



## HISTORIC PRESERVATION COMMISSION

Marc Elrich  
*County Executive*

Robert K. Sutton  
*Chairman*

Date: April 2, 2024

### MEMORANDUM

TO: Rabbiah Sabbakhan, DPS Director Department of Permitting Services  
Rebecca Ballo

FROM: Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #REV1033513 - Revision for stair and handrail alterations

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** by the HPC Staff.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Eddie Baron, NPSMA Pres.  
Address: 9610 Dewitt Drive, Unit SH308, Silver Spring

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Rebecca Ballo at 301.563.3404 or [Rebecca.Ballo@montgomeryplanning.org](mailto:Rebecca.Ballo@montgomeryplanning.org) to schedule a follow-up site visit.





HISTORIC PRESERVATION COMMISSION

HAWP #: \_\_\_\_\_ at: \_\_\_\_\_
submitted on: \_\_\_\_\_
has been reviewed and determined that the proposal fits into the following category/categories:

- Repair or replacement of a masonry foundation with new masonry materials that closely match the original in appearance;
Installation of vents or venting pipes in locations not visible from the public right-of-way;
New gutters and downspouts;
Removal of vinyl, aluminum, asbestos, or other artificial siding when the original siding is to be repaired and/or replaced in kind;
Removal of accessory buildings that are not original to the site or non-historic construction;
Repair or replacement of missing or deteriorated architectural details such as trim or other millwork, stairs or stoops, porch decking or ceilings, columns, railings, balