED BY "OWENS CORNING", "ICYNENE", OR EQUAL. INSTALL PER MANUFACTURER'S RECOMMENDATIONS WITH VAPOR BARRIER (AS APPLICABLE) TO WARM SIDE OF WALL, FLOOR, OR CEILING. MINIMUM INSULATION R-VALUES:
    - SLAB-ON-GRADE: 4-10/"FOAMULAR" RIGID EXTRUDED POLYSTYRENE (XPS) FOAM INSULATION.
    - CRAWLSPACE WALLS: R-10/"FOAMULAR" RIGID EXTRUDED POLYSTYRENE (XPS) FOAM INSULATION.
    - FLOORS (NEW OVER DRAIN/SPACE): R-21/"ECOTOUCH" FOIL-FACED FIBERGLASS BATT INSULATION.
    - BASEMENT EXT. WALLS (2X4 FRAMING): R-15/"ECOTOUCH" FOIL-FACED FIBERGLASS BATT INSULATION.
    - EXTERIOR WALLS (2X6 Framing): R-21/"ECOTOUCH" FOIL-FACED FIBERGLASS BATT INSULATION.
    - VENTED CEILINGS/ROOFS: R-49/"ATTICAT" LOOSE-FILL FIBERGLASS BLOWN-IN INSULATION.
    - UNVENTED CEILINGS/ROOFS: 4-38/R-49 (PER CODE)/OPEN-CELL SPRAY FOAM INSULATION.
  - ACOUSTICAL INSULATION: PROVIDE ACOUSTICAL FIBERGLASS INSULATION AT PERIMETER OF POWDER ROOM; DININGROOM AS WELL AS AT FLOOR FRAMING BETWEEN 1ST & 2ND FLOOR, UNLESS NOTED OTHERWISE. MANUFACTURER'S STANDARD LENGTHS AND WIDTHS AS REQUIRED TO COORDINATE WITH SPACES TO BE INSULATED; SEE RAWINGS FOR WALL AND FLOOR THICKNESSES. USE "CERTAINTED" (SOUND ATTENUATION BATTS), "OWENS-CORNING" (SOUND CONTROLS BATTS), OR EQUAL. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

**REVIEWED**  
By Michael Kyne at 3:26 am, Mar 26, 2021



# ARCH. CASEWORK & SPECIALTIES GEN. NOTES

## ARCHITECTURAL CASEWORK GENERAL NOTES

- GENERAL:** COMPLY WITH APPLICABLE "ARCHITECTURAL WOODWORK QUALITY STANDARDS" BY AWI AND PS 20 AND APPLICABLE GRADING RULES FOR SOFTWOOD LUMBER STANDARDS. SET CASEWORK COMPONENTS PLUMB, SQUARE, AND STRAIGHT WITH NO DISTORTION AND SECURELY ANCHORED TO BUILDING STRUCTURE. SHIM AS REQUIRED USING CONCEALED SHIMS. FASTEN CONTINUOUS CABINETS TOGETHER WITH JOINTS FLUSH, TIGHT AND UNIFORM, AND WITH ALIGNMENT OF ADJACENT UNITS WITHIN 1/16" TOLERANCE. SECURE WALL CABINETS TO SOLID SUPPORTING MATERIAL. BLOCKING AS REQUIRED IN WALL BY ROUGH CARPENTRY. ADJUST TOP EDGE SURFACES IN ONE TRUE PLANE. PROVIDE FLUSH JOINTS NOT TO EXCEED 1/8" BETWEEN TOP UNITS. REPAIR OR REMOVE AND REPLACE DEFECTIVE WORK AS DIRECTED BY ARCHITECT OR OWNER UPON COMPLETION OF INSTALLATION. ADJUST DOORS, DRAWERS, HARDWARE, FIXTURES, AND OTHER MOVING OR OPERATING PARTS TO FUNCTION SMOOTHLY. PROVIDE NECESSARY PROTECTIVE MEASURES TO PREVENT DAMAGE OF CASEWORK AND EQUIPMENT FROM EXPOSURE TO OTHER CONSTRUCTION ACTIVITY. SEE DRAWINGS FOR LOCATIONS, SIZES, AND DETAILS. COORDINATE FINAL INSTALLATION OF ELECTRICAL OUTLETS, ETC. WITH ARCHITECT.
- CABINETS:** CABINETS DRAWINGS ARE FOR BASIC LAYOUT PURPOSES ONLY. CABINET SUPPLIER TO PROVIDE FINAL SHOP DRAWINGS FOR ALL COMPONENTS. CONTRACTOR TO COORDINATE FRAMING AS REQUIRED AND PROVIDE ASSOCIATED PLUMBING AND ELECTRICAL WORK.
- HARDWARE:** TO BE SELECTED BY ARCHITECT/OWNER. COORDINATE MANUFACTURER, TYPE, FINISH, AND FINAL MOUNTING LOCATION WITH ARCHITECT/OWNER PRIOR TO PURCHASE/INSTALLATION. SUBMIT CATALOG CUT SHEET FOR APPROVAL PRIOR TO ORDERING.
- COUNTERTOPS:** COUNTERTOP SUB-CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO FABRICATION AND INSTALLATION; COORDINATE AND VERIFY EQUIPMENT AND FIXTURE DIMENSIONS. CONSULT WITH ARCHITECT/OWNER ON MATERIAL. PROVIDE SHOP DRAWINGS ON ALL COUNTERTOPS FOR APPROVAL PRIOR TO PURCHASE/INSTALLATION.
- APPLIANCES:** APPLIANCES TO BE SELECTED BY OWNER. SEE DRAWINGS FOR LOCATIONS AND TYPES. FIELD MEASURE PRIOR TO PURCHASE AND INSTALLATION. PROVIDE NECESSARY PROTECTIVE MEASURES TO PREVENT DAMAGE OF CASEWORK AND EQUIPMENT FROM EXPOSURE TO OTHER CONSTRUCTION ACTIVITY. COORDINATE FINAL INSTALLATION OF ELECTRICAL OUTLETS, PLUMBING LINES, ETC. AS REQUIRED.

## SPECIALTIES GENERAL NOTES

- SHELVES:** UNLESS NOTED OTHERWISE, PROVIDE 5/4X12 PAINT-GRADE WOOD SHELVING AT 16" ON CENTER VERTICALLY, TYPICAL. CLOTHES CLOSETS SHALL BE EQUIPPED WITH FULL LENGTH SHELVES; SUPPORT AT CENTER FOR UNITS OVER 48". SUPPORT ON KV HARDWARE, OR ARCHITECT-APPROVED EQUAL, FOR EXPOSED SHELVES; 1X3 PAINT-GRADE WOOD CLEATS CONTINUOUS 3 SIDES FOR CLOSETS.
- HANG ROD:** UNLESS NOTED OTHERWISE, PROVIDE 1-1/2" DIAMETER METAL HANG ROD FOR ALL CLOSETS AS SHOWN ON DRAWINGS. COORDINATE FINISH WITH ARCHITECT/OWNER.
- BATH ACCESSORIES:** UNLESS NOTED OTHERWISE, PROVIDE (PER BATHROOM) ONE SOAP DISH, ONE TOILET PAPER HOLDER, TWO 24" TOWEL BARS, AND TWO TOWEL HOOKS. MANUFACTURER, MATERIAL, FINISH, AND STYLE OF ACCESSORIES TO BE SELECTED BY ARCHITECT/OWNER. COORDINATE FINAL MOUNTING LOCATIONS WITH ARCHITECT/OWNER PRIOR TO CLOSE-IN TO ALLOW FOR PROPER BLOCKING.
- MIRRORS:** UNLESS NOTED OTHERWISE, ALL MIRRORS SHOWN ON THE PLANS AND ELEVATIONS SHALL BE 1/4" PLATE GLASS SILVERED BACK, DISTORTION FREE, MOUNTED WITH MFR'S RECOMMENDED ADHESIVES AND/OR CLIPS AND SET INTO ANY TRIMS TO CONCEAL EDGES. ANY SURFACES REFLECTED IN THE MIRRORS SHALL BE FINISHED TO MATCH ADJACENT SURFACES, NO UNFINISHED AND/OR UNEVEN SURFACES SHALL BE VISIBLE IN THE MIRROR.

# INTERIOR FINISHES GENERAL NOTES

## INTERIOR FINISHES GENERAL NOTES

- GYPSUM BOARD WALLS AND CEILINGS:** PROVIDE GYPSUM WALLBOARD WALLS AND CEILING CONFORMING TO ASTM C36-76 1/2" TICK. MIN. AS MANUFACTURED BY "UNITED STATES GYPSUM CO." AND/OR "GEORGIA-PACIFIC". ALL GYPSUM BOARD SHALL BE TAPED, SPACKLED AND SANDED SMOOTH PRIOR TO FINISHING. METAL BEADING SHALL BE USED ON ALL OUTSIDE CORNERS WHERE APPLICABLE. PROVIDE WATER/MOLD-RESISTANT GYPSUM WALLBOARD AT ALL BATHROOM AND LAUNDRY LOCATIONS AND THROUGHOUT BASEMENTS. PROVIDE FIRE-RESISTANT GYPSUM WALLBOARD THROUGHOUT GARAGE AREAS UNLESS NOTED OTHERWISE. PROVIDE LEVEL 4 FINISH THROUGHOUT.
- FLOOR & WALL TILE:** SEE DRAWINGS AND TILE SCHEDULE FOR TYPES, SIZES, AND PATTERN - PROVIDE TILE ALLOWANCE IF NONE SPECIFIED. ALLOWANCE TO INCLUDE ONLY THE ACTUAL TILE COST. COST OF LABOR, GROUT, THINSET, ETC. TO BE INCLUDED WITHIN BASE BID. BASE BID LABOR COST TO ALLOW FOR CERAMIC PORCELAIN, OR STONE TILE INSTALLATION WITHOUT ADDITIONAL UPCHARGE. CONSULT WITH DESIGNER/OWNER FOR SIZES, COLORS, AND PATTERNS IF NOT SPECIFIED. COORDINATE FINAL LAYOUT OF WALL AND FLOOR TILE WITH DESIGNER IN THE FIELD PRIOR TO START OF WORK. APPLY USING ORGANIC ADHESIVE ANSI A1361-1967 TYPE I. PRIME SURFACES BEFORE APPLYING ADHESIVE AS RECOMMENDED BY ADHESIVE MANUFACTURER. ALLOW 24 HOURS AFTER TILE IS SET FOR SOLVENT EVAPORATION BEFORE GROUTING.
- TILE GROUT:** UNLESS NOTED OTHERWISE, MANUFACTURER OF GROUT SHALL BE "LATICRETE". USE EPOXY GROUT AT ALL TUB SURROUNDS, SHOWER FLOORS AND WALLS AND SHOWER CURBS. REMAINING GROUT TO BE LATEX PORTLAND CEMENT GROUT. CONSULT WITH DESIGNER/OWNER FOR GROUT COLORS AND WIDTHS IF NOT SPECIFIED.
- FLOOR TILE BACKER BOARD - DRY AREAS:** "HARDIEBACKER" CEMENT TILE BACKER BOARD TO BE USED AT ALL TILED FLOORS, EXCLUDING WET AREAS, 1/4" THICK (NOMINAL). AS MANUFACTURER BY "JAMES HARDIE BUILDING PRODUCT, INC.", OR DESIGNER-APPROVED EQUAL. MAXIMUM VARIATION IN WALL SURFACE SHALL NOT EXCEED 1/8" IN 8'-0" FROM THE REQUIRED PLAN NOR MORE THAN 1/16" PER 12".
- WALL TILE BACKER BOARD - DRY AREAS:** WATER-RESISTANT GYPSUM TILE BACKER BOARD TO BE USED ON ALL TILED WALLS, EXCLUDING WET AREAS. CONFORMING TO ASTM C-1178, 1/2" THICK (MINIMUM) SILICONE TREATED GYPSUM BOARD, GLASS MAT BOTH SIDES. AS MANUFACTURED BY "GEORGIA-PACIFIC," "UNITED STATES GYPSUM CO.," OR ARCHITECT-APPROVED EQUAL. MAXIMUM VARIATION IN WALL SURFACE SHALL NOT EXCEED 1/8" IN 8'-0" FROM THE REQUIRED PLAN NOR MORE THAN 1/16" PER 12".
- FLOOR & WALL TILE BACKER BOARD - WET AREAS:** "HARDIEBACKER 500" CEMENT TILE BACKER BOARD TO BE USED AT ALL TILED FLOORS AND WALLS IN WET AREAS, 1/2" THICK (NOMINAL). AS MANUFACTURED BY "JAMES HARDIE BUILDING PRODUCTS, INC.," OR ARCHITECT-APPROVED EQUAL. MAXIMUM VARIATION IN WALL SURFACE SHALL NOT EXCEED 1/8" IN 8'-0" FROM THE REQUIRED PLAN NOR MORE THAN 1/16" PER 12".
- WATER-PROOF TILE UNDERLAYMENT:** "SCHLUTER-KERDI" UNDERLAYMENT SYSTEM COMPLETE WITH CORNER FLASHING, CLAMPING DRAIN KIT, ETC., TO BE USED AT ALL BATH AND SHOWER FLOORS AND AT TILED WALLS OF TUBS AND SHOWERS SURROUNDS. AS MANUFACTURED BY "SCHLUTER SYSTEMS L.P." INSTALL PER MANUFACTURER'S RECOMMENDATIONS. CONSULT WITH ARCHITECT/OWNER FOR KERDI DRAIN TYPE, SIZE, AND FINISH IF NOT SPECIFIED.
- INTERIOR TRIM:** COORDINATE FINAL SIZE, PROFILE, SPECIES, AND FINISH OF TRIMS WITH ARCHITECT/OWNER PRIOR TO START OF WORK. PROVIDE FULL-SIZE MOCK-UPS FOR APPROVAL BEFORE ORDERING/INSTALLATION. CONTRACTOR TO MITER-CUT AND GLUE JOINTS BETWEEN INDIVIDUAL PIECES OF TRIM.
- WOOD FLOORING:** ALL WOOD FLOORS TO BE SANDED, STAINED TO MATCH EXISTING, AND SEALED WITH THREE (3) COATS OF SATIN FINISH OIL OR WATER-BASED URETHANE. CONSULT WITH OWNER/ARCHITECT FOR DESIRED COLOR/FINISH. UNLESS NOTED OTHERWISE, FLOORING TO MATCH EXISTING IN SPECIES, DIMENSIONS, AND MANUFACTURING.
- ENGINEERED WOOD FLOORING:** UNLESS NOTED OTHERWISE, FACTORY-FINISHED ENGINEERED WOOD FLOORING TO BE BY "BRUCE," OR ARCHITECT-APPROVED EQUAL. SIZE: 3/8" THICK, 5" WIDTH. ALLOW FOR ANY SPECIES/STAIN-COORDINATE FINAL SELECTION WITH ARCHITECT/OWNER PRIOR TO CONSTRUCTION. FINISH: NATURAL LOW-GLOSS. INSTALL ONLY AT ROOM TEMPERATURES OF 60 DEGREES-85 DEGREES F AND 35-55% HUMIDITY CONDITIONS. PROPERLY PREPARE SURFACE OF CONCRETE SUB-SLAB AND VERIFY PROPER MOISTURE LEVEL AS RECOMMENDED BY MANUFACTURER PRIOR TO START OF INSTALLATION. INSTALL OVER ARMSTRONG "VAPARREST" - S-135 PROFESSIONAL MOISTURE RETARDANT SYSTEM AND ARMSTRONG "EVERLAST" - PREMIUM URETHANE ADHESIVE. FLOORING TO BE INSTALLED FROM SEVERAL CARTRONS AT THE SAME TIME TO ENSURE GOOD COLOR AND SHADE MIXTURE, STAGGERING THE ENDS OF BOARDS AT LEAST 4" - 6" IN ADJACENT ROWS. DO NOT INSTALL FLOORING USING RUBBER MALLETS AS IT MAY "BURIN" THE FINISH CAUSING IRREPARABLE DAMAGE. FOLLOW MANUFACTURER'S PRODUCT INFORMATION STRICTLY FOR THE RIGHT PERFORMANCE AND INSTALLATION.
- PAINTING:** MANUFACTURER OF PAINTS TO BE "BENJAMIN MOORE" ("AURA" LINE OF PAINT), UNLESS NOTED OTHERWISE. MANUFACTURER OF STAINS TO BE "SIKKENS" OR "MINIWX." ALL COLORS, FINISHES, AND SHEEN LEVELS TO BE SELECTED BY ARCHITECT/OWNER.

