



## HISTORIC PRESERVATION COMMISSION

Marc Elrich  
County Executive

Sandra I. Heiler  
Chairman

Date: April 2, 2020

### MEMORANDUM

TO: Hadi Mansouri  
Department of Permitting Services

FROM: Michael Kyne  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #904304: Demolition and stabilization

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the March 25, 2020 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: First Agape AME Zion Church (Thomas Taltavull, Architect)  
Address: 7700 Seven Locks Road, Bethesda

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Michael Kyne at 301.563.3403 or [michael.kyne@montgomeryplanning.org](mailto:michael.kyne@montgomeryplanning.org) to schedule a follow-up site visit.



Existing Property Condition Photographs (duplicate as needed)



**REVIEWED**  
By Michael Kyne at 1:34 pm, Apr 02, 2020

APPROVED  
Montgomery County  
Historic Preservation Commission  
Detail:  
*Sandra J. Heiler*

Photo No. 1: View of church structure (looking southwest)

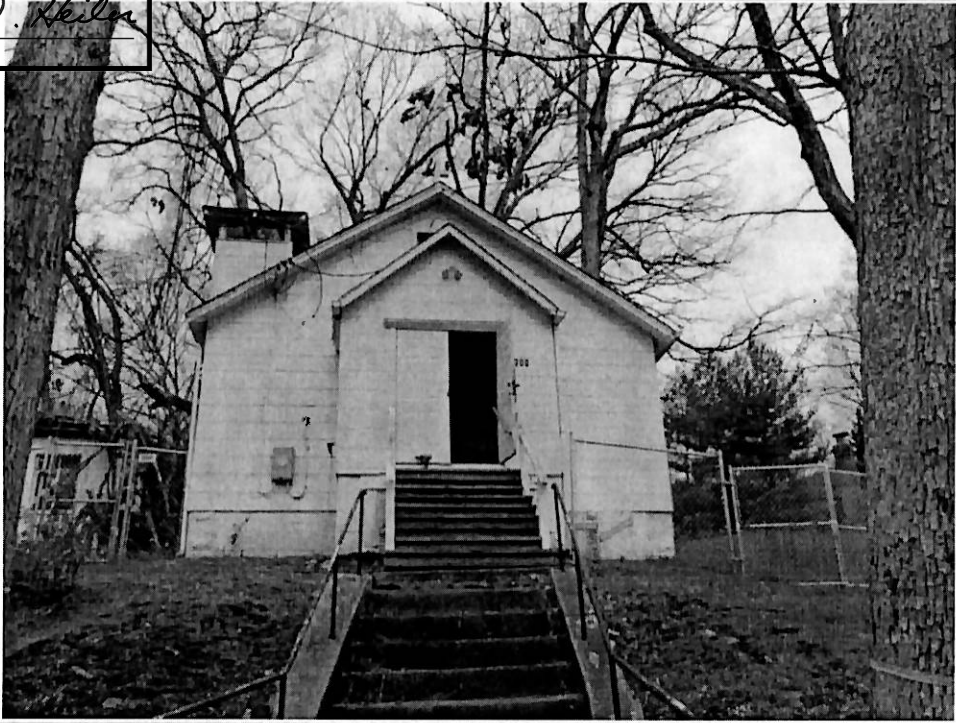


Photo No. 2: Front (east) elevation view of structure

Applicant: \_\_\_\_\_



Existing Property Condition Photographs (duplicate as needed)



**REVIEWED**  
By Michael Kyne at 1:34 pm, Apr 02, 2020

APPROVED  
Montgomery County  
Historic Preservation Commission  
  
Detail: \_\_\_\_\_  
*Sandra Heiler*

Photo No. 3: Right Side (North) elevation view of structure



Photo No. 4: Rear (West) elevation view of damaged structure

Applicant: \_\_\_\_\_

Existing Property Condition Photographs (duplicate as needed)



**REVIEWED**

By Michael Kyne at 1:34 pm, Apr 02, 2020

APPROVED

Montgomery County  
Historic Preservation Commission

Detail: \_\_\_\_\_

Photo No. 5: Rear (West) elevation view of damaged structure

*Sandra J. Heiler*

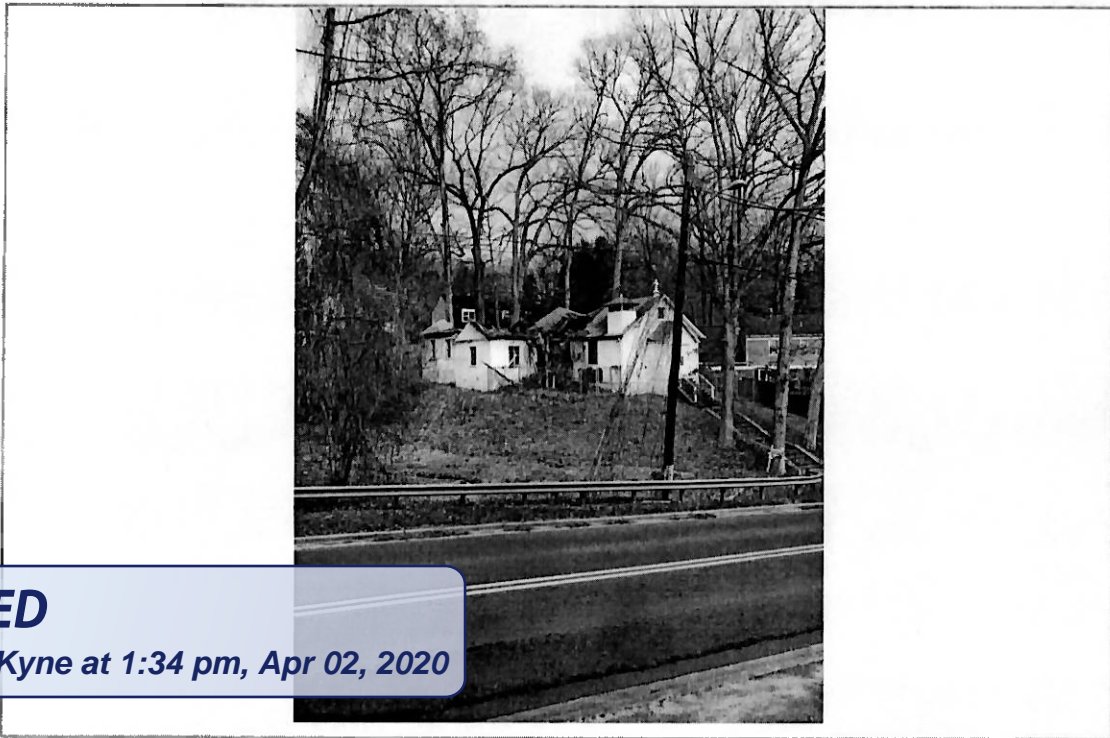


Photo No. 6: Left Side (South) elevation view of damaged structure  
Detail: \_\_\_\_\_

Applicant: \_\_\_\_\_



Existing Property Condition Photographs (duplicate as needed)



**REVIEWED**

By Michael Kyne at 1:34 pm, Apr 02, 2020

Photo No. 7: View of damaged structure looking Northwest

APPROVED  
Detail:  
Montgomery County

Historic Preservation Commission

*Sandra*



Photo No. 8: View of damaged structure looking Northwest

Detail: \_\_\_\_\_

Applicant: \_\_\_\_\_

CURVE DATA		TANGENT		CHORD BEARINGS		CURVE	
PC	PT	TA	EA	CB	CB	LC	EC
1750.00	1750.00	1750.00	1750.00	N 01°32'45" E	N 01°32'45" E	1750.00	1750.00

**REVIEWED**  
By Michael Kyne at 1:36 pm, Apr 02, 2020



**MHG**  
Civil Engineers  
Landscape Architects  
Land Surveyors  
9270 Magellan Road, Suite 120  
Montgomery Village, MD 20886  
Phone: 301 570-0040  
www.mhgpa.com

VICINITY MAP  
SCALE 1" = 2,000'

**LEGEND**

- CONTOUR
- CURVE & GUTTER
- WATER LINE
- FIRE HYDRANT
- SEWER LINE
- STONE DRAIN LINE
- OVERHEAD UTILITIES
- FENCING
- EASEMENT
- PROPERTY BOUNDARY
- LIGHT POLE
- TREE
- DOH
- BUILDING TO BE DEMOLISHED

OWNER: FIRST AGAPE AME ZION CHURCH  
P.O. BOX 1016  
BURTONSVILLE, MD 20886

REVISIONS

NO.	DESCRIPTION	DATE

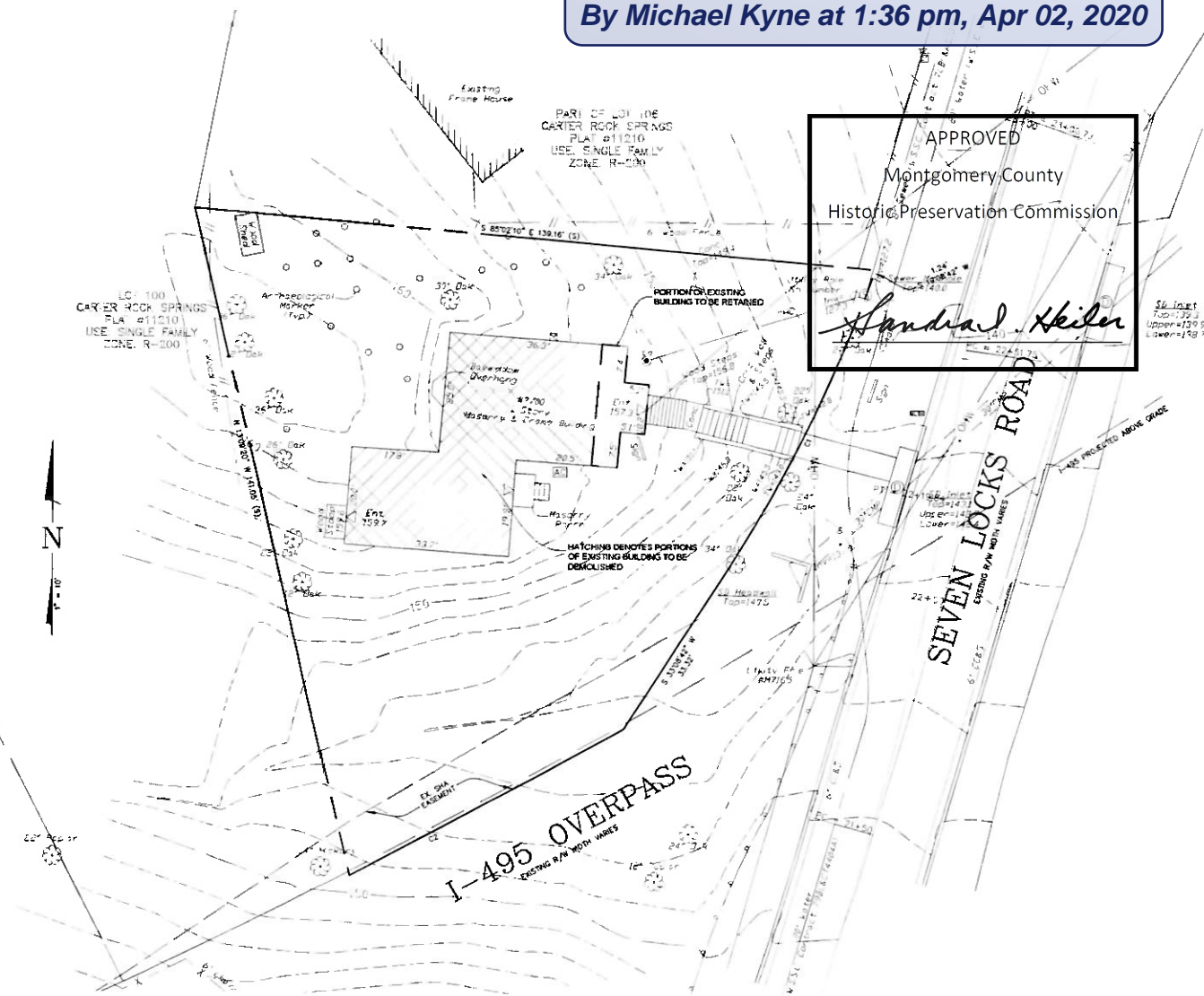
10TH ELECTION DISTRICT  
MONTGOMERY COUNTY  
MARYLAND

FIRST AGAPE  
AME ZION CHURCH

PROJECT NO. 2000 125 21  
DRAWN BY: [Signature]  
SCALE: 1" = 10'  
DATE: 12/02/19

SITE / DEMOLITION PLAN  
DRAFT

PROJECT NO. 2000 125 21  
SHEET NO. 1 OF 1



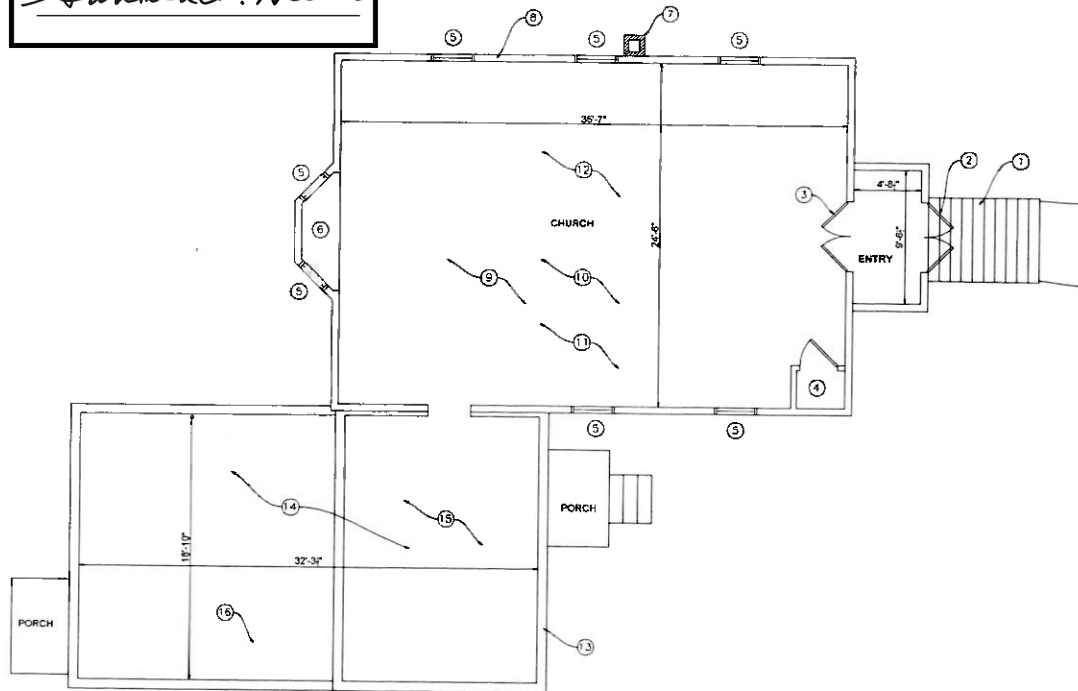
**REVIEWED**

By Michael Kyne at 1:36 pm, Apr 02, 2020

APPROVED

Montgomery County  
Historic Preservation Commission

*Sandra L. Heiler*



**EXISTING PLAN NOTES**

- ① EXISTING NON CONTRIBUTING WOOD STEPS.
- ② EXISTING NON CONTRIBUTING DOUBLE DOORS. HEAD TRIM ABOVE IS CONTRIBUTING
- ③ EXISTING DOUBLE WOOD HALF LIGHT DOORS AND TRIM
- ④ EXISTING CLOSET AND DOOR TO REMAIN
- ⑤ EXISTING DOUBLE HUNG WOOD WINDOW, SDX OVER ONE
- ⑥ EXISTING BAY.
- ⑦ EXISTING BRICK CHIMNEY
- ⑧ TYPICAL CHURCH WALL CONSISTS OF GYPSUM DRYWALL, WOOD BASE, 2 x 4 WOOD STUDS @ 16" oc, 1 x 6 SHEATHING BOARDS, 5" WOOD DROP SIDING AND 31" ASBESTOS SIDING.
- ⑨ WOOD FLOOR FRAMING (2 x 12' @ 16')
- ⑩ WOOD ROOF FRAMING 2 x 8 @ 24" oc W/ 2 x 6 @ 24" CEILING JOISTS AT 11'-2" A.F.F.
- ⑪ ESTIMATED THAT 80% OF ROOF AND FLOOR FRAMING IN CHURCH IS DAMAGED BY FALLEN TREE AND WATER INTRUSION.
- ⑫ CARPET FLOORING
- ⑬ CONCRETE MASONRY UNIT EXTERIOR WALLS.
- ⑭ WOOD ROOF FRAMING AT 1975 ADDITIONS COMPLETELY DAMAGED BY FALLEN TREE AND WATER INFILTRATION.
- ⑮ AREA THAT WAS INACCESSIBLE, BUT ASSUMED WOOD FLOOR FRAMING OVER CRAWL SPACE.
- ⑯ AREA THAT WAS INACCESSIBLE, BUT ASSUMED CONCRETE SLAB ON GRADE.



THOMAS J. TALLESMALL  
ARCHITECT  
1000 W. WISCONSIN AVE.  
BETHESDA, MD 20814  
301 840 1847

Professional Seal  
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, License No. 0003, Expiration Date: 6-15-2020

Professional Seal

Revisions

Drawing Title

**EXISTING PLAN & ELEVATIONS**

Date: Feb. 3, 2020

Building Demolition:  
FIRST AGAPE A.M.E. ZION CHURCH  
7700 Seven Locks Road  
Bethesda, Maryland 20817

Drawing Number

EX1.0

1

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EXISTING FLOOR PLAN

1/8" = 1'-0"



**REVIEWED**

By Michael Kyne at 1:36 pm, Apr 02, 2020



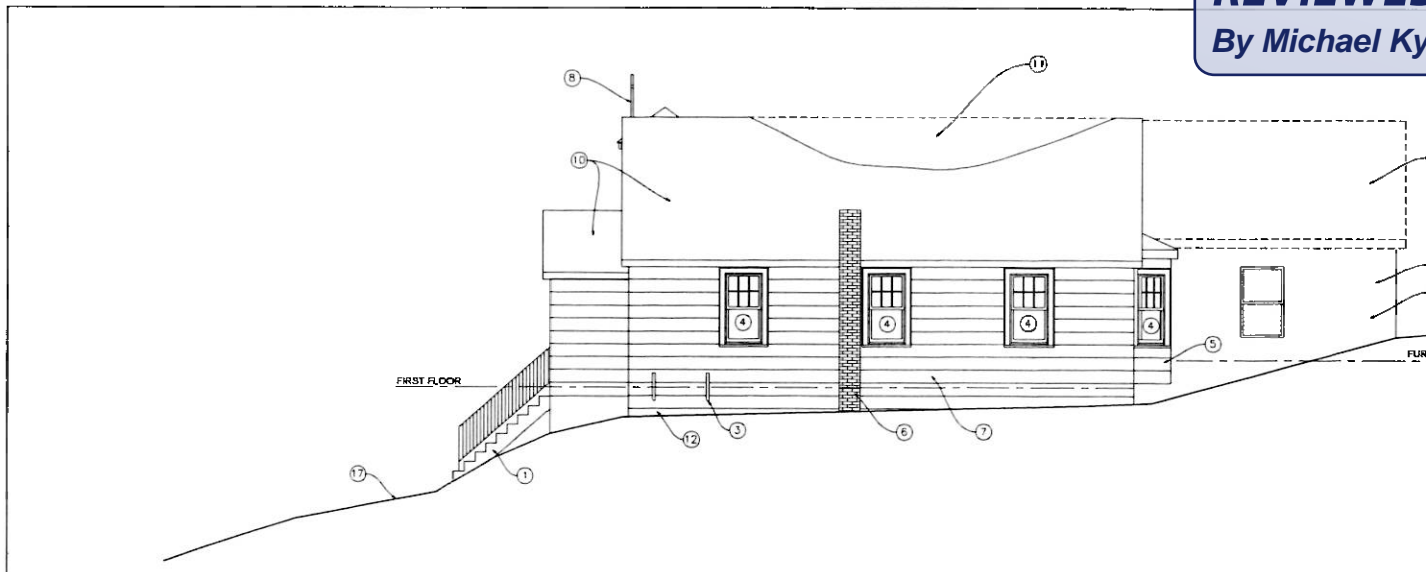
ARCHITECTS  
PLANNERS  
HISTORIC  
PRESERVATION

THOMAS J. TAVARAL  
ARCHITECT  
1000 W. ...  
301.841.1847

Professional Certification:  
I hereby certify that these  
documents were prepared  
or approved by me, and that  
I am a duly licensed  
architect under the laws of  
the State of Maryland.  
License No. 92481  
Expiration Date: 6-13-2020

Professional Seal

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Sandra L. Skiles*



EXISTING NORTH ELEVATION

1/4" = 1'-0"

3

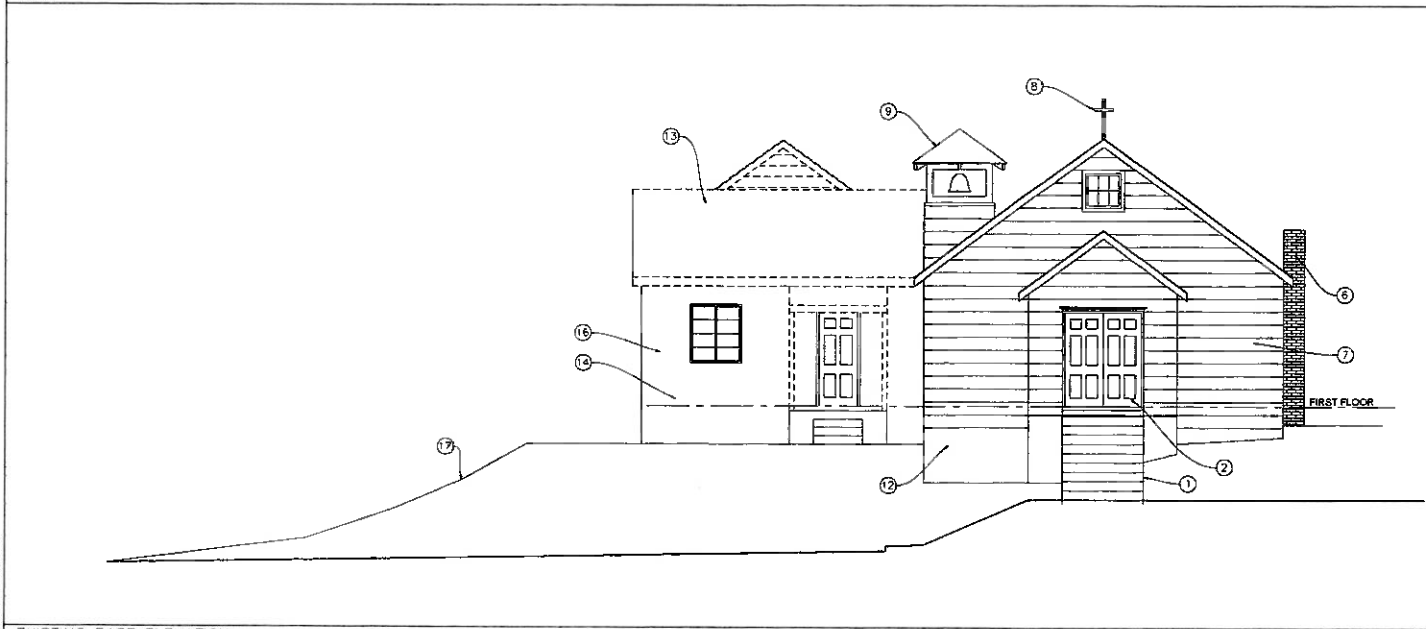
Revisions  
Drawing Title  
EXISTING ELEVATIONS

