



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert Sutton
Chairman

Date: March 12, 2021

MEMORANDUM

TO: Mitra Pedoeem
Department of Permitting Services

FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit # 945053 - Roof and Gutter Replacement

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** historic preservation staff.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Hans Reimer
Address: 7701 Takoma Ave., Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Please contact Dan Bruechert at 301.563.3400 or dan.bruechert@montgomeryplanning.org with any additional comments or questions.





HISTORIC PRESERVATION COMMISSION

HAWP #: _____ at: _____

submitted on: _____

has been reviewed and determined that the proposal fits into the following category/categories:

Repair or replacement of a masonry foundation with new masonry materials that closely match the original in appearance;

Installation of vents or venting pipes in locations not visible from the public right-of-way;

New gutters and downspouts;

Removal of vinyl, aluminum, asbestos, or other artificial siding when the original siding is to be repaired and/or replaced in kind;

Removal of accessory buildings that are not original to the site or non-historic construction;

Repair or replacement of missing or deteriorated architectural details such as trim or other millwork, stairs or stoops, porch decking or ceilings, columns, railings, balusters, brackets shutters, etc., with new materials that match the old in design, texture, visual characteristics, and, where possible materials, so long as the applicant is able to provide one extant example, photographic evidence, or physical evidence that serves as the basis for the work proposed;

Construction of wooden decks that are at the rear of a structure and are not visible from a public right-of-way;

Roof replacement with -compatible roofing materials, or with architectural shingles replacing 3-Tab asphalt shingles;

Installation of storm windows or doors that are compatible with the historic resource or district;

Repair, replacement or installation of foundation-level doors, windows, window wells, and areaways, or foundation vents, venting pipes, or exterior grills that do not alter the character-defining features and/or the historic character of the resource;

Construction of fences that are compatible with the historic site or district in material, height, location, and design;

Fence is lower than 48" in front of rear wall plane;

Construction of walkways, parking pads, patios, driveways, or other paved areas that are not visible from a public right-of-way and measure no more than 150 square feet in size;

Replacement of existing walkways, parking pads, patios, driveways, or other paved areas with materials that are compatible with the visual character of the historic site and district and that are no greater than the dimensions of the existing hardscape;

Construction of small accessory buildings no larger than 250 square feet in size that are not visible from the public right-of-way;

Installations of skylights on the rear of a structure that will not be visible from the public right-of-way, and would not remove or alter character-defining roof materials;

Installation of solar panels and arrays in locations that are not readily visible from the public right-of-way or that are designed so as to have a minimal impact on the historic resource or the historic district (e.g., systems that are ground-mounted in areas other than the front or side yard of a corner lot, located on accessory or outbuildings, on non-historic additions, or on rear facing roof planes);

Installation of car charging stations in any location on a property or in the right-of-way;

Installation of satellite dishes;

Removal of trees greater than 6" in diameter (d.b.h.) that are dead, dying, or present an immediate hazard.

Removal of trees greater than 6" in diameter (d.b.h.) in the rear of the property that will not impact the overall tree canopy of the surrounding district or historic site;

Replacement tree required as a condition; and,

Other minor alterations that may be required by the Department of Permitting Services post-Commission approval that would have no material effect on the historic character of the property.

Staff finds the proposal complies with Chapter 24A, the Secretary of the Interior's Standards for Rehabilitation, and any additional requisite guidance. Under the authority of COMCOR No. 24A.04.01, this HAWP is approved by J. Brueckert on _____. The approval memo and stamped drawings follow.

ROOFING SPECIFICATION MANUAL

FOR

Mr. Hans Riemer



APPROVED

Montgomery County

Historic Preservation Commission



**7701 Takoma Park
Takoma Park MD 20912**

(301-)-938-6899 Cell

SUBMITTED BY:

Steve Zisserman

Residential Estimator

DATE:

February 3, 2021

REVIEWED

By Dan.Bruechert at 3:10 pm, Mar 03, 2021



February 3, 2021

Dear Mr. Riemer,

Thank you for taking the time to meet with me and discuss ideas to re-roof your home. I would briefly like to tell you about Maggio Roofing Co., and why you will want to choose us for your roofing project.

Maggio Roofing Co. provides \$1,000,000.00 of liability insurance per occurrence, and \$2,000,000.00 aggregate. All of our employees are covered by Workers Compensation Insurance so that you will not be exposed to any liability should any of our employees be injured while on your job. We are licensed with the District of Columbia, Maryland and Virginia for your protection.

