



## HISTORIC PRESERVATION COMMISSION

Marc Elrich  
*County Executive*

Sandra I. Heiler  
*Chairman*

Date: March 26, 2020

### MEMORANDUM

TO: Hadi Mansouri  
Department of Permitting Services

FROM: Dan Bruechert  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #907120: Fenestration Alteration

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** at the March 25, 2020 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Susan Bundock  
Address: 7213 Maple Ave., Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3400 or [dan.bruechert@montgomeryplanning.org](mailto:dan.bruechert@montgomeryplanning.org) to schedule a follow-up site visit.



APPROVED  
Montgomery County  
Historic Preservation Commission

*Sandra J. Heiler*

**REVIEWED**

By Dan.Bruechert at 3:53 pm, Apr 14, 2020

# Kitchen Renovation for: Bundock/Johnson Residence 7213 Maple Ave. Takoma Park, MD 20912

### GENERAL DEMOLITION NOTES:

1. Remove any existing kitchen cabinets and fixtures as necessary to implement new plan layout; save any items as per owners' request, dispose of all others.
2. Remove/re-route plumbing (water supplies, drains, vents and gas lines, radiators, etc.) as necessary to accomplish new plan layout and to minimize their impact on the new space; cap off lines as necessary during construction. If any lines discovered cannot be moved/re-routed easily, notify architect to review solutions.
3. Remove all trim, gypsum board/plaster, doors, thresholds, flooring, etc. but only as necessary to implement new layout and design.
4. For removal of any lead paint, asbestos tile or siding, etc., a certified asbestos or lead abatement professional must be used.
5. Remove existing wall and/or floor construction as noted on plans as necessary to implement new layout; if walls are bearing walls, use temporary supports to re-direct loads until new bearing elements are constructed.
6. Remove and salvage (as per owners' request) existing light fixtures to implement new plan layout.
7. Remove all electrical outlets, fixtures, smoke alarms, telephone wiring, exposed wiring, etc. that are to be replaced by new work.
8. Dispose of all discarded material in a safe and clean manner.
9. Protect all surfaces during demolition (and construction) from unnecessary damage.

### ELECTRICAL & LIGHTING LEGEND

- "E" Indicates existing unit (light or outlet)  
(all outlets to be made code-compliant)
- ⊕ Duplex Outlet/new
- ⊕<sub>AVC</sub> Duplex Outlet/new/above counter
- ⊕<sub>GFCI</sub> Duplex Outlet/new/GFCI  
(all outlets in kitchens, beds, and exterior are to be GFCI)
- ⊕<sub>AFCI</sub> Duplex Outlet/new/AFCI  
(All-Fault Circuit Interrupter outlets for all beds in Kitchens)
- ⊕ Double Duplex Outlet
- ⊕<sub>F</sub> Duplex Floor Outlet
- ⊕<sub>240</sub> 240v Outlet
- ⊕ Exhaust Fan
- ⊕<sub>EF/H</sub> Exhaust Fan/Heat
- ⊕<sub>EF/H/L</sub> Exhaust Fan/Heat/Light
- ⊕ Ceiling Fan
- ⊕<sub>CF/L</sub> Ceiling Fan/Light
- ⊕ Pendant Light Fixture
- ⊕ Recessed Light Fixture
- ⊕ Recessed Light Fixture/Existing
- ⊕<sub>REB</sub> Recessed Light Fixture/Eyeball
- ⊕<sub>SM</sub> Surface Mounted Light Fixture
- ⊕<sub>WM</sub> Wall Mounted Light Fixture/Sconce
- ⊕<sub>LF/W</sub> Light Fixture /Waterproof
- ⊕<sub>DL</sub> Dual Flood Light
- ⊕<sub>DT</sub> Data/Telephone Jack
- ⊕<sub>CTV</sub> Coaxial/Cable TV
- ⊕ Audio Speaker
- S Switch
- S<sub>D</sub> Switch/Dimmer
- S<sub>3</sub> Three-way Switch
- ⊕ Track light
- ⊕ "Plugmold" Power Strip
- ⊕<sub>UC</sub> Undercabinet Lights
- ⊕ Smoke & Carbon Monoxide Detectors  
(hard-wired in dedicated circuit, interconnected, with battery backup)

### House/Site Information:

Lot: 21 Block: 3  
Address: 7213 Maple Ave., Takoma Park, MD 20912  
Year built: 1898  
Zoning: R-60

### Project Information:

Outstanding Resource House in the Takoma Park Historic District. Renovate existing kitchen, replace and add new windows at rear wall; move rear door.

### Residential Code Information:

All construction shall be in conformance with the International Residential Code (IRC), 2012 Edition, as Amended by Mont. Co., ER 8-12.

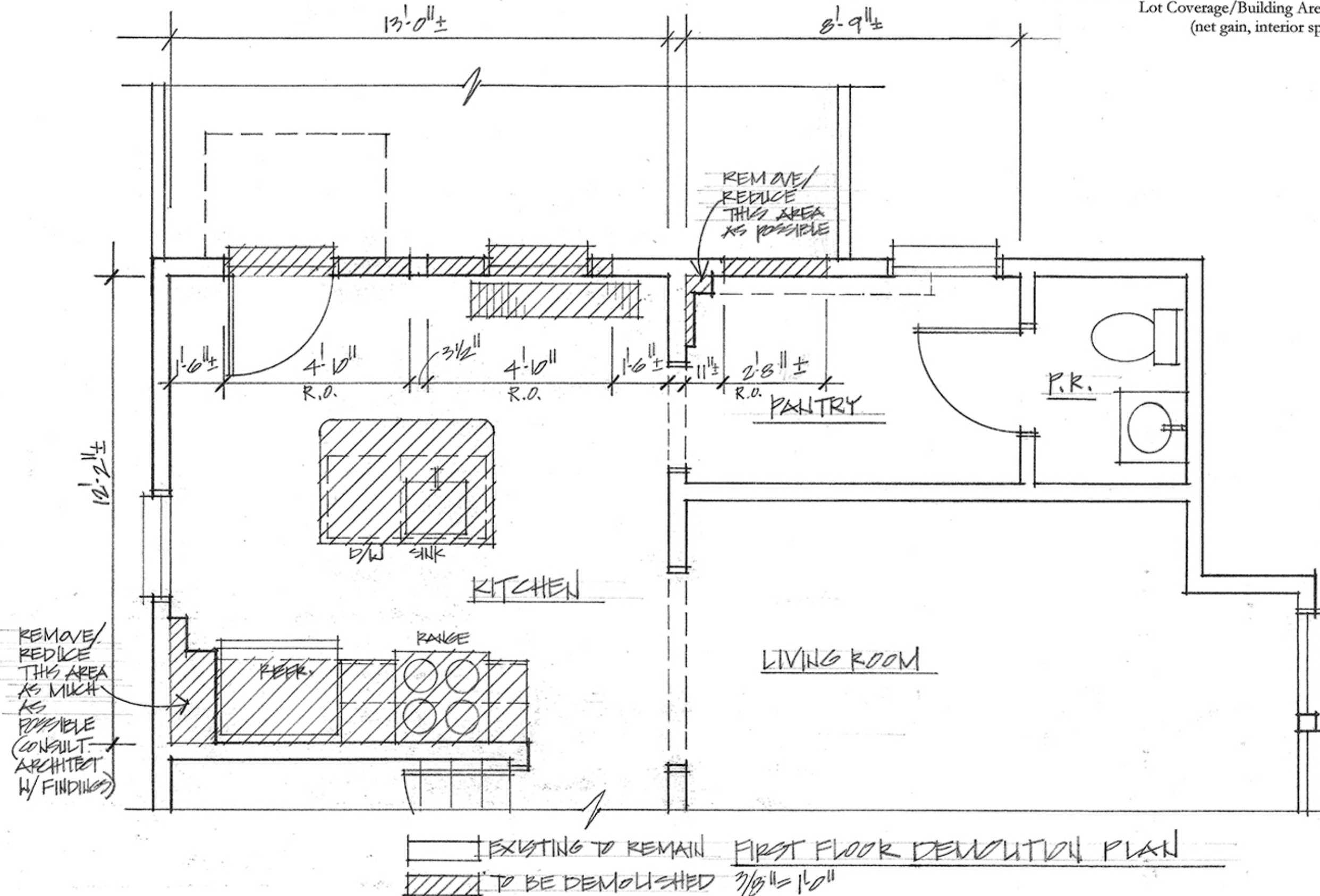
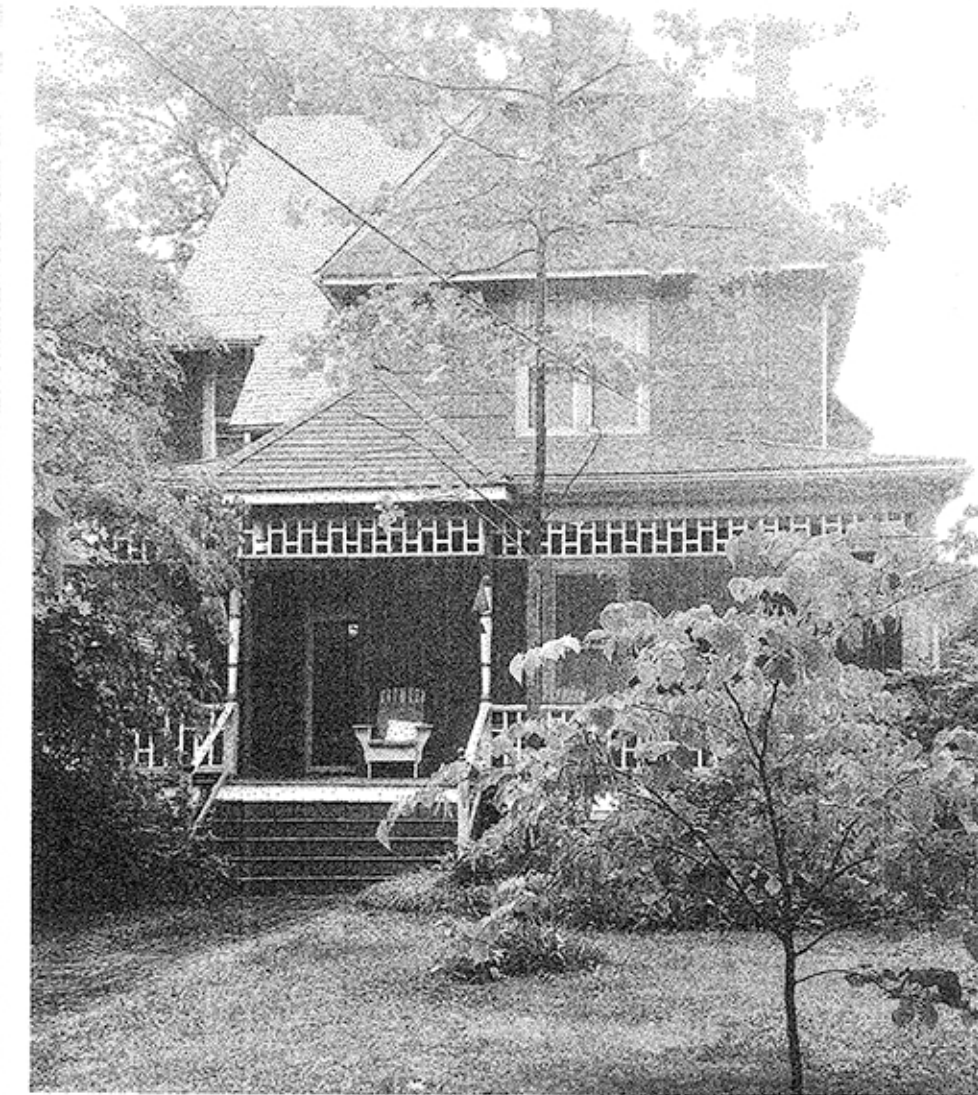
### AREA CALCULATIONS

#### EXISTING:

Lot Area: 12,705 s.f.  
Lot Coverage/Building Area: 2338 s.f.  
% of Lot Coverage: 18.4%

#### PROPOSED:

Lot Coverage/Building Area (net gain, interior space): 0 s.f.



### GENERAL CONSTRUCTION NOTES:

1. This is only a renovation of an existing space; appliances and fixtures will be replaced in kind. No new plumbing fixtures are being added.
2. These drawings are to show only materials and layout of the design; means and methods are to be determined by contractor. The contractor shall fully acquaint him/herself with the conditions relating to construction and labor so that he/she understands the issues relating to the execution of the work.
3. Contractor shall provide all materials, labor and equipment and pay all freight charges, taxes, and handling of materials necessary for the full implementation of the work herein described on these drawings unless noted otherwise.
4. Contractor to verify all dimensions and assumed conditions in the field; bring any discrepancies, omissions, ambiguities or conflicts to the attention of the architect and owner as soon as possible before proceeding with any of this work in question.
5. Contractor to notify architect if any existing pipes, ducts, or structural elements (or any other relevant item) that are revealed by demolition and are scheduled to be removed or re-routed for the new plan are determined to be not easily moved, or removed.
6. Contractor to notify architect and/or structural engineer if any existing wood joists, sheathing, studs, etc. are damaged or deteriorated from termites, water, etc.
7. All construction will meet or exceed all applicable building and health codes, unless a code modification approval is granted.
8. The owner's written authorization will be required before any work is executed or materials ordered that involve a change from the original specifications affecting the contract price.
9. All plan dimensions on drawings are set to edge of framing members; all finishes are not taken into account unless otherwise noted. If dimension is taken to a finish surface, it shall be noted as "FINISH DIMENSION", "FIN. DIM.", or "CLEAR DIM.".
10. Solid blocking required under posts or any bearing from above to solid bearing below; match bearing area of post above to bearing below; cut bearing blocks to minimum 1/16" deeper than joists.
11. Install solid blocking in walls for receipt of plumbing fixtures, accessories (towel bars, toilet paper holders, etc.), hardware, cabinets, etc., as necessary; verify rough-in dimensions for plumbing fixtures prior to framing of posts, studs, beams and joists.
12. All wood in contact with masonry/concrete surfaces shall be pressure-treated; install sill gasket underneath all sill plates.
13. New doors, windows and hardware, are to be provided and installed by contractor; verify window and door manufacturers' rough opening dimensions prior to framing.
14. In all newly exposed existing 2 x 4 furring or walls at exterior, insert insulation in any combination of closed cell foam/rockwool/batts for R-13, minimum.
15. If house-wrap and/or building paper is used, apply and lap in a shingle-fashion so that upper courses lap over lower courses; any window and door flashing is integrated into this system in the same manner. Apply Z-flashing at all heads and apply pan flashing at all sills.
16. All new or existing wall surfaces are to be prepared for painting to be smooth and free of cracks, peeling paint, etc.; walls to be primed and painted (2 coats, min.) with color to be selected by owner.
17. Install new interconnected AC-powered smoke and CO detectors as per drawings and per code, as necessary.
18. All electrical outlets in bath, kitchen (except refrigerator) and at exterior to be ground fault circuit interrupters (GFCI); in all rooms (except kitchens), all-fault circuit interrupters (AFCI) to be installed.
19. Upgrade electrical service as necessary to provide sufficient power for new fixtures, etc.
20. Electrical switches (dimmers, toggles, etc.), and telephone/modem to be approved by owner, installed by contractor. All decorative light fixtures to be selected by owner, installed by contractor.

