



## HISTORIC PRESERVATION COMMISSION

Marc Elrich  
*County Executive*

Robert Sutton  
*Chairman*

Date: July 21, 2021

### MEMORANDUM

TO: Mitra Pedoeem  
Department of Permitting Services

FROM: Dan Bruechert  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit # 942304 - Building Addition, Accessory Structure, and hardscape/  
landscape alteration

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** by the HPC at the March 24, 2021 HPC meeting.

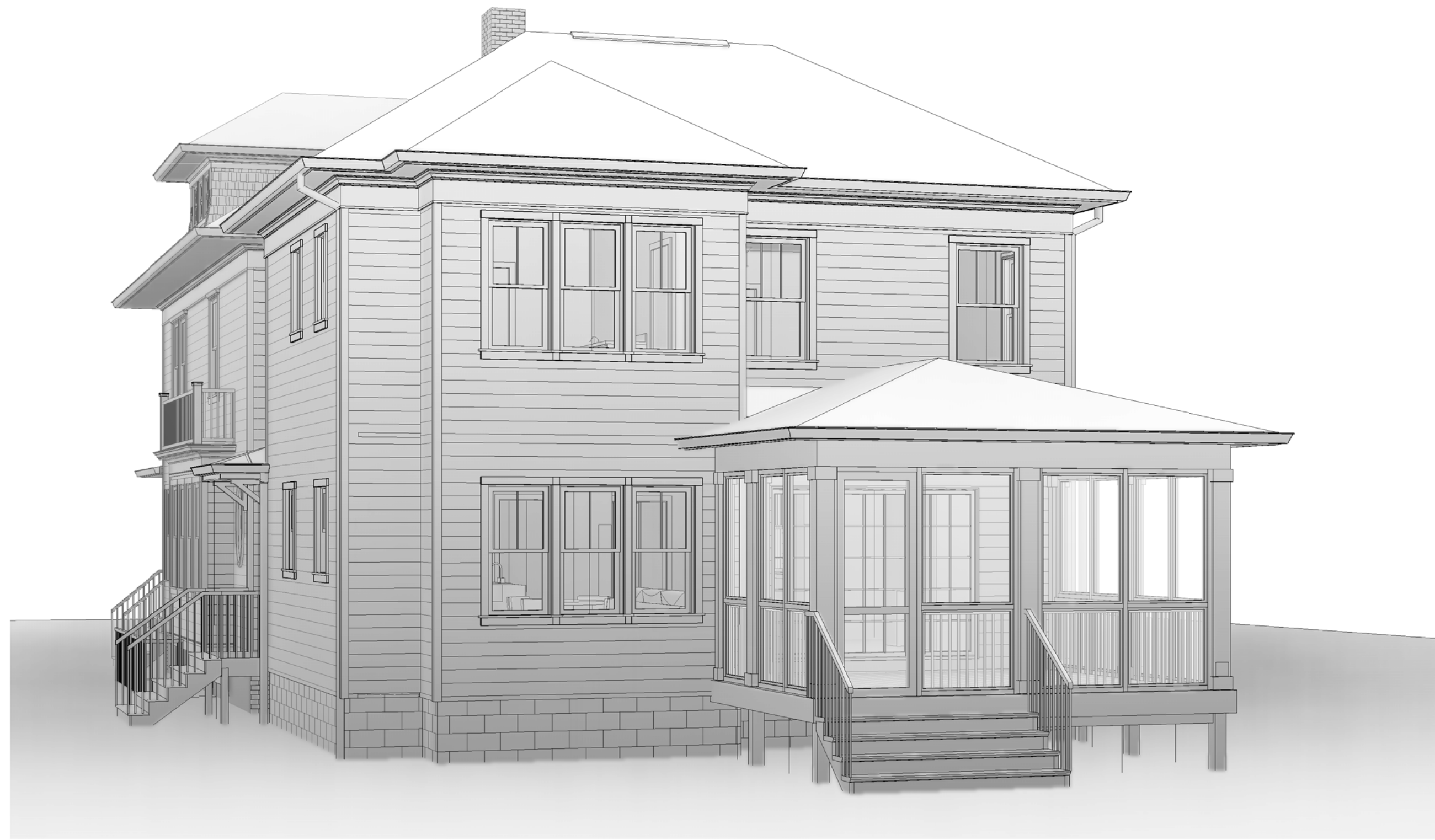
The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Lacy Rice  
Address: 7315 Brokeville Rd., Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Please contact Dan Bruechert at 301.563.3400 or [dan.bruechert@montgomeryplanning.org](mailto:dan.bruechert@montgomeryplanning.org) with any additional comments or questions.





1 Rear - Perspective View

**GENERAL NOTES**

- ALL WORK SHALL COMPLY WITH THE 2018 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE (IRC), THE 2018 EDITION OF THE INTERNATIONAL ENERGY CONSERVATION CODE AND ALL OTHER APPLICABLE CODES, REGULATIONS & ORDINANCES.
- ALL WORK SHALL BE COMPLETED BY EXPERIENCED TRADESMEN.
- ANY INCONSISTENCIES FOUND BETWEEN THE DRAWINGS AND EXISTING CONDITIONS OR BETWEEN THE DRAWINGS THEMSELVES SHALL BE REPORTED TO THE ARCHITECT. ANY WORK DONE WITHOUT NOTIFICATION OF THE ARCHITECT WILL BE AT THE CONTRACTOR'S RISK AND EXPENSE.
- WHEN MULTIPLE SPECIFICATIONS ARE GIVEN, CONTRACTOR SHOULD ASSUME MORE EXPENSIVE OPTION FOR PRICING PURPOSES AND NOTIFY ARCHITECT.
- ANY SUBSTITUTIONS IN MATERIALS, FINISHES OR FIXTURES FROM THE SPECIFICATIONS OF THE DRAWINGS SHALL BE SUBMITTED IN WRITING DURING THE BID PROCESS FOR OWNER AND ARCHITECT APPROVAL.
- DRAWINGS ARE TO BE READ AND NEVER SCALED.
- PROTECT ALL JOBSITE CONDITIONS NOT SPECIFICALLY AFFECTED BY THE WORK.
- THE CONTRACTOR SHALL MAINTAIN THE JOBSITE FREE AND CLEAR OF TRASH & DEBRIS.
- ALL METAL FLASHING INSTALLATIONS PER SMACNA.
- FOLLOW INDUSTRY GUIDELINES & REGULATIONS FOR SELECTION, APPLICATION AND INSTALLATION OF EACH MATERIAL.
- ONE YEAR WARRANTY SHALL BEGIN AT SUBSTANTIAL COMPLETION.
- FIELD VERIFY ALL DIMENSIONS BEFORE BEGINNING THE WORK.
- THE CONTRACTORS SHALL BE REQUIRED TO MAKE PROPER AND COMPLETE WORK WHICH IS SHOWN SINGLE OR PARTIALLY INDICATED TO AVOID NEEDLESS REPETITION FOR THE SAKE OF BREVITY AND FOR REASONS OF CLARITY.
- CONTRACTORS SHALL FURNISH AND INSTALL ALL WORK AND MATERIALS AS MAY BE PROPER AND SUITABLE PREPARATION BASIS, SUPPORT OR FINISH FOR THE WORK WHICH IS SHOWN ON THE DRAWINGS WHETHER OR NOT THE SAME IS SPECIFICALLY MENTIONED.

MONTGOMERY COUNTY DIGITAL STAMP AREA

**DRAWING LIST**

SHEET TITLE	SHEET NUM.
Cover Sheet	A000
Site Plan	CIV100
Existing and Demolition Plans	A100
Existing and Demolition Plans	A101
Existing and Demolition Plans	A102
Existing Elevations	A103
Proposed Plans	A200
Proposed Plans	A201
Proposed Plans	A202
Proposed Plans	A203
Proposed Plans	A204
Elevations	A300
Elevations	A301
Sections	A400
Sections	A401
Sections	A402
Electrical Plans	E100
Electrical Plans	E101
Electrical Plans	E102
Thermal and Energy Plans	EC100
Structural Notes and Details	S100
Structural Plans	S101
Structural Plans	S102
Structural Plans	S103
Structural Plans	S104
Structural Plans	S105
Wind Bracing Plans	S106
Wind Bracing Plans	S107

**APPLICABLE CODES**

IRC 2018 W/ LOCAL AMENDMENTS  
 NFPA-101 / 2018 W/ LOCAL AMENDMENTS  
 NFPA NATIONAL ELECTRICAL CODE / 2014 W/ LOCAL AMENDMENTS  
 INTERNATIONAL MECHANICAL CODE / 2018 W/ LOCAL AMENDMENTS  
 INTERNATIONAL PLUMBING CODE / 2018 W/ LOCAL AMENDMENTS  
 IECC 2018 W/ LOCAL AMENDMENTS

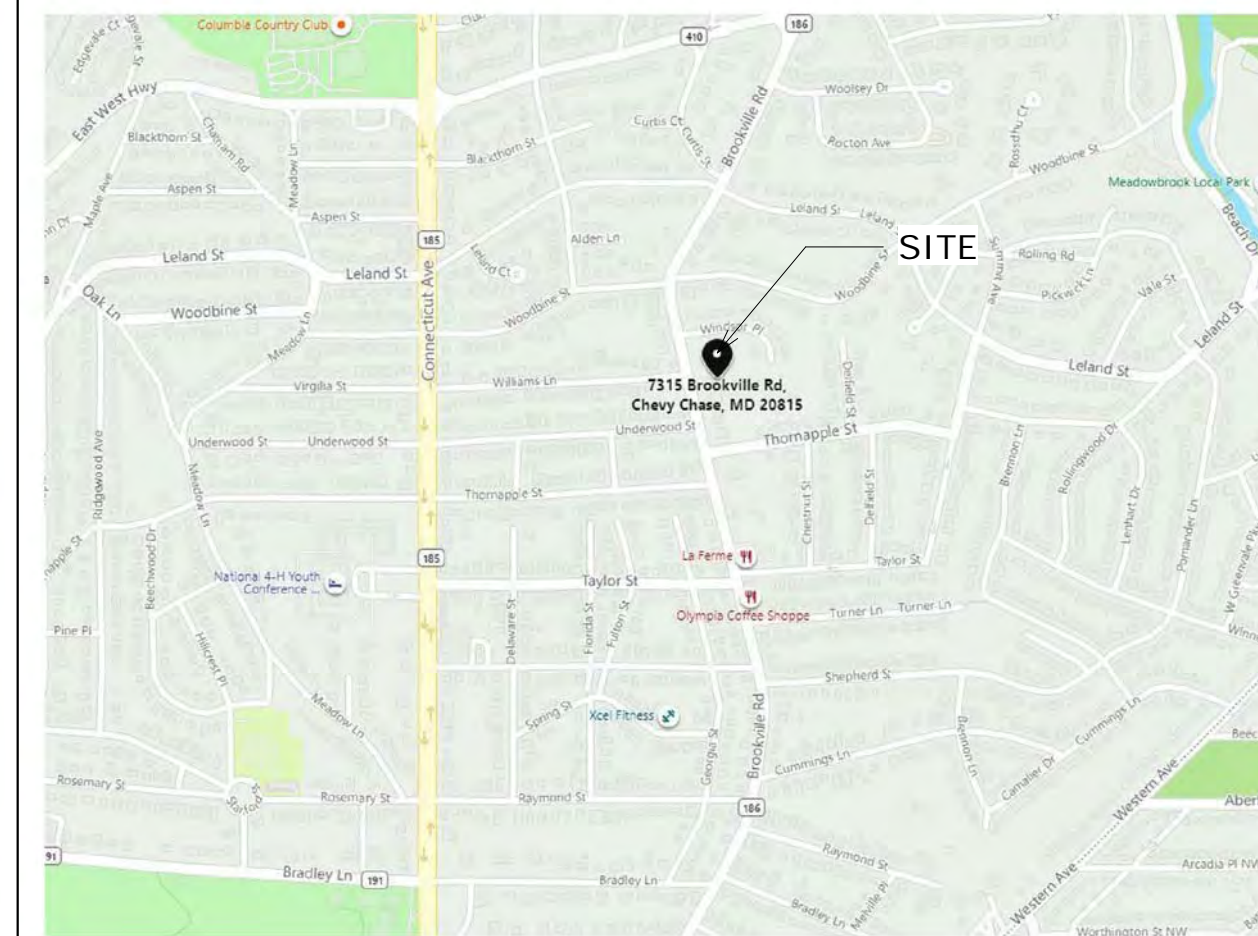
**SQUARE FOOTAGE**

(PER SQUARE FOOTAGE -METHOD FOR CALCULATING: ANSI Z765-2003)

**STATEMENT OF FINISHED SQUARE FOOTAGE:**  
 FINISHED SQUARE FOOTAGE CALCULATIONS FOR THIS HOUSE WERE MADE BASED ON PLAN DIMENSIONS ONLY AND MAY VARY FROM THE FINISHED SQUARE FOOTAGE OF THE HOUSE AS BUILT.

	EXISTING	PROPOSED
BASEMENT (UNFINISHED)	1086.5 S.F.	BASEMENT (FINISHED) (UNFINISHED) 782.5 S.F. 304 S.F.
FIRST FLOOR	1730 S.F.	FIRST FLOOR 1878 S.F.
SECOND FLOOR	1130 S.F.	SECOND FLOOR 1764.5 S.F.
THIRD FLOOR (FINISHED) (UNFINISHED)	317 S.F. 80 S.F.	THIRD FLOOR 491 S.F.
<b>TOTAL FINISHED AREA</b>	<b>3,177 S.F.</b>	<b>TOTAL FINISHED AREA 4,916 S.F.</b>

**LOCATION MAP**



**CONTACT INFORMATION**

**OWNER:**

LACY RICE  
 7315 BROOKVILLE ROAD  
 CHEVY CHASE, MD 20815

**ARCHITECT:**

MCD STUDIO, LLC  
 4948 ST. ELMO AVENUE, SUITE 304  
 BETHESDA, MD 20814  
 CONTACT: MATT MCDONALD  
 PHONE: 301-215-7277

**STRUCTURAL ENGINEER:**

APAC ENGINEERING, INC  
 2110 SEMINARY ROAD  
 SILVER SPRING, MD 20910  
 CONTACT: ROBERT WIXSON  
 PHONE: 301-215-7277

**SCOPE OF WORK**

- BASEMENT:**  
 - ADD NEW BEDROOM AND CLOSET  
 - ADD BATHROOM AND REC SPACE
- MAIN LEVEL:**  
 - REAR ADDITION TO INCLUDE KITCHEN, FAMILY ROOM, MUD ROOM AND PANTRY  
 - CREATE POWDER ROOM AT PREVIOUS KITCHEN LOCATION
- SECOND LEVEL:**  
 - REAR ADDITION TO CREATE PRIMARY SUITE, LAUNDRY ROOM AND ENSUITE BATH FOR EXISTING BEDROOM. PRIMARY SUITE TO INCLUDE BEDROOM, BATHROOM AND WALK-IN CLOSETS.  
 -RENOVATE EXISTING HALL BATH

**BUILDING DATA**

**ZONING:** R-60  
**USE:** RESIDENTIAL - SINGLE FAMILY DETACHED

**SEE SITE PLAN FROM CAS ENGINEERING FOR ADDITIONAL SITE DATA**



**REVIEWED**  
 By Dan.Bruechert at 12:06 pm, Jul 21, 2021

**mcdstudio**  
 4948 St. Elmo Ave., Suite 304  
 Bethesda, MD 20814  
 P. (301) 215-7277  
 www.mcdstudio.com

**Architect's Professional Certification**

"I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, License number 17783, Expiration Date: 7/21/2022



**Renovation and Addition**  
 7315 Brookville Road  
 Chevy Chase, MD 20815

Project Number: 20-043  
 Client Name: Lacy Rice

Project Status:  
 As Built Conditions  
 Preliminary Design  
 Design Development  
 Permit Submission  
 Construction Documents  
 Construction Administration  
 Other

Drawing Issue Date: 5-25-2021

Client Approval:  
 Signature: \_\_\_\_\_  
 Date: \_\_\_\_\_

Revision Schedule		
No.	Description	Date

Drawn by: AP  
 Checked by: MM  
 Scale: 1/4" = 1'-0"  
 Sheet Name:

Cover Sheet

Sheet Number:  
**A000**



# PRELIMINARY PLAN - M-NCP&PC No. 120210070

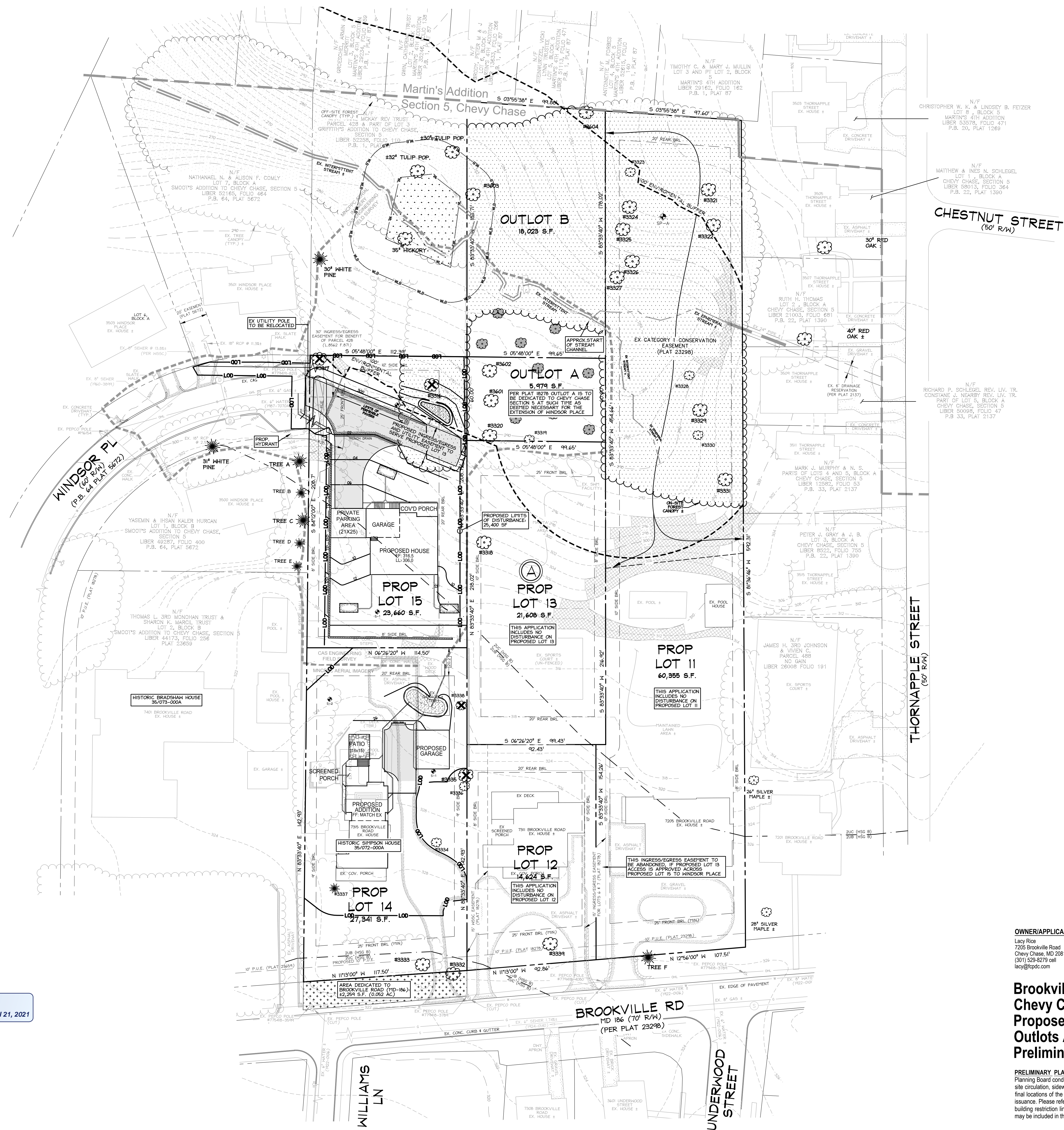
CAS JOB NO.:	19-135
DATE:	05/2019
DATE	REVISION
11/04/20	EST - Initial Preliminary Plan submitted to MNCPPC
12/04/20	EST - Final Preliminary Plan submitted to MNCPPC
06/16/21	EST - Post-DRC Submittal, Revised

**VICINITY MAP**  
ADC MAP 5407, GRID J-3, SCALE: 1" = 200'

**CURT A. Schreffler, PE**  
CURT A. SCHREFFLER, PE  
06/11/2021

**PROFESSIONAL ENGINEER CERTIFICATION:**  
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 19566, expiration date 3/30/22, and that this plan meets MCDPS criteria for building and sediment control permit applications.

- GENERAL NOTES**
- Boundary information and two-foot contour data are based on surveys performed by CAS Engineering, dated May, 2020.
  - Property is located on Tax Map HN562 and WSSC 200' Sheet 209NW03.
  - Property is located on Soils Survey Map Number 27. Soil type(s): 2UC, Glenelg Urban Land, HSG "B". 2UB, Glenelg Urban Land, HSG "B".
  - Water Category - 1, Sewer Category - 1
  - Local utilities include:  
Water / Sewer - Washington Suburban Sanitary Commission  
Electric - PEPSCO  
Telephone - Verizon  
Gas - Washington Gas
  - Outlots A & B, Parcels 429 and 431, Lot 6, Lot 7 and Lot 10 lie within the incorporated municipality of the Village of Chevy Chase, Section 5.
  - This plan was created without the benefit of a title report.



**LEGEND**

**EXISTING FEATURES**

- Ex. Storm Drain with Manhole
- Ex. Sewer Manhole and Invert
- Ex. Water Line with Valve
- Ex. Gas Line with Valve
- Ex. Overhead Utility with Pole
- Ex. Two-And Ten-foot Contours
- Ex. Spot Elevation
- Ex. Wood or Stockade Fence
- Ex. Retaining Wall
- Ex. Subject Property Line
- Ex. Adjacent Property Line
- Ex. Forest Sample
- Ex. Soil Line with Soil Types
- Ex. Environmental Buffer
- Ex. Filed Survey Linetype
- Ex. Steep Slopes (> 25%)
- Ex. Tree Canopy
- Off-Site Forest Canopy
- Ex. Specimen Tree (DBH ≥ 30") w/ Critical Root Zone Boundary
- Ex. Significant Tree (DBH ≥ 24") w/ Critical Root Zone Boundary
- Ex. On-Site Forest
- Ex. Tree To Be Removed

**PROPOSED FEATURES**

- Limit of Disturbance (L.O.D.)
- Prop. Water-House Connection
- Prop. Sewer-House Connection
- Prop. Gas-House Connection
- Prop. Electric-House Connection
- Prop. Contour with Elevation
- Prop. Spot Elevation
- Prop. Retaining Wall
- Prop. 4" PVC Drain Pipe
- Combination Tree Protection Fence and Root Pruning Trench
- Prop. SWM Facility
- Proposed Dedication
- Proposed Mitigation Tree

APPROVED  
Montgomery County  
Historic Preservation Commission

*[Signature]*

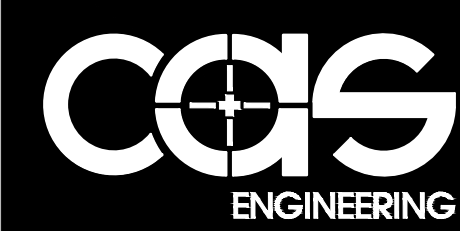
REVIEWED  
By Dan.Bruechert at 12:06 pm, Jul 21, 2021

**OWNER/APPLICANT**  
Lacy Rice  
7205 Brookville Road  
Chevy Chase, MD 20815  
(301) 529-8279 cell  
lacy@casdc.com

**Brookville Road & Windsor Place**  
Chevy Chase, Section 5  
Proposed Lots 11-15, Block A  
Outlots A and B  
Preliminary Plan

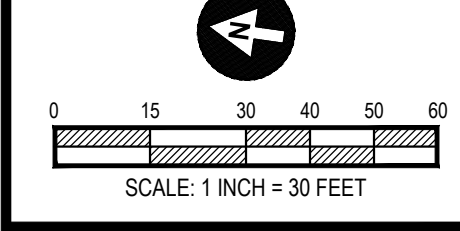
**PRELIMINARY PLAN NOTE:** Unless explicitly noted on this Preliminary Plan or in the Planning Board conditions of approval, the building footprints, building heights, on-site parking, site circulation, sidewalks, and other proposed features are for illustrative purposes only. The final locations of the proposed improvements will be determined at the time of building permit issuance. Please refer to the Zoning Data Table for development standards such as setbacks, building restriction lines, building height, and lot coverage. Other site development limitations may be included in the conditions of the planning board or planning staff approvals.

TAX MAP: HN562  
WSSC: 209NW03



**CAS ENGINEERING-MD**  
10 South Davis Street  
Frederick, Maryland 21701  
301-607-6031 Phone  
info@casengineering.com  
www.casengineering.com

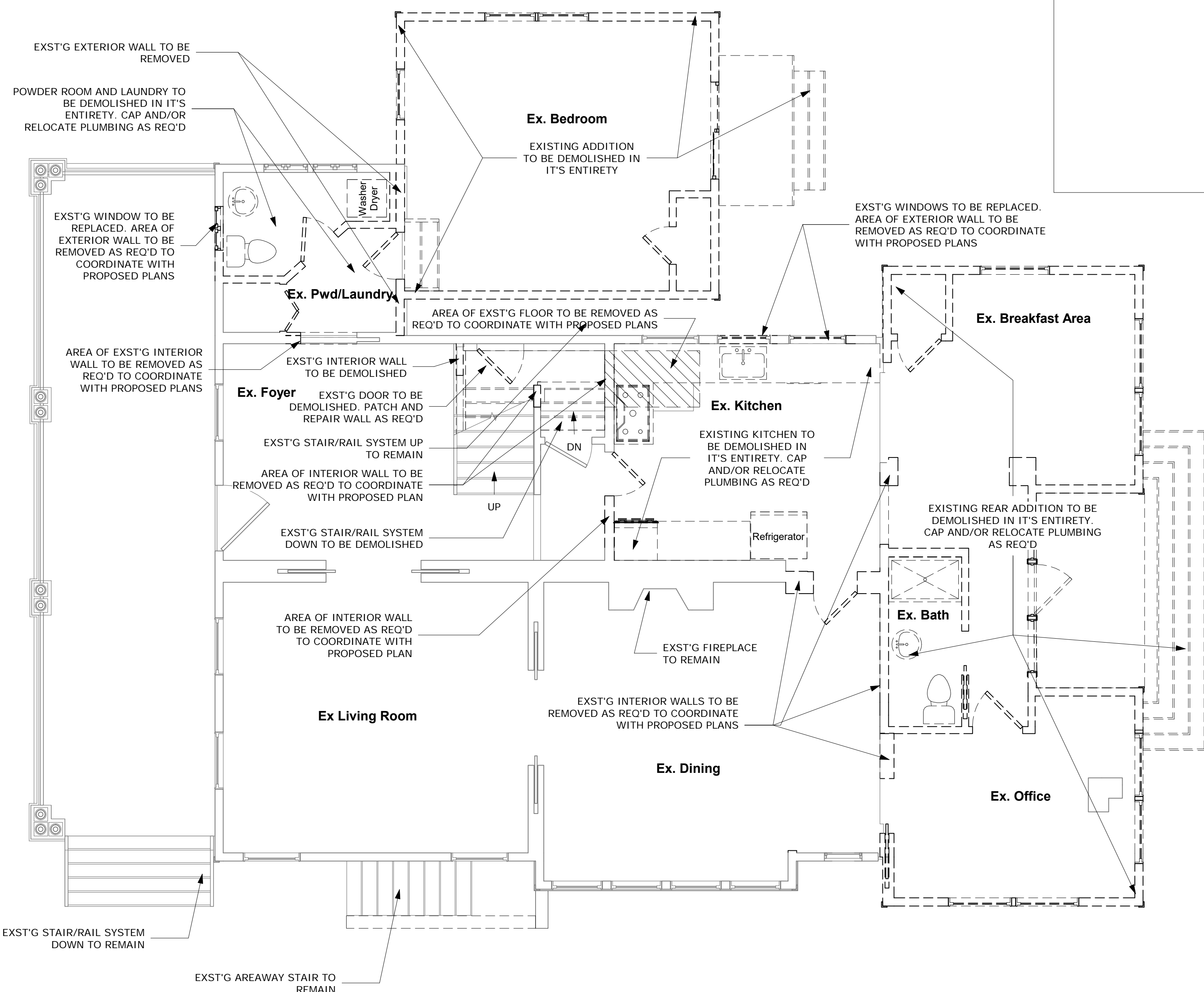
**CAS ENGINEERING-DC, LLC**  
1001 Connecticut Avenue, NW, Suite 401  
Washington, DC 20036  
202-393-7200 Phone  
info@cas-dc.com  
www.cas-dc.com



SHEET TITLE:  
Preliminary Plan

PP-6

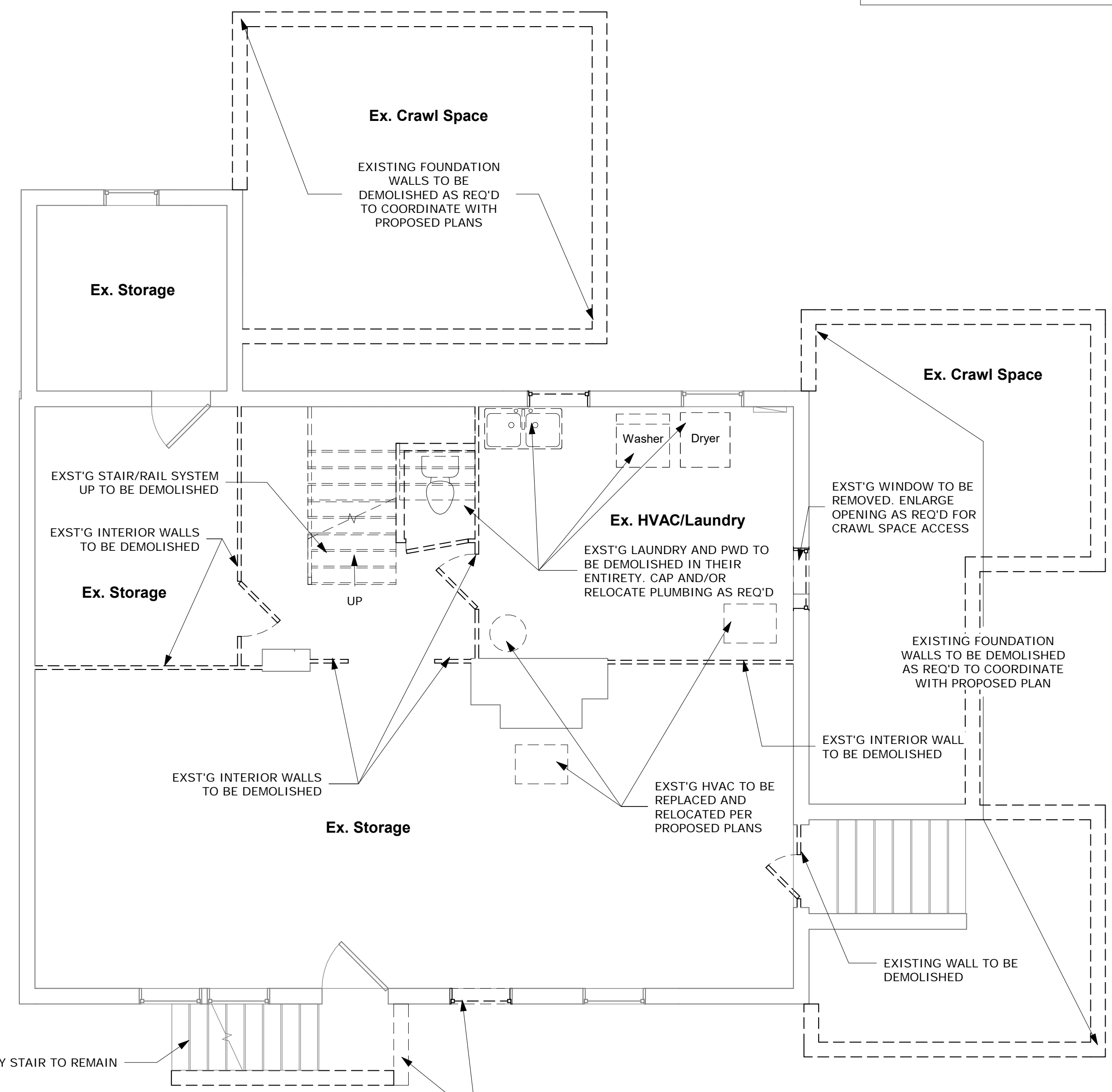
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2 First Floor Existing and Demolition Plan  
1/4" = 1'-0"

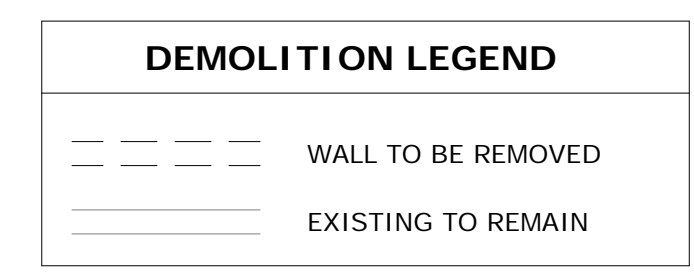
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Montgomery County  
Historic Preservation Commission

REVIEWED  
By Dan.Bruechert at 12:07 pm, Jul 21, 2021



1 Basement Existing and Demolition Plan  
1/4" = 1'-0"

- GENERAL DEMOLITION NOTES**
- MCD STUDIO LLC DOES NOT WARRANT THE ABSOLUTE ACCURACY OF THE DELINEATION OF EXISTING CONDITIONS AS SHOWN ON THESE DRAWINGS. ACTUAL FIELD CONDITIONS MAY VARY. EXISTING CONDITIONS SHALL BE FIELD VERIFIED PRIOR TO COMMENCEMENT OF THE WORK AND ANY DISCREPANCIES, HIDDEN AND UNFORESEEN CONDITIONS DISCOVERED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
  - ALL DASHED WALLS, FIXTURES, WALLS, ETC. ARE TO BE REMOVED.
  - ALL DEMOLITION IS TO BE DONE IN COMPLIANCE WITH APPLICABLE CODES AND LOCAL ORDINANCES.
  - ERECT TEMPORARY WALLS AND DUST BARRIERS AS NECESSARY TO PREVENT CIRCULATION OF DIRT AND DUST INTO PORTIONS OF THE HOUSE THAT ARE NOT PART OF THE WORK.
  - PROTECT EXISTING HVAC AND ALL OTHER HOME SYSTEMS DURING DEMOLITION. COVER AND PROTECT ALL VENTS, DUCTS, ETC. FROM DAMAGE.
  - PROTECT ALL EXISTING FINISHES TO REMAIN. ANY DAMAGE CAUSED BY CONTRACTOR TO BE REPAIRED TO MATCH PRE-CONSTRUCTION CONDITIONS BY SUBSTANTIAL COMPLETION OF PROJECT.
  - PROVIDE AND MAINTAIN SHORING, BRACING, OR STRUCTURAL SUPPORTS TO PRESERVE BUILDING STABILITY AND PREVENT ANY STRUCTURAL FAILURE AT ALL TIMES.
  - PROTECT BUILT STRUCTURE AND INTERIOR FROM WEATHER AND MAINTAIN IN WATERTIGHT CONDITION AT ALL TIMES.
  - BUILDER TO COORDINATE ANY ITEMS TO BE SAVED OR DONATED WITH HOMEOWNER.
  - CAP OR RELOCATE EXISTING UTILITIES IF REQUIRED. THIS MAY BE PERMANENT OR TEMPORARY PER SCOPE OF WORK.



