



## HISTORIC PRESERVATION COMMISSION

Marc Elrich  
*County Executive*

Sandra I. Heiler  
*Chairman*

Date: March 26, 2020

### MEMORANDUM

TO: Hadi Mansouri  
Department of Permitting Services

FROM: Dan Bruechert  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #904339: Porch Alteration and Building Addition

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** at the March 25, 2020 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Mark and Marjorie Kramer  
Address: 8017 Hampden Lane, Bethesda

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3400 or [dan.bruechert@montgomeryplanning.org](mailto:dan.bruechert@montgomeryplanning.org) to schedule a follow-up site visit.



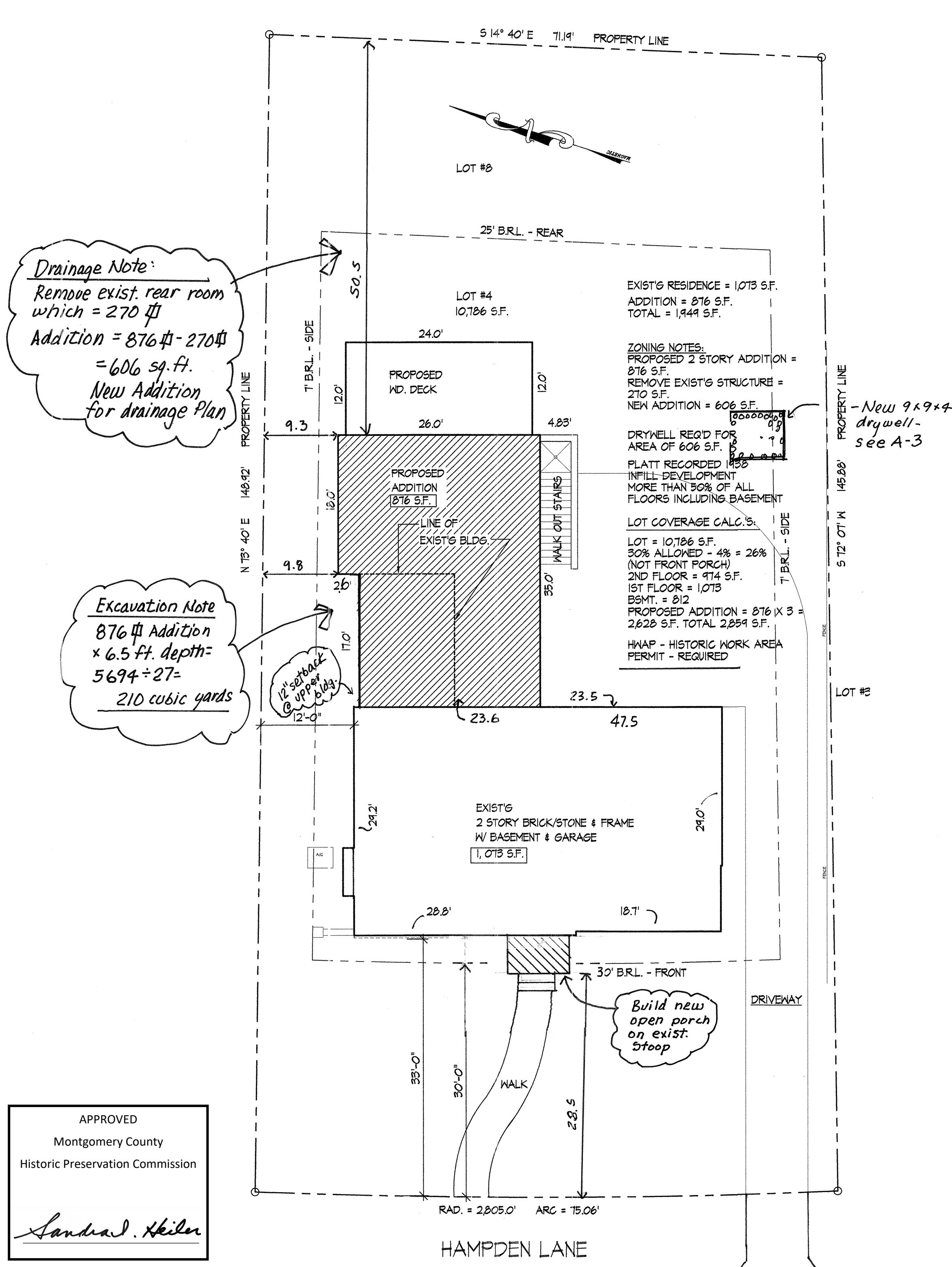


# HAMPDEN LANE ADDITION

8017 HAMPDEN LANE - BETHESDA, MARYLAND 20814

## PROPOSED BUILDING ADDITION

### ARCHITECTURAL SITE PLAN



**Drainage Note:**  
Remove exist. rear room which = 270 sq. ft.  
Addition = 876 sq. ft. - 270 sq. ft. = 606 sq. ft.  
New Addition for drainage Plan

**Excavation Note:**  
876 sq. ft. Addition x 6.5 ft. depth = 5694 cu. yd. = 210 cubic yards

EXIST'G RESIDENCE = 1,075 S.F.  
ADDITION = 876 S.F.  
TOTAL = 1,944 S.F.

**ZONING NOTES:**  
PROPOSED 2 STORY ADDITION = 876 S.F.  
REMOVE EXIST'G STRUCTURE = 270 S.F.  
NEW ADDITION = 606 S.F.

DRYWELL REQ'D FOR AREA OF 606 S.F.

PLATT RECORDED 1455

INFILL DEVELOPMENT MORE THAN 50% OF ALL FLOORS INCLUDING BASEMENT

**LOT COVERAGE CALC. S:**  
LOT = 10,786 S.F.  
30% ALLOWED = 4% = 26% (NOT FRONT PORCH)  
2ND FLOOR = 474 S.F.  
1ST FLOOR = 1,075 S.F.  
BSMT. = 812  
PROPOSED ADDITION = 876 X 3 = 2,628 S.F. TOTAL 2,654 S.F.

HMAP - HISTORIC WORK AREA PERMIT - REQUIRED

-New 9x9x9 drywell- see A-3

Build new open porch on exist. stoop

### GENERAL NOTES FOR RESIDENTIAL CONSTRUCTION

- All work shall conform to the applicable section of the Montgomery County building code sections of the single family guidelines and all applicable building codes 2009 IRC.
  - Stake off area of new construction and designate trees and shrubs for removal. Protect all landscaping beyond the area of construction as required by the site. Protect all shrubs that are to remain.
  - Contractor to evaluate the required electrical service. Electrical subcontractor to review the drawings and existing service. And provide the panel to satisfy all load requirements for any new construction as designated on plans.
  - Coordinate phasing and time limits for new construction with the owner so as to establish an acceptable payment schedule related to the status of the project.
  - Electrical subcontractor to review drawings and bring any questions related to specifications to the attention of the Architect.
  - The General Contractor shall obtain permits required for construction, unless otherwise informed by the Architect.
- THE GENERAL CITY BUILDING PERMIT SHALL BE FILED BY THE ARCHITECT.
- The Contractor shall store materials and equipment in a safe and suitable area during the construction process. The Owner is not responsible for any loss of construction materials. All debris at the construction site shall be periodically removed from the site at intervals so as not to create a site hazard or create a visual hazard to the Owner.
  - General Contractor shall be licensed in the Montgomery County and State of Maryland shall guarantee the project, labor and material for a period of one year after the punch list is completed by the Owner or the Architect, as per Maryland laws require.
  - The General Contractor shall provide competent daily supervision of the project.
  - The General Contractor shall carry Workman's Compensation Insurance in full force during the entire term of this contract. The General Contractor shall carry Comprehensive General and Automotive Liability Insurance and Property Damage Insurance of \$500,000. to \$1,000,000. minimum. The owner can amend these requirements if specified on the contract.
  - All drawings, specifications and copies furnished by the Architect are the documents for construction of the project only and shall not be used in any other circumstance.
  - The General Contractor shall carefully study and compare the contract documents and report to the Architect any error, inconsistency or omission he/she may discover.
  - The General Contractor shall provide and pay for all labor, materials, equipment, tools, construction equipment and machinery and other facilities and services necessary for the proper execution and completion of the work, whether temporary or permanent and shall guarantee no mechanic liens against such project at completion.
  - The Contract sum is stated in the building agreement and is the total amount payable by the Owner to the General Contractor for the performance of the work under the Contract Documents. A Change Order is written by the General Contractor and signed by the Owner, which designates the addition, deletion or revision to the contract. The change order must also designate the change in the original Contract sum and be accepted by the Owner before it is part of the contract.
  - Premises shall be left "broom clean" and exterior shall be free of debris upon completion of work. All subcontractors are required to clean premises and exterior of their debris daily unless specifically exempted by owner or architect. Particular effort is to be taken to minimize debris within existing premises on a daily basis.
  - The General Contractor shall submit a progress payment request based on the original contract agreement, to the Architect and the Owner. The Architect shall have seven business days to provide approval to the Owner.
- THE PROCEEDING UNLESS AMENDED WITH APPROVAL OF THE OWNER IS TO BE CONSIDERED ALONG WITH THESE DRAWINGS AS PART OF THE CONTRACT DOCUMENTS.
- CONTRACTOR \_\_\_\_\_ (Signature) \_\_\_\_\_ (Date)
- OWNER \_\_\_\_\_ (Signature) \_\_\_\_\_ (Date)
- MISS UTILITY INSPECTION NOTE:**  
CALL MISS UTILITY TO VERIFY LOCATION OF ALL UTILITIES WITHIN THE FRONT REAR OR SIDE YARD. COORDINATE THE LOCATION OF ANY NEW EXCAVATION WITH THE EXISTING UTILITIES.
- PORTA-TOILET FACILITY FOR PROJECT:**  
GENERAL CONTRACTOR SHALL PROVIDE A PORTA-TOILET FACILITY ON THE JOB SITE AND SHALL COORDINATE ITS LOCATION WITH THE OWNER. MAINTAIN THE FACILITY THROUGHOUT THE DURATION OF CONSTRUCTION PROCESS.

### PROJECT DATA

HAMPDEN LANE  
8017 HAMPDEN LANE  
BETHESDA, MARYLAND 20814  
SUBDIVISION: GREENWICH FOREST  
MONTGOMERY COUNTY, MARYLAND

LOT: 4  
BLOCK: K  
PLAT. NO. T22  
PLAT. BOOK: 10  
ZONE: R-90  
LOT SIZE= 10,786 SQ. FT.

SET BACKS:  
FRONT: 30.0'  
REAR: 25.0'  
SIDES: 1' EACH

MAX. HEIGHT: 35'  
MAX. LOT COVERAGE = 35%  
LOT COVERAGE = 26%

BUILDING CODE: INT'L RESIDENTIAL CODE 2015

### INDEX OF DRAWINGS

- LIST OF CONSTRUCTION DOCUMENTS**
- A-1 COVER SHEET, SITE PLAN & GENERAL NOTES
  - A-2 OVERALL ENLARGED SITE PLAN
  - A-3 COUNTY DRAINAGE PLAN W/ NOTES
  - A-4 GENERAL CONSTRUCTION SPECIFICATIONS
  - A-5 EXISTING/DEMOLITION FLOOR PLAN W/NOTES
  - A-6 EXISTING/DEMOLITION EXTERIOR ELEVATIONS
  - A-7 PROPOSED FOUNDATION/BSMT. PLAN W/NOTES
  - A-8 PROPOSED 1<sup>ST</sup> & 2<sup>ND</sup> FLOOR PLANS W/NOTES
  - A-9 PROPOSED OVERALL ROOF PLAN W/NOTES
  - A-10 PROPOSED EXTERIOR ELEVATIONS W/NOTES
- S-1 PROPOSED 1<sup>ST</sup> FLOOR STRUCTURAL FRAMING PLAN W/NOTES & DETAILS
  - S-2 PROPOSED 2<sup>ND</sup> FLOOR & ROOF STRUCTURAL FRAMING PLAN W/NOTES & DETAILS
  - S-3 EXTERIOR STRUCTURAL DETAILS
  - S-4 WALL BRACING PLAN W/ DETAILS
- E-1 PROPOSED BSMT. ELECTRICAL PLAN & LIGHTING FIXTURE SCHEDULE
  - E-2 PROPOSED 1<sup>ST</sup> & 2<sup>ND</sup> FLOOR ELECTRICAL PLAN
  - E-3 PROPOSED ENERGY ENVELOPE PLAN

### SYMBOL LEGEND

- DETAIL SECTION
- DETAIL SHEET NO.
- BLDG SECTION TAG
- ELEVATION TAG
- GRAVEL FILL
- EARTH
- FIBERGLASS BATT INSULATION
- CONCRETE MASONRY UNITS
- BRICK OR STONE VENEER
- CONCRETE (SOLID-POURED)

### LIST OF ABBREVIATIONS

AB.	ANCHOR BOLT	FLR.	FLOOR	O.C.	ON CENTER
AFF.	ABOVE FINISH FLOOR	RND.	FOUNDATION	O.H.	OVERHANG
ADJ.	ADJACENT	FR.	FIRE RATED	OPER.	OPERATOR
AHU.	AIR HANDLER UNIT	FR.	FIREPLACE	OPNG.	OPENING
ALUM.	ALUMINUM	FTG.	FOOTING	OZ.	OUNCE
ANCH.	ANCHOR	F/C	FLOOR COVERING CHANGE	PNL.	PANEL
ANG.	ANGLE	GA.	GAUGE	PFB.	PARTICLE BOARD
ARCH.	ARCHITECTURAL	GALV.	GALVANIZED	PERF.	PERFORATED
AT	AT	GC.	GENERAL CONTRACTOR	PL.	PLATE
BD.	BOARD	GEN.	GENERAL	PLD.	PLYWOOD
BLDG.	BUILDING	GYP. BD.	GYPSUM BOARD	PF.	PREFABRICATED
BM	BEAM	GL.	GLUE LAM	PF.	FOUND PER SQ. IN.
BLKG.	BLOCKING	HDR.	HEADER	PF.	FOUNDS PER SQFT.
BRG.	BEARINGS	HDR.	HEADER	PF.	PRESSURE TREATED
BSMT.	BASEMENT	HD.	HOSE BIB	REF.	REFER TO REFERENCE
C.J.	CONTROL JOINT- SAWCUT	HQWR.	HARDWARE	REF.	REINFORCING REINFORCED
C.M.U.	CONCRETE MASONRY UNIT	HQWR.	HARDWOOD	REQ'D.	REQUIRED
COL.	COLUMN	HT.	HEIGHT	R.O.	ROUGH OPENING
CONC.	CONCRETE	HORIZ.	HORIZONTAL	R.	RISER
COND.	CONDITION	HORIZ.	HORIZONTAL	RND.	ROND
CONT.	CONTINUOUS	INT.	INTERIOR	RND.	ROND
CONST.	CONSTRUCTION	INSUL.	INSULATION	RND.	ROND
CTBK.	COUNTERBANK	INT.	INTERIOR	RND.	ROND
C.O.	CASED OPENING	IS.	INSIDE CORNER	S.C.	SAWCUT
CANT.	CANTILEVER	JD.	JOINT	SHLF.	SHELF
C.T.	CERAMIC TILE	JD.	JOINT	SHT.	SHEET
CLG.	CEILING	JT.	JOINT	SM.	SIMILAR
DBL.	DOUBLE	LT. UT.	LIGHTWEIGHT	S.S.	STAINLESS STEEL
DIA.	DIAMETER	LT.	LIGHT	STL.	STEEL
DR.	DOOR	LVR.	LOUVER	STRCT.	STRUCTURAL
DRG.	DRAWING	LVR.	LOUVER	SUSP.	SUSPENSION
D.S.	DOWNSPOUT	L.T.	LAUNDRY TUB	SUSP.	SLIDING GLASS DOOR
DTL.	DETAIL	MT.	MARBLE THRESHOLD	S&G.	ONE SHELF
DYR.	DRYER	MAS.	MASONRY	T.O.	TOP OF
EA.	EACH	MAT.	MATERIAL	TRU.	TYPICAL
E.J.	EXPANSION JOINT	MAX.	MAXIMUM	TYP.	TYPICAL
ELEC.	ELECTRICAL	MECH.	MECHANICAL	T.	TREAD
ELEV.	ELEVATION	MIN.	MINIMUM	TRP.	TRIPLE
EQU.	EQUIPMENT	M.O.	MASONRY OPENING	UNO.	UNLESS NOTED OTHERWISE
EQUIP.	EQUIPMENT	MTL.	METAL	VERT.	VERTICAL
EXP.	EXPANSION	N.C.	NOT IN CONTRACT	V.I.F.	VERIFY IN FIELD
EXT.	EXTERIOR	(N'S)	NOT TO SCALE	W.	WASHER
EE.	EACH END			W.	WOOD
				WU.	WELDED WIRE FABRIC
				WU.	WALKOUT
				WUO.	WALKOUT WINDOW
				WUO.	WALKOUT WINDOW

### TABLE R301.5 MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS (IN POUNDS PER SQUARE FOOT)

USE	LIVE LOAD
ATTICS WITH STORAGE <sup>b</sup>	20
ATTICS WITHOUT STORAGE <sup>b</sup>	10
DECKS <sup>a</sup>	40
EXTERIOR BALCONIES	60
FIRE ESCAPES	40
GUARDRAILS AND HANDRAILS <sup>c</sup>	200
GUARDRAILS IN-FILL COMPONENTS <sup>f</sup>	50
PASSENGER VEHICLE GARAGES <sup>a</sup>	50
ROOMS OTHER THAN SLEEPING ROOMS <sup>b</sup>	40
SLEEPING ROOMS	30
STAIRS	40

FOR S1: 1 POUND PER SQUARE FOOT = 0.491 KVM 2. 1 SQUARE INCH = 6.45 mm 1 POUND = 4.45N

A. ELEVATED GARAGE FLOORS SHALL BE CAPABLE OF SUPPORTING A 2000 POUND LOAD APPLIED OVER A 20 SQUARE INCH AREA.

B. NO STORAGE WITH ROOF SLOPE NOT OVER 3 UNITS IN 12 UNITS

C. INDIVIDUAL STAIR TREADS SHALL BE DESIGNED FOR THE UNIFORMLY DISTRIBUTED LIVE LOAD OR A 3000 POUND CONCENTRATED LOAD ACTING OVER AN AREA OF 4 SQUARE INCHES, WHICHEVER PRODUCES THE GREATER STRESSES.

D. A SINGLE CONCENTRATED LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP.

E. SEE SECTION R 902.2.1 FOR DECKS ATTACHED TO EXTERIOR WALLS

F. GUARD IN-FILL COMPONENTS ( ALL THOSE EXCEPT THE HANDRAIL ) BASTERS AND PANEL FILLERS SHALL BE DESIGNED TO WITHSTAND A HORIZONTALLY APPLIED NORMAL LOAD OF 50 POUNDS ON AN AREA EQUAL TO 1 SQUARE FOOT. THIS LOAD NEED NOT BE ASSUMED TO ACT CONCURRENTLY WITH ANY OTHER LIVE LOAD REQUIREMENT.

### INTERNATIONAL BUILDING CODE DATA 2015 IRC

1. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE INTERNATIONAL CODE ( IRC ), 2015 EDITION, AS AMENDED BY MONTGOMERY COUNTY EXECUTIVE REGULATION NO 24-04. ALL CHAPTERS, TABLES, SECTIONS, FIGURES AND APPENDICES REFERENCED HERE WITHIN ARE FROM IRC. THIS DOCUMENT CONTAINS ITEMS OFTEN WRITTEN ON APPROVED PLANS AND IS PROVIDED FOR CONVENIENCE ONLY. IT IS NOT INTENDED AS A SUBSTITUTE FOR THE CODE OR ALL OF ITS PROVISIONS.

2. TABLE R 301.2 (1) THE RESIDENTIAL CONSTRUCTION DESIGN PARAMETERS ARE SHOWN IN THE FOLLOWING TABLE:

GROUND SNOW LOAD	WIND SPEED	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM WEATHERING			WINTER DESIGN TEMP.		ICE SHIELD UNDER LAYMENT REQ'D	FLOOR HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
			WEATHERING	FROST LINE DEPTH	TERMITE	DECAY	TEMP.				
30 PSF	115 MPH	B	SEVERE	30 IN	MODERATE TO HEAVY	SLIGHT TO MODERATE	13° F	YES	JULY 2, 1979	300	55° F

RESIDENTIAL CONSTRUCTION DESIGN PARAMETERS

RESIDENTIAL CODE NOTES + RCN

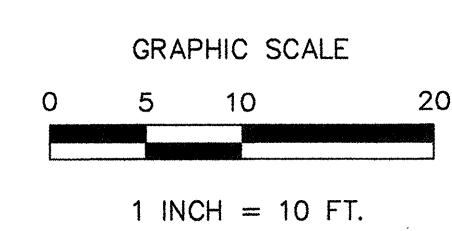
1. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE INTERNATIONAL CODE ( IRC ), 2015 EDITION, AS AMENDED BY MONTGOMERY COUNTY EXECUTIVE REGULATION NO 24-04. ALL CHAPTERS, TABLES, SECTIONS, FIGURES AND APPENDICES REFERENCED HERE WITHIN ARE FROM IRC. THIS DOCUMENT CONTAINS ITEMS OFTEN WRITTEN ON APPROVED PLANS AND IS PROVIDED FOR CONVENIENCE ONLY. IT IS NOT INTENDED AS A SUBSTITUTE FOR THE CODE OR ALL OF ITS PROVISIONS.

2. TABLE R 301.2 (1) THE RESIDENTIAL CONSTRUCTION DESIGN PARAMETERS ARE SHOWN IN THE FOLLOWING TABLE:

APPROVED  
Montgomery County  
Historic Preservation Commission

*Sandra L. Skiles*

REVIEWED  
By Dan.Bruechert at 2:40 pm, Mar 26, 2020



**KRAMER ARCHITECTS INC.**  
7960-D Old Georgetown Road, Bethesda, Md. 20814  
Phone: (301) 658-9700 Fax: (301) 913-9834

These drawings, specifications & copies are the property and copyright of the architect and shall not be used on any other project without the written consent of the architect. Written dimensions shall always take preference over scaled dimensions. Verify all dimensions & exist conditions at the site and bring any discrepancies to the attention of the architect prior to commencement of any work.

PROFESSIONAL CERTIFICATION:  
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the STATE OF MARYLAND. License #4040-A-Expiration Date 11.07.2020

PROFESSIONAL REGISTRATION BOARD  
3040 &  
STATE OF MARYLAND

PROJECT:  
HAMPDEN LANE  
8017 HAMPDEN LANE  
BETHESDA, MD. 20817  
MONTGOMERY COUNTY

SHEET TITLE:  
COVER SHEET

REVISIONS  
3-10-2020

Date: \_\_\_\_\_  
Permit: 2-10-2020  
Scale: AS NOTED  
Project Number 1913

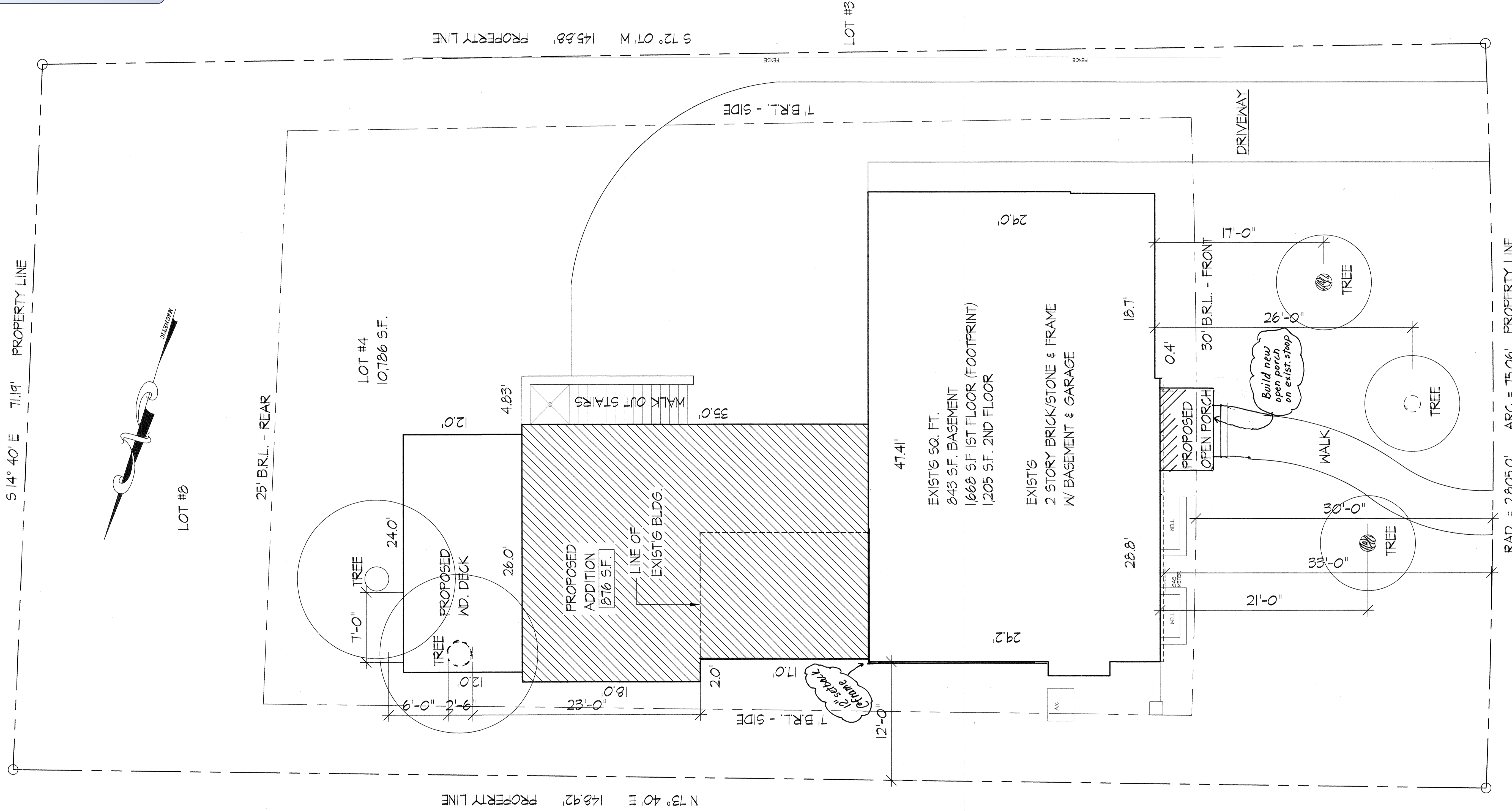
**A-1**  
1 of 17



APPROVED  
Montgomery County  
Historic Preservation Commission

*Sandra Hilten*

REVIEWED  
By Dan.Bruechert at 2:40 pm, Mar 26, 2020



**SITE PLAN**  
SCALE: 3/16"=1'-0"



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PROFESSIONAL CERTIFICATION:  
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the STATE OF MARYLAND.  
License #404-A  
Expiration Date 11.07.2020



PROJECT:  
HAMPDEN LANE  
8017 HAMPDEN LANE  
BETHESDA, MD. 20817  
MONTGOMERY COUNTY

SHEET TITLE:  
SITE PLAN

REVISIONS  
3-10-2020

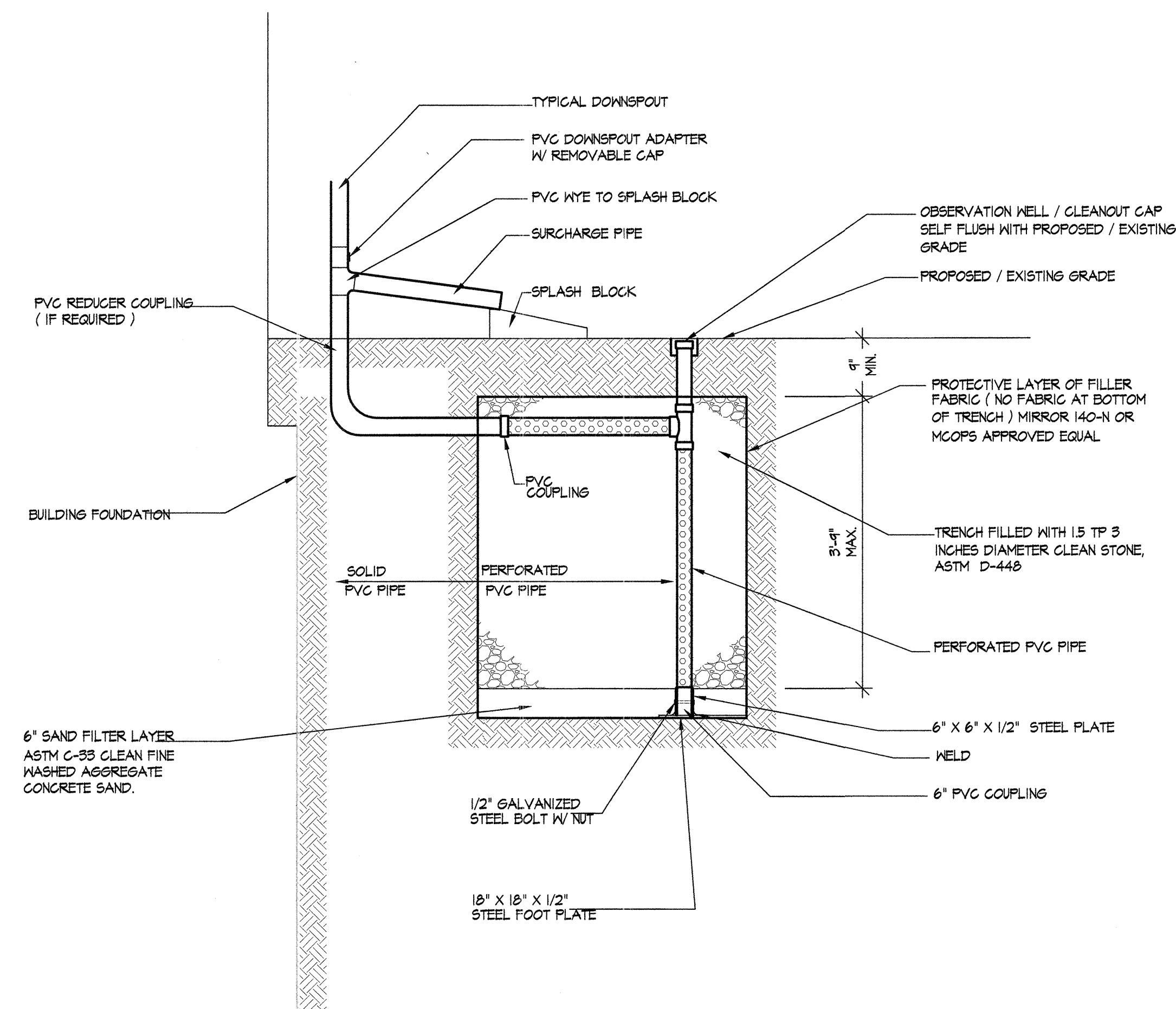
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Project Number  
1915

**A-2**  
2 of 17

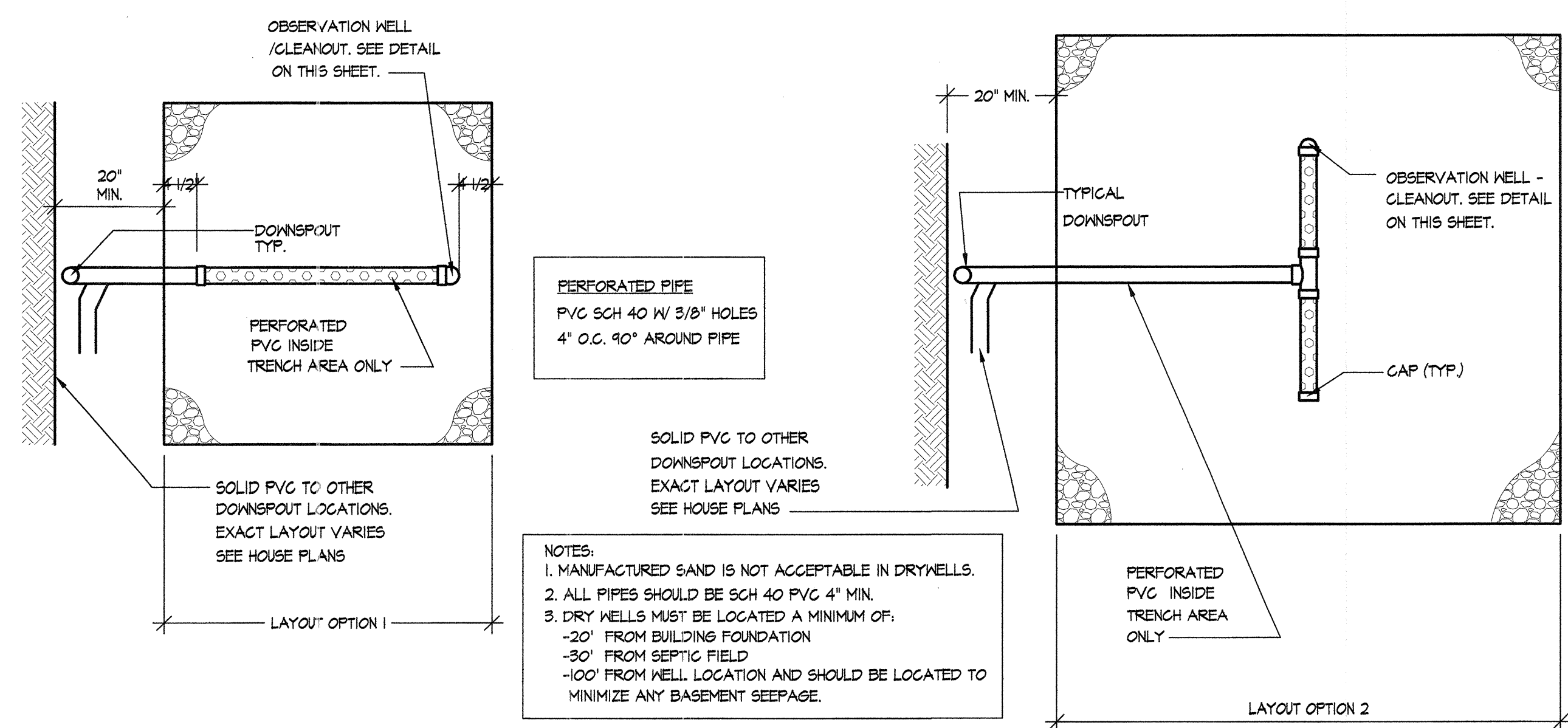


APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*Sandra Heiler*

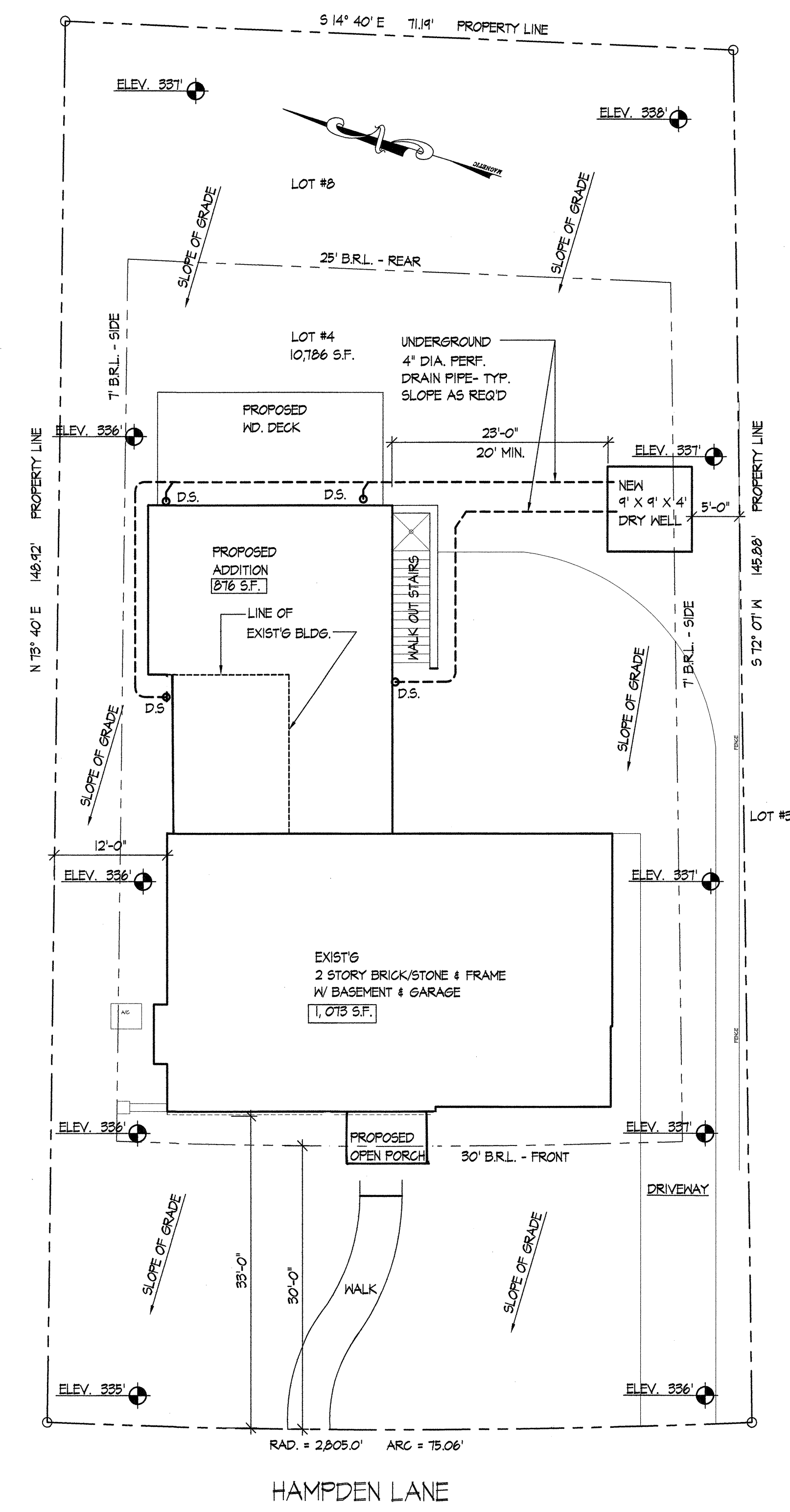
REVIEWED  
 By Dan.Bruechert at 2:41 pm, Mar 26, 2020



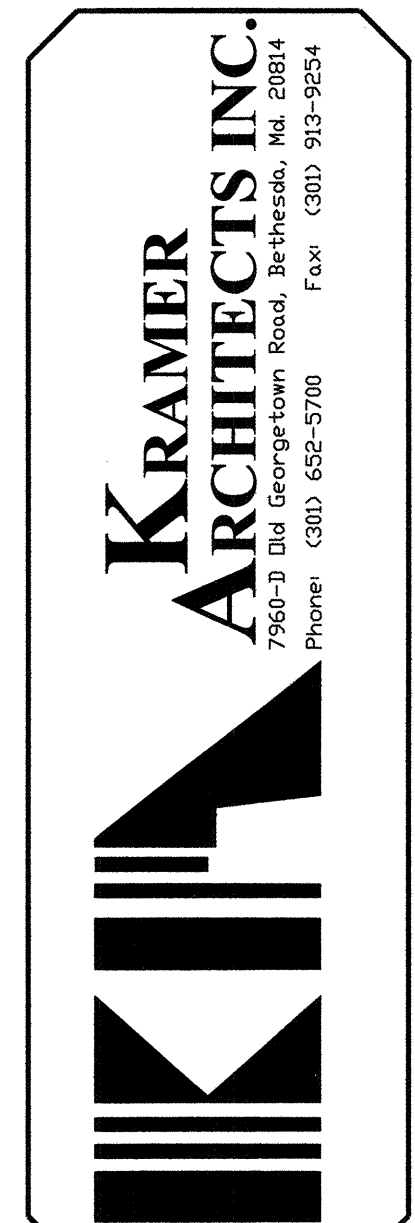
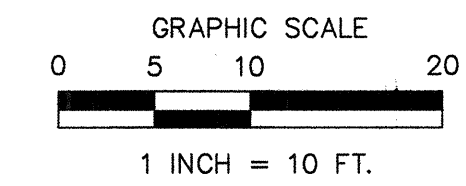
2 DRYWELL DETAIL  
 SCALE: NO SCALE



3 DRYWELL LAYOUT PLAN  
 SCALE: NO SCALE

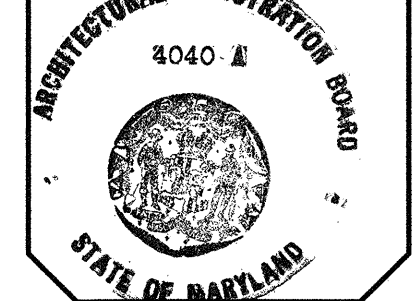


1 RESIDENCE DRYWELL PLAN  
 SCALE: NO SCALE



These drawings, specifications & copies are the property and copyright of the architect and shall not be used on any other project. Written dimensions shall always take preference over scaled dimensions. Verify dimensions & exist conditions at the site and bring any discrepancies to the attention of the architect prior to commencement of any work.

PROFESSIONAL CERTIFICATION: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the STATE OF MARYLAND. License #4640-A Expiration Date 11.07.2020



PROJECT:  
 HAMPDEN LANE  
 8011 HAMPDEN LANE  
 BETHESDA, MD. 20817  
 MONTGOMERY COUNTY

SHEET TITLE:  
 WATER DRAINAGE  
 CONTROL PLAN

REVISIONS  
 3-10-2020

Date:  
 Permit: 2-10-2020  
 Bls:  
 Scale:  
 46 NOTED  
 Project Number  
 1913

A-3  
 3 of 17



# KRAMER ARCHITECTS INC.

# GENERAL

# CONTRACT

# SPECIFICATION

(These general specifications are to be used in coordination with the drawings and as they apply to the work of the project described)

**INSTRUCTIONS TO BIDDERS:** All bidders will be notified by the Architect concerning the bid due date and place.

**CONDITIONS OF THE CONTRACT:** All bidders are notified that AIA Document A201 General Conditions of the Contract for Construction, latest edition are hereby made a part of this specification.

**CONTRACT TIME AND LIQUIDATION DAMAGES:** The contract time in which the General Contractor agrees to complete his work is of considerable importance and will be one consideration in determining the acceptable bidder.

**FAMILIARITY WITH THE WORK:** Before submitting proposal, Contractor shall carefully examine the proposed Contract Documents, inspect the site of the project, acquaint himself with all governing laws, all conditions which may affect the performance of the work. The act of submitting proposal means that the Contractor has so familiarized himself, and therefore, no concession will be granted because of any claim or misunderstanding or lack of information.

**EXTENT OF SITE:** For purposes of this contract, the construction site shall be defined as that area located within the contract limit lines as shown on site plan of drawings.

### TEMPORARY CONSTRUCTION AND FACILITIES

1. **Scope of Work:** The work required under this section consists of providing all temporary construction and facilities necessary to complete the Work as indicated on drawings and described in the specifications. The term: Contractor, is used to indicate the General Contractor on this project.

2. **Temporary Electricity during Construction:** The contractor shall make the necessary arrangements and provide all electric service and lighting required during the entire construction period.

3. **Cold Weather Protection and Temporary Heat:** The Contractor shall provide cold weather protection and temporary heat as necessary to carry on the work expeditiously during inclement weather, to protect all work and materials against injury from dampness and cold.

### SITE WORK

1. **SCOPE OF WORK:** The work related to driveways, concrete walks and steps, all patios, terraces and related items as applicable to the project necessary to complete the Work as outlined on the drawings.

2. **ACCEPTANCE OF SITE:** The contractor shall inspect the site prior to starting his work for proper grades, soft spots, etc. This Contractor shall be responsible for fine grading the subgrade under all areas before placing finished surfaces.

### EXCAVATIONS, FILLING AND GRADING

1. **SCOPE OF WORK:** The work required under this section consists of all clearing, grubbing, excavating, filling, rough grading, finished grading and related items necessary to complete the Work. All excavated material that cannot be used as backfill for the new building shall be removed from the site or distributed only with the owners approval, upon the site. The Contractor shall clear only that portion within the contract limit lines.

2. **PROTECTION OF TREES:** The Contractor shall be responsible for the protection of tops, trunks, and roots of existing trees on the project that are to remain.

3. **EXCAVATION FOR BUILDING:** Excavate to elevations and dimensions indicated; allow for additional space as required for construction operations and inspecting foundations.  
A. Suitable bearing for foundations: (Assumed 3,000psf) If suitable bearing is not encountered at the depth indicated on drawings for foundations, the Contractor shall notify the Architect for further information.

B. Drainage: Contractor shall control the grading around bldg. so that ground is pitched to prevent water from running into the excavated areas or damaging the structure.

C. Footings: All footings shall be placed on permanently undisturbed soil not less than 2 feet 6 inches below adjacent exterior grade. Use a ratio of 1 vertical to 2 horizontal when necessary to step continuous wall footings. Vertical steps to be 1 foot 4 inch maximum.

D. Frost protection: Do not place footings or slabs on frozen ground. When freezing is expected, do not excavate to the full depth indicated, unless the footings or slabs can be placed immediately after the excavation has been completed. Protect the bottoms so excavated from frost if concrete is delayed.

4. **FILL UNDER FLOOR SLAB ON GRADE:** Where fill is required to raise the subgrade for concrete floor slabs to the elevations indicated on drawings, such fill shall be of earth or bank run gravel, placed and compacted as specified.

5. **BACKFILLING FOR BUILDING:** Backfill against foundation walls only after the approval of the Architect. Place and compact backfill so as to minimize settlement and avoid damage to the walls and to waterproofing and other work in place. Deposit backfill in layers not more than 8 inches thick. Place the fill material in successive horizontal layers, in loose depth as specified, for the full width of the cross section. The finished subgrade shall be brought to elevations indicated and sloped to drain water away from the building walls. A grade of 1/2 inch per foot minimum for at least 10 feet from building walls.

### CONCRETE WORK

1. **SCOPE OR WORK:** Furnish all materials, labor, equipment and appliances, and perform all operations in connection with installation of concrete work, complete, as shown on the drawings or herein specified, subject to the conditions of the Contract.

2. **COMPLIANCE WITH STANDARD AND INDUSTRY SPECIFICATIONS:** Any material or operation specified by reference to the published specs of a manufacturer, ASTM, ACI, The Portland Cement Assoc, The Concrete Reinforcing Steel Institute, the local code or other published standard shall comply.

3. **MATERIALS:** All concrete is to be ready mixed and placed in accordance with Building Code requirements for reinforced concrete (ACI 318). Concrete shall have a minimum compressive strength at 28 days equal to 3,000 psi (Class "B" mix minimum 5 bag mixture).

Reinforcing steel: Reinforcing bars to be deformed billet steel bars which conform to the American Society for Testing and material designations as follows: Reinforcing bars & Bar Deformations are to be ASTM A615, Welded Steel Fabric to be ASTM A185 (Lap edges of welded wire mesh 6" in each direction). Reinforcing bars to be protected with a minimum of 1 inch concrete top and bottom @ slabs.

### CONCRETE WORK (CONT.)

Expansion Joint Fillers: 1/2" inch asphalt impregnated fiberboard conforming to ASTM D1751. Joint fillers to extend full slab depth.

Perimeter Insulation: Cellular 2 inch thick, conforming to ASTM C343. Refer to drawings for details as to widths.

4. **PLACING REINFORCEMENT:** Place reinforcement accurately in position shown, securely fasten and support to prevent displacement before or during pouring. Cleaning, bending, placing and splicing of reinforcement shall be done in accordance with requirements of ACI-318. Mesh reinforcement in slabs shall have sides and ends lapped not less than one mesh.

5. **WEATHER CONDITIONS:** Concrete when deposited shall have a temp. not below 50 deg. F. for 7 days after placing. Cooling of the concrete to outside temperature shall be at a rate not faster than one degree each hour for the first day and 2 degrees each hour thereafter until the outside temperature is reached. The methods of heating the materials and protecting the concrete produced with heated aggregates, heated water or both, shall not exceed 90 deg. F. at any time during its production or transportation.

A. The use of salt, chemicals or other foreign materials shall not be mixed with the concrete for the purpose of preventing freezing.  
B. Admixtures intended to accelerate the hardening of the concrete to produce higher than normal strength at early periods will not be permitted unless specified, or prior approval is obtained from the Architect.

6. **FLOOR SLABS ON EARTH:** Concrete floor slabs on earth shall be placed over a well compacted subgrade. Over subgrade place porous fill; thickness of porous fill shall be 4 inches unless otherwise shown. Roll or tamp fill until thoroughly compacted. Over porous fill lay vapor barrier, lap joints 6 inches and seal with tape. Turn paper up on walls approximately 4 inches. Provide welded wire mesh as spec. Immediately place concrete of required thickness and strike off at proper levels to receive finishes specified. Set continuous expansion joint strips where edge of slab abuts vertical surface. Provide a standard integral monolithic steel trowel finish for all concrete slabs, unless spec. otherwise on drawings.

### STRUCTURAL AND MISCELLANEOUS STEEL

1. **SCOPE OF WORK:** The work required under this section consists of all structural steel, steel erection, miscellaneous steel, painting and related items necessary to complete the Work indicated on the draw.

2. **COMPLIANCE WITH STANDARD AND INDUSTRY SPECIFICATIONS:** Any material or operation specified shall comply with ASTM, ANSI, AWS or other published standard. All structural steel members are to be fabricated and erected in accordance with the AISC (American Institute of Steel Construction) Specifications for the Design, Fabrication and Erection of Structural Steel for Buildings.

Unless otherwise noted, provide one angle for each 4" thickness of wall or partition with 3-1/2" leg horizontal for openings in masonry as follows:

- Openings to 3'-0" L 3-1/2 x 3 x 1/4
- Openings 3'-1" to 6'-0" L 4 x 3 - 1/2 x 5/8
- Openings 6'-1" to 7'-11" L 5 x 3 - 1/2 x 5/8
- Openings 8'-0" to 8'-5" L 6 x 3 - 1/2 x 5/8

Provide a minimum of 6" bearing for angle lintels and 8" at beams

### MASONRY

1. **SCOPE OF WORK:** The Work under this section consists of all masonry work and related items necessary to complete the Work indicated on the drawings and described in the spec.

2. **MATERIALS:** Building Brick: Brick shall be made from clay or shale and conform to ASTM Spec c62. For foundations, work below grade and work in contact with earth, use Grade SW. Use Grade MW for exterior walls above grade and Grade NW for interior walls and for back up of walls faced with facing brick. All materials to be used are to meet ASTM or published standards accepted by ASTM.

A. Facing brick: Brick shall conform to ASTMc 216, Grade SW. Refer to drawings for allowance for brick bidding purposes.

B. Concrete masonry units: Shall conform to applicable ASTM specifications. Use c90 for hollow load bearing units. Use load bearing tupe units for load bearing partition, walls and all other locations where concrete masonry units are indicated on drawings.

C. Joint Reinforcement: Steel reinforcement for use in horizontal bed joints of concrete masonry units and other locations as hereinafter specified shall be prefabricated type formed of zinc-coated cold drawn steel wire conforming to ASTM Spec. A116 for class 2 coating. Side wires shall be formed of no.9 gauge or larger and be deformed; cross rods shall be of no.12 gauge or larger, smooth or deformed wire, but welded to side wires. The following manufacturer is recommended: DUR-O-WALL

D. Reinforcing rods: Shall be ASTM Spec. A15 or A16 for all rods for lintels and other reinforcement

3. **STORAGE OF MATERIALS:** Store materials under cover in a dry place and in a manner to prevent damage or intrusion of foreign matter. During freezing weather protect all masonry units with tarpaulins. Store concrete masonry units under covers that will permit circulation of air and prevent excessive moisture absorption. Reinforcement shall be free from rust, ice or other foreign materials prior to installation. Concrete masonry units shall be protected against wetting prior to use.

4. **MORTAR AND MIXING PROCEDURE:** See drawings for color of mortar to be used with bricks. Masonry cement to conform to accepted practice for masonry. Mix all cementitious materials and sand in a mechanical batch mixer for a minimum of 5 minutes. Adjust the consistency of the mortar to the satisfaction of the mason. All mortar shall be used within 2 1/2 hours of the initial mixing. It shall not be used after is has begun to set.

5. **PRECAUTIONS AND GENERAL REQUIREMENTS:** Do not lay masonry when the temperature of the outside air is below 40 degrees F. unless suitable means as approved by the Architect are provided. No antifreeze ingredient shall be used in the mortar.

6. **LAYING BRICK:** Lay brick plumb, level and true to line in full beds of mortar. Lay brick in running bond, Coursing shall be done with story rod laid so that 3 courses equal 8 inches. Completely access panels, loose lintels and fireplace metal and other work at locations on drawings and as specified.

7. **LAYING CONCRETE MASONRY:** Set units plumb and true to line. All units shall be laid with level horizontal joints. Units shall be laid in running bond. Joints of interior concrete masonry units that will be exposed or painted shall be cut flush and tooled.

### WATERPROOFING AND TILE DRAINS

1. **SCOPE OF WORK:** The Work required of this section consists of all weatherproofing (dampproofing), tile foundation drains and related items necessary to complete the Work indicated on the drawings.

2. **METALLIC WATERPROOFING:** Provide waterproofing on outside face of all masonry walls that enclose building. Extend waterproofing from tops of footings to 3 inches above grade. Provide at all locations indicated on drawings. Contractor to inspect surfaces to receive waterproofing and dampproofing specified.

A. Application on masonry surfaces: First coat shall be composed of 1 part portland cement, 2 parts screened sand by volume and 15 lbs. of metallic compound to each bag of cement. Mix to troweling consistency and apply to a thickness of 3/8 inch.

B. Guarantee: Contractor shall furnish owner with a guarantee in which he agrees to correct and repair at his own expense any leaks, excepting structural defect leaks, which occur at areas where waterproofing was under his contract.

3. **INTERIOR DAMPPROOFING:** Apply dampproofing on inside face of all exterior masonry walls that are furred and finished. Material shall be an asphalt base material and suitable for application by spray. Deliver material to the project site in sealed containers with manufacturer's label on each container. Apply dampproofing in strict accordance with manufacturer's instructions. Surfaces shall be thoroughly covered with an unbroken coating and left free from runs and sags at normal temperatures. Make a watertight seal between dampproofing and flashings that are turned up on side of wall.

4. **FOUNDATION DRAINS:** Lay drain tile or pipe level on a bed of gravel. Be sure that backfill has been well compacted before gravel is placed. Lay tile with a 1/4 inch wide open butt joints. Cover tile with continuous strips of heavy burlap or felt.

### ROOFING AND SHEET METAL

1. **SCOPE OF WORK:** The work required under this section consists of all roofing, sheet metal and related items necessary to complete the Work indicated on drawings. Refer to the drawings for type of roof material and specification of color and manufacturer.

2. **MISCELLANEOUS FLASHINGS:** Furnish and install all miscellaneous flashings, head flashings, base flashings, etc. required to provide watertight walls or roofs. Furnish and install stepped flashing for chimney flashing. Furnish termite shield where required in 10 foot lengths with 3 inch minimum lap joints.

### WOOD WINDOWS AND SLIDING GLASS DOORS

1. **SCOPE OF WORK:** The work required under this section consists of furnishing all wood windows and sliding glass doors, and related items necessary to complete the Work. See window and door schedule on drawings for manufacturer and specification of each product.

2. **PROTECTION:** Care shall be used in handling windows and doors during transportation and at job site. Store upright on pieces of lumber in a dry location and under cover.

### CARPENTRY AND MILLWORK

1. **SCOPE OF WORK:** The work required under this section consists of all carpentry and millwork and related items necessary to complete the Work described in the drawings.

2. **CARPENTRY ITEMS FOR PERFORMANCE:** Without restricting the volume or generality of the work, this section shall include, but is not limited to the following:  
A. Refer to drawings, schedules and details for quantity and location of carpentry millwork.  
B. Blocking: Furnish and set all wood blocks, plugs, strips, etc. in securing equipment and finished work of contractors to mason.  
C. Furring: All wood furring required for the proper installation of work of the contractors.

- D. Fastenings: All anchors, ties, bolts, hangers, etc.
- E. Furnishing and installing all rough hardware, nails, spikes, screws, etc.
- F. Installation of all finishing hardware
- G. Furnishing and installation of wood windows and sliding glass doors and wood doors
- H. Furnishing and installing all interior and exterior finished millwork
- I. Wood for interior and exterior stairs, balconies, decks, etc.
- J. Installation of all medicine cabinets and mirrors, as appl.
- K. Furnishing and installation of wood flooring and ceilings
- L. Furnishing and installing of all wood joints, Teco hangers, wood studs, sheathing, plywood, floor and roof trusses, etc.
- M. Metal or wood ventilation louvers

3. **MATERIALS:** All framing lumber to be minimum #2 Hem Fir or approved equal for specific locality with moisture content in lumber not to exceed 19 per cent when installed. For interior woodwork that is to have a painted finish use C select or better white pine or an approved equal. Studs shall be 2X4 or 2X6, as specified on drawings at 16" on center with double top plate, or at 24" o.c. again as specified on drawings. See details for special framing.

4. **MISCELLANEOUS MATERIAL:** Soffit insect screen shall be aluminum mesh, width as required. Secure to plywood or soffit framing.

- A. Anchor bolts generally shall be 5/8 inch in diameter with nut and washer and wall end bent 2 inches.
- B. Anchors shall be installed where specified on drawings to anchor carpentry to masonry.
- C. Insulated sheathing shall be 1/2 inch thick R-Max type insulation board or approved equal.
- D. Building paper shall be 30 lb. asphalt-saturated felt

5. **WOOD DOORS:** Refer to door schedule on drawing for specifications and location of doors. Cap exterior doors with non-corrosive metal and flash cutouts to prevent penetration of door by water.

- 6. **FRAMING:** In general, apply the following standards in construction  
A. Brace walls between studs with members 2 inch by wall thick, at least one in each story height or as detailed on drawings.  
B. Cut framing square on bearings, closely fitted; accurately set to required lines and levels and plumb; secure rigidly in place at bearings and connections.  
C. Do not use shims for leveling on wood or metal bearings. Use slate or tile shims with full bearing for leveling on masonry.  
D. Firestop all concealed spaces in wood framing not already shut off by framing members, to prevent drafts from one space to another. Fill accurately to fill openings.  
E. Keep framing 2 inches away from masonry chimneys, 4 inches from fireplace back walls.  
F. Install corner bracing in exterior walls of metal ties or approved equal, let into studs and plates flush with face of studs as near 45 degrees from horizontal as possible.

### CARPENTRY AND MILLWORK (CONTINUED)

6. **FRAMING (CONTINUED)**  
G. Ceiling joists, rafters, beams are to be set with crown edge up. Double joists to form headers and trimmers around access doors, stairs to attics, skylights, etc. Where built into masonry, provide ends with 3 inch bevel cut. Provide blocking or suitable edge support between members where necessary.

H. Studding: Double studs at openings, with two 2x6 headers minimum above as headers  
I. Plywood subflooring: use 3/4 inch thick plywood, C-D with exterior glue.  
J. Plywood roof sheathing: use 1/2 inch thick plywood, C-D with exterior glue.

7. **PRESSURE TREATED WOOD:** Pressure treated lumber shall be used at wall plates at top of masonry and concrete in exterior walls and at exterior rough bucks for all wood doors

- 8. **FINISH CARPENTRY:** The following notes apply in general to project:  
A. Cut moldings and shapes sharp and true.  
B. Blind nail where possible  
C. Built up items shall be glued as well as nailed.  
D. Set finishing nails, used on exposed faces, to receive putty  
E. Install exterior and interior fascias in long lengths, with joints staggered and only where solid fastening is possible.  
F. Cope molded work at returns and interior angles. Miter at corners.  
G. Leave work free from defects in any exposed part.  
H. Back prime all members before installation, with exterior priming material specified in painting section. Install with non-corrosive type nails only.

9. **ROUGH AND FINISHING HARDWARE:** Install all rough hardware and metal fastenings as shown on drawings or as required for proper installation of carpentry. Provide allowance for contract to cover all finish hardware as required for execution of the contract.

- A. Protection: Cover door knobs, pulls and other finished hardware until project is painted and complete, free from defect  
B. Keys: Upon the completion of the work, all hardware shall be demonstrated to work freely; all keys shall be fitted in their respective locks and delivered to owner upon completion.  
C. Locks and latch strikes shall be installed on the doors and door frames at the same height throughout the building.

### GYPHUM WALLBOARD AND THERMAL INSULATION

1. **SCOPE OF WORK:** The work required under this section consists of all gypsum wallboard, thermal insulation and related items necessary to complete the Work  
2. **GYPHUM WALLBOARD:** Wallboard shall comply with requirements of ASTM C36 and C442 with amendments.

- A. Materials: Reinforcing tape shall be Perf A Tape by USG. Beading and topping compound shall be USG or approved equal. Provide corner beads, casing beads and other metal trim as reqd. to properly conceal the metal flanges of all trim.  
B. Installation: Minimum temperature in areas to receive drywall shall be 50 deg. F. All wallboard joints shall be butted loosely together. Maximum allowance shall be 1/4 inch. End joints shall be supported on framing members. Apply end joint compound to back of wallboard along end joints. After trim is installed, correct all surface damage and defects as required. Fasten gypsum panels to wood framing with type W bugle head course thread drywall screws.

3. **THERMAL INSULATION:** Provide nominal foil faced insulation with R factor as specified for area of use: wall, floor or roof. Insulation shall be either blanket or batt type to suit conditions encountered and shall be of proper widths to insure 100 percent coverage in all specified areas as follows:

- A. At 4 inch nominal walls use 3 3/8 inch thick R-13 Foil Faced  
B. At 6 inch nominal walls use 6 inch R-19 Foil Faced  
C. At roofs & Crawl spaces use 9 inch nominal R-30 insulation  
D. Insulation shall be installed in strict accordance with manufacturer's recommendations and latest publ. specifications.

### CERAMIC TILE AND MARBLE THRESHOLDS

1. **SCOPE OF WORK:** The work required consists of all ceramic tile and marble thresholds, and related items to complete the Work.

2. **SAMPLES AND ALLOWANCE:** Contractor shall provide allowance as indicated on drawings and ultimately provide samples to owner for selection using these prices.

3. **LAYOUT OF WORK:** Align joints in floor at right angles to each other and straight with walls, to conform to patterns selected unless otherwise designated on plans for custom patterns.

4. **INSTALLATION OF TILE:** Compliance shall be with standard specs in the field as proposed American National Standards Institute specs A108.4 Standard Specifications for installation of ceramic tile with water resistant organic adhesives.

### RESILIENT FLOOR COVERINGS

1. **SCOPE OF WORK:** Consists of all resilient floor coverings and related items for installation of such products.

2. **ALLOWANCE:** Contractor shall provide a reasonable allowance for the product and installation. Use a typical no-wax finish product.

3. **PREPARATION OF SURFACES RECEIVING RESILIENT FLOORING AND BASE:** Surfaces shall be turned over to contractor broom clean and free of paint, grease, wax, oil, dirt, and any material which will inhibit adhesive bond.

4. **INSTALLATION:** In space where flooring is to be installed, maintain temperature at not less than 70 degrees F. for 24 hours prior to installing and at least 48 hours after installing, and thereafter at least 55 degrees F. or above, to prevent damage.

### CAULKING, WEATHERSTRIPPING AND THRESHOLDS

1. **SCOPE OF WORK:** Consists of caulking as required for project, weatherstripping exterior doors and thresholds as specified.

2. **APPLICATION OF CAULKING:** Caulk all exterior and interior perimeter of all sash and masonry, between door frames at exterior masonry walls, at joint between masonry and steel shelf angles and lintels, at exterior moldings and masonry products or wood if adjacent, etc.

For interior conditions between door frames, exposed masonry walls, joints at trim, door frames, etc. or as required for project.

3. **WORKMANSHIP:** All work to be done in strict accordance with the directions furnished by the manufacture. Compound to be of proper consistency and readily workable. Caulking to be finished smooth with joints and as inconspicuous as possible, free from tool marks.  
4. **WEATHERSTRIPPING:** Install as per manufacturer's instructions.

### PAINTING FINISHES

1. **SCOPE OF WORK:** The Work required under this section consists of all painting and finishing work and related items necessary to complete the work indicated on drawings and described herewith.

2. **ACCEPTABLE MANUFACTURERS:** The following manufacturers are considered acceptable for use by the subcontractor: Benjamin Moore and Sherwin Williams.

3. **GENERAL REQUIREMENTS:** Before starting any work, the painting contractor shall inspect all surfaces to be painted or finished. No work shall be done under conditions which are unsuitable for the production of good results.

4. **SCHEDULE OF PAINTING:** Interior Drywall, use 1 coat primer and 2 coats flat finish; Interior Trim, use 1 coat primer and 2 coats semi gloss interior.; Exterior Wood Trim, use 1 coat primer, sealer and 2 coats semi gloss exterior .

5. **CLEANING UP:** The painting contractor shall, upon completion, remove all paint where it has been spilled, splashed or spattered on surfaces; it shall be removed without marring the surface finish.

### HEATING, VENTILATING AND AIR CONDITIONING

1. **SCOPE OF WORK:** The work required under this section consists of all labor, materials, appliances and related items necessary to complete the Work required for proper conditioning of the air within the project. Without restriction to, the work shall consist of, but is not limited to the following:

- A. Furnish and install complete heating, cooling and ventilating system  
B. Furnish and install all controls required for the system  
C. Furnish and install all exhaust fans as indicated on plans  
D. Furnish and install all ductwork, grilles, registers and ceiling diffusers as required for the project  
E. Furnish and install all insulation as described  
F. Balance cooling, heating and ventilating system so as to give uniform cooling and heating throughout  
G. Furnish and install air cooled condenser and air handling units  
\*NOTE: The word "system" means pipe and fittings, valves, ductwork accessories, equipment required for complete, operating system.

2. **CODES AND STANDARDS:** Latest effective standards, codes, regulations, etc. The contractor shall also submit to the ARCHITECT a shop drawing or layout drawing indicating the proposed layout of the system, and then proceed only after receiving approval.

3. **CONDITIONS:** The contractor shall carefully study all architectural plans and be responsible for work pertaining to his trade and the coordination of his work in relation to the other trades.

4. **GUARANTEE:** On completion of entire work, complete systems and equipment shall be carefully tested by actual operation, and the various pieces of equipment made to function as intended. All workmanship, material and equipment shall be guaranteed and serviced for a minimum period of one year. The guarantee shall be all inclusive and shall include any adjustments required due to malfunctioning of any of the systems. Service contract and equipment warranties shall be turned over to the owner. All charges incurred within this period shall be borne by the contractor.

### PLUMBING

1. **SCOPE OF WORK:** The work required under this section consists of all labor, materials, accessories and related items necessary to complete the Work indicated and inferred on the drawings to complete the project.

2. **RULES AND REGULATIONS:** All work shall be in strict accordance with rules and regulations of any authorities having jurisdiction within the project locality. The contractor shall also secure all permits and any necessary inspections at the proper time during the progress of the work and also upon completion of the work.