Date: Feb. 3, 2020

Building Demolition:  
FIRST AGAPE AIME ZION CHURCH  
7700 Seven Locks Road  
Bethesda, Maryland 20817

Drawing Number

EX2.0



EXISTING EAST ELEVATION

1/4" = 1'-0"

2

EXISTING ELEVATION NOTES

1/4" = 1'-0"

1

- EXISTING ELEVATION NOTES:**
- ① EXISTING NON CONTRIBUTING WOOD STEPS.
  - ② EXISTING NON CONTRIBUTING DOUBLE DOORS. HEAD TRIM ABOVE IS CONTRIBUTING.
  - ③ EXISTING FUEL OIL TANK VENT AND FILL PIPING.
  - ④ EXISTING DOUBLE HUNG WOOD WINDOW SIX OVER ONE.
  - ⑤ EXISTING BAY
  - ⑥ EXISTING BRICK CHIMNEY
  - ⑦ TYPICAL CHURCH WALL CONSISTS OF GYPSUM DRYWALL, WOOD BASE, 2 x 4 WOOD STUDS @ 16" oc, 1 x 6 SHEATHING BOARDS, 5" WOOD DROP SIDING AND 11" ASBESTOS SIDING.
  - ⑧ EXISTING CROSS TO REMAIN.
  - ⑨ EXISTING BELFRY TO REMAIN.
  - ⑩ ASPHALT SHINGLE ROOFING, WOOD FASCIA AND SLOPED WOOD SOFFIT.
  - ⑪ ESTIMATED THAT 80% OF ROOF IN CHURCH IS DAMAGED BY FALLEN TREE AND WATER INTRUSION.
  - ⑫ CONCRETE MASONRY UNIT EXTERIOR WALLS INFILL ORIGINAL 1923 ASHLAR MASONRY PIERS.
  - ⑬ WOOD ROOF FRAMING AT 1979 ADDITIONS COMPLETELY DAMAGED BY FALLEN TREE AND WATER INFILTRATION.
  - ⑭ AREA THAT WAS INACCESSIBLE, BUT ASSUMED WOOD FLOOR FRAMING OVER CRAWL SPACE.
  - ⑮ AREA THAT WAS INACCESSIBLE, BUT ASSUMED CONCRETE SLAB ON GRADE.
  - ⑯ EXISTING CMU WALLS AT 1979 ADDITIONS.
  - ⑰ LINE OF EXISTING GRADE.
  - ⑱ WOOD PORCH.
  - ⑲ CONTRACTOR TO SALVAGE INTERIOR WINDOW TRIM, WOOD BASE, LIGHT FIXTURES, CHURCH PENS. CONSULT WITH OWNER TO DETERMINE ITEMS TO BE SALVAGE AND LOCATION TO BE STORED.

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**REVIEWED**

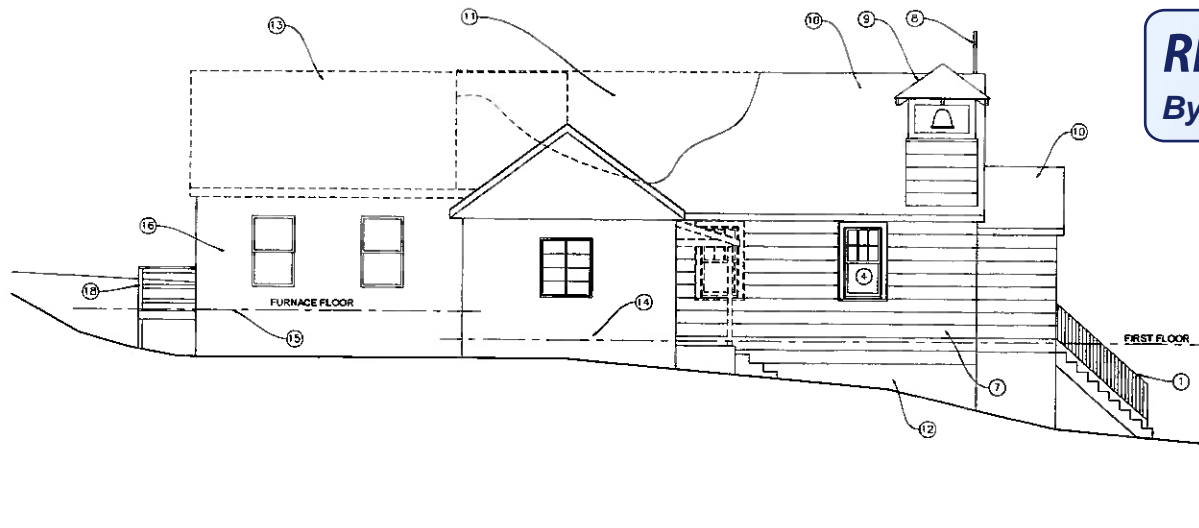
By Michael Kyne at 1:36 pm, Apr 02, 2020



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License No. 9923  
Expiration Date: 6-13-2020

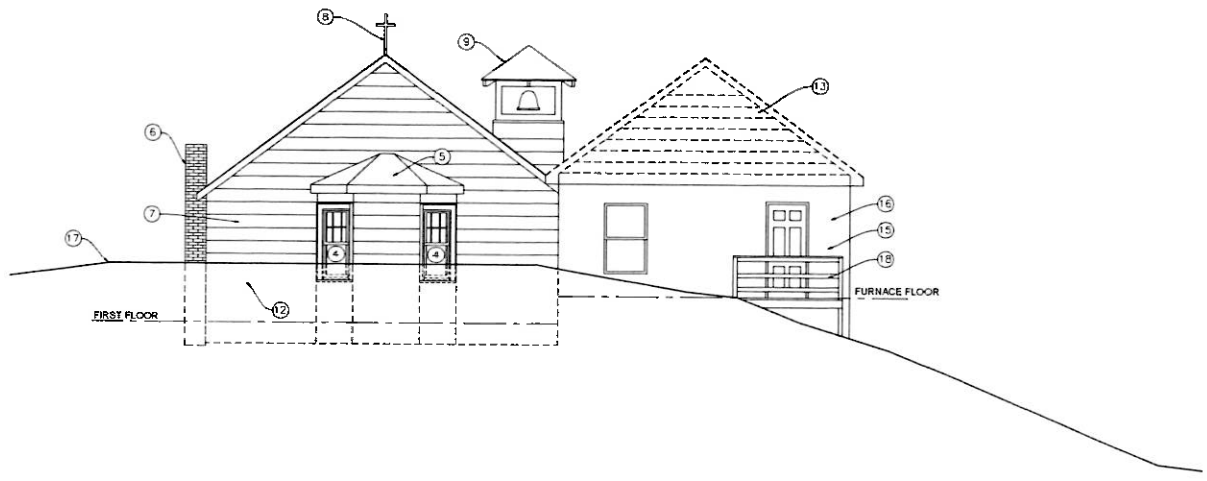
Professional Seal

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Sandra J. Heiler*



EXISTING SOUTH ELEVATION

1/4" = 1'-0"



EXISTING WEST ELEVATION

1/4" = 1'-0"

EXISTING ELEVATION NOTES.

- 1 EXISTING NON CONTRIBUTING WOOD STEPS.
- 2 EXISTING NON CONTRIBUTING DOUBLE DOORS. HEAD TRIM ABOVE IS CONTRIBUTING
- 3 EXISTING FUEL OIL TANK VENT AND FILL PIPING.
- 4 EXISTING DOUBLE HUNG WOOD WINDOW, SIX OVER ONE.
- 5 EXISTING BAY
- 6 EXISTING BRICK CHIMNEY
- 7 TYPICAL CHURCH WALL CONSISTS OF GYPSUM DRYWALL, WOOD BASE, 2 x 4 WOOD STUDS @ 16" OC, 1 x 6 SHEATHING BOARD, 5" WOOD DROP SIDING AND 11" ASBESTOS SIDING
- 8 EXISTING CROSS TO REMAIN.
- 9 EXISTING BELFRY TO REMAIN.
- 10 ASPHALT SHINGLE ROOFING, WOOD FASCIA AND SLOPED WOOD SOFFIT
- 11 ESTIMATED THAT 80% OF ROOF IN CHURCH IS DAMAGED BY FALLEN TREE AND WATER INTRUSION.
- 12 CONCRETE MASONRY UNIT EXTERIOR WALLS/INFILL ORIGINAL 1923 ASHLAR MASONRY PIERS
- 13 WOOD ROOF FRAMING AT 1979 ADDITIONS COMPLETELY DAMAGED BY FALLEN TREE AND WATER INFILTRATION.
- 14 AREA THAT WAS INACCESSIBLE, BUT ASSUMED WOOD FLOOR FRAMING OVER CRAWL SPACE
- 15 AREA THAT WAS INACCESSIBLE, BUT ASSUMED CONCRETE SLAB ON GRADE
- 16 EXISTING CMU WALLS AT 1979 ADDITIONS.
- 17 LINE OF EXISTING GRADE
- 18 WOOD PORCH
- 19 CONTRACTOR TO SALVAGE INTERIOR WINDOW TRIM, WOOD BASE, LIGHT FIXTURES, CHURCH FEAS. CONSULT WITH OWNER TO DETERMINE ITEMS TO BE SALVAGE AND LOCATION TO BE STORED.

EXISTING ELEVATION NOTES

1/4" = 1'-0"

EXISTING ELEVATIONS

Date: Feb. 3, 2020

Building Demolition:  
FIRST AGAPE AVE ZION CHURCH  
7700 Seven Locks Road  
Bethesda, Maryland 20817

Drawing Number

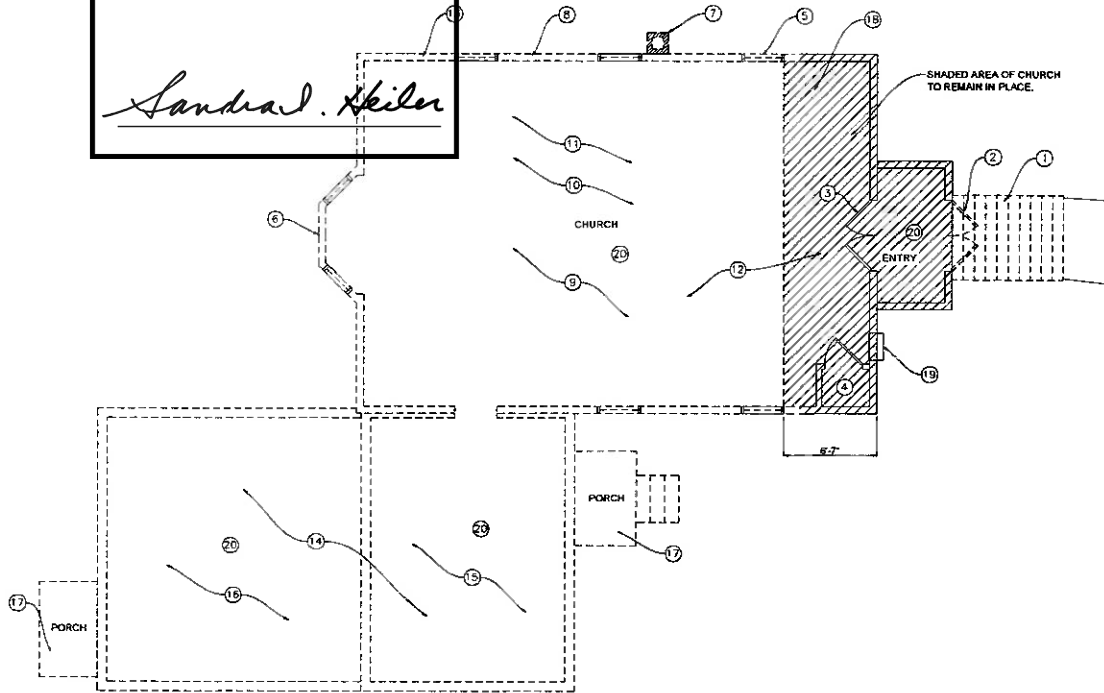
EX2.1

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**REVIEWED**

By Michael Kyne at 1:36 pm, Apr 02, 2020

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Sandra L. Skiles*



**DEMOLITION PLAN NOTES:**

- 1 REMOVE EXISTING NON CONTRIBUTING WOOD STEPS.
- 2 REMOVE EXISTING NON CONTRIBUTING DOUBLE DOORS. HEAD TRIM ABOVE IS CONTRIBUTING AND TO REMAIN.
- 3 EXISTING DOUBLE WOOD HALF LIGHT DOORS AND TRIM TO REMAIN.
- 4 EXISTING CLOSET AND DOOR TO REMAIN.
- 5 EXISTING DOUBLE HUNG WOOD WINDOWS. SIX OVER ONE CONTRACTOR TO REMOVE AND SALVAGE ALONG WITH INTERIOR AND EXTERIOR TRIM, TYPICAL OF SEVEN.
- 6 EXISTING BAY WINDOW TO BE REMOVED
- 7 EXISTING BRICK CHIMNEY TO BE REMOVED
- 8 TYPICAL CHURCH WALL CONSISTS OF GYPSUM DRYWALL, WOOD BASE, 2 x 4 WOOD STUDS @ 16" oc, 1 x 6 SHEATHING BOARDS, 5" WOOD DROP SIDING AND 11" ASBESTOS SIDING. REMOVE ASBESTOS SIDING, SALVAGE WOOD SIDING AND STORE AND PROTECT FROM WEATHER FOR REUSE.
- 9 REMOVE WOOD FLOOR FRAMING (2 x 12" @ 16')
- 10 REMOVE WOOD ROOF FACING 2 x 6 @ 24" oc W/ 2 x 6 @ 24" CEILING JOISTS AT 11'-2" A.F.F.
- 11 REMOVE ROOF AND FLOOR FRAMING IN CHURCH DAMAGED BY FALLEN TREE AND WATER INTRUSION
- 12 REMOVE CARPET FLOORING
- 13 REMOVE CONCRETE MASONRY UNIT EXTERIOR WALLS AND FOUNDATIONS AT CHURCH
- 14 REMOVE ALL WOOD ROOF FRAMING AT 1979 ADDITIONS COMPLETELY DAMAGED BY FALLEN TREE AND WATER INFILTRATION
- 15 REMOVE ASSUMED WOOD FLOOR FRAMING OVER CRAWL SPACE AND CMU FOUNDATION WALLS AND FOOTINGS.
- 16 ASSUMED CONCRETE SLAB ON GRADE, CMU FOUNDATION WALL AND FOOTINGS TO REMAIN UNTIL FUTURE ADDITION IS CONSTRUCTED.
- 17 REMOVE PORCH, STEPS AND RAILINGS.
- 18 CONTRACTOR TO VERIFY LOCATION OF OIL TANK IN CRAWL SPACE AND REMOVE.
- 19 EXISTING ELECTRICAL PANEL, METER AND OVERHEAD SERVICE LINE TO BE REMOVED.
- 20 PLUMBING, MECHANICAL AND ELECTRICAL CONTRACTOR TO VISIT SITE AND CONSULT WITH OWNER CONCERNING ANY SYSTEMS AND EQUIPMENT TO REMAIN. ALL OTHER EQUIPMENT, DEVICES, PIPING ETC SHALL BE REMOVED.



THOMAS J. TALLANT  
ARCHITECTURE  
INC.  
100 WASHINGTON, WASHINGTON, D.C.  
20540-1847

Professional Seal

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland. License No. 9085. Expiration Date: 04-13-2020

Professional Seal

Revisions  
Drawing Title  
DEMOLITION FLOOR PLAN

Date: Feb. 3, 2020

Building Demolition:  
FIRST AGAPE AME ZION CHURCH  
7700 Seven Locks Road  
Beltsville, Maryland 20817

Drawing Number

A1.0

1

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DEMOLITION FLOOR PLAN  
1/8" = 1'-0"





**REVIEWED**

By Michael Kyne at 1:36 pm, Apr 02, 2020

**JT**  
ARCHITECTS  
PLANNERS  
HISTORIC  
PRESERVATION

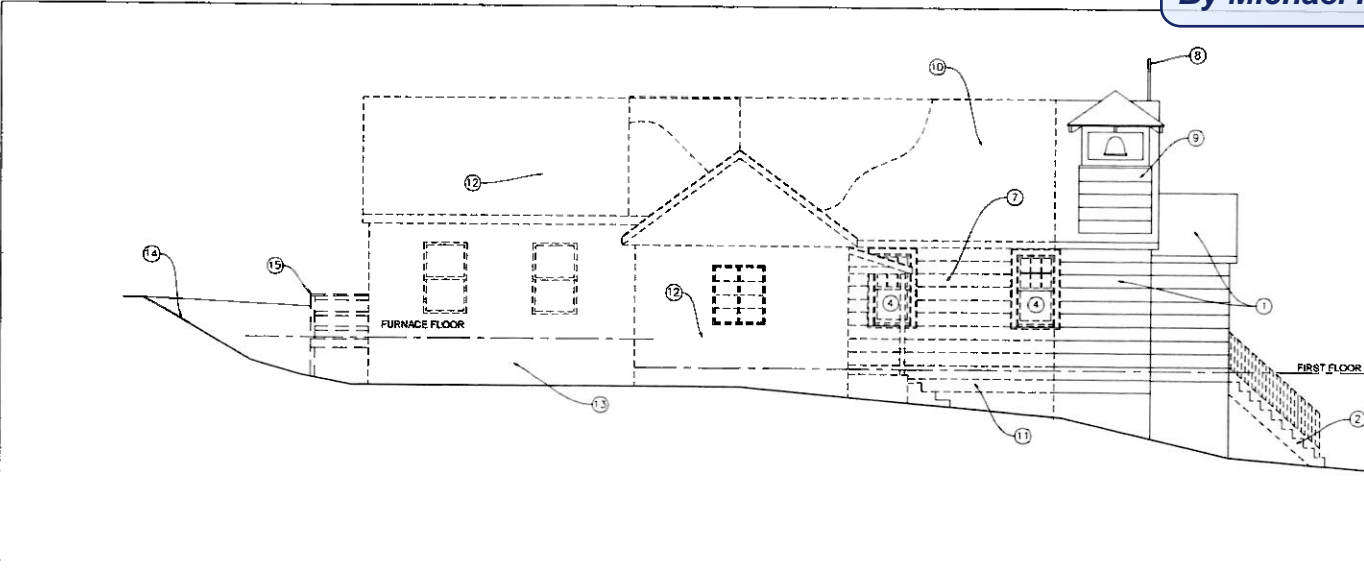
THOMAS J. TALVAUER  
ARCHITECT  
MEMBER AMERICAN INSTITUTE OF ARCHITECTS  
101 AND 1847

Professional Certificate  
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Expiration Date: 6-13-2020

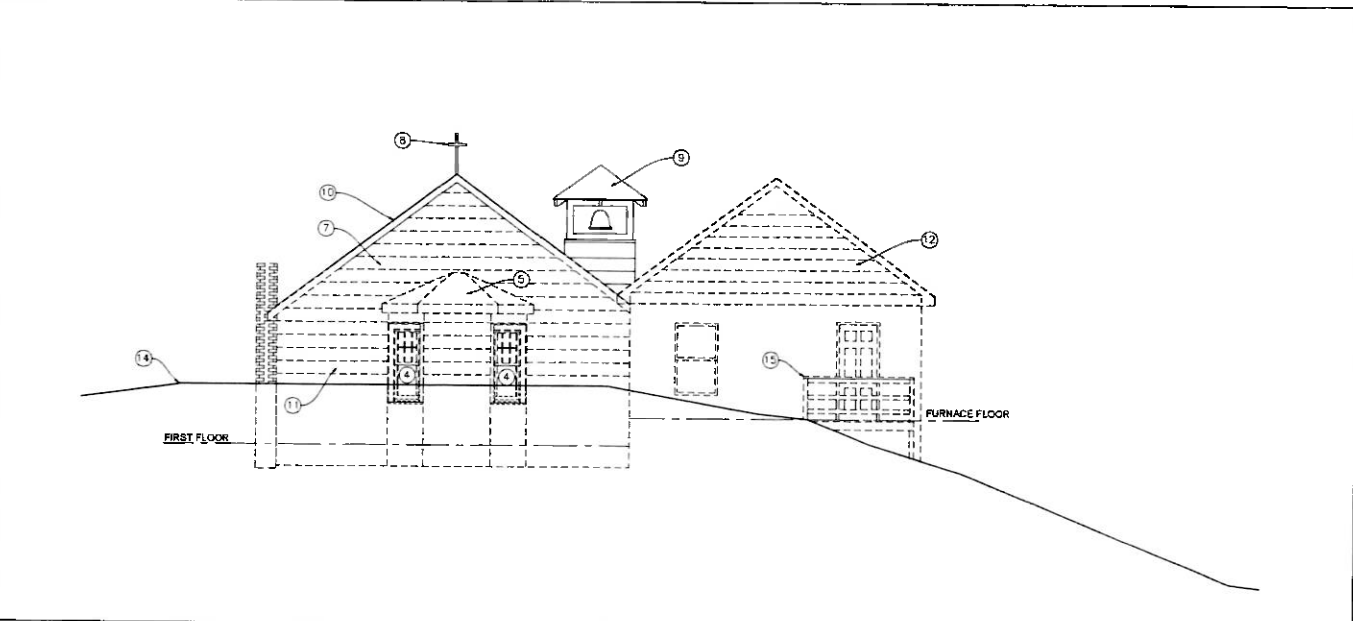
Professional Seal

APPROVED  
Montgomery County  
Historic Preservation Commission

*Sandra J. Heiler*



DEMOLITION SOUTH ELEVATION  
1/4" = 1'-0"



DEMOLITION WEST ELEVATION  
1/4" = 1'-0"

**DEMOLITION ELEVATION NOTES:**

- 1 EXISTING PORTION OF CHURCH TO BE RETAINED IN PLACE. THE REMAINING CHURCH IS TO BE DEMOLISHED. DUE TO DAMAGE BY FALLEN TREE AND WATER INTRUSION. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING AND WEATHERPROOF EXISTING FRONT SECTION OF CHURCH, BELFRY AND CROSS.
- 2 REMOVED EXISTING NON CONTRIBUTING WOOD STEPS.
- 3 REMOVE EXISTING NON CONTRIBUTING DOUBLE DOORS. HEAD TRIM ABOVE IS CONTRIBUTING AND IS TO REMAIN.
- 4 EXISTING DOUBLE HUNG WOOD WINDOW, SIX OVER ONE AND WOOD INTERIOR AND EXTERIOR TRIM TO BE REMOVED AND SALVAGED.
- 5 EXISTING BAY WINDOW TO BE DEMOLISHED.
- 6 EXISTING BRICK CHIMNEY TO BE DEMOLISHED.
- 7 TYPICAL CHURCH WALL CONSISTS OF GYPSUM DRYWALL, WOOD BASE, 2 x 4 WOOD STUDS @ 16" oc, 1 x 6 SHEATHING BOARDS, 5" WOOD DROP SIDING AND 11" ASBESTOS SIDING. CONTRACTOR TO SALVAGE AS MUCH WOOD SIDING AS FEASIBLE.
- 8 EXISTING CROSS TO REMAIN.
- 9 EXISTING BELFRY TO REMAIN.
- 10 REMOVE ASPHALT SHINGLE ROOFING, WOOD FASCIA AND SLOPED WOOD SOFFIT.
- 11 REMOVE ROOF, WALL, FLOOR FRAMING, MASONRY FOUNDATION AND FOOTINGS IN CHURCH DAMAGED BY FALLEN TREE AND WATER INTRUSION.
- 12 REMOVE ROOF, WALLS, FRAMED FLOORS AND FOUNDATION AT 1970S ADDITIONS.
- 13 EXISTING CONCRETE SLAB AREA AND FOUNDATION TO REMAIN.
- 14 LINE OF EXISTING GRADE.
- 15 REMOVE WOOD PORCH.

2 DEMOLITION ELEVATION NOTES  
1/4" = 1'-0"

DEMOLITION ELEVATIONS

Date Feb. 3, 2020

Building Demolition:  
FIRST AGAPE AME ZION CHURCH  
7700 Seven Locks Road  
Bethesda, Maryland 20817

Drawing Number

A2.1

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# DURST & TAYLOR

Structural Engineering, LLC

David G. Durst, P.E.  
1228 Copper Beech Drive, York, PA 17403  
Cell: (717) 793-7723  
Email: [ddurst@dtselfc.com](mailto:ddurst@dtselfc.com)

Nevin E. Taylor, P.E.  
211 Glenview Road, Spring Grove, PA 17362  
Cell: (717) 515-1590  
Email: [ntaylor@dtselfc.com](mailto:ntaylor@dtselfc.com)

April 19, 2018

Elmer Anderson, Project Manager  
Holland Construction  
751 Frederick Street  
Hanover, PA 17331

**REVIEWED**

By Michael Kyne at 1:34 pm, Apr 02, 2020

Re: Structural Assessment Letter Report  
First Agape AME Zion Church  
7700 Seven Locks Road, Bethesda, MD 20817  
DTSE Project No. 0054-003-01



Dear Mr. Anderson:

Per your request, Durst & Taylor Structural Engineering, LLC (DTSE) performed a site visit to the above-noted property on April 17, 2018 for the purposes of determining the existing structural conditions as well as to assess the structure for possible rehabilitation. This letter summarizes the findings of this site visit, including a brief description of the structure, inspection approach and findings, as well as our conclusions and recommendations.

### **Brief Structure Description**

The existing structure is believed to be well over 100 years old, having been previously renovated in 1923 (as noted on the cornerstone at the northeast corner). It is situated on a wooded hillside just northwest of the location where Seven Locks Road extends beneath Interstate 495 (see Photo Nos. 1 thru 3). As there is no on-site parking, access is made from a small parking lot on the east side of Seven Locks Road and just north of the structure. As seen in Photo Nos. 4 thru 10, this one-story, wood-framed structure is clad with asbestos wall tiles and asphalt roof shingles. It is believed that the original structure consists of the gabled roof portion along the north side (including the bell tower near the front of the roof), with prior additions to the south. Foundations primarily consist of concrete masonry unit (i.e., CMU, or "concrete block") walls believed to be sitting on shallow spread concrete footings.

### **Inspection Approach**

Access to the locked and boarded structure was provided by Holland Construction. The vast majority of our inspection involved visual observations of the building and its structural components. Beyond this, only a few random hammer soundings of the foundation walls were performed to determine the latter's general condition. Documentation was made via written notes and digital photographs. Tools included a flashlight, awl (wood penetration testing), hammer, and tape measure (to determine general member sizes and spacing). No material sampling or testing was performed as part of this assignment.

### Inspection Findings and Conclusions

In 2007, the existing structure was damaged by a fire which caused it to be uninhabitable since that time. Approximately four years ago, the structure was impacted by a collapsed tree which severely damaged the south and west portions of the roof structure such that there has been a very large opening in the roof (Photo Nos. 8 and 10 thru 13). Not only has this portion of the roof been completely compromised, the structure beneath this opening has been exposed to the elements for over 10 years, including rain, wind, snow, and frankly, local wildlife. In our opinion, this portion of the structure cannot be saved.

Though no area of the structure is completely unaffected by the fire or the collapsed tree, the front (east end) of the structure is relatively unscathed in comparison to the west and south portions. As seen in Photo Nos. 14 thru 16, the roof and wall framing of the entrance enclosure as well as the first 5' to 6' of the main structure (including the bell tower) remain upright, plumb and intact. In our opinion, it is indeed possible to carefully detach this portion of the structure from the remainder of the structure for the purposes of re-integrating it into a replacement structure.

### Recommendations

Although it is possible to save the small front portion of the structure that was generally unaffected by the fire or tree collapse, we would be remiss if we did not mention that doing so would entail time-consuming and costly shoring to temporarily stabilize and remove such from its existing location so that the remainder of the structure can be demolished. It should also be noted that the lifting and transport of this portion of the structure will involve risk inherent with such activities. For these reasons, our primary recommendation is that the entire structure should be demolished and replaced in-kind.

Assuming that complete demolition is deemed to be unacceptable, we strongly recommend that only the entrance enclosure and the first 5' to 6' of the main structure (including the bell tower) be saved, and that the remainder of the structure be demolished. In addition, the exterior cladding of the portion to be saved (i.e., the asbestos wall tiles and severely compromised asphalt roof shingles) should be removed in its entirety due to health and material degradation reasons. In other words, only the underlying wood framing elements should be re-integrated into the replacement structure.

If you have any questions regarding the content of this letter, or if you require additional services, please do not hesitate to contact us.

Sincerely,

**REVIEWED**

By Michael Kyne at 1:34 pm, Apr 02, 2020


DURST & TAYLOR STRUCTURAL ENGINEERING, LLC



Nevin E. Taylor, P.E., Partner/Structural Engineer  
Maryland P.E. No. 21386 (exp. 10-26-2018)

APPROVED Montgomery County Historic Preservation Commission
---

Attachments

Cc:   
D. Durst



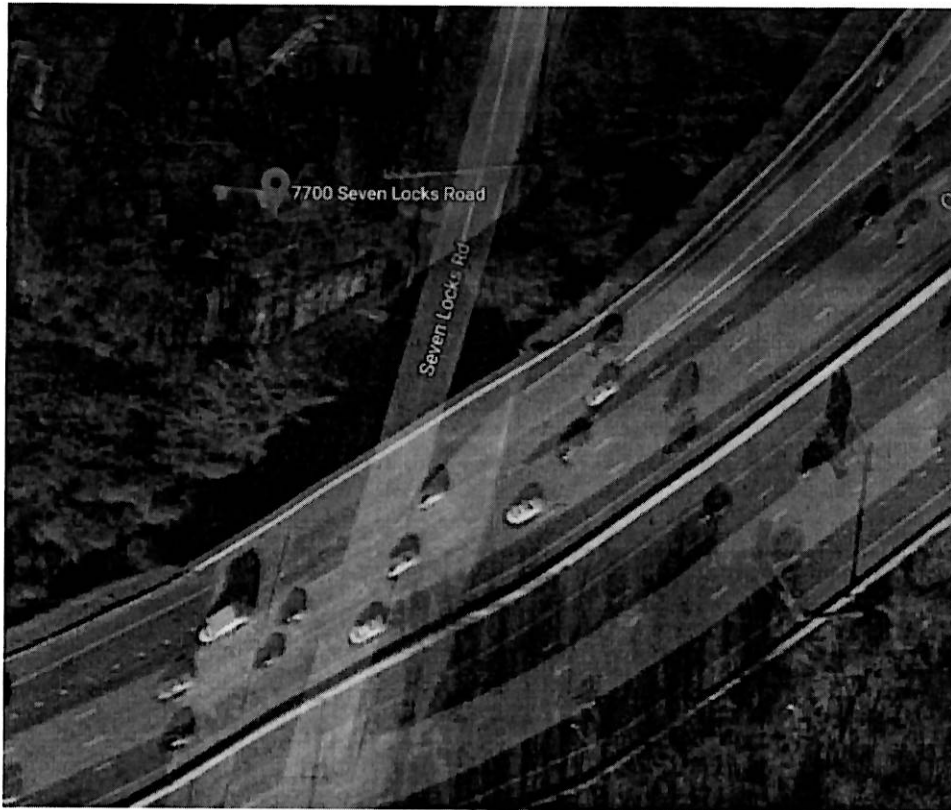


Photo No. 1: Aerial view of 7700 Seven Locks Road, Bethesda, Maryland. Note that the church structure is located in the northwest quadrant of where Seven Locks Road runs beneath Interstate 495.

**REVIEWED**  
By Michael Kyne at 1:34 pm, Apr 02, 2020

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Sandra Heiler*



Photo No. 2: View of church structure (looking southwest) as seen from the parking lot just north and on the other side of Seven Locks Road.