**mcdstudio**  
4948 St. Elmo Ave., Suite 304  
Bethesda, MD 20814  
P: (301) 215-7277  
www.mcdstudio.com

**Architect's Professional Certification**

"I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland. License number 17783. Expiration Date: 7/21/2022



**Renovation and Addition**  
7315 Brookville Road  
Chevy Chase, MD 20815

Project Number: 20-043  
Client Name: Lacy Rice

- Project Status:
- As Built Conditions
  - Preliminary Design
  - Design Development
  - Permit Submission
  - Construction Documents
  - Construction Administration
  - Bid Set

Drawing Issue Date: 5-25-2021

Client Approval:  
Signature: \_\_\_\_\_  
Date: \_\_\_\_\_

**Revision Schedule**

No.	Description	Date

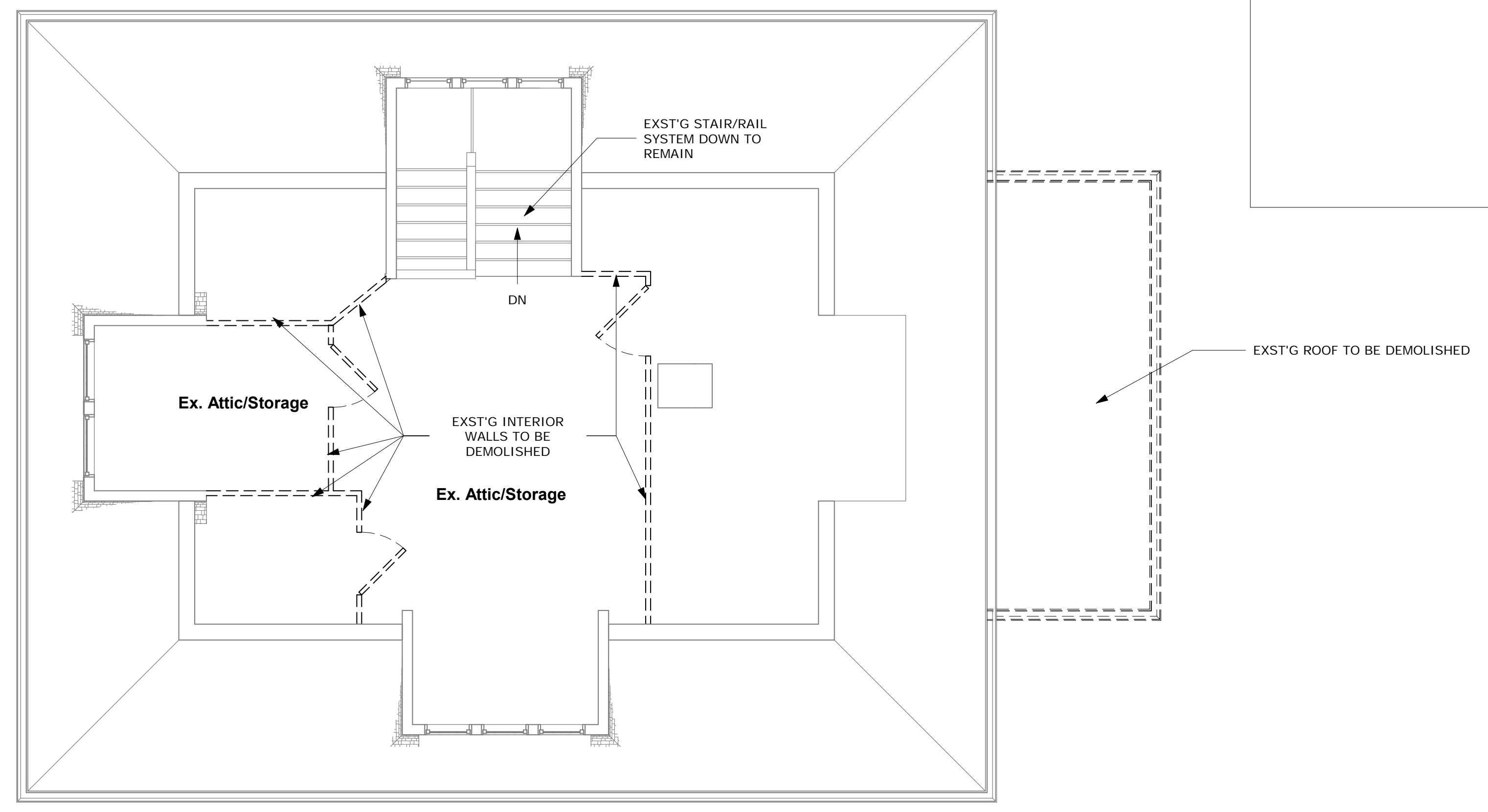
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Checked by: MM  
Scale: 1/4" = 1'-0"  
Sheet Name:

**Existing and Demolition Plans**

Sheet Number:  
**A100**

MCD STUDIO LLC DOES NOT WARRANT THE ABSOLUTE ACCURACY OF THE DELINEATION OF EXISTING CONDITIONS AS SHOWN ON THESE DRAWINGS. ACTUAL FIELD CONDITIONS MAY VARY. EXISTING CONDITIONS SHALL BE FIELD VERIFIED PRIOR TO COMMENCEMENT OF THE WORK AND ANY DISCREPANCIES, HIDDEN AND UNFORESEEN CONDITIONS DISCOVERED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

MONTGOMERY COUNTY DIGITAL STAMP AREA

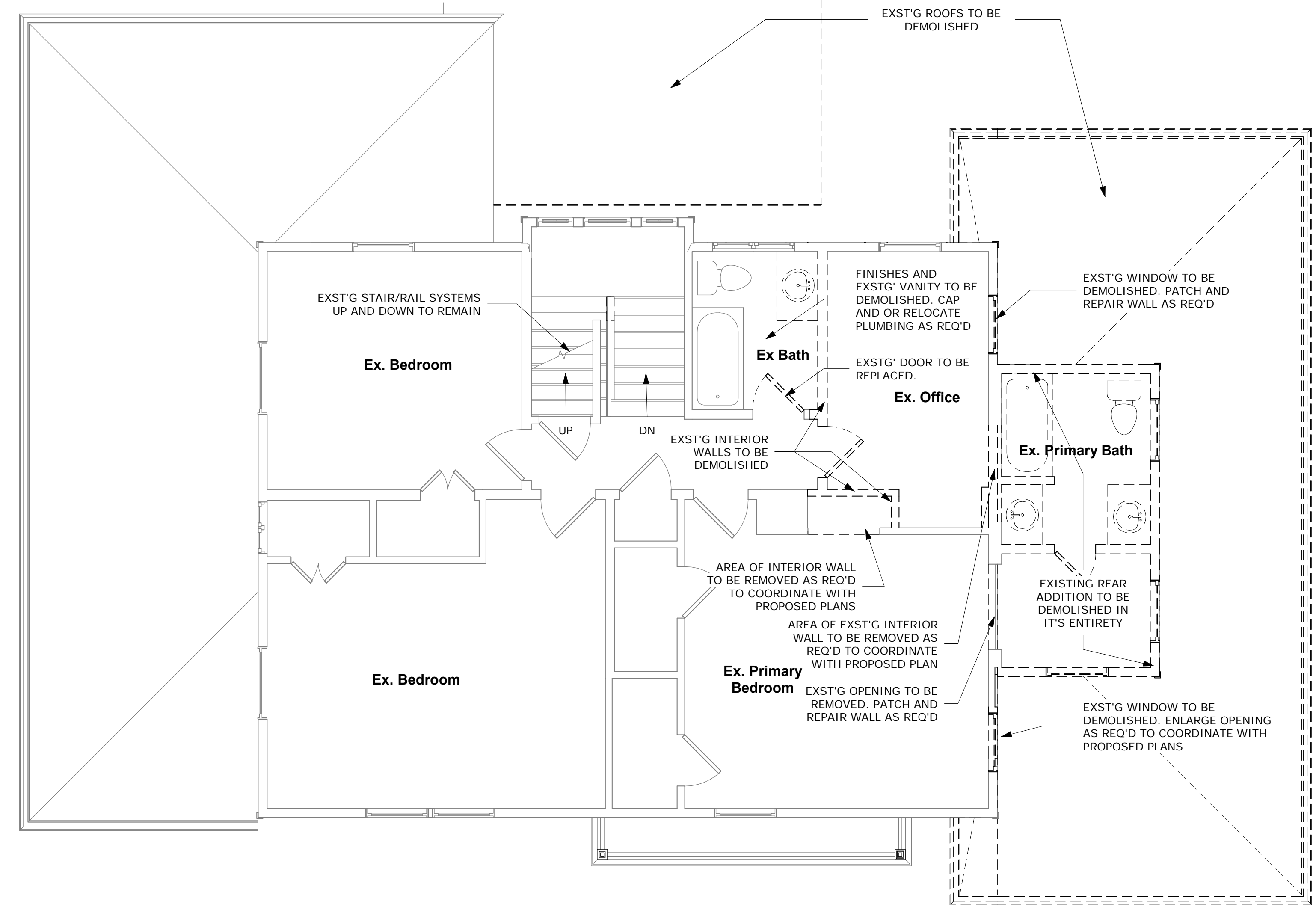


② Third Floor Existing and Demolition Plan  
1/4" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission

*Robert A. Norton*

**REVIEWED**  
By Dan.Bruechert at 12:07 pm, Jul 21, 2021



① Second Floor Existing and Demolition Plan  
1/4" = 1'-0"

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  - Other

Drawing Issue Date: 5-25-2021

Client Approval:  
Signature: \_\_\_\_\_  
Date: \_\_\_\_\_

Revision Schedule		
No.	Description	Date

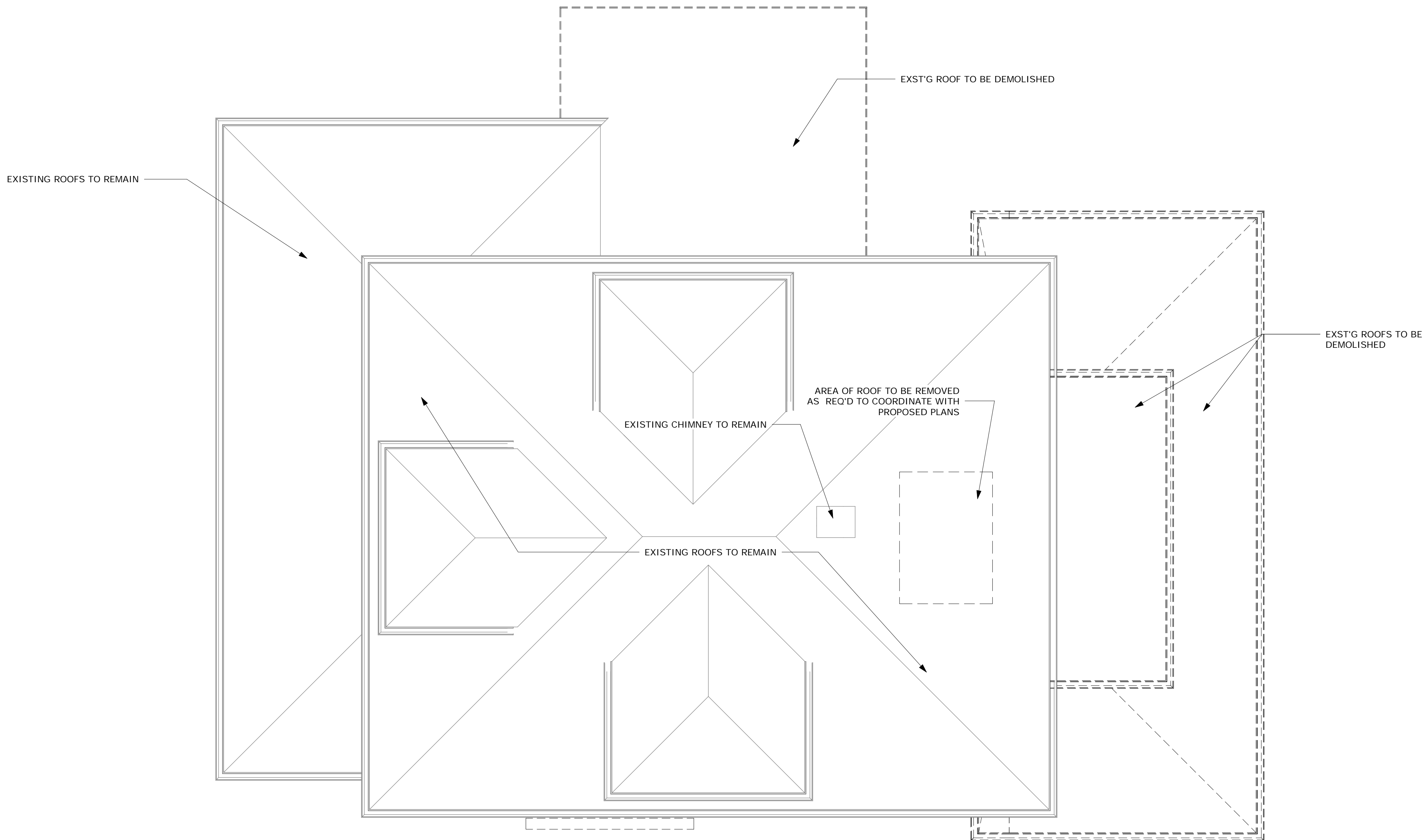
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Checked by: MM  
Scale: 1/4" = 1'-0"  
Sheet Name:

**Existing and Demolition Plans**

Sheet Number:  
**A101**

MCD STUDIO LLC DOES NOT WARRANT THE ABSOLUTE ACCURACY OF THE DELINEATION OF EXISTING CONDITIONS AS SHOWN ON THESE DRAWINGS. ACTUAL FIELD CONDITIONS MAY VARY. EXISTING CONDITIONS SHALL BE FIELD VERIFIED PRIOR TO COMMENCEMENT OF THE WORK AND ANY DISCREPANCIES, HIDDEN AND UNFORESEEN CONDITIONS DISCOVERED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

MONTGOMERY COUNTY DIGITAL STAMP AREA



APPROVED  
Montgomery County  
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**REVIEWED**  
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1 Roof Existing and Demolition Plan  
1/4" = 1'-0"

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Drawing Issue Date: 5-25-2021

Client Approval:  
Signature: \_\_\_\_\_  
Date: \_\_\_\_\_

Revision Schedule		
No.	Description	Date

Drawn by: AP  
Checked by: MM  
Scale: 1/4" = 1'-0"  
Sheet Name:

**Existing and Demolition Plans**

Sheet Number:  
**A102**



4 Existing Right Elevation  
1/4" = 1'-0"



3 Existing Rear Elevation  
1/4" = 1'-0"



2 Existing Left Elevation  
1/4" = 1'-0"



1 Existing Front Elevation  
1/4" = 1'-0"

MONTGOMERY COUNTY DIGITAL STAMP AREA

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Montgomery County  
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*[Signature]*

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Signature: \_\_\_\_\_  
Date: \_\_\_\_\_

Revision Schedule		
No.	Description	Date

Drawn by: AP  
Checked by: MM  
Scale: 1/4" = 1'-0"

Sheet Name: Existing Elevations

Sheet Number: **A103**



New Door Schedule				
Door Number	Width	Height	Description	Comments
001	3'-0"	6'-8"	INTERIOR DOOR	
002	2'-6"	6'-8"	INTERIOR DOOR	
003	2'-6"	6'-8"	INTERIOR POCKET DOOR	
004	2'-8"	6'-8"	INTERIOR DOOR	
005	2'-6"	6'-8"	INTERIOR DOOR	
006	4'-0"	6'-8"	INTERIOR DOUBLE DOOR	
007	2'-4"	6'-8"	INTERIOR DOOR	
101	9'-0"	7'-0"	3 PANEL SLIDING PATIO DOOR	
102	3'-0"	7'-0"	EXTERIOR SINGLE FRENCH DOOR	
103	2'-4"	6'-8"	INTERIOR DOOR	
104	2'-6"	6'-8"	INTERIOR POCKET DOOR	
105	2'-6"	6'-8"	INTERIOR DOOR	
106	2'-8"	6'-8"	INTERIOR DOOR	
107	3'-0"	6'-8"	INTERIOR DOUBLE DOOR	
108	2'-6"	6'-8"	INTERIOR POCKET DOOR	
201	2'-6"	6'-8"	INTERIOR DOOR	
202	2'-6"	6'-8"	INTERIOR DOOR	
203	4'-8"	6'-8"	INTERIOR DOUBLE DOOR	
204	2'-4"	6'-8"	INTERIOR DOOR	
205	2'-4"	6'-8"	INTERIOR DOOR	
206	2'-4"	6'-8"	INTERIOR DOOR	
207	2'-4"	6'-8"	INTERIOR DOOR	
208	2'-4"	6'-8"	INTERIOR POCKET DOOR	
209	2'-6"	6'-8"	INTERIOR DOOR	
301	2'-6"	6'-8"	INTERIOR DOOR	
302	2'-6"	6'-8"	INTERIOR DOOR	
Total: 26				

- DOOR SCHEDULE NOTES**
- DOORS WITH GLAZING ARE TO BE MINIMUM DOUBLE PANE INSULATED GLASS, LOW-E, ENERGY EFFICIENT WINDOWS; MAX. U-FACTOR = 0.32; MAX. SHGC = 0.40.
  - GLASS DOORS, SIDE GLASS PANELS, TUB AND SHOWER ENCLOSURES AND OTHER GLAZING IN HAZARDOUS LOCATIONS SHALL BE SAFETY GLAZED PER CURRENT BUILDING CODES.
  - DOOR STYLE TBD BY OWNER
  - DOOR HARDWARE TBD BY OWNER

MONTGOMERY COUNTY DIGITAL STAMP AREA

- GENERAL BASEMENT NOTES**
- FINISH FLOOR MATERIAL TBD BY OWNER.
  - PAINTED WALL TO BE GYP. BD. - ASSUME 1 COLOR PER ROOM, 1 COAT PRIMER AND TWO COATS FINISH PAINT, BENJAMIN MOORE OR EQUAL - COLOR TBD BY OWNER.
  - CEILING TO BE PAINTED GYP. BD. - ASSUME 1 COLOR, 1 COAT PRIMER AND TWO COATS FINISH PAINT - COLOR TBD BY OWNER
  - BASE MOLDING TBD BY OWNER.
  - WINDOW AND DOOR TRIM TBD BY OWNER.
  - STAIRS TO BE HARDWOOD TREAD W/ RISER FOR PAINT.
  - BALUSTER AND HANDRAIL PER 2018 IRC SECTION R312.
  - GENERAL CABINETRY, COUNTERTOP AND VANITY LAYOUTS ARE SHOWN - FINAL LAYOUT AND DESIGN BY OTHERS.
  - GENERAL PLUMBING FIXTURE AND LOCATIONS SHOWN. FINAL SELECTION TO BE DETERMINED BY OWNER.
  - CONFIRM SHOWER AND TUB SHAMPOO NICHES WITH OWNER
  - PROVIDE PAINTED GYP. BD. BULKHEAD AROUND DROPPED BEAM LOCATIONS.

- GENERAL PLAN NOTES**
- ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, UNLESS NOTED OTHERWISE.
  - ALL INTERIOR WALLS SHALL BE NOM. 2X4 WOOD STUD @ 16" O.C. WITH 1/2" GWB ON BOTH SIDES, U.N.O.
  - ALL EXTERIOR WALLS SHALL BE NOM. 2X6 WOOD STUD @ 16" O.C. WITH 1/2" GWB ON INTERIOR SIDE, R-21 MIN. BATT INSULATION WITHIN STUD CAVITIES AND 7/16" OSB ON EXTERIOR SIDE, U.N.O.
  - ALL BATHROOMS WITHOUT WINDOWS SHALL BE VENTED TO THE OUTSIDE.
  - GLASS DOORS, SIDE GLASS PANELS, TUB AND SHOWER ENCLOSURES AND OTHER GLAZING IN HAZARDOUS LOCATIONS SHALL BE SAFETY GLAZED PER CURRENT BUILDING CODES.
  - PROVIDE SOUND ATTENUATING INSULATION AT ALL INTERIOR WALLS.
  - CLOTHES DRYER VENT SYSTEMS SHALL BE INDEPENDENT OF ALL OTHER SYSTEMS AND SHALL BE VENTED TO THE EXTERIOR OF THE BUILDING. FLEXIBLE DUCT CONNECTORS SHALL NOT BE CONCEALED WITHIN WALLS OR CEILING.
  - THE MAXIMUM LENGTH OF A 4" DIAMETER EXHAUST VENT SHALL NOT EXCEED 25' FROM THE DRYER TO THE WALL OR ROOF TERMINATION. A REDUCTION OF 2.5' FOR EACH 45 DEGREE BEND AND 5' FOR EACH 90 DEGREE BEND SHALL APPLY.
  - REVIEW ALL DROPPED BEAM HEIGHTS WITH ARCHITECT PRIOR TO FINAL CLOSE-IN.

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**Architect's Professional Certification**  
 I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, License number 17783, Expiration Date: 7/21/2022

Designed by:  
 Matthew McDonald  
 ARCHITECT  
 ACR63A003F0C412

**Renovation and Addition**  
 7315 Brookville Road  
 Chevy Chase, MD 20815

Project Number: 20-043  
 Client Name: Lacy Rice  
 Project Status:  
 As Built Conditions  
 Preliminary Design  
 Design Development  
 Permit Submission  
 Construction Documents  
 Construction Administration  
 Bid Set  
 Drawing Issue Date: 5-25-2021  
 Client Approval:  
 Signature: \_\_\_\_\_  
 Date: \_\_\_\_\_

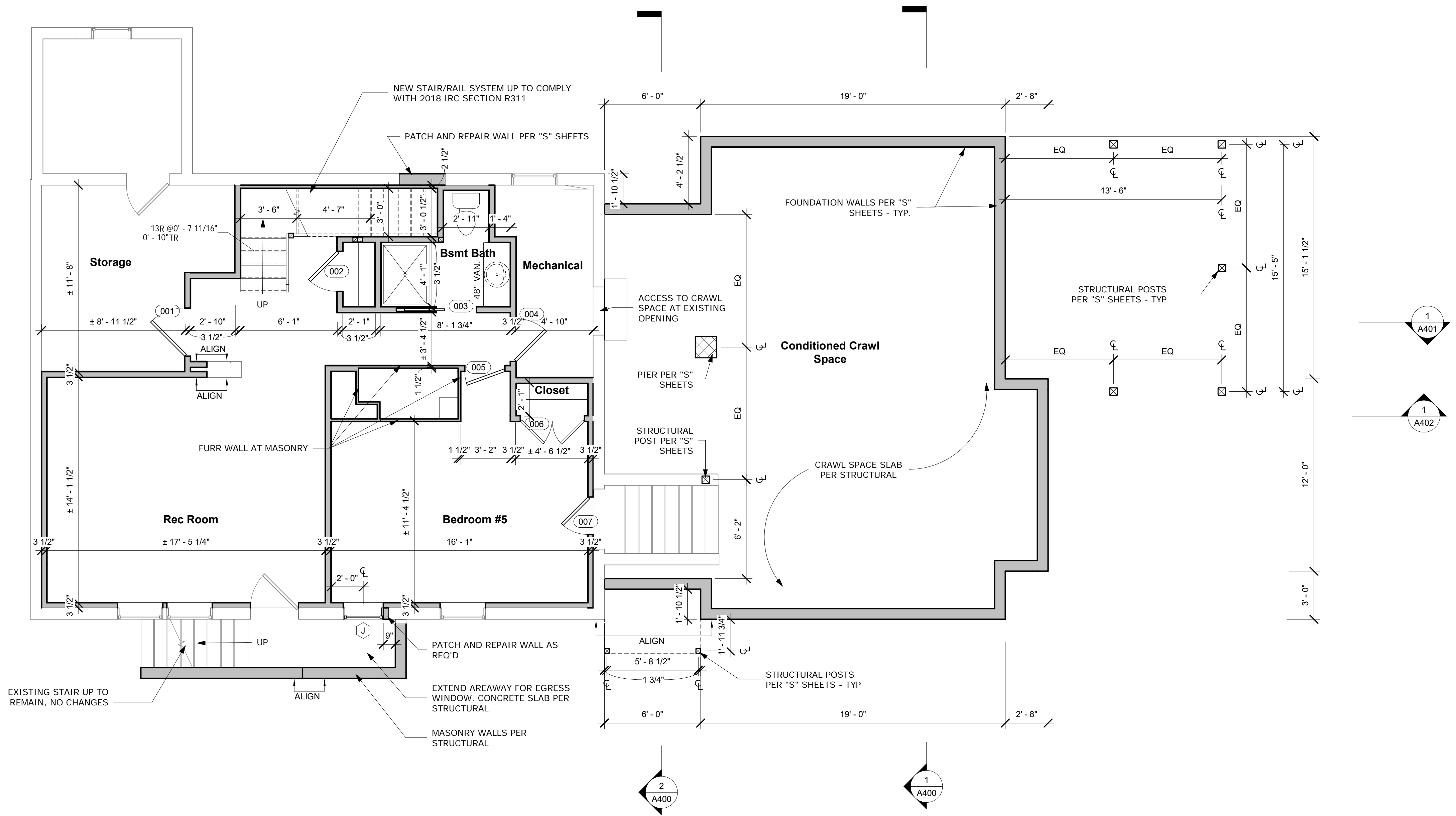
**Revision Schedule**

No.	Description	Date

Drawn by: AP  
 Checked by: MM  
 Scale: 1/4" = 1'-0"  
 Sheet Name:

**Proposed Plans**

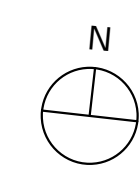
Sheet Number:  
A200



1 Proposed Basement Plan  
 1/4" = 1'-0"

APPROVED  
 Montgomery County  
 Historic Preservation Commission

**REVIEWED**  
 By Dan.Bruechert at 12:07 pm, Jul 21, 2021



MONTGOMERY COUNTY DIGITAL STAMP AREA

- GENERAL FIRST FLOOR NOTES**
1. FINISH FLOOR MATERIAL TO BE HARDWOOD FLOORS.
  2. PAINTED WALL TO BE GYP. BD. - ASSUME 1 COLOR PER ROOM, 1 COAT PRIMER AND TWO COATS FINISH PAINT, BENJAMIN MOORE OR EQUAL - COLOR TBD BY OWNER.
  3. CEILING TO BE PAINTED GYP. BD. - ASSUME 1 COLOR, 1 COAT PRIMER AND TWO COATS FINISH PAINT - COLOR TBD BY OWNER
  4. BASE MOLDING AND CROWN MOLDING TO MATCH EXISTING.
  5. WINDOW AND DOOR TRIM TO MATCH EXISTING.
  6. BALUSTER AND HANDRAIL PER 2018 IRC SECTION R312.
  7. GENERAL CABINETRY, COUNTERTOP AND VANITY LAYOUTS ARE SHOWN - FINAL LAYOUT AND DESIGN BY OTHERS.
  8. GENERAL PLUMBING FIXTURE AND LOCATIONS SHOWN. FINAL SELECTION TO BE DETERMINED BY OWNER. BATHROOM FINISHES TO BE SELECTED BY OWNER.

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# Renovation and Addition

7315 Brookville Road  
 Chevy Chase, MD 20815

Project Number: 20-043  
 Client Name: Lacy Rice

- Project Status:**
- As Built Conditions
  - Preliminary Design
  - Design Development
  - Permit Submission
  - Construction Documents
  - Construction Administration
  - Other

Drawing Issue Date: 5-25-2021

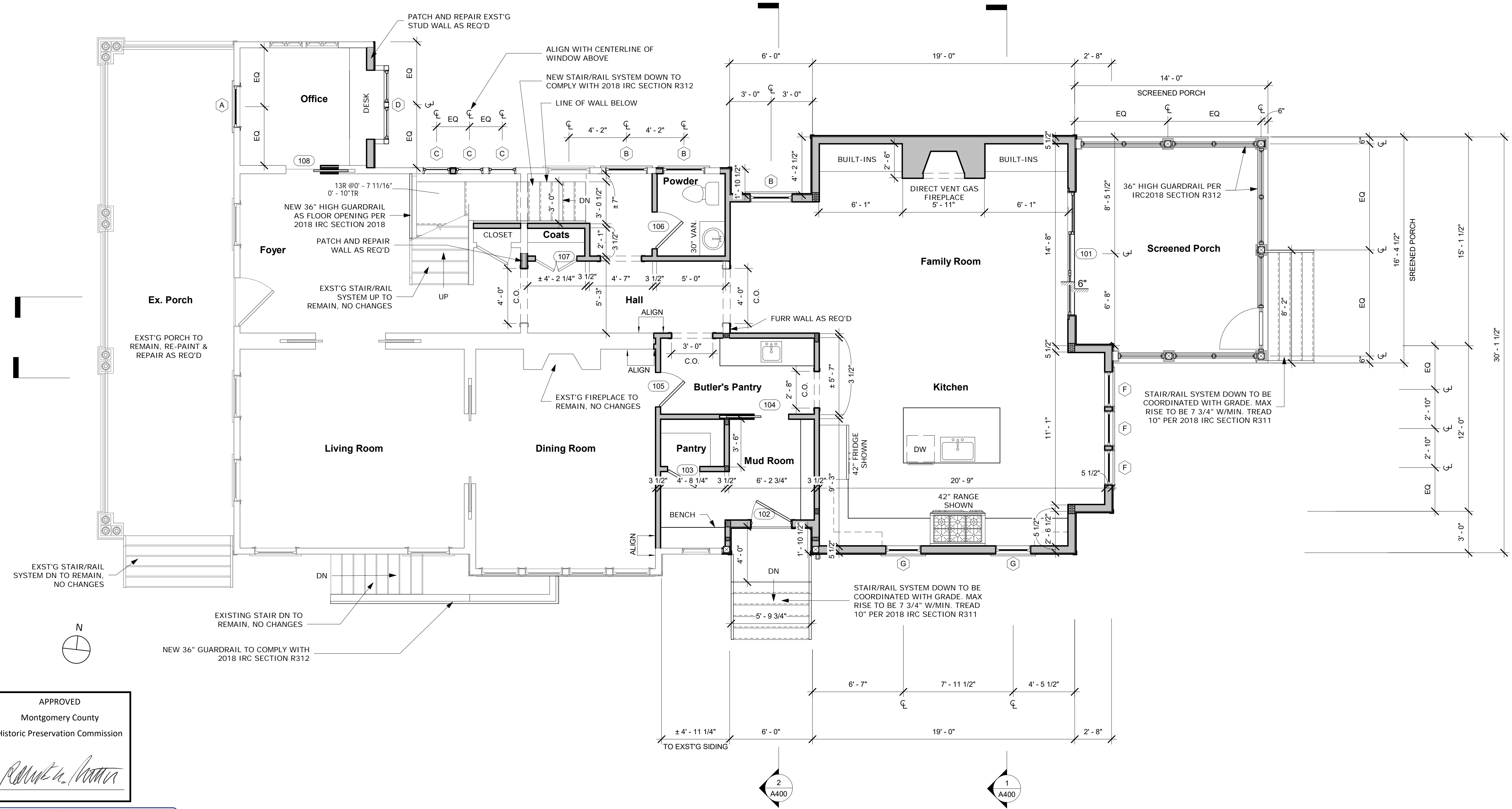
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 Signature: \_\_\_\_\_  
 Date: \_\_\_\_\_

Revision Schedule		
No.	Description	Date

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 Checked by: MM  
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 Sheet Name:

**Proposed Plans**

Sheet Number:  
A201



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 Montgomery County  
 Historic Preservation Commission

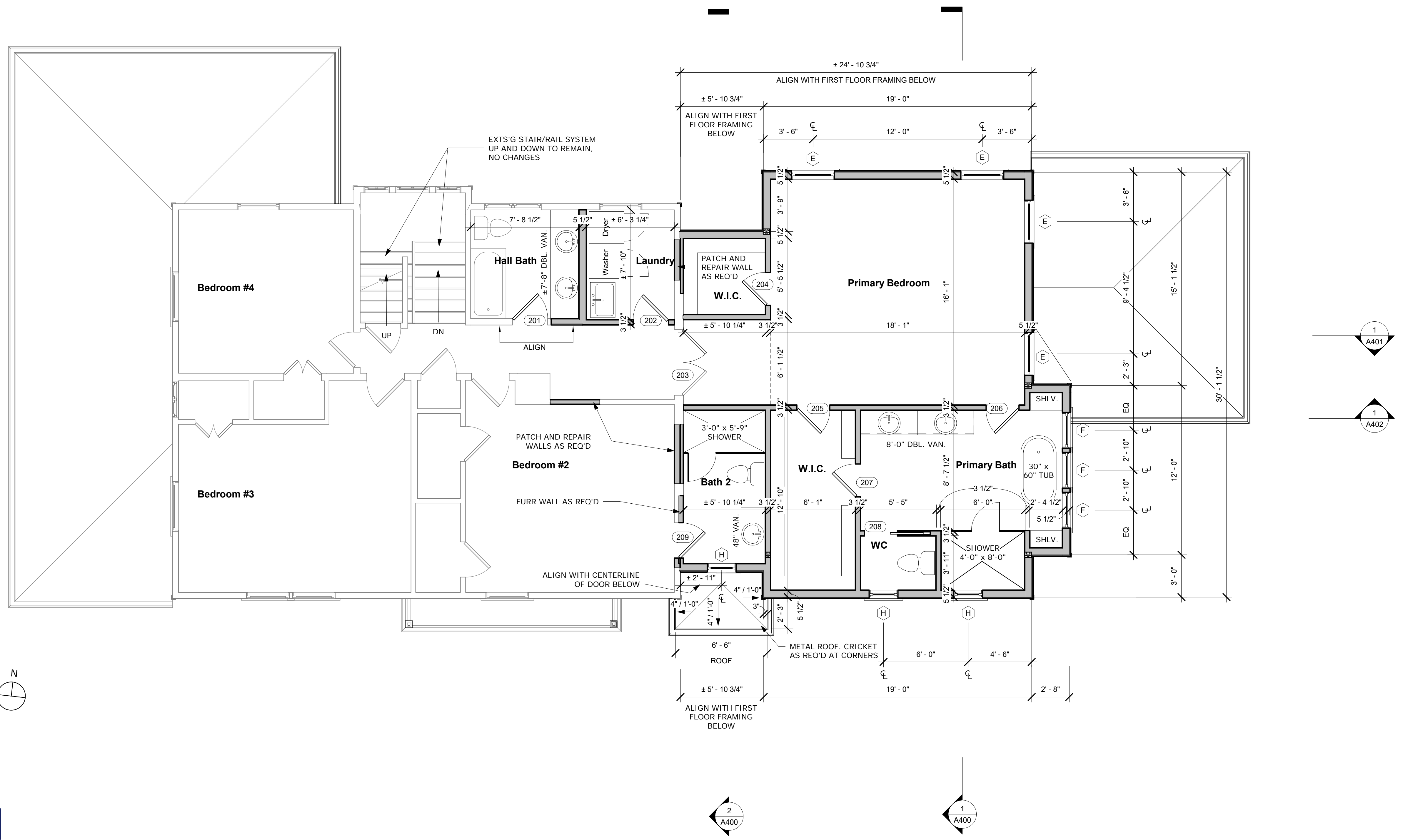
*[Signature]*

**REVIEWED**  
 By Dan.Bruechert at 12:07 pm, Jul 21, 2021

1 Proposed First Floor Plan  
 1/4" = 1'-0"

MONTGOMERY COUNTY DIGITAL STAMP AREA

- GENERAL SECOND FLOOR NOTES**
1. FINISH FLOOR MATERIAL TO BE HARDWOOD FLOORING, TILE IN BATHROOMS AND LAUNDRY.
  2. PAINTED WALL TO BE GYP. BD. - ASSUME 1 COLOR PER ROOM, 1 COAT PRIMER AND TWO COATS FINISH PAINT, BENJAMIN MOORE OR EQUAL - COLOR TBD BY OWNER.
  3. CEILING TO BE PAINTED GYP. BD. - ASSUME 1 COLOR, 1 COAT PRIMER AND TWO COATS FINISH PAINT - COLOR TBD BY OWNER
  4. BASE MOLDING AND CROWN MOLDING TBD BY OWNER.
  5. WINDOW AND DOOR TRIM TO MATCH EXISTING.
  6. GENERAL CABINETRY, COUNTERTOP AND VANITY LAYOUTS ARE SHOWN - FINAL LAYOUT AND DESIGN BY OTHERS.
  7. GENERAL PLUMBING FIXTURE AND LOCATIONS SHOWN. FINAL SELECTION TO BE DETERMINED BY OWNER. BATHROOM FINISHES TO BE SELECTED BY OWNER.