3. **CONDITIONS:** The contractor shall carefully study all architectural plans and be responsible for work pertaining to his trade as indicated or specified within the project specs or drawings. If for any reason changes in locations have to differ, the matter shall be discussed with the architect immediately for his decision and further instructions.

4. **GUARANTEE:** Same guarantee as outlined in "Heating, Ventilating and Air Conditioning" section, #4 GUARANTEE. All hot and cold water piping installed by this contractor and including fixture and equipment after erection and prior to concealment shall be tested under pressure of not less than 100 p.s.i. for at least 60 minutes without leaks, and drop of pressure of not more than 1 lb. per sq. inch. All gas piping, if applicable, shall be tested in accordance with the rules and regulations of the gas utility company.

### ELECTRICAL

1. **SCOPE OF WORK:** The work required under this section consists of all electrical work including labor, materials (unless otherwise noted on drawings), equipment, apparatus and related items necessary to complete the Work. The following items shall be included in the contract, but is not limited to:

- A. Permits and Certificates  
B. Electrical Service and metering equipment (as applicable)  
C. Panelboards, lighting fixtures, devices, appliances, and all other electrical materials, equipment and apparatus.  
D. Outlets, raceways, wires, cables and electrical connections  
E. Service equipment as required

2. **REGULATIONS:** The work shall be done in accordance with all electrical codes and ordinances as they apply within the locality.

3. **MATERIALS AND WORKMANSHIP:** The contractor shall coordinate the electrical installation with the installation of the work of other trades in the project. Electrical materials and apparatus furnished shall be new and shall be approved by the Underwriters Laboratories. The contractor shall study all plans and provide service and equipment as required to satisfy the electrical requirements of the project. The contractor shall notify the required Power Company and satisfy their requirements. All electricians with the contractor shall be licensed as required within the state laws and codes. The architectural drawings indicate the general extent and arrangement of the installation requirements only. The architectural drawings shall be referred to for construction and finish details as they affect the work of the electrical section.

4. **GUARANTEE:** Same guarantee as outlined in "Heating, Ventilating and Air Conditioning" Section #4. All final inspections and equipment shall be tested and delivered to the owner without flaws and in proper working order.

**REVIEWED**  
By Dan.Bruechert at 2:41 pm, Mar 26, 2020

APPROVED  
Montgomery County  
Historic Preservation Commission

Sandra L. Heiler

**KRAMER ARCHITECTS INC.**  
7966-D Old Georgetown Road, Bethesda, Md. 08814  
Phone: (301) 652-9700 Fax: (301) 913-9234

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**PROFESSIONAL CERTIFICATION:**  
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the STATE OF MARYLAND License #4640-A Expiration Date 11.07.2020

**ARCHITECTURAL REGISTRATION BOARD**  
3040 K  
STATE OF MARYLAND

**PROJECT:**  
HAMPDEN LANE  
8017 HAMPDEN LANE  
BETHESDA, MD. 20811  
MONTGOMERY COUNTY

**SHEET TITLE:**  
SPECIFICATIONS

**REVISIONS**  
3-10-2020

Date: 2-10-2020  
Permit: 2-10-2020  
Blde: AS NOTED  
Scale: AS NOTED  
Project Number 1913

**A-4**  
4 OF 17

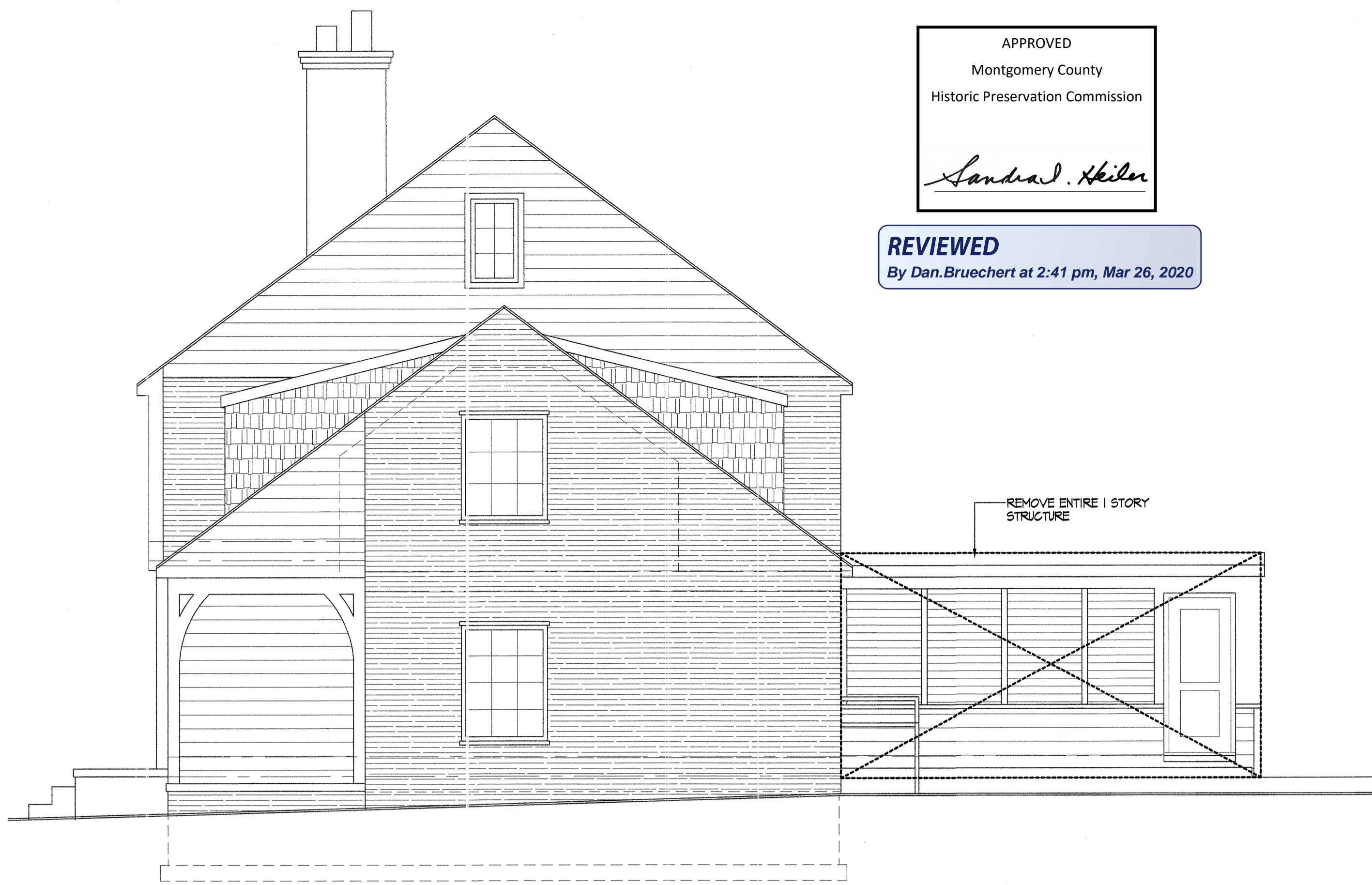




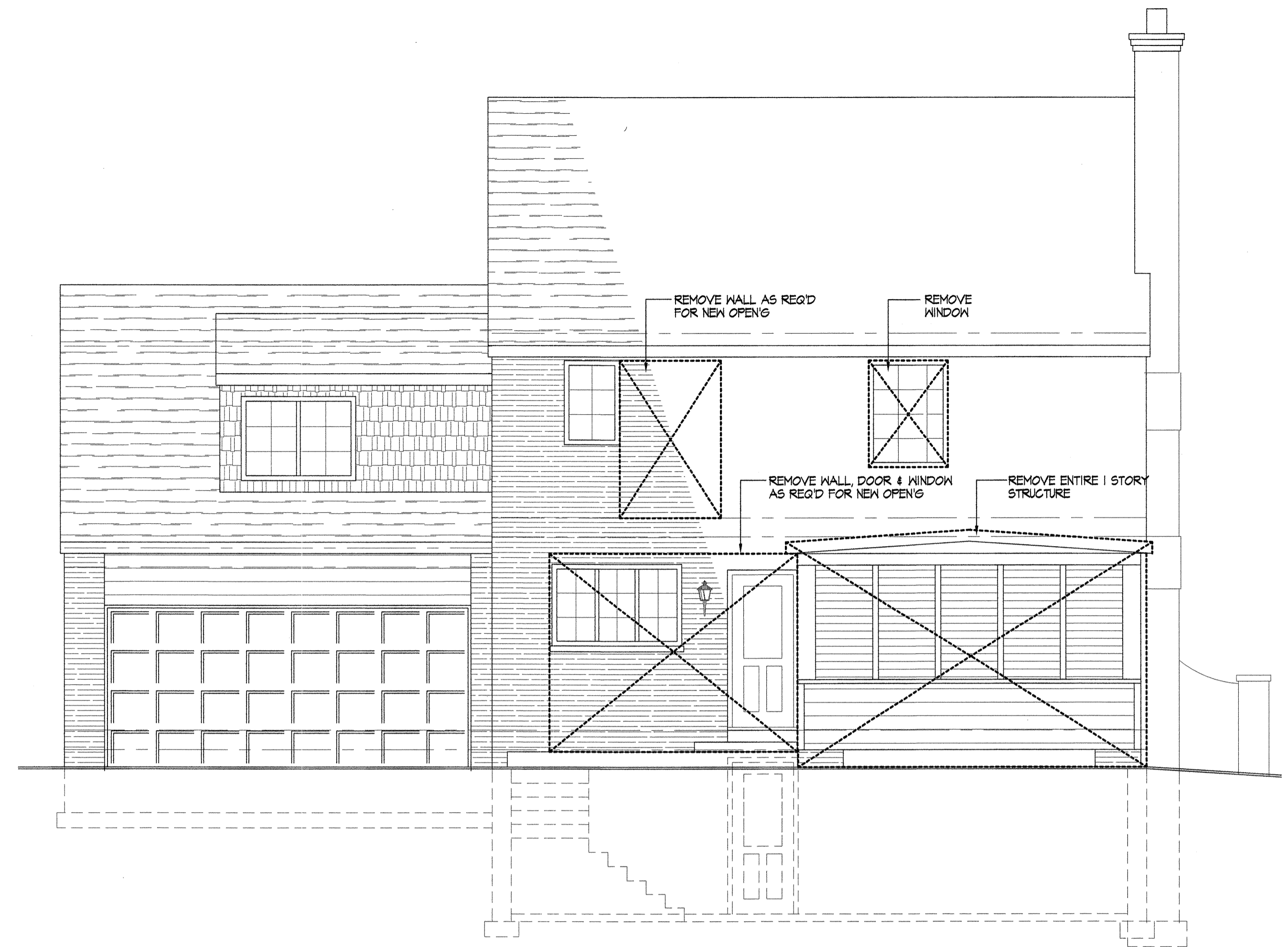


APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*Sandra J. Skiles*

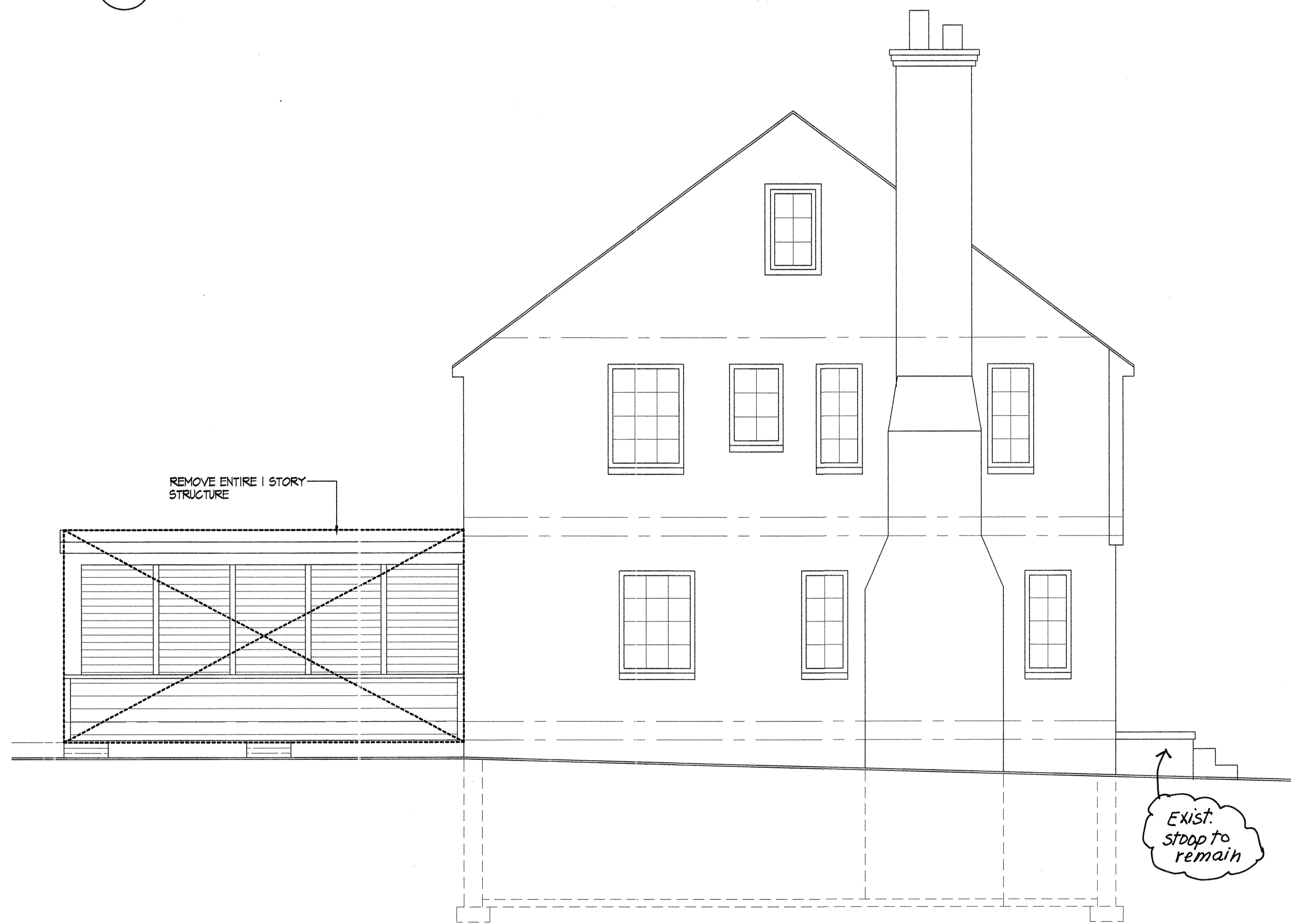
**REVIEWED**  
 By Dan.Bruechert at 2:41 pm, Mar 26, 2020



EXISTING - DEMO RIGHT SIDE ELEVATION  
 SCALE: 1/4"=1'-0"



EXISTING - DEMO REAR ELEVATION  
 SCALE: 1/4"=1'-0"



EXISTING - DEMO LEFT SIDE ELEVATION  
 SCALE: 1/4"=1'-0"



EXISTING - DEMO FRONT ELEVATION  
 SCALE: 1/4"=1'-0"

**KRAMER ARCHITECTS INC.**  
 7960-D Ed Georgetown Road, Bethesda, Md. 20814  
 Phone: (301) 652-9700 Fax: (301) 913-9254

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PROFESSIONAL CERTIFICATION: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the STATE OF MARYLAND. License #4040-A Expiration Date 11.07.2020



PROJECT:  
 HAMPDEN LANE  
 8011 HAMPDEN LANE  
 BETHESDA, MD. 20817  
 MONTGOMERY COUNTY

SHEET TITLE:  
 EXISTING - DEMO ELEVATIONS

REVISIONS  
 3-10-2020

Date: Permit: 2-10-2020  
 Bls: AS NOTED  
 Project Number 1913

**A-6**  
 6 OF 17

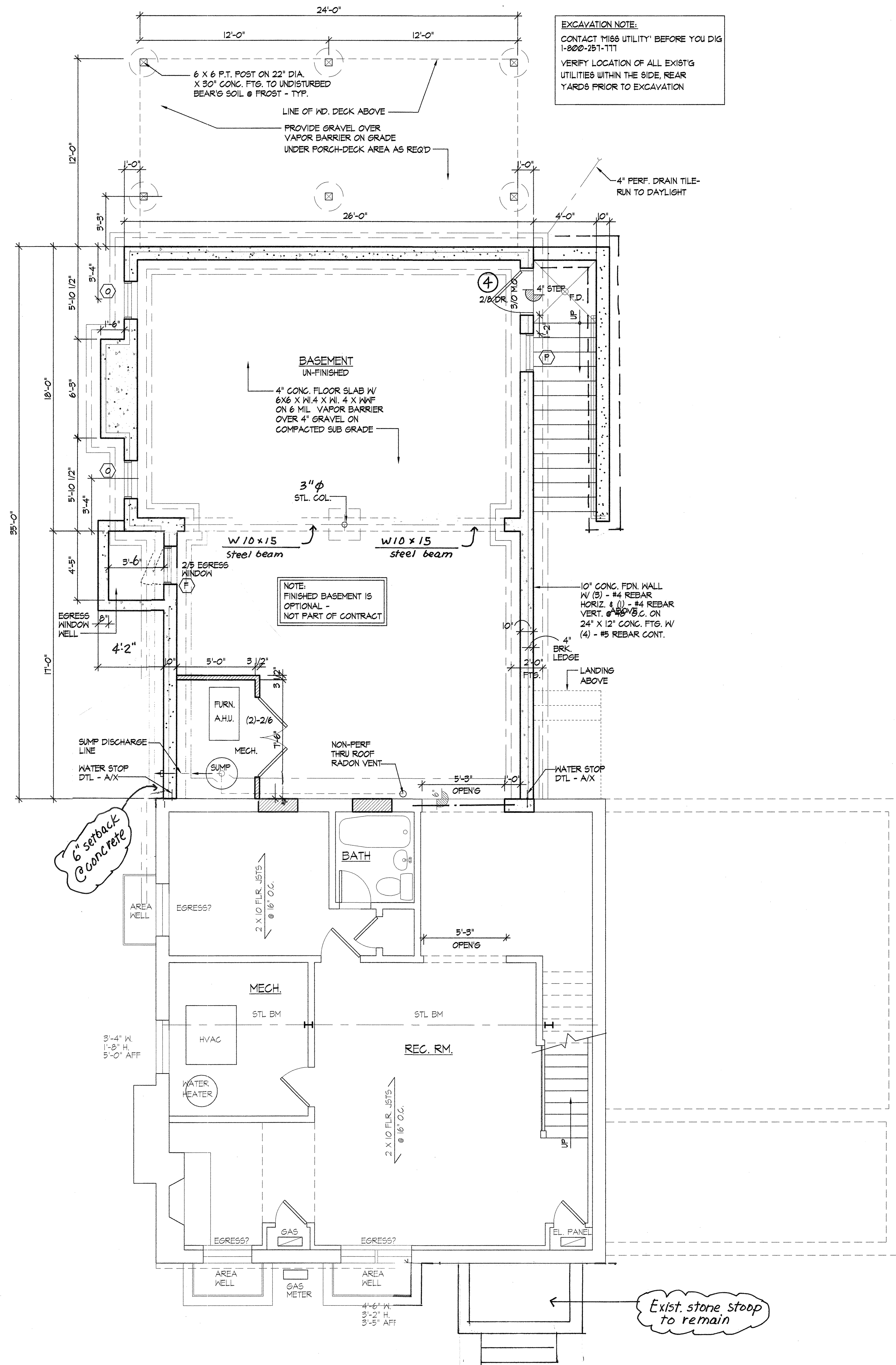


APPROVED  
 Montgomery County  
 Historic Preservation Commission

*Sandra L. Heiler*

REVIEWED  
 By Dan.Bruechert at 2:41 pm, Mar 26, 2020

# of units	unit mark	Panel spec.	size / notes
2	(A)	(2) # 3571 (Left-right)	2'11" w x 5'11" h
1	(B)	(2) 3559 (Left-right)	2'11" w x 4'11" h
1	(C)	(2) 3553 (Left-right)	2'11" w x 4'5" h
2	(D)	# 2959 (Left)	2'5" w x 4'11" h
1	(E)	# 2959 (Right)	2'5" w x 4'11" h
1	(F)	# 2953 (Left)	2'5" w x 4'5" h
1	(G)	# 2571 (Left)	2'1" w x 5'11" h
1	(H)	# 2571 (Right)	2'1" w x 5'11" h
1	(I)	# 2547 (Left)	2'1" w x 3'11" h
1	(J)	2547 (Right)	2'1" w x 3'11" h
1	(K)	2547 (Left)	2'1" w x 3'5" h
1	(L)	2547 (Right)	2'1" w x 3'5" h
1	(M)	2541 (Left)	2'1" w x 3'5" h
1	(N)	2541 (Right)	2'1" w x 3'5" h
1	(O)	2535 (Left)	2'1" w x 2'11" h
1	(P)	2535 (Right)	2'1" w x 2'11" h



PROPOSED BASEMENT PLAN  
 SCALE: 1/4"=1'-0"

**KRAMER ARCHITECTS INC.**  
 7960-D Old Georgetown Road, Bethesda, Md. 20814  
 Phone: (301) 658-2700 Fax: (301) 913-9254

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**PROFESSIONAL CERTIFICATION:**  
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the STATE OF MARYLAND. License #4040-A Expiration Date 11.07.2020

4040 A  
 ARCHITECTURAL REGISTRATION BOARD  
 STATE OF MARYLAND

PROJECT:  
 HAMPDEN LANE  
 8017 HAMPDEN LANE  
 BETHESDA, MD. 20817  
 MONTGOMERY COUNTY

SHEET TITLE:  
 PROPOSED BASEMENT  
 PLAN

REVISIONS  
 3-10-2020

Date:  
 Permit: 2-10-2020  
 Bldg:  
 Scale:  
 AS NOTED  
 Project Number  
 1913

**A-7**  
 7 of 17







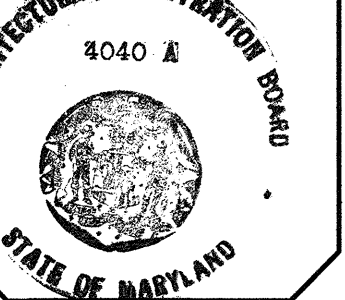
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 Historic Preservation Commission  
*Sandra Hilber*

REVIEWED  
 By Dan.Bruechert at 2:41 pm, Mar 26, 2020



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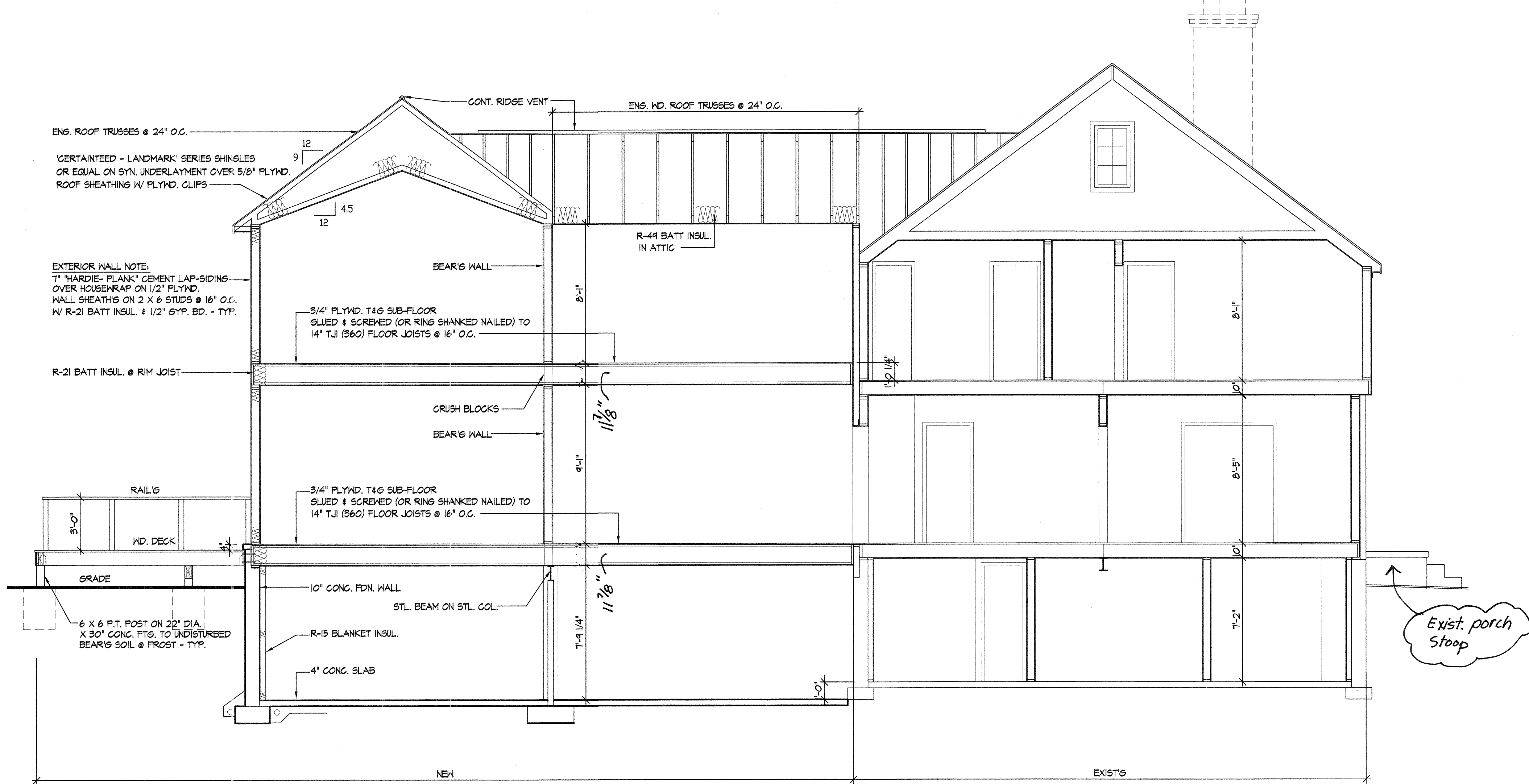
PROJECT:  
 HAMPDEN LANE  
 8011 HAMPDEN LANE  
 BETHESDA, MD. 20817  
 MONTGOMERY COUNTY

SHEET TITLE:  
 ROOF PLAN & BUILDING SECTION

REVISIONS  
 3-10-2020

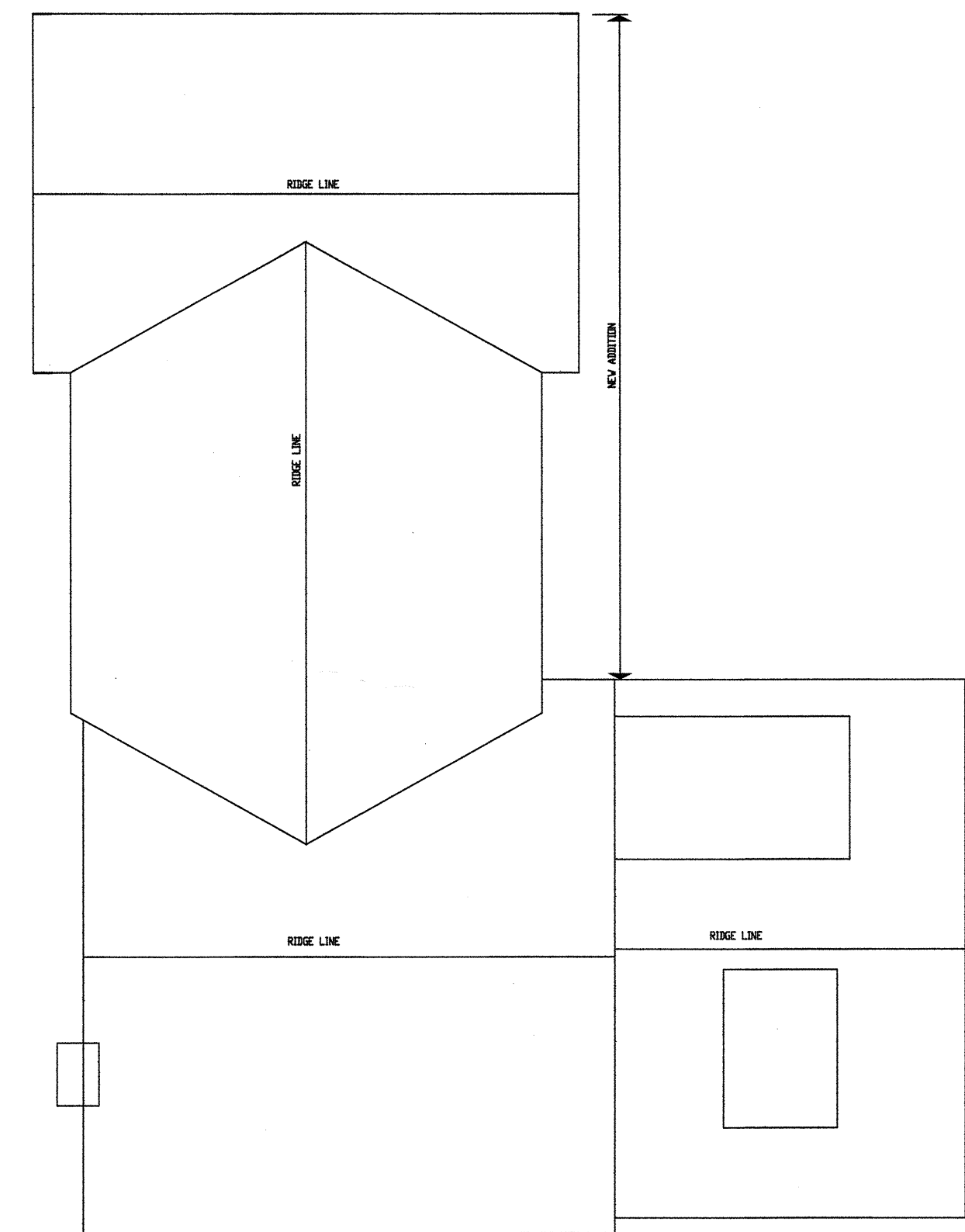
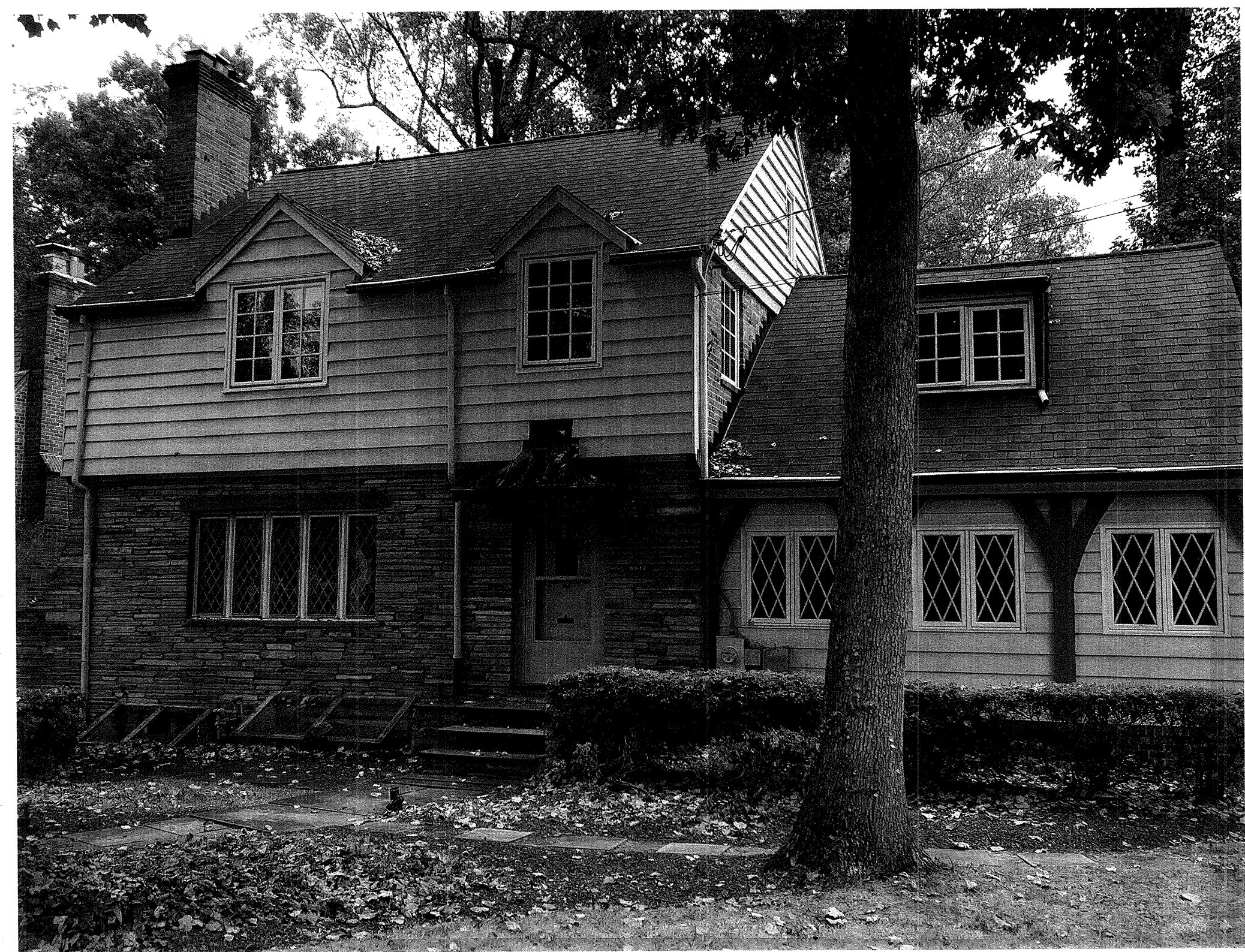
Date:  
 Permit: 2-10-2020  
 Bldg:  
 Scale:  
 AS NOTED  
 Project Number  
 1913

A-9  
 9 OF 17



Exist. porch Stoop

2 BUILDING SECTION  
 SCALE: 1/4"=1'-0"



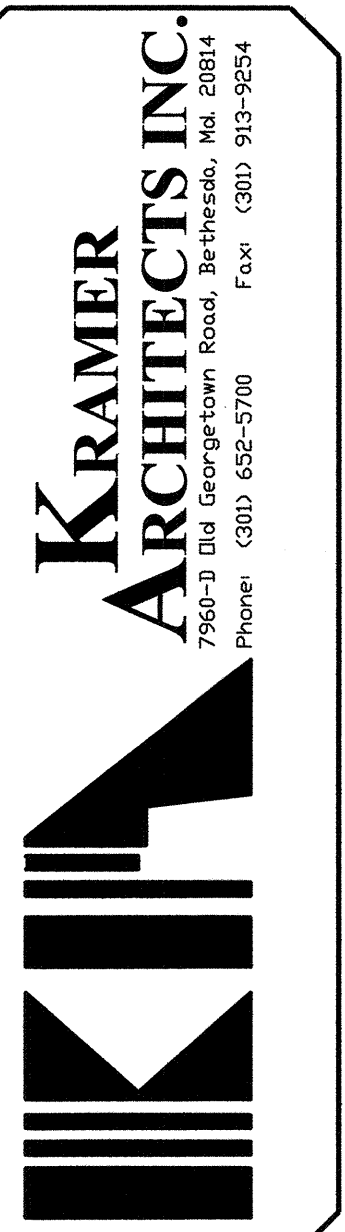
1 ROOF PLAN  
 SCALE: 1/8"=1'-0"



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Montgomery County  
Historic Preservation Commission

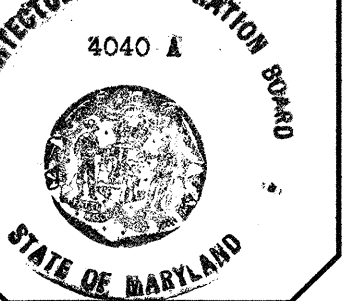
*Sandra L. Heiler*

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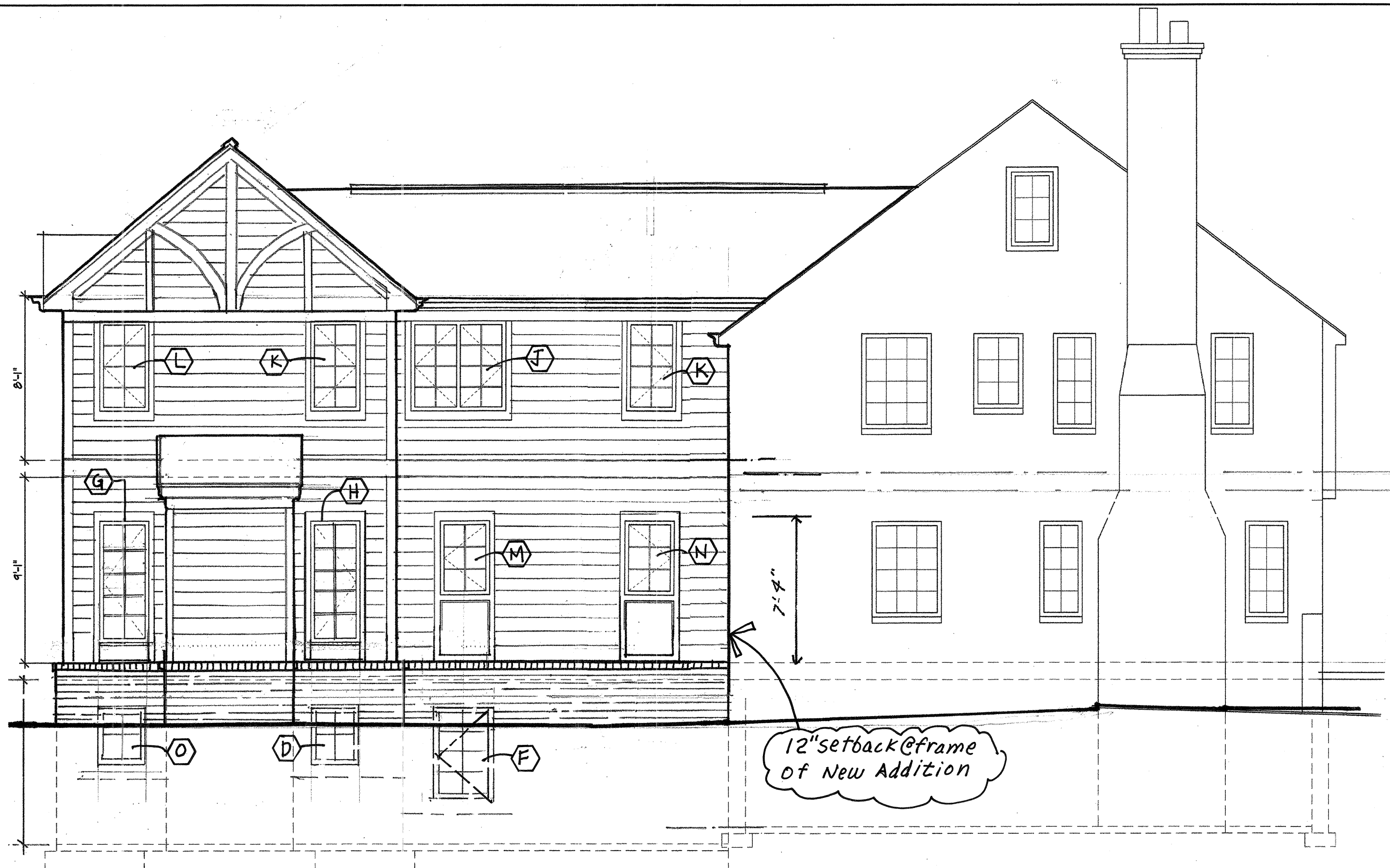
PROJECT:  
HAMPDEN LANE  
8017 HAMPDEN LANE  
BETHESDA, MD. 20817  
MONTGOMERY COUNTY

SHEET TITLE:  
PROPOSED ELEVATIONS

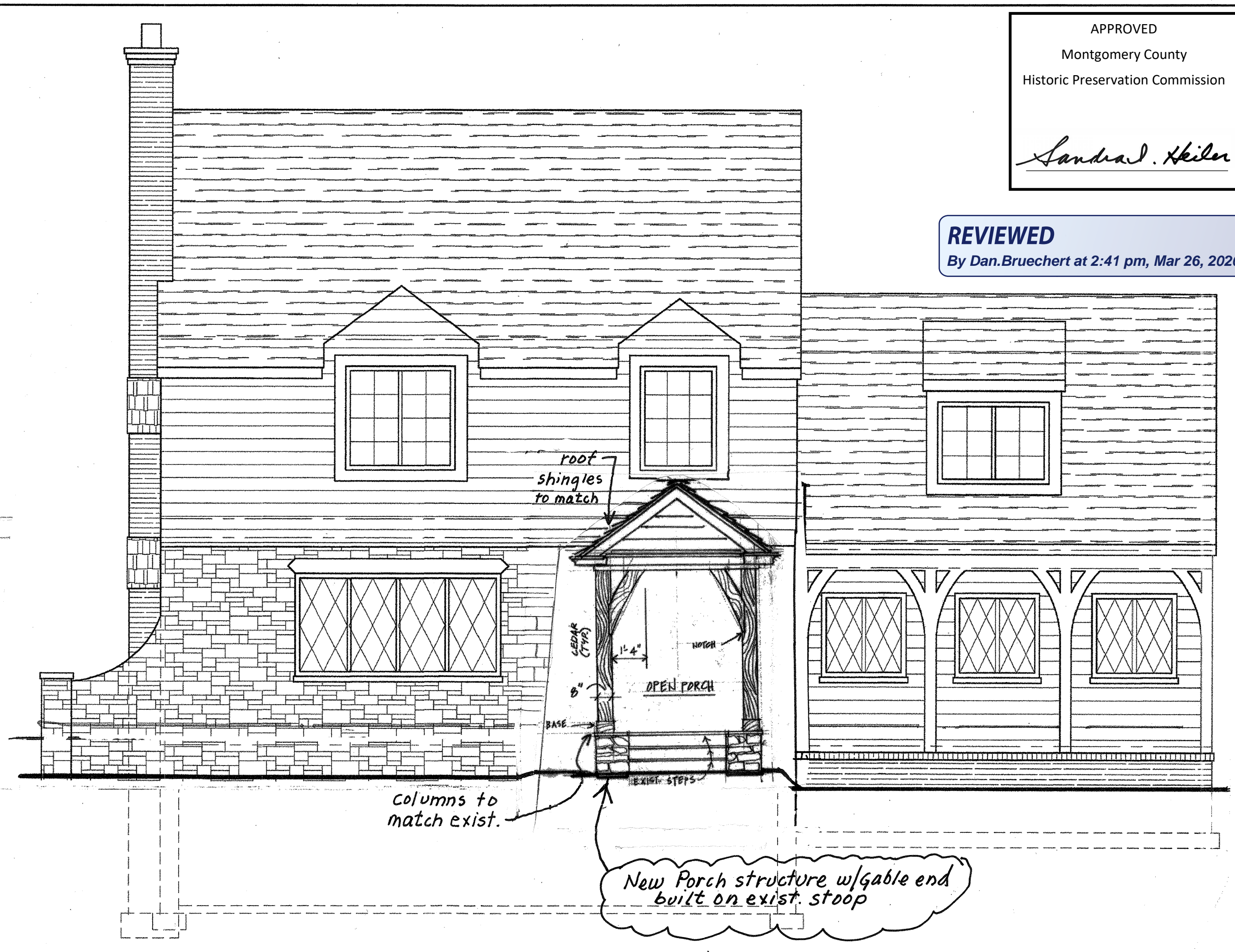
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3-10-2020

Date:  
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Bl'ds:  
Scale:  
AS NOTED  
Project Number  
1913

A-10  
10 OF 17



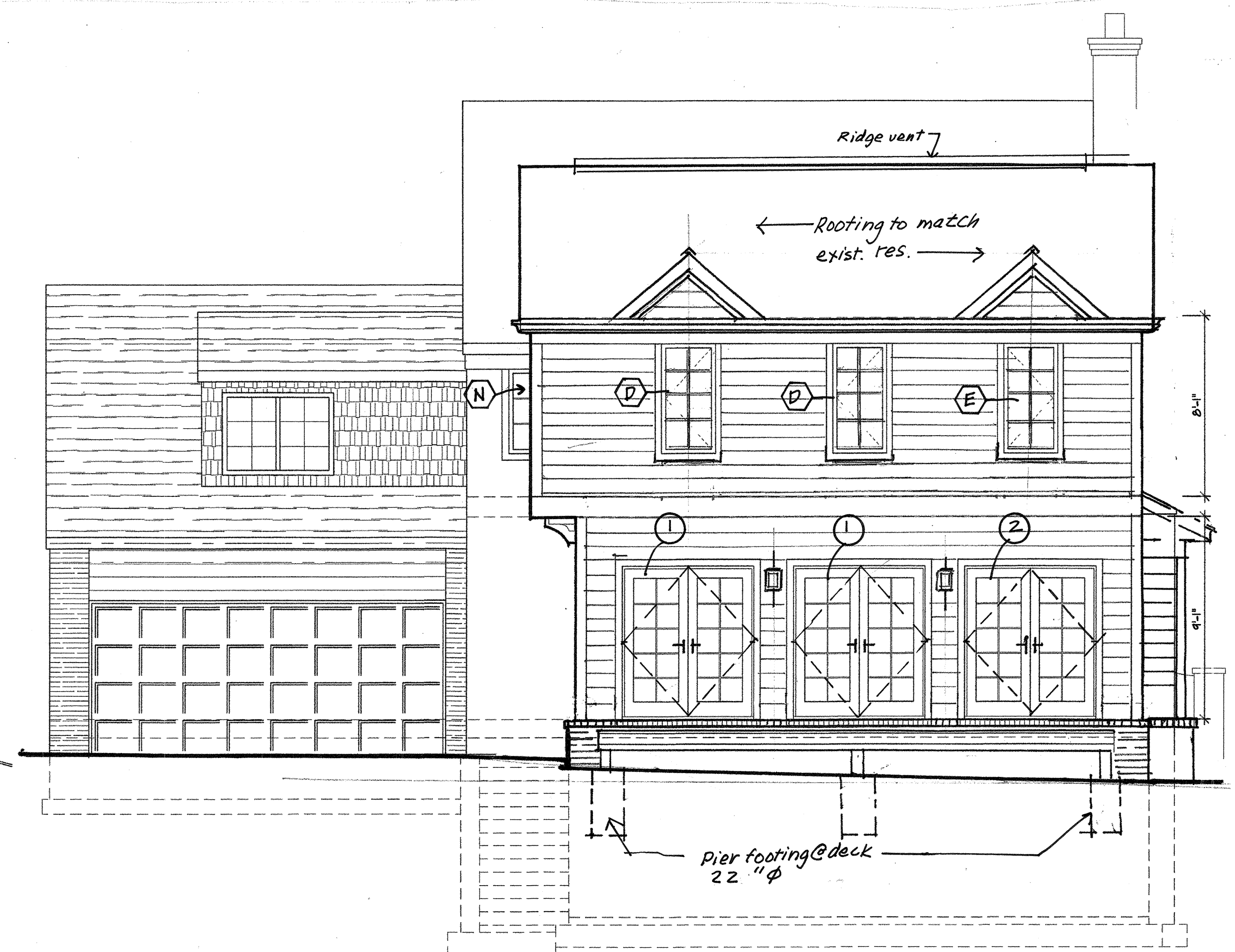
3 PROPOSED LEFT SIDE ELEVATION  
SCALE: 1/4"=1'-0"



PROPOSED FRONT ELEVATION  
SCALE: 1/4"=1'-0"



2 PROPOSED RIGHT SIDE ELEVATION  
SCALE: 1/4"=1'-0"

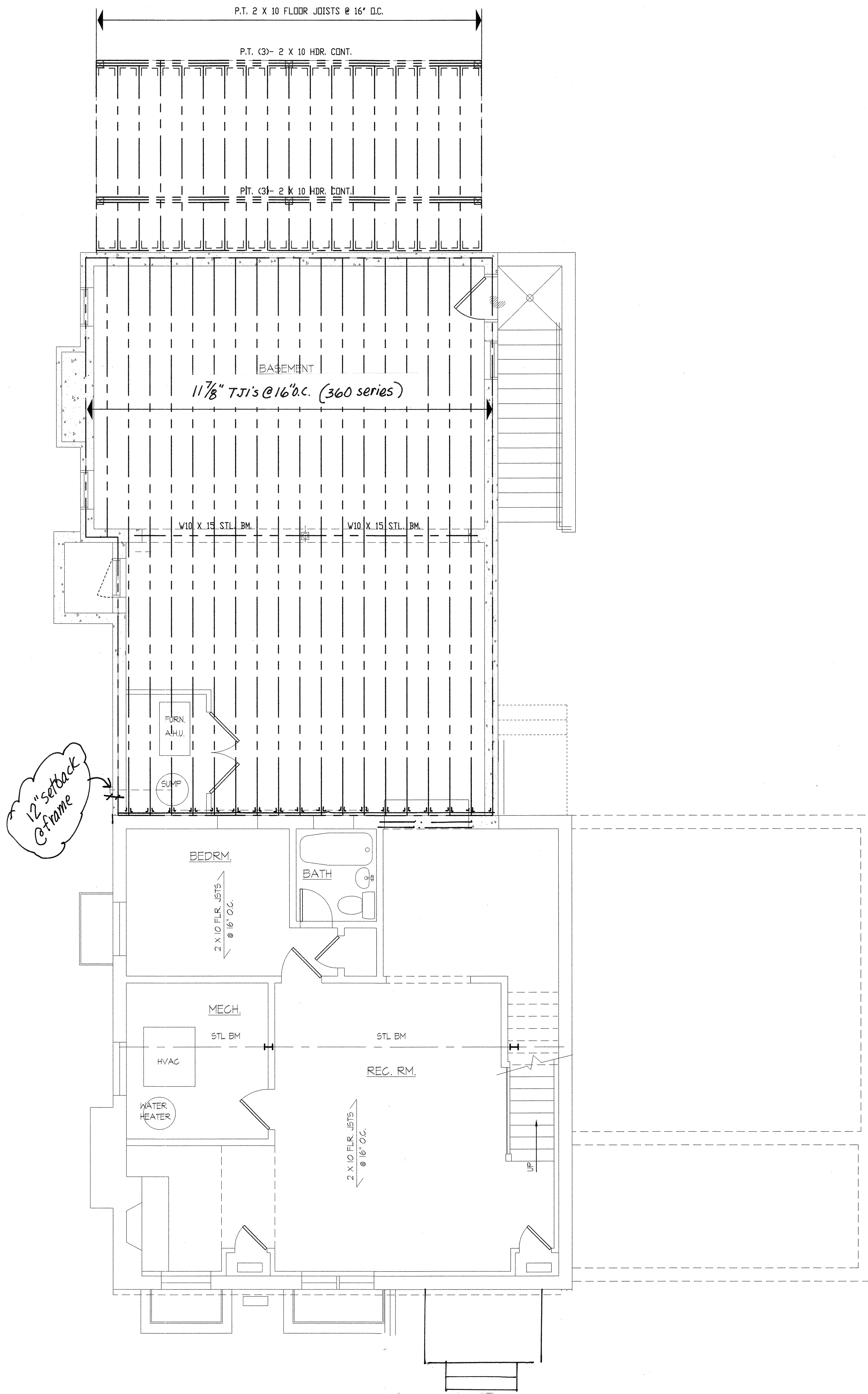


1 PROPOSED REAR ELEVATION  
SCALE: 1/4"=1'-0"



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 By Dan.Bruechert at 2:41 pm, Mar 26, 2020

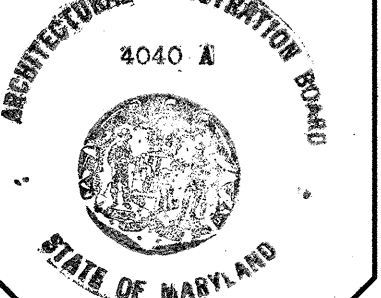


**1ST FLOOR FRAMING PLAN**  
 SCALE: 1/4"=1'-0" FOUNDATION PLAN SHOWN BELOW



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 Expiration Date: 11.07.2020



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 BETHESDA, MD. 20817  
 MONTGOMERY COUNTY

SHEET TITLE:  
 1ST FLOOR FRAMING PLAN

REVISIONS  
 3-10-2020

Date: 2-10-2020  
 Permit:  
 Bid:  
 Scale: AS NOTED  
 Project Number 1913

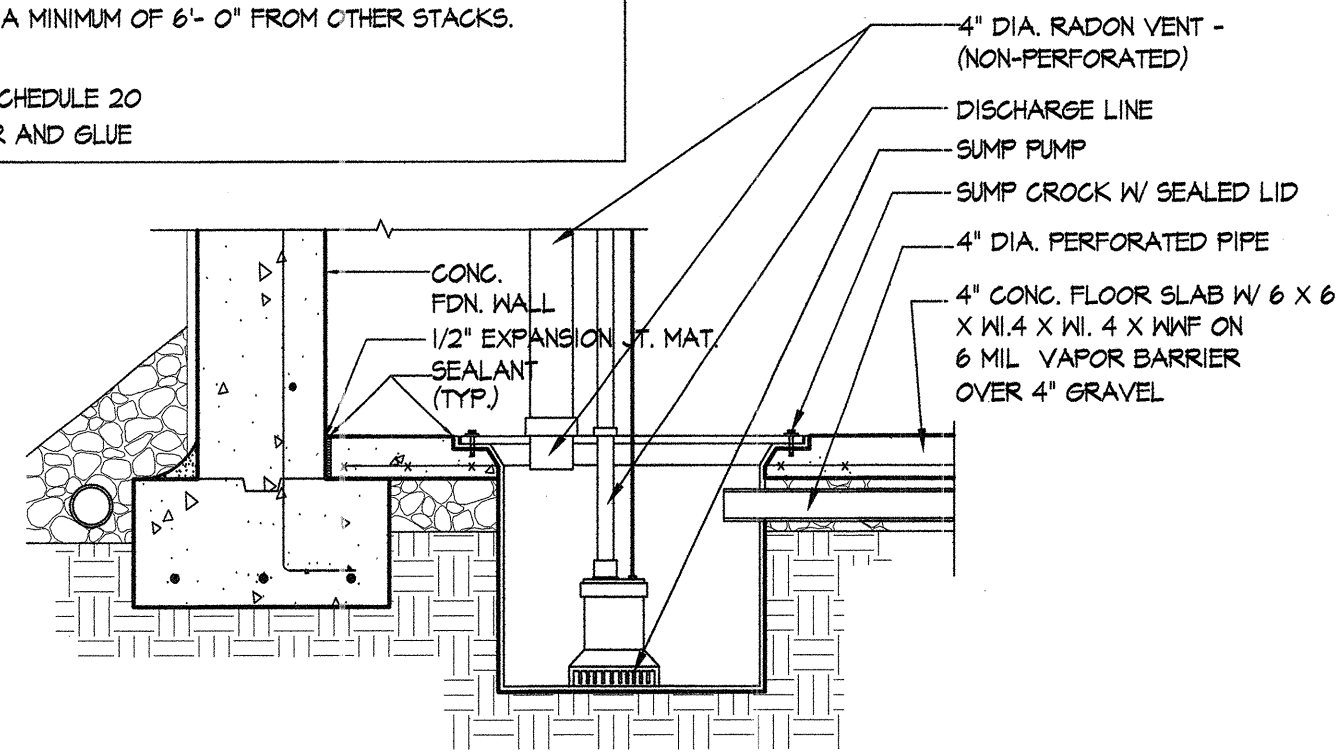
**S-1**  
 11 of 17



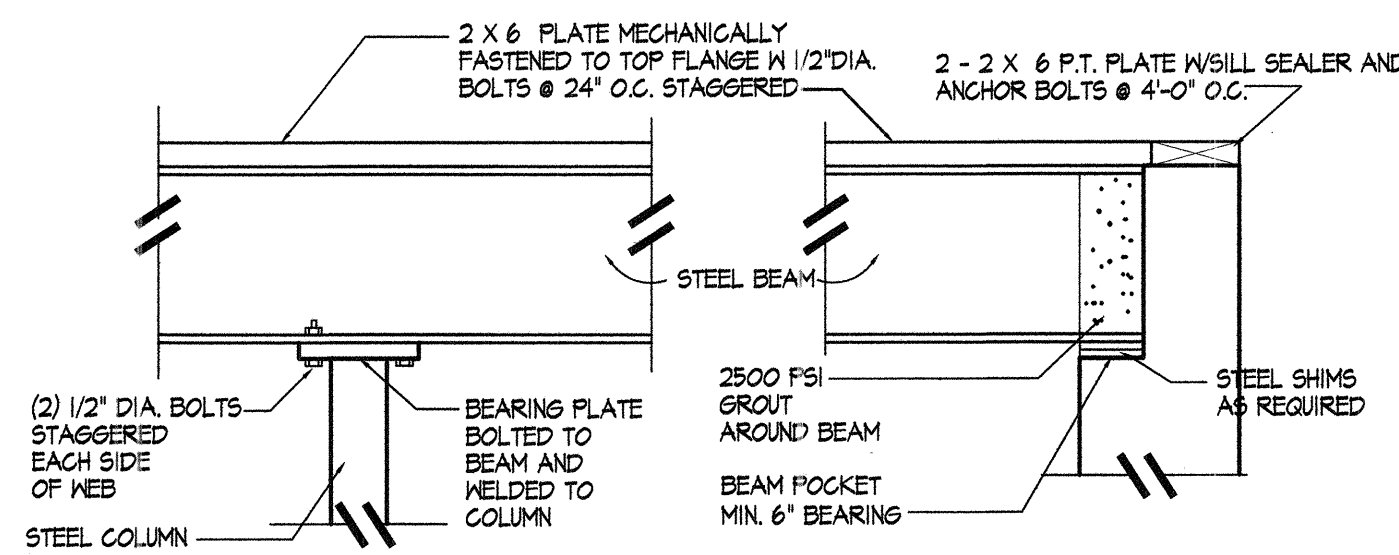




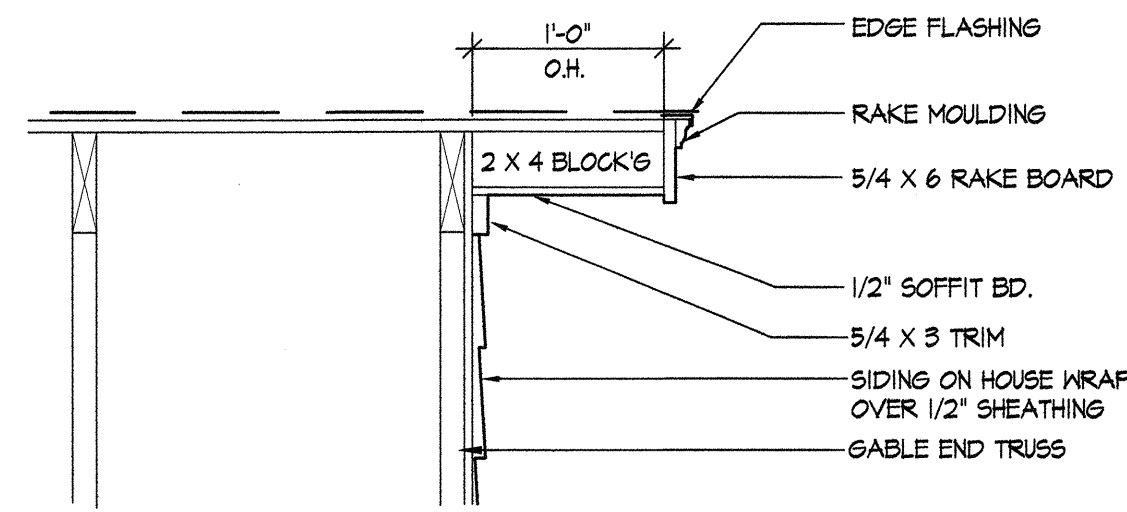
- REQUIRED CONSTRUCTION TECHNIQUES:**
1. INSTALL SUB-SLAB VENTILATION SYSTEM (REF. DTL)
  2. INSTALL URETHANE CAULKING @ ALL CONTROL JOINTS AND SLAB/WALL JOINTS
  3. INSTALL URETHANE CAULKING AROUND ALL BASEMENT PIPES TO INSURE OVERALL SEALING IN BASEMENT.
  4. INSTALL SUBMERSIBLE SUMP PUMP WITH SEALED COVER ON SUMP WELL.
  5. INSTALL 4" DIA. RADON VENT STACK FROM BASEMENT TO ATTIC.
  6. OPTIONAL - INSTALL IN-LINE EXHAUST FAN IN ATTIC AND EXTEND THRU ROOF.
  7. LOCATE STACK THRU ROOF A MINIMUM OF 6'-0" FROM OTHER STACKS.
- PIPES AND PIPE FITTINGS:**
- A. STANDARD QUALITY PVC, SCHEDULE 20
  - B. STANDARD QUALITY PRIMER AND GLUE



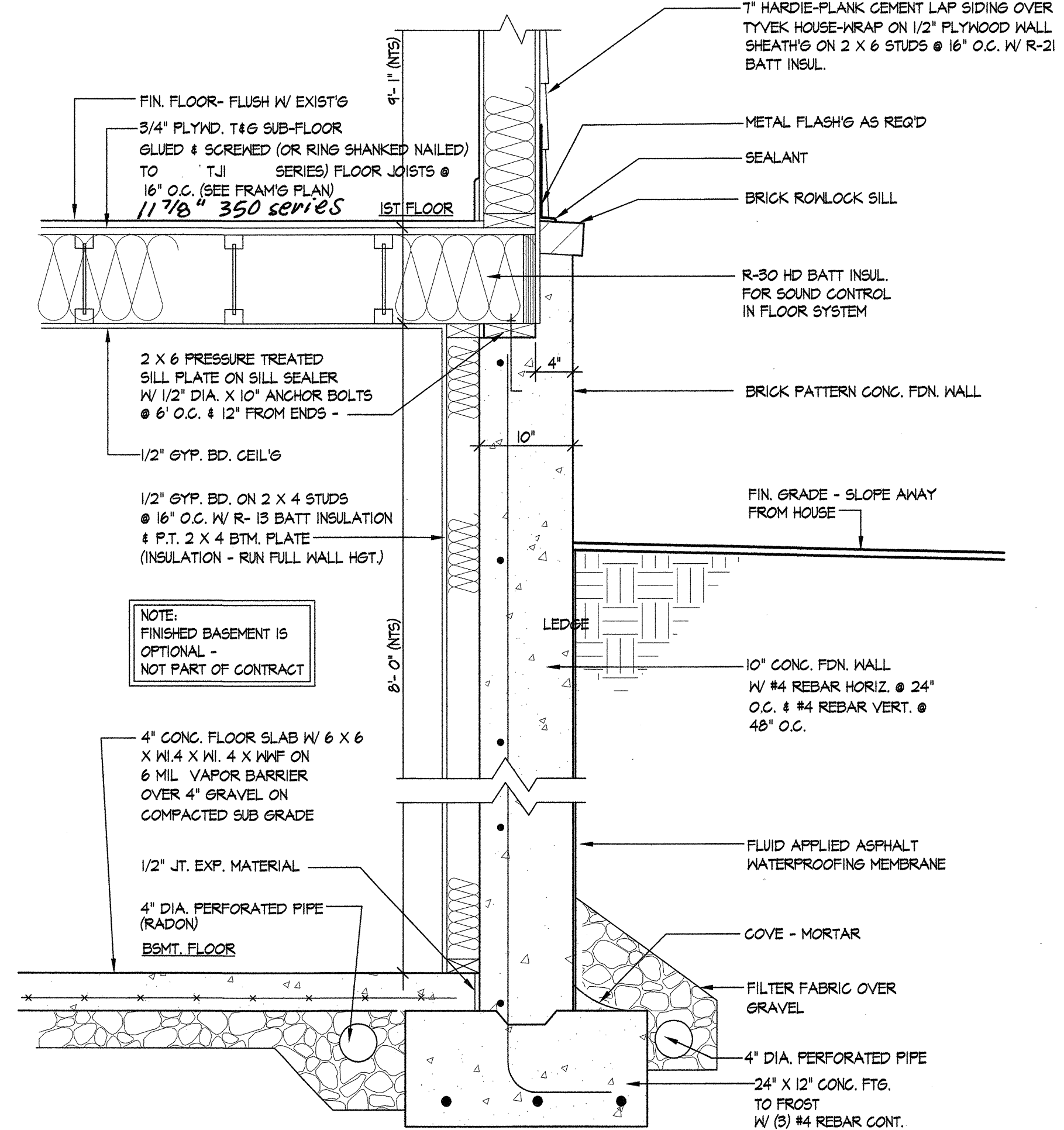
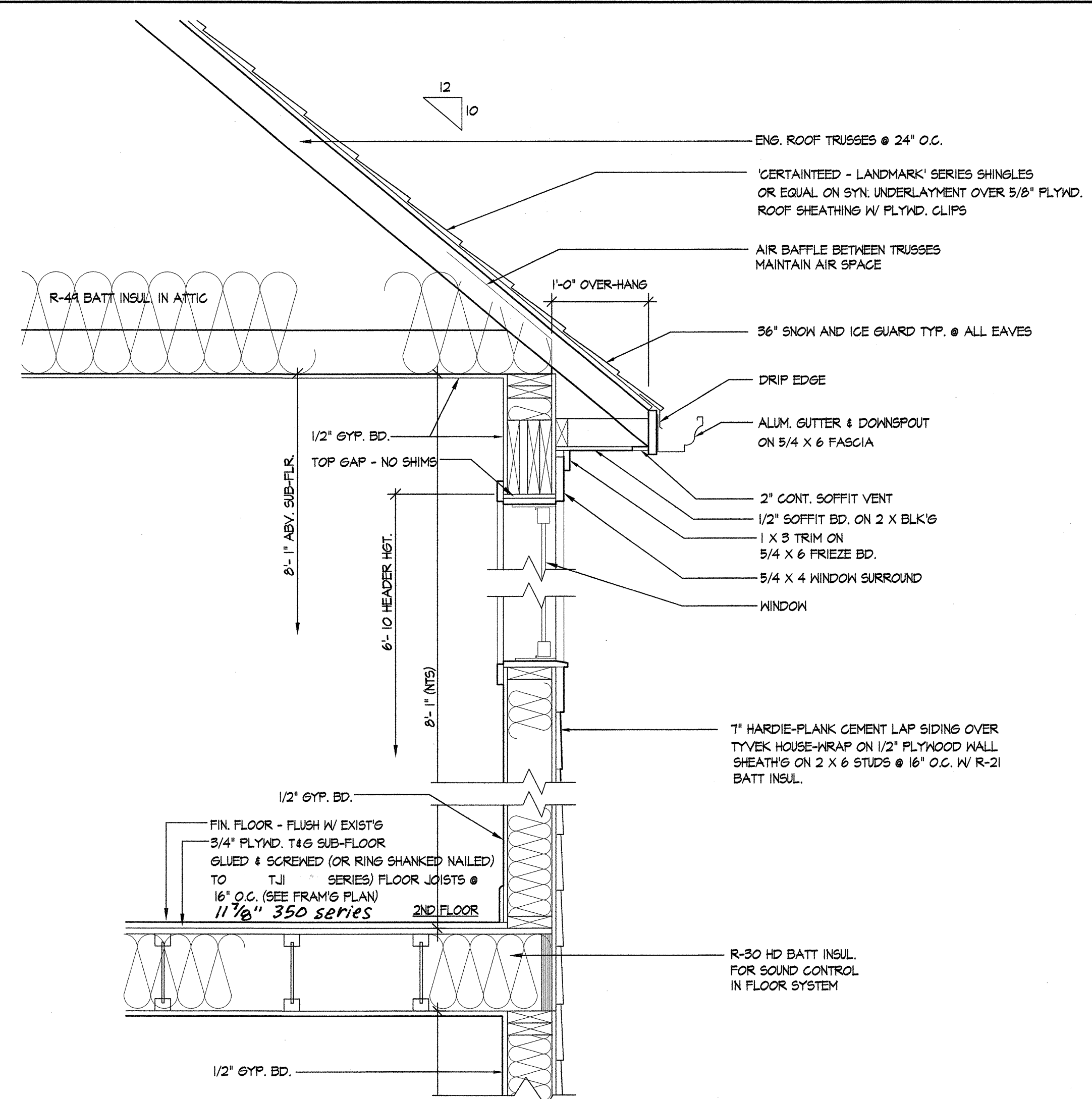
**4 SUMP PUMP & PIT DETAIL**  
SCALE: 1"=1'-0"



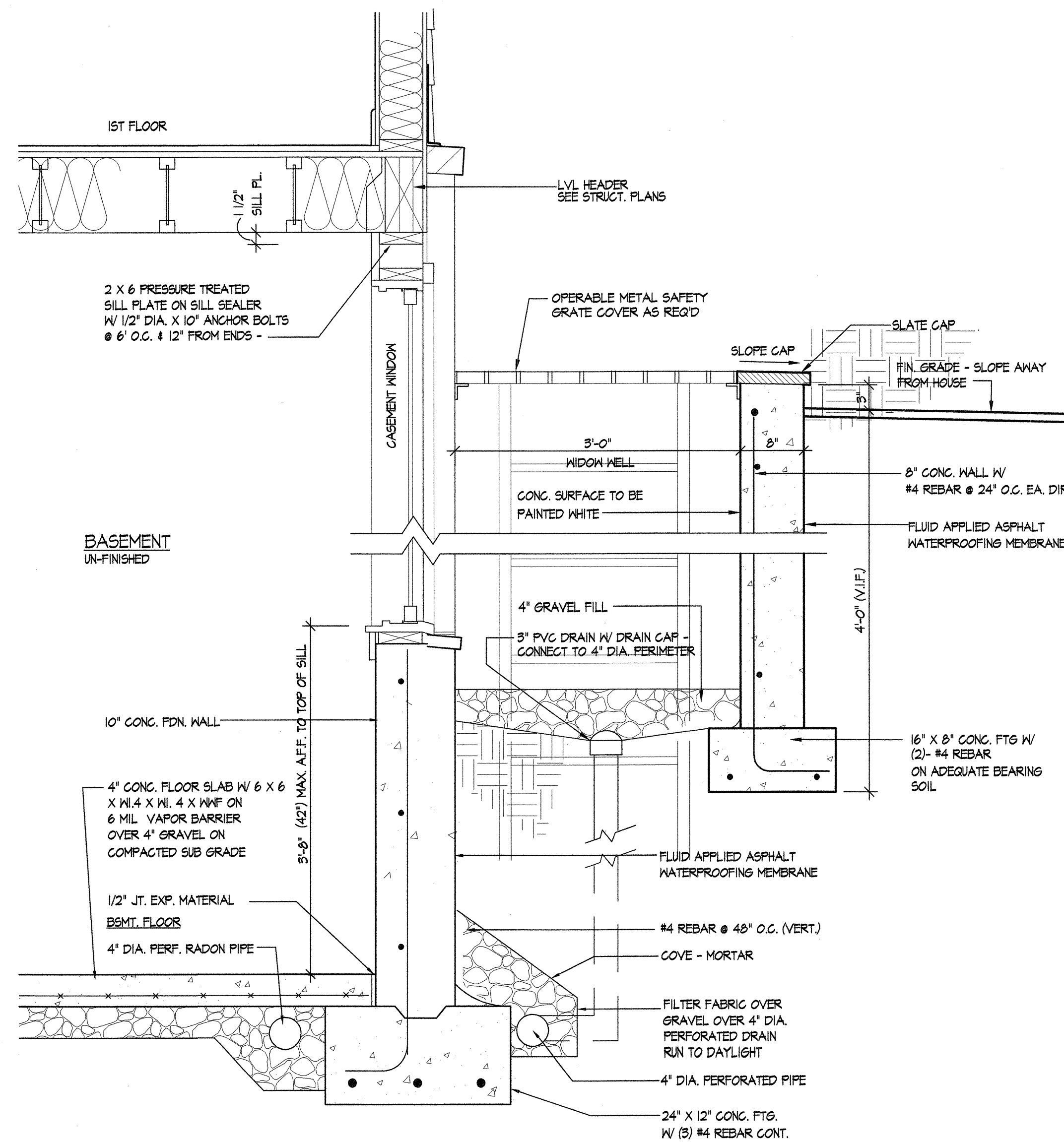
**5 STEEL BEAM DETAIL**  
SCALE: 1"=1'-0"



**3 GABLE RAKE DETAIL**  
SCALE: 1"=1'-0"



**1 WALL SECTION DETAIL - TYP.**  
SCALE: 1"=1'-0"

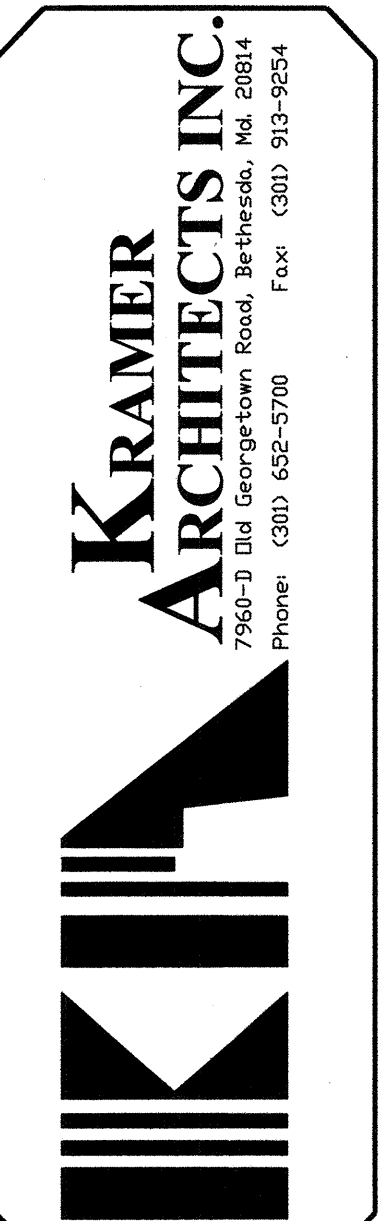


**2 BASEMENT WINDOW EGRESS WELL SECTION**  
SCALE: 1"=1'-0"

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Montgomery County  
Historic Preservation Commission

*Sandra Hilber*

**REVIEWED**  
By Dan.Bruechert at 2:42 pm, Mar 26, 2020



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PROJECT:  
HAMPDEN LANE  
8011 HAMPDEN LANE  
BETHESDA, MD. 20817  
MONTGOMERY COUNTY

SHEET TITLE:  
EXTERIOR DETAILS

REVISIONS  
3-10-2020

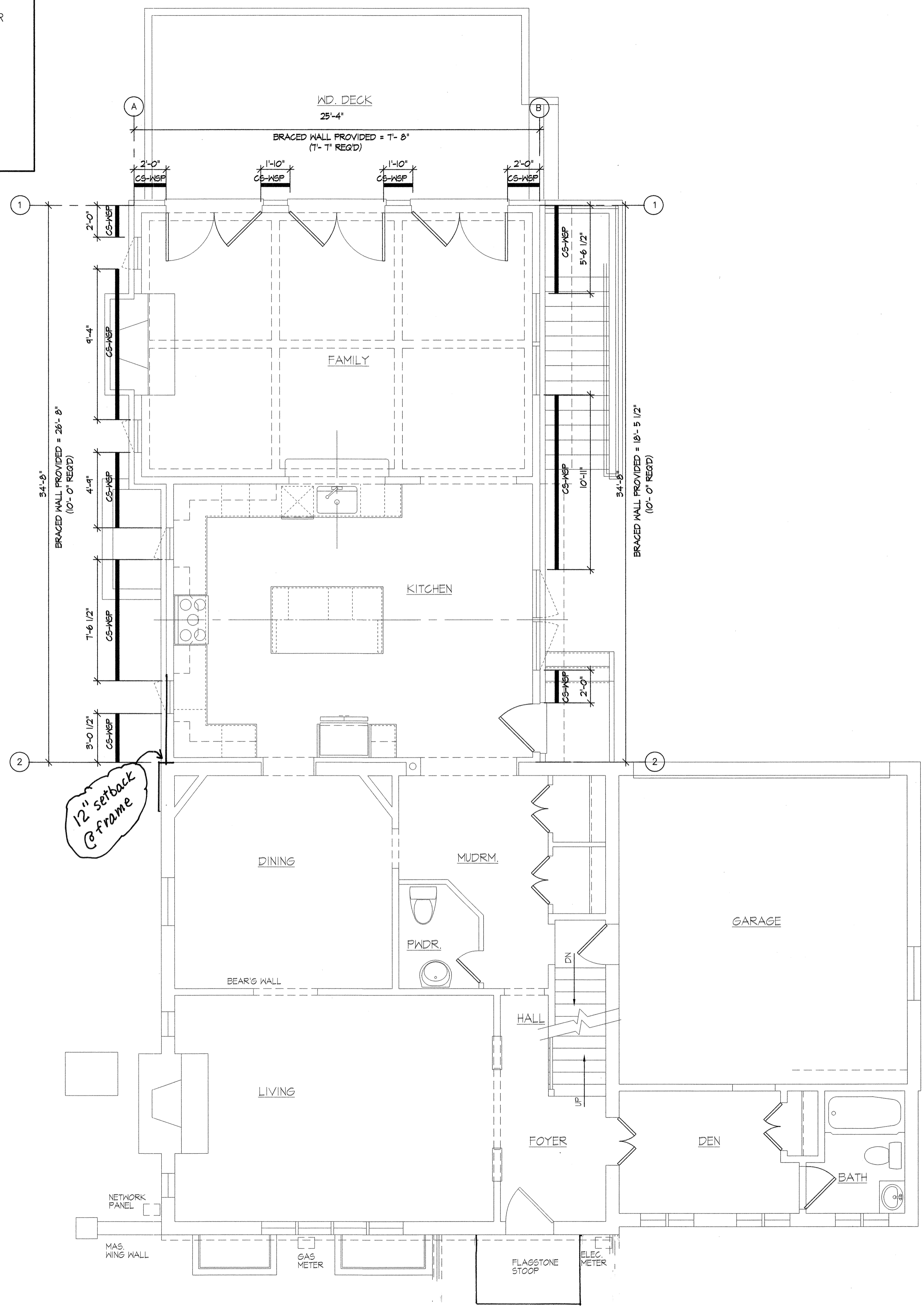
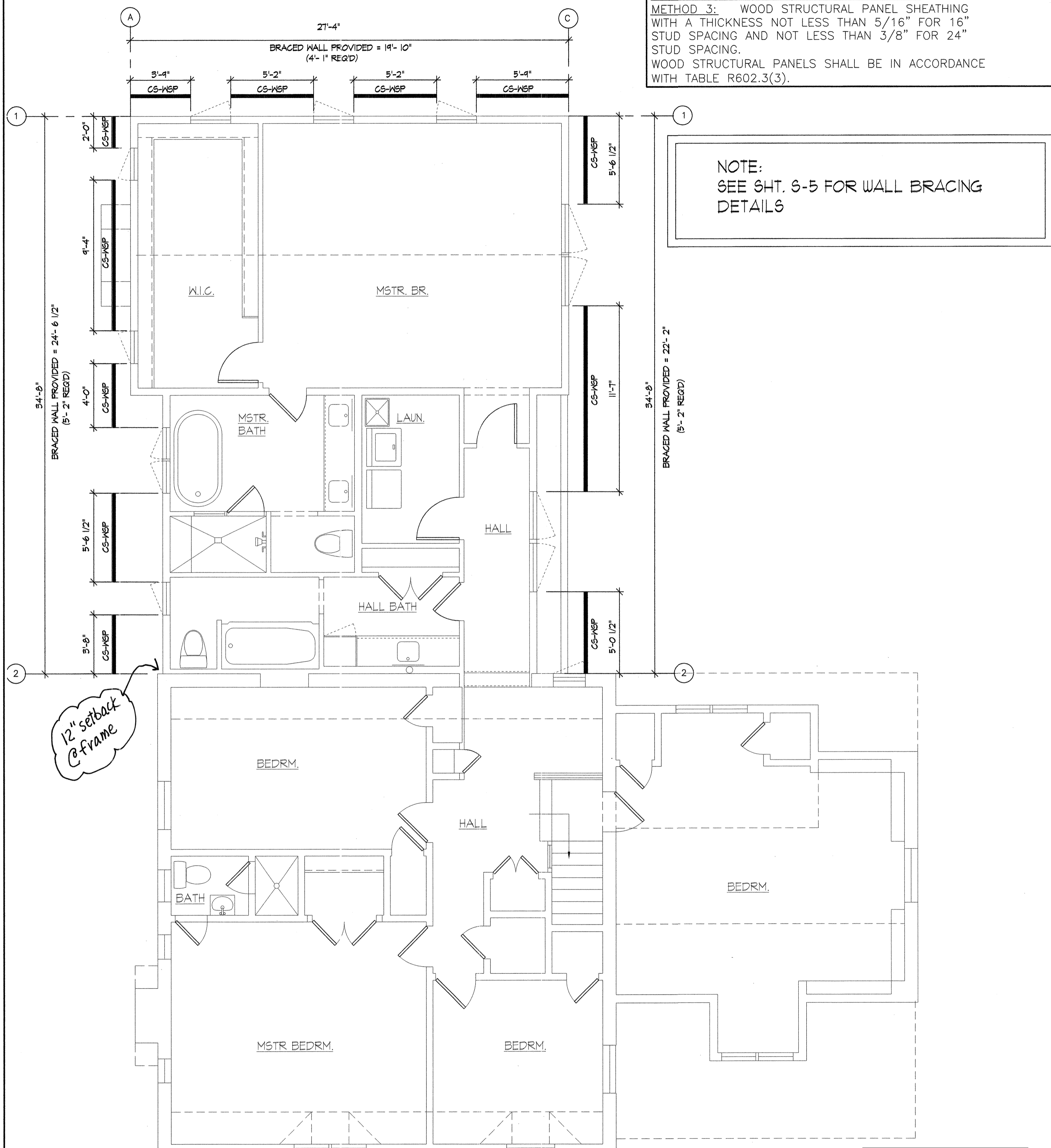
Date: 2-10-2020  
Permit:  
Blde:  
Scale: AS NOTED  
Project Number 1913

**S-3**  
13 OF 17



TYPICAL WALL SHEATHING - ALL NEW EXT. WALLS  
 15/32" APA SHEATHING WITH 8d COMMON NAILS @ 6" O.C. @ ALL EDGES-  
 12" IN THE FIELD  
 1ST & 2ND FLOOR WALLS TIED TOGETHER WITH PLYWD. SHEATHING, OR  
 MSTC 28 STRAPS @ 6'-0" O.C.  
 IRC 2015  
 SECTION 602.10.5  
 CONTINUOUS STRUCTURAL PANEL SHEATHING- BRACE WALL PANEL  
 METHOD 3: WOOD STRUCTURAL PANEL SHEATHING  
 WITH A THICKNESS NOT LESS THAN 5/16" FOR 16"  
 STUD SPACING AND NOT LESS THAN 3/8" FOR 24"  
 STUD SPACING.  
 WOOD STRUCTURAL PANELS SHALL BE IN ACCORDANCE  
 WITH TABLE R602.3(3).

NOTE:  
 SEE SHT. 5-5 FOR WALL BRACING  
 DETAILS

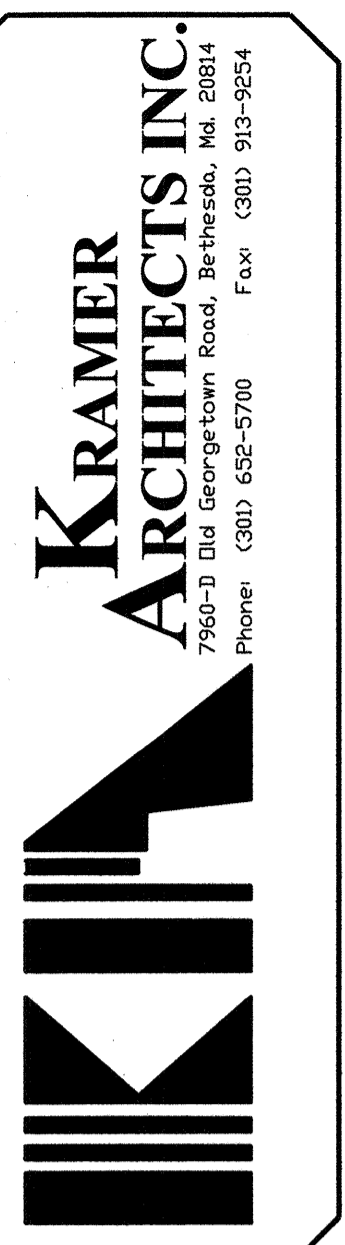


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2 2ND FLOOR WALL BRACING PLAN  
 SCALE: 1/4"=1'-0"

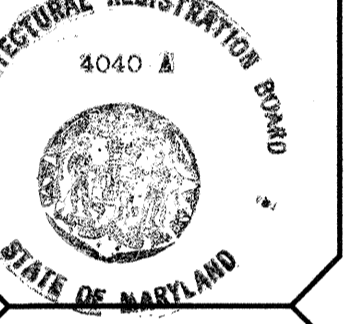
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 By Dan.Bruechert at 2:42 pm, Mar 26, 2020

1 1ST FLOOR WALL BRACING PLAN  
 SCALE: 1/4"=1'-0"



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 BETHESDA, MD. 20811  
 MONTGOMERY COUNTY

SHEET TITLE:  
 WALL BRACING PLANS

REVISIONS  
 3-10-2020

Date: 3-10-2020  
 Permit: 2-10-2020  
 Bls:  
 Scale: AS NOTED  
 Project Number 1913

S-4  
 14 OF 17



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**PROJECT:**  
 HAMPDEN LANE  
 8011 HAMPDEN LANE  
 BETHESDA, MD. 20811  
 MONTGOMERY COUNTY

**SHEET TITLE:**  
 BASEMENT ELECTRICAL PLAN

**REVISIONS**  
 3-10-2020

**Date:**  
 Permit: 2-10-2020  
**Scale:**  
 AS NOTED  
**Project Number**  
 1913

**E-1**  
 15 of 17

**ELECTRICAL SYMBOLS**

**LIGHT FIXTURES - WITH HIGH EFFICIENCY (2700 K) LED LAMP**

**PENDANT**

- HANGING - CEILING MOUNTED LIGHT FIXTURE, SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR
- CEILING MOUNTED (SURFACE) LIGHT FIXTURE, SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR
- WALL MOUNTED LIGHT FIXTURE, SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR

**RECESSED LIGHT FIXTURES - WITH DIMMABLE HIGH EFFICIENCY (2700 K) LED LAMP**

- 3 3/4" Lightoller Step Baffle Recessed Light #1205UH Reflector, #1202PI Frame-in kit with LED 9 watts, 600 Lumens
- 3 3/4" Lightoller (INSULATED 4 air tight) Step Baffle Recessed Light #1205UH Reflector, #1202IC Frame-in kit with LED 9 watts, 600 lumens
- 5" Lightoller Step Baffle Recessed Light #1205UH Reflector, #1202PI Frame-in kit with LED 10 watts, 650 lumens
- 5" Lightoller (INSULATED 4 air tight) Step Baffle Recessed Light #1205UH Reflector, #1202IC Frame-in kit with LED 10 watts, 650 lumens
- 6 3/4" Lightoller Step Baffle Recessed Light #1205UH Reflector, #1202PI Frame-in kit with LED 12 watts, 1000 lumens
- 6 3/4" Lightoller (INSULATED 4 air tight) Step Baffle Recessed Light #1205UH Reflector, #1202IC Frame-in kit with LED 12 watts, 1000 lumens
- 6 3/4" Lightoller (INSULATED 4 air tight) Slope Ceiling Recessed Light #131UH Reflector for 3/12 - 7/12 Ceiling pitch #133UH Reflector for 7/12 - 12/12 Ceiling pitch #102AIC1 Frame -in kit with LED 12 watts, 1000 lumens
- 6 3/4" Lightoller Fresnel lens shower lt. #126 Reflector, #102PI Frame-in kit with LED 10 watts, 650 lumens
- 6 3/4" Lightoller (INSULATED 4 air tight) Fresnel lens shower lt. #126 Reflector, #102IC Frame-in kit with LED 10 watts, 650 lumens
- 6 3/4" Lightoller Opal disk surface closet lt. #121 Reflector, #102PI Frame-in kit with LED 8 watts, 600 lumens (INSULATED 4 air tight), #102IC Frame-in kit w/ LED 8w, 600 lumens
- 3" APERTURE
- RECESSED WALL WASHER

**MISCELLANEOUS**

- Exhaust Fan/Light combo - exhaust to exterior & sized for cubic feet of room w/ separate switches for light & fan
- Fan/LED Light combo - exhaust to exterior sized for cubic feet of room. Provide 1 way baffle.
- Ceiling Fan with separate lines for light and fan operation from switch or per drawing - owner to provide and G.C to install - PROVIDE ADEQUATE SUPPORT-
- Under-Cabinet lighting -LED
- FLOOD LIGHT W/ HOUSING
- LANDSCAPE LIGHT FIXTURE
- TRACK LIGHT / HEADS
- FULL CHAIN / KEYLESS LIGHT
- 48" X 24" FLUORESCENT FIXTURE - 4 BULB