INTERIOR: NEW WALLS AND CEILINGS ARE TO RECEIVE ONE PRIME COAT AND TWO FINISH COATS, MINIMUM, OF LATEX PAINT. TRIMS ARE TO RECEIVE ONE PRIME COAT AND TWO FINISH COATS, MINIMUM, OF WATER-BASED ENAMEL PAINT. ALL CUT ENDS OF INTERIOR TRIM SHALL BE PRIMED. WOOD WINDOWS IN SHOWERS ARE TO RECEIVE TWO PRIME COATS AND TWO FINISH COATS, MINIMUM, OF "BRIGHTSIDE" MARINE-GRADE PRIMER & POLYURETHANE PAINT "INTERLUX," OR ARCHITECT-APPROVED EQUAL.

EXTERIOR: UNLESS NOTED OTHERWISE, SIDING AND TRIMS TO RECEIVE ONE PRIME COAT ON ALL SIDES AND TWO COATS ON ENDS OF EXTERIOR WOOD BEFORE FINAL PAINTING. TWO FINISH COATS, MINIMUM, OF SEMI-GLOSS EXTERIOR LATEX PAINT. ALL FERROUS METALS TO BE PAINTED ARE TO RECEIVE ONE PRIME COAT OF RUST INHIBITIVE PAINT AND TWO FINISH COATS, MINIMUM, OF ALKYLID ENAMEL PAINT.

REMOVE ALL DOOR AND WINDOW HARDWARE, LIGHTING FIXTURES, COVERPLATES, ETC. PRIOR TO START OF PAINTING. UPON COMPLETION OF THE WORK, CAREFULLY INSPECT ALL PAINTED SURFACES. CLEAN AND RETOUCH AS NECESSARY OR AS DIRECTED. LEAVE ALL OTHER SURFACES CLEAN AND FREE FROM ALL PAINT, SPATTERINGS, SMEARS AND SMUDGES RESULTING FROM PAINTING WORK. PROPERLY PROTECT ALL PAINTED AND FINISHED SURFACES SUBJECT TO DAMAGE OR DEFAACEMENT DUE TO OTHER WORK ON BUILDING.



**Montgomery County**  
**Department of Permitting Services**  
285 Rockville Pike, 2<sup>nd</sup> Floor  
Rockville, MD 20850-4186  
Phone: 311 in Montgomery County or (240)777-0311  
www.montgomerycountymd.gov/dps



Residential Construction Design Parameters											
Ground Snow Load	Wind Speed	Seismic Design Category	Subject To Damage From				Winter Design Temp.	Ice Shield Underlayment Required	Flood Hazards	Air Freezing Index	Mean Annual Temp.
			Weathering	Frost Line Depth	Termites	Decay					
30 PSF (1.4 kN/m <sup>2</sup> )	115 mph (185 km/hr)	B	Severe	30 in (610 mm)	Moderate to heavy	Slight to moderate	13°F (-10.6°C)	Yes	a) July 18, 1975 b) September 29, 2006 c) See note	300	55°F (12.8°C)

Note:

### FEMA Flood Panels Numbers:

24031C040D, 24031C045D, 24031C055D, 24031C060D, 24031C065D, 24031C070D, 24031C090D, 24031C0120D, 24031C0130D, 24031C0132D, 24031C0134D, 24031C0135D, 24031C0139D, 24031C0140D, 24031C0141D, 24031C0142D, 24031C0143D, 24031C0144D, 24031C0151D, 24031C0153D, 24031C0155D, 24031C0165D, 24031C0170D, 24031C0180D, 24031C0184D, 24031C0185D, 24031C0186D, 24031C0187D, 24031C0188D, 24031C0189D, 24031C0191D, 24031C0193D, 24031C0195D, 24031C0205D, 24031C0210D, 24031C0215D, 24031C0216D, 24031C0220D, 24031C0240D, 24031C0245D, 24031C0260D, 24031C0280D, 24031C0281D, 24031C0285D, 24031C0295D, 24031C0305D, 24031C0307D, 24031C0310D, 24031C0315D, 24031C0320D, 24031C0326D, 24031C0327D, 24031C0328D, 24031C0329D, 24031C0331D, 24031C0332D, 24031C0333D, 24031C0334D, 24031C0337D, 24031C0340D, 24031C0341D, 24031C0342D, 24031C0345D, 24031C0351D, 24031C0353D, 24031C0355D, 24031C0360D, 24031C0361D, 24031C0365D, 24031C0370D, 24031C0380D, 24031C0385D, 24031C0390D, 24031C0410D, 24031C0430D, 24031C0435D, 24031C0455D, 24031C0460D, 24031C0465D, 24031C0480D

Date of Effective FIRM = September 29, 2006

G.L. SMITH ASSOCIATES  
2908 M ST NW  
WASHINGTON, DC 20007

PROJECT

WINNIK  
RESIDENCE

DATE

2/10/2021

SCALE

AS NOTED

DRAWING BY

D.Y.G.

APPROVED BY

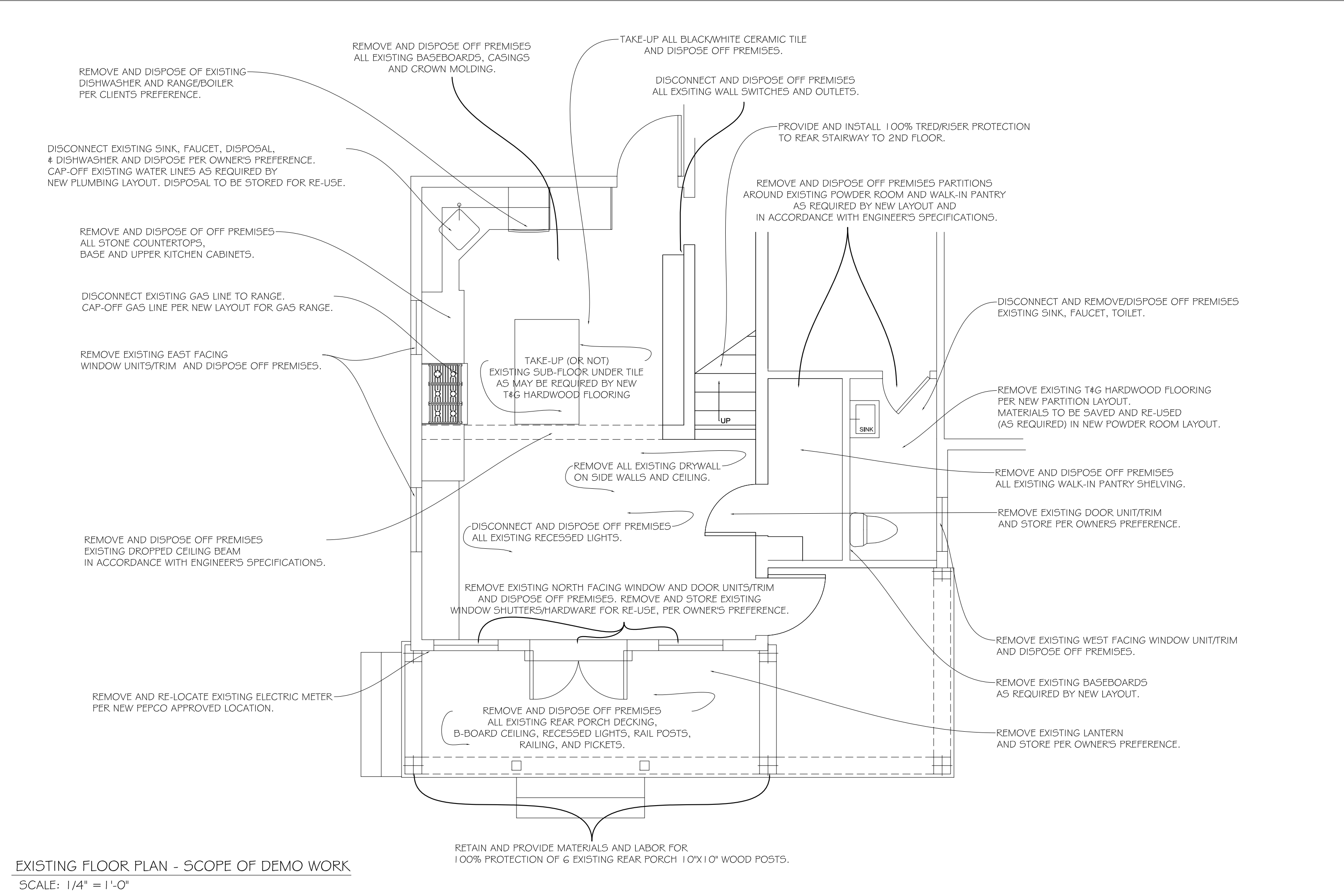
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REVISIONS

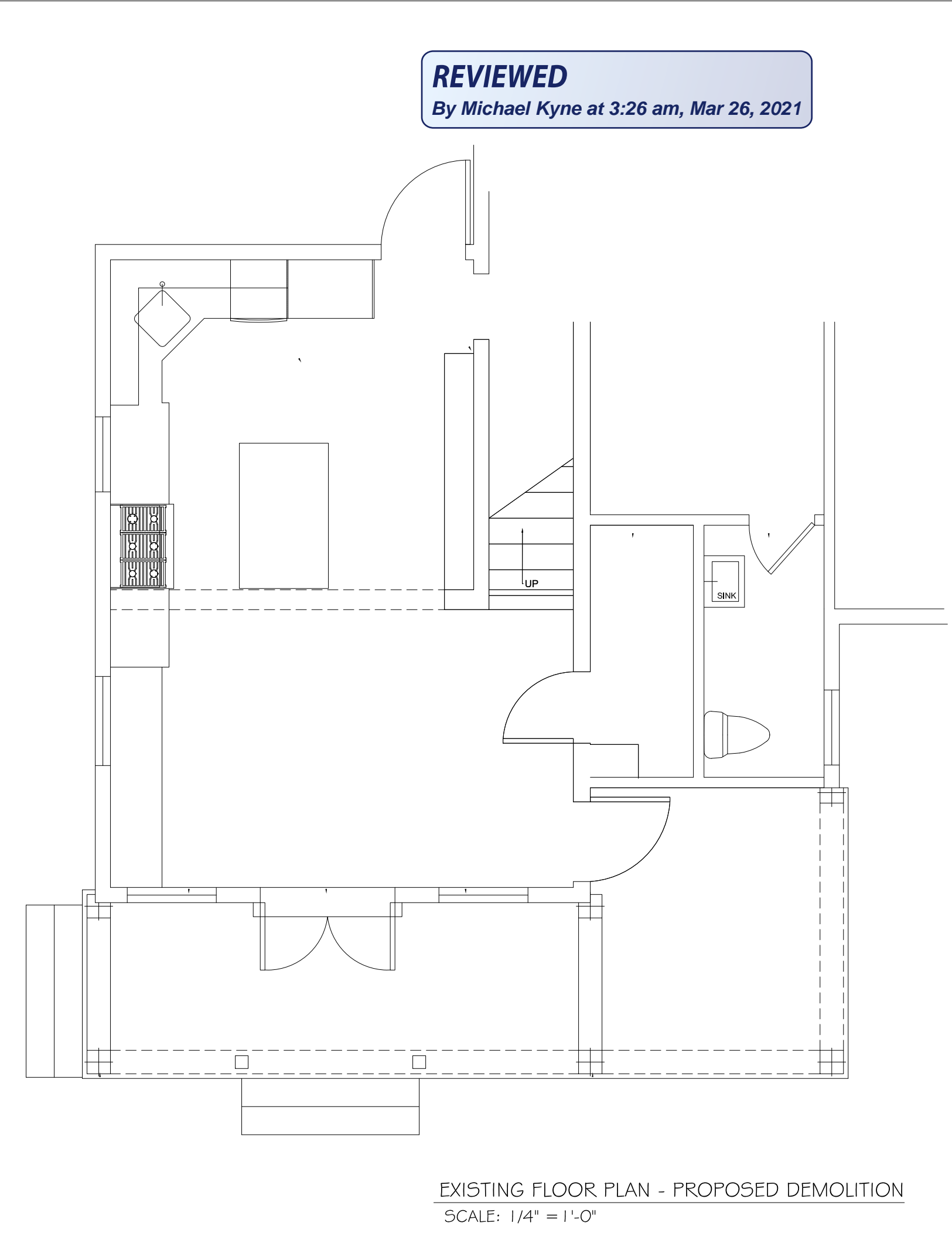
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GENERAL NOTES

SHEET #

G-3



EXISTING FLOOR PLAN - SCOPE OF DEMO WORK  
SCALE: 1/4" = 1'-0"



EXISTING FLOOR PLAN - PROPOSED DEMOLITION  
SCALE: 1/4" = 1'-0"

**REVIEWED**  
By Michael Kyne at 3:26 am, Mar 26, 2021

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Ronald H. [Signature]*

G.L. SMITH ASSOCIATES  
2908 M ST NW  
WASHINGTON, DC 20007

PROJECT  
**WINNIK RESIDENCE**

DATE  
2/10/2021

SCALE  
AS NOTED

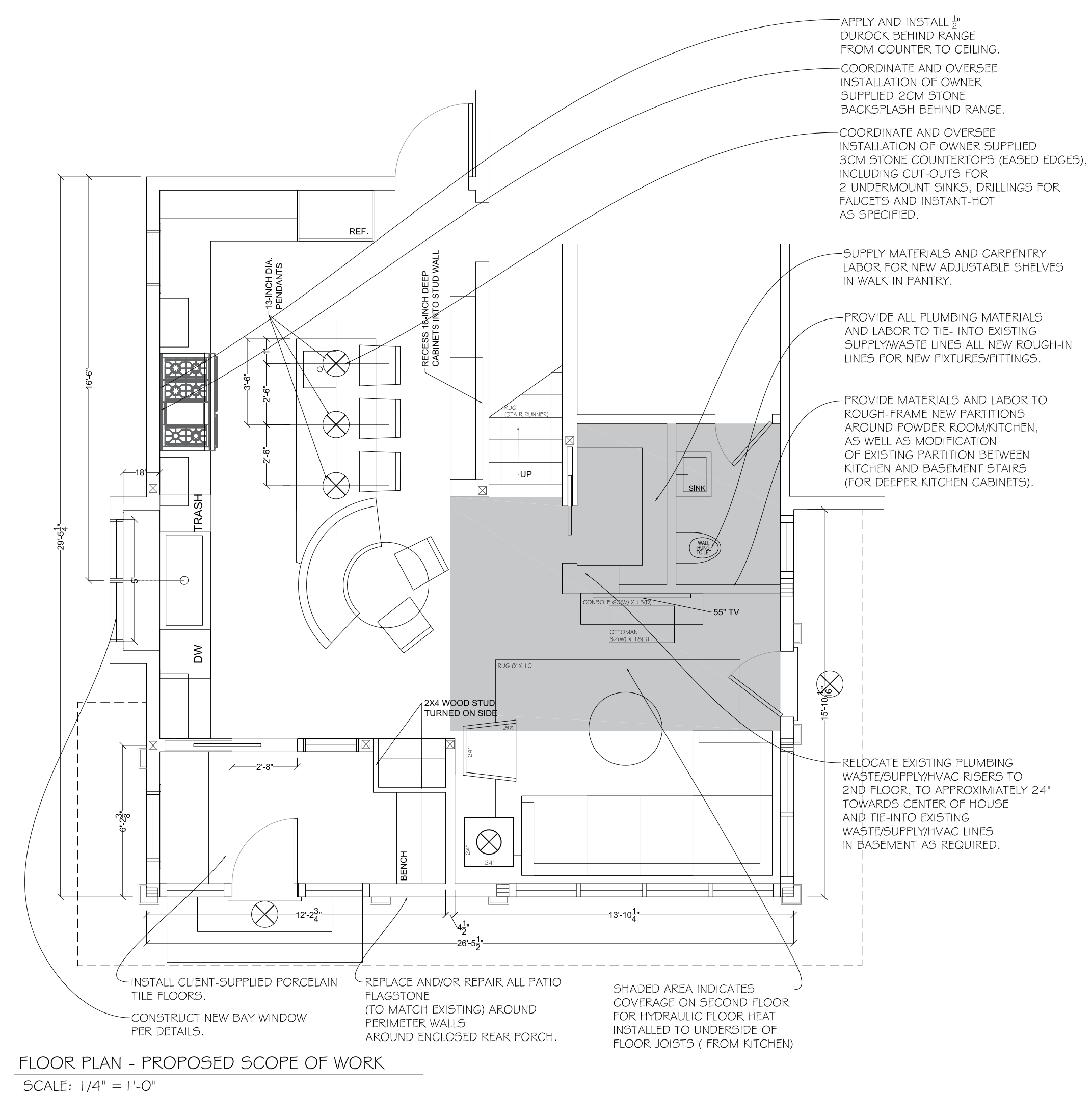
DRAWING BY  
K.A.G.

APPROVED BY  
G.L.S.

REVISIONS

DRAWING NAME  
SCOPE OF WORK & DEMOLITION PLANS

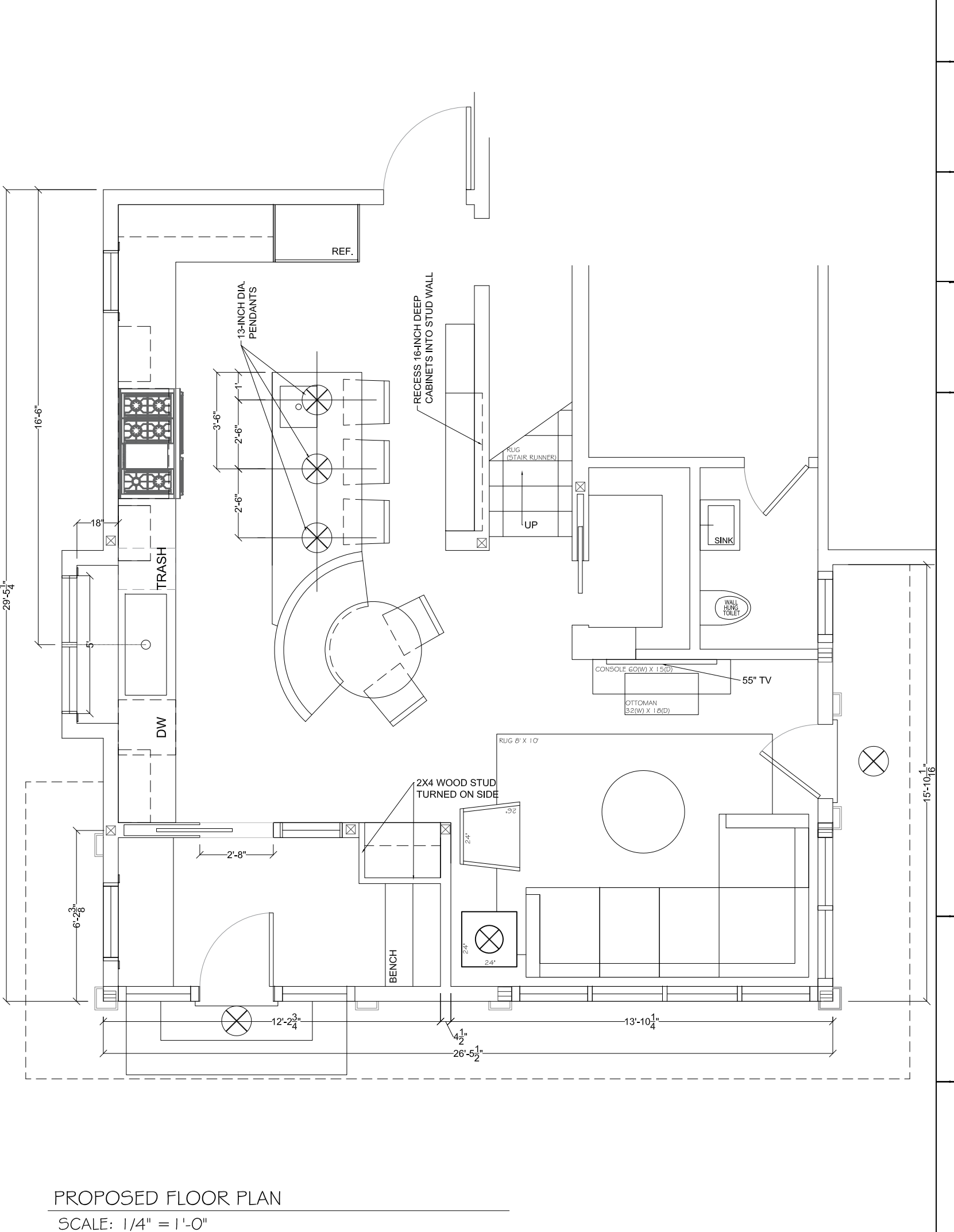
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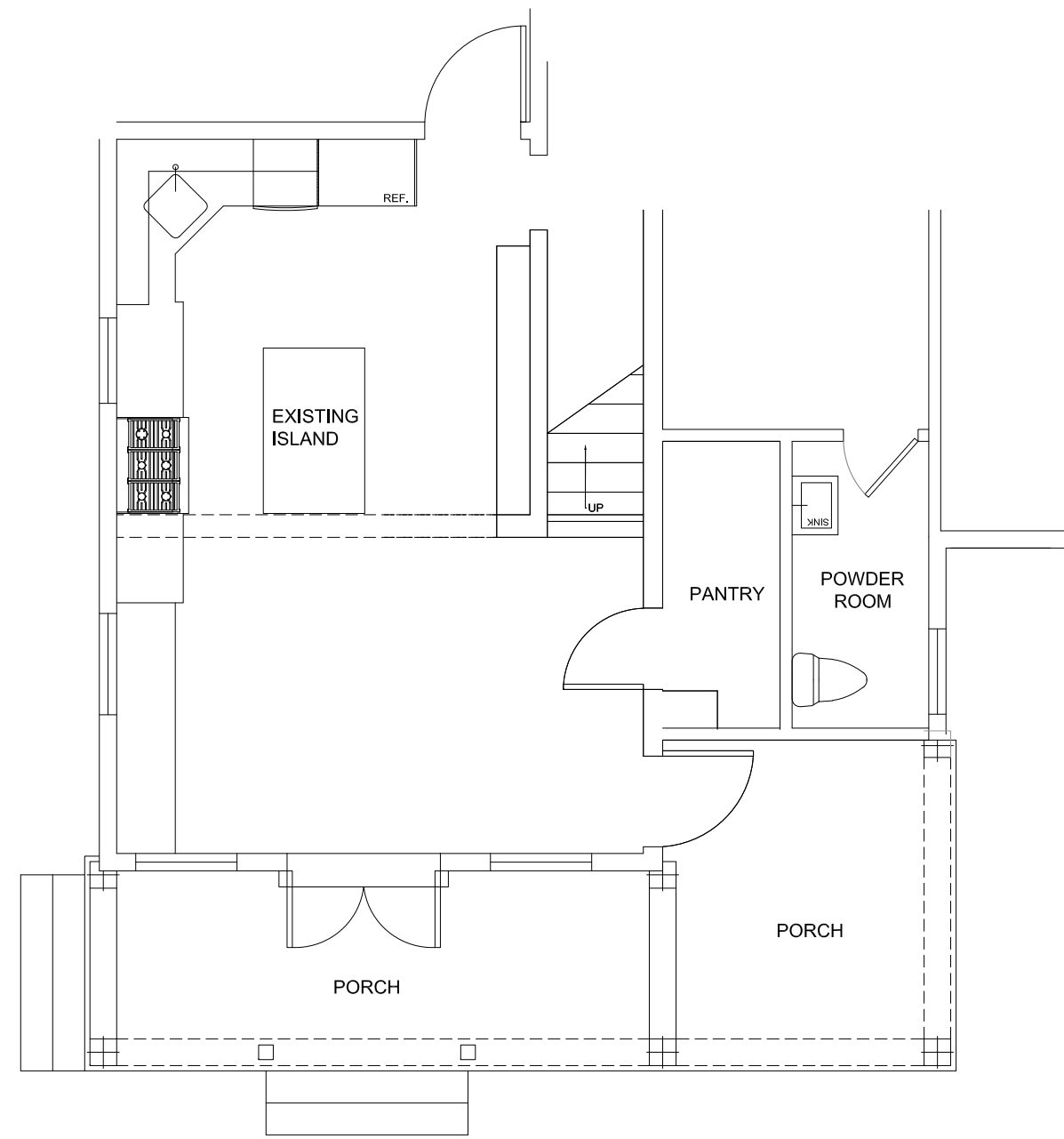
FLOOR PLAN - PROPOSED SCOPE OF WORK  
SCALE: 1/4" = 1'-0"

- GENERAL SCOPE OF WORK:**
1. PROVIDE ALL ELECTRICAL MATERIALS AND LABOR TO CONNECT OLD AND/OR NEW CLIENT SUPPLIED KITCHEN APPLIANCES AND RELATED HARDWARE, AS WELL AS CLIENT SUPPLIED DECORATIVE LIGHT FIXTURES AND TV, PER DRAWINGS AND ELEVATIONS SUBMITTED.
  2. SUPPLY AND INSTALL NEW 2.25" T&G OAK FLOORING IN KITCHEN & SITTING AREA. MATCHING OAK THRESHOLDS TO BE INCLUDED AS REQUIRED.
  3. SUPPLY AND INSTALL ALL DRYWALL FINISHING, INCLUDING ONE PRIME COAT AND ANY FOLLOW-UP MUDDING/SANDING AS MAY BE REQUIRED FOR A FINAL SMOOTH FINISHED APPEARANCE (LEVEL 4 MINIMUM).
  4. SUPPLY AND INSTALL NEW INTERIOR DOORS (NEW AND/OR OLD), AS SPECIFIED ON LAYOUTS AND ELEVATIONS.
  5. PROVIDE PAINTING MATERIALS AND LABOR TO PREP, PRIME, AND PAINT (MINIMUM 2 FINISH COATS OF LATEX BASED PREMIUM INTERIOR PAINT BY BEN MOORE OR SHERWIN WILLIAMS) ALL CEILINGS, SIDE WALLS, AND ALL WOOD TRIM (WINDOWS/DOOR UNITS, CASINGS, BASEBOARDS, CROWN, AND WALK-IN PANTRY SHELVING) PER PLANS AND ELEVATIONS.
  6. PROVIDE ALL PLUMBING MATERIALS AND LABOR FOR ROUGH-IN LAYOUT OF NEW APPLIANCES AND PLUMBING FIXTURES/FITTINGS IN KITCHEN & POWDER ROOM PER PLANS AND AS REQUIRED BY LOCAL AND COUNTY BUILDING CODES AND IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND SPECIFICATIONS.
  7. PROVIDE ALL ELECTRICAL MATERIALS AND LABOR FOR ROUGH-IN LAYOUT OF NEW APPLIANCES, OUTLETS, TV/DATA JACKS, RECESSED LIGHTING, DECORATIVE DROP CEILING LIGHTS, ETC. PER PLANS AND AS REQUIRED BY LOCAL AND COUNTY BUILDING CODES AND IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND SPECIFICATIONS.
  8. SUPPLY AND INSTALL ALL NEW RECESSED LED HOUSINGS AS SPECIFIED ON PLANS AND AS REQUIRED BY LOCAL AND COUNTY BUILDING CODES AND IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND SPECIFICATIONS.
  9. PROVIDE AND INSTALL NEW INSULATION AROUND ALL NEW WINDOW/DOOR UNITS, EXTERIOR FRAME WALLS (ON ALL ELEVATIONS), AND CEILINGS AS REQUIRED BY LOCAL AND COUNTY BUILDING CODES AND IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND SPECIFICATIONS.
  10. PROVIDE AND INSTALL NEW INSULATION AROUND ALL NEW WINDOW/DOOR UNITS, EXTERIOR FRAME WALLS (ON ALL ELEVATIONS), AND CEILINGS AS REQUIRED BY LOCAL AND COUNTY BUILDING CODES AND IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND SPECIFICATIONS.
  11. PROVIDE AND INSTALL NEW EXTERIOR SHEATHING AND WATERPROOFING AROUND ALL NEW WINDOW/DOOR UNITS (ON ALL ELEVATIONS) AS REQUIRED BY LOCAL AND COUNTY BUILDING CODES AND IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND SPECIFICATIONS.
  12. PROVIDE PROFESSIONAL STAINING AND FINISHING (SATIN OR SEMI-GLOSS TBD) OF 2.25" T&G OAK. HARDWOOD FLOORING AND RELATED THRESHOLDS/SADDLES, ALL TO MATCH EXISTING HARDWOOD FLOORS THROUGHOUT 1ST FLOOR.
  13. COORDINATE AND OVERSEE INSTALLATION OF OWNER SUPPLIED TILE BACKSPASHES.
  14. SUPPLY MATERIALS AND LABOR TO INSTALL ROUGH-INS FOR NEW WALL SWITCHES AND OUTLETS PER PLAN.
  15. SUPPLY AND INSTALL NEW LUTRON 'DECORA' AND SUBSTITUTIONS) OUTLETS, ROCKER SWITCHES, AND 'MAESTRO' DIMMERS. SEE LIGHTING PLAN.
  16. PROVIDE ALL MODIFICATIONS TO EXISTING CIRCUIT BREAKER AS MAY BE REQUIRED FOR NEW ELECTRICAL SPECIFICATIONS OF NEW APPLIANCES AND LIGHTING. ELECTRIC FLOOR HEAT AND REFRIGERATOR DRAWERS ARE BEING ADDED TO THE LOAD.
  17. INSTALL NEW WINDOW PER ELEVATIONS AND DETAILS.
  18. SUPPLY AND INSTALL NEW WINDOW/DOOR UNITS AND RELATED TRIM PER PLANS, ELEVATIONS, AND VENDOR SPECIFICATIONS SUBMITTED.

- GENERAL SCOPE OF WORK CONTD:**
19. SUPPLY AND INSTALL NEW WOOD SIDING AROUND ALL NEW WINDOW/DOOR UNITS (TO MATCH EXISTING).
  20. IN ACCORDANCE WITH ENGINEER'S GUIDELINES AND SPECIFICATIONS, PROVIDE AND INSTALL BEAM MATERIALS & POSTS, AND RELATED HANGING HARDWARE FOR NEW UP-SET STRUCTURAL CEILING BEAM TO SUPPORT 2ND FLOOR FRAMING AT REAR WALL OF LAUNDRY/MASTER BATHROOM.
  21. SUPPLY AND INSTALL ALL RELATED WINDOW SILLS AND TRIM (TO MATCH EXISTING) AROUND ALL NEW WINDOW/DOOR UNITS AS SPECIFIED ON PLANS AND ELEVATIONS.
  22. PROVIDE LABOR AND RELATED MATERIALS TO REMOVE PATIO FLAGSTONE AS MAY BE REQUIRED FOR NEW CONCRETE FOOTERS, AS BEST OR AS PRACTICAL AS IS POSSIBLE. RETAIN ANY REMOVED FLAGSTONE PIECES FOR REPAIR/PATCHING LATER.
  23. PROVIDE ALL MATERIALS AND LABOR TO PREP, PRIME, CAULK, AND SAND ALL WINDOW/DOOR UNITS, RELATED TRIM, AND SIDING, INCLUDING MINIMUM 2 FINISH COATS OF PREMIUM EXTERIOR GRADE BEN MOORE OR SHERWIN WILLIAMS PAINT (TO MATCH EXISTING COLORS).
  24. IN ACCORDANCE WITH ENGINEER'S GUIDELINES AND SPECIFICATIONS, PROVIDE AND INSTALL NEW CONCRETE FOOTERS (AS REQUIRED) FOR STRUCTURAL POSTS.
  25. PROVIDE AND INSTALL NEW WOOD FRAMING FOR WINDOW/DOOR ROUGH-OPENINGS PER MANUFACTURER'S GUIDELINES AND SPECIFICATIONS.
  26. IN ACCORDANCE WITH ENGINEER'S GUIDELINES AND SPECIFICATIONS, PROVIDE AND INSTALL NEW STRUCTURAL FLOOR JOISTS AND BANDBOARDS, UNDER NEW ENCLOSED PORCH, INCLUDING RELATED HANGING HARDWARE AND STRUCTURAL POSTS PER PLANS.