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Montgomery County  
Historic Preservation Commission

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**REVIEWED**  
By Dan.Bruechert at 12:07 pm, Jul 21, 2021

1 Proposed Second Floor Plan  
1/4" = 1'-0"

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# Renovation and Addition

7315 Brookville Road  
Chevy Chase, MD 20815

Project Number: 20-043  
Client Name: Lacy Rice

Project Status:  
 As Built Conditions  
 Preliminary Design  
 Design Development  
 Permit Submission  
 Construction Documents  
 Construction Administration  
 Other

Drawing Issue Date: 5-25-2021

Client Approval:  
Signature: \_\_\_\_\_  
Date: \_\_\_\_\_

Revision Schedule		
No.	Description	Date

Drawn by: AP  
Checked by: MM  
Scale: 1/4" = 1'-0"  
Sheet Name:

## Proposed Plans

Sheet Number:  
**A202**

MONTGOMERY COUNTY DIGITAL STAMP AREA

- THIRD FLOOR NOTES**
1. FINISH FLOOR MATERIAL TO BE CARPET. TILE IN BATHROOM.
  2. PAINTED WALL TO BE GYP. BD. - ASSUME 1 COLOR PER ROOM, 1 COAT PRIMER AND TWO COATS FINISH PAINT, BENJAMIN MOORE OR EQUAL - COLOR TBD BY OWNER.
  3. CEILING TO BE PAINTED GYP. BD. - ASSUME 1 COLOR, 1 COAT PRIMER AND TWO COATS FINISH PAINT - COLOR TBD BY OWNER.
  4. BASE MOLDING TBD BY OWNER.
  5. WINDOW AND DOOR TRIM TBD BY OWNER.
  6. GENERAL CABINETRY, COUNTERTOP AND VANITY LAYOUTS ARE SHOWN - FINAL LAYOUT AND DESIGN BY OTHERS.
  7. GENERAL PLUMBING FIXTURE AND LOCATIONS SHOWN. FINAL SELECTION TO BE DETERMINED BY OWNER. BATHROOM FINISHES TO BE SELECTED BY OWNER.

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# Renovation and Addition

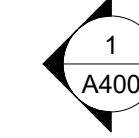
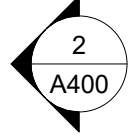
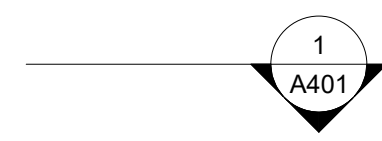
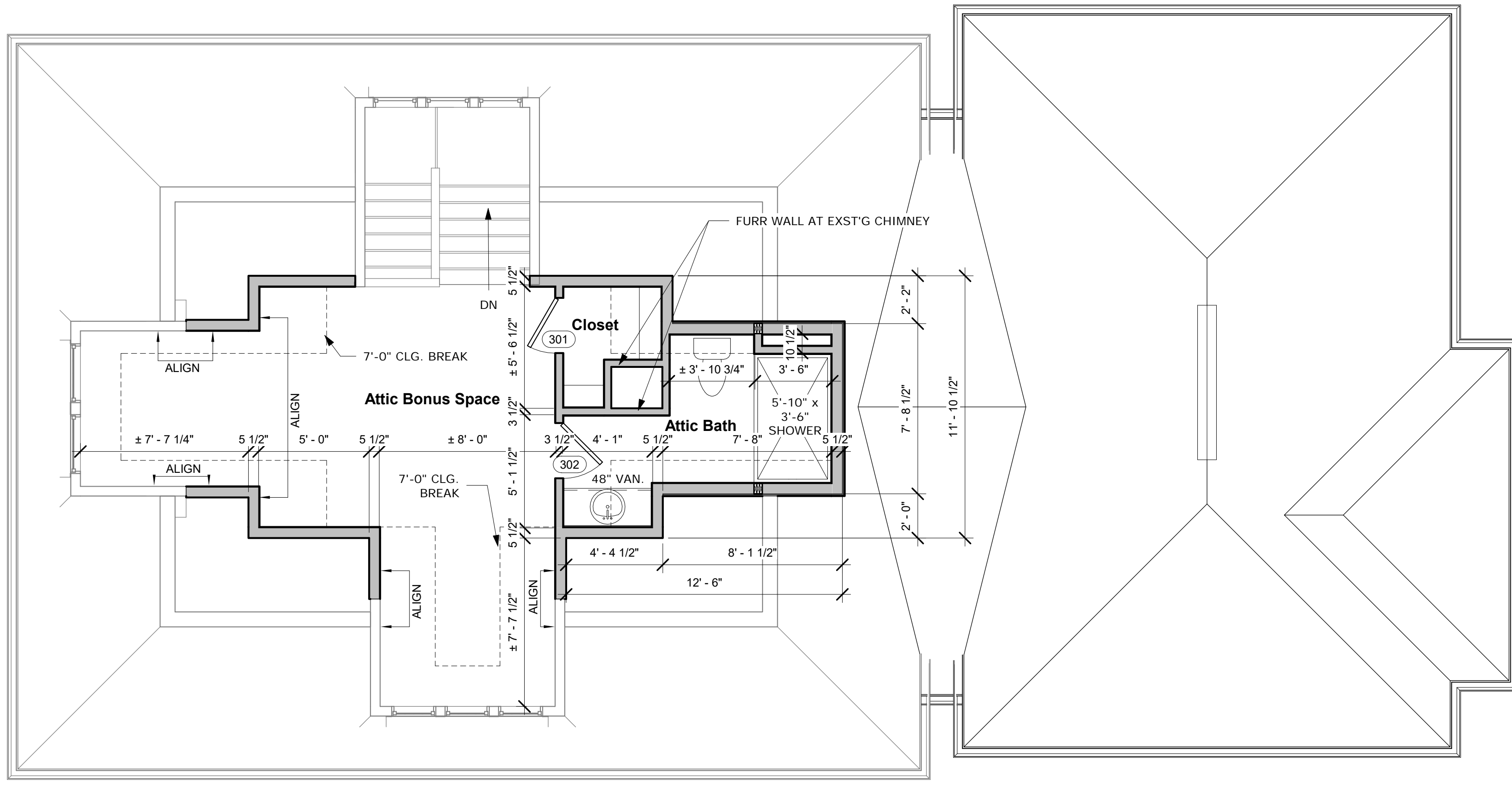
7315 Brookville Road  
 Chevy Chase, MD 20815

Project Number: 20-043  
 Client Name: Lacy Rice  
 Project Status:  
 As Built Conditions  
 Preliminary Design  
 Design Development  
 Permit Submission  
 Construction Documents  
 Construction Administration  
 Other  
 Drawing Issue Date: 5-25-2021  
 Client Approval:  
 Signature: \_\_\_\_\_  
 Date: \_\_\_\_\_

Revision Schedule		
No.	Description	Date

Drawn by: AP  
 Checked by: MM  
 Scale: 1/4" = 1'-0"  
 Sheet Name:

Proposed Plans  
 Sheet Number:  
A203



1 Proposed Third Floor Plan  
 1/4" = 1'-0"

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 Montgomery County  
 Historic Preservation Commission

**REVIEWED**  
 By Dan.Bruechert at 12:07 pm, Jul 21, 2021

MONTGOMERY COUNTY DIGITAL STAMP AREA

- GENERAL ROOF NOTES**
- ALL GUTTERS AND LEADERS TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
  - PROVIDE ROOF VENTING IF REQUIRED BASED ON TYPE OF INSULATION USED.
  - IN AREAS OF OVERFRAMING, SHEATHING SHALL BE INTERRUPTED FOR CONTINUITY OF ATTIC VENTING.
  - CHIMNEY'S SHALL EXTEND A MINIMUM OF 2'-0" ABOVE ANY PORTION OF BUILDINGS WITHIN 10'-0" AND A MINIMUM OF 3'-0" ABOVE THE HIGHEST POINT WHICH THE CHIMNEY PASSES THROUGH THE ROOF.
  - APPLY ICE AND WATER SHIELD AT ALL EAVES, RIDGES AND VALLEYS.
  - ROOF MATERIAL TO BE ASPHALT SHINGLES TO MATCH EXISTING.
- DS INDICATES PROPOSED DOWNSPOUT LOCATION. SIZE & LOCATION OF DOWNSPOUTS AND GUTTERS TO BE VERIFIED BY INSTALLER.

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**Renovation and Addition**  
 7315 Brookville Road  
 Chevy Chase, MD 20815

Project Number: 20-043  
 Client Name: Lacy Rice  
 Project Status:  
 As Built Conditions  
 Preliminary Design  
 Design Development  
 Permit Submission  
 Construction Documents  
 Construction Administration  
 Other

Drawing Issue Date: 5-25-2021

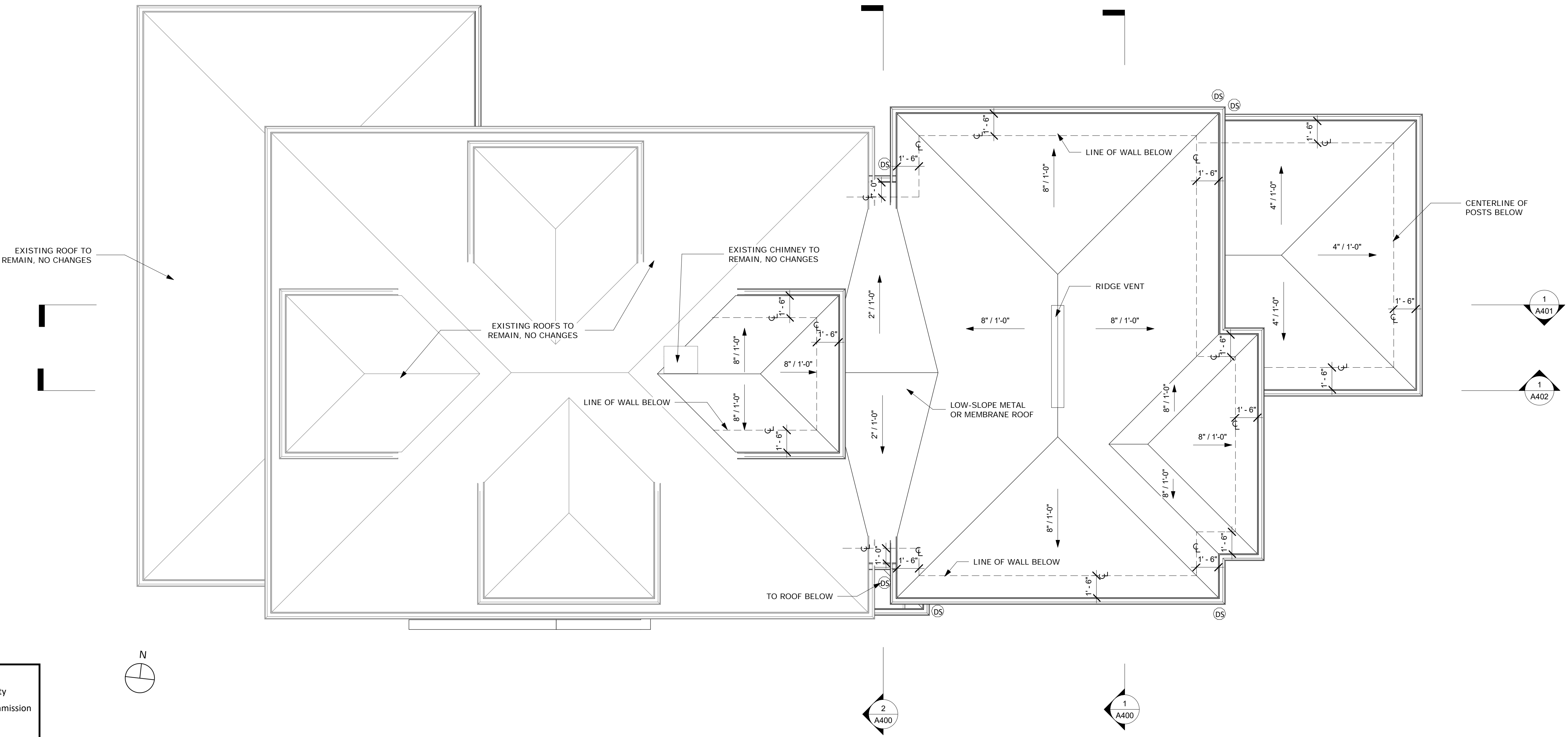
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 Date: \_\_\_\_\_

Revision Schedule		
No.	Description	Date

Drawn by: AP  
 Checked by: MM  
 Scale: 1/4" = 1'-0"  
 Sheet Name:

**Proposed Plans**

Sheet Number:  
**A204**



EXISTING ROOF TO REMAIN, NO CHANGES

EXISTING CHIMNEY TO REMAIN, NO CHANGES

EXISTING ROOFS TO REMAIN, NO CHANGES

LOW-SLOPE METAL OR MEMBRANE ROOF

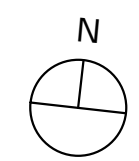
RIDGE VENT

LINE OF WALL BELOW

CENTERLINE OF POSTS BELOW

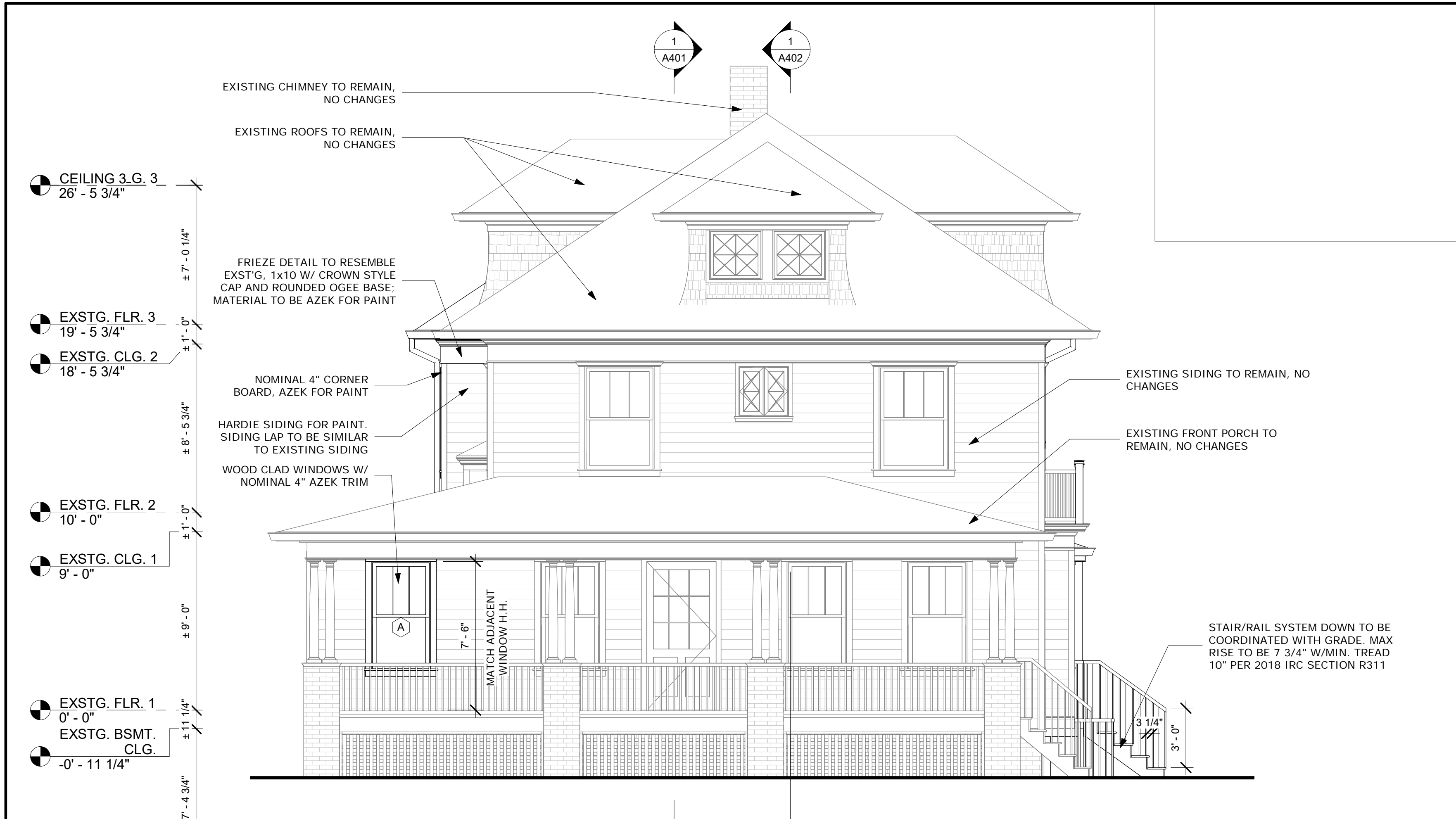
TO ROOF BELOW

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1 Proposed Roof Plan  
 1/4" = 1'-0"

**REVIEWED**  
 By Dan.Bruechert at 12:07 pm, Jul 21, 2021



1 Proposed Front Elevation  
1/4" = 1'-0"

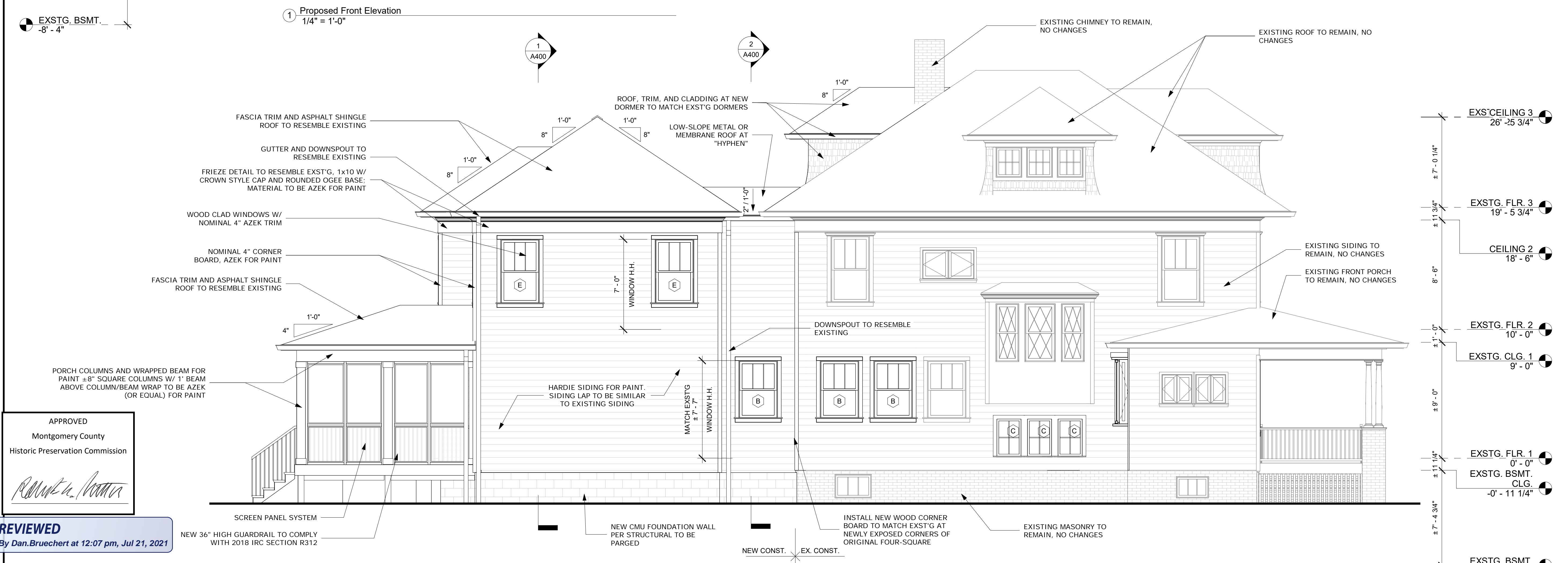
MONTGOMERY COUNTY DIGITAL STAMP AREA

- GENERAL WINDOW NOTES**
- GIVEN WINDOW SIZES SHOWN ARE GENERAL SIZES, MATCH BUILT OPENINGS TO SELECTED MANUFACTURER'S STANDARD SIZES UNLESS NOTED OTHERWISE.
  - SAFETY GLAZING TO BE USED IN ALL WINDOWS AS NEEDED IN ACCORDANCE WITH 2018 IRC CHAPTER 3.
  - WINDOWS LISTED AS EGRESS WINDOWS TO COMPLY WITH REQUIREMENTS OF 2018 IRC CHAPTER 3. CONFIRM WITH MANUFACTURER PRIOR TO ORDERING AS EACH MANUFACTURER'S SIZING AND SPECIFICATIONS MAY DIFFER SLIGHTLY.
  - GENERAL WINDOW MUNTIN PATTERN IS SHOWN. CONFIRM SPECIFIC PATTERN WITH OWNERS PRIOR TO ORDERING.
  - WINDOWS ARE TO BE MINIMUM DOUBLE PANE INSULATED GLASS, LOW-E, ENERGY EFFICIENT WINDOWS; MAX. U-FACTOR = 0.32; MAX. SHGC = 0.40.
  - SKYLIGHTS ARE TO HAVE A MAX. U-FACTOR = 0.55; MAX. SHGC = 0.40.
  - ALL WINDOWS AND DOORS TO HAVE HEAD AND SILL FLASHING, AND END DAMS WHERE APPLICABLE PER SMACNA.
  - WINDOWS NOT SPECIFICALLY NOTED OR LISTED ARE EXISTING TO REMAIN
  - CONTRACTOR TO CONFIRM WINDOW ORDER WITH OWNERS AND ARCHITECTS PRIOR TO ORDERING - CONTRACTOR ASSUMES ALL RESPONSIBILITY IF NO ARCHITECT REVIEW OCCURS

- GENERAL ELEVATION NOTES**
- SEE ROOF PLAN FOR ROOF VENTING NOTES.
  - SEE ROOF PLAN FOR ROOF FINISH AND INSTALLATION NOTES.
  - ALL GUTTERS AND DOWNSPOUTS TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS. SEE ROOF PLAN FOR LOCATIONS AND ADDITIONAL INFORMATION.
  - ROOF FLASHING PER SMACNA
  - ALL EXTERIOR TRIM AND FASCIA AS NOTED.
  - EXTERIOR WINDOW AND DOOR TRIM TO BE AZEK 4" NOMINAL.
  - ALL WINDOWS AND DOORS TO HAVE HEAD AND SILL FLASHING, AND END DAMS WHERE APPLICABLE PER SMACNA.
  - EXTERIOR CLADDING TO BE HARDIE SIDING FOR PAINT.
  - CHIMNEY'S SHALL EXTEND A MINIMUM OF 2'-0" ABOVE ANY PORTION OF BUILDINGS WITHIN 10'-0" AND A MINIMUM OF 3'-0" ABOVE THE HIGHEST POINT WHICH THE CHIMNEY PASSES THROUGH THE ROOF.
  - PATCH AND REPAIR ALL EXISTING EXTERIOR FINISHES AFFECTED BY DEMOLITION AND CONSTRUCTION.
  - WHERE MULTIPLE WINDOWS ARE SHOWN TOGETHER, BUT LISTED SEPARATELY, CONTRACTOR MAY ORDER FACTORY MULLED IN SPACE BETWEEN UNITS MATCHES DESIGN.

Window Schedule

Type Mark	Count	Rough Opening		Description	Comments
		Width	Height		
A	1	3' - 0"	5' - 6"	DOUBLE HUNG	
B	3	3' - 0"	4' - 6"	DOUBLE HUNG	
C	3	2' - 0"	3' - 0"	CASEMENT	
D	1	5' - 0"	5' - 0"	BAY	
E	4	3' - 0"	5' - 0"	DOUBLE HUNG	**EGRESS WINDOW. CONTRACTOR TO CONFIRM SIZE PRIOR TO ORDERING
F	10	2' - 6"	5' - 0"	DOUBLE HUNG	
G	5	2' - 6"	3' - 6"	DOUBLE HUNG	
H	7	2' - 0"	3' - 6"	DOUBLE HUNG	
J	1	2' - 6"	4' - 0"	CASEMENT	**EGRESS WINDOW. CONTRACTOR TO CONFIRM SIZE PRIOR TO ORDERING
Total: 35					



2 Proposed Left Elevation  
1/4" = 1'-0"

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Montgomery County  
Historic Preservation Commission

*[Signature]*

**REVIEWED**  
By Dan.Bruechert at 12:07 pm, Jul 21, 2021

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**Renovation and Addition**  
7315 Brookville Road  
Chevy Chase, MD 20815

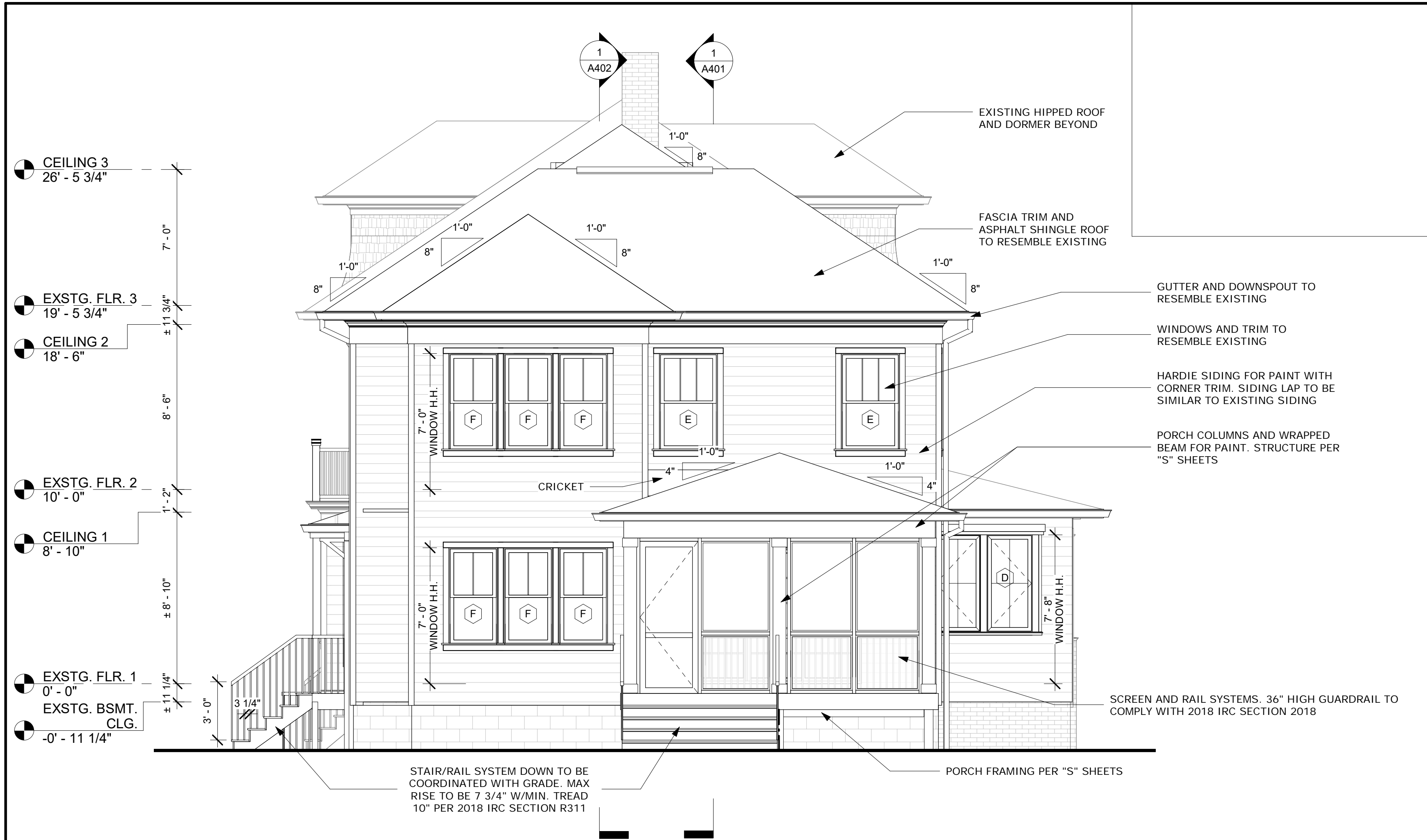
Project Number: 20-043  
Client Name: Lacy Rice  
Project Status:  
 As Built Conditions  
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 Construction Administration  
 Bid Set  
Drawing Issue Date: 5-25-2021  
Client Approval:  
Signature: \_\_\_\_\_  
Date: \_\_\_\_\_

**Revision Schedule**

No.	Description	Date

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Checked by: MM  
Scale: 1/4" = 1'-0"  
Sheet Name:

Elevations  
Sheet Number: **A300**



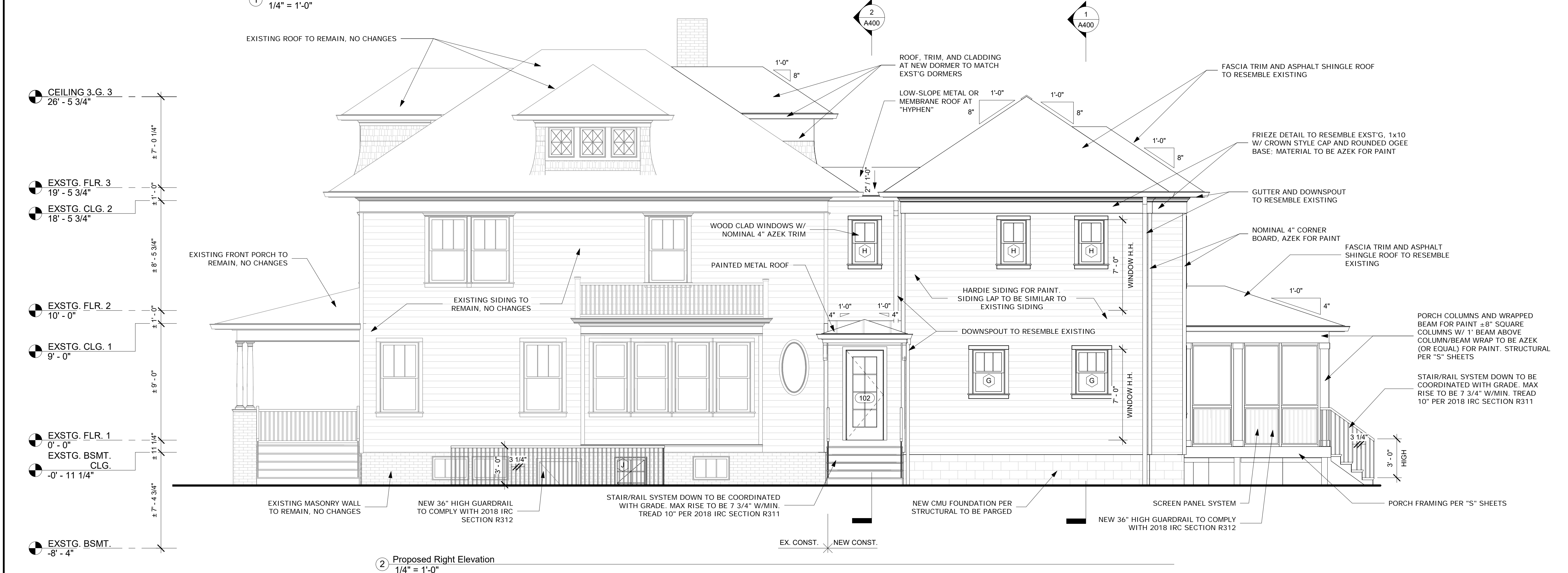
MONTGOMERY COUNTY DIGITAL STAMP AREA

APPROVED  
Montgomery County  
Historic Preservation Commission

*Matthew McDonald*

**REVIEWED**  
By Dan.Bruechert at 12:07 pm, Jul 21, 2021

1 Proposed Rear Elevation  
1/4" = 1'-0"



2 Proposed Right Elevation  
1/4" = 1'-0"

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# Renovation and Addition

7315 Brookville Road  
Chevy Chase, MD 20815

Project Number: 20-043

Client Name: Lacy Rice

- Project Status:
- As Built Conditions
  - Preliminary Design
  - Design Development
  - Permit Submission
  - Construction Documents
  - Construction Administration
  - Other

Drawing Issue Date: 5-25-2021

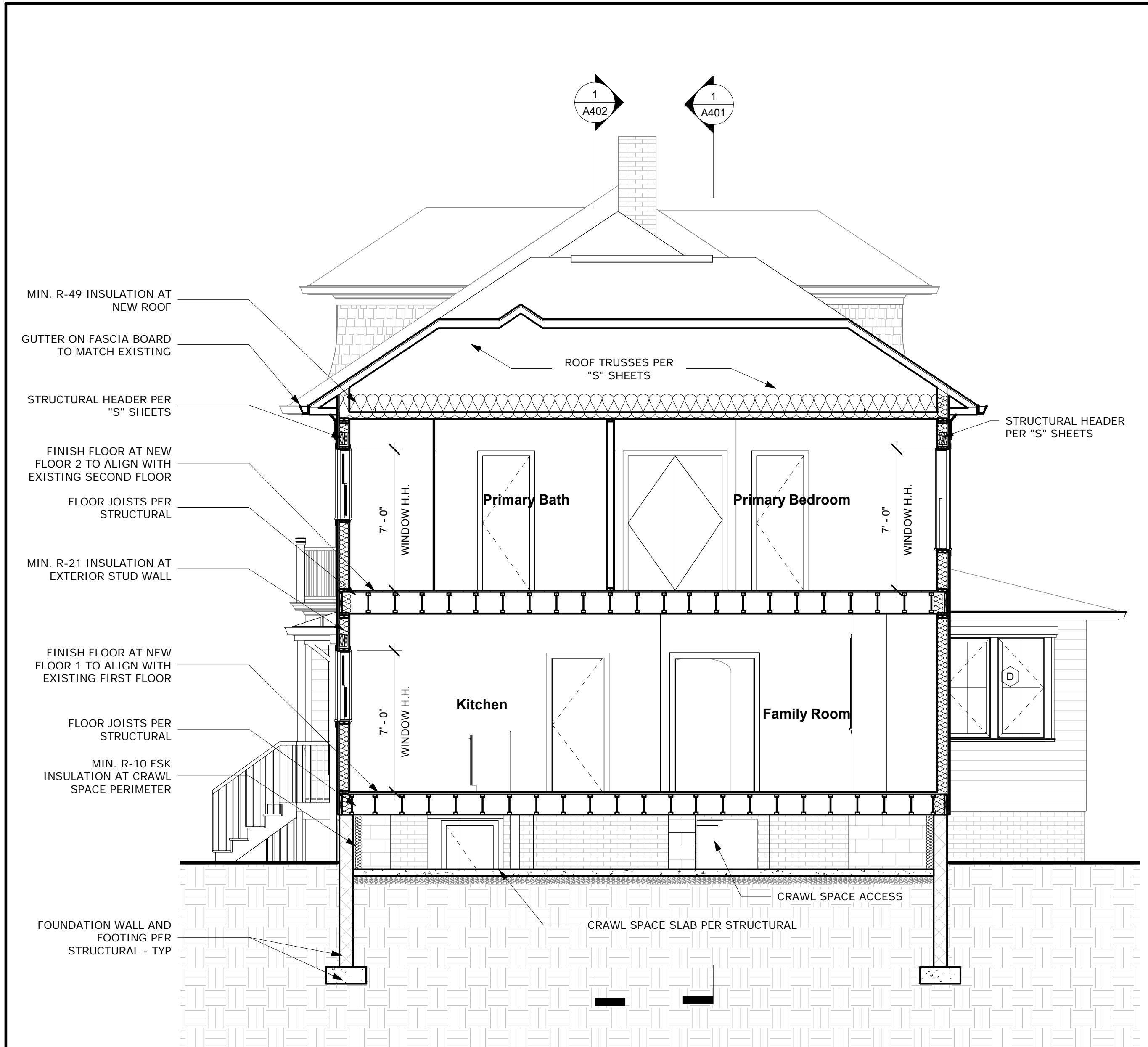
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Signature: \_\_\_\_\_  
Date: \_\_\_\_\_

Revision Schedule		
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Checked by: MM  
Scale: 1/4" = 1'-0"  
Sheet Name:

Elevations

Sheet Number:  
**A301**



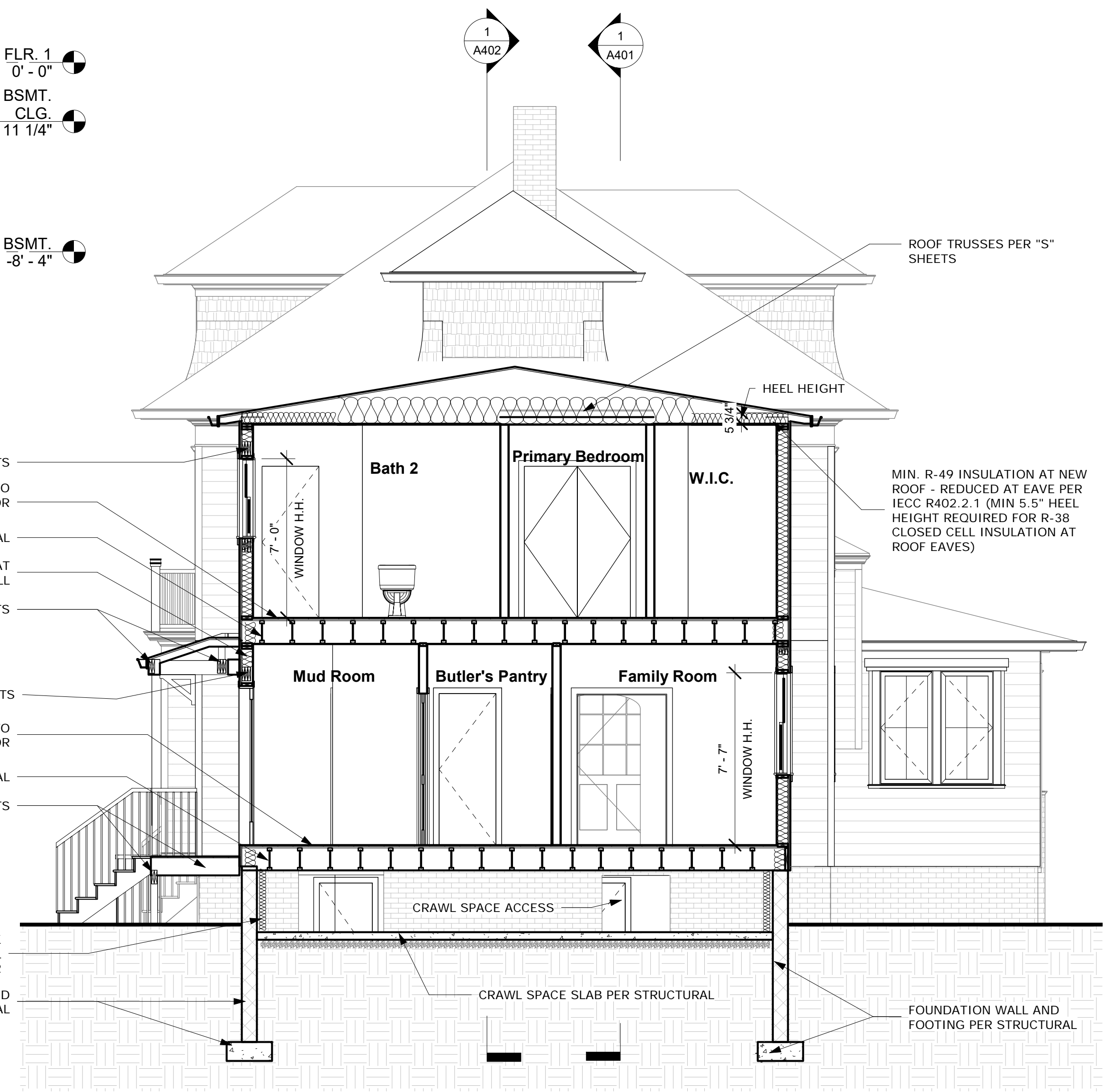
① Building Cross Section  
1/4" = 1'-0"

MIN. R-49 INSULATION AT NEW ROOF  
GUTTER ON FASCIA BOARD TO MATCH EXISTING  
STRUCTURAL HEADER PER "S" SHEETS  
FINISH FLOOR AT NEW FLOOR 2 TO ALIGN WITH EXISTING SECOND FLOOR  
FLOOR JOISTS PER STRUCTURAL  
MIN. R-21 INSULATION AT EXTERIOR STUD WALL  
FINISH FLOOR AT NEW FLOOR 1 TO ALIGN WITH EXISTING FIRST FLOOR  
FLOOR JOISTS PER STRUCTURAL  
MIN. R-10 FSK INSULATION AT CRAWL SPACE PERIMETER  
FOUNDATION WALL AND FOOTING PER STRUCTURAL - TYP

CEILING 2  
18'-6"  
8'-6"  
EXSTG. FLR. 2  
10'-0"  
1'-2"  
CEILING 1  
8'-10"  
± 8'-10"  
EXSTG. FLR. 1  
0'-0"  
± 11 1/4"  
EXSTG. BSMT. CLG.  
-0' - 11 1/4"  
± 7' - 4 3/4"  
EXSTG. BSMT.  
-8' - 4"

MONTGOMERY COUNTY DIGITAL STAMP AREA

- GENERAL SECTION NOTES**
1. ROOF MATERIAL AND FINISH - AS SPECIFIED ON ROOF PLAN.
  2. ROOFING UNDERLAYMENT PER MANUFACTURER'S SPECIFICATIONS FOR EACH SPECIFIC ROOFING MATERIAL.
  3. ROOF DECKING TO BE 3/4" PLYWOOD UNLESS A PRODUCT WITH HIGHER STRUCTURAL CAPACITY IS REQUIRED FOR THE SPECIFIED ROOF.
  4. SEE THERMAL ENVELOPE PLANS FOR SPECIFIC INSULATION VALUES.
  5. FINISHED FLOORING TO BE ON 3/4" PLYWOOD SUBFLOOR ON FLOOR JOISTS PER STRUCTURAL SHEETS.
  6. SEE STRUCTURAL DRAWINGS FOR FOUNDATION WALL AND SLAB REQUIREMENTS.