- We are members of Certified Contractors Network (CCN)
- We are members of National Roofing Contractors Association (NRCA)
- We are members of the Mid Atlantic Roofing Contractors Association. (MARCA)

As a legitimate and dependable roofing company, we maintain these affiliations and credentials to provide you with the highest level of confidence and customer service. We are registered, licensed and approved with many manufacturers for the installations of premium roofing products.

- Our estimators are Quality Masters – knowledgeable in product differences and quality.
- Our roof mechanics are qualified Master Shingle Applicators (MSA), and attend pre-approved on-going training to keep them up to date on the latest technological advances in the roofing industry including the local building codes and the NRCA specifications.
- We have an in-house NRCA certified trainer.

With a permanent place of business and over 19 years in the roofing trade, we take pride in our quality workmanship and the specialty services offered to our clients.

All of our projects are specified in accordance with industry standards and manufacturers specification requirements. This ensures that your project will qualify for the manufacturer’s long-term warranty.

We do it right – we do it by the book – or we don’t do it at all.

Thank you again for the opportunity and I look forward to working w

In your service,

Steve Zisserman
Project Consultant
(301) 891-1390 Office
(301) 792-6234 Cel

REVIEWED

By Dan.Bruechert at 3:11 pm, Mar 03, 20

APPROVED

Montgomery County

Historic Preservation Commission



EXTERIOR EVALUATION:

The following photos are of different sections of your shingle roof. Many areas show significant wear and tear with much of the protective granules worn away. You can see in first photo shingles are missing that line up close to area of leak.



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Historic Preservation Commission

Ronald L. [Signature]

REVIEWED

By Dan.Bruechert at 3:11 pm, Mar 03, 2021



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Robert A. Adams

REVIEWED
By Dan.Bruechert at 3:11 pm, Mar 03, 2021



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Ronald A. Potter

REVIEWED
By Dan.Bruechert at 3:11 pm, Mar 03, 2021

PERIMETER EDGE FLASHING:

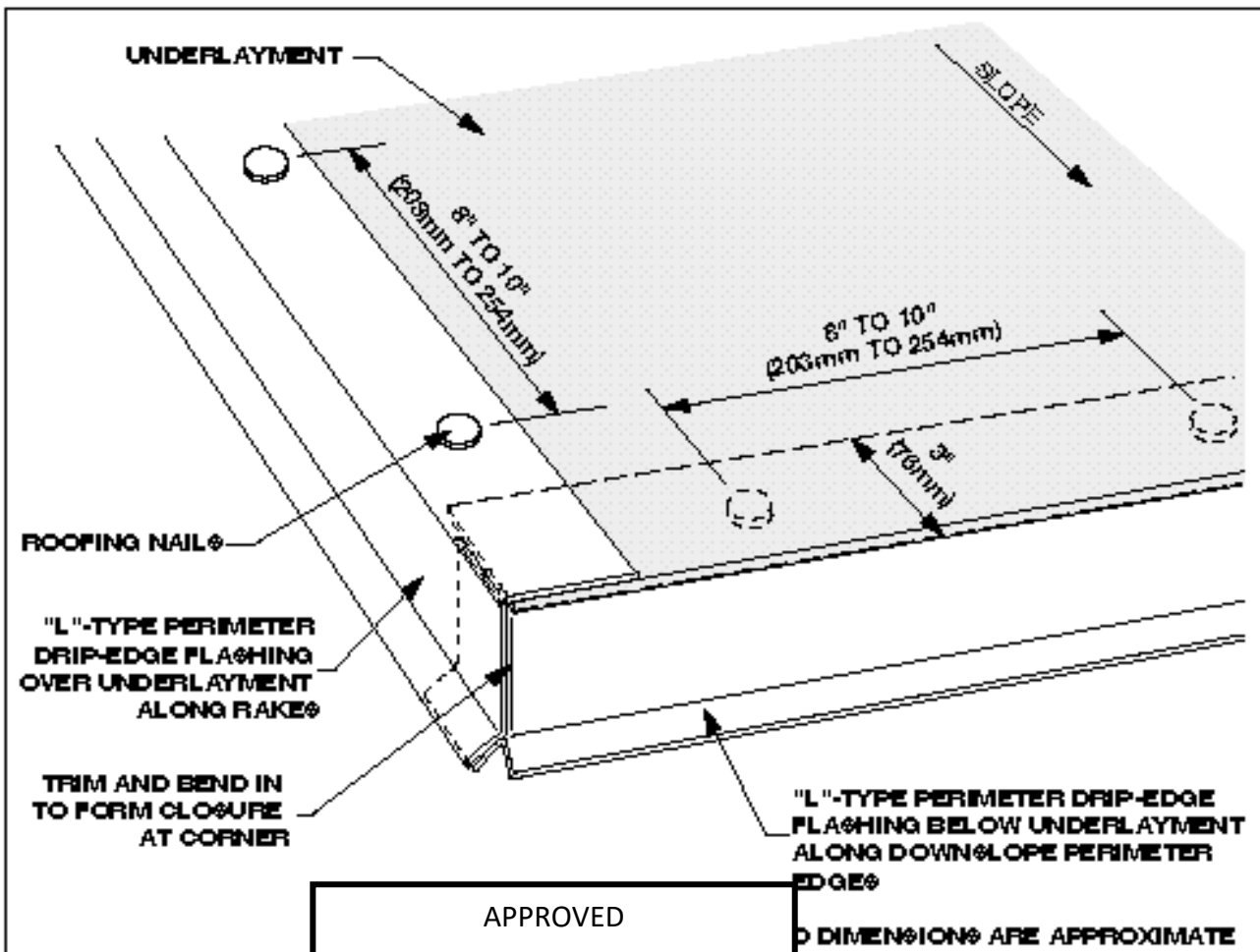
Eave D-Metal Edge Flashing:

Install aluminum drip edge on all eave edges beneath underlayment to facilitate water run off into gutters or away from house.

Rake Drip Edge Flashing:

Install aluminum drip edge on all rake edges on top of underlayment to protect against wind driven rain.

EDGE METAL DETAIL:



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REVIEWED
By Dan.Bruechert at 3:11 pm, Mar 03, 2021

ICE & WATER SHIELD:

Ice Dam Protection: (Eave or gutter edge)

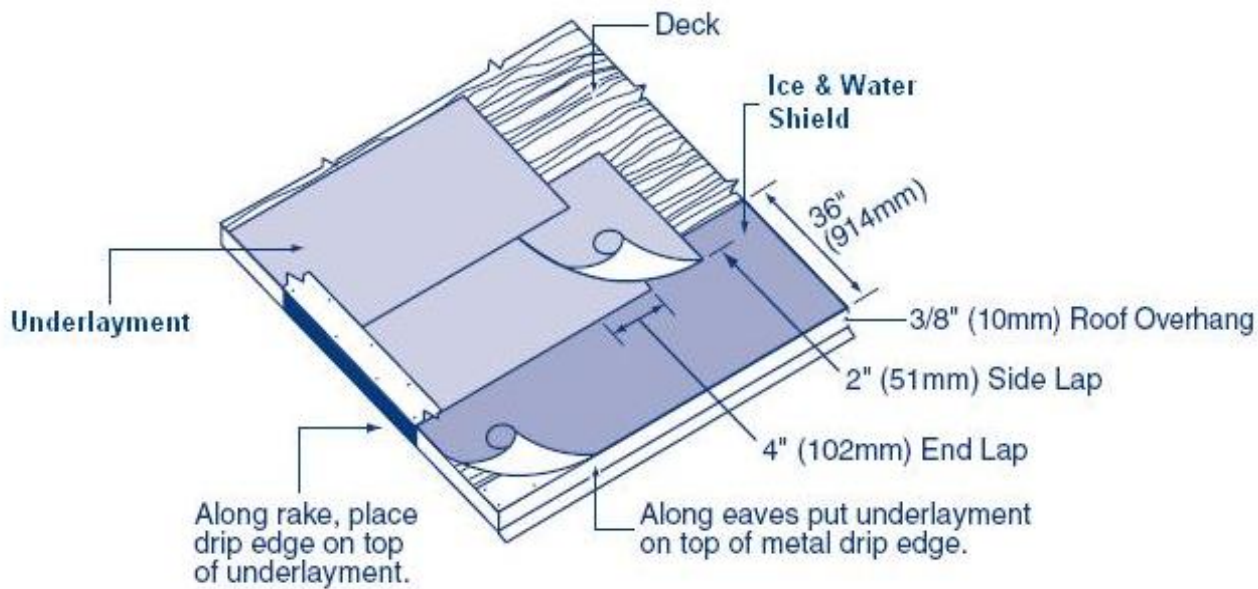
Apply Ice & Water Shield directly to the roof deck a minimum of (36") on all eave edges up the roof slope to a line not less than 12" beyond the warm interior wall.

Valley Protection:

Apply Ice & Water Shield directly to the roof deck in entire lengths of all valleys. (36")

Additional areas Ice & Water Shield is to be installed:

Ice & Water Shield is a composite material of asphalt and elastic polymers reinforced with a fiberglass membrane. It is formed into a rolled sheet. This material is designed to stop typical ice dam leaks that occur along the gutter or eave edge of the home. The rubberized asphalt "seals" around roofing nails so in the event ice dam water gets under the shingles it cannot follow the nails and cause leaks in the interior. It seals like a gasket around nails driven through it. This means *Ice & Water Shield* has the ability to stretch and cling - not rip when stressed.



- *Ice & Water Shield* is warranted to remain effective during the warranted lifetime of a new asphalt shingle system applied over it.
- *Ice & Water Shield* is a long lasting, waterproofing shingle underlayment designed to seal the roof and prevent water from getting inside the building.
- *Ice & Water Shield* protects your home from water backup caused by ice dams & wind-driven rain.

There will be no warranty under the water, ice dams, or damage occur when used.

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this contract if required and not

REVIEWED

By Dan.Bruechert at 3:11 pm, Mar 03, 2021

SLATE INSTALLATION:

Install below selected roofing shingles as per the manufacturer's nailing and exposure specifications. All work to be installed by closely- supervised insured employees.

SLATES: _____ COLOR: _____

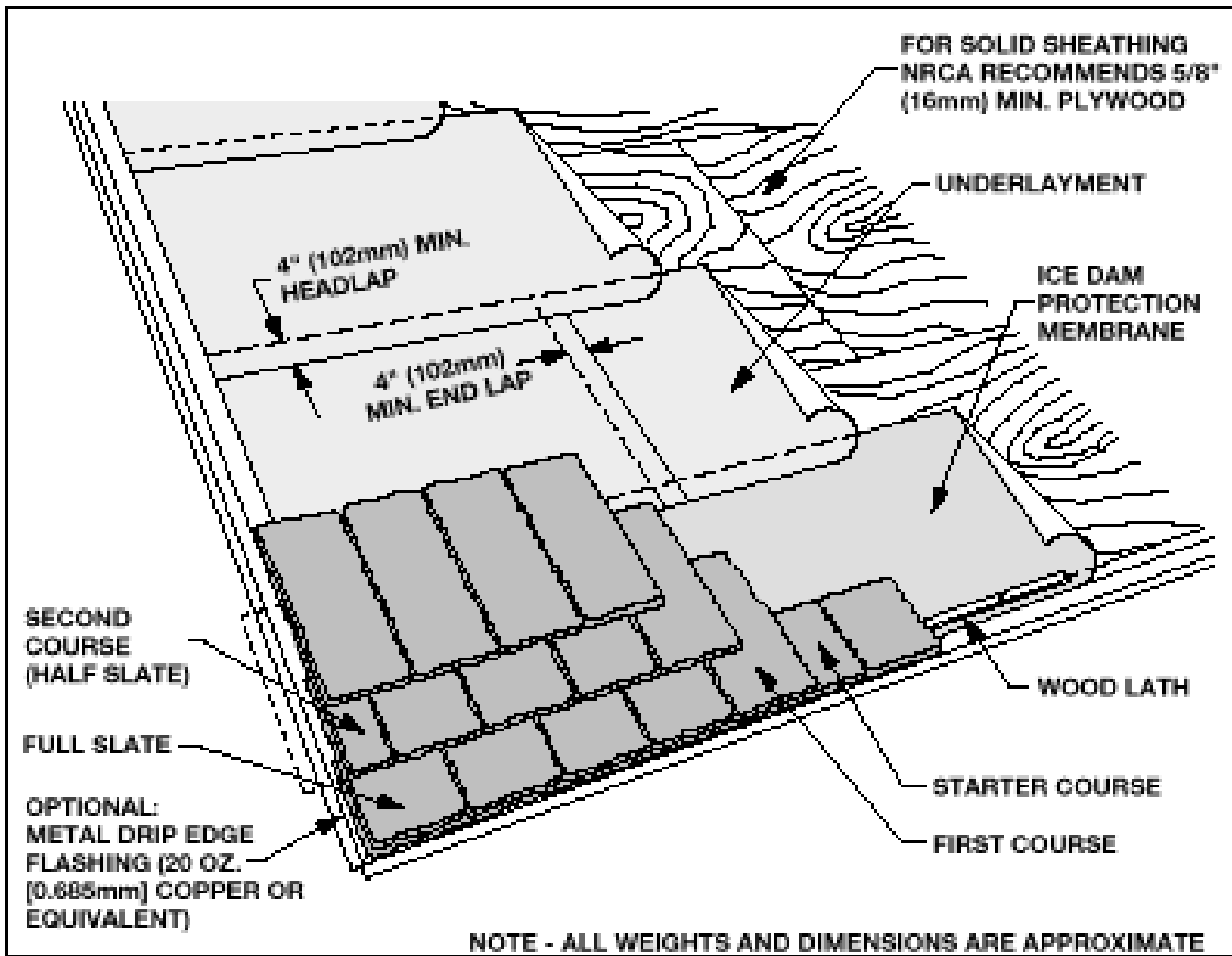


Figure 9 Example showing layout of ice dam protection membrane, 1 ply underlayment, and slate.

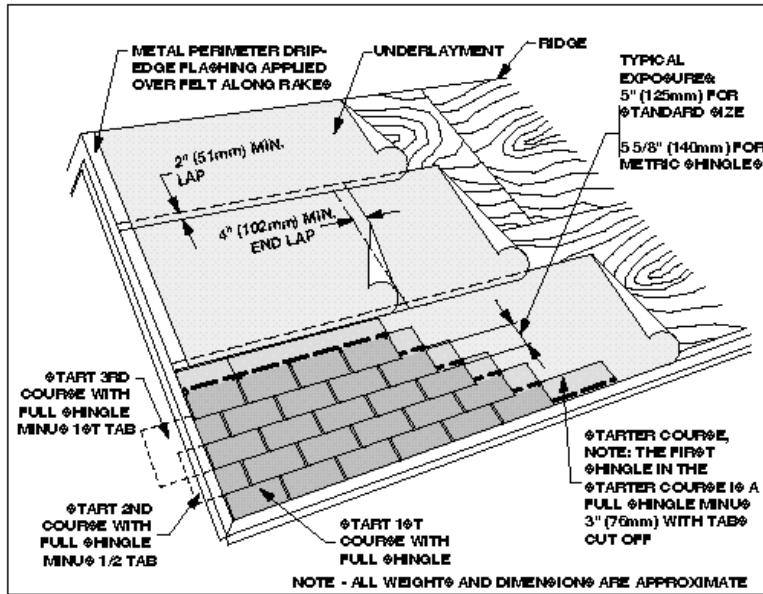
APPROVED
Montgomery County
Historic Preservation Commission

Ronald A. ...

REVIEWED
By Dan.Bruechert at 3:12 pm, Mar 03, 2021

SHINGLE INSTALLATION:

Installation of your selected roofing shingle will be as per the manufacturer's nailing and exposure specifications. All work to be installed by closely supervised insured employees.



REVIEWED

By Dan.Bruechert at 3:12 pm, Mar 03, 2021

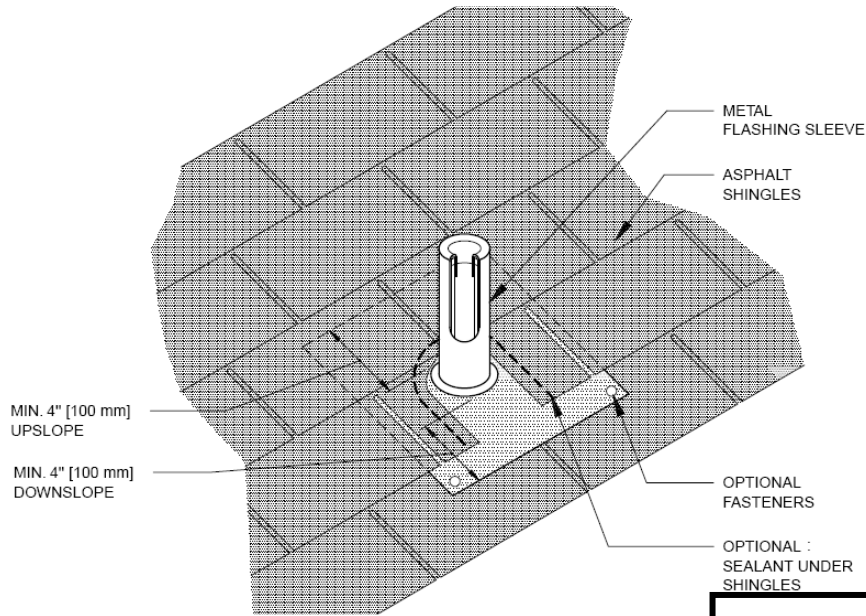
FASTENERS FOR ROOFING APPLICATION:

Nailing locations vary by shingle style and roof slope. It is critical to fasten the shingles in the proper locations in order to achieve designed performance. Improperly fastened shingles may blow off or slip out of place.