PROPOSED FLOOR PLAN  
SCALE: 1/4" = 1'-0"

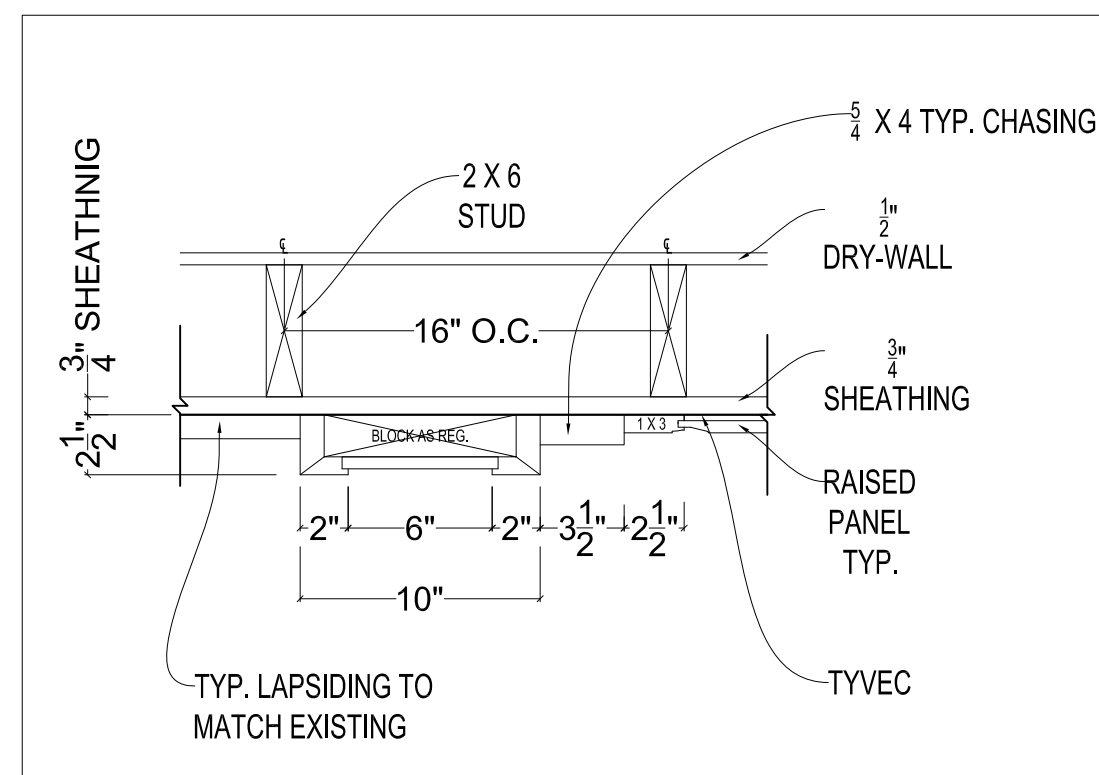


EXISTING FLOOR PLAN  
SCALE: 3/16" = 1'-0"

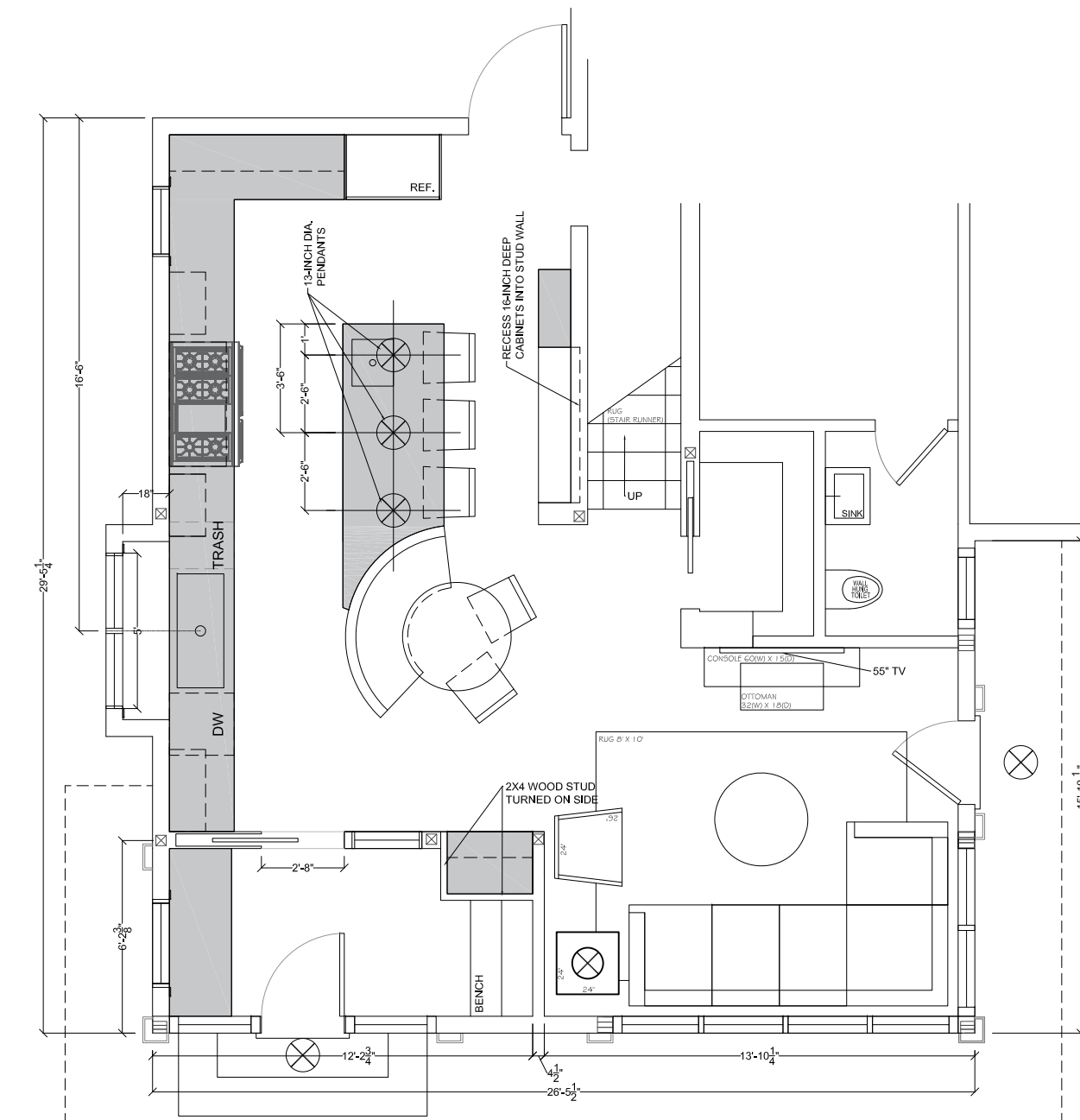
**REVIEWED**  
By Michael Kyne at 3:26 am, Mar 26, 2021

APPROVED  
Montgomery County  
Historic Preservation Commission

*Robert A. Norton*



SECTION A-A  
SCALE: 1 1/2" = 1'-0"



PROPOSED FLOOR PLAN  
SCALE: 3/16" = 1'-0"



EXISTING EAST ELEVATION  
SCALE: 3/16" = 1'-0"

EXISTING WEST ELEVATION  
SCALE: 3/16" = 1'-0"

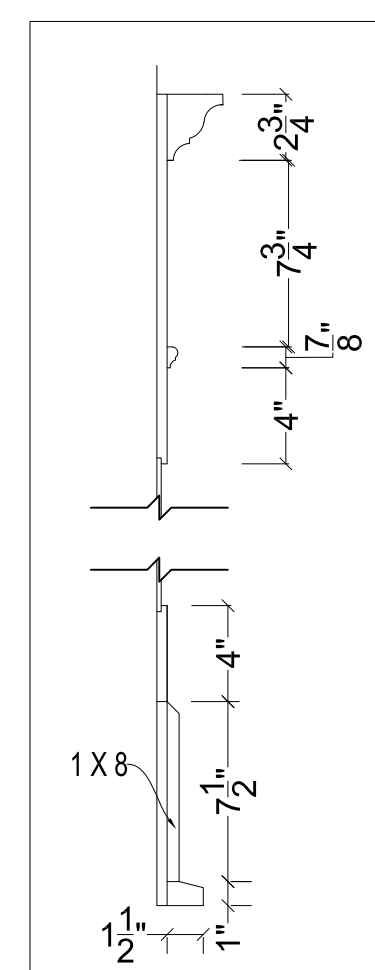


PROPOSED EAST ELEVATION  
SCALE: 3/16" = 1'-0"

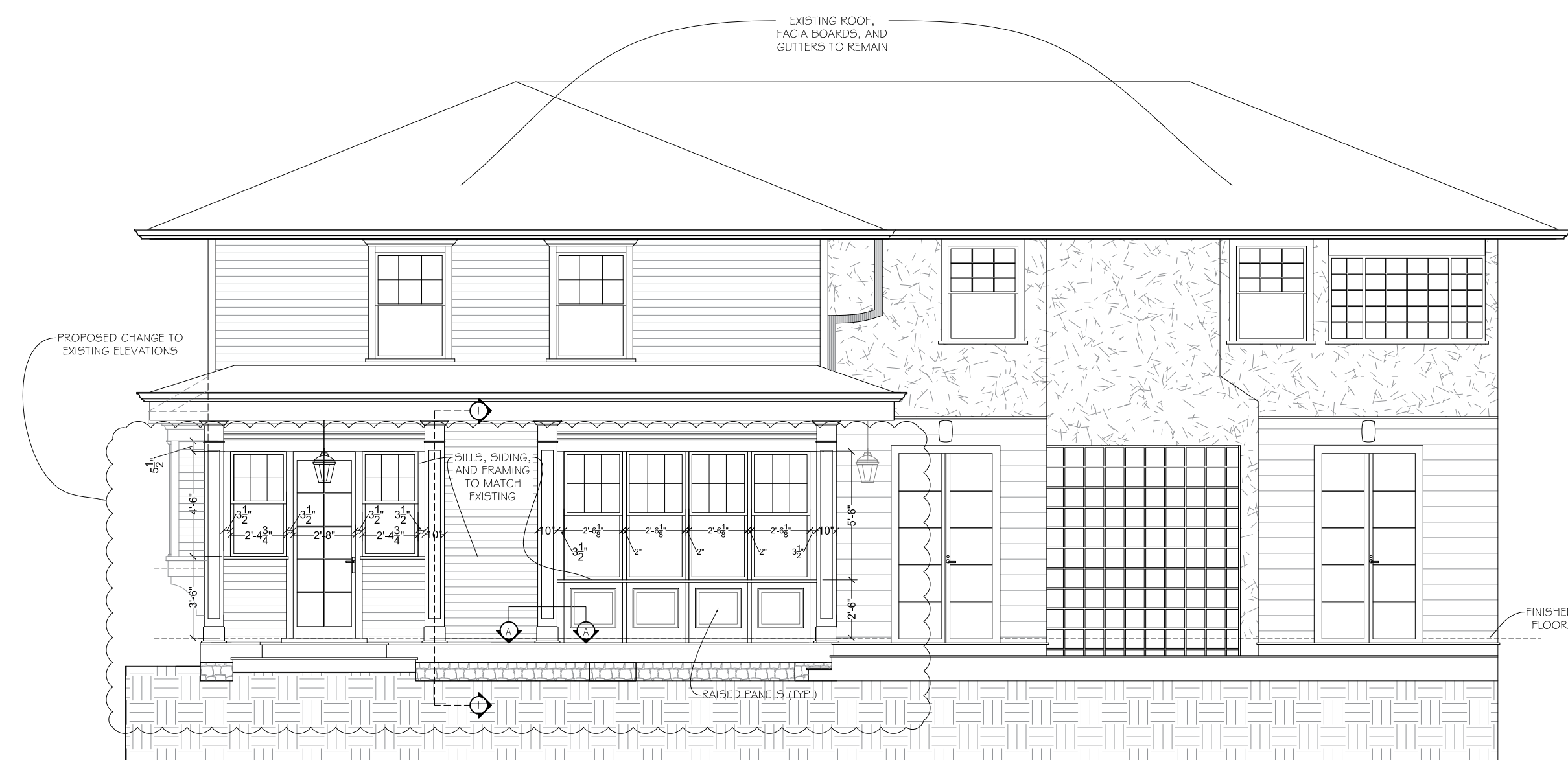
PROPOSED WEST ELEVATION  
SCALE: 3/16" = 1'-0"



EXISTING NORTH ELEVATION  
SCALE: 3/16" = 1'-0"



SECTION 1-1  
TYP. EXTERIOR COLUMN  
SCALE: 1 1/2" = 1'-0"



PROPOSED NORTH ELEVATION  
SCALE: 3/16" = 1'-0"

G.L. SMITH ASSOCIATES  
2908 M ST NW  
WASHINGTON, DC 20007

PROJECT

WINNIK  
RESIDENCE

DATE

2/10/2021

SCALE

AS NOTED

DRAWING BY

D.Y.G.

APPROVED BY

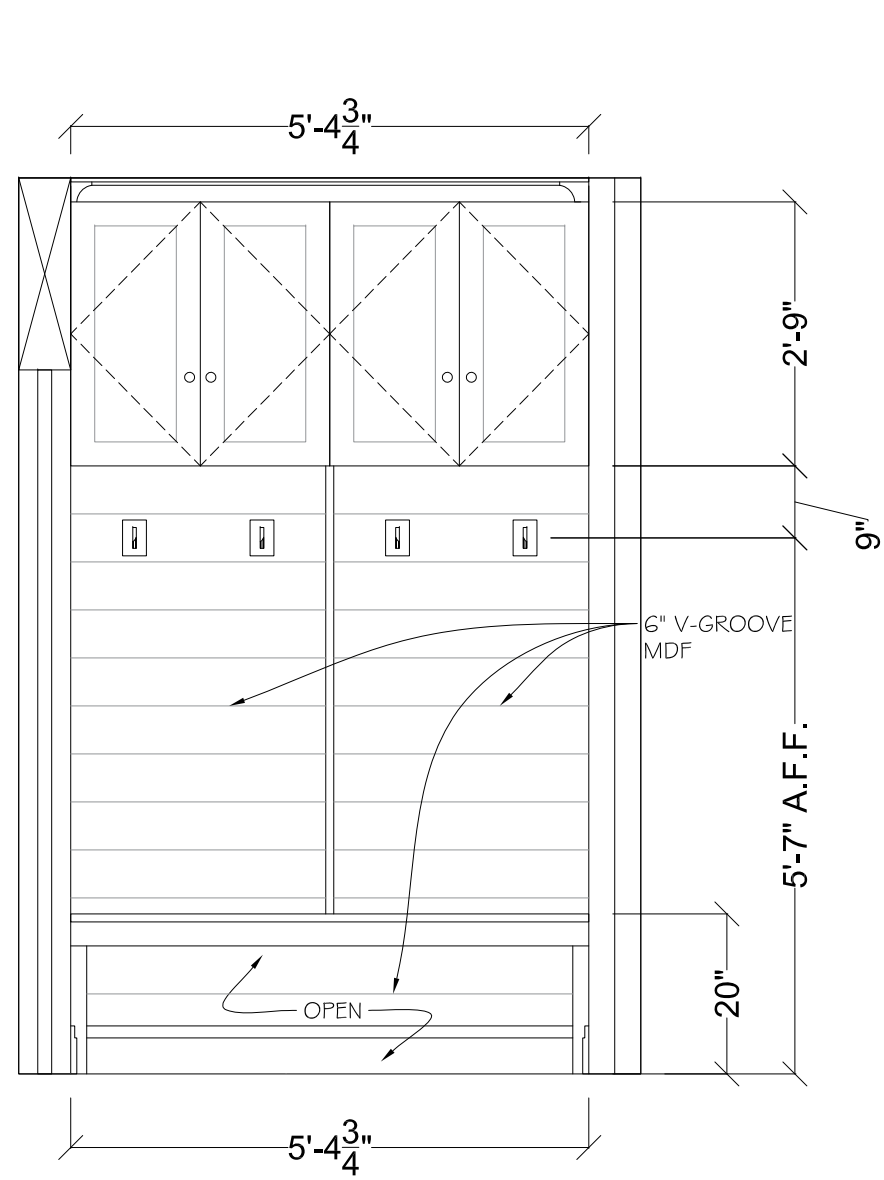
G.L.S.