② Building Cross Section 2  
1/4" = 1'-0"

STRUCTURAL HEADER PER "S" SHEETS  
FINISH FLOOR AT NEW FLOOR 2 TO ALIGN WITH EXISTING SECOND FLOOR  
FLOOR JOISTS PER STRUCTURAL  
MIN. R-21 INSULATION AT EXTERIOR STUD WALL  
BEAMS PER "S" SHEETS  
STRUCTURAL HEADER PER "S" SHEETS  
FINISH FLOOR AT NEW FLOOR 1 TO ALIGN WITH EXISTING FIRST FLOOR  
FLOOR JOISTS PER STRUCTURAL  
STOOP FRAMING PER "S" SHEETS  
MIN. R-10 FSK INSULATION AT CRAWL SPACE PERIMETER  
FOUNDATION WALL AND FOOTING PER STRUCTURAL

HEEL HEIGHT  
MIN. R-49 INSULATION AT NEW ROOF - REDUCED AT EAVE PER IECC R402.2.1 (MIN 5.5" HEEL HEIGHT REQUIRED FOR R-38 CLOSED CELL INSULATION AT ROOF EAVES)  
EXSTG. FLR. 3  
19'-5 3/4"  
CEILING 2  
18'-6"  
8'-6"  
EXSTG. FLR. 2  
10'-0"  
1'-2"  
CEILING 1  
8'-10"  
± 8'-10"  
EXSTG. FLR. 1  
0'-0"  
± 11 1/4"  
EXSTG. BSMT. CLG.  
-0' - 11 1/4"  
± 7' - 4 3/4"  
EXSTG. BSMT.  
-8' - 4"

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]*

REVIEWED  
By Dan.Bruechert at 12:08 pm, Jul 21, 2021

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Documented by  
*Matthew McDonald*  
ACB63A063FBC412

**Renovation and Addition**  
7315 Brookville Road  
Chevy Chase, MD 20815

Project Number: 20-043  
Client Name: Lacy Rice  
Project Status:  
 As Built Conditions  
 Preliminary Design  
 Design Development  
 Permit Submission  
 Construction Documents  
 Construction Administration  
 Bid Set  
Drawing Issue Date: 5-25-2021  
Client Approval:  
Signature: \_\_\_\_\_  
Date: \_\_\_\_\_

**Revision Schedule**

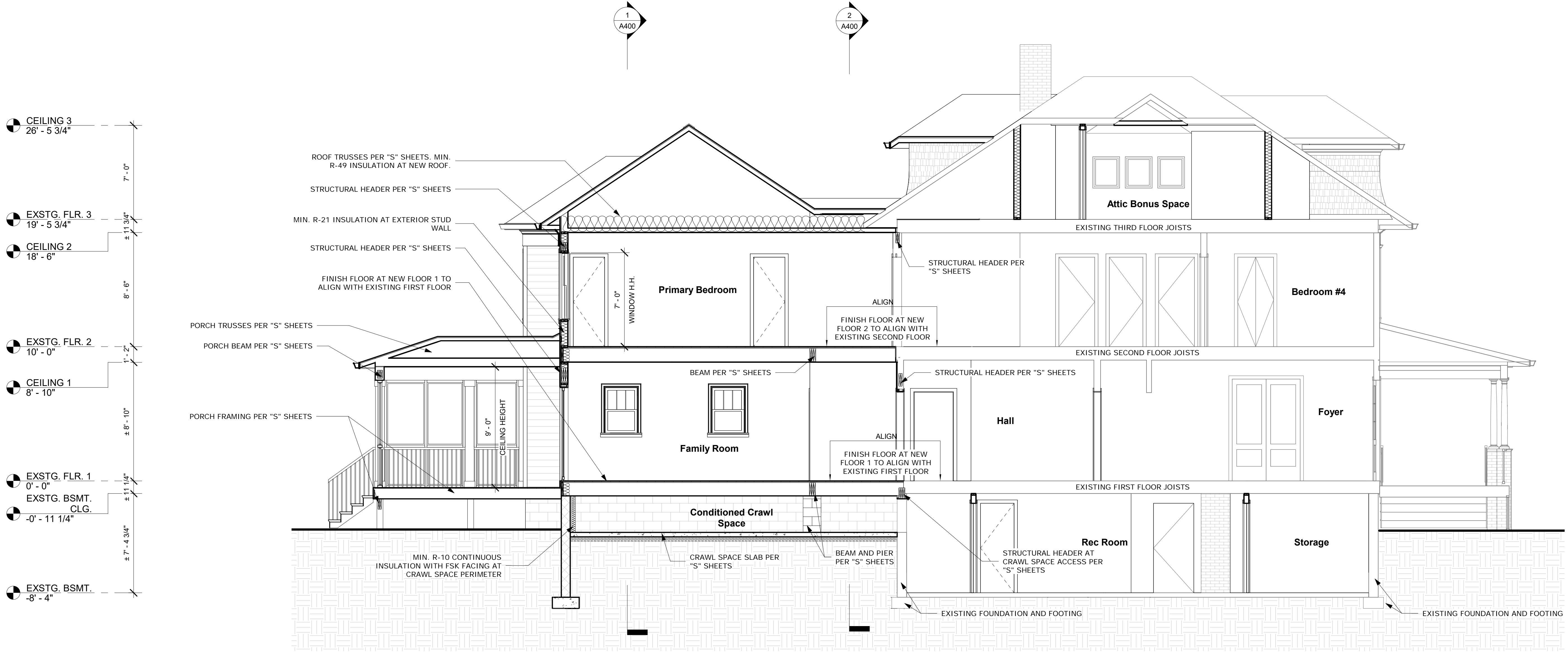
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Checked by: MM  
Scale: 1/4" = 1'-0"  
Sheet Name:

Sections  
Sheet Number:  
**A400**



MONTGOMERY COUNTY DIGITAL STAMP AREA



- CEILING 3  
26' - 5 3/4"
- EXSTG. FLR. 3  
19' - 5 3/4"
- CEILING 2  
18' - 6"
- EXSTG. FLR. 2  
10' - 0"
- CEILING 1  
8' - 10"
- EXSTG. FLR. 1  
0' - 0"
- EXSTG. BSMT. CLG.  
-0' - 11 1/4"
- EXSTG. BSMT.  
-8' - 4"

① Building Longitudinal Section  
1/4" = 1'-0"

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Montgomery County  
Historic Preservation Commission

*[Signature]*

**REVIEWED**  
By Dan.Bruechert at 12:08 pm, Jul 21, 2021

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Sheet Name:

**Sections**

Sheet Number:  
**A401**

MONTGOMERY COUNTY DIGITAL STAMP AREA

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*Matthew McDonald*

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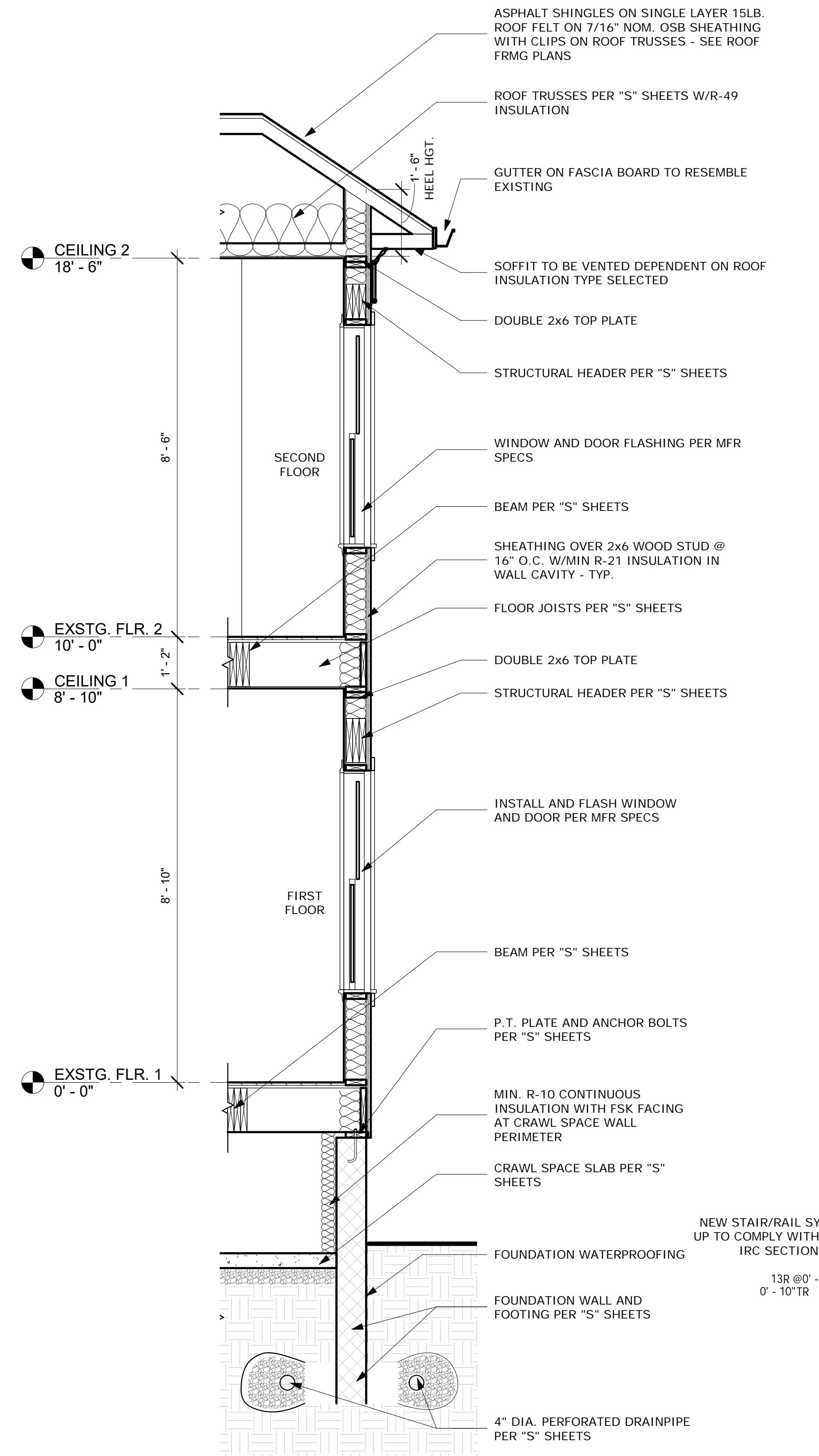
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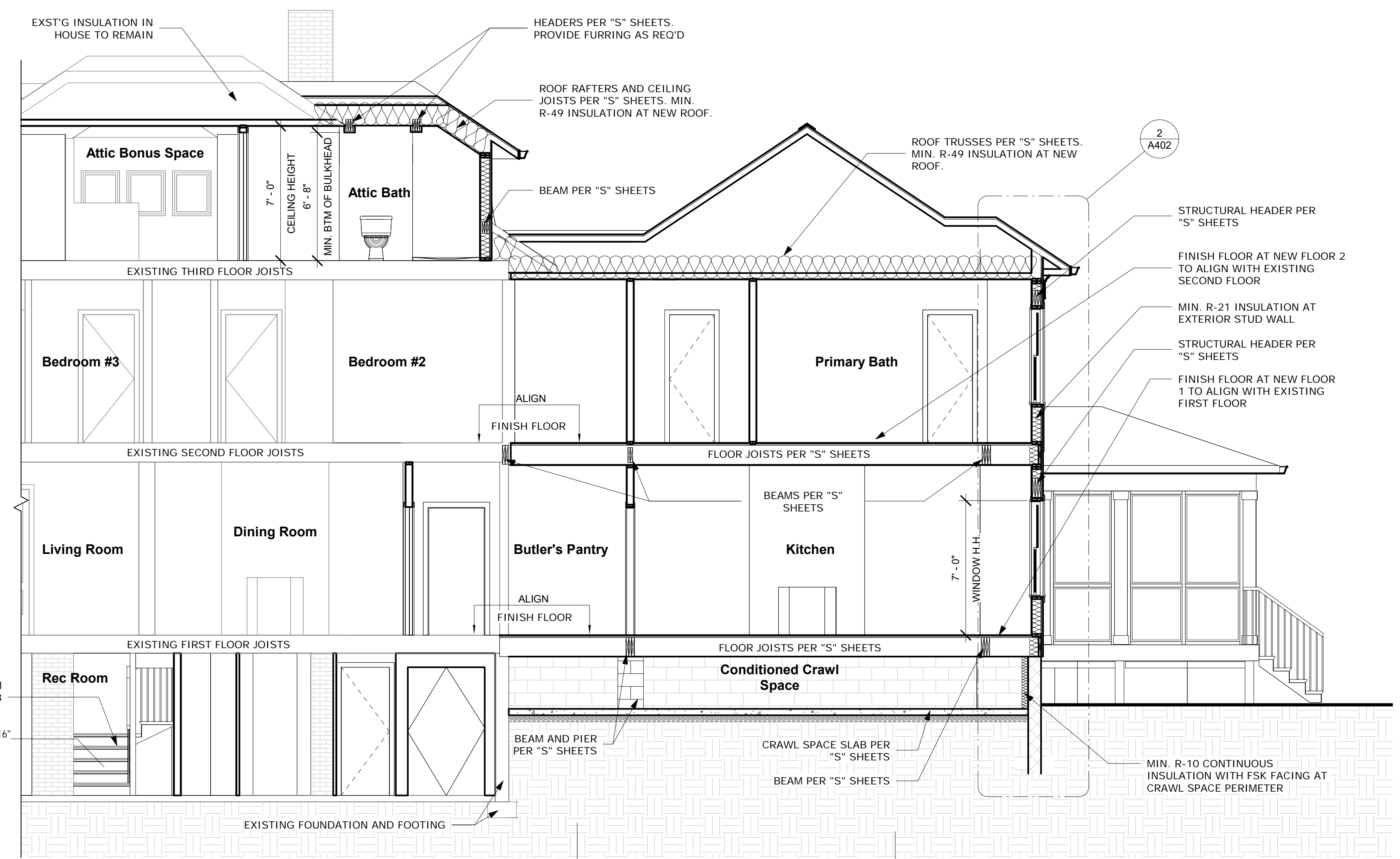
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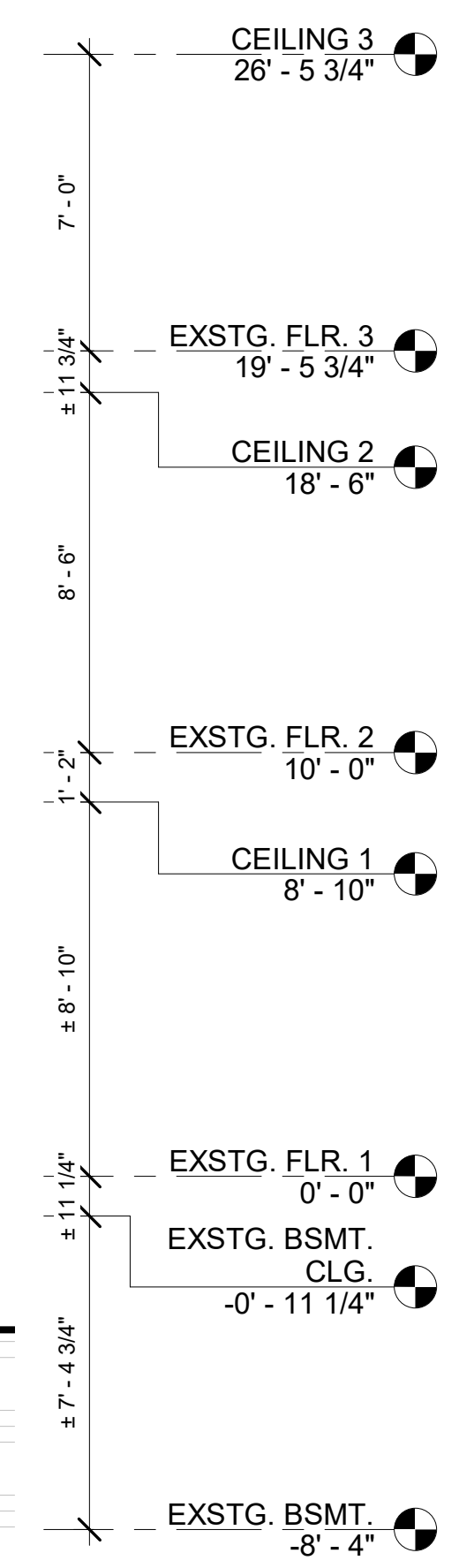
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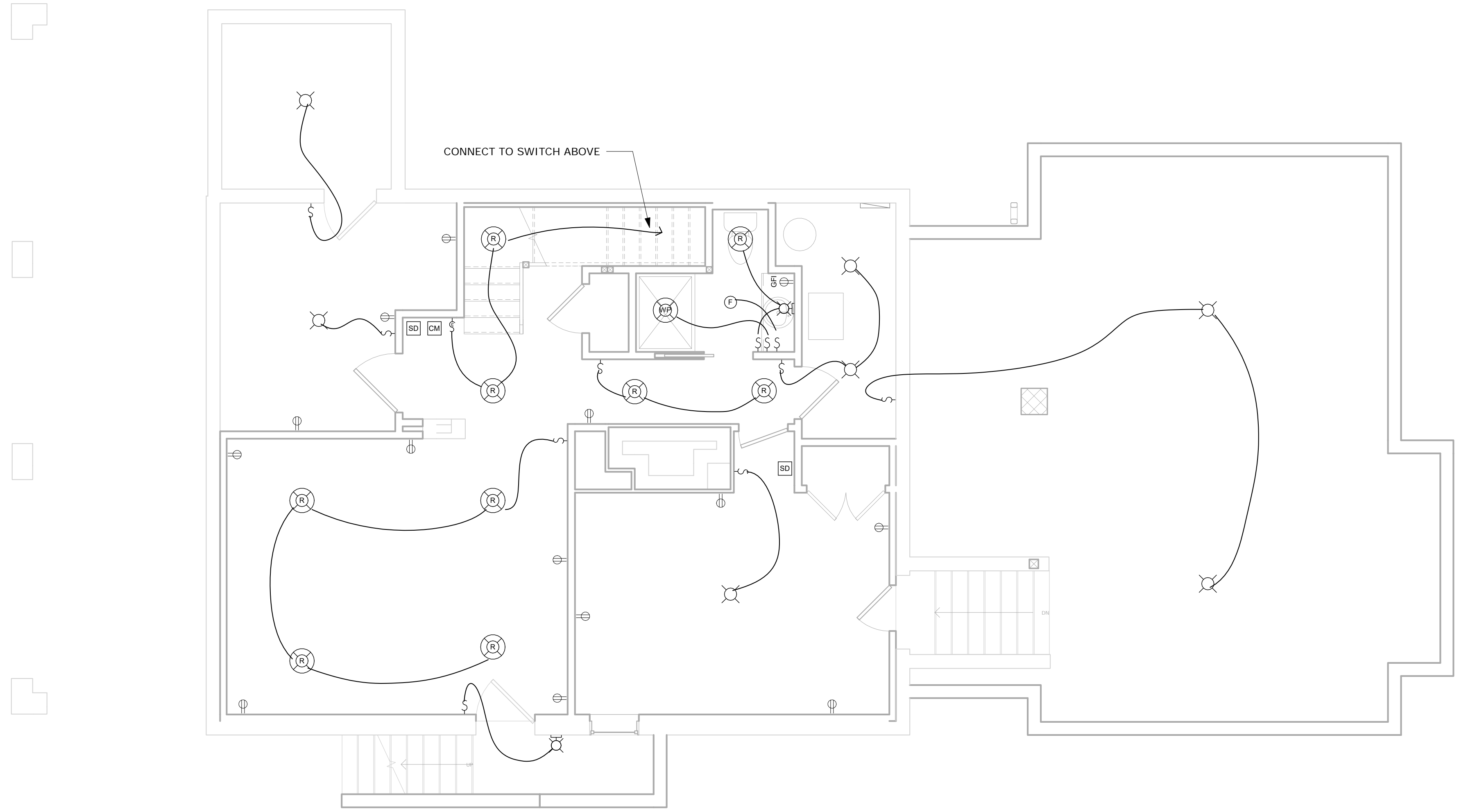
2 Wall Section  
 1/2" = 1'-0"



1 Building Longitudinal Section 2  
 1/4" = 1'-0"



MONTGOMERY COUNTY DIGITAL STAMP AREA



ELECTRICAL SYMBOLS			
	RECESSED CAN		STD. DUPLEX OUTLET
	WATERPROOF RECESSED CAN		(1) SWITCHED & (1) NON-SWITCHED DUPLEX OUTLET
	EYEBROW RECESSED CAN		220 VOLT OUTLET
	SURFACE MOUNTED FIXTURE		STD. G.F.I. OUTLET
	PENDANT FIXTURE		STD. G.F.I. OUTLET 36" ABOVE FIN. FLR.
	KEYLESS WITHIN ATTIC SURFACE MOUNTED		STD. G.F.I. OUTLET 42" ABOVE FIN. FLR.
	WALL MOUNTED FIXTURE		STD. SINGLE SWITCH
	CARBON MONOXIDE DETECTOR		SINGLE DIMMER SWITCH
	SMOKE DETECTOR		2-WAY SWITCH
	EXHAUST FAN		2-WAY DIMMER SWITCH
	GARBAGE DISPOSAL		3-WAY SWITCH
	JUNCTION BOX FOR CEILING FAN		3-WAY DIMMER SWITCH
	UNDER CABINET LIGHTS		CABLE TV JACK
	CEILING OUTLET		DATA JACK
	ELECTRIC PANEL		PHONE JACK

- ELECTRICAL NOTES**
- CONTRACTOR TO CONFIRM EXISTING ELECTRICAL CAN SUPPORT PROPOSED LOAD - INCREASE PANEL SIZE IF REQUIRED.
  - CONFIRM SMOKE DETECTORS IN ALL HALLWAYS AND BEDROOMS COMPLY WITH 2018 IRC - INSTALL AS REQUIRED.
  - CONFIRM CARBON MONOXIDE DETECTOR AT EACH LEVEL - INSTALL AS REQUIRED.
  - OUTLETS LOCATED IN BATHROOM, EXTERIOR, OR OTHER TO BE GFI AND/OR WEATHER PROOF AS REQUIRED BY 2018 IRC.
  - ALL OTHER OUTLETS AND FIXTURES IN OTHER AREAS OF THE HOME ARE EXISTING TO REMAIN. OUTLETS NOT SPECIFICALLY SHOWN IN AREAS OF WORK ARE ALSO TO BE EXISTING TO REMAIN.
  - FIXTURE LAYOUT SHOWN IS GENERAL. COORDINATE WITH EXISTING FIELD CONDITIONS AND CONDUCT OWNER/ARCHITECT WALK THROUGH AT ROUGH-IN.

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No.	Description	Date

Drawn by: AP  
 Checked by: MM  
 Scale: 1/4" = 1'-0"  
 Sheet Name:

## Electrical Plans

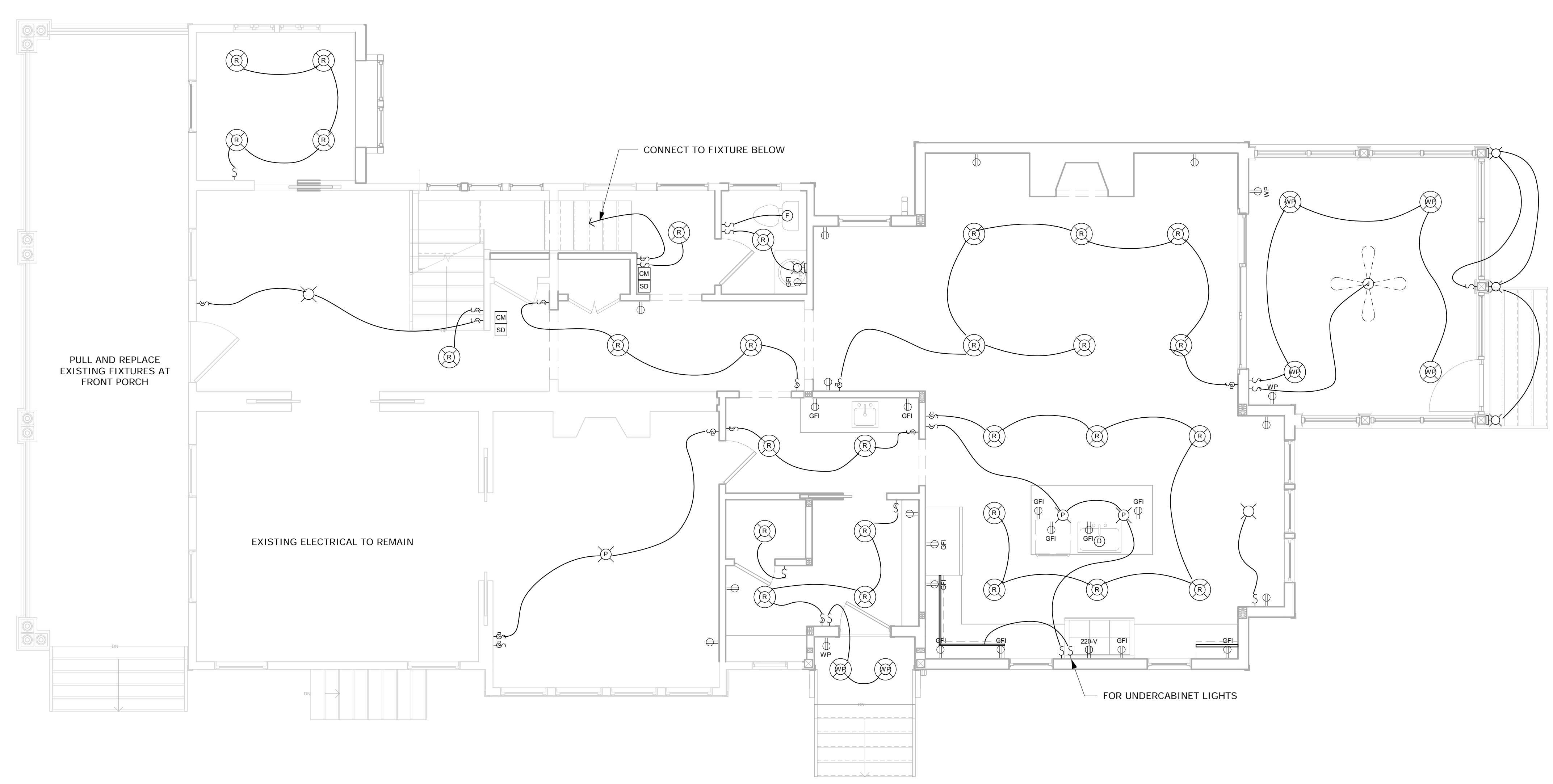
Sheet Number:  
E100

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 By Dan.Bruechert at 12:08 pm, Jul 21, 2021

1 Basement Electrical Plan  
 1/4" = 1'-0"

MONTGOMERY COUNTY DIGITAL STAMP AREA



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1 First Floor Electrical Plan  
 1/4" = 1'-0"

**REVIEWED**  
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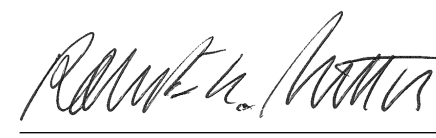
Revision Schedule		
No.	Description	Date

Drawn by: AP  
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 Sheet Name:

**Electrical Plans**

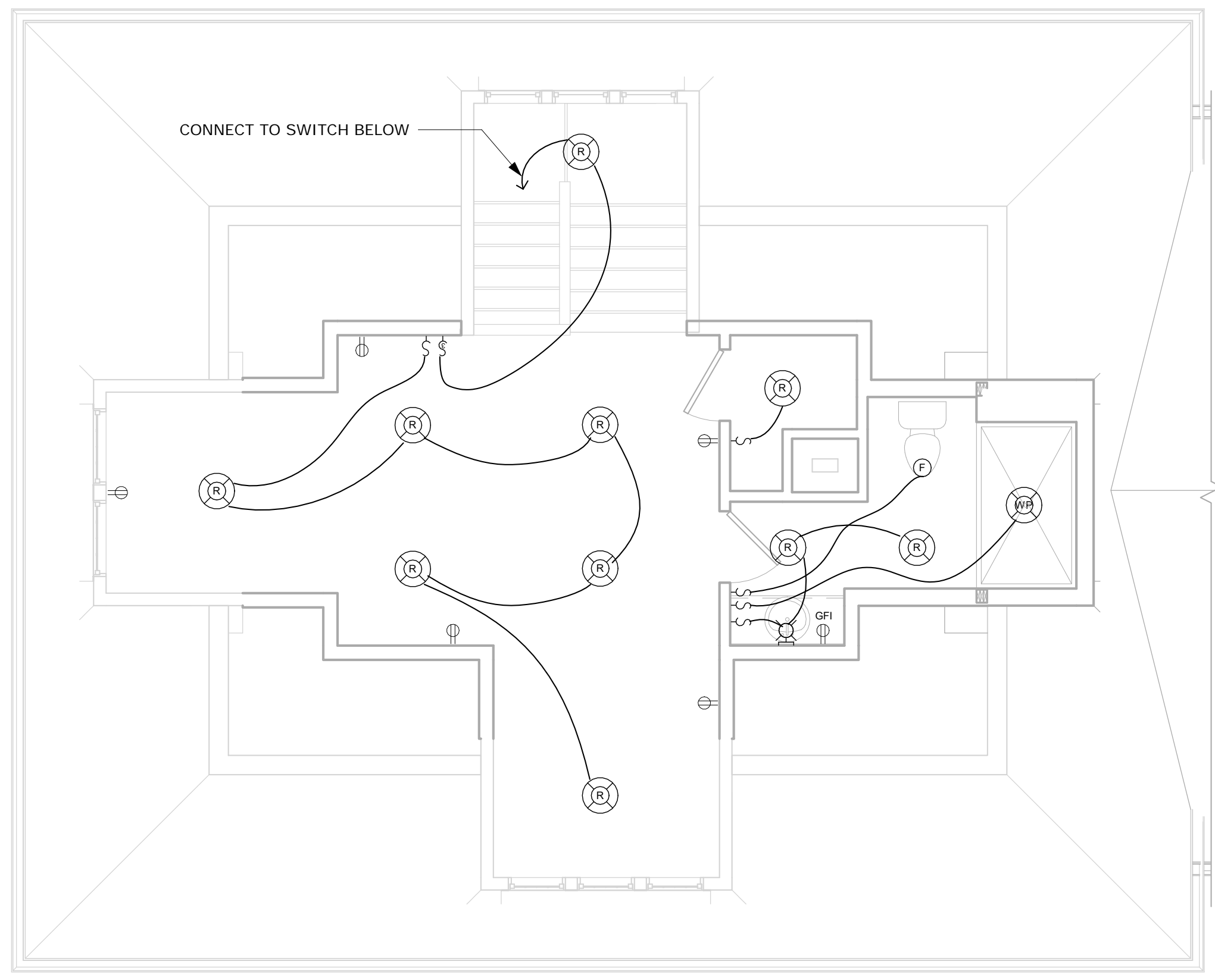
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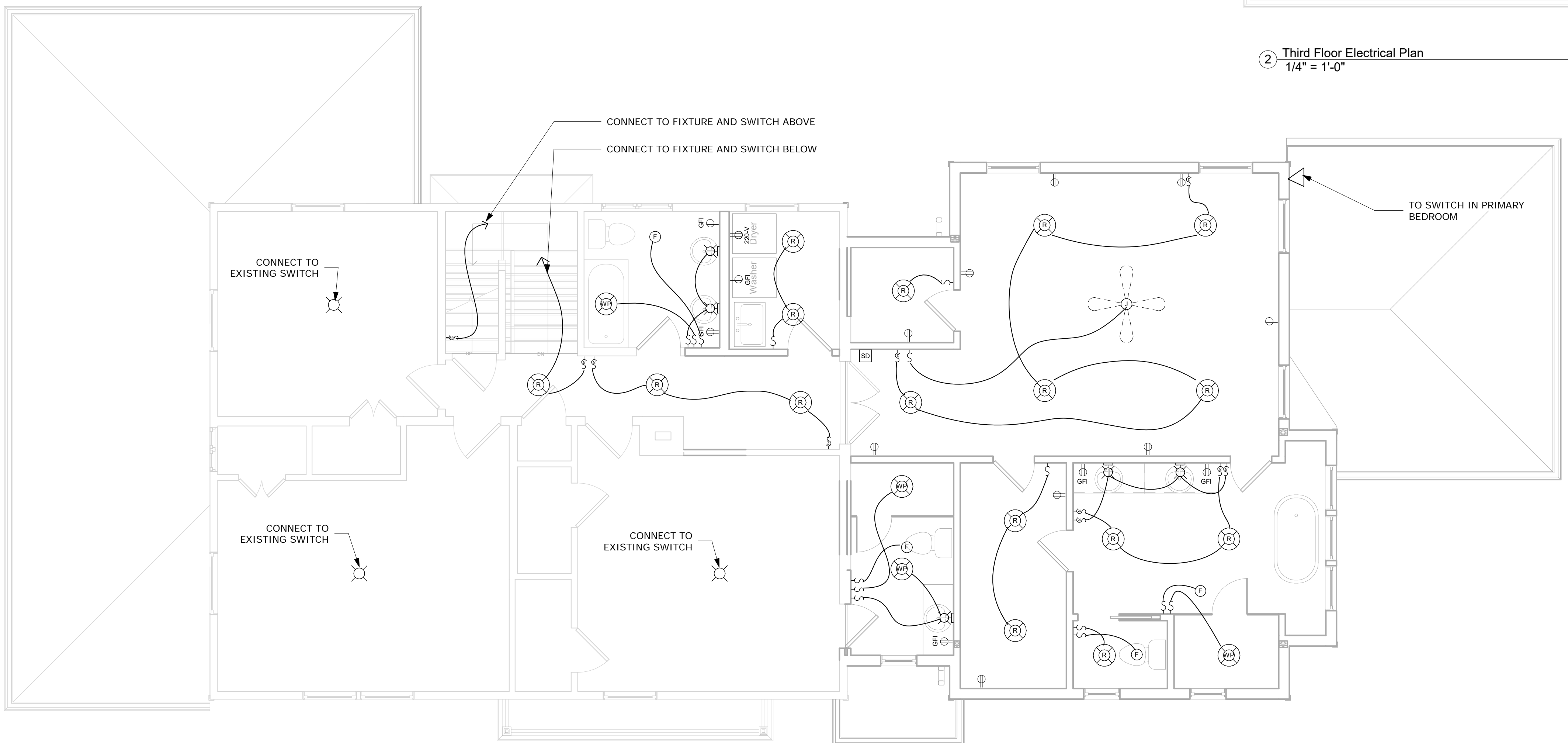


