



## HISTORIC PRESERVATION COMMISSION

Marc Elrich  
*County Executive*

Robert Sutton  
*Chairman*

Date: March 3, 2021

### MEMORANDUM

TO: Mitra Pedoeem  
Department of Permitting Services

FROM: Dan Bruechert  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit # 943957 - Roof Replacement

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** historic preservation staff.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Adam Sherwat & Chuen-Yen Lau  
Address: 8000 Hampden Ln., Bethesda

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3400 or [dan.bruechert@montgomeryplanning.org](mailto:dan.bruechert@montgomeryplanning.org) to schedule a follow-up site visit.





## HISTORIC PRESERVATION COMMISSION

HAWP #: \_\_\_\_\_ at: \_\_\_\_\_

submitted on: \_\_\_\_\_

has been reviewed and determined that the proposal fits into the following category/categories:

Repair or replacement of a masonry foundation with new masonry materials that closely match the original in appearance;

Installation of vents or venting pipes in locations not visible from the public right-of-way;

New gutters and downspouts;

Removal of vinyl, aluminum, asbestos, or other artificial siding when the original siding is to be repaired and/or replaced in kind;

Removal of accessory buildings that are not original to the site or non-historic construction;

Repair or replacement of missing or deteriorated architectural details such as trim or other millwork, stairs or stoops, porch decking or ceilings, columns, railings, balusters, brackets shutters, etc., with new materials that match the old in design, texture, visual characteristics, and, where possible materials, so long as the applicant is able to provide one extant example, photographic evidence, or physical evidence that serves as the basis for the work proposed;

Construction of wooden decks that are at the rear of a structure and are not visible from a public right-of-way;

Roof replacement with -compatible roofing materials, or with architectural shingles replacing 3-Tab asphalt shingles;

Installation of storm windows or doors that are compatible with the historic resource or district;

Repair, replacement or installation of foundation-level doors, windows, window wells, and areaways, or foundation vents, venting pipes, or exterior grills that do not alter the character-defining features and/or the historic character of the resource;

Construction of fences that are compatible with the historic site or district in material, height, location, and design;

Fence is lower than 48" in front of rear wall plane;

Construction of walkways, parking pads, patios, driveways, or other paved areas that are not visible from a public right-of-way and measure no more than 150 square feet in size;

Replacement of existing walkways, parking pads, patios, driveways, or other paved areas with materials that are compatible with the visual character of the historic site and district and that are no greater than the dimensions of the existing hardscape;

Construction of small accessory buildings no larger than 250 square feet in size that are not visible from the public right-of-way;

Installations of skylights on the rear of a structure that will not be visible from the public right-of-way, and would not remove or alter character-defining roof materials;

Installation of solar panels and arrays in locations that are not readily visible from the public right-of-way or that are designed so as to have a minimal impact on the historic resource or the historic district (e.g., systems that are ground-mounted in areas other than the front or side yard of a corner lot, located on accessory or outbuildings, on non-historic additions, or on rear facing roof planes);

Installation of car charging stations in any location on a property or in the right-of-way;

Installation of satellite dishes;

Removal of trees greater than 6" in diameter (d.b.h.) that are dead, dying, or present an immediate hazard.

Removal of trees greater than 6" in diameter (d.b.h.) in the rear of the property that will not impact the overall tree canopy of the surrounding district or historic site;

Replacement tree required as a condition; and,

Other minor alterations that may be required by the Department of Permitting Services post-Commission approval that would have no material effect on the historic character of the property.

Staff finds the proposal complies with Chapter 24A, the Secretary of the Interior's Standards for Rehabilitation, and any additional requisite guidance. Under the authority of COMCOR No. 24A.04.01, this HAWP is approved by J. Brueckert on \_\_\_\_\_. The approval memo and stamped drawings follow.

## Project Description: Sherwat-Lau Roof Repair/Replacement

### Description of Property:

This application is for work on 8000 Hampden Lane, a contributing property in the Greenwich Forest Historic District in Bethesda, MD. The home is a Pennsylvania farmhouse style single family home built in 1938 on a corner lot (see Figure 1). It is a two-story home with a partial basement. The addition (on the right of the photograph and indicated by the purple arrow) was built in 1988.



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Montgomery County  
Historic Preservation Commission

*Sandra J. Heiler*

**REVIEWED**

By Dan.Bruechert at 2:50 pm, Mar 03, 2021

Figure 1. 8000 Hampden Lane, Bethesda, MD 20814

**Description of Current Condition and the Proposed Work** (i.e., replacement of sections of slate roof shingles with standing seam copper roofing):

- a. There is an active leak in the rear roof of the addition. The roof currently is covered with a tarp and anchored with sandbags (Figure 2). The water is leaking through the ceiling of the addition and the visible sheathing is rotten (Figure 3). The roofers we have consulted have recommended transitioning the two low pitch sections of the addition's roof from slate to copper. Figure 4 shows the 2<sup>nd</sup> section of low-pitched roof of the addition to be transitioned to copper.



- b. The kitchen addition (bump-out) also has a slate roof with a low pitch (Figure 5) and managing rainwater runoff has been challenging. The roofers we have consulted have also recommended transitioning this section of roof to copper.