### Sheet No. Sheet Title

Sheet No.	Sheet Title
Cover	Project Description /General Notes
A-1	1 <sup>st</sup> Floor Demolition Plan (1/4"=1'-0")/ Demolition Notes / Electrical & Lighting Legend
A-2	First Floor Plan (1/4"=1'-0")/ Kitchen Elevations (3/8"=1'-0")
A-2	Window & Door Schedule Exterior Elevations/Rear (1/4"=1'-0")/ Window Head/Sill Detail (3"=1'-0")
A-3	First Floor Framing Plan (1/4"=1'-0")/ Second Floor Framing Plan (1/4"=1'-0")/ Roof Framing Plan (1/4"=1'-0")

Professional Certification:  
I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland.  
License #: 8221-R, Exp. Date: 7/22/20

Vitullo Architecture Studio, PC  
7016 Woodland Ave.  
Takoma Park, MD 20912  
(301)806-6447 cell

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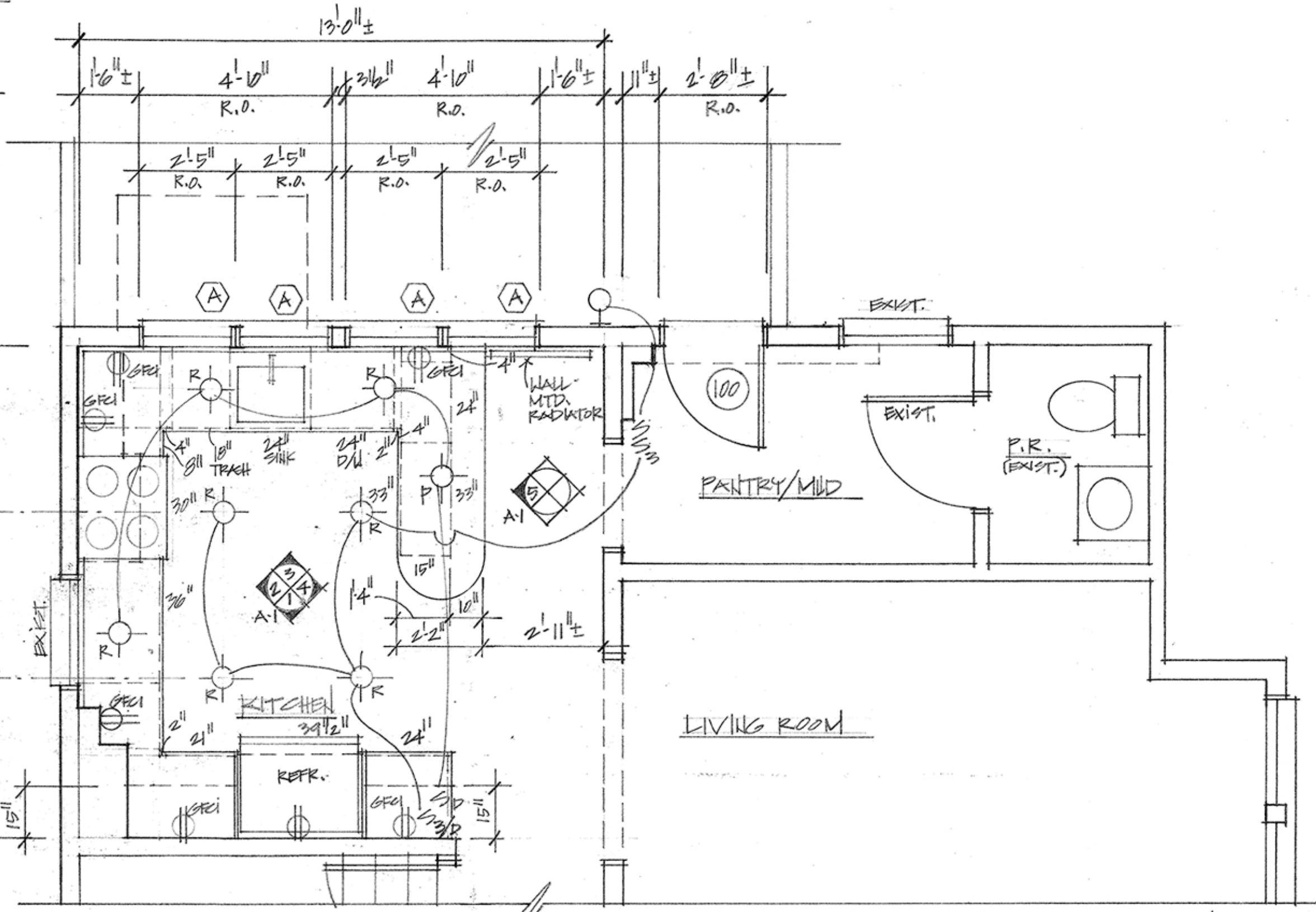
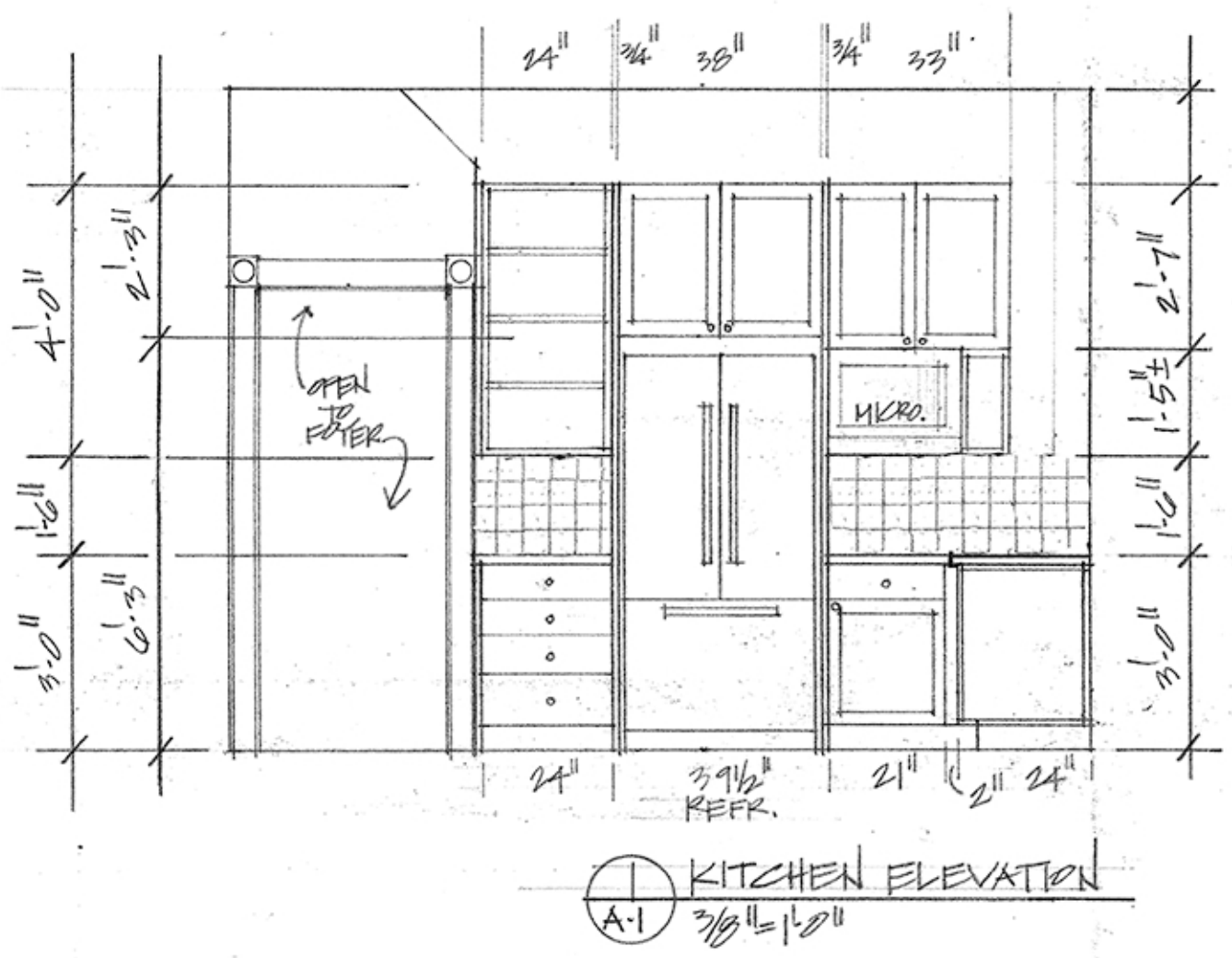
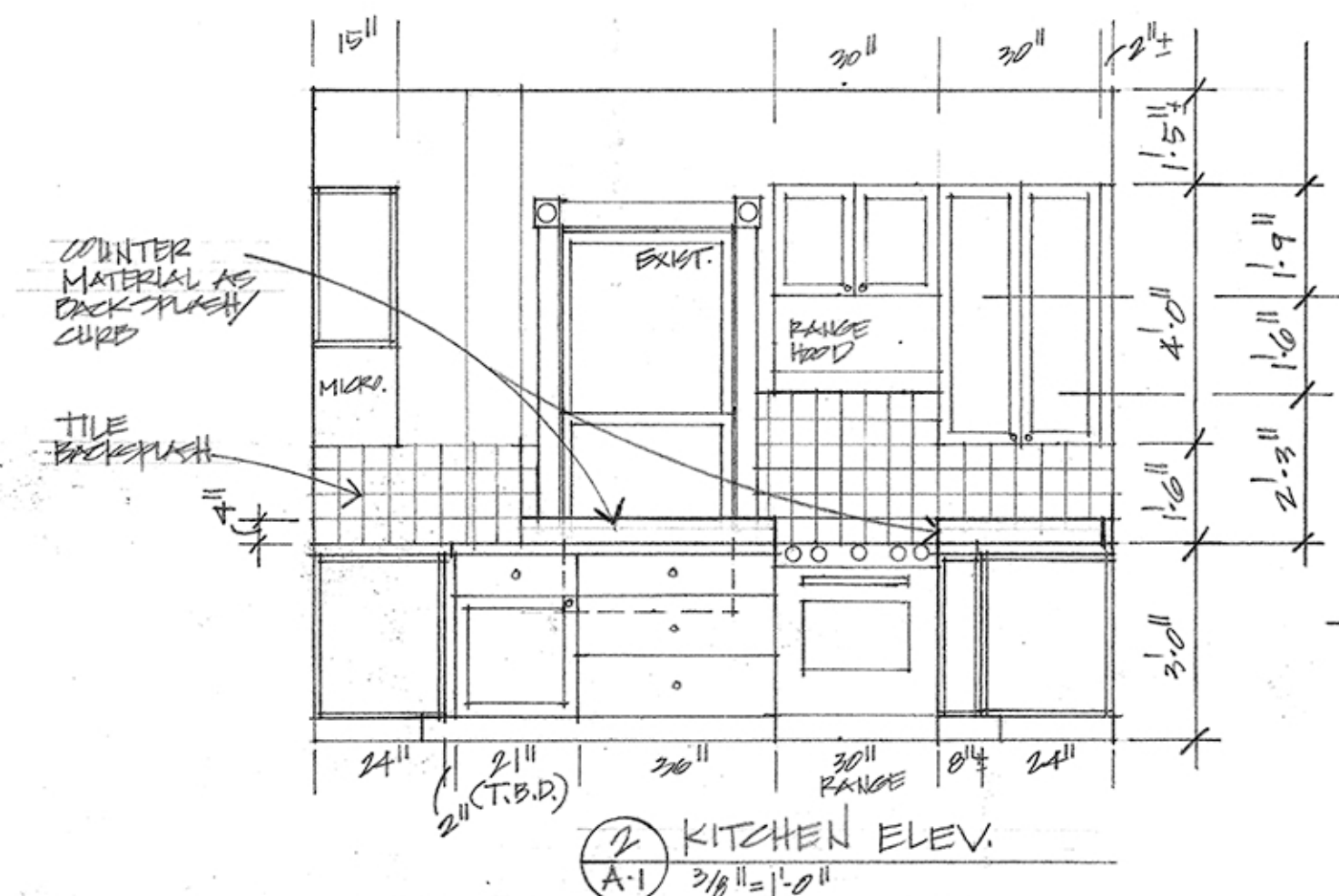
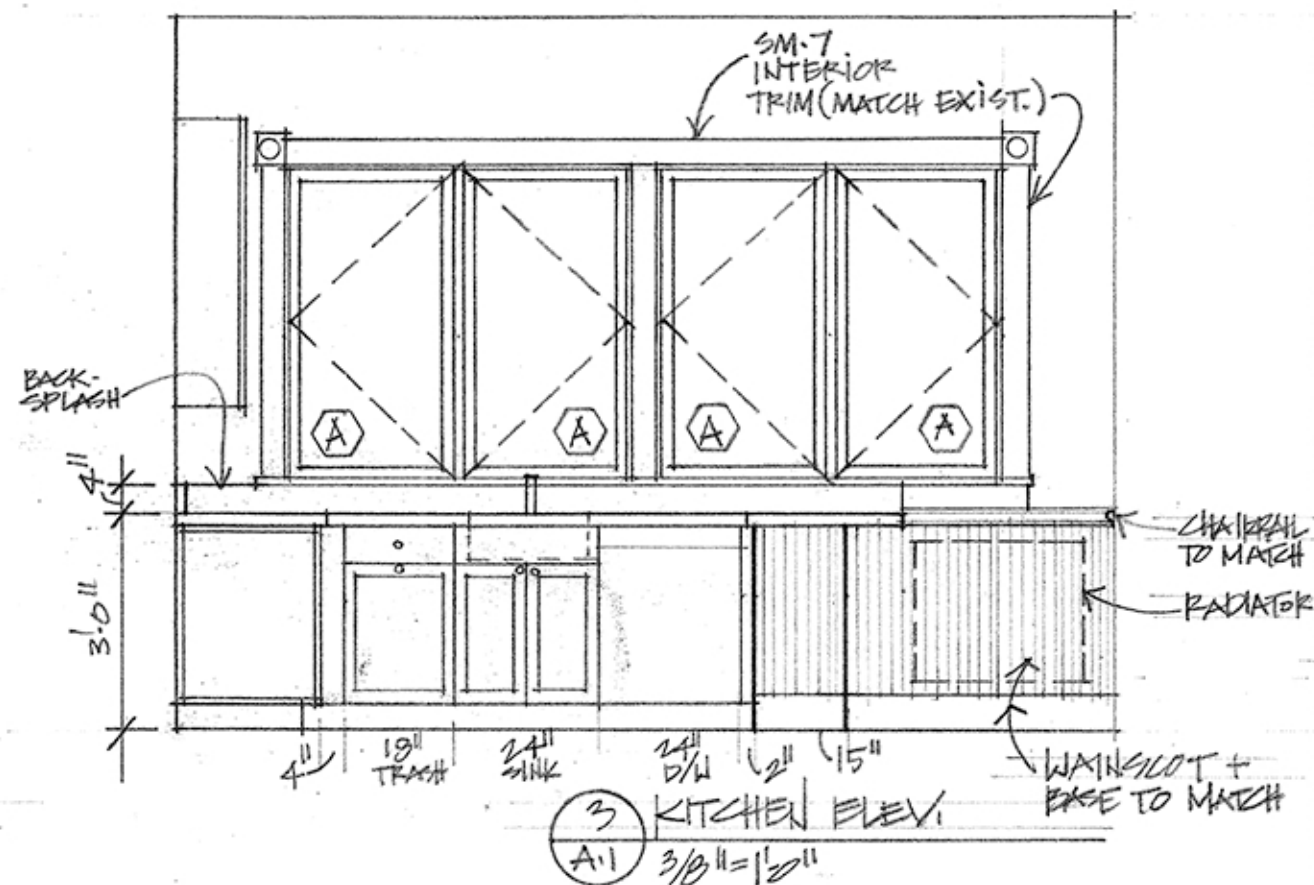
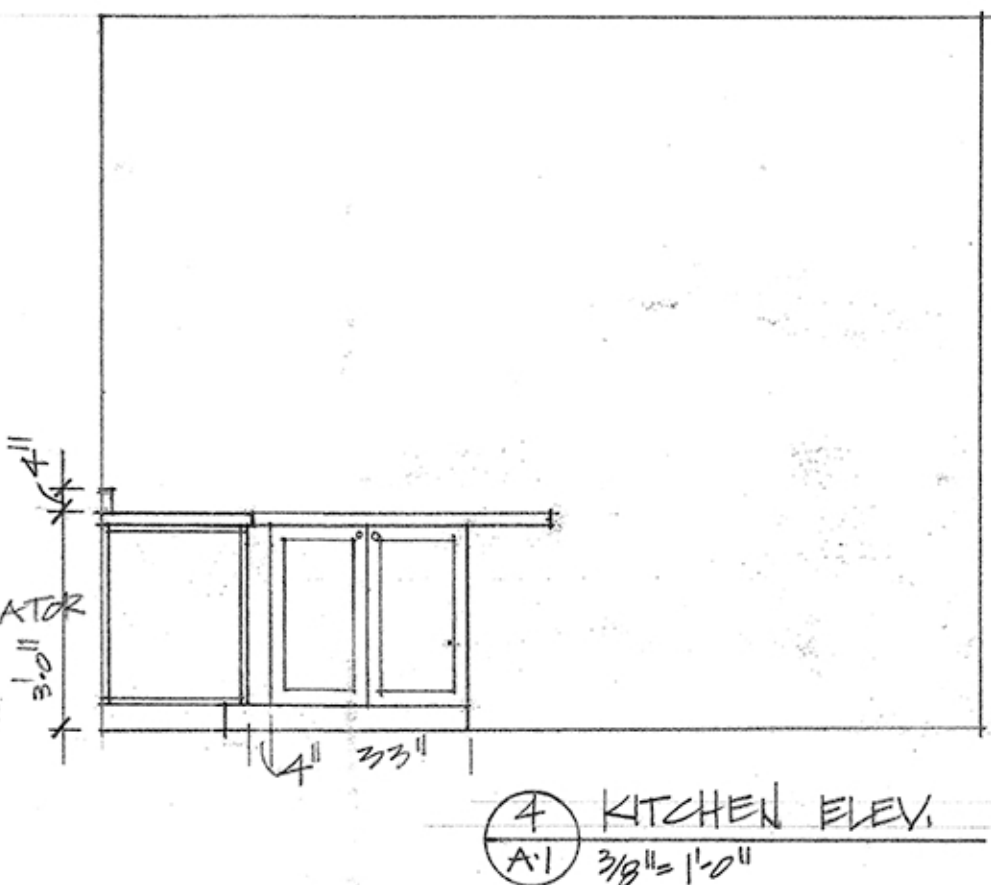
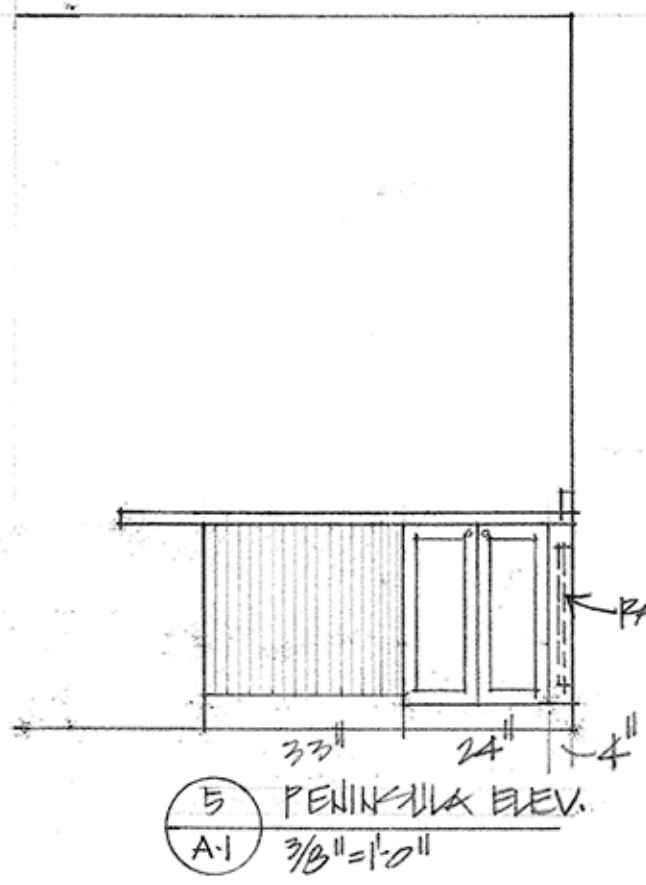
COVER

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*Sandra Heiler*

**REVIEWED**  
 By Dan.Bruechert at 3:53 pm, Apr 14, 2020



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A-1

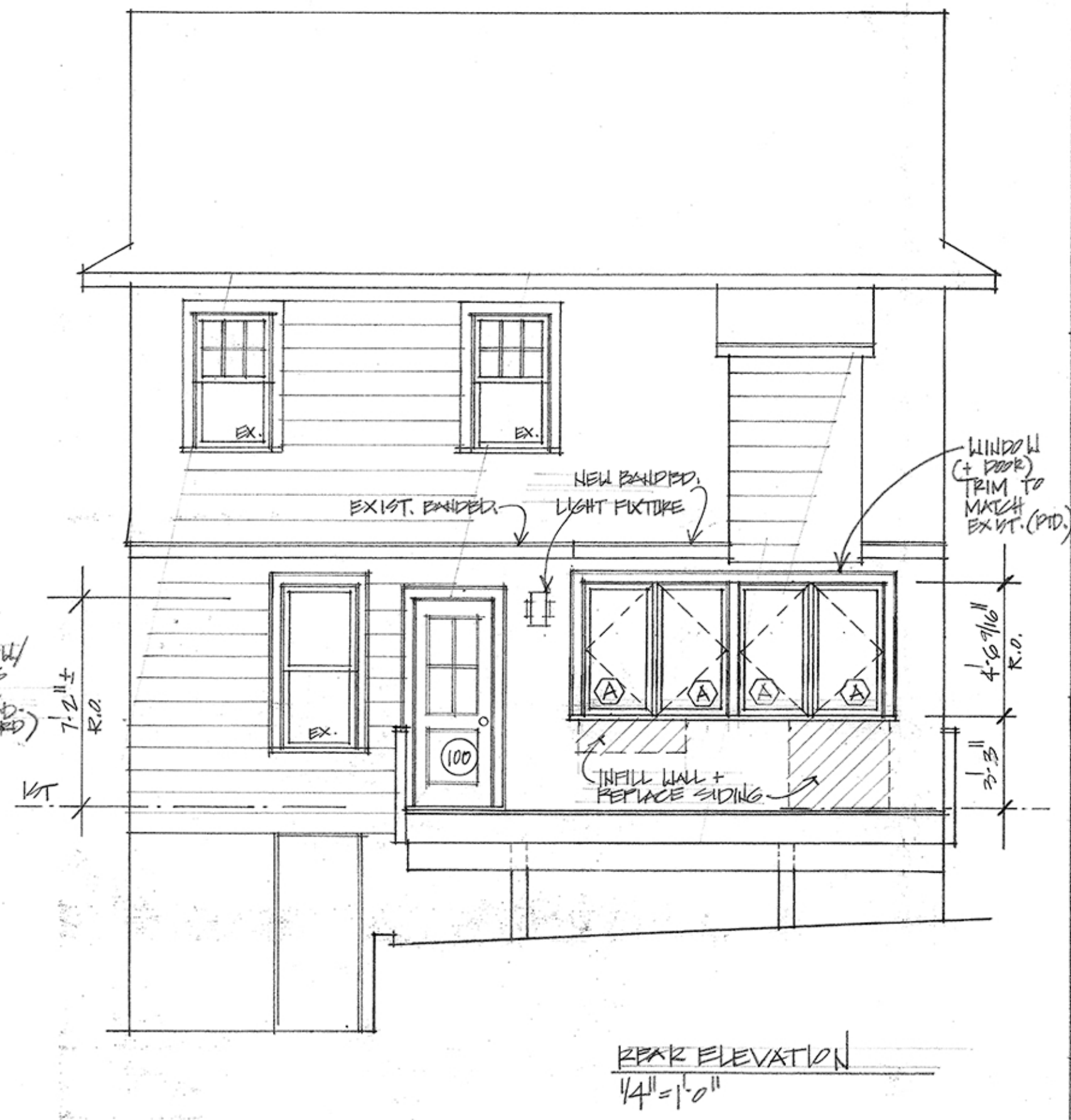
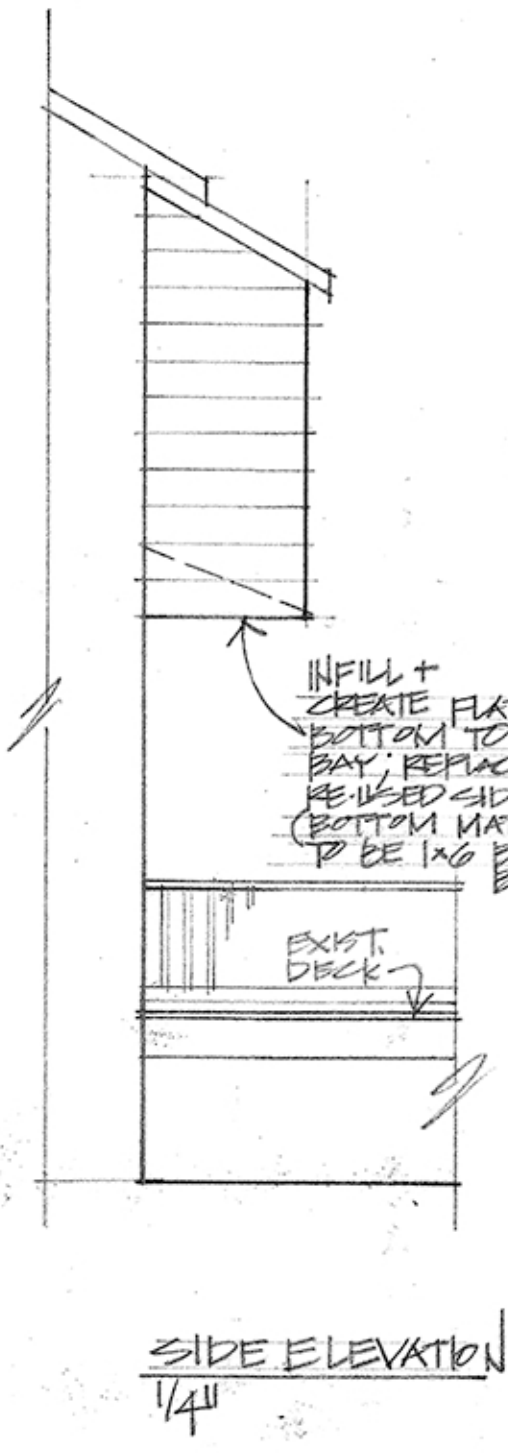
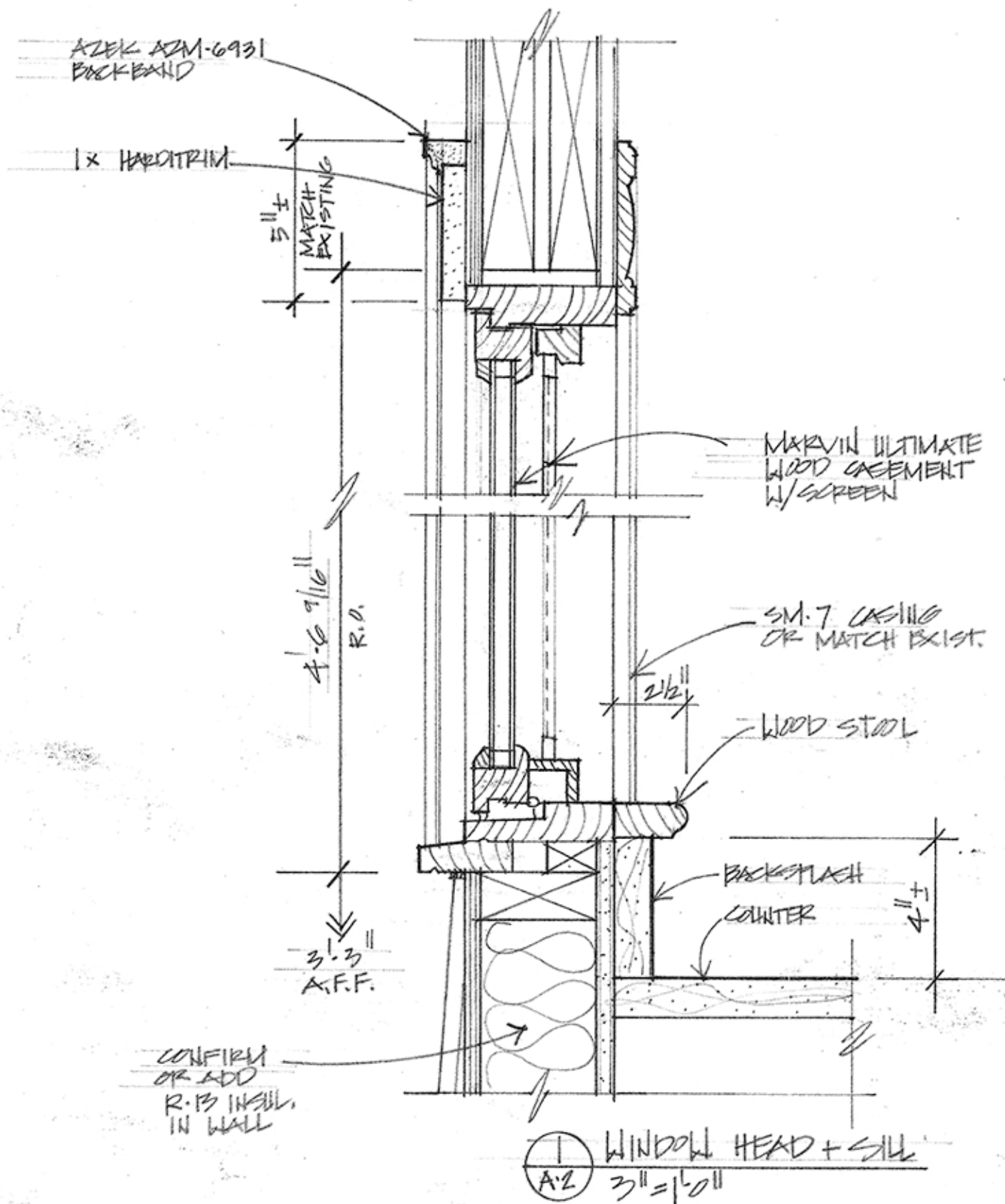
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WINDOW SCHEDULE					Manufacturer- Windows: Marvin/ Velux											
No.	Mfr. No.	Height, Unit (R.O.)	Width, Unit (R.O.)	Jamb Depth	Window Type/Material	Glazing Type	Grille Structure	Mullion Divisions	Screens / Screen Door	Hardware	Overall Glass Size (Total s.f.)	SHGC-value Total Unit	U-value Total Unit	Egress window	Quant.	Remarks
A	WUCA 2854	4'-6 1/16" (4'-6 9/16" R.O.)	2'-4" (2'-5" R.O.)	4 1/2"	CASEMENT /Wood interior & Wood exterior	Insulating glass Low E II w/ Argon/ TEMPERED	NONE	NONE	YES	Satin Taupe (Std.)	9.5 s.f. (38.0 s.f.)	0.25	0.29	no	4	Operable: 2 left hinged & 2 right hinged
SUBTOTAL												0.25 avg.	0.29 avg.	4 units		
DOOR SCHEDULE					Manufacturer- Doors: Marvin/ TBD											
No.	Mfr. No.	Height, Unit (R.O.)	Width, Unit (R.O.)	Jamb Depth	Door Type / Material	Glazing Type	Grille Structure	Mullion Divisions	Screens / Screen Door	Exterior Color	Overall Opening Size (Glass s.f.)	SHGC-value Total Unit	U-value Total Unit	Swing direction (shown from outside room)	Quant.	Remarks
100	TBD	7'-0" +/-	2'-8" +/-	4 1/2"	WOOD INSWING DOOR	Insulating glass Low E II w/ Argon/ TEMPERED	7/8" +/-	4-lites (see elevation)	TBD	n/a	6 s.f.	0.24	0.31	Hinged Left, from outside	1	Exterior Door
SUBTOTALS												0.24 avg.	0.31 avg.	1 units		
TOTALS												0.25 avg.	0.30 avg.	5 units		