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 By Dan.Bruechert at 12:08 pm, Jul 21, 2021

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② Third Floor Electrical Plan  
 1/4" = 1'-0"



① Second Floor Electrical Plan  
 1/4" = 1'-0"

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Revision Schedule		
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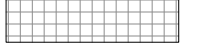
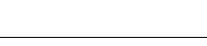
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**Electrical Plans**

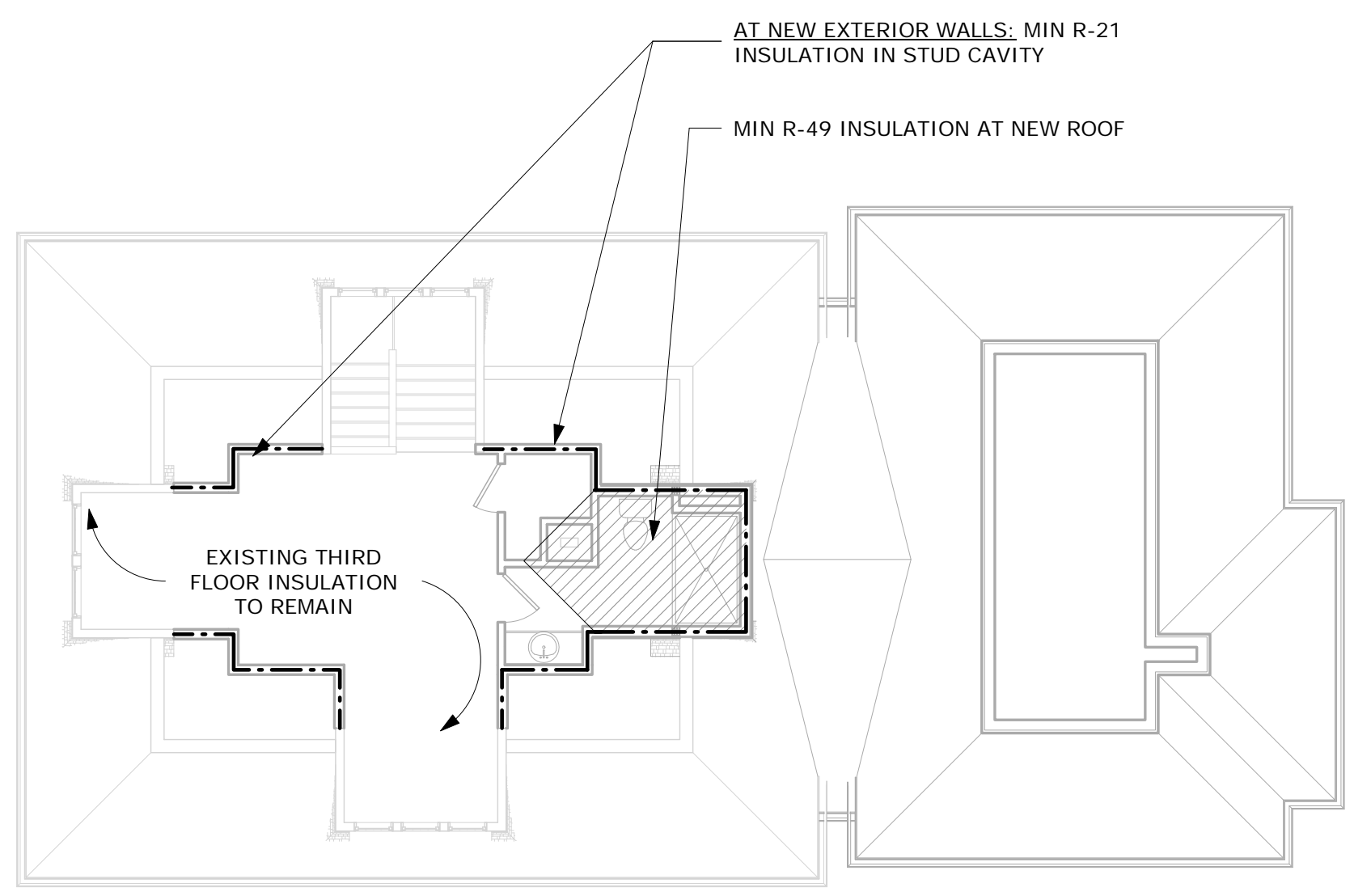
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MONTGOMERY COUNTY DIGITAL STAMP AREA

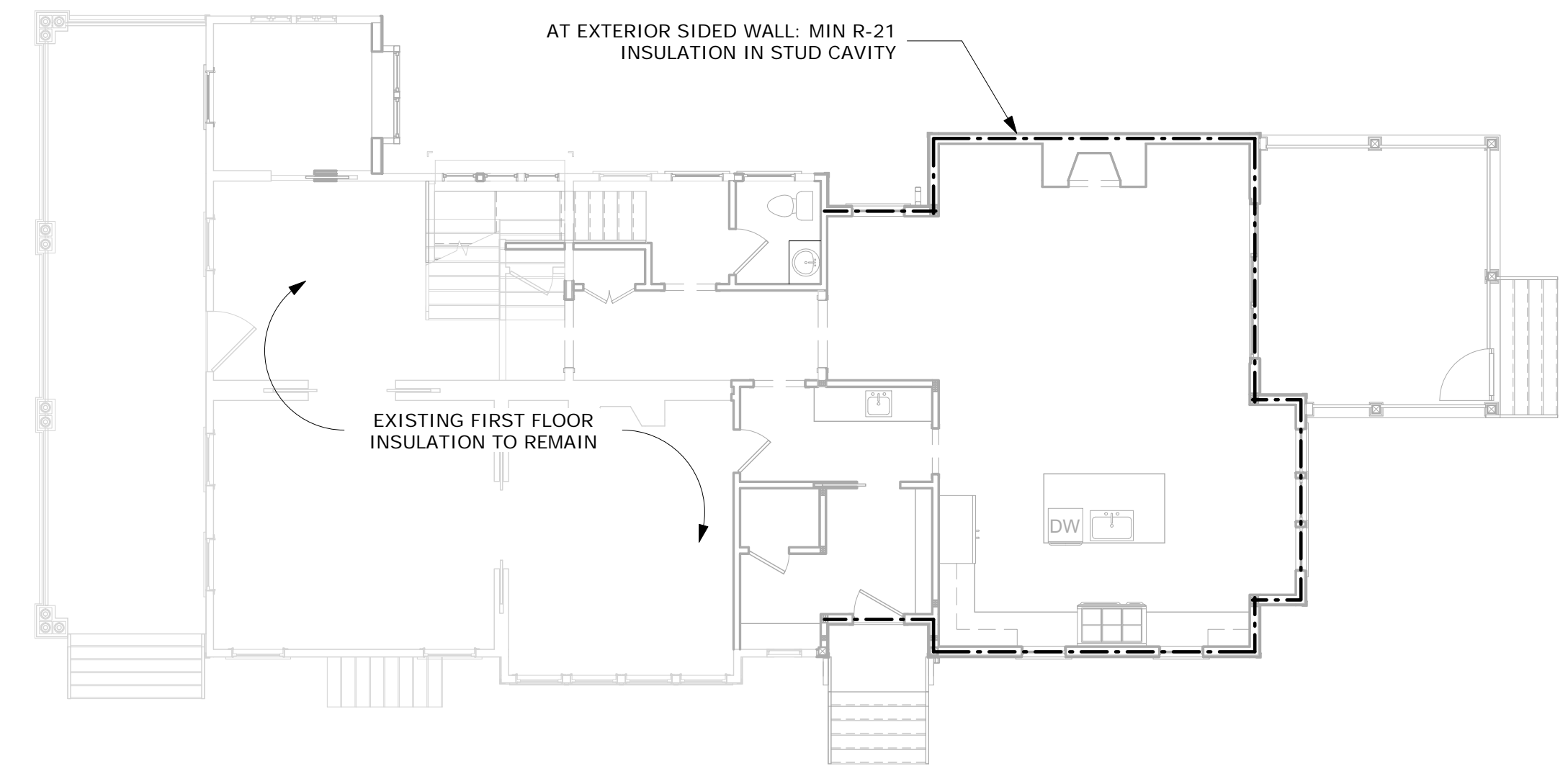
**THERMAL ENVELOPE LEGEND**

	BATT. INSULATION
	RIGID INSULATION
	INSULATION PERIMETER

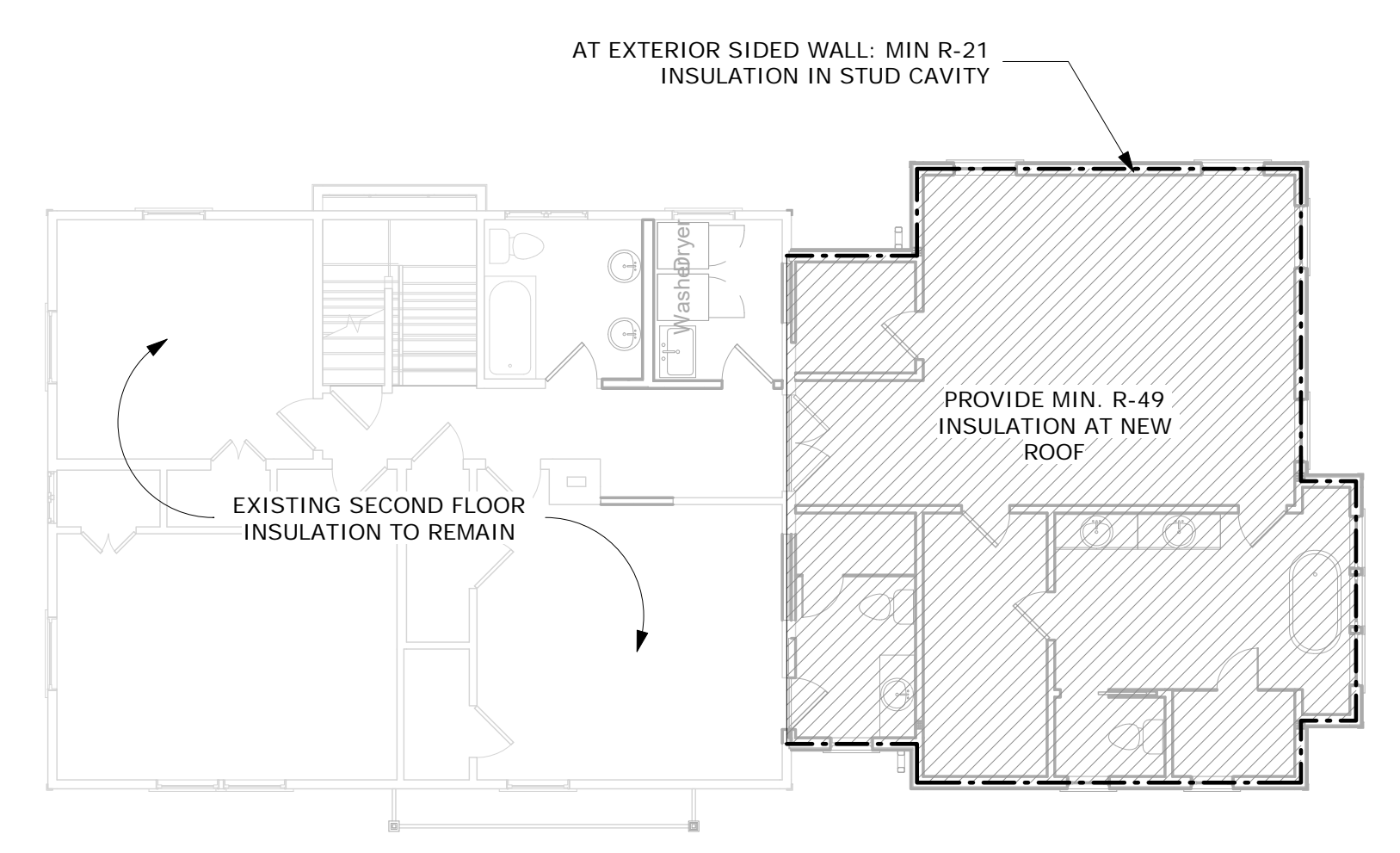
- THERMAL ENVELOPE NOTES**
1. PROVIDE MINIMUM R-21 INSULATION AT ALL 2X6 STUD WALLS AT EXTERIOR.
  2. PROVIDE CONTINUOUS R-10 (MIN.) CRAWL SPACE WALL INSULATION WITH FSK FACING @ EXTERIOR PERIMETER WALLS OF UNFINISHED BASEMENT AREAS.
  3. PROVIDE MIN. R-13 INSULATION @ 2X4 FURRED WALLS AT FINISHED BASEMENT SPACE.
  4. PROVIDE MIN. R-49 INSULATION @ ROOF
  5. ALL AIR BARRIERS AND INSULATION TO BE INSTALLED PER IECC 2018 TABLE R402.4.1.1.
  6. SUPPLY DUCTS IN THE ATTICS SHALL BE INSULATION TO A MINIMUM OF R-8. ALL OTHER DUCTS SHALL BE INSULATION TO A MINIMUM OF R-6.
  7. HOT WATER PIPES ARE TO BE INSULATED TO A MINIMUM OF R-3.
  8. IF AIR PERMEABLE INSULATION IS USED WITHIN ATTIC, A BAFFLE MUST BE INSTALLED ADJACENT TO SOFFIT AND EAVE VENTS. BAFFLE SHALL MAINTAIN AN OPENING EQUAL OR GREATER THAN THE SIZE OF THE VENT. THE BAFFLE SHALL EXTEND OVER THE TOP OF THE ATTIC INSULATION. BAFFLE SHALL BE MECHANICALLY FASTENED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS.
  9. EXISTING EXTERIOR WALL CAVITIES EXPOSED DURING CONSTRUCTION SHOULD BE FILLED WITH INSULATION AND NEED NOT COMPLY WITH INSULATION REQUIREMENTS FOR NEW CONSTRUCTION PER IECC R503.1.1 EXCEPTION 2.



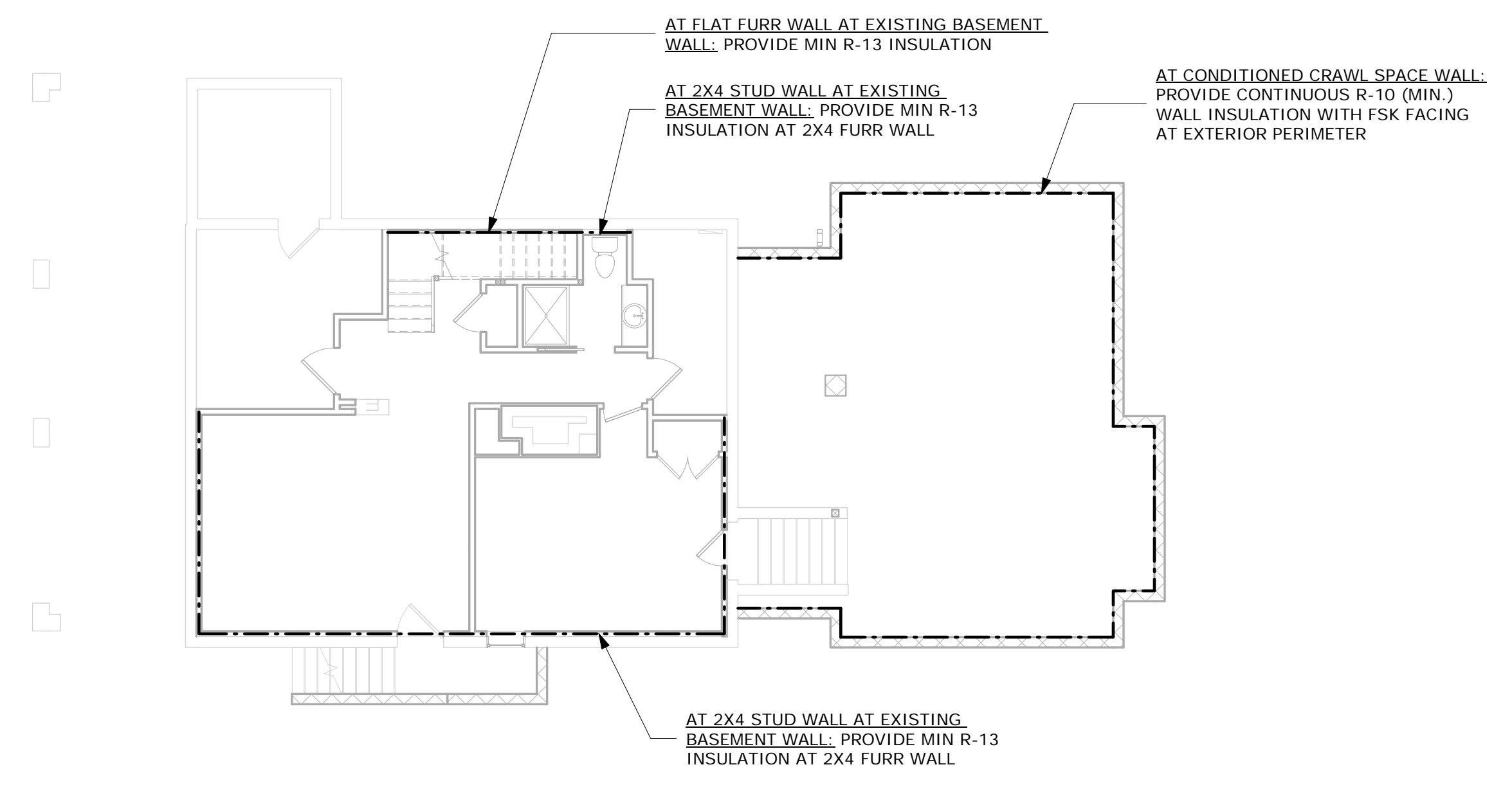
④ Third Floor Thermal Envelope Plan  
1/8" = 1'-0"



② First Floor Thermal Envelope Plan  
1/8" = 1'-0"



③ Second Floor Thermal Envelope Plan  
1/8" = 1'-0"



① Basement Thermal Envelope Plan  
1/8" = 1'-0"

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Montgomery County  
Historic Preservation Commission

*[Signature]*

**REVIEWED**  
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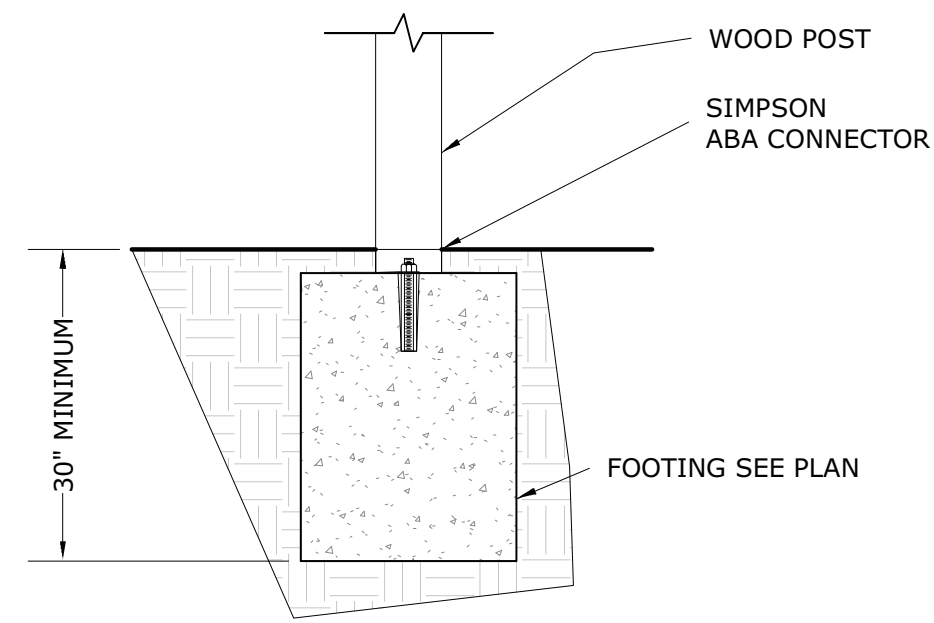
**Revision Schedule**

No.	Description	Date

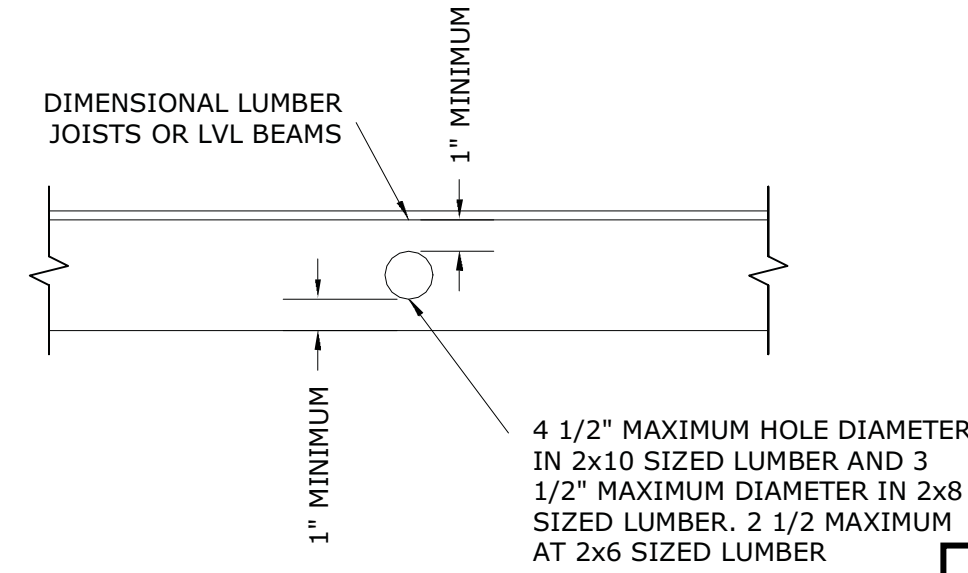
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Checked by: MM  
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Sheet Name:

## Thermal and Energy Plans

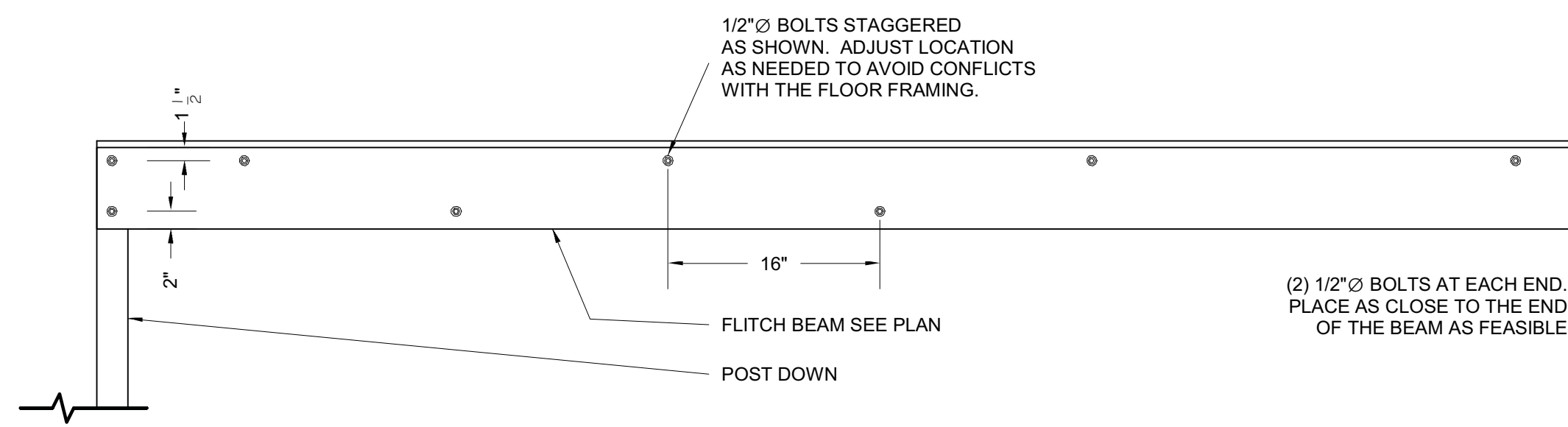
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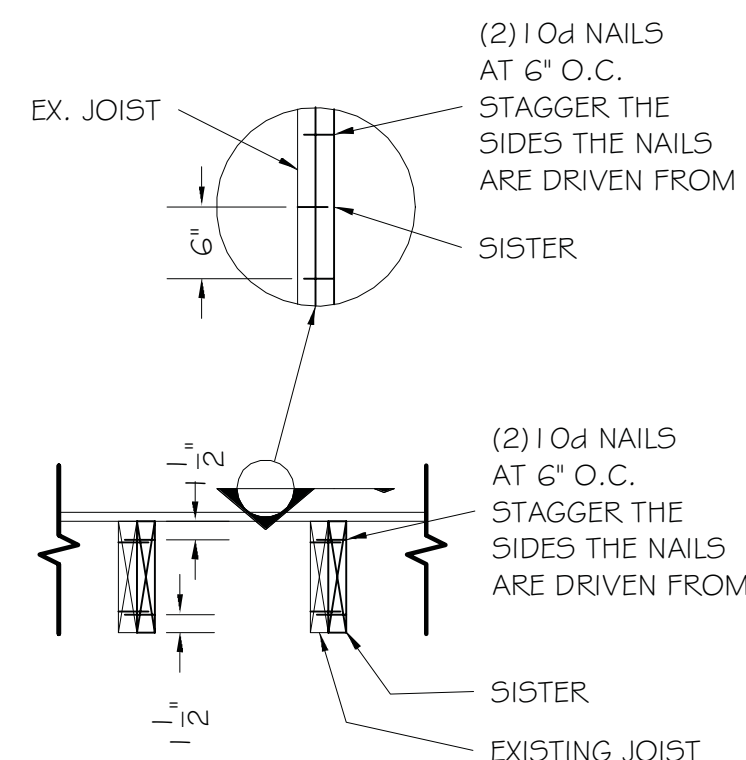
4 Typical Deck Post to Footing Detail  
3/4" = 1'-0"



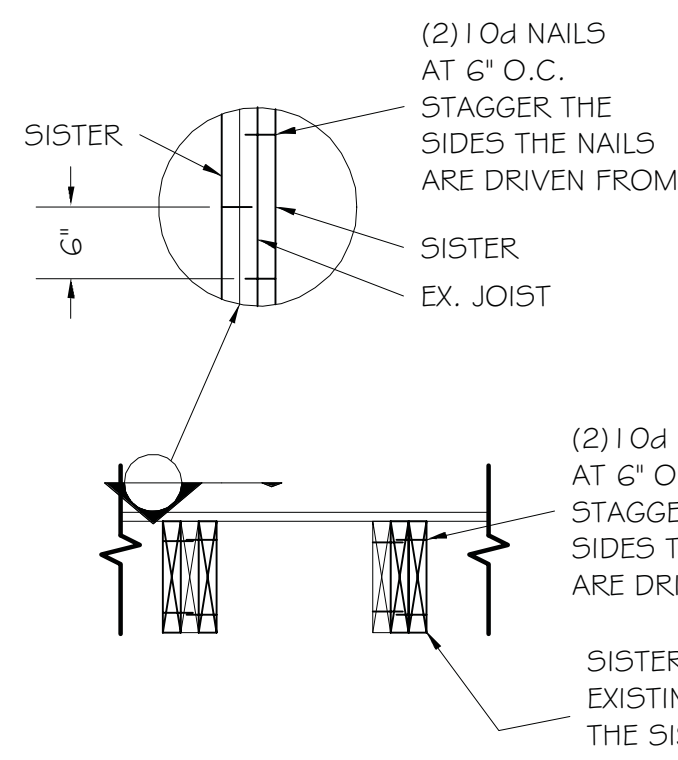
5 Typical Detail at Floor Joist Holes  
3/4" = 1'-0"



3 Typical Fitchbeam Framing Elevation  
3/4" = 1'-0"

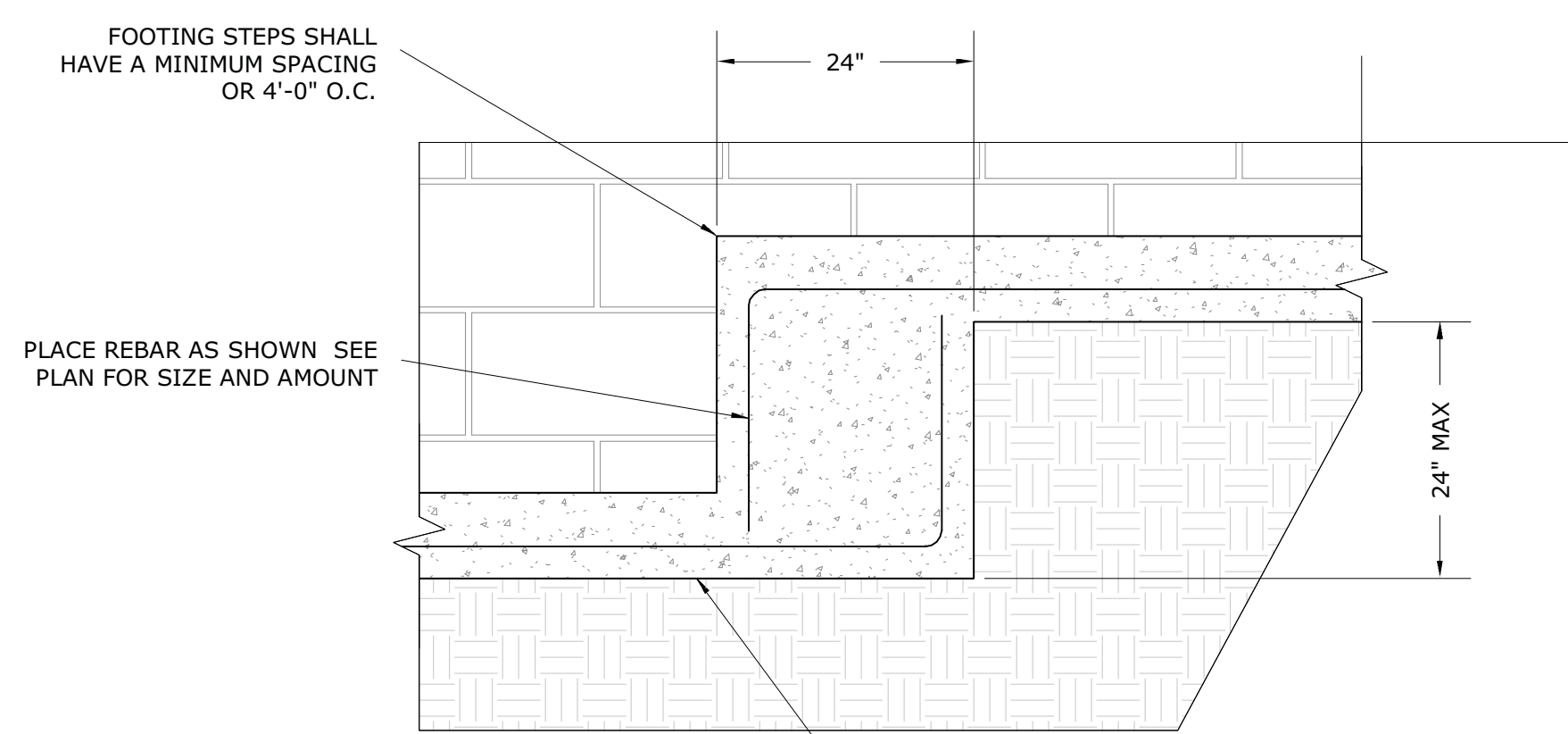


@Single Sister



@Double Sister

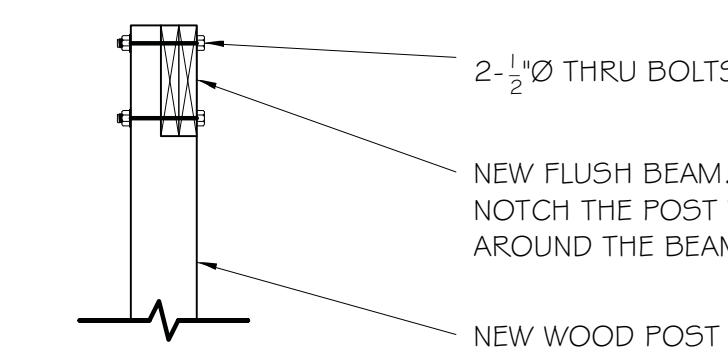
2 Typical Joist Sisting Details  
3/4" = 1'-0"



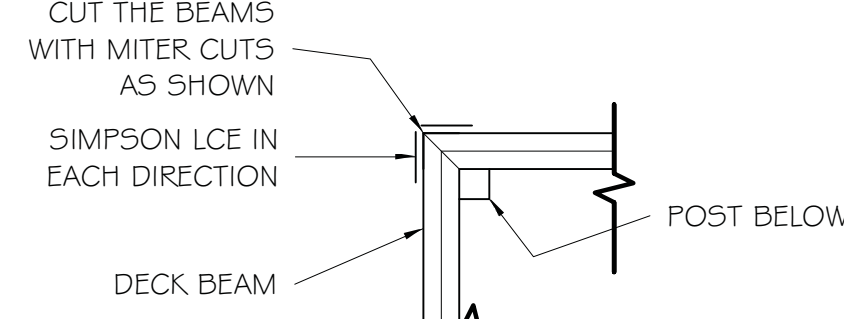
1 Typical Footing Step Detail  
3/4" = 1'-0"