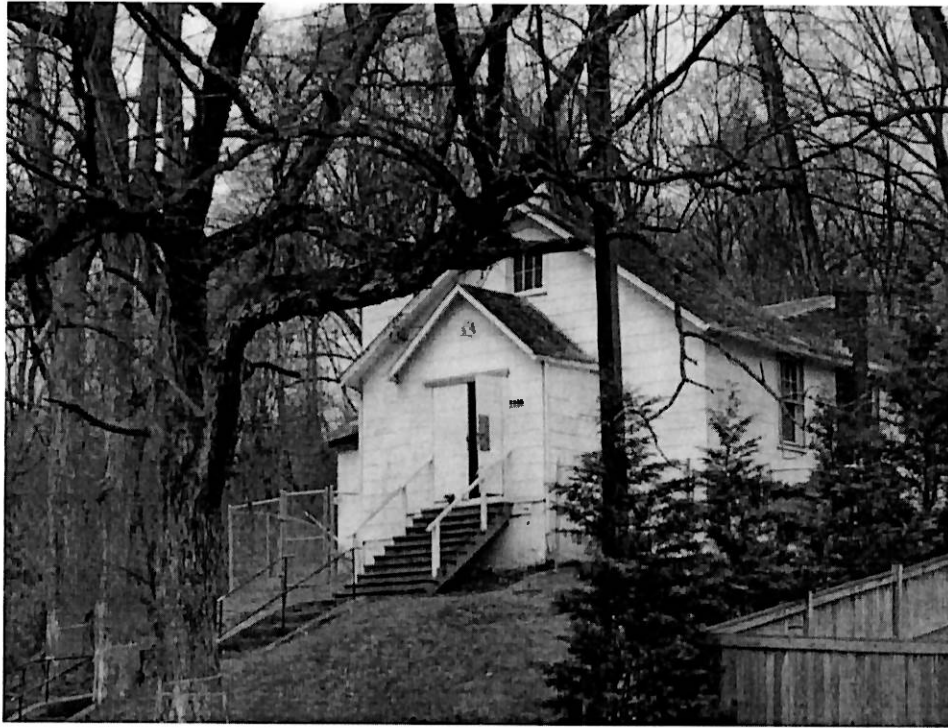


Photo No. 3: Similar (closer) view as previous photo.

**REVIEWED**

*By Michael Kyne at 1:34 pm, Apr 02, 2020*

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Montgomery County  
Historic Preservation Commission

*Sandra D. Decker*



Photo No. 4: Front (east) elevation view of structure as seen from the steps leading up to the entrance from Seven Locks Road.





Photo No. 5: View of the front entrance as seen from the northeast corner. Note that the structure is wood-framed and clad with painted asbestos wall tiles and asphalt roof shingles.



**REVIEWED**

*By Michael Kyne at 1:34 pm, Apr 02, 2020*

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*Sandra D. Heiler*

Photo No. 6: Partial view of the front half of the north elevation showing boarded wall openings and windows, extreme moss growth on the intact portion of the roof, as well as the collapsed section of the roof (right side).





Photo No. 7: View of the northwest corner of the structure, showing similar issues noted in the previous photo.



**REVIEWED**

*By Michael Kyne at 1:34 pm, Apr 02, 2020*

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*Sandra L. Heiler*

Photo No. 8: View of the southwest portion of the structure (see from the northwest) which has been impacted by a collapsed tree (purportedly in 2007).



Photo No. 9: General view of the structure's southeast corner as seen from the level of the streambed to the south. Note that the roof of the structure's southwest has been completely collapsed; however, the front portion of the structure (including front entranceway and bell tower) remain intact.

**REVIEWED**

*By Michael Kyne at 1:34 pm, Apr 02, 2020*

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Montgomery County  
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*Sandra Heiber*

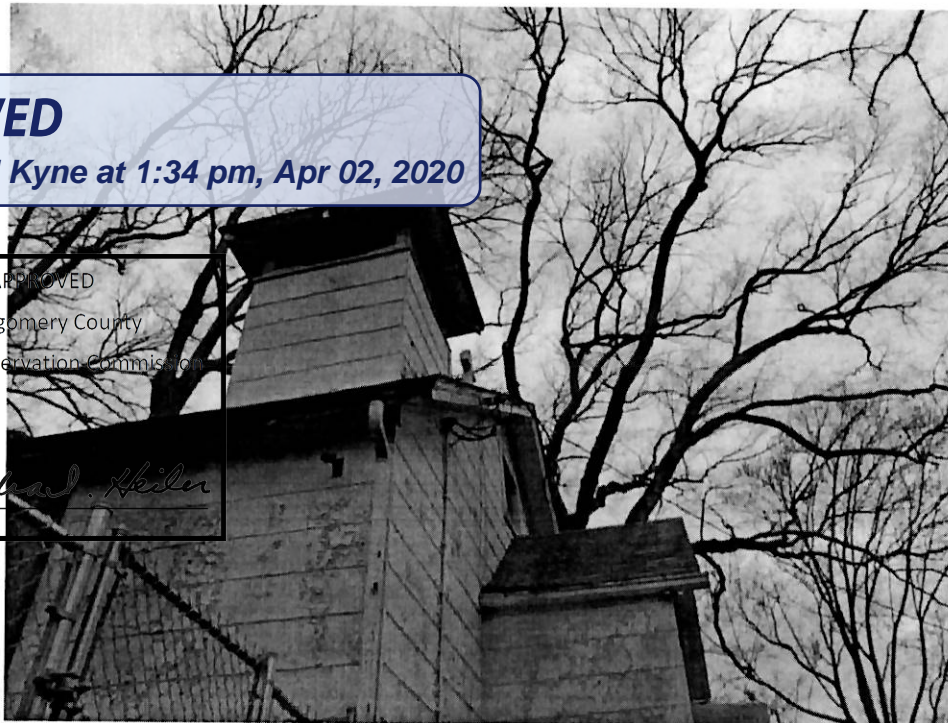


Photo No. 10: Close-up view of the bell tower.





Photo No. 11: Interior view of the structure (looking west from the front entranceway), exhibiting the collapsed roof of the southwest corner.



**REVIEWED**  
By Michael Kyne at 1:34 pm, Apr 02, 2020

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Montgomery County  
Historic Preservation Commission  
*Sandra D. [Signature]*

Photo No. 12: Similar view as the previous photo, looking south from the center of the floor plan.



Photo No. 13: View collapsed roof framing along the west end of the structure. Note that wall and roof framing consists of 1" thick wood boards of various widths attached to solid sawn rafters or studs.

**REVIEWED**

*By Michael Kyne at 1:34 pm, Apr 02, 2020*

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Historic Preservation Commission

*Sandra Heiler*



Photo No. 14: View of structure's relatively intact northeast corner at the front entrance area.



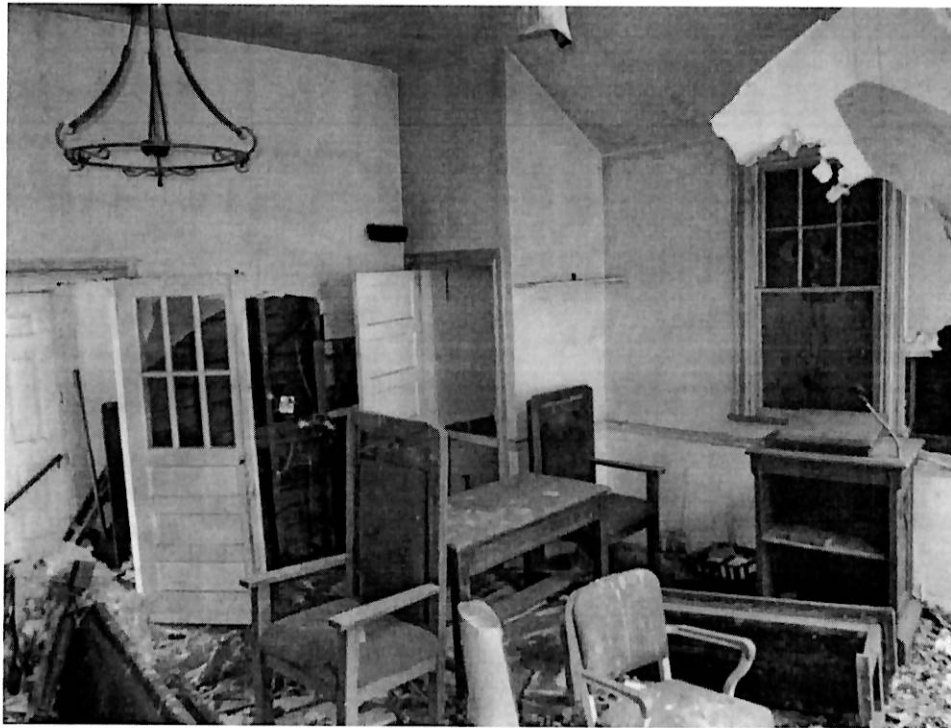


Photo No. 15: View of structure's relatively intact southeast corner at the front entrance area.

**REVIEWED**

*By Michael Kyne at 1:34 pm, Apr 02, 2020*

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Montgomery County  
Historic Preservation Commission

*Sandra D. Heiler*

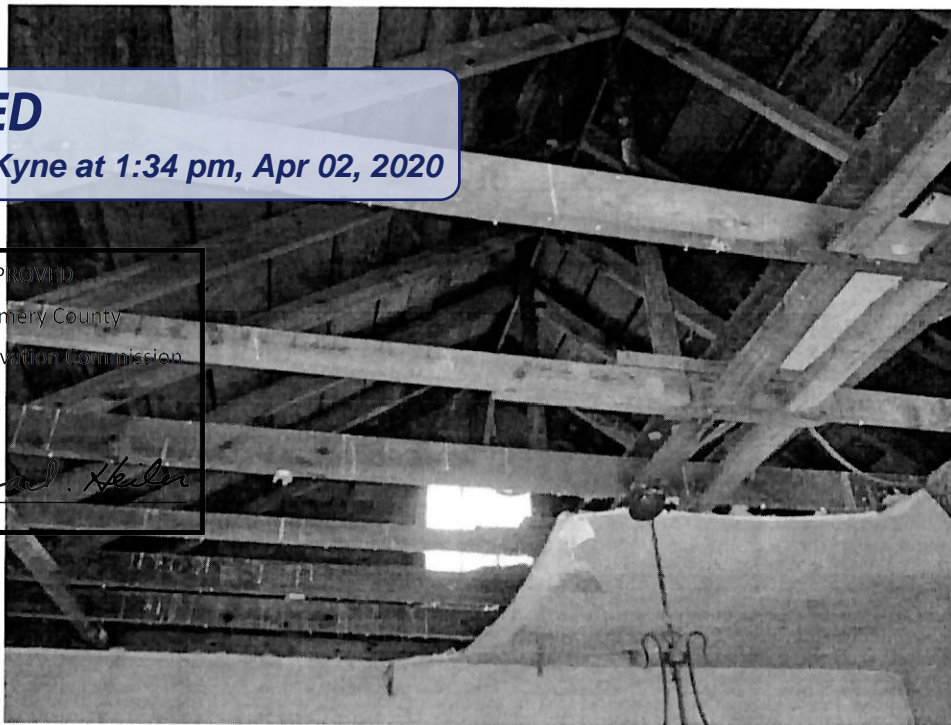


Photo No. 16: View of structure's intact roof framing above the front entrance area.