REVISIONS

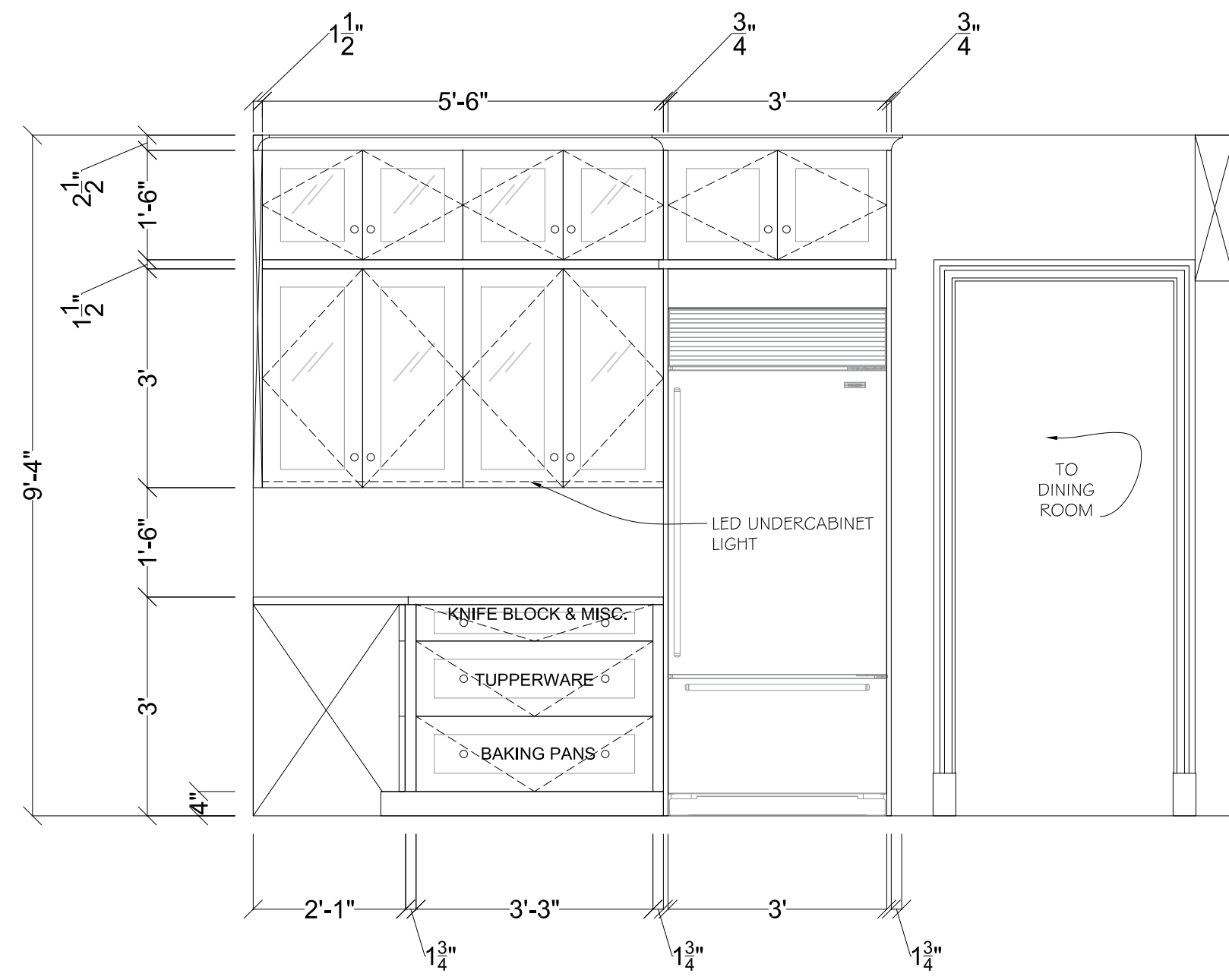
DRAWING NAME  
EXISTING & PROPOSED  
FLOOR PLANS &  
EXTERIOR ELEVATIONS

SHEET #

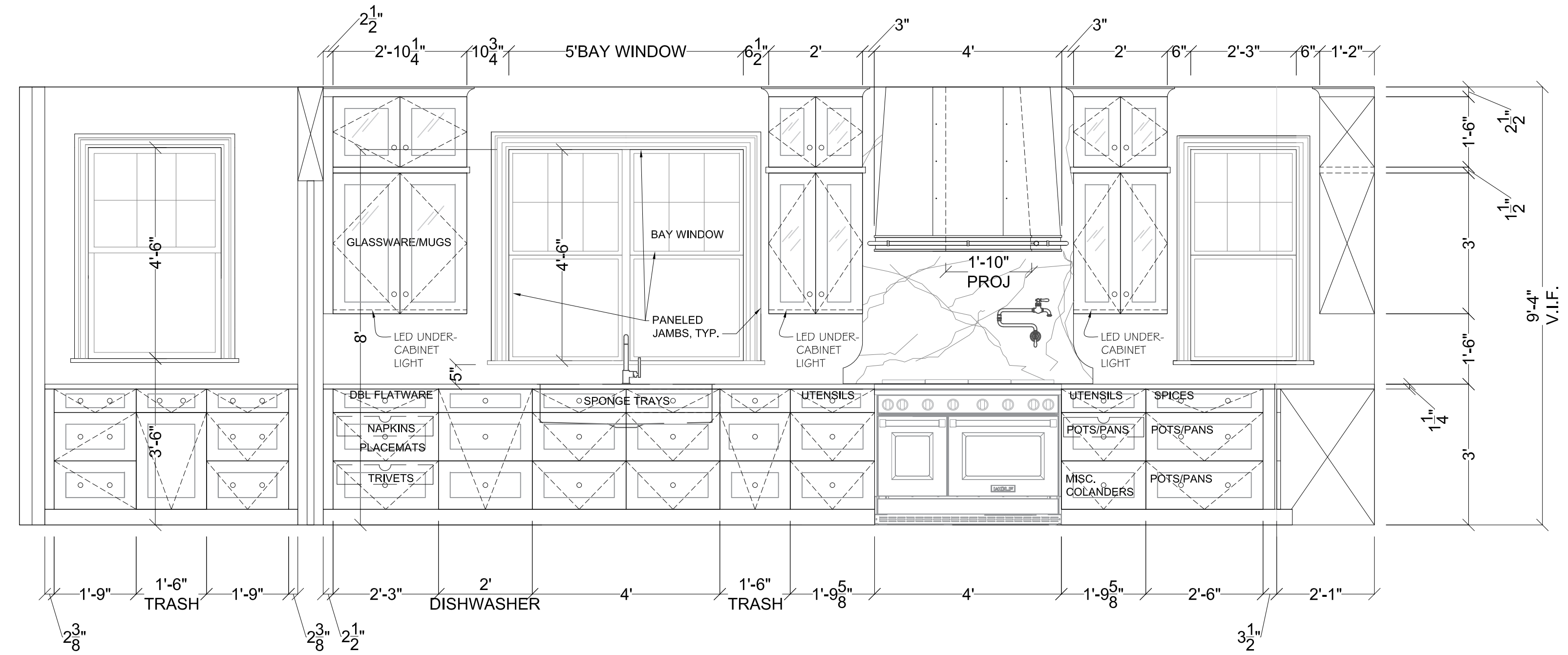
A-2



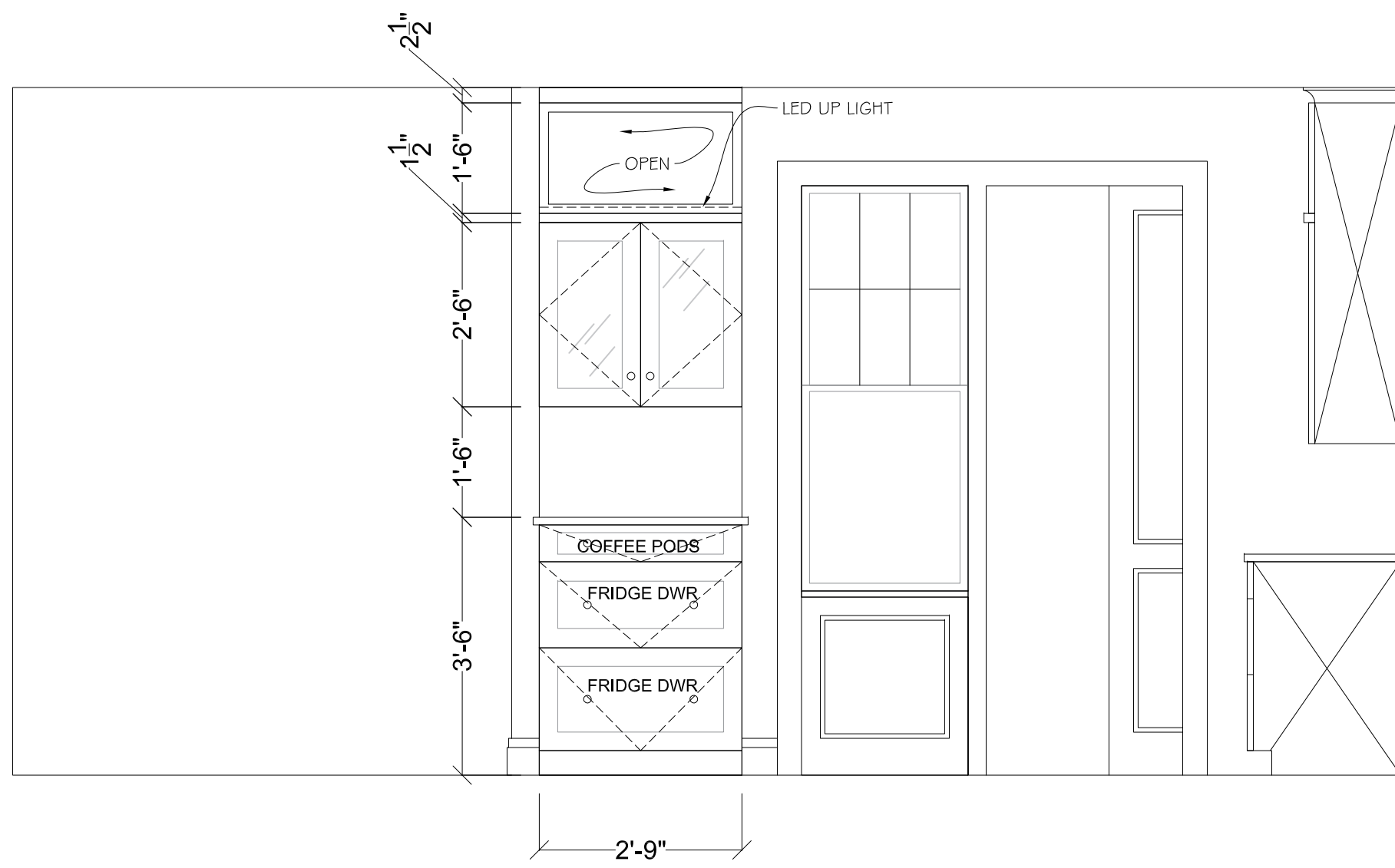
MUDROOM (BENCH) ELEVATION  
SCALE: 1/2" = 1'-0"



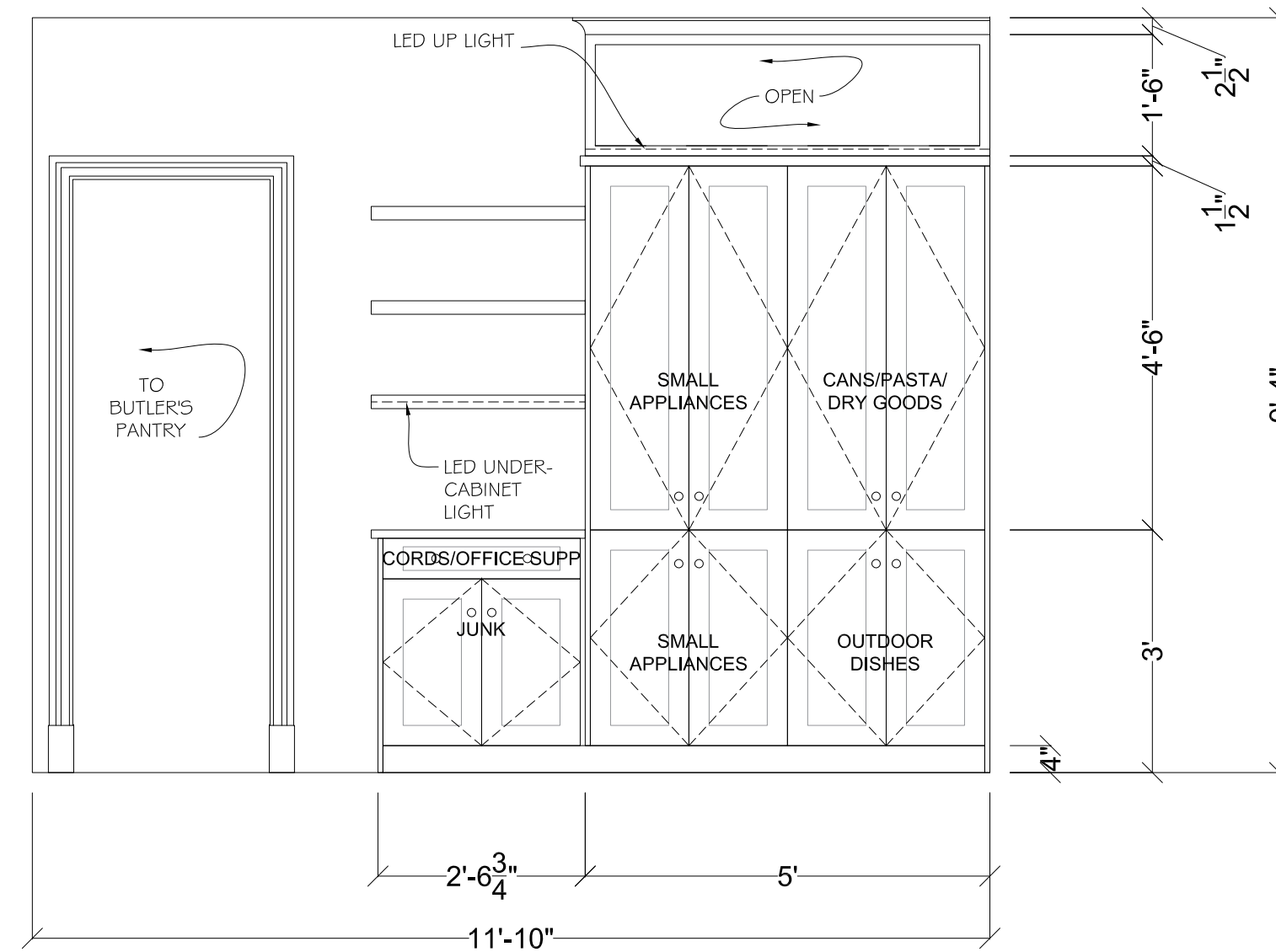
ELEVATION A: KITCHEN FRIDGE WALL  
SCALE: 1/2" = 1'-0"



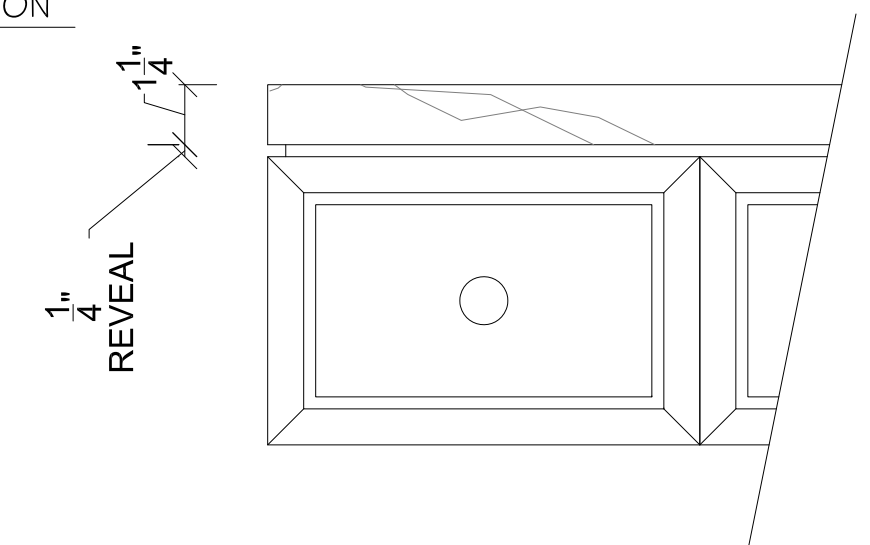
ELEVATION D: KITCHEN SINK WALL & MUDROOM ELEVATION  
SCALE: 1/2" = 1'-0"