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*Sandra L. Heiler*

**REVIEWED** active leak in addition with a tarp covering the roof  
By Dan.Bruechert at 2:50 pm, Mar 03, 2021



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Historic Preservation Commission

*Sandra L. Heiler*

second section of low sloped slate roof on addition

**REVIEWED**

By Dan.Bruechert at 2:50 pm, Mar 03, 2021





Figure 5: Slate roof on kitchen bump-out (red arrow). Current copper roofing (green arrows)

**Description of Work Proposed:**

- Remove existing slate from the three sections of roof described above and indicated by the blue arrows in Figures 6 & 7 below
- Install new standing seam copper roofs on the three sections of roof described above.

There are several areas of copper roofing already on the home (Figure 5 green arrows). The replacement of the sections of slate shingles (all of which are on additions) with standing seam copper will have no impact on the historic significance of this property.

None of the sections of roof we propose to change from slate to copper are visible from the public right-of-way (Figure 8). N.B. The structure seen to the right of the addition in Figure 8 is the neighbor's house.



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Historic Preservation Commission

*Sandra L. Heiler*

Figure 6: Overhead view of the house

**REVIEWED**

By Dan.Bruechert at 2:51 pm, Mar 03, 2021

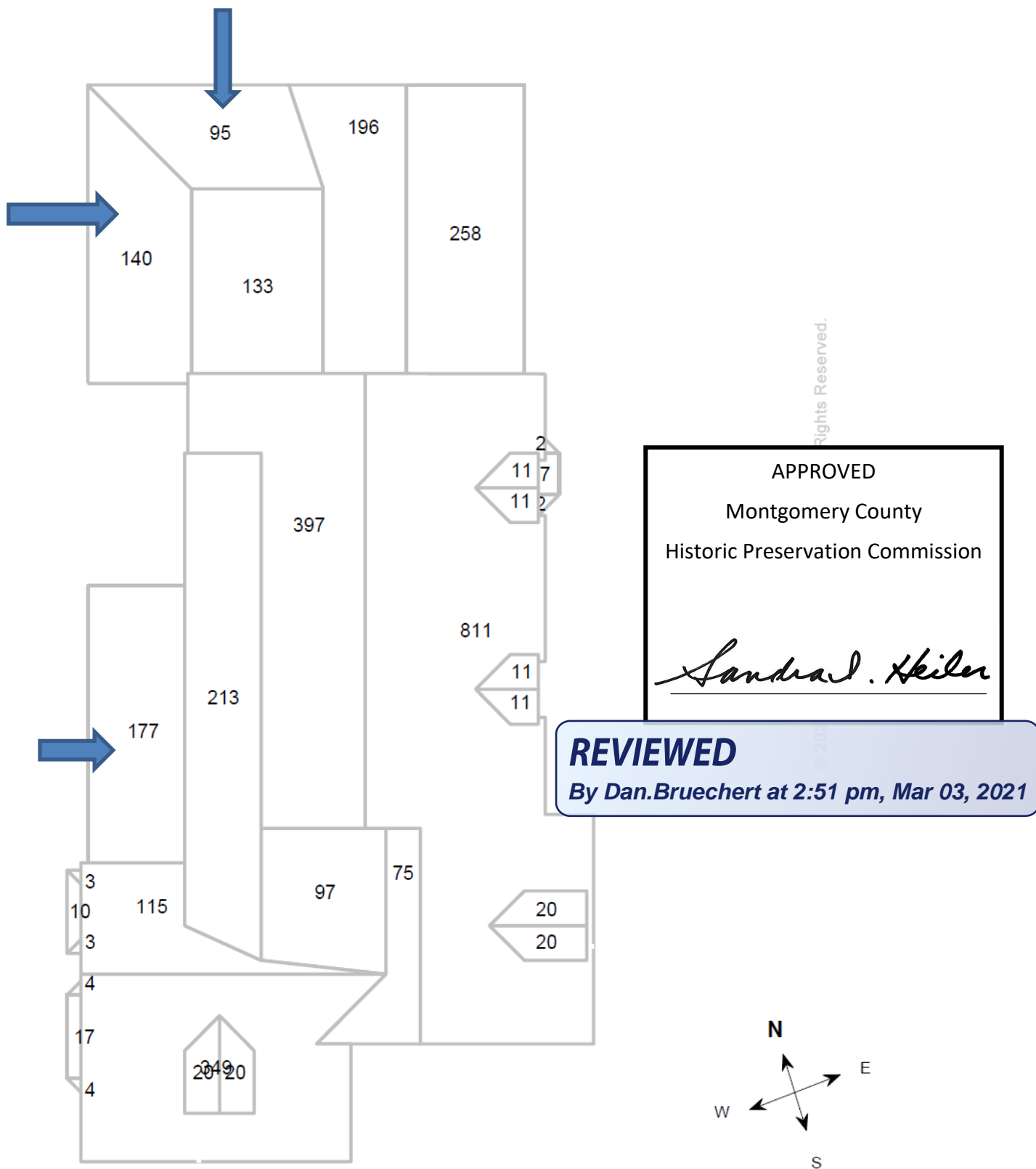


Figure 7: Overhead schematic view with square footage of roof sections