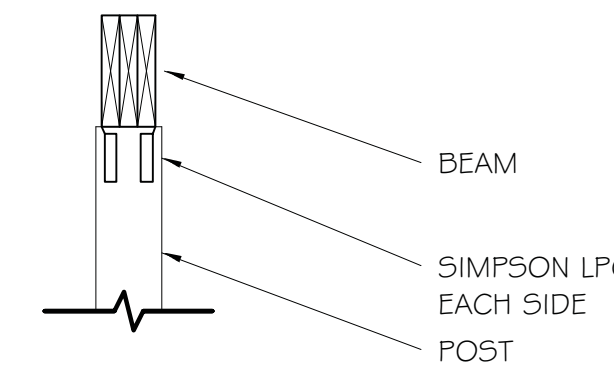
REVIEWED  
By Dan.Bruechert at 12:08 pm, Jul 21, 2021



@ Notched

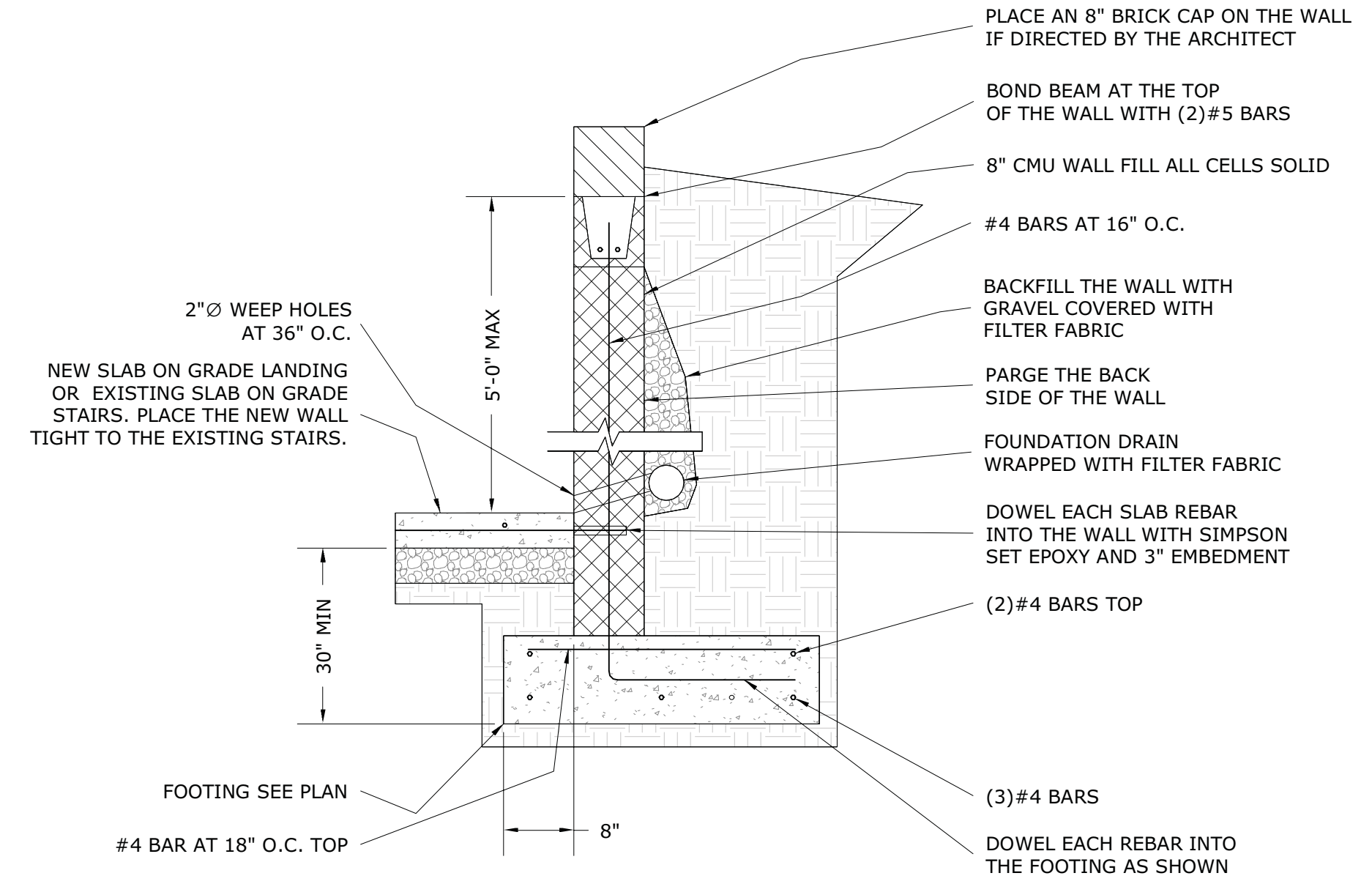


@ Corners

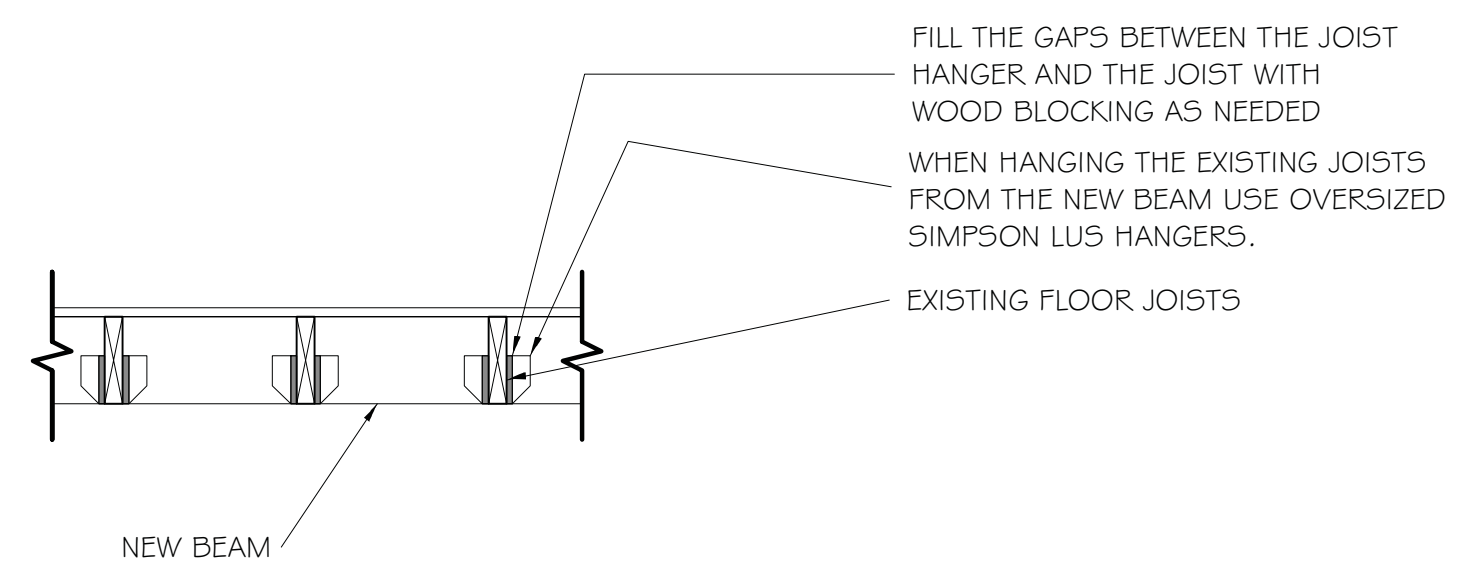


@ Simpson LPC Connectors

6 Typical Wood Post to Beam Details  
3/4" = 1'-0"



8 Detail at Keynote  
3/4" = 1'-0"



7 Typical Ex. Original Joist to New Beam Detail  
3/4" = 1'-0"

STRUCTURAL NOTES

- Structural Notes**
- All work and materials to comply with the requirements of the 2018 IBC and IRC codes as revised by Montgomery County. Codes: the following design standards are applicable by reference: TMS 402-2016 Build Code Requirements for Masonry Structures. AWC NDS - 2018 - Wood Frame Construction Manual for One and Two Family Dwellings. ACI 318-14 Building Code Requirements for Reinforced Concrete. AISC - 360-16 Specifications for Steel Buildings.
  - Foundations: footings, underpinning and slab on grades are designed to bear on native soil type SM or SC with an allowable bearing pressure of 2000 psf. A qualified soil-bearing inspector prior to placement of concrete shall verify all bearing values.
  - Structural steel:
    - All structural steel, including detail material shall conform to ASTM A572 Fy = 50ksi, U.N.O.
    - All structural tubing shall conform to ASTM A500, grd.B
    - All steel pipe shall be ASTM A53, type E or S, grade B
    - All welders shop and field, shall be certified. Use E70xx electrodes only.
    - All steel exposed to weather and exterior masonry support shall receive one shop coat of corrosion-inhibiting primer.
    - Detailing, fabrication and erection shall be in accordance with AISC. Adequately brace all steel against lateral loads during erection.
    - All exterior structural steel shall receive rust preventative paint.
    - Connections:
      - All beam connections shall be simple shear connections, U.N.O. Where no reaction is provided, the beam shall be assumed to carry 120 % of the allowable uniform load in Kips for beams laterally supported, as given in the AISC steel construction manual.
      - Except as noted, all fasteners shall be 3/4" diameter ASTM A325 bolts, designed to act in bearing type connections with threads included.
  - Lumber:
    - Lumber shall be SPF #2 with a min. Fb = 875psi Min. Fv = 135psi and min. E = 1,400,000psi.
    - LVL and PSL shall have a min. Fb = 2850psi; Fv = 285psi; E = 2,000,000psi.
    - Floor decking shall be 3/4" APA rated decking. Roof decking shall be 5/8" APA rated decking. Wall sheathing shall be 1/2" APA rated sheathing. Glue and screw the floor decking to the joists.
    - Interior wood walls shall be 2x4 studs at 16" O.C. and exterior walls shall be 2x6 studs at 16" O.C. with a double top plate and single bottom plate. Provide solid blocking at the midheight of each wall and at a minimum of 48" O.C. vertically.
    - Provide double joists under all walls that run parallel to floor framing.
    - Nail all multiple members together per the manufacturer's recommendations and at a minimum use 2-10d nails at 6" O.C. stagger sides that nails are driven from.
    - Provide bridging at center of all joist spans Exceeding 8'-0" and at 1/3 points of all joist spans exceeding 16'-0". Provide solid blocking at all bearing points on top of walls or beams.
    - Provide solid blocking below all wood posts.
    - All posts shall have Simpson Cap and Base Plates typ.
    - All joists shall have Simpson Hangers where applicable.
    - Glue all multiple studs together. Nail together with 2-10d nails at 3" O.C. Stagger the sides of the studs that the nails are driven from.
    - All lumber in contact with masonry or concrete or within in 8" of soil shall be pressure treated. All lumber to conform to IRC R317 and R319 for protection against corrosion and termite damage.
    - All lumber shall be kiln dried. Store lumber on site in such a manner as to prevent the seepage of water into the wood.
    - Wood Lintels shall be as follows:  
Opening ≤ 3'-0" - 2-2x6  
3'-0" < Opening ≤ 5'-0" - 2-2x8  
5'-0" < Opening ≤ 8'-0" - 2-2x10  
Greater than 8'-0" - See plans
  - Fasteners:
    - All prefabricated angles, bearing plates, and joist hangers shall be installed per the manufacturer recommendations.
    - Follow the manufacturer recommendations for setting epoxy bolts.
    - Expansion bolts shall be rawl power studs.
  - Masonry:
    - Masonry construction shall be in conformance with the applicable sections of TMS 402-2016 "Building Code Requirements for Masonry Structures"
    - Concrete masonry units shall be hollow load bearing units (ASTM C90) grade n-1 with a net strength of 2000psi and F'm - 1500psi.
    - All joints to be filled solid with mortar.
    - Mortar to comply with ASTM C270 (type M or S).
    - Provide corrugated masonry ties between brick facia and wood walls or cmu walls at 16" O.C. in each direction.
    - Provide 9ga truss style joint reinforcement @ 16" O.C. vertically.
    - Lintels shall be as follows:  
Opening ≤ 3'-0" - L4x31/2 x1/4 LLV/ 4" of wall  
3'-0" < Opening ≤ 7'-0" - L6x31/2x5/16 LLV/ 4" of wall.  
Opening > 7'-0" - See Plan
  - Cast in place concrete:
    - Concrete construction shall be in conformance with the applicable sections of ACI 318-14, "Part 3 - Construction Requirements."
    - Concrete shall have a minimum compressive strength at 28 days of 3000psi, UNO (unless noted otherwise).
    - All concrete shall be placed with a slump of 4" (± 1/2")
    - All concrete shall be normal weight, UNO.
    - All concrete exposed to weather shall have 6% ±1% entrained air.
    - Contractor shall pour extra concrete to account for the deflection of the formwork to provide a flat finished surface.
    - Concrete cover for reinforcement shall be:  
Columns and beams 1 1/2"  
Slabs 3/4"  
Footings 3"
  - Reinforcement:
    - Reinforcing bars shall be deformed bars conforming to ASTM A615, grade 60 (Fy = 60ksi)
    - Welded wire fabric (wwf) shall conform to ASTM a185. Lap edges of wire fabric at least 6" in each direction.
  - Dimensions: The contractor shall field verify all dimensions prior to fabrication of structural components.
  - Coordination: The contractor shall coordinate all sleeves, duct openings and holes between trades. Any conduits or pipes embedded in concrete must be in accordance with ACI 318-14, chapter 6. Where sleeves are closely spaced in a group, the group shall be treated as an opening and reinforced accordingly. Submit drawings showing all opening sizes and locations for the approval by the structural engineer.
- Dead Loads:**
- |                    |         |
|--------------------|---------|
| SPF # 2 -          | 25 PCF  |
| 1/2" Decking -     | 1.7 PSF |
| 3/4" Decking -     | 2.5 PSF |
| Asphalt Shingles - | 2.5 PSF |
| Slate Shingles -   | 15 PSF  |
| 1/2" Drywall -     | 2.2 PSF |
| Insulation -       | 1.5 PSF |
| Siding -           | 2.0 PSF |
| CMU -              | 87 PCF  |
| Brick -            | 130 PCF |
- LIVE LOADS:**
- |          |       |
|----------|-------|
| DECK:    | 40PSF |
| ATTIC:   | 20PSF |
| FLOOR:   | 40PSF |
| BALCONY: | 60PSF |
| BEDROOM: | 40PSF |
| ROOF:    | 30PSF |
- WIND SPEED: Vult = 115mph; Vassd = 89mph  
WIND LOAD IMPORTANCE FACTOR: 1.0  
WIND EXPOSURE FACTOR: B  
WIND DESIGN PRESSURE: 11PSF
- SNOW LOADS:**
- |                             |       |
|-----------------------------|-------|
| GROUND SNOW LOAD (PG):      | 30PSF |
| FLAT ROOF SNOW LOAD(PF):    | 30PSF |
| SNOW EXPOSURE FACTOR (CE):  | 0.9   |
| SNOW IMPORTANCE FACTOR (I): | 1.0   |
- Deflection Limitations:**
- |   |       |
|---|-------|
| Rafters:  | L/240 |
| Interior Walls and Partitions:                  | H/180 |
| Floors and Plastered Ceilings:                  | L/360 |
| All Other Structural Members:                   | L/240 |
| Ext. Walls with plaster or stucco finishes:     | L/360 |
| Ext. Walls - Wind Loads with Brittle Finishes:  | L/240 |
| Ext. walls - Wind Loads with Flexible Finishes: | L/120 |
- SEISMIC DESIGN DATA:**
- |                                       |                      |
|---------------------------------------|----------------------|
| SEISMIC IMPORTANCE FACTOR (Ie):       | 1.0                  |
| SPECTRAL RESPONSE ACCELERATIONS (Ss): | 20.0%                |
| (S1):                                 | 8.0%                 |
| SPECTRAL RESPONSE COEFFICIENTS (Sds): |                      |
| (Sd1):                                | 33%                  |
| (Sd2):                                | 18.7%                |
| (Sd3):                                | B                    |
| SEISMIC DESIGN CATEGORY:              | B                    |
| SEISMIC SITE CLASSIFICATION:          | D                    |
| SEISMIC COEFFICIENT (Cs):             | 0.05                 |
| SEISMIC MODIFICATION FACTOR (R):      | 6.5                  |
| BASE SHEAR:                           | 2.8K                 |
| ANALYSIS PROCEDURE:                   | EQUIV. LATERAL FORCE |
| BASIC SFRS:                           | LIGHT FRAMED WALLS   |

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Bethesda, MD 20814  
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Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 25427, Expiration Date: 7/17/22.

# Renovation and Addition

7315 Brookville Road  
Chevy Chase, MD 20815

Project Number: 20-043  
Client Name: Lacy Rice  
Project Status:  
 As Built Conditions  
 Preliminary Design  
 Design Development  
 Permit Submission  
 Construction Documents  
 Construction Administration  
 Bid Set

Drawing Issue Date: 5-25-2021

Client Approval:  
Signature: \_\_\_\_\_  
Date: \_\_\_\_\_

Revision Schedule		
No.	Description	Date

Drawn by: AP  
Checked by: APAC  
Scale: As indicated  
Sheet Name:

## Structural Notes and Details

Sheet Number:

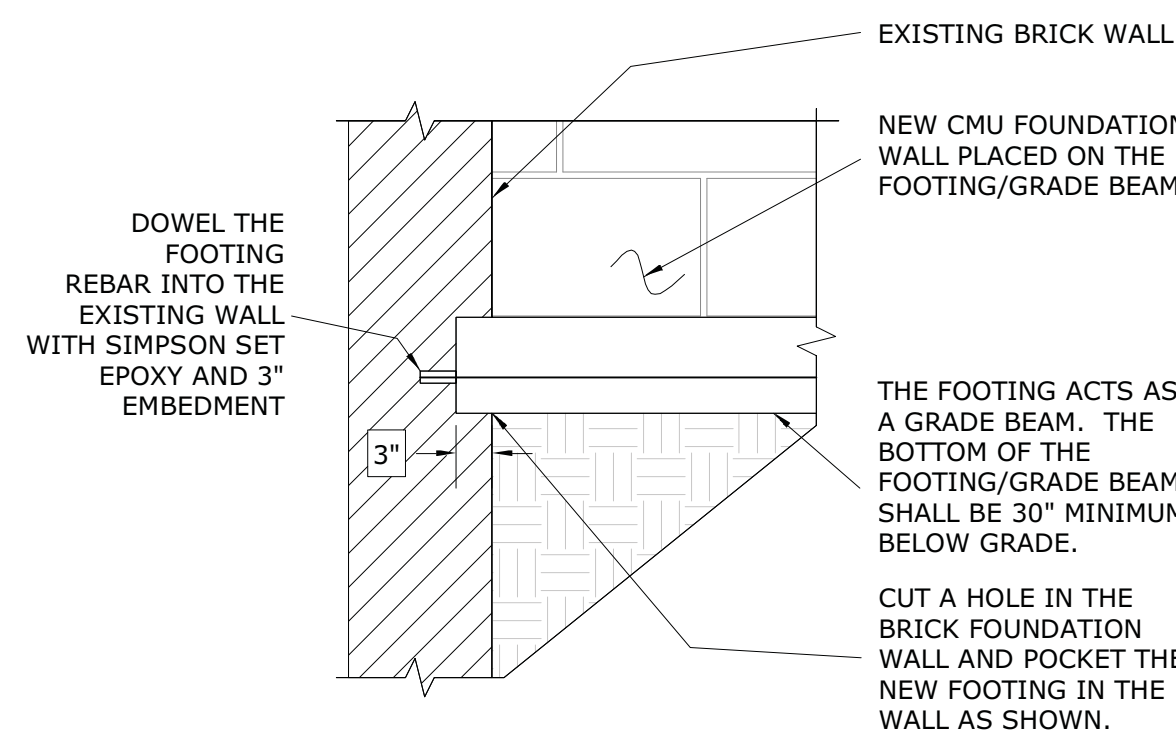
# S100

**FRAMING NOTES**

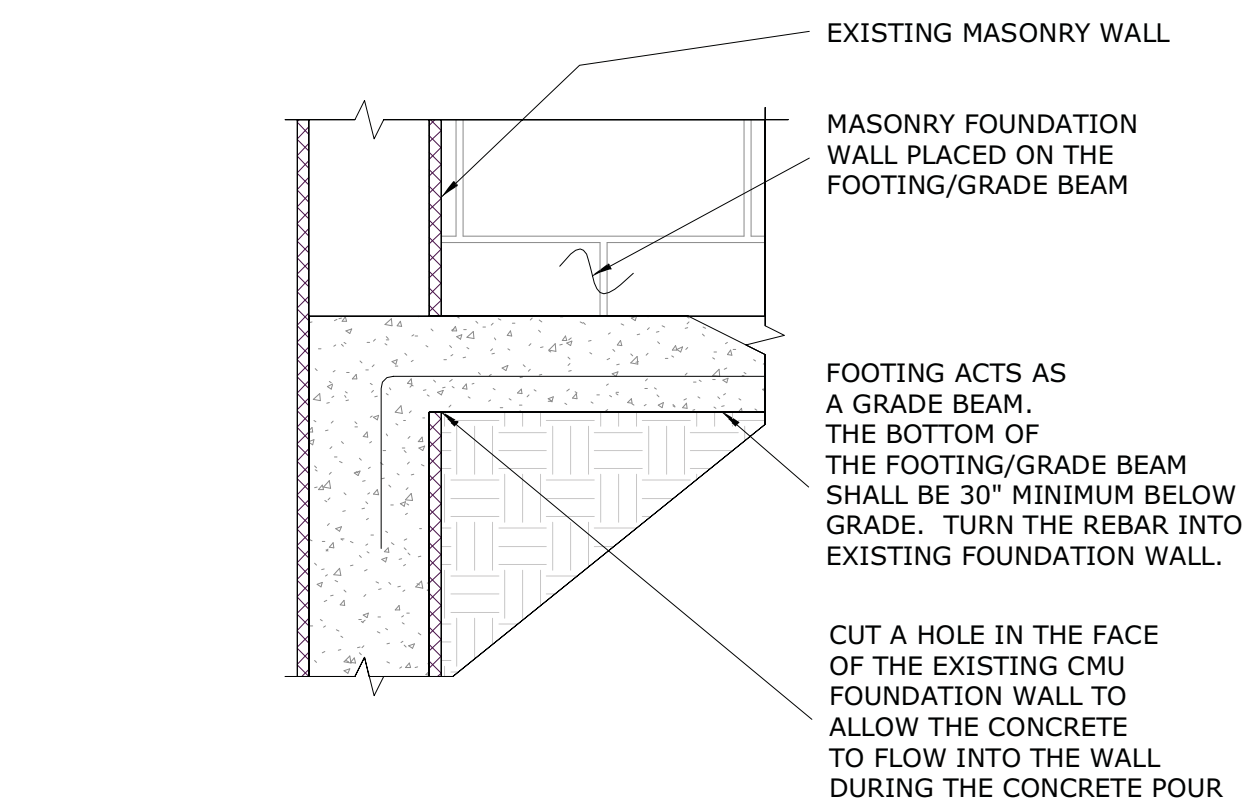
- THE BOTTOM OF ALL FOOTINGS SHALL BE 30" MINIMUM BELOW GRADE.
- ALL HEADERS ARE ASSUMED TO BE SUPPORTED BY A DOUBLE JACK AND SINGLE KING STUD, UNLESS NOTED OTHERWISE.
- PROVIDE SQUASH BLOCKING AS NEEDED BELOW ALL POSTS, COLUMNS, AND MULTIPLE STUDS.
- ATTACH ALL QUADRUPLE AND QUINTUPLE BEAMS TOGETHER WITH 2 ROWS OF 1/2" Ø BOLTS AT 16" O.C.
- EPOXY BOLTS SHALL BE SIMPSON "SET". FOLLOW MANUFACTURERS INSTRUCTIONS FOR INSTALLATION AND THE INSTRUCTIONS OF ESR 1772. EPOXY BOLTS SHALL HAVE 6" EMBEDMENT WITH SCREEN TUBES WHEN PLACED IN HOLLOW MASONRY UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL PROVIDE TEMPORARY SHORING DURING CONSTRUCTION AS NEEDED FOR THE EXISTING STRUCTURAL ELEMENTS THAT WILL REMAIN.
- ALL STEEL ANGLE LINTELS SHALL BE LONG LEG VERTICAL (LLV).
- ALL NAILS USED FOR EXTERIOR APPLICATIONS SHALL BE RING SHANK NAILS.
- ALL NAILS, HANGERS, BOLTS, AND SCREWS EXPOSED TO THE EXTERIOR SHALL BE GALVANIZED.
- ALL LUMBER EXPOSED TO EXTERIOR CONDITIONS SHALL BE TREATED SOUTHERN PINE #2.
- ALL SLAB ON GRADE CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 4500 PSI WITH 6%±1% AIR ENTRAINMENT.
- WHEN ATTACHING EXISTING JOISTS TO FLUSH BEAMS USE OVERSIZED SIMPSON LUS HANGERS. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE JOIST AND HANGER.
- THE CONTRACTOR SHALL SURVEY ALL EXPOSED MASONRY IN THE HOME AND POINT ANY DETERIORATED JOINT THAT IS DISCOVERED AND REPLACE ANY DETERIORATED BRICKS OR BLOCKS.
- TYPICAL JOIST HANGER SHALL BE A SIMPSON IUS OR SIMPSON LUS HANGER.
- TYPICAL RAFTER TO RIDGE HANGER SHALL BE A SIMPSON LSU.
- TYPICAL RAFTER TO FLUSH BEAM HANGER SHALL BE A SIMPSON L70 ON EACH SIDE OF THE RAFTER.
- TYPICAL POST TO BEAM CONNECTOR SHALL BE A SIMPSON LPC ON EACH SIDE.
- TYPICAL POST TO FLOOR PLATE CONNECTOR SHALL BE A SIMPSON L30 ON EACH SIDE OF THE POST.
- TYPICAL STRINGER TO FRAMING CONNECTOR SHALL BE A SIMPSON MTS15 ON EACH SIDE.
- TYPICAL DIMENSIONAL BEAM TO BEAM HANGER SHALL BE A SIMPSON HU MAX.
- TYPICAL LVL TO LVL BEAM HANGER SHALL BE A SIMPSON HHUS.
- TYPICAL FLITCH BEAM HANGER SHALL BE AN OVERSIZED SIMPSON HHUS HANGER. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE FLITCH BEAM AND THE HANGER.
- SEE THE MONTGOMERY COUNTY TYPICAL DECK DETAILS FOR ITEMS NOT SHOWN ON THESE PLANS SUCH AS GUARDRAILS, STAIRS, LEDGER BOARD ATTACHMENTS ETC . . .
- USE TYPE "N" LIME BASED MORTAR FOR EXTERIOR BRICK WALL APPLICATIONS. USE CLAY BRICKS THAT MATCH THE STRENGTH AND POROSITY OF THE EXISTING WALL.
- PLACE A DOUBLE JOISTS BELOW ALL WALLS THAT RUN PARALLEL TO THE FLOOR FRAMING. ALTERNATE: PLACE BLOCKING BETWEEN THE ADJACENT JOISTS BELOW THE WALL AT 16" O.C.
- ADD BLOCKING TO THE WEB OF THE ENGINEERED JOISTS AS NEEDED WHEN USING HURRICANE TIES OR JOIST HANGERS.

**FOUNDATION NOTES**

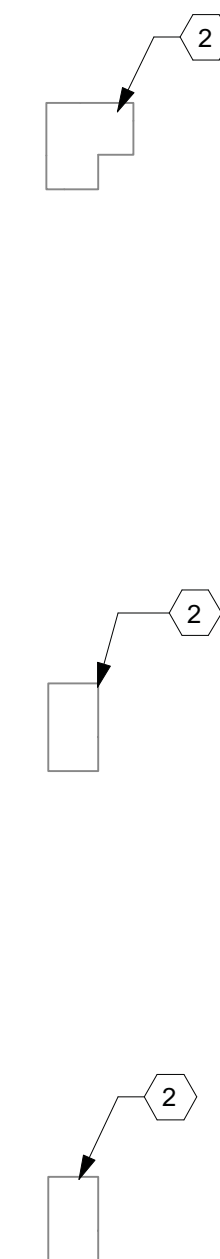
- EXISTING FOUNDATION WALL AND FOOTING.
- EXISTING MASONRY PIER AND FOOTING.
- 8" CMU WALL ON A 36x10 FOOTING WITH (2)#4 BARS TOP AND (3)#4 BARS BOTTOM. REINFORCE THE WALL WITH #4 BARS AT 16" O.C. FILL ALL CELLS SOLID IN THE WALL. DOWEL EACH WALL REBAR INTO THE FOOTING. PLACE AN 8" BOND BEAM AT THE TOP OF THE WALL REINFORCED WITH (2)#5 BARS.
- PLACE A 4" CONCRETE SLAB ON 4" GRAVEL IN THE WELL REINFORCED WITH #3 BARS AT 15" O.C. IN EACH DIRECTION. SLOPE THE SLAB TO A DRAIN IN THE CENTER CONNECTED TO THE EXISTING DRAINAGE SYSTEM. PLACE THE SLAB ON 2" RIGID INSULATION TO PROVIDE FROST PROTECTION FOR THE EXISTING FOOTING.
- 4"Ø PERFORATED FOUNDATION DRAIN WRAPPED WITH FILTER FABRIC. PLACE THE EXTERIOR DRAIN IN GRAVEL COVERED WITH FILTER FABRIC. EXIT THE DRAIN TO A SUMP PUMP.
- 12" LONG #4 BAR DOWELS BETWEEN THE NEW SLAB AND THE EXISTING SLAB AT 18" O.C. WITH 3" EMBEDMENT IN THE EXISTING SLAB WITH SIMPSON SET-XP EPOXY. PLACE A CONTROL JOINT BETWEEN THE NEW AND EXISTING SLAB.
- TURN THE NEW SLAB DOWN TO THE EXISTING FOOTING.
- 8" CMU WALL #4 BARS AT 32" O.C. FILL ALL THE CELLS SOLID IN THE WALL. PLACE THE WALL ON A 24x10 FOOTING WITH (3)#4 BARS. DOWEL EACH REBAR INTO THE FOOTING.
- THE BOTTOM OF THE FOOTING SHALL MATCH THE BOTTOM OF THE EXISTING FOOTING. EPOXY DOWEL THE FOOTING REBAR INTO THE EXISTING FOOTING WITH SIMPSON SET-XP EPOXY AND 6" EMBEDMENT.
- PT4x4 UP ON A 16"Ø FOOTING. ATTACH THE POST TO THE FOOTING WITH A SIMPSON ABA44. THE TOP OF THE FOOTING SHALL BE 1" BELOW GRADE.
- PT6x6 UP ON A 24"Ø FOOTING. ATTACH THE POST TO THE FOOTING WITH A SIMPSON ABA66. THE TOP OF THE FOOTING SHALL BE 1" BELOW GRADE.
- PLACE THE STAIRS ON FOOTINGS OR PER THE MONTGOMERY COUNTY TYPICAL DECK DETAILS.
- PLACE THE NEW FOOTING BELOW THE EXISTING FOOTING PER THE STRUCTURAL DETAIL.
- 16x16 CMU PIER ON A 42x42x10 FOOTING WITH (4)#4 BARS IN EACH DIRECTION. FILL ALL CELLS SOLID IN THE PIER.
- PLACE A 42x42x10 FOOTING WITH (4)#4 BARS IN EACH DIRECTION BELOW THE EXISTING FOOTING. PLACE N-S GROUT BETWEEN THE NEW FOOTING AND THE EXISTING FOOTING.
- PLACE A 6 MIL POLY VAPOR BARRIER ON 4" GRAVEL IN THE CRAWL SPACE. SEE THE ARCHITECTURAL DRAWINGS FOR INSULATION REQUIREMENTS.
- FOOTING STEP PER THE TYPICAL DETAIL.
- THE FOOTING ACTS AS A GRADE BEAM NEXT TO THE EXISTING FOUNDATION WALL. POCKET THE FOOTING IN THE EXISTING WALL PER THE STRUCTURAL DETAIL.
- ATTACH THE NEW CMU WALL TO THE EXISTING WALL WITH METAL TIES AT 16" O.C. CAULK THE JOINT BETWEEN THE NEW CMU WALL AND THE EXISTING WALL WITH WATERSTOP RX BY CETCO. WHEN APPLICABLE TOOTH THE NEW BRICK INTO THE EXISTING WALL. WHEN APPLICABLE DOWEL THE BOND BEAM REBAR INTO THE EXISTING WALL WITH SIMPSON SET EPOXY AND 3" EMBEDMENT.
- THE BOTTOM OF THE FOOTING SHALL MATCH THE ELEVATION OF THE EXISTING BASEMENT SLAB.
- REINFORCE THE EXISTING FOUNDATION WALL WITH STEEL PLATES PER THE STRUCTURAL DETAIL.
- EXISTING CHIMNEY AND FOOTING.
- 4x4 PSL POST ON A 20"Øx10" THICK FOOTING. ATTACH THE POST TO THE FOOTING WITH A SIMPSON ABA44.



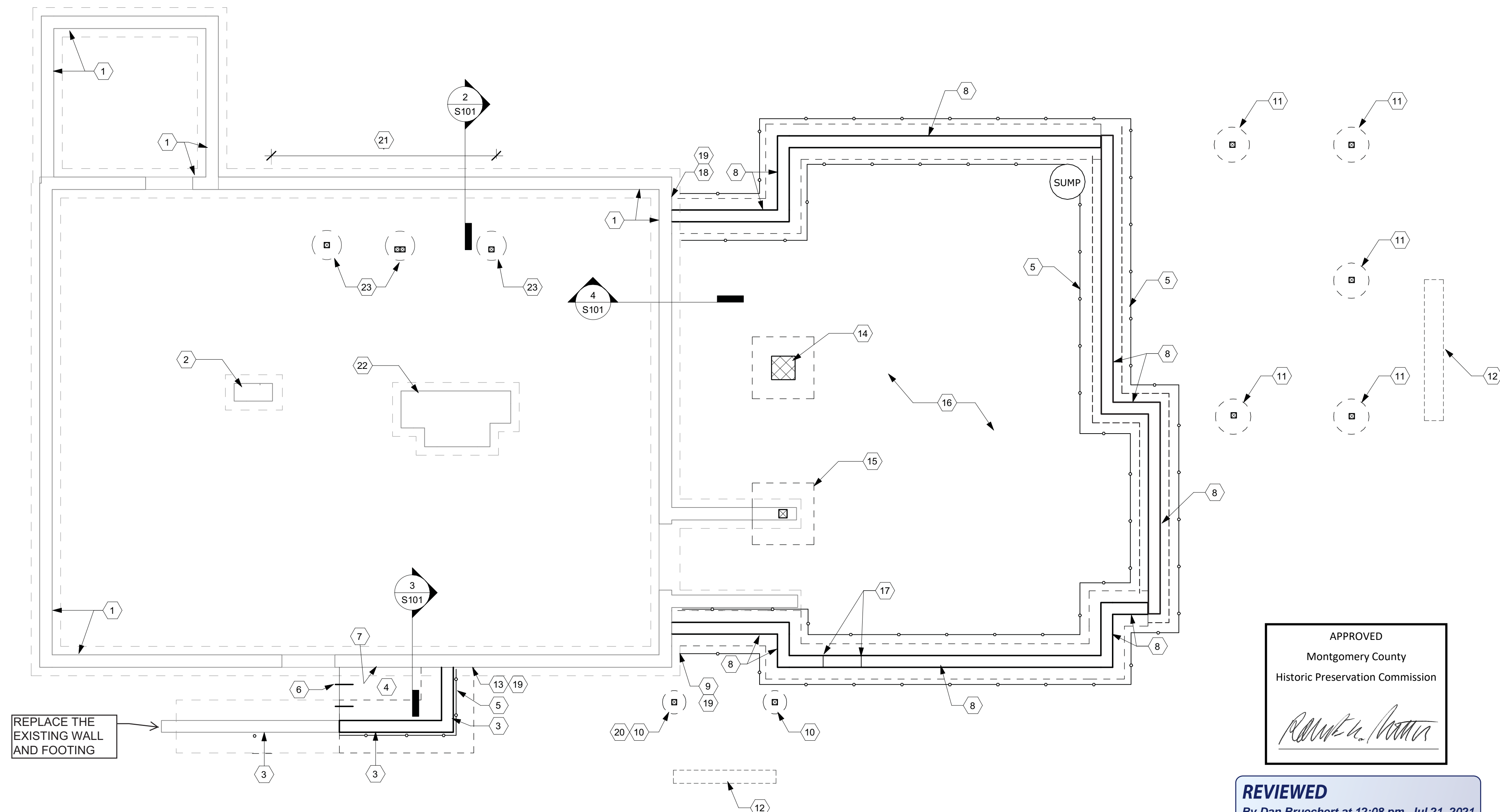
5 @Brick Foundation Walls  
3/4" = 1'-0"



4 Structural Section 2  
3/4" = 1'-0"



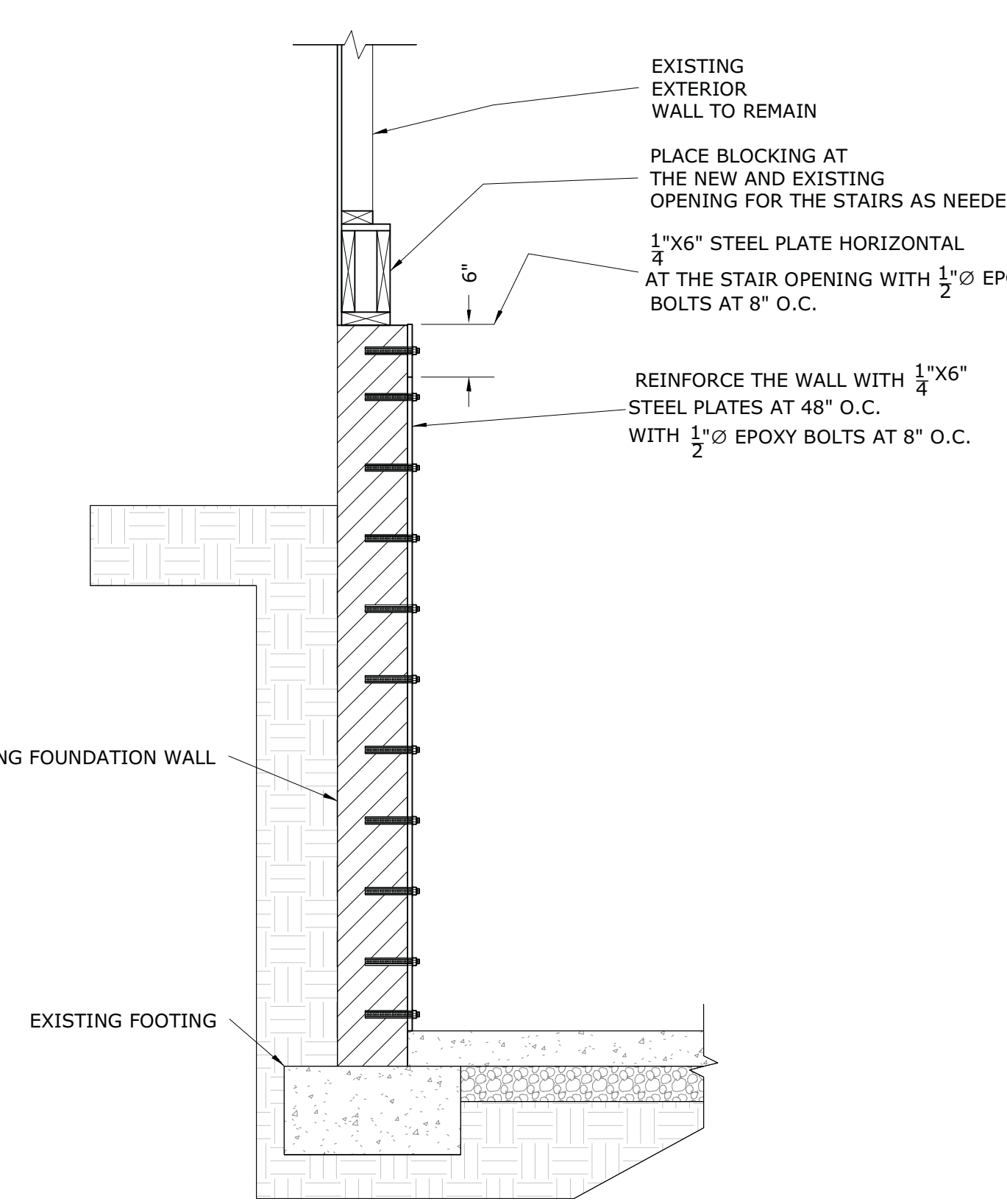
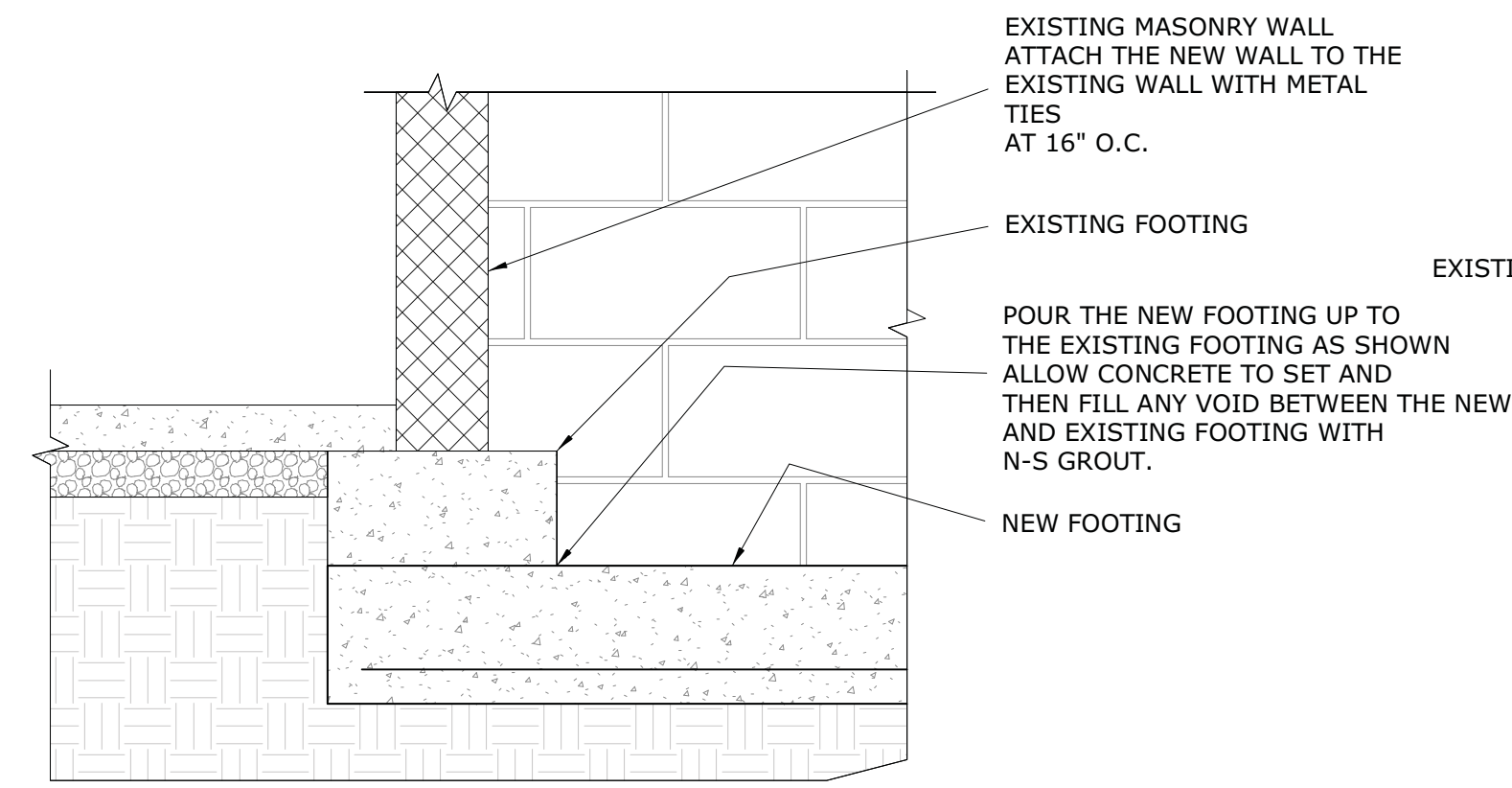
1 Foundation Plan  
1/4" = 1'-0"



3 Structural Section 1  
3/4" = 1'-0"

2 Structural Section 3  
3/4" = 1'-0"

MONTGOMERY COUNTY DIGITAL STAMP AREA



APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]*

REVIEWED  
By Dan.Bruechert at 12:08 pm, Jul 21, 2021

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Bethesda, MD 20814  
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Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 25427. Expiration Date: 7/17/22.

# Renovation and Addition

7315 Brookville Road  
Chevy Chase, MD 20815

Project Number: 20-043  
Client Name: Lucy Rice  
Project Status:  
 As Built Conditions  
 Preliminary Design  
 Design Development  
 Permit Submission  
 Construction Documents  
 Construction Administration  
 Other

Drawing Issue Date: 5-25-2021

Client Approval:  
Signature: \_\_\_\_\_  
Date: \_\_\_\_\_

Revision Schedule		
No.	Description	Date

Drawn by: AP  
Checked by: APAC  
Scale: As indicated  
Sheet Name: Structural Plans

Sheet Number: **S101**



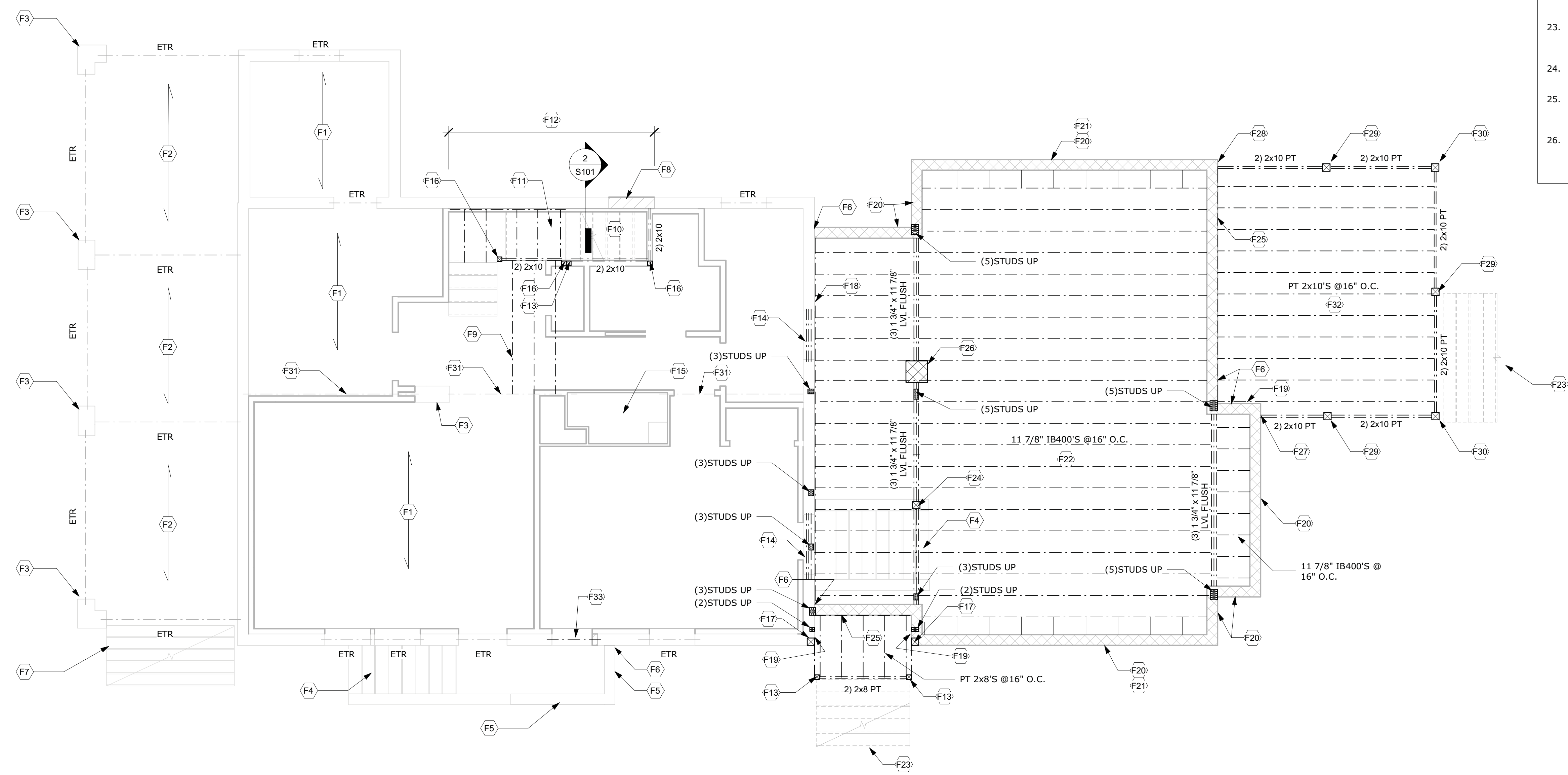
**FIRST FLOOR FRAMING NOTES**

- (F1) EXISTING 1ST FLOOR FRAMING. SISTER ANY DAMAGED JOIST THAT IS FOUND WITH A 2x10 OR A DOUBLE 2x8.
- (F2) EXISTING PORCH FRAMING UNCHANGED.
- (F3) EXISTING MASONRY PIER.
- (F4) EXISTING SLAB ON GRADE STAIRS.
- (F5) NEW AREAWAY WALL BELOW.
- (F6) ATTACH THE NEW CMU WALL TO THE EXISTING WALL WITH METAL TIES AT 16" O.C. WHERE APPLICABLE TOOTH THE NEW BRICK INTO THE EXISTING WALL. CAULK THE JOINT BETWEEN THE NEW CMU WALL AND THE EXISTING WALL WITH WATERSTOP RX BY CETCO. DOWEL THE BOND BEAM REBAR INTO THE EXISTING WALL WITH SIMPSON SET EPOXY AND 3" EMBEDMENT.
- (F7) EXISTING PORCH STAIRS TO REMAIN.
- (F8) INFILL THE EXISTING WALL WITH AN 8" BRICK WALL. BOND THE BRICK TOGETHER WITH ROW LOCK COURSES THAT MATCH THE EXISTING HOME. TOOTH THE NEW BRICK INTO THE EXISTING WALL.
- (F9) INFILL THE FLOOR OPENING WITH 2x10'S AT 16" O.C.
- (F10) BUILD THE STAIRS ON THE BASEMENT SLAB.
- (F11) FRAME THE LANDING WITH 2x8'S AT 16" O.C. PROVIDE A PT2x8 LEDGER AT THE SIDE WALL 1/2"Ø EPOXY BOLTS AT 16" O.C. TOP AND BOTTOM STAGGERED. ATTACH EACH JOIST TO THE LEDGER WITH A SIMPSON LUS HANGER. PROVIDE A 2x8 LEDGER AT THE WALL IN THE BASEMENT. ATTACH THE LEDGER TO EACH STUD WITH (2) LEDGERLOK SCREWS. ATTACH EACH JOIST TO THE LEDGER WITH A SIMPSON LUS HANGER.
- (F12) REINFORCE THE EXISTING FOUNDATION WALL WITH STEEL PLATES PER THE STRUCTURAL DETAIL.
- (F13) PT4x4 POST DOWN. ATTACH THE POST TO DECK FRAMING WITH A SIMPSON LCE IN EACH DIRECTION.
- (F14) (3) 1 3/4" x 9 1/2" FLUSH LVL HEADER.
- (F15) EXISTING STRUCTURAL CHIMNEY.
- (F16) 4x4 PSL POST DOWN. ATTACH THE POST TO THE BEAM WITH A SIMPSON LPC4 ON EACH SIDE OF THE BEAM.
- (F17) 6x6 PSL POST UP FOR THE BRACKET. ATTACH THE POST TO THE WALL PLATE WITH A SIMPSON L50 ON EACH SIDE OF THE POST.
- (F18) 2x12 LEDGER FOR THE JOISTS WITH (2) LEDGERLOK SCREWS AT 16" O.C. OR AT EACH STUD. ATTACH EACH JOIST TO THE LEDGER WITH A SIMPSON IUS HANGER.
- (F19) PT2x8 CLEAT (2) LEDGERLOK SCREWS AT 16" O.C. PLACE FLASHING PER THE MONTGOMERY COUNTY TYPICAL DECK DETAILS.
- (F20) PT2x6 SILL PLATE WITH 1/2"Ø EPOXY BOLTS AT 48" O.C. WITH 7" EMBEDMENT.
- (F21) PLACE SOLID BLOCKING AT 24" O.C. IN THE 1ST BAY.
- (F22) PLACE SOLID BLOCKING BETWEEN THE JOISTS AT THE 1/3 POINTS OF THE SPAN.
- (F23) NOT USED.
- (F24) PLACE A PT6x6 POST BETWEEN THE BEAM AND THE EXISTING WALL BELOW. FILL ALL CELLS SOLID IN THE WALL BELOW THE POST. ATTACH THE POST TO THE BEAM WITH A SIMPSON LPC6 ON EACH SIDE OF THE BEAM. ATTACH THE POST TO THE WALL WITH A SIMPSON ABA66.
- (F25) PT2x8 LEDGER FOR THE JOISTS WITH TWO LEDGERLOK SCREWS AT 16" O.C. ATTACH EACH JOIST TO THE LEDGER WITH A SIMPSON LUS HANGER. PLACE FLASHING PER THE MONTGOMERY COUNTY TYPICAL DECK DETAILS.
- (F26) 16x16 CMU PIER. ATTACH EACH BEAM TO THE PIER WITH A SIMPSON ABA66. FILL ALL CELLS SOLID IN THE PIER. IF THE BEAM IS CONTINUOUS PROVIDE TWO SIMPSON ABA CONNECTORS FOR THE BEAM.
- (F27) PROVIDE A PT2x8 LEDGER FOR THE DECKING WITH (4) LEDGERLOK SCREWS. ATTACH THE BEAM TO THE LEDGER WITH A SIMPSON HUC CONCEALED FLANGE HANGER. PLACE FLASHING PER THE MONTGOMERY COUNTY TYPICAL DECK DETAILS.
- (F28) HANG THE BEAM FROM THE LEDGER WITH A SIMPSON HUC CONCEALED FLANGE HANGER.
- (F29) PT6x6 POST DOWN. NOTCH THE POST AND ATTACH IT TO THE BEAM WITH TWO 1/2"Ø BOLTS. PT6x6 POST UP. ATTACH THE POST ABOVE TO THE POST BELOW WITH A SIMPSON LSTA12 ON EACH SIDE OF THE POST. ATTACH THE POST ABOVE TO THE BEAM BELOW WITH A SIMPSON L30 ON EACH SIDE OF THE POST.
- (F30) PT6x6 POST UP AND DOWN. ATTACH THE POST TO EACH BEAM WITH A SIMPSON LCE IN EACH DIRECTION.
- (F31) EXISTING BEAM.
- (F32) PLACE BLOCKING BETWEEN THE JOISTS AT THE MID-SPAN.
- (F33) (2) L4 x 3 1/2" x 1/4" STEEL ANGLE LINTEL (DROPPED)

**FRAMING NOTES**

1. THE BOTTOM OF ALL FOOTINGS SHALL BE 30" MINIMUM BELOW GRADE.
2. ALL HEADERS ARE ASSUMED TO BE SUPPORTED BY A DOUBLE JACK AND SINGLE KING STUD, UNLESS NOTED OTHERWISE.
3. PROVIDE SQUASH BLOCKING AS NEEDED BELOW ALL POSTS, COLUMNS, AND MULTIPLE STUDS.
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9. ALL LUMBER EXPOSED TO EXTERIOR CONDITIONS SHALL BE TREATED SOUTHERN PINE #2.
10. ALL SLAB ON GRADE CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 4500 PST WITH 6%±1% AIR ENTRAINMENT.
11. WHEN ATTACHING EXISTING JOISTS TO FLUSH BEAMS USE OVERSIZED SIMPSON LUS HANGERS. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE JOIST AND HANGER.
12. THE CONTRACTOR SHALL SURVEY ALL EXPOSED MASONRY IN THE HOME AND POINT ANY DETERIORATED JOINT THAT IS DISCOVERED AND REPLACE ANY DETERIORATED BRICKS OR BLOCKS.
13. TYPICAL JOIST HANGER SHALL BE A SIMPSON IUS OR SIMPSON LUS HANGER.
14. TYPICAL RAFTER TO RIDGE HANGER SHALL BE A SIMPSON L5J.
15. TYPICAL RAFTER TO FLUSH BEAM HANGER SHALL BE A SIMPSON L70 ON EACH SIDE OF THE RAFTER.
16. TYPICAL POST TO BEAM CONNECTOR SHALL BE A SIMPSON LPC ON EACH SIDE.
17. TYPICAL POST TO FLOOR PLATE CONNECTOR SHALL BE A SIMPSON L30 ON EACH SIDE OF THE POST.
18. TYPICAL STRINGER TO FRAMING CONNECTOR SHALL BE A SIMPSON MTS15 ON EACH SIDE.
19. TYPICAL DIMENSIONAL BEAM TO BEAM HANGER SHALL BE A SIMPSON HHUS.
20. TYPICAL LVL TO LVL BEAM HANGER SHALL BE A SIMPSON HHUS.
21. TYPICAL FLITCH BEAM HANGER SHALL BE AN OVERSIZED SIMPSON HHUS HANGER. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE FLITCH BEAM AND THE HANGER.
22. SEE THE MONTGOMERY COUNTY TYPICAL DECK DETAILS FOR ITEMS NOT SHOWN ON THESE PLANS SUCH AS GUARDRAILS, STAIRS, LEDGER BOARD ATTACHMENTS ETC.
23. USE TYPE "N" LIME BASED MORTAR FOR EXTERIOR BRICK WALL APPLICATIONS. USE CLAY BRICKS THAT MATCH THE STRENGTH AND POROSITY OF THE EXISTING WALL.
24. PLACE A DOUBLE JOISTS BELOW ALL WALLS THAT RUN PARALLEL TO THE FLOOR FRAMING. ALTERNATE: PLACE BLOCKING BETWEEN THE ADJACENT JOISTS BELOW THE WALL AT 16" O.C.
25. ADD BLOCKING TO THE WEB OF THE ENGINEERED JOISTS AS NEEDED WHEN USING HURRICANE TIES OR JOIST HANGERS.

MONTGOMERY COUNTY DIGITAL STAMP AREA



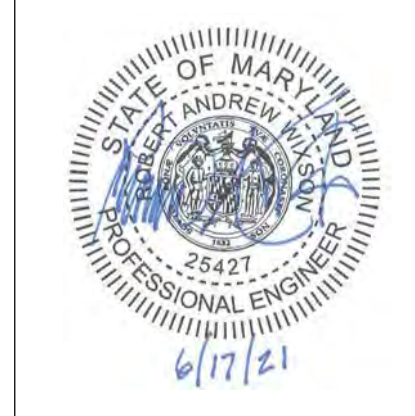
1 First Floor Deck Framing Plan  
1/4" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission

*[Signature]*

**REVIEWED**  
By Dan.Bruechert at 12:09 pm, Jul 21, 2021

**mcdstudio**  
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Revision Schedule		
No.	Description	Date

Drawn by: AP  
Checked by: APAC  
Scale: 1/4" = 1'-0"  
Sheet Name:

**Structural Plans**

Sheet Number:  
**S102**

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APPROVED  
Montgomery County  
Historic Preservation Commission

**REVIEWED**  
By Dan.Bruechert at 12:09 pm, Jul 21, 2021

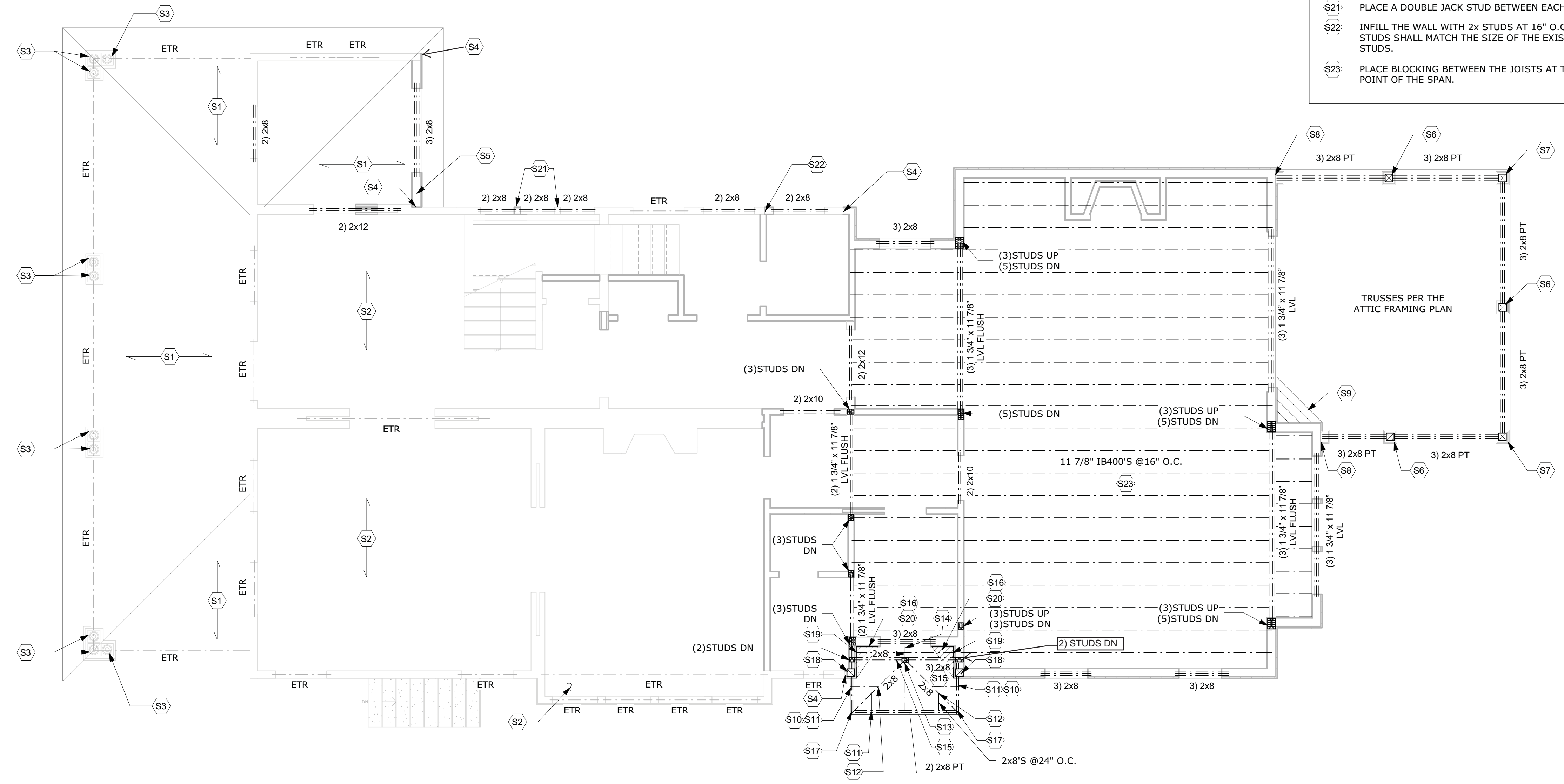
MONTGOMERY COUNTY DIGITAL STAMP AREA

**SECOND FLOOR FRAMING NOTES**

- §1 EXISTING ROOF FRAMING UNCHANGED.
- §2 EXISTING 2ND FLOOR FRAMING TO REMAIN. SISTER DAMAGED JOIST THAT IS FOUND WITH 2x10 OR A DOUBLE 2x8.
- §3 EXISTING POST.
- §4 ATTACH THE 1ST STUD TO THE EXISTING WALL WITH (2)10d NAILS AT 6" O.C.
- §5 INFILL THE WALL WITH 2x6 STUDS AT 16" O.C. SET THE EXISTING RAFTERS ON THE NEW WALL.
- §6 PT6x6 POST DOWN. ATTACH THE POST TO THE BEAM WITH A SIMPSON LPC6 ON BOTH SIDES OF THE BEAM.
- §7 PT6x6 POST DOWN. ATTACH THE POST TO EACH BEAM WITH A SIMPSON LCE IN EACH DIRECTION.
- §8 HANG THE BEAM FROM THE RIM BOARD WITH A SIMPSON HUC CONCEALED FLANGE HANGER. PLACE FLASHING AROUND THE BEAM.
- §9 OVERBUILT CRICKET.
- §10 BRACKET DESIGNED BY THE SUPPLIER. THE BRACKET SHALL HAVE AN ALLOWABLE LOAD OF 750 LBS.
- §11 ATTACH EACH RAFTER TO THE SUPPORTING BEAM OR BRACKET WITH A SIMPSON H2.5A HURRICANE TIE.
- §12 ATTACH EACH RAFTER TO THE HIP WITH (4)10d TOE NAILS.
- §13 PLACE A TRIPLE STUD BETWEEN THE RIDGE AND HIP AND THE BEAM IN THE CEILING.
- §14 HANG THE RIDGE BEAM FROM THE CLEATS WITH A SIMPSON LUS HANGER. NOTCH THE RIDGE AS NEEDED TO FIT IN THE CONNECTOR.
- §15 DOUBLE 2x8 BEAM IN THE CEILING.
- §16 2x8 CLEAT WITH (2)#8 SCREWS AT 6" O.C. EACH SIDE OF THE RIDGE.
- §17 SET THE BEAM ON THE BRACKET. ATTACH THE BEAM TO THE BRACKET WITH A SIMPSON H2.5A HURRICANE TIE ON EACH SIDE OF THE BEAM.
- §18 PLACE A 6x6 PSL POST IN THE WALL BEHIND THE BRACKET. ATTACH THE BRACKET TO THE POST PER THE SUPPLIERS RECOMMENDATIONS. ATTACH THE POST TO THE TOP AND BOTTOM PLATE OF THE WALL WITH A SIMPSON L50 ON EACH SIDE OF THE POST.
- §19 HANG THE RAFTERS AND THE CEILING BEAM AND CEILING JOISTS FROM THE RIM BOARD WITH A SIMPSON LUS HANGER. NOTCH THE RAFTERS AS NEEDED TO FIT IN THE CONNECTOR.
- §20 PROVIDE OVERBUILT CRICKETS AS NEEDED TO SHED WATER.
- §21 PLACE A DOUBLE JACK STUD BETWEEN EACH WINDOW.
- §22 INFILL THE WALL WITH 2x STUDS AT 16" O.C. THE STUDS SHALL MATCH THE SIZE OF THE EXISTING WALL STUDS.
- §23 PLACE BLOCKING BETWEEN THE JOISTS AT THE 1/3 POINT OF THE SPAN.

**FRAMING NOTES**

- 1. THE BOTTOM OF ALL FOOTINGS SHALL BE 30" MINIMUM BELOW GRADE.
- 2. ALL HEADERS ARE ASSUMED TO BE SUPPORTED BY A DOUBLE JACK AND SINGLE KING STUD, UNLESS NOTED OTHERWISE.
- 3. PROVIDE SQUASH BLOCKING AS NEEDED BELOW ALL POSTS, COLUMNS, AND MULTIPLE STUDS.
- 4. ATTACH ALL QUADRUPLE AND QUINTUPLE BEAMS TOGETHER WITH 2 ROWS OF 1/2" Ø BOLTS AT 16" O.C.
- 5. EPOXY BOLTS SHALL BE SIMPSON "SET". FOLLOW MANUFACTURERS INSTRUCTIONS FOR INSTALLATION AND THE INSTRUCTIONS OF ESR 1772. EPOXY BOLTS SHALL HAVE 6" EMBEDMENT WITH SCREEN TUBES WHEN PLACED IN HOLLOW MASONRY UNLESS NOTED OTHERWISE. CONTRACTOR SHALL PROVIDE TEMPORARY SHORING DURING CONSTRUCTION AS NEEDED FOR THE EXISTING STRUCTURAL ELEMENTS THAT WILL REMAIN. ALL STEEL ANGLE LINTELS SHALL BE LONG LEG VERTICAL (LV).
- 6. ALL NAILS USED FOR EXTERIOR APPLICATIONS SHALL BE RING SHANK NAILS.
- 7. ALL NAILS, HANGERS, BOLTS, AND SCREWS EXPOSED TO THE EXTERIOR SHALL BE GALVANIZED.
- 8. ALL LUMBER EXPOSED TO EXTERIOR CONDITIONS SHALL BE TREATED SOUTHERN PINE #2.
- 9. ALL SLAB ON GRADE CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 4500 PSI WITH 6%±1% AIR ENTRAINMENT.
- 10. WHEN ATTACHING EXISTING JOISTS TO FLUSH BEAMS USE OVERSIZED SIMPSON LUS HANGERS. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE JOIST AND HANGER.
- 11. THE CONTRACTOR SHALL SURVEY ALL EXPOSED MASONRY IN THE HOME AND POINT ANY DETERIORATED BRICKS OR BLOCKS.
- 12. TYPICAL JOIST HANGER SHALL BE A SIMPSON IUS OR SIMPSON LUS HANGER.
- 13. TYPICAL RAFTER TO RIDGE HANGER SHALL BE A SIMPSON LSU.
- 14. TYPICAL RAFTER TO FLUSH BEAM HANGER SHALL BE A SIMPSON L70 ON EACH SIDE OF THE RAFTER.
- 15. TYPICAL POST TO BEAM CONNECTOR SHALL BE A SIMPSON LPC ON EACH SIDE.
- 16. TYPICAL POST TO FLOOR PLATE CONNECTOR SHALL BE A SIMPSON L30 ON EACH SIDE OF THE POST.
- 17. TYPICAL STRINGER TO FRAMING CONNECTOR SHALL BE A SIMPSON MTS15 ON EACH SIDE.
- 18. TYPICAL DIMENSIONAL BEAM TO BEAM HANGER SHALL BE A SIMPSON HU MAX.
- 19. TYPICAL LVL TO LVL BEAM HANGER SHALL BE A SIMPSON HHUS.
- 20. TYPICAL FLITCH BEAM HANGER SHALL BE AN OVERSIZED SIMPSON HHUS HANGER. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE FLITCH BEAM AND THE HANGER.
- 21. SEE THE MONTGOMERY COUNTY TYPICAL DECK DETAILS FOR ITEMS NOT SHOWN ON THESE PLANS SUCH AS GUARDRAILS, STAIRS, LEDGER BOARD ATTACHMENTS ETC . . .
- 22. USE TYPE "N" LIME BASED MORTAR FOR EXTERIOR BRICK WALL APPLICATIONS. USE CLAY BRICKS THAT MATCH THE STRENGTH AND POROSITY OF THE EXISTING WALL. PLACE A DOUBLE JOISTS BELOW ALL WALLS THAT RUN PARALLEL TO THE FLOOR FRAMING. ALTERNATE: PLACE BLOCKING BETWEEN THE ADJACENT JOISTS BELOW THE WALL AT 16" O.C.
- 23. ADD BLOCKING TO THE WEB OF THE ENGINEERED JOISTS AS NEEDED WHEN USING HURRICANE TIES OR JOIST HANGERS.