**STRUCTURAL SPECIFICATIONS AND GENERAL CONDITIONS**

- GENERAL**
- Where these specifications conflict with other project specifications, these specifications shall govern.
  - Durst & Taylor Structural Engineering, LLC will assume no responsibility and/or liability for problems which arise from failure to follow these plans, specifications, and the design intent they convey or for problems which arise from others' failure to obtain and/or follow the Engineer's guidance.
  - All work shall be performed in accordance with local applicable codes and regulations. Appropriate safety measures satisfying local and OSHA requirements shall be provided.
  - Proper temporary bracing of all construction work in progress is the Contractor's responsibility.
  - If during demolition existing conditions do not agree with information shown on the design drawings, the Contractor shall notify the Engineer immediately.
  - The Contractor shall be responsible for the location and protection of all existing utilities during construction and the repair of any damaged facilities.
  - Sections and details shown, while drawn for specific locations, are intended to establish the general types of details to be used throughout.
  - Drawings should not be scaled. Contact the Engineer for clarification of any dimension in question.
  - All dimensions shall be verified by the Contractor. Layout shall be checked and coordinated between all construction documents and specifications prior to the start of work.
- DESIGN DATA**
- Building Code = 2015 International Building Code
  - Floor Load:
    - Dead Load = 15 PSF (includes structure weight)
    - Floor Live Loads = 40 PSF (for purposes of temporary stabilization)
  - Roof Load:
    - Dead Load = 15 PSF (includes structure weight)
    - Live Load = 30 PSF
  - Snow Load: (Roof Live Load May Control)
    - Ground Snow Load,  $P_g = 30$  PSF
    - Flat Roof Snow Load,  $P_f = 24.5$  PSF
    - Snow Exposure Factor,  $C_e = 1.0$
    - Snow Load Importance Factor,  $I_s = 1.0$
    - Thermal Factor,  $C_t = 1.0$
  - Wind Load:
    - Basic Wind Speed (3-second gust) = 115 MPH
    - Wind Importance Factor,  $I_w = 1.0$
    - Building Category = II
    - Exposure Category = C
    - Internal Pressure Coefficient,  $G_C p_i = \pm 0.18$
    - Wind Design Pressure (MWFRS) = 25 PSF
  - Earthquake Design: Seismic Design Load Cases and Combination do not govern over Wind
  - Concrete Design Method:
    - Design per ASD
    - Loads indicated are ASD loads
  - Wood Framing Design Method:
    - Design per ASD
    - Loads indicated are ASD loads
- SPECIAL INSPECTION REQUIREMENTS**
- The following types of work require special inspection based on Section 1704 of the 2012 International Building Code. The owner will employ special inspectors who shall provide special inspections for compliance with the construction documents and other references noted. Reports shall be submitted to the Engineer and Building Official on a periodic basis. A final report shall be submitted documenting required special inspections and correction of any discrepancies prior to the end of construction.
    - Soils
      - Verify materials below footings are adequate to achieve the design bearing capacity.
      - Verify excavations are extended to proper depth and have reached proper material.
    - Concrete Construction
      - Periodic inspection of reinforcing steel for compliance with approved Construction Documents and ACI 318, Sections 3.5 and 7.1 - 7.7.
      - Periodically verify the use of required concrete design mixtures, in accordance with ACI 318, Chapter 4 and Section 5.2 - 5.4.
      - Verify sampling of fresh concrete to determine slump, air content and temperature when making specimens for strength tests, in accordance with ACI 318, Sections 5.6 and 5.8.
      - Periodic inspection for maintenance of curing temperatures and techniques to ensure compliance with ACI 318, Sections 5.11 - 5.13.
    - Wood Construction
      - Inspect wood structural panel sheathing for diaphragms to ensure correct grade and thickness.
      - Verify nominal size of framing members at adjoining panel edges.
      - Verify fastener diameter and length, number of fastener lines, and spacing between fasteners in each line and at edge margins.

**CONSTRUCTION PROCEDURES AND SAFETY REQUIREMENTS**

- The contract structural drawings and specifications represent the finished structure. Unless otherwise indicated, they do not indicate the means or methods of construction.
- Provide all measures necessary to protect the workers and other persons during construction. Provide all necessary measures to avoid excessive stresses and to hold the structural elements in place during construction. Such measures shall include, but not be limited to, bracing, shoring for construction equipment, shoring for earth banks, forms, scaffolding, planking, safety nets, support and bracing for cranes and hoists, guying, etc.
- Engage properly qualified persons to determine where and how temporary precautionary measures shall be used. Observation visits to the site by structural engineer's field representative shall not include the items noted above.
- Supervise and direct the work so as to maintain sole responsibility for all construction means, methods, techniques, sequences, and procedures. Retain the services of a professional structural engineer licensed in the state in which the project is located to design and supervise any scaffolding for workers, and all shoring of forms and elements of the construction.

**CAST-IN-PLACE CONCRETE CONSTRUCTION**

TYPE OF CONSTRUCTION	MIN. 28-DAY COMP. STRENGTH	MAX. W/C RATIO	TYPE 1 PORTLAND CEMENT	SLUMP RANGE
(1) Fill Concrete for Wood Posts	3000 PSI	.53	5 BAGS	3" - 6"

- All concrete work shall conform to the requirements of ACI 318, Building Code Requirements for Reinforced Concrete, latest edition and ACI 301, Specifications for Structural Concrete for Buildings, latest edition, including all revisions, except as modified herein.
  - Concrete shall be supplied by a qualified ready-mixed concrete plant in accordance with the following requirements:
    - Entrained Air = 4 to 7%
    - Coarse aggregate shall be AASHTO NO. 57 stone. Maximum aggregate size = 1.5"
    - Submit mix designs to Engineer for approval. No admixtures permitted without Engineer's approval.
    - Chloride containing admixtures are not permitted.
    - Fine aggregate must be natural sand, unless approved by the Engineer.
- When concrete arrives at the project with slump below that suitable for placement, as indicated by the Specifications, water may be added only if neither the maximum permissible water-cement ratio nor the maximum slump is exceeded. The water shall be incorporated by additional mixing equal to at least half of the total mixing required. Discharge of the concrete shall be completed within 1-1/2 hours, or before the truck drum has revolved 300 revolutions, whichever comes first, after the introduction of the mixing water to the cement and aggregates or the introduction of the cement to the aggregates. Truck batch slips must include time of batching, total drum revolutions upon arrival at site, and quantity of water (in gallons) per cubic yard available to be added to attain the maximum design water-cement ratio.
- Concrete shall be placed only after approval of the reinforcement and mix designs by the acting special inspection agency or the Engineer. Contractor is responsible for coordinating inspections prior to concrete placement.
- Schedule the pouring of foundations on the same day the excavation is completed.
- Cure all concrete in accordance with accepted ACI Standards and conformance to ACI 308.1, Standard Specification for Curing Concrete, latest edition, for the worst case weather conditions anticipated during the curing period. All concrete construction and procedures shall conform to the requirements of ACI 306.1, Standard Specification for Cold Weather Concrete, latest edition.
- No aluminum of any type shall be allowed in the concrete work unless coated to prevent aluminum-concrete reaction.
- Mechanically vibrate concrete.
- Do not place pipes, ducts, reglets or chases in structural concrete or composite floor systems without approval of the structural engineer.
- Maximum free drop of any concrete = 5'-0"
- Six (6) test cylinders shall be prepared for every 50 cubic yards of concrete placed on any given day to represent all concrete placed on that day. Two (2) cylinders shall be tested at seven (7) days and two (2) cylinders shall be tested at 28 days for verification of concrete design strength with two (2) cylinders remaining.
- Concrete submittals required to be reviewed and approved by the Engineer prior to cast-in-place concrete construction include, but are not limited to: Mix designs.

**WOOD FRAMING**

- All work shall be performed in accordance with the National Design Specification for Wood Construction, latest edition, as issued by the AFPA.
- All materials, unless noted otherwise, shall be as follows:
  - All exposed wood and wood in direct permanent contact with masonry or concrete shall be pressure-treated to a minimum 0.4 PCF. All pressure treating shall be free of arsenic.
  - Studs, plates, ledgers, and bracings = Southern pine Construction Grade.
  - Joists and beams = Southern pine No. 2 or better.
  - Posts = Southern pine No. 2 or better.
  - Moisture content of all structural lumber shall be 19% maximum as verified by stamp.
  - All hardware for pressure-treated lumber, fire-retardant-treated lumber, or other exterior lumber shall be stainless steel (grade 304 or better).
- Wall sheathing shall be nailed to framing members with 8d nails according to the following patterns:
  - At supported edges of each sheathing panel, nails shall be spaced at 6" o.c. max., U.N.O.
  - At intermediate supports of each sheathing panel, nails shall be spaced at 12" o.c. max., U.N.O.
  - Sheathing panels for shear walls shall not be less than 4x8", except at boundaries and changes in framing, and framing members or blocking shall be provided at the edges of all panels.

**REVIEWED**  
By Michael Kyne at 1:36 pm, Apr 02, 2020

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Sandra L. Hiller*

**DURST & TAYLOR**  
Structural Engineering, LLC  
1228 Copper Beech Dr. York, PA 17403 (717) 793-7723  
211 Glenview Road Spring Grove, PA 17362 (717) 515-1590



THOMAS J. TALTAUULL  
ARCHITECT  
2050 PLUM CREEK COURT  
GATHERSBURG, MARYLAND 20882  
301.840.1847

Professional Certification.  
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed Engineer under the laws of the State of Maryland, License No. 21386, Expiration Date: 10-26-2020.

Professional Seal

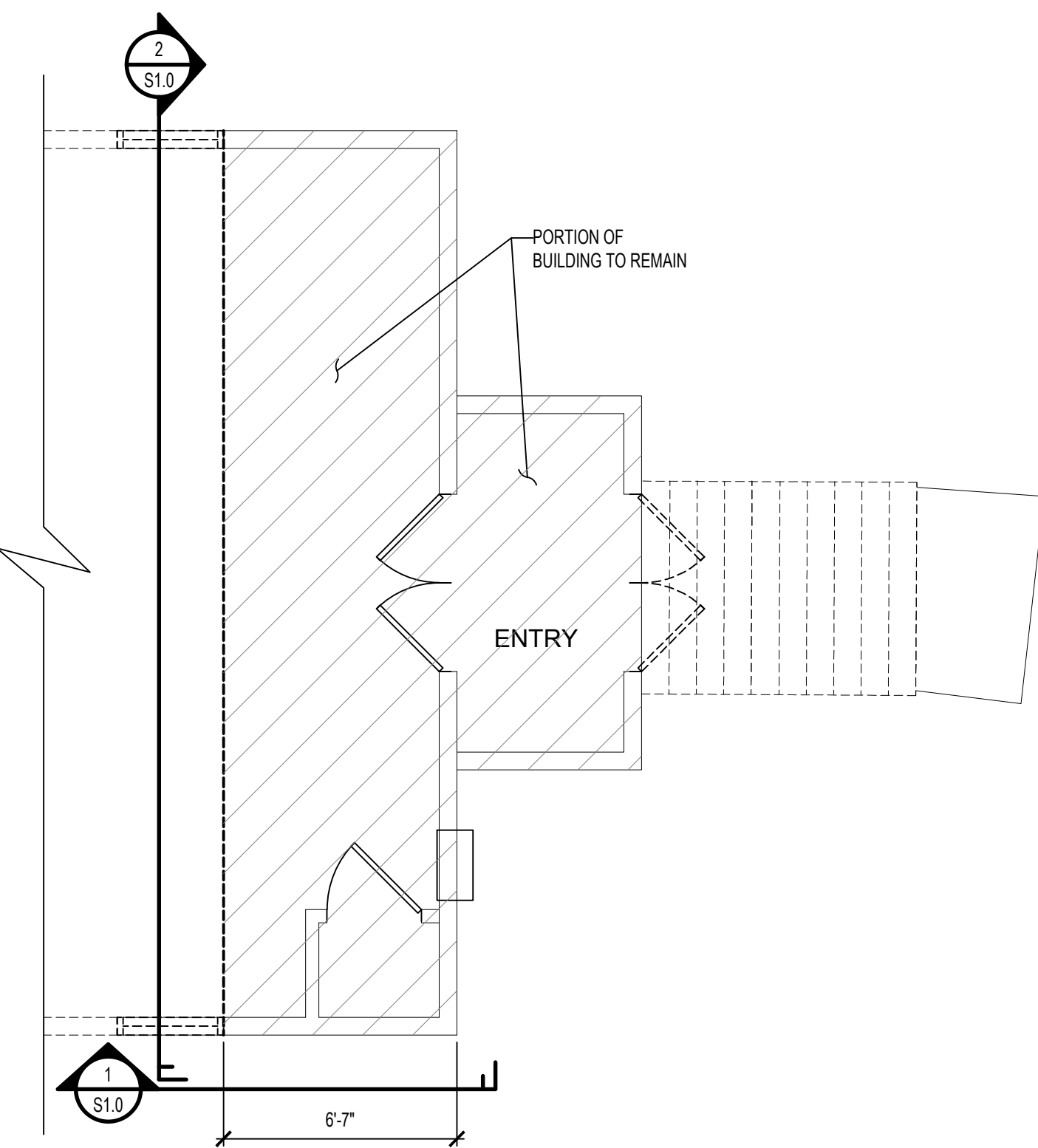
Revisions  
Drawing Title  
**DEMOLITION FLOOR PLAN**

Date: Feb. 24, 2020

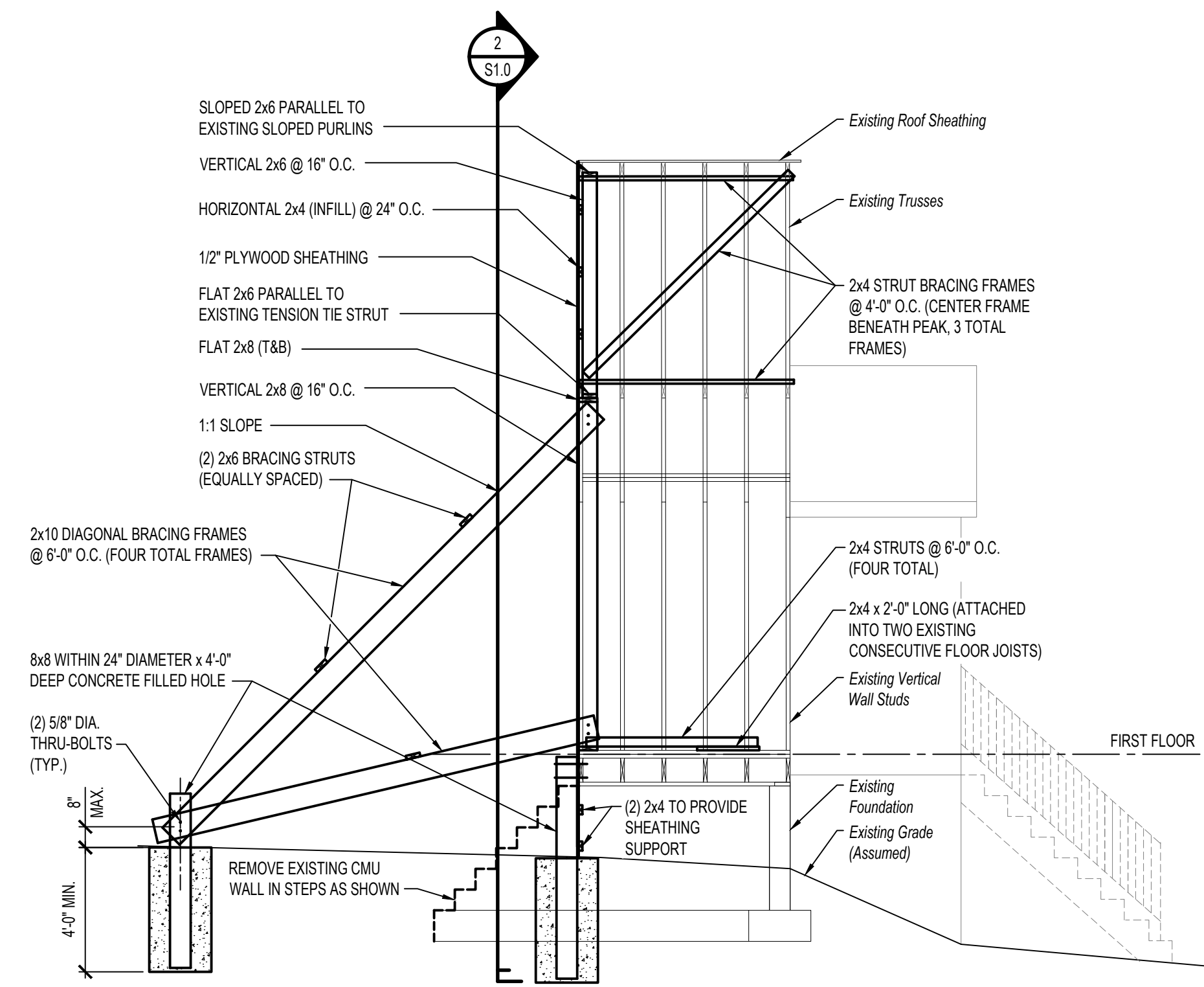
Temporary Structure Stabilization:  
**FIRST AGAPE AME ZION CHURCH**  
7700 Seven Locks Road  
Bethesda, Maryland 20817

Drawing Number

**S1.0**

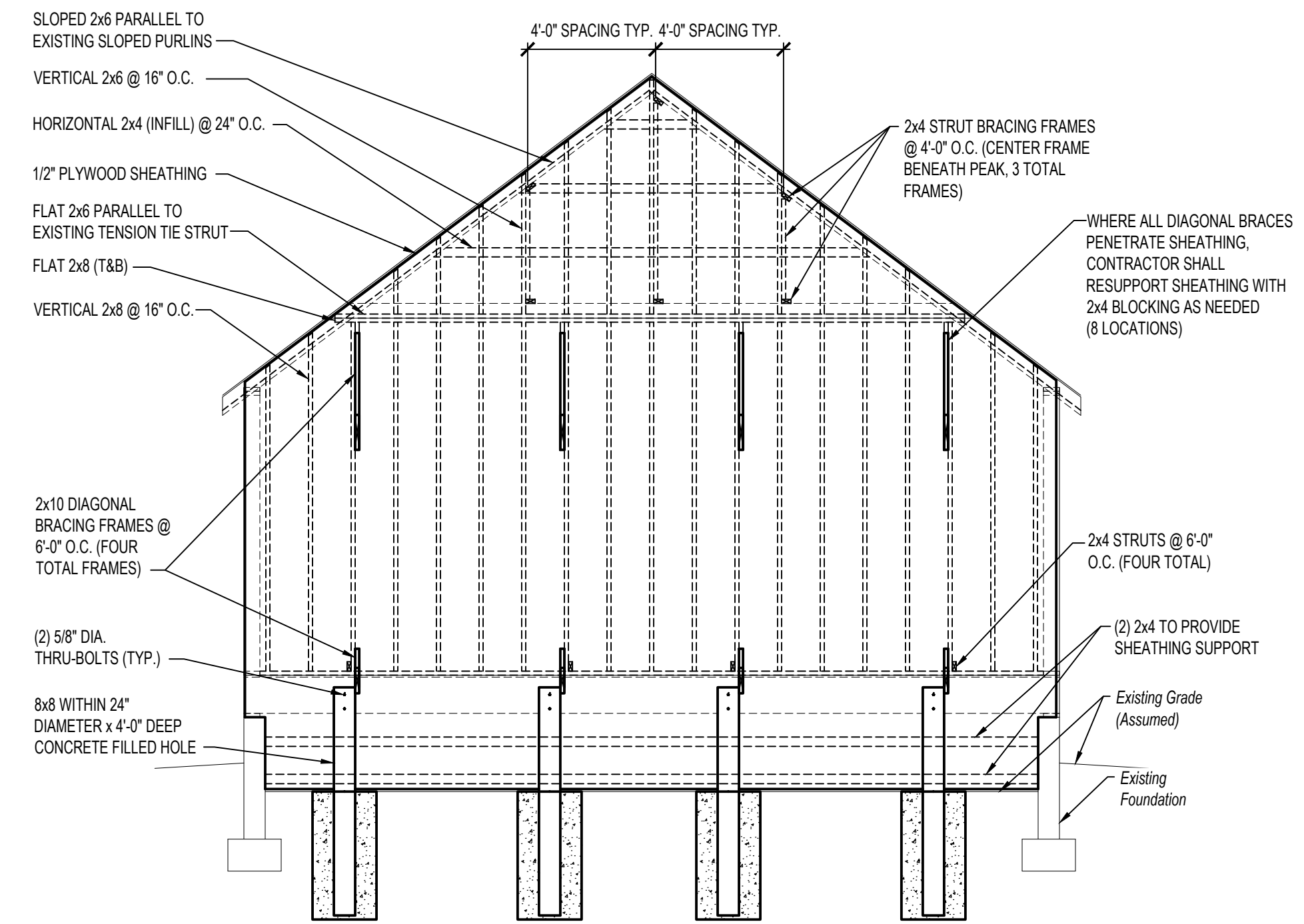


**PARTIAL FLOOR PLAN**  
SCALE: 1/4"=1'-0"



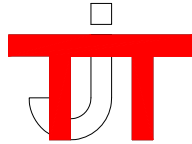
- NOTES:
- ALL EXISTING GRADES BOTH INTERIOR AND EXTERIOR ARE ASSUMED. CONTRACTOR SHALL VERIFY IN FIELD.
  - CONTRACTOR IS RESPONSIBLE TO SEAL THE STRUCTURE AGAINST WEATHER, ETC.

**SECTION 1**  
SCALE: 1/4"=1'-0"



- NOTES:
- ALL EXISTING GRADES BOTH INTERIOR AND EXTERIOR ARE ASSUMED. CONTRACTOR SHALL VERIFY IN FIELD.
  - CONTRACTOR IS RESPONSIBLE TO SEAL THE STRUCTURE AGAINST WEATHER, ETC.

**SECTION 2**  
SCALE: 1/4"=1'-0"



**Thomas J. Taltavull**  
Architect

March 11, 2020

To: Historic Preservation Commission (HPC)  
Maryland-National Capital Park and Planning Commission

From: Thomas Taltavull

Re: HAWP for First Agape AME Zion Church  
Master Plan Site #29/39  
Addenda to HAWP

Addenda A

Based on preliminary consultation comments from the HPC we offer the following additional information:

1. The method of documenting the building prior to demolition will include photographs of all exterior elevations and interior views. Measured drawings of the church have been included in the application prepared from architect's field measurements.
2. The owner has provided a stabilization plan for the front portion of the church that will remain. The plan was prepared by the structural engineering firm Durst and Taylor. The west elevation of the remaining stabilized section is indicated to be sheathed in plywood and will be weatherized with an air and water infiltration barrier building wrap, (Tyvek). The contractor will ensure that the church will be protected from the weather and secured.
3. All salvageable materials including wood siding, trim, windows will be stored in the stabilized section of the church to remain. If required the Owner has indicated that they will obtain a metal storage container if additional space is needed.

Please let me know if you need any additional information or have any questions.

**REVIEWED**

*By Michael Kyne at 1:36 pm, Apr 02, 2020*

APPROVED

Montgomery County

Historic Preservation Commission

*Sandra L. Heiler*