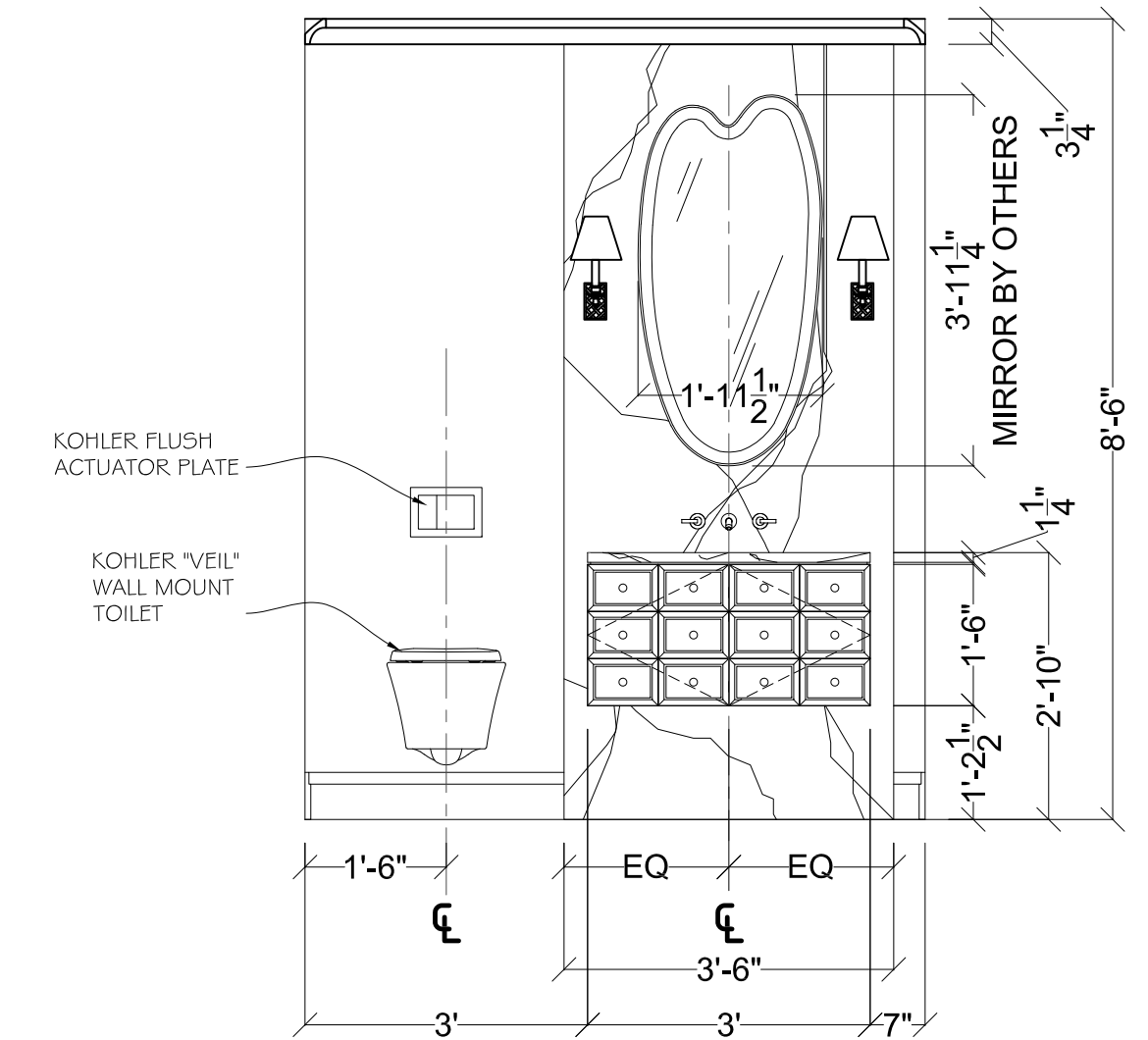
ELEVATION C: KITCHEN COFFEE BAR ELEVATION  
SCALE: 1/2" = 1'-0"



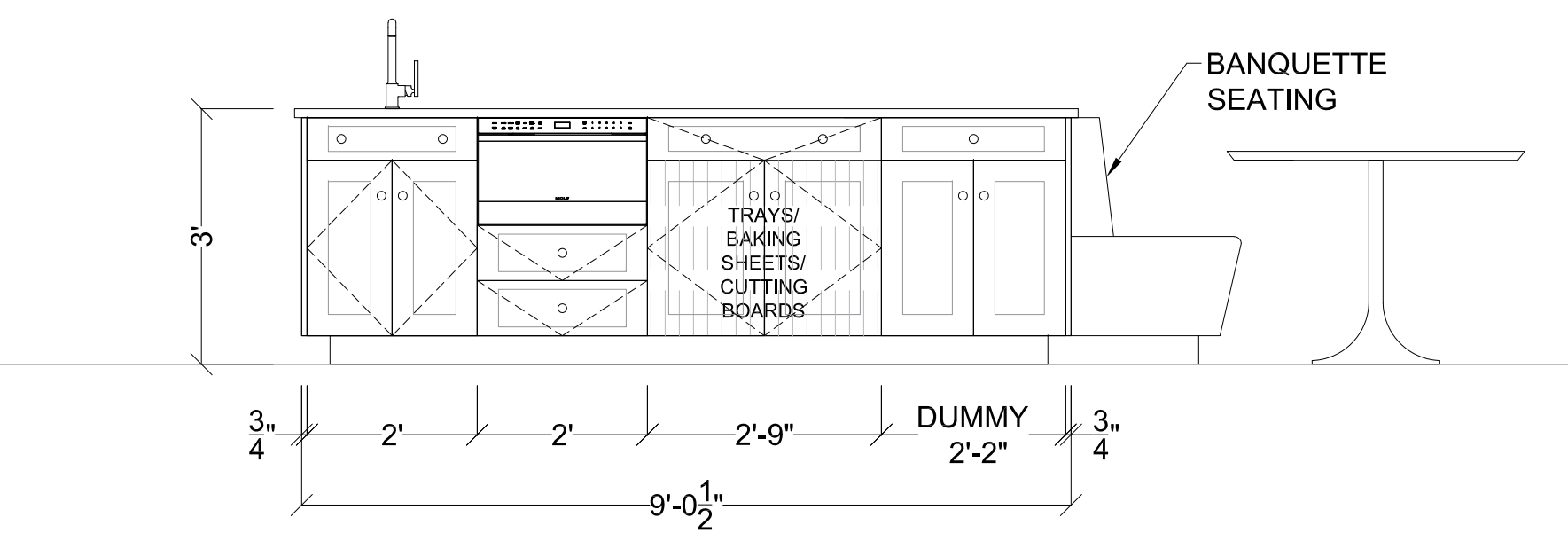
ELEVATION B: KITCHEN TALL WALL ELEVATION  
SCALE: 1/2" = 1'-0"



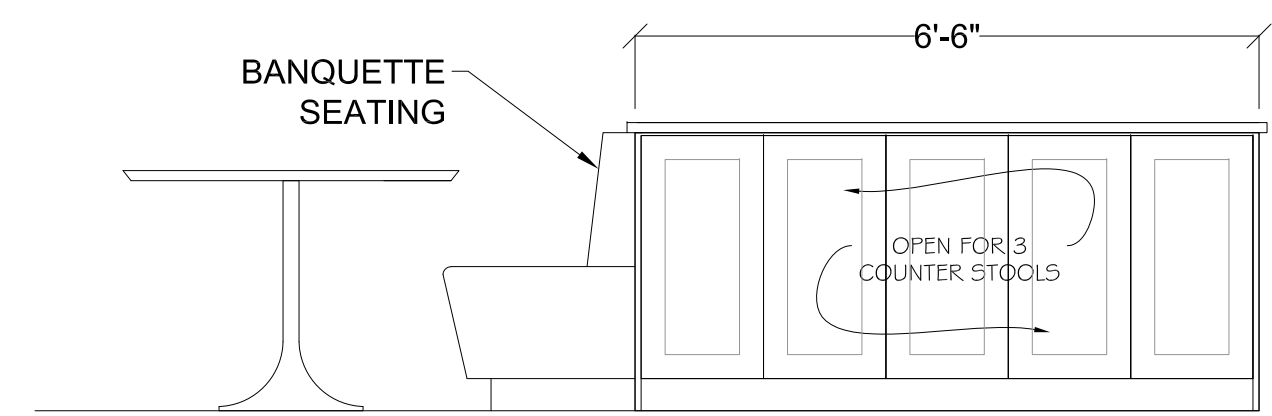
POWDER ROOM VANITY COUNTER DETAIL  
SCALE: 3" = 1'-0"



POWDER ROOM ELEVATION  
SCALE: 1/2" = 1'-0"

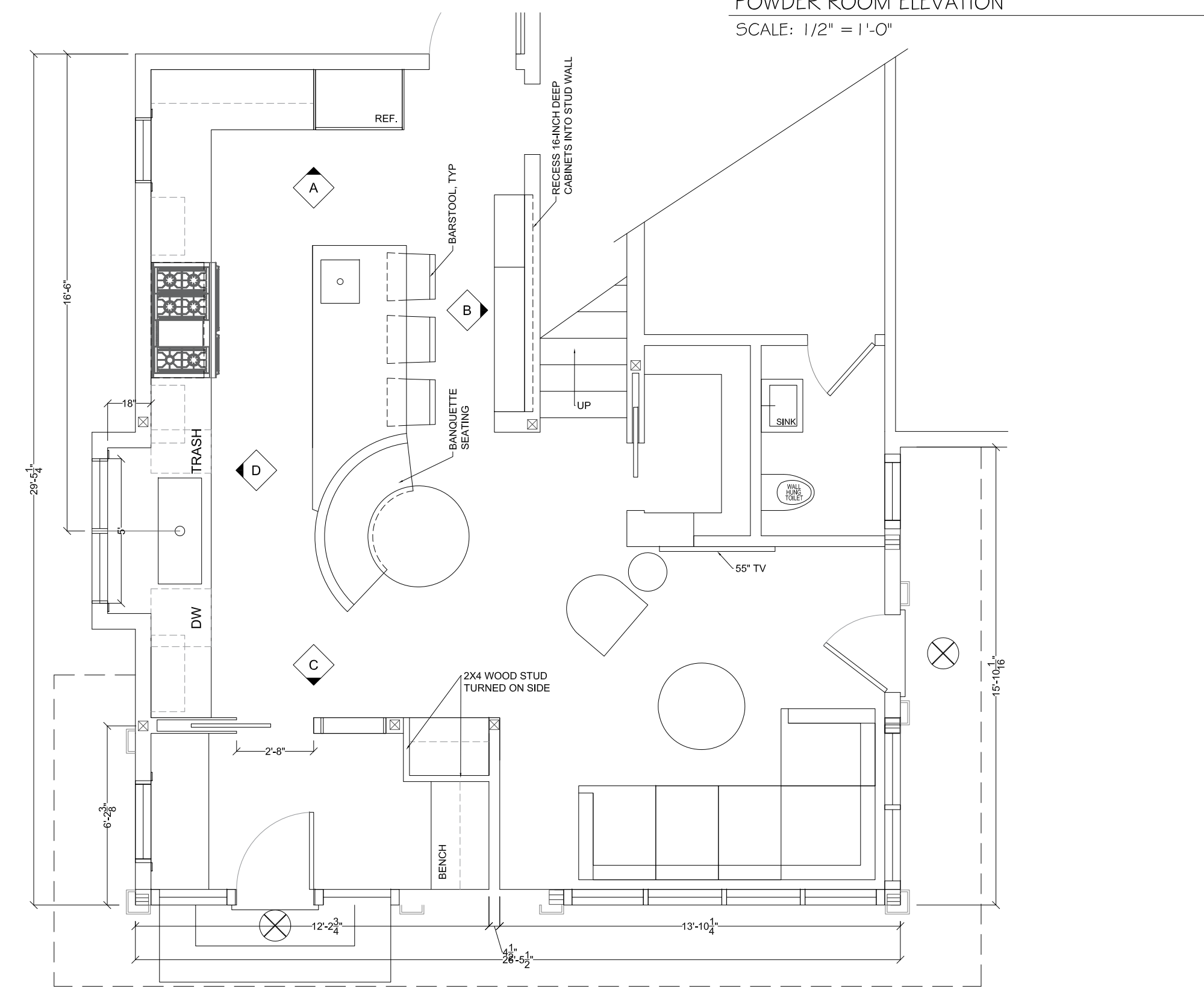


KITCHEN ISLAND ELEVATIONS  
SCALE: 1/2" = 1'-0"



**REVIEWED**  
By Michael Kyne at 3:26 am, Mar 26, 2021

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Montgomery County  
Historic Preservation Commission  
*Robert L. Norton*



KITCHEN & MUDROOM FLOORPLAN  
SCALE: 1/4" = 1'-0"

G.L. SMITH ASSOCIATES  
2908 M ST NW  
WASHINGTON, DC 20007

PROJECT

WINNIK  
RESIDENCE

DATE

2/11/2021

SCALE

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DRAWING BY

D.Y.G.

APPROVED BY

G.L.S.

REVISIONS

DRAWING NAME

NEW KITCHEN & MUDROOM  
FLOOR PLAN & ELEVATIONS

SHEET #

K-1



PRESCRIPTIVE Requirements WORKSHEET (R-Values) [Method 1, Option 1]

Applicant Name Barbara Winnik  
 Date \_\_\_\_\_  
 Applicant Address 5804 Connecticut Avenue, Chevy Chase, MD 20815  
 Phone Number \_\_\_\_\_  
 Building Address 5804 Connecticut Avenue, Chevy Chase, MD 20815 Permit (A/P) # \_\_\_\_\_

Criteria	Required	Provided	Assembly Description
Windows/Doors - Maximum U-Factor	.32	U-Factor 0.29	Double Hung, Low E Glass
Max SHGC - glazed fenestration	0.40	SHGC 0.25	
Skylights - Maximum U-Factor	.55	N/A	
Max SHGC	0.40		
Ceilings	R-49	R-49	Batt between joists/trusses
Walls (wood framing)	R-20 or 13+5	R-20 or 13+5	Batt between wood framing
Mass Walls	**R-8/13	N/A	
Basement Walls	**R-10/13	N/A	
Floors	R-19	R-19	Batt between wood joists
Slab perimeter-R-value and Depth	R-10, 2ft	N/A	
Crawlspace	*R-10/13	R-10/13	As required

Insulation material used in layers, such as framing cavity insulation and insulating sheathing, shall be summed to compute the component R-value.  
 \*The first R-value applies to continuous insulation, the second to framing cavity insulation. \*10/13 means R-10 continuous insulated sheathing on the interior or exterior of the home or R-13 cavity insulation on the interior of the basement wall.  
 \*\*The second R-value applies when more than half the insulation is on the interior of the mass wall.

Thermally Isolated Sunroom, Check box if applicable.

Minimum Ceiling R-Value for Sunroom (R-19)  
 Minimum Wall R-Value (R-13)

New wall(s) separating a sunroom from conditioned space shall meet the building thermal envelope requirements.

I hereby certify that the building design represented in the attached construction documents has been designed to meet or exceed the requirements of: <sup>2</sup>

# 2018 Edition International Energy Conservation Code (IECC)

Gerald Smith  
 Builder/Designer/Contractor  
 G. L. Smith Associates, Inc.  
 Company Name  
 03-24-21  
 Date

<sup>2</sup> Section R103.3.1 "Documents shall be endorsed and stamped "Reviewed for Code Compliance." Section R103.3.3 provides provision for *Phased Approval*. "The code official shall have the authority to issue a permit for the construction of part of an energy conservation system before the construction documents for the entire system have been submitted or approved; provided adequate information and detailed statements have been filed complying with all pertinent requirements of this code. The holders of such permit shall proceed at their own risk without assurance that the permit for the entire energy conservation system will be granted."

ELECTRICAL LEGEND

CODE DESCRIPTION

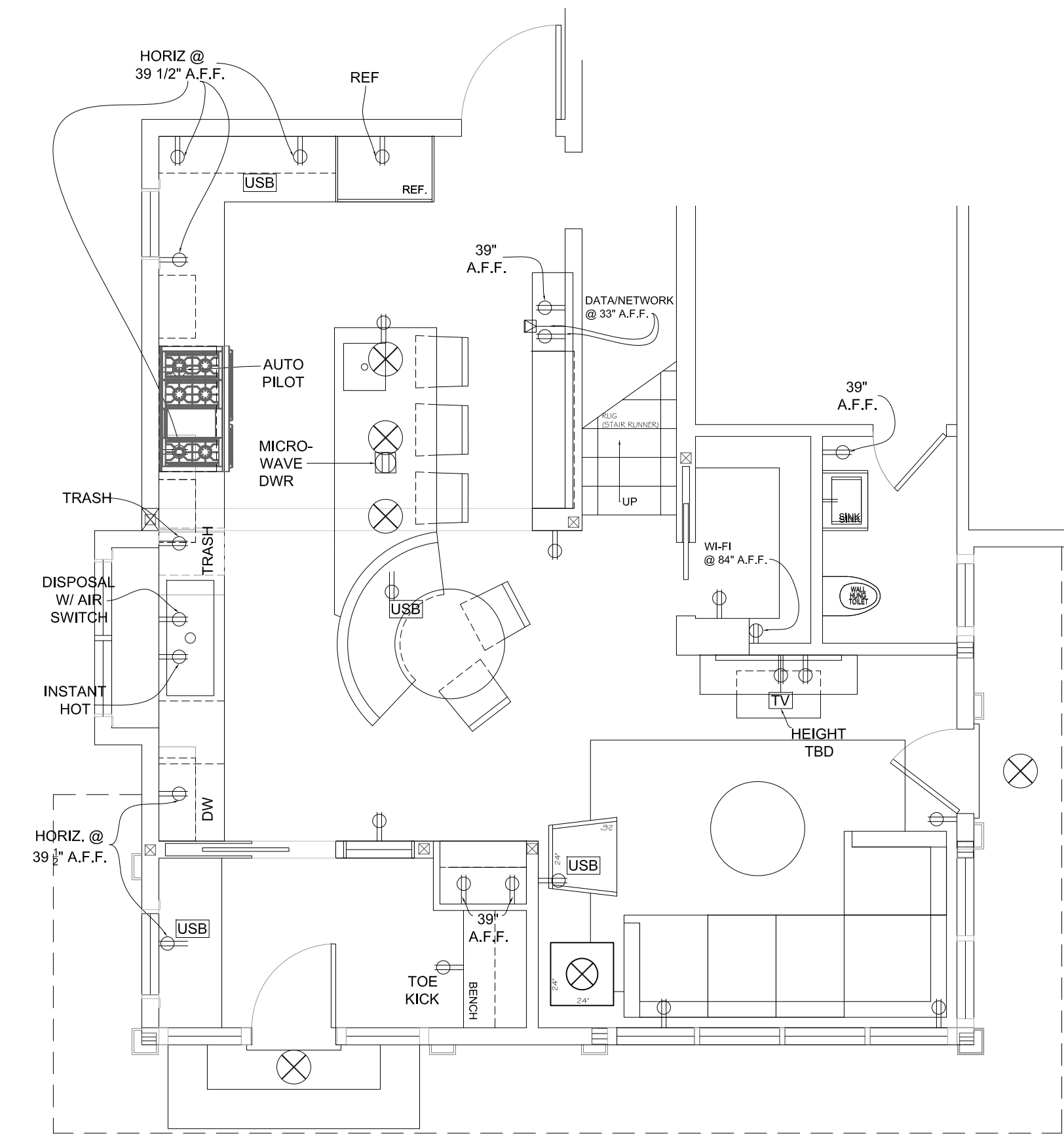
	Duplex Wall Outlet
	4 Gang Wall Outlet
	Duplex Floor Outlet
	Waterproof Outlet (Ext.)
	Wall Sconce
	Wall Junction Box
	Ceiling Junction Box
	Floor Uplight (Ext.)
	DMF # JCT Box - Surface Mount Ceiling
	Data Jack
	Data/Phone Jack
	TV Jack
	Exhaust Fan
	SWITCH
	3-WAY SWITCH
	4-WAY SWITCH