1 Second Floor Deck Framing Plan  
1/4" = 1'-0"

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**Renovation and Addition**  
7315 Brookville Road  
Chevy Chase, MD 20815

Project Number: 20-043  
Client Name: Lacy Rice  
Project Status:  
 As Built Conditions  
 Preliminary Design  
 Design Development  
 Permit Submission  
 Construction Documents  
 Construction Administration  
 Other

Drawing Issue Date: 5-25-2021

Client Approval:  
Signature: \_\_\_\_\_  
Date: \_\_\_\_\_

Revision Schedule		
No.	Description	Date

Drawn by: AP  
Checked by: APAC  
Scale: 1/4" = 1'-0"  
Sheet Name:

**Structural Plans**

Sheet Number:  
**S103**

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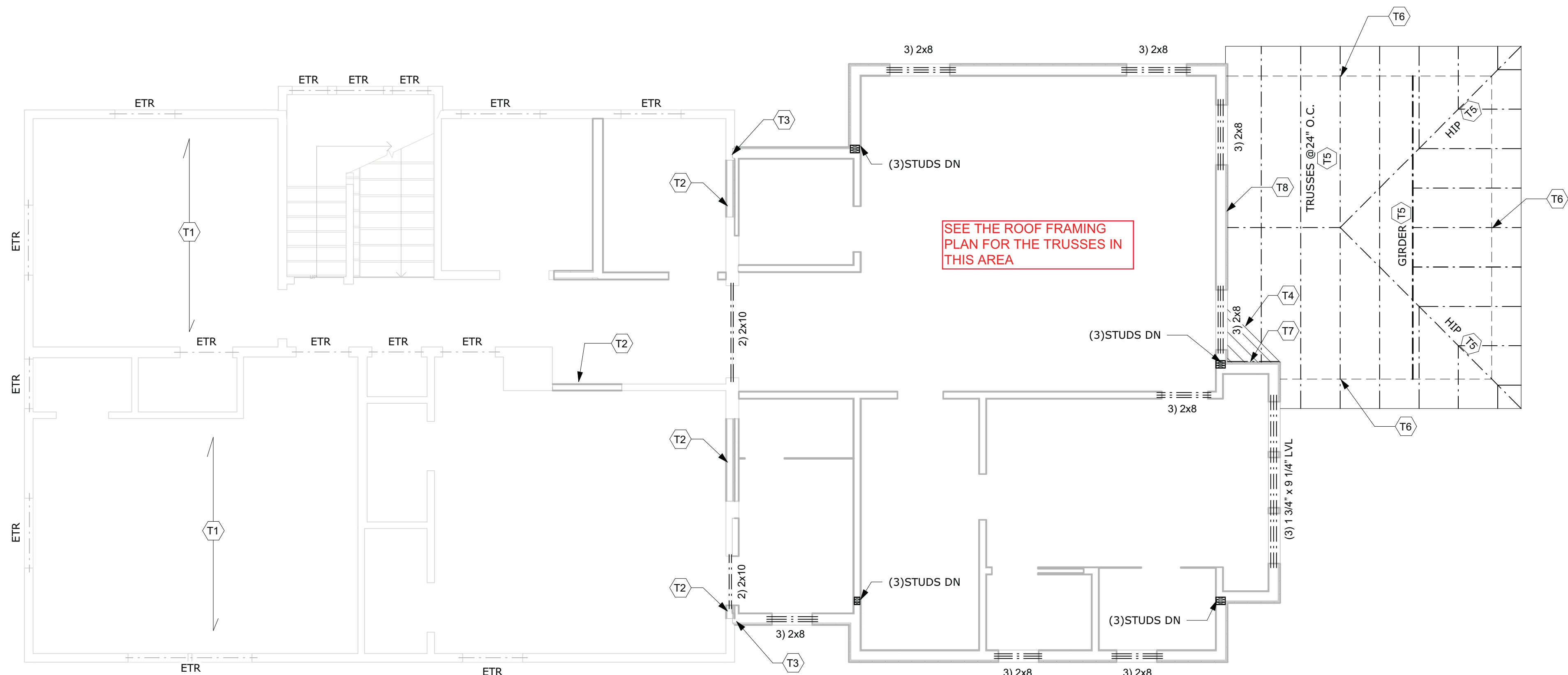
MONTGOMERY COUNTY DIGITAL STAMP AREA

**THIRD FLOOR FRAMING NOTES**

- T1 EXISTING 3RD FLOOR FRAMING TO REMAIN. SISTER ANY DAMAGED JOIST THAT IS FOUND WITH A 2x10 OR A DOUBLE 2x8.
- T2 INFILL THE WALL WITH 2x STUDS AT 16" O.C. THE STUDS SHALL MATCH THE SIZE OF THE EXISTING WALL STUDS.
- T3 ATTACH THE 1ST STUD TO THE EXISTING WALL WITH (2)10d NAILS AT 6" O.C.
- T4 OVERBUILT CRICKET.
- T5 THE TRUSS MANUFACTURER SHALL COORDINATE THE ROOF AND CEILING LINES WITH THE ARCHITECTURAL DRAWINGS.
- T6 ATTACH EACH TRUSS TO THE SUPPORTING BEAM WITH A SIMPSON H2.5A HURRICANE TIE.
- T7 2x6 LEDGER WITH (2)LEDGERLOK SCREWS AT 16" O.C. ATTACH EACH TRUSS TO THE LEDGER WITH A SIMPSON LUS HANGER.
- T8 2x8 CLEAT FOR THE ROOF AND A 2x6 CLEAT FOR THE CEILING. ATTACH EACH CLEAT TO THE WALL WITH (2)#8 SCREWS AT 6" O.C.

**FRAMING NOTES**

1. THE BOTTOM OF ALL FOOTINGS SHALL BE 30" MINIMUM BELOW GRADE.
2. ALL HEADERS ARE ASSUMED TO BE SUPPORTED BY A DOUBLE JACK AND SINGLE KING STUD, UNLESS NOTED OTHERWISE.
3. PROVIDE SQUASH BLOCKING AS NEEDED BELOW ALL POSTS, COLUMNS, AND MULTIPLE STUDS.
4. ATTACH ALL QUADRUPLE AND QUINTUPLE BEAMS TOGETHER WITH 2 ROWS OF 1/2" Ø BOLTS AT 16" O.C.
5. EPOXY BOLTS SHALL BE SIMPSON "SET". FOLLOW MANUFACTURERS INSTRUCTIONS FOR INSTALLATION AND THE INSTRUCTIONS OF ESR 1772. EPOXY BOLTS SHALL HAVE 6" EMBEDMENT WITH SCREEN TUBES WHEN PLACED IN HOLLOW MASONRY UNLESS NOTED OTHERWISE.
6. CONTRACTOR SHALL PROVIDE TEMPORARY SHORING DURING CONSTRUCTION AS NEEDED FOR THE EXISTING STRUCTURAL ELEMENTS THAT WILL REMAIN.
7. ALL STEEL ANGLE LINTELS SHALL BE LONG LEG VERTICAL (LLV).
8. ALL NAILS USED FOR EXTERIOR APPLICATIONS SHALL BE RING SHANK NAILS.
9. ALL NAILS, HANGERS, BOLTS, AND SCREWS EXPOSED TO THE EXTERIOR SHALL BE GALVANIZED.
10. ALL LUMBER EXPOSED TO EXTERIOR CONDITIONS SHALL BE TREATED SOUTHERN PINE #2.
11. ALL SLAB ON GRADE CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 4500 PSI WITH 6%±1% AIR ENTRAINMENT.
12. WHEN ATTACHING EXISTING JOISTS TO FLUSH BEAMS USE OVERSIZED SIMPSON LUS HANGERS. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE JOIST AND HANGER.
13. THE CONTRACTOR SHALL SURVEY ALL EXPOSED MASONRY IN THE HOME AND POINT ANY DETERIORATED JOINT THAT IS DISCOVERED AND REPLACE ANY DETERIORATED BRICKS OR BLOCKS.
14. TYPICAL JOIST HANGER SHALL BE A SIMPSON IUS OR SIMPSON LUS HANGER.
15. TYPICAL RAFTER TO RIDGE HANGER SHALL BE A SIMPSON LSU.
16. TYPICAL RAFTER TO FLUSH BEAM HANGER SHALL BE A SIMPSON L70 ON EACH SIDE OF THE RAFTER.
17. TYPICAL POST TO BEAM CONNECTOR SHALL BE A SIMPSON LFC ON EACH SIDE.
18. TYPICAL POST TO FLOOR PLATE CONNECTOR SHALL BE A SIMPSON L30 ON EACH SIDE OF THE POST.
19. TYPICAL STRINGER TO FRAMING CONNECTOR SHALL BE A SIMPSON MTS15 ON EACH SIDE.
20. TYPICAL DIMENSIONAL BEAM TO BEAM HANGER SHALL BE A SIMPSON HU MAX.
21. TYPICAL LVL TO LVL BEAM HANGER SHALL BE A SIMPSON HHUS.
22. TYPICAL FLITCH BEAM HANGER SHALL BE AN OVERSIZED SIMPSON HHUS HANGER. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE FLITCH BEAM AND THE HANGER.
23. SEE THE MONTGOMERY COUNTY TYPICAL DECK DETAILS FOR ITEMS NOT SHOWN ON THESE PLANS SUCH AS GUARDRAILS, STAIRS, LEDGER BOARD ATTACHMENTS ETC . . .
24. USE TYPE "N" LIME BASED MORTAR FOR EXTERIOR BRICK WALL APPLICATIONS. USE CLAY BRICKS THAT MATCH THE STRENGTH AND POROSITY OF THE EXISTING WALL. PLACE A DOUBLE JOISTS BELOW ALL WALLS THAT RUN PARALLEL TO THE FLOOR FRAMING. ALTERNATE: PLACE BLOCKING BETWEEN THE ADJACENT JOISTS BELOW THE WALL AT 16" O.C.
26. ADD BLOCKING TO THE WEB OF THE ENGINEERED JOISTS AS NEEDED WHEN USING HURRICANE TIES OR JOIST HANGERS.



1 Roof Framing Plan  
1/4" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission



**REVIEWED**  
By Dan.Bruechert at 12:09 pm, Jul 21, 2021

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# Renovation and Addition

7315 Brookville Road  
Chevy Chase, MD 20815

Project Number: 20-043  
Client Name: Lacy Rice

- Project Status:
- As Built Conditions
  - Preliminary Design
  - Design Development
  - Permit Submission
  - Construction Documents
  - Construction Administration
  - Other

Drawing Issue Date: 5-25-2021

Client Approval:  
Signature: \_\_\_\_\_  
Date: \_\_\_\_\_

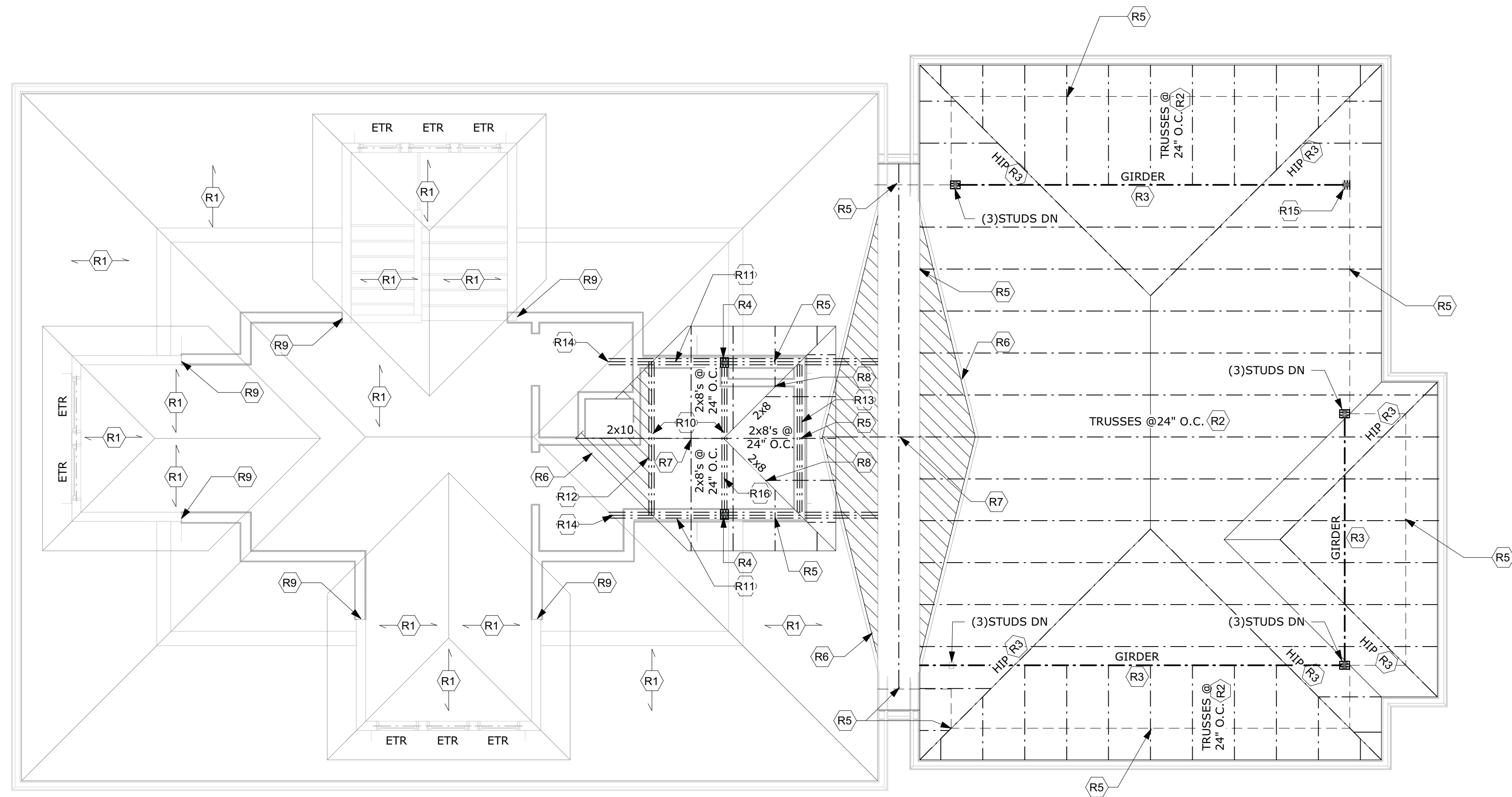
Revision Schedule		
No.	Description	Date

Drawn by: AP  
Checked by: APAC  
Scale: 1/4" = 1'-0"  
Sheet Name:

Structural Plans

Sheet Number:  
**S104**

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1 STR. Roof Framing Plan  
1/4" = 1'-0"

**ROOF FRAMING NOTES**

- (R1) EXISTING ROOF FRAMING TO REMAIN. SISTER ANY DAMAGED JOIST THAT IS FOUND WITH A 2x10 OR A DOUBLE 2x8.
- (R2) THE TRUSS MANUFACTURER SHALL COORDINATE THE ROOF AND CEILING LINES WITH THE ARCHITECTURAL DRAWINGS.
- (R3) THE TRUSS MANUFACTURER SHALL SPECIFY ALL TRUSS TO GIRDER AND TRUSS TO HIP AND HIP TO GIRDER CONNECTORS.
- (R4) TRIPLE STUD BETWEEN THE BEAM IN THE CEILING AND THE LVL RAFTER. TAPER CUT THE TOP OF THE BEAM IF NEEDED TO FIT BELOW THE ROOF.
- (R5) ATTACH EACH RAFTER OR TRUSS TO THE SUPPORTING WALL OR BEAM WITH A SIMPSON H2.5A HURRICANE TIE.
- (R6) OVERBUILT ROOF. USE 2x8'S AT 24" O.C. AND A 2x10 RIDGE BOARD. RIP THE RAFTERS AND PLACE THEM ON THE LOWER ROOF. ATTACH EACH RAFTER TO THE LOWER ROOF WITH (3)10d TOE NAILS AND A SIMPSON LS50 ON EACH SIDE OF THE RAFTER. ATTACH EACH RAFTER TO THE RIDGE WITH A SIMPSON LSU HANGER. HOLD THE TOP OF THE RIDGE DOWN AS NEEDED FOR VENTILATION AND SO THAT THE BOTTOM OF THE RIDGE IS EVEN WITH OR DEEPER THAN THE RAFTERS.
- (R7) ATTACH EACH RAFTER TO THE RIDGE WITH A SIMPSON LSU HANGER. HOLD THE RIDGE DOWN AS NEEDED FOR VENTILATION AND SO THAT THE BOTTOM OF THE RIDGE IS EVEN WITH OR DEEPER THAN THE RAFTERS.
- (R8) ATTACH EACH RAFTER TO THE HIP WITH (4)10d TOE NAILS.
- (R9) ATTACH THE 1ST STUD TO THE EXISTING WALL WITH (2)10d NAILS AT 6" O.C.
- (R10) PLACE A TRIPLE STUD BETWEEN THE RIDGE AND HIPS AND THE HEADER OR BEAM BELOW.
- (R11) TRIPLE 1 3/4" x 7 1/4" LVL RAFTER. BUILD A WALL ON TOP OF THE LVL RAFTER TO SUPPORT THE DORMER ROOF.
- (R12) FRAME THE END OF THE DORMER WITH A TRIPLE 2x8 SUR/L HANGER. ATTACH EACH EXISTING RAFTER TO THE HEADER WITH A SIMPSON L50 ON EACH SIDE OF THE RAFTER.
- (R13) PLACE A TRIPLE 2x8 BEAM BELOW THE DORMER WALL AT THE ELEVATION OF THE EXISTING ROOF RAFTERS. ATTACH EACH EXISTING RAFTER TO THE BEAM WITH A SIMPSON L50 ON EACH SIDE OF THE RAFTER. ATTACH THE BEAM TO THE LVL RAFTER ON EACH SIDE OF THE DORMER WITH A SIMPSON LUS HANGER.
- (R14) ATTACH THE LVL RAFTER TO THE EXISTING HIP WITH A SIMPSON SUR/L HANGER. NOTCH THE BOTTOM AND SIDES OF THE RAFTER AS NEEDED TO FIT IN THE CONNECTOR.
- (R15) SET THE GIRDER ON THE HEADER OVER THE 2ND FLOOR WINDOW. IF THE GIRDER DOES NOT ALIGN WITH THE HEADER, PLACE IT ON A TRIPLE STUD DOWN TO THE HEADER OVER THE DOOR IN THE 1ST FLOOR OR DOWN TO THE NEW FOUNDATION WALL.
- (R16) PLACE A TRIPLE 2x8 BEAM IN THE CEILING TO SUPPORT THE HIP/RIDGE CONNECTION. TAPER CUT EACH END OF THE BEAM AS NEEDED TO FIT BELOW THE ROOF. PLACE A RAFTER ON THE FRONT SIDE OF THE BEAM ON EACH SIDE OF THE RIDGE. ATTACH THE RAFTER TO THE BEAM WITH (5)10d NAILS.

**FRAMING NOTES**

- 1. THE BOTTOM OF ALL FOOTINGS SHALL BE 30" MINIMUM BELOW GRADE.
- 2. ALL HEADERS ARE ASSUMED TO BE SUPPORTED BY A DOUBLE JACK AND SINGLE KING STUD, UNLESS NOTED OTHERWISE.
- 3. PROVIDE SQUASH BLOCKING AS NEEDED BELOW ALL POSTS, COLUMNS, AND MULTIPLE STUDS.
- 4. ATTACH ALL QUADRUPLE AND QUINTUPLE BEAMS TOGETHER WITH 2 ROWS OF 1/2" Ø BOLTS AT 16" O.C.
- 5. EPOXY BOLTS SHALL BE SIMPSON "SET". FOLLOW MANUFACTURERS INSTRUCTIONS FOR INSTALLATION AND THE INSTRUCTIONS OF ESR 1772. EPOXY BOLTS SHALL HAVE 6" EMBEDMENT WITH SCREEN TUBES WHEN PLACED IN HOLLOW MASONRY UNLESS NOTED OTHERWISE.
- 6. CONTRACTOR SHALL PROVIDE TEMPORARY SHORING DURING CONSTRUCTION AS NEEDED FOR THE EXISTING STRUCTURAL ELEMENTS THAT WILL REMAIN.
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- 12. WHEN ATTACHING EXISTING JOISTS TO FLUSH BEAMS USE OVERSIZED SIMPSON LUS HANGERS. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE JOIST AND HANGER.
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- 17. TYPICAL POST TO BEAM CONNECTOR SHALL BE A SIMPSON LPC ON EACH SIDE.
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- 23. SEE THE MONTGOMERY COUNTY TYPICAL DECK DETAILS FOR ITEMS NOT SHOWN ON THESE PLANS SUCH AS GUARDRAILS, STAIRS, LEDGER BOARD ATTACHMENTS ETC . . .
- 24. USE TYPE "N" LIME BASED MORTAR FOR EXTERIOR BRICK WALL APPLICATIONS. USE CLAY BRICKS THAT MATCH THE STRENGTH AND POROSITY OF THE EXISTING WALL.
- 25. PLACE A DOUBLE JOISTS BELOW ALL WALLS THAT RUN PARALLEL TO THE FLOOR FRAMING. ALTERNATE: PLACE BLOCKING BETWEEN THE ADJACENT JOISTS BELOW THE WALL AT 16" O.C.
- 26. ADD BLOCKING TO THE WEB OF THE ENGINEERED JOISTS AS NEEDED WHEN USING HURRICANE TIES OR JOIST HANGERS.

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# Renovation and Addition

7315 Brookville Road  
Chevy Chase, MD 20815

Project Number: 20-043  
Client Name: Lacy Rice

Project Status:  
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 Permit Submission  
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 Other

Drawing Issue Date: 5-25-2021

Client Approval:  
Signature: \_\_\_\_\_  
Date: \_\_\_\_\_

Revision Schedule		
No.	Description	Date

Drawn by: AP  
Checked by: APAC  
Scale: 1/4" = 1'-0"  
Sheet Name:

APPROVED

Montgomery County  
Historic Preservation Commission

**REVIEWED**  
By Dan.Bruechert at 12:09 pm, Jul 21, 2021

Structural Plans

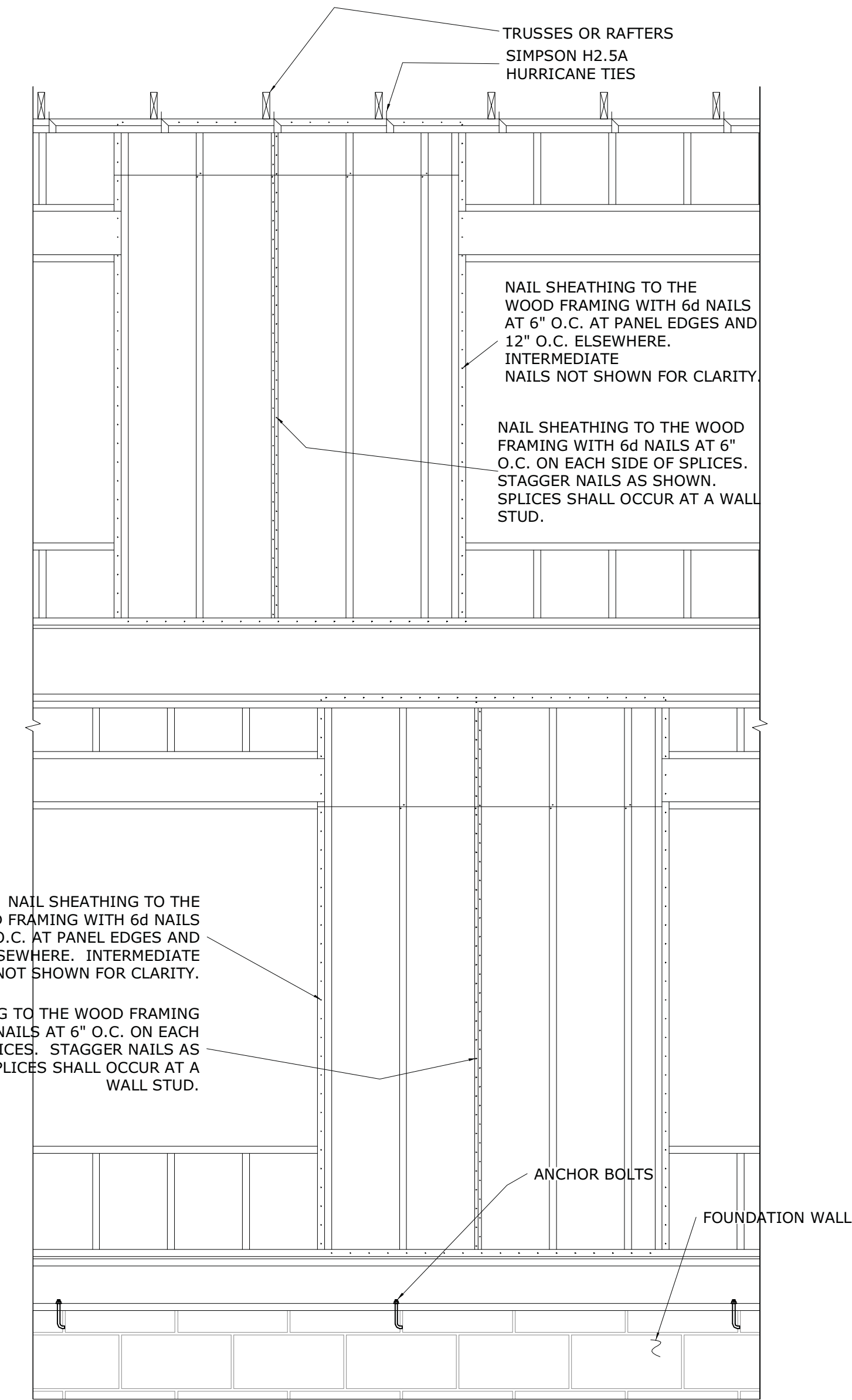
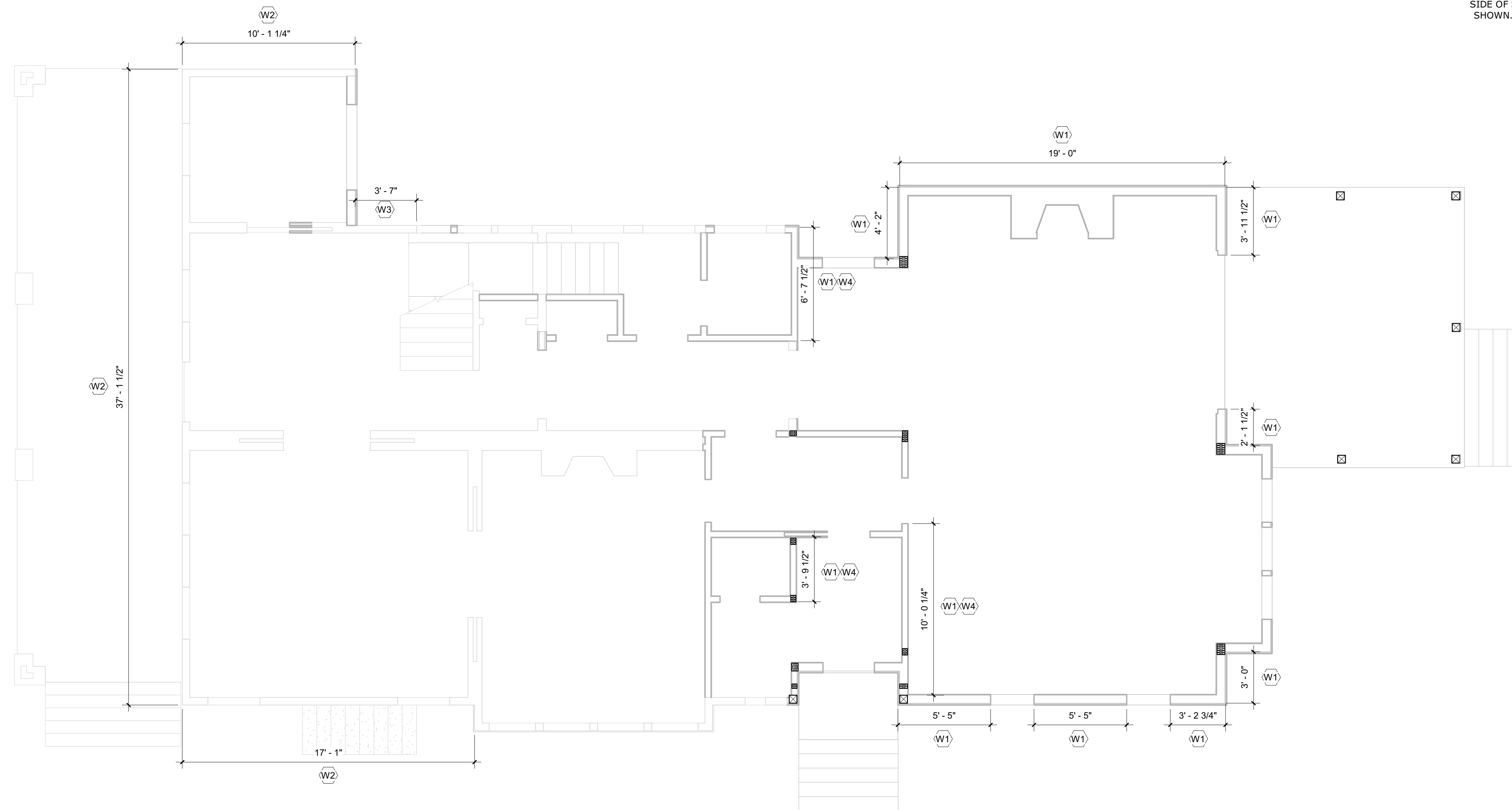
Sheet Number: **S105**

**WIND BRACING NOTES**

1. WALLS BRACED PER IRC R602.10 AND R301.1.3 "ENGINEERED DESIGN".
2. APPLY 7/16" OSB SHEATHING TO ALL EXTERIOR WALLS.
3. ATTACH OSB TO WOOD FRAMING WITH 6d NAILS AT 6" O.C. AT PANEL EDGES AND 12" O.C. ELSEWHERE.
4. EDP DENOTES "ENGINEERED DESIGN PANEL".
5. ATTACH THE BOTTOM PLATE OF THE WALL TO THE JOISTS OR BLOCKING WITH 1-16d (0.135 X 3 1/2) NAIL. ATTACH THE BOTTOM PLATE TO THE RIM BOARD WITH 16d NAILS AT 12" O.C.
6. ATTACH EACH JOISTS AND RAFTER TO THE TOP PLATE OF THE WALL WITH 2-16d (0.135 X 3 1/2) TOE NAILS.
7. ATTACH THE RIM BOARD TO THE TOP PLATE OF THE WALL WITH 16d (0.135 X 3 1/2) TOE NAILS AT 12" O.C.
8. ATTACH RIM BOARD TO SILL PLATE WITH 16d (0.135 X 3 1/2) TOE NAILS AT 12" O.C.

**WIND BRACING NOTES**

- (W1) NEW EDP WIND BRACING PANEL.
- (W2) EXISTING PERFORATED WOOD SHEAR WALL.
- (W3) EXISTING WOOD SHEAR WALL.
- (W4) PLACE 7/16" OSB SHEATHING ON THE INTERIOR WALL TO MAKE THE WIND BRACING PANEL.



MONTGOMERY COUNTY DIGITAL STAMP AREA

APPROVED  
Montgomery County  
Historic Preservation Commission

*[Signature]*

**REVIEWED**  
By Dan.Bruechert at 12:09 pm, Jul 21, 2021

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Revision Schedule		
No.	Description	Date

Drawn by: AP  
Checked by: APAC  
Scale: As indicated  
Sheet Name:

**Wind Bracing Plans**

Sheet Number:  
**S106**

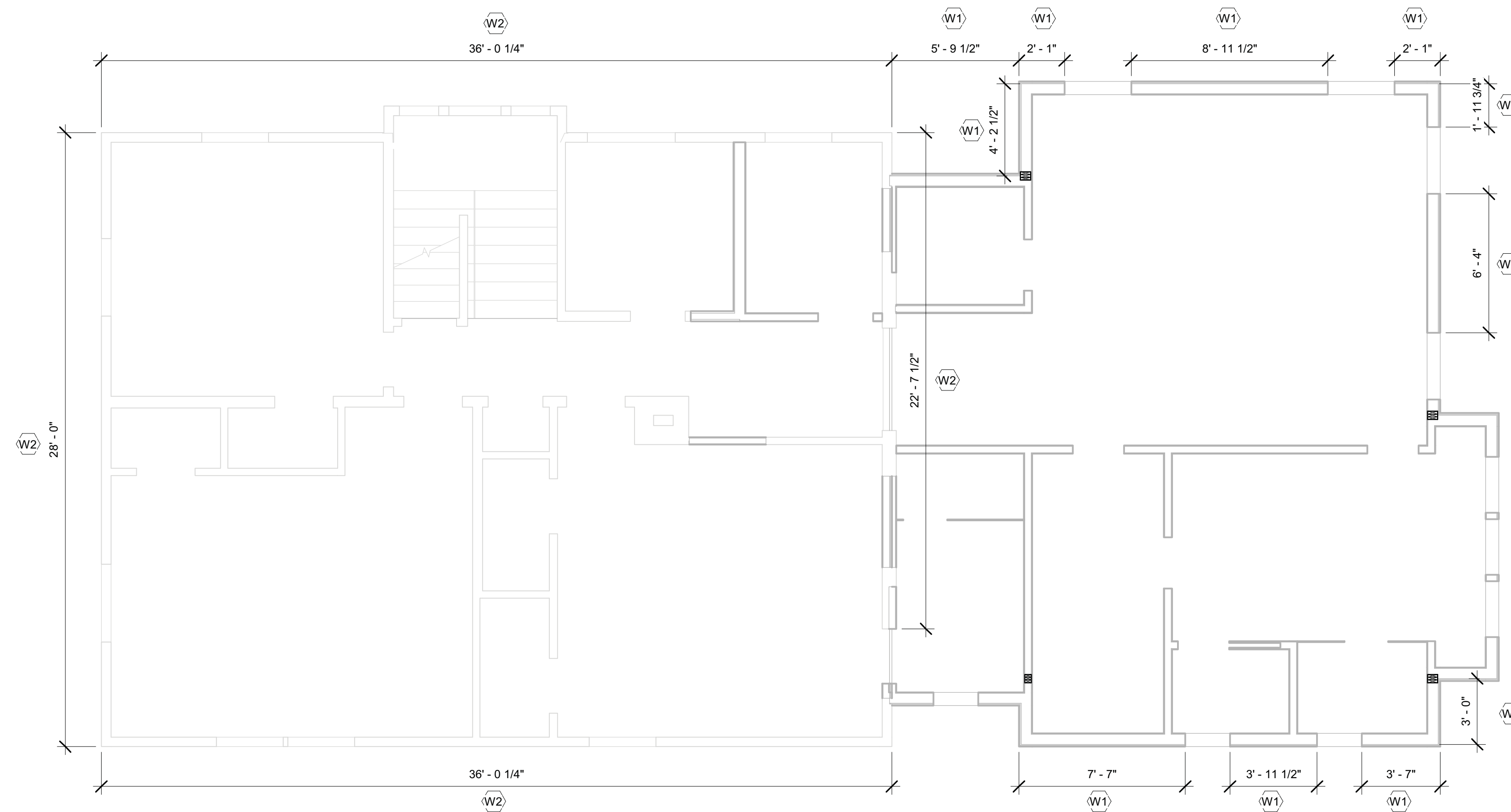
MONTGOMERY COUNTY DIGITAL STAMP AREA

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2. APPLY 7/16" OSB SHEATHING TO ALL EXTERIOR WALLS. ATTACH OSB TO WOOD FRAMING WITH 6d NAILS AT 6" O.C. AT PANEL EDGES AND 12" O.C. ELSEWHERE.
3. EDP DENOTES "ENGINEERED DESIGN PANEL".
4. ATTACH THE BOTTOM PLATE OF THE WALL TO THE JOISTS OR BLOCKING WITH 1-16d (0.135 X 3 1/2) NAIL. ATTACH THE BOTTOM PLATE TO THE RIM BOARD WITH 16d NAILS AT 12" O.C.
5. ATTACH EACH JOISTS AND RAFTER TO THE TOP PLATE OF THE WALL WITH 2-16d (0.135 X 3 1/2) TOE NAILS.
6. ATTACH THE RIM BOARD TO THE TOP PLATE OF THE WALL WITH 16d (0.135 X 3 1/2) TOE NAILS AT 12" O.C.
7. ATTACH RIM BOARD TO SILL PLATE WITH 16d (0.135 X 3 1/2) TOE NAILS AT 12" O.C.
8. ATTACH RIM BOARD TO SILL PLATE WITH 16d (0.135 X 3 1/2) TOE NAILS AT 12" O.C.

**WIND BRACING NOTES**

- (W1) NEW EDP WIND BRACING PANEL.
- (W2) EXISTING PERFORATED WOOD SHEAR WALL.
- (W3) EXISTING WOOD SHEAR WALL.
- (W4) PLACE 7/16" OSB SHEATHING ON THE INTERIOR WALL TO MAKE THE WIND BRACING PANEL.



1 Second Floor Wall Bracing Plan  
1/4" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission



**REVIEWED**  
By Dan.Bruechert at 12:09 pm, Jul 21, 2021

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Scale: 1/4" = 1'-0"  
Sheet Name:

Wind Bracing Plans

Sheet Number:  
**S107**

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