- Nails shall be barbed or rough shanked and must be corrosion resistant.
- Nails shall be a minimum of 11-gauge and nail head diameter shall be a minimum of 3/8".
- Nail shanks must be long enough to penetrate the roofing and then go 3/4" into solid wood, plywood or non-veneer wood decking, or through the thickness of the decking, whichever is less.
- **It is Maggio Roofing's policy not to STAPLE shingles to the roofing deck.**

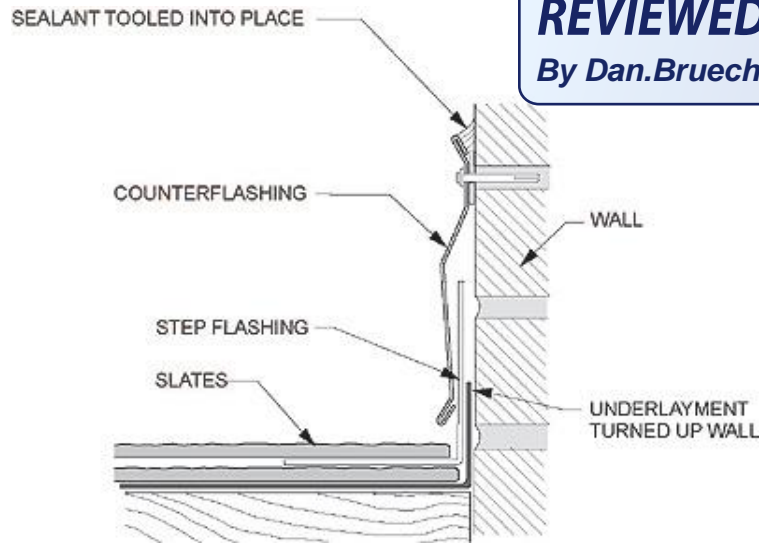
PIPE FLASHING:

Vent pipes penetrating a roof are subject to leakage due to movement; expansion and contraction. Roof cement or caulk at pipe penetrations does not qualify for the manufacturer's long-term warranty. This proposal includes installation of no-caulk pipe flashings, which is concurrent with the long-term shingle warranty.



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Historic Preservation Commission
Ronald H. [Signature]

WALL FLASHING DETAIL:



REVIEWED
By Dan.Bruechert at 3:12 pm, Mar 03, 2021

SCOPE OF WORK: MAIN HOUSE REAR ADDITION

GOOD

STEEP ROOFING - Shingles

- ___ Tear off existing roof material (up to two layers) to the deck. More than two layers will result in additional charges
- ___ Remove first two bottom courses of slates from original roof that tie in with shingle roof on addition.
- ___ *Any replacement of rotted/damaged framing or finishing lumber will be written as a "Contract Addendum". These contract addendums will be priced based on the published price sheet and will be billed according to the job specifications of that contract.*
- ___ Re-nail any loose roof deck to the roof rafters
- ___ Provide and install 86 lineal feet of new perimeter edge metal.
- ___ Provide and install 325 square feet of CERTAINTEED WINTER GUARD BRAND OF ice & water shield membrane to eaves and at top of roof that ties in with slate roof.
- ___ Provide and install 2 squares of CERTAINTEED BRAND OF ROOFERS SELECT 30 LB. underlayment.
- ___ Provide and install 5.2 squares of new CERTAINTEED LANDMARK ARCHITECTURAL shingles with a lifetime material warranty, according to manufacturer's specifications.
- ___ Provide and install 18 feet of new aluminum step flashing to lower addition roof over garage
- ___ Fabricate and install 18 feet of straight aluminum counter flashing to lower addition roof over garage
- ___ Provide and install 2 new PVC lifetime locking pipe collars
- ___ Provide and install 58 feet of 5" Aluminum K gutter to both roof sections being replaced
- ___ Provide a Lifetime manufacturer's warranty on materials
- ___ Provide a 10 year contractor's warranty
- ___ Clean gutters of roofing debris.
- ___ Clean up and haul off all roofing debris from property.
- ___ Protect landscaping as best as possible.

TOTAL \$ 7,485

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| APPROVED Montgomery County Historic Preservation Commission  |
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REVIEWED

By Dan.Bruechert at 3:12 pm, Mar 03, 2021