**NOTE:**  
 ALL RECESSED LIGHTS TO BE WHITE W/ WHITE BAFFLE  
 COORDINATE W/ OWNER FOR FINAL FIXTURE SELECTION

**ELECTRICAL SYMBOLS**

- DUPLEX OUTLET - SET 12" AFF U.N.O.
- DUPLEX OUTLET -42" AFF
- DUPLEX OUTLET - 1/2 SWITCHED
- FLOOR OUTLET
- QUADRUPLEX OUTLET
- SWITCH, 3 - WAY, 4 - WAY SET 38" AFF U.N.O.
- SWITCH - SET @ 38" AFF U.N.O.
- DIMMER - CFL/LED or HALOGEN/incandescent
- GROUND FAULT INTERRUPT (48" A.F.F. U.N.O.)
- G.D.O. DUPLEX @ CLG. FOR GARAGE DOOR OPENER
- THERMOSTAT HONEYWELL OR EQUAL W/ LED DISPLAY
- APPLIANCE OUTLET - SEE MANUF. INSTRUCTIONS FOR ELEC. REC.
- DOOR BELL BUTTON
- CHIME
- SPEAKER
- DOOR BELL
- DOOR SWITCH
- WATER PROOF/GFI
- TELEVISION / INTERNET CABLE JACK - VERIFY LOCATION W/ OWNER
- ELEC. PANEL
- TELEPHONE / MODEM JACK - VERIFY LOCATION W/ OWNER
- SMOKE DETECTOR & CARBON MONOXIDE DETECTOR COMBO - CONNECTED IN SERIES WITH BATTERY BACKUP MOUNTED AT CEILING TO MEET ALL LOCAL BUILDING CODES
- JUNCTION BOX - SERVING ITEM INDICATED VOLTAGE AS NOTED
- KEY PAD
- SWITCH CIRCUIT

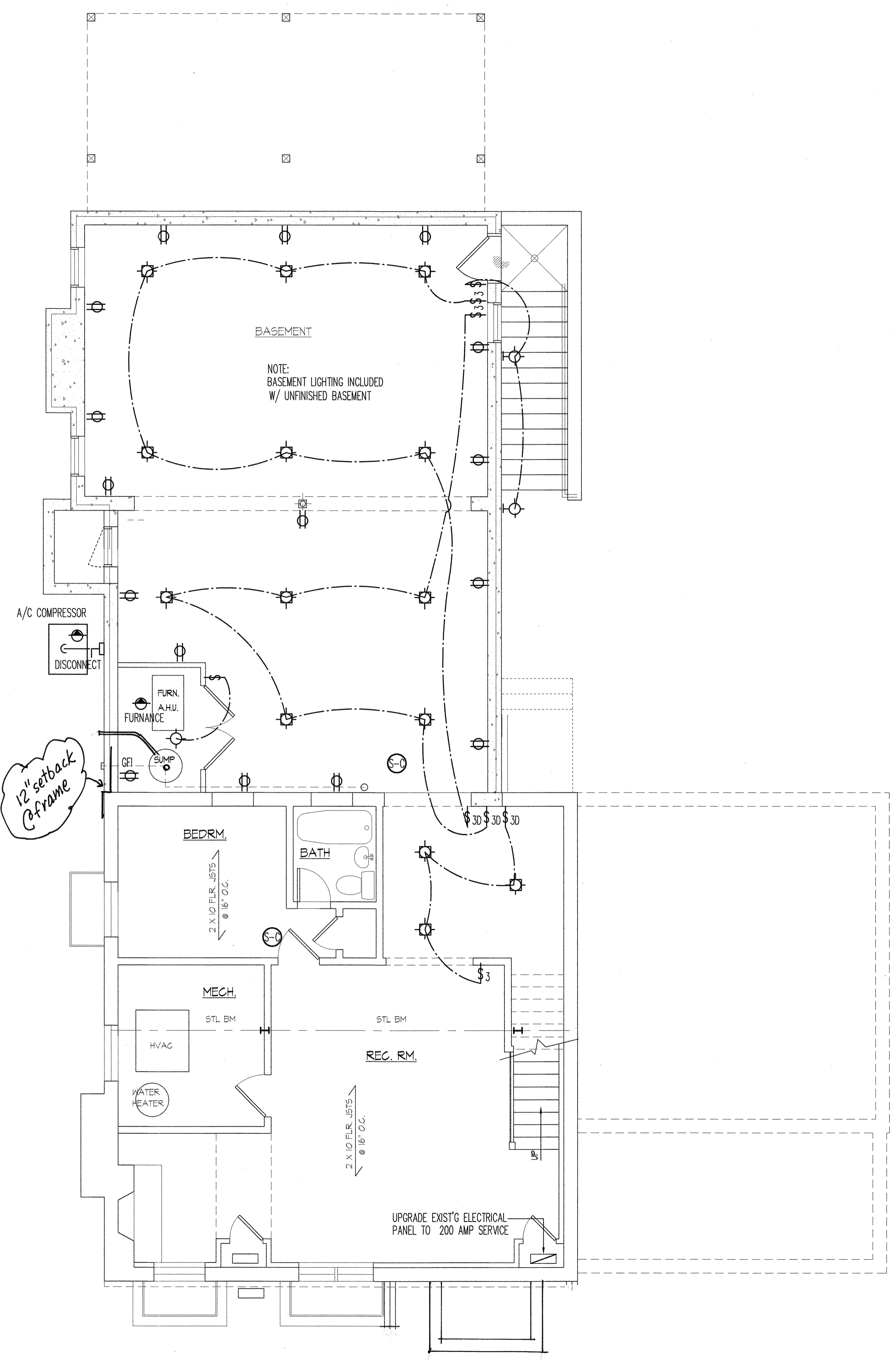
**GENERAL ELECTRICAL NOTES:**

- USE GFI OUTLETS AT ALL LOCATIONS IN KITCHEN & BATH WITH-IN 6'-0" OF SINK & WET LOCATIONS.
- USE AFCI OUTLETS TYPICALLY IN ALL HABITABLE SPACES.
- BRANCH CIRCUITS CANNOT BE LOADED OVER 80% CAPACITY.
- WIRE SIZES AS FOLLOWS: CIRCUITS - WIRES  
 15 AMPS 14 AWG  
 20 AMPS 12 AWG  
 30 AMPS 10 AWG  
 50 AMPS 8 AWG

**NOTE:**  
 ALL NEW LIGHT FIXTURES TO USE LED LIGHT BULBS

APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*Sandra J. Heiler*

**REVIEWED**  
 By Dan.Bruechert at 2:42 pm, Mar 26, 2020



**BASEMENT ELECTRICAL PLAN**  
 SCALE: 1/4"=1'-0"







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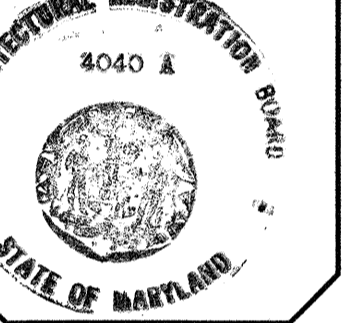
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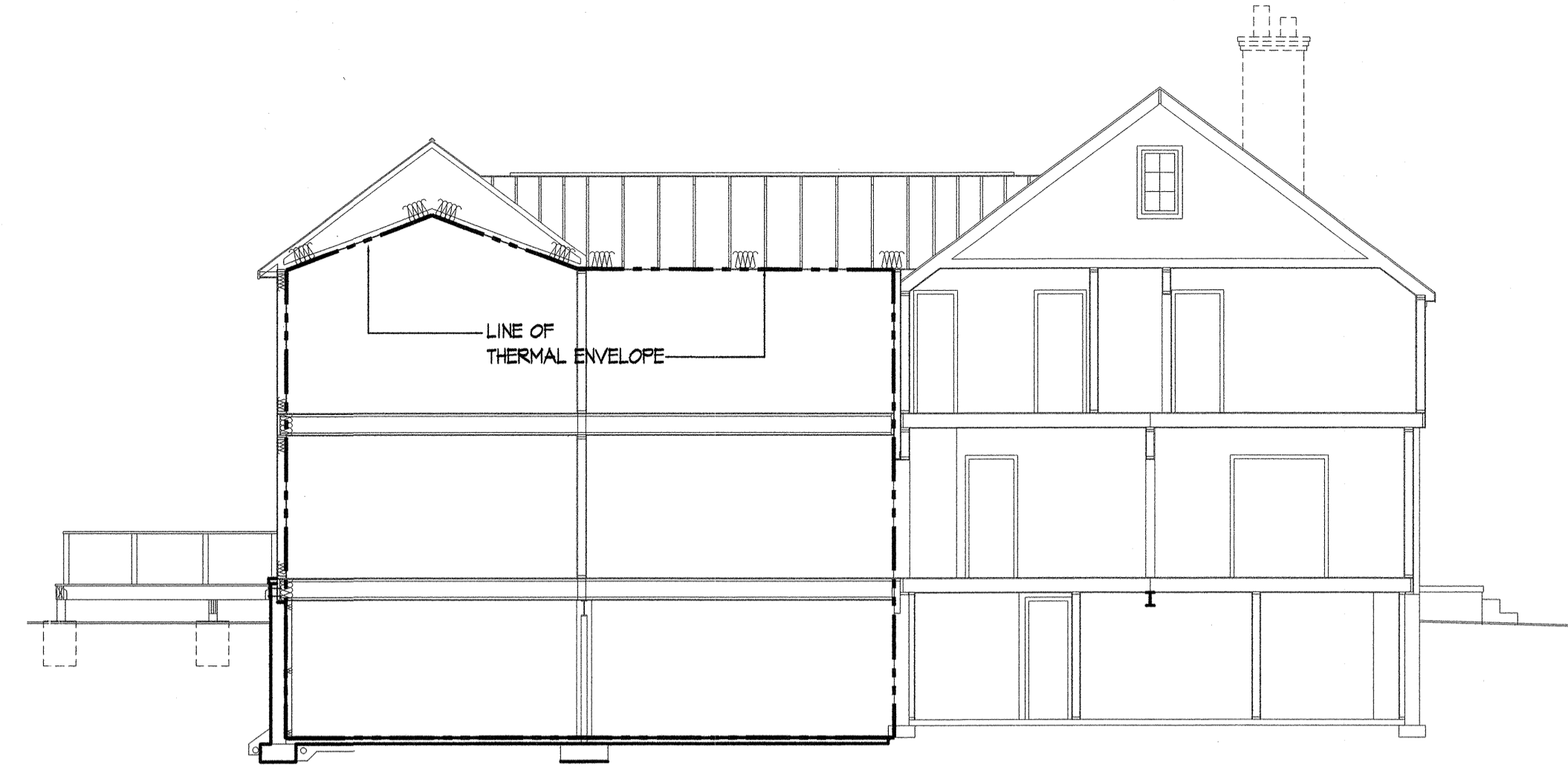
PROJECT:  
 HAMPDEN LANE  
 8011 HAMPDEN LANE  
 BETHESDA, MD. 20817  
 MONTGOMERY COUNTY

SHEET TITLE:  
 ENERGY ENVELOPE

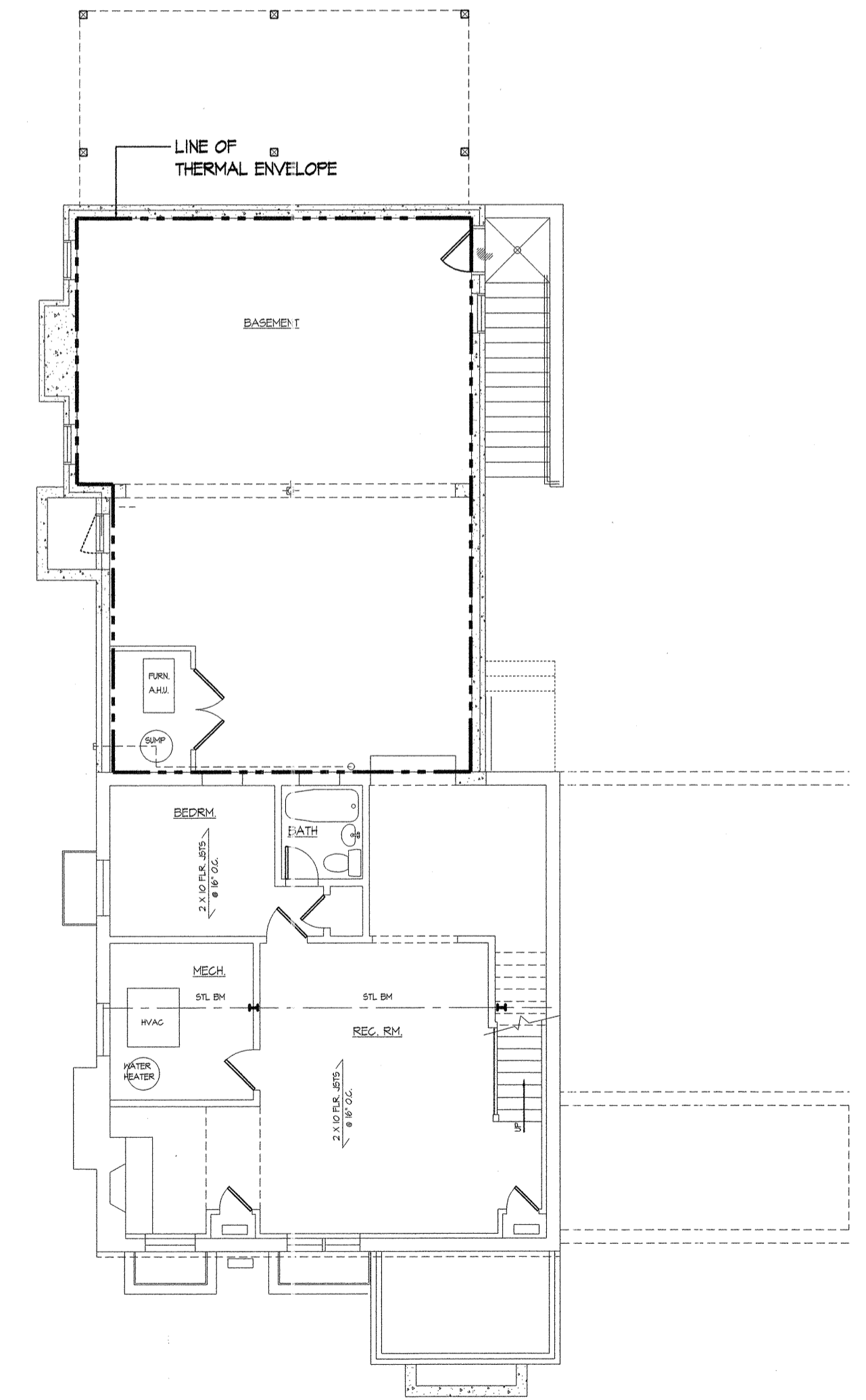
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 Scale:  
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 Project Number  
 1913

**E-3**  
 17 OF 17

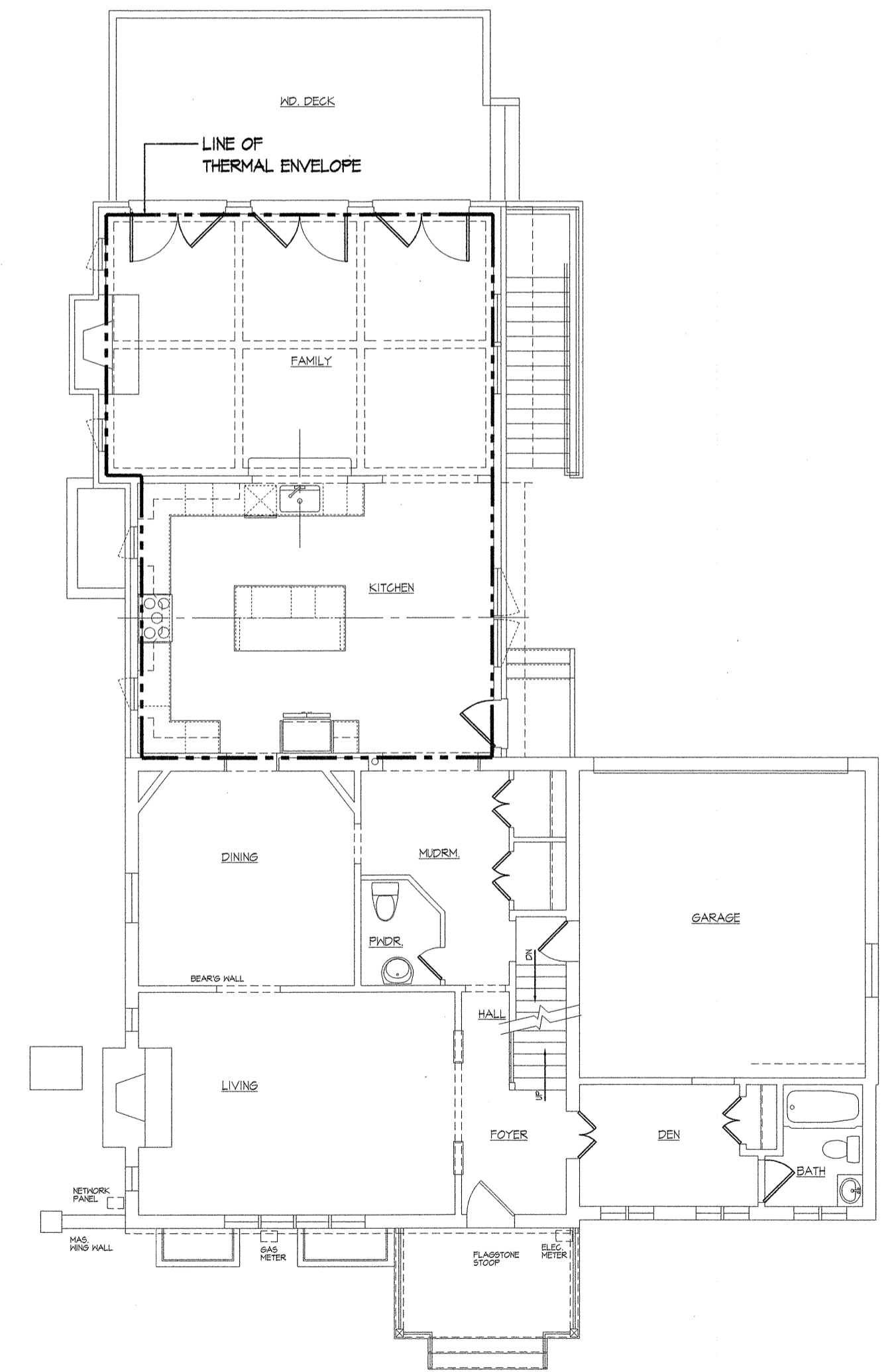


**4 BUILDING SECTION**  
 SCALE: 1/8"=1'-0"

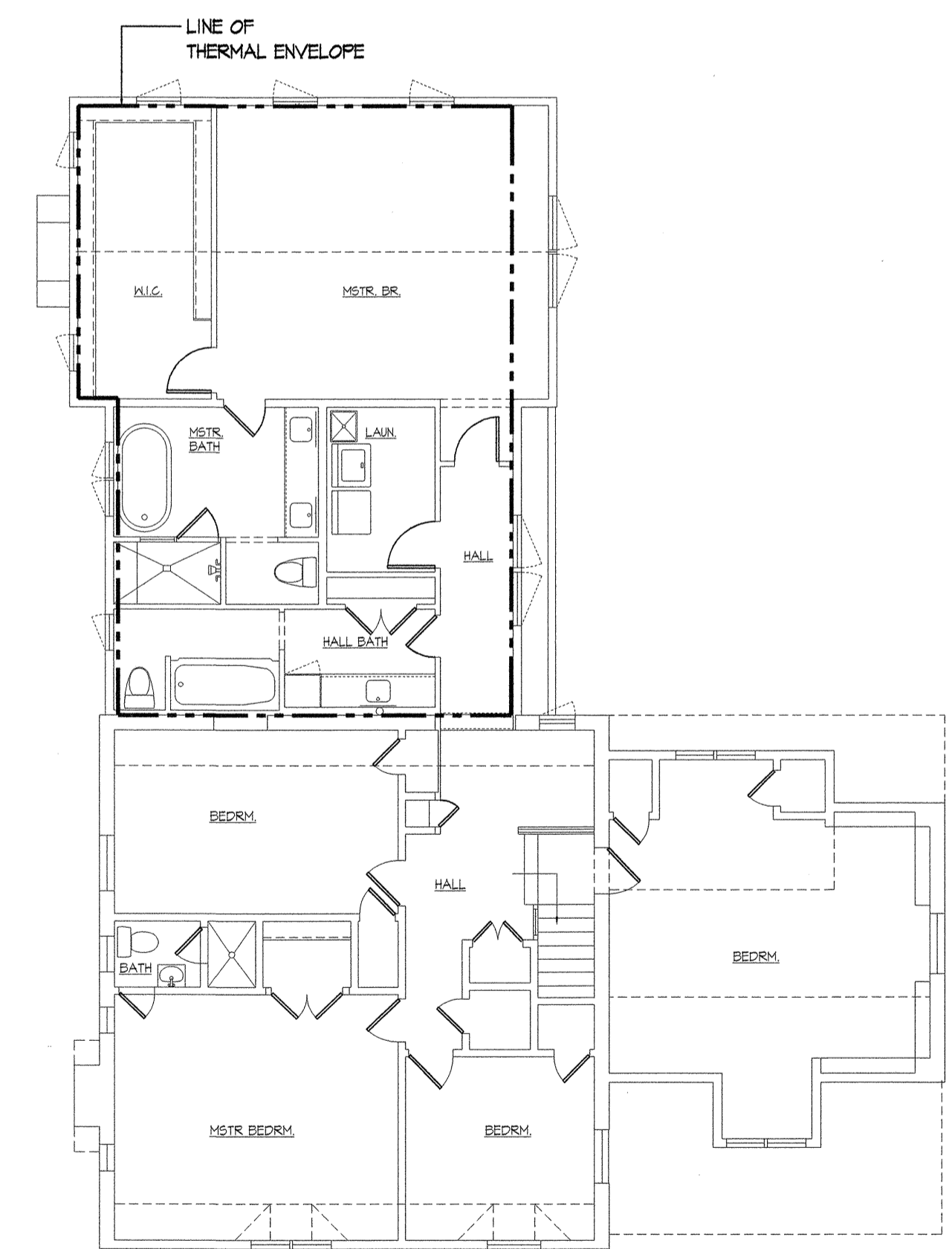


**1 BSMT. PLAN**  
 SCALE: 1/8"=1'-0"

**THERMAL ENVELOPE**  
 SCALE: 1/8"=1'-0"



**2 1ST FLOOR PLAN**  
 SCALE: 1/8"=1'-0"



**3 2ND FLOOR PLAN**  
 SCALE: 1/8"=1'-0"