**REVIEWED**  
 By Michael Kyne at 3:26 am, Mar 26, 2021

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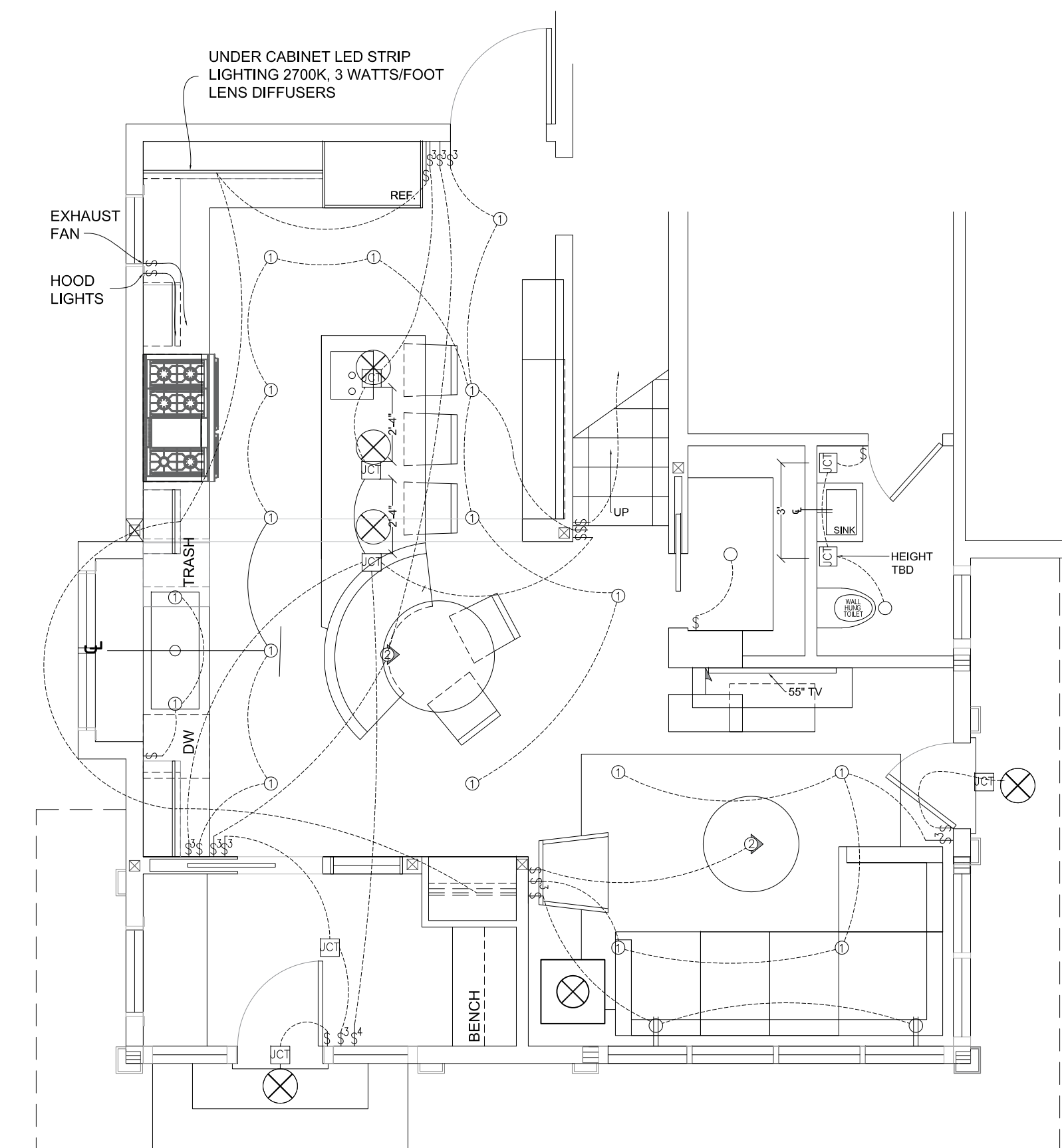
RECESSED LIGHT FIXTURE SPECIFICATIONS

CODE	VENDOR	DESCRIPTION	MODEL NUMBER	COLOR TEMPERATURE	FINISH	LUMENS	NOTES
1	DMF	4" Recessed Housing - Flanged, New Construction	#DRD4X-650/DRD4M06	2700	Silver/White	600	Round Kit, White/Silver
	DMF	4" Adjustable Trim	Included above				
2	DMF	4" Recessed Housing - Flanged, New Construction	#DRD2X-600/DRD2X06	2700	Silver/White	650	Round Kit, White/Silver
	DMF	4" Non-Adjustable Trim	Included above				
3	DMF	4" Recessed Housing - Flanged, Remodeler	#DRD4X-650/DRD4M06	3000	Silver/White	600	Round Kit, White/Silver
	DMF	4" Adjustable Trim	Included above				
4	DMF	4" Recessed Housing - Flanged, Remodeler	#DRD2X-600/DRD2X06	3000	Silver/White	650	Round Kit, White/Silver
	DMF	4" Non-Adjustable Trim	Included above				
5	DMF	4" Round Surface Mount LED Closet Light	#DRD5S4R	3000	White	750	
6	DMF	8" Round Surface Mount LED Closet Light	#DRD5S8R	3000	White	1500	
7	DMF	4" x 18" Linear Surface Mount LED Closet Light	#DRD5S4L - 4"x18" Linear	3000	White	750	



PROPOSED ELECTRICAL LAYOUT

SCALE: 1/4" = 1'-0"



PROPOSED LIGHTING LAYOUT

SCALE: 1/4" = 1'-0"

G.L. SMITH ASSOCIATES  
 2908 M ST NW  
 WASHINGTON, DC 20007

PROJECT

WINNIK  
 RESIDENCE

DATE

2/10/2021

SCALE

AS NOTED

DRAWING BY

K.A.G.

APPROVED BY

G.L.S.

REVISIONS

DRAWING NAME

PROPOSED LIGHTING & ELECTRICAL LAYOUTS & FIXTURE SCHEDULES

SHEET #

E-1

KEY #	ROOM NAME	Qty.	FIXTURE	FITTING	SUPPLIER	MANUFACT.	STYLE #	COLOR / FINISH	SPECIAL NOTES
1	<b>POWDER ROOM</b>								
2		1	Toilet		Ferguson	Kohler	"Veil Wall-hung compact elongated dual-flush toilet with Seat, #K-6299-96	Biscuit	
3		1		In-Wall Tank	Ferguson	Kohler	2x4 In-Wall Tank & Carrier System, #K-4177	N/A	
4		1		Actuator	Ferguson	Kohler	Flush Actuator Plate #K-4177-AF	Vibrant French Gold	
5		1	Sink		Ferguson	Kohler	"Verticyl Rectangle Undermount Sink #K-2882-0, 17.25" x 13"	White	
6		1		Faucet - Wall Mount	Ferguson	Newport Brass	"East Linear" wall-mount faucet #3-991L-01	Forever Brass PVD	
7		1		Rough-in Valve	Ferguson	Newport Brass	#1-532U, 2 Valve Rough with 1/2" NPT Outlets	N/A	
8		1	Tissue Holder		Ferguson	Newport Brass	"East Linear" Tissue Holder #9909-1520-01	Forever Brass PVD	
9		1	Towel Bar		Ferguson	Newport Brass	"East Linear" 18" Towel Bar #990-1230-01	Forever Brass PVD	
10		1	Robe Hook		Ferguson	Newport Brass	"East Linear" Robe Hook, #990-1660-01	Forever Brass PVD	
11									
12	<b>KITCHEN</b>								
13		1	Main Sink		TBD	The Galley	Ideal Workstation #4S, Cut-out dimensions: 44.5" long x 18 wide x 10" deep.	Stainless Steel	
14		1		Main Faucet	Ferguson	Newport Brass	"East Linear" #31500-511, 16-1/8" tall, 9-1/4" projection	English Bronze	
15		1		Instant Hot Dispenser	Ferguson	Newport Brass	"Jeter Hot Water Dispenser" #3200-5613-07	English Bronze	
16		1		Hot Water Tank	Ferguson	Newport Brass	Fairfield #5-036. Temperature Range 140 degrees F to 190 degrees F, 120 volts.	N/A	
17		2		Soap Dispenser	Ferguson	Newport Brass	East Linear Soap Dispenser #125-07	English Bronze	
18		1	Island Sink		Ferguson	Franke	Cube 3CUX11015, basin @ 15" x 16" x 9" deep.	Stainless Steel	
19		1		Island Faucet	Ferguson	Newport Brass	"East Linear" #2008-07, 3-07, 13" tall, 7.5" projection	English Bronze	
20		1		Pot Filler	Ferguson	Newport Brass	"Jeter" #3200-5503-07 Pot Filler, Wall Mount	English Bronze	
21		1		Disposal - main sink	Owner	N/A	N/A	N/A	
22		1		Disposal - island sink	Ferguson	InSinkerator	"Evolution Excel" #78034A, 1 horsepower	stainless steel	
24		2		Disposal Air Wall spigot	Ferguson	InSinkerator	#78696	TBD	
25									

KEY #	ROOM NAME	Qty.	FIXTURE	FITTING	SUPPLIER	MANUFACT.	STYLE #	COLOR / FINISH	SPECIAL NOTES
26	<b>APPLIANCES</b>								
27		1	48" Gas Range		ABW	BlueStar	48" Platinum, #BSP468B, separate griddle/charbroiler included.	# Polished Brass knobs & oven door pulls	
28		1	Dishwasher		Ferguson	Miele	24" Panel Ready, #MG7156SCVI	N/A	Requires wood panel overlay
29		1	Microwaver Drawer		Ferguson	Wolf	MD30TE/S	N/A	
30		1	Refrigerator/ Freezer Drawers		Ferguson	Sub-Zero	30" Designer Refrigerator Drawers, Panel Ready, #ID-30C	N/A	Requires wood panel overlay
31		1	Exhaust Hood		Ferguson	Best by Broan	Broan BPIK45	Stainless steel	Does not include decorative hood trim.
32		1	Light Strip		Ferguson	Best by Broan	BEST BALP54	Stainless steel	
33		1	External Blower		Ferguson	Best by Broan	BEB12, 1200 CFM, 10" dia. Duct.	N/A	
34									
35									
36									
37									
38									

NOTE: Plumbing contractor responsible for review of specifications included on this Plumbing Schedule for suitability to site conditions as well as compliance with local plumbing construction codes for New York City.

**REVIEWED**  
By Michael Kyne at 3:26 am, Mar 26, 2021

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]*

G.L. SMITH ASSOCIATES  
2908 M ST NW  
WASHINGTON, DC 20007

PROJECT

WINNIK  
RESIDENCE

DATE

2/10/2021

SCALE

A5 NOTED

DRAWING BY

D.Y.G.

APPROVED BY

G.L.S.

REVISIONS

DRAWING NAME

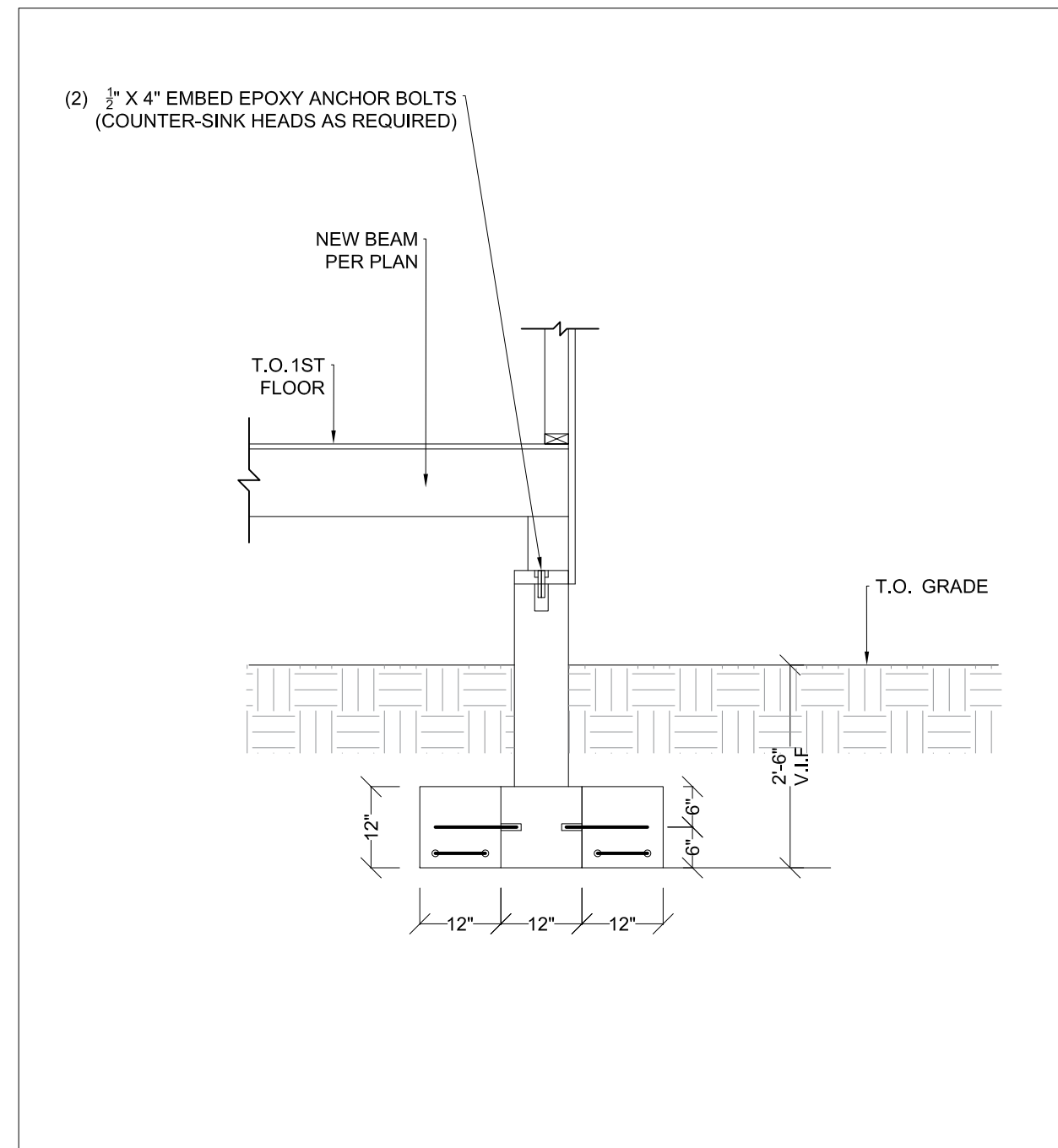
PLUMBING/APPLIANCE  
SCHEDULE

SHEET #

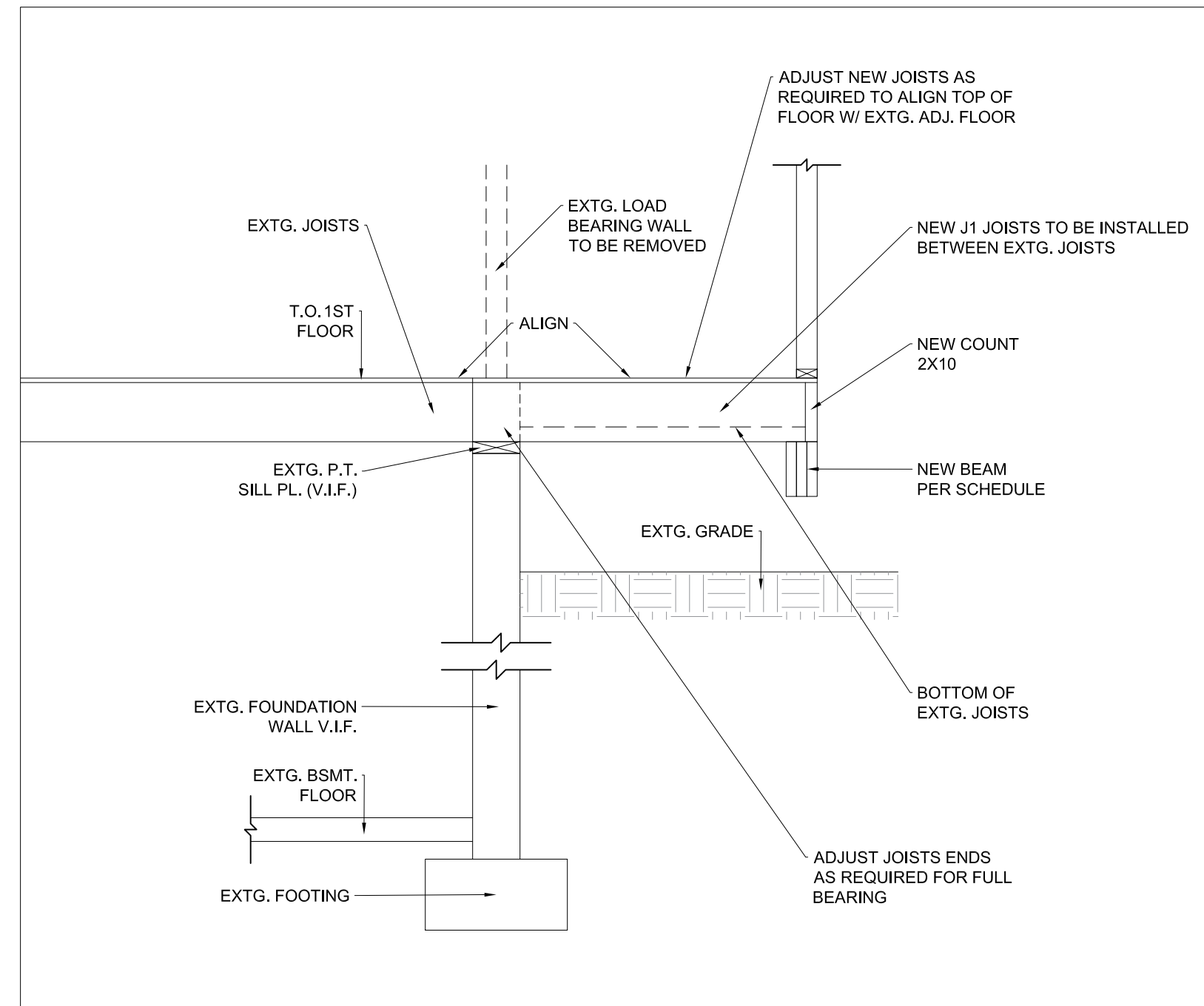
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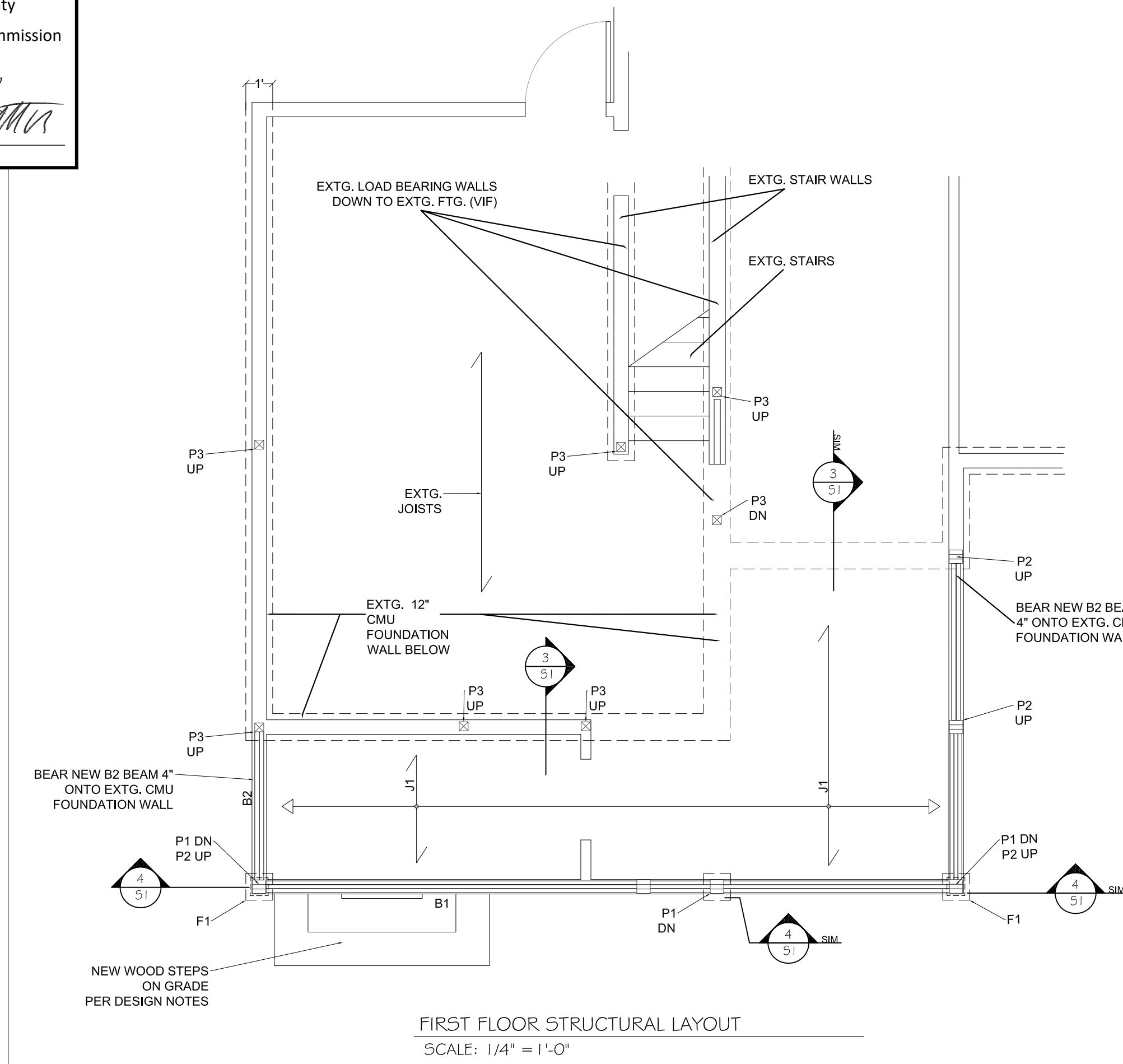
APPROVED  
Montgomery County  
Historic Preservation Commission  
*Robert A. ...*



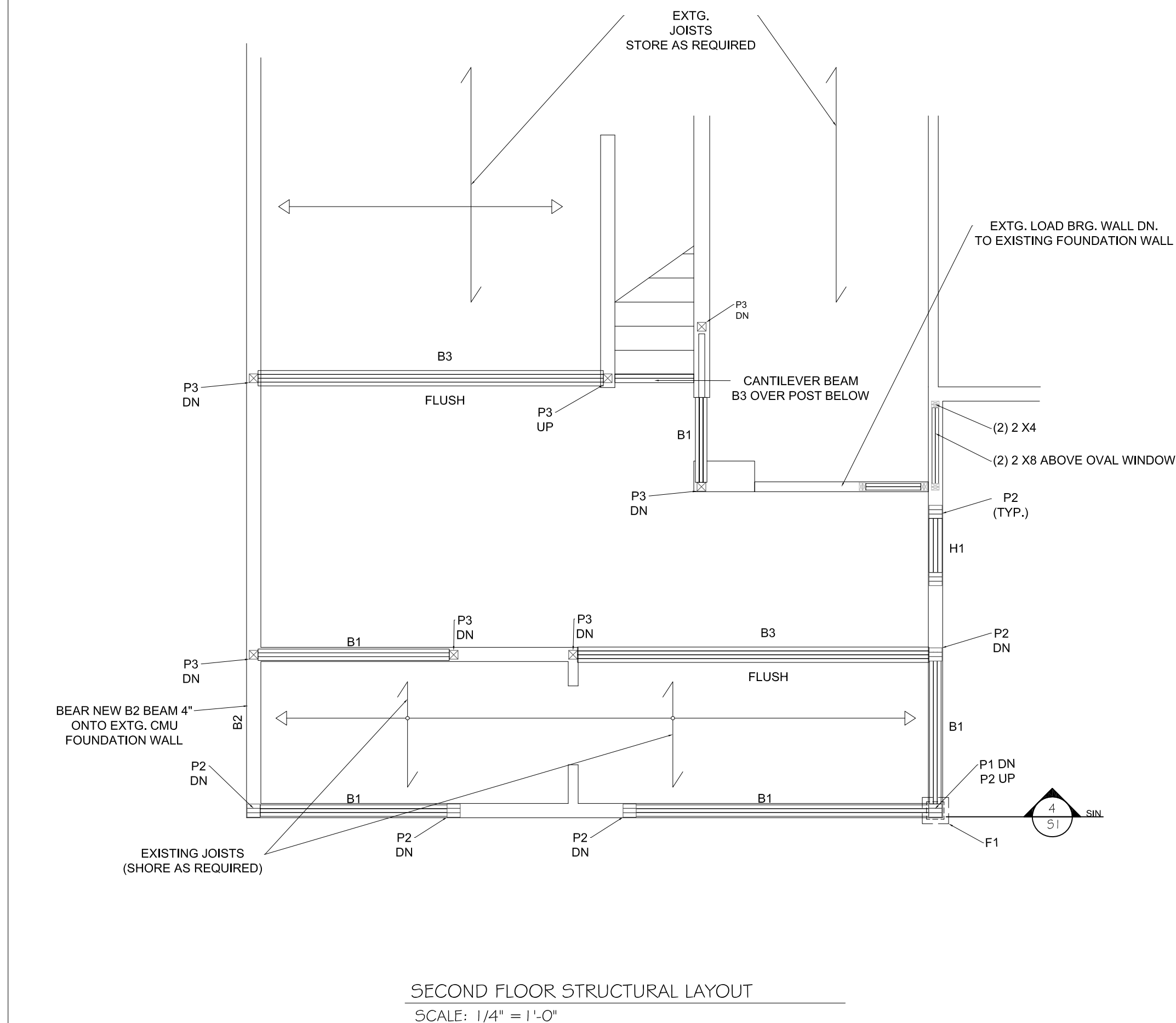
DETAIL AT NEW PARAMETER WALL  
SCALE: 1/2" = 1'-0"



TYPICAL TRANSITION DETAIL  
SCALE: 1/2" = 1'-0"



FIRST FLOOR STRUCTURAL LAYOUT  
SCALE: 1/4" = 1'-0"



SECOND FLOOR STRUCTURAL LAYOUT  
SCALE: 1/4" = 1'-0"

DESIGN NOTES (NEW STRUCTURAL WORK)

I. DESIGN LOADS

FLOOR LIVE LOAD = 40 PSF  
WIND = 100 MPH  
SNOW LOAD = 30 PSF

II. GENERAL

- CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION, AND MAKE ALL NECESSARY ADJUSTMENTS AS REQUIRED.
- THE STRUCTURAL NEW WORK IS DESIGNED IN ACCORDANCE WITH IRC 2018 CODE.
- THESE STRUCTURAL PLANS ARE FOR STRUCTURAL DESIGN WORK ONLY. ANY OTHER WORK SUCH AS ARCHITECTURAL DESIGN ITEMS, WATERPROOFING, ETC... IS BY OTHERS. CONTRACTOR IS SOLELY RESPONSIBLE FOR PROVIDING A WATERPROOF ADDITION, AND COMPLYING WITH ALL COUNTY AND CODE REQUIREMENTS, MAKE ALL NECESSARY ADJUSTMENTS.
- ALL DIMENSIONS, ELEVATIONS, AND CONDITIONS SHALL BE OBTAINED BY THE CONTRACTOR FROM THE SITE CONDITIONS AND THE ARCHITECTURAL DRAWINGS, CONFIRMED DURING CONSTRUCTION, AND MAKE ALL NECESSARY ADJUSTMENTS.
- THESE DRAWINGS ARE A BUILDER SET OF PLANS FOR THE PURPOSE OF OBTAINING A BUILDING PERMIT. THE CONTRACTOR SHALL MAKE ALL NECESSARY CONSTRUCTION ADJUSTMENTS AS REQUIRED IN ORDER TO COMPLETE THE WORK AND COMPLY WITH ALL CODE AND COUNTRY REQUIREMENTS.
- THE DESIGN INDICATED IS STABLE IN ITS CURRENT CONDITION. CONTRACTOR SHALL INSTALL ALL SHORING NECESSARY AS REQUIRED IN ORDER TO MAINTAIN A STRUCTURALLY SAFE STRUCTURE, DURING THE CONSTRUCTION PROCESS. THE SHORING AND BRACING OF ALL EXISTING AND NEW WORK ELEMENTS AND LOADING ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE SOIL SHALL BE INSPECTED AT THE NEW FOOTING WORK LOCATION FOR BEARING CAPACITY OF 1500 PSF. CONTRACTOR SHALL NOTIFY COUNTY OR THE THIRD PART INSPECTOR FOR INSPECTION.
- ALL STAIRS AND GUARDRAILS AND HANDRAILS SHALL BE PREFABRICATED BY CONTRACTOR AND SHALL BE DESIGNED FOR ALL CODE REQUIREMENTS.

III. CONCRETE

- ALL CONCRETE EXPOSED TO WEATHER SHALL BE MINIMUM 3500 PSI WITH 4% TO 6% AIR ENTRAINED. CONCRETE NOT EXPOSED TO WEATHER SHALL BE 3000 PSI MINIMUM.
- ALL CONCRETE WORK SHALL COMPLY WITH THE LATEST ADDITIONS OF ACI 318 301 AND 302.
- ALL MASONRY BLOCK SHALL BE  $F_m = 1500$  PSI AND ALL GROUT FOR REINFORCED CMU CELLS SHALL BE A MINIMUM OF 3000 PSI

IV. LUMBER

- ALL LUMBER SHALL BE HEM FIR #2 OR EQUAL CAPACITIES.
- ALL LUMBER SHALL BE PRESSURE TREATED.
- CONTRACTOR SHALL OPEN UP EXISTING CONDITIONS AND VERIFY THE EXISTING ACTUAL CONDITIONS AND NOTIFY IF MODIFICATIONS ARE REQUIRED.
- THE ENTIRE ROOF FRAMING SHALL BE PRE-ENGINEERED TRUSSES DESIGNED BY THE TRUSS MANUFACTURER. SUBMIT VIRGINIA STATE P.E. SEALED SHOP DRAWINGS AND CALCULATIONS INDICATING ALL TRUSS LAYOUTS, PROFILES, TEMPORARY AND PERMANENT BRIDGING AND BRACING, CONNECTIONS, AND SUPPORT CONDITIONS.

STRUCTURAL SCHEDULE	
MARK	MEMBER SIZE
J1	2 X 10 @ 16" O.C. JOISTS
B1	(3) 1 3/4" X 9 3/4" LVL BEAM
B2	(2) 2 X 10 BEAM
B3	(4) 1 3/4" X 9 3/4" LVL BEAM
P1	EXTG. PIER 8" X 8" SOLID BRICK (V.I.F.)
P2	(3) 2 X 6 POST (1 KING / 2 JACK)
P3	4 X 4 POST
H1	(3) 2 X 8 HEADER BEAM
F1	EXTG. FTG W/ NEW EXTENSIONS PER DETAIL (4/S1)

G.L. SMITH ASSOCIATES  
2908 M ST NW  
WASHINGTON, DC 20007

PROJECT  
**WINNIK RESIDENCE**

DATE

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DRAWING BY

K.A.G.

APPROVED BY

G.L.S.

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DRAWING NAME

STRUCTURAL PLANS,  
NOTES, AND DETAILS

SHEET #

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