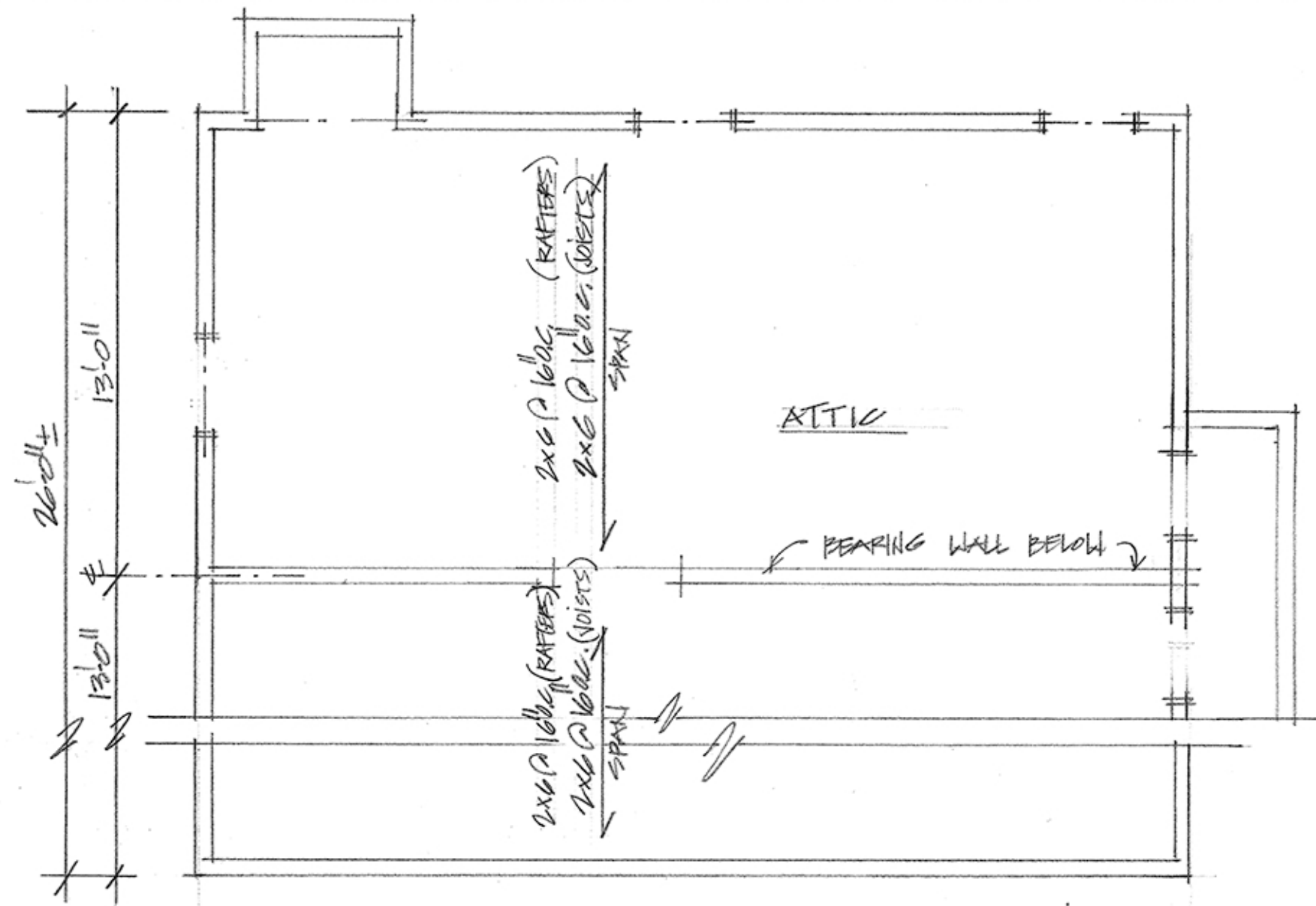


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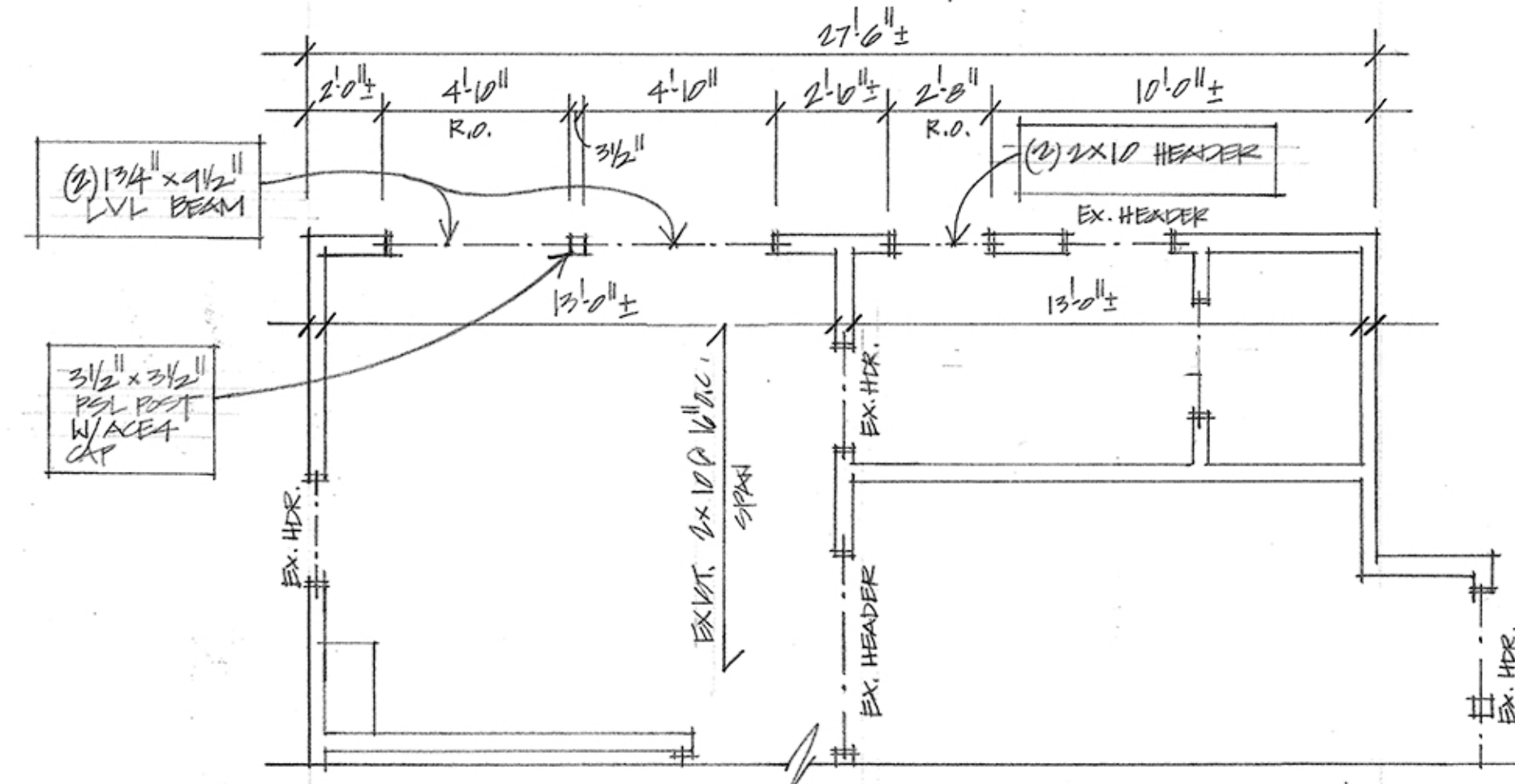
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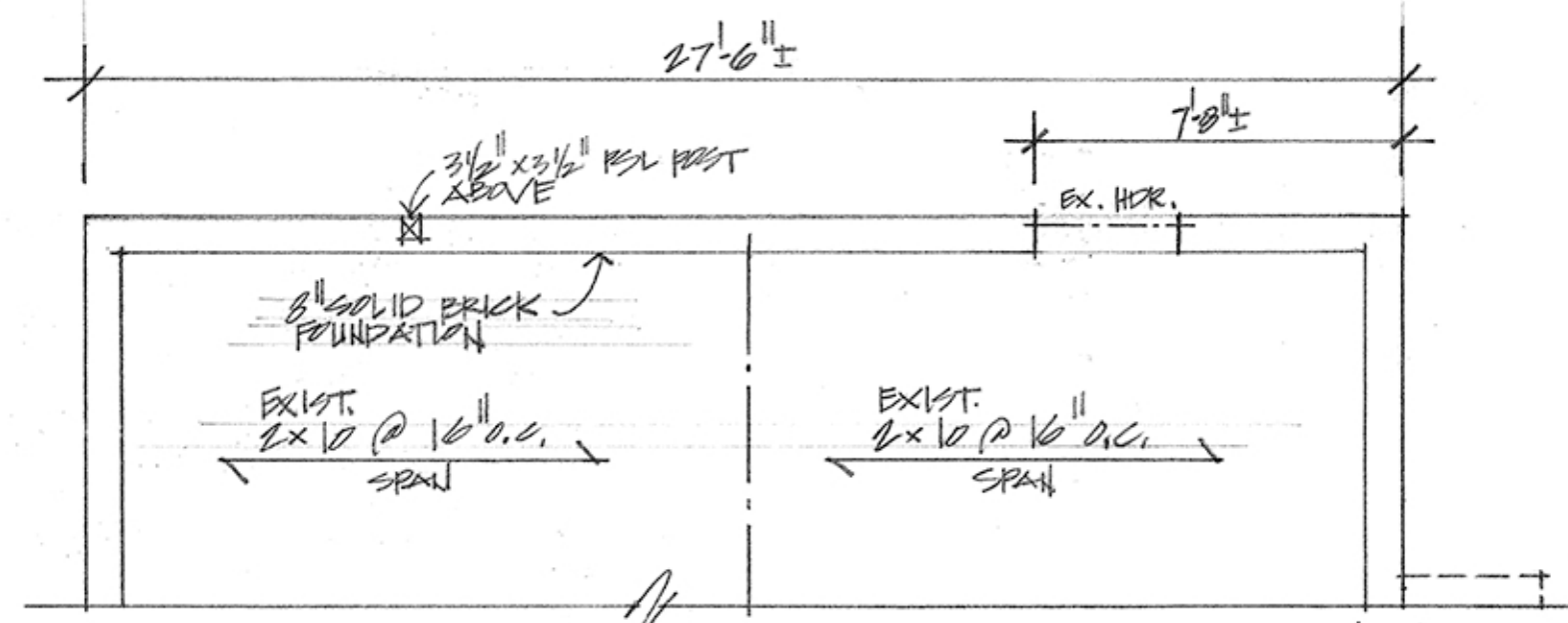
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ROOF FRAMING PLAN  
1/4" = 1'-0"



SECOND FLOOR FRAMING PLAN (PARTIAL)  
1/4" = 1'-0"



FIRST FLOOR FRAMING PLAN (PARTIAL)  
1/4" = 1'-0"

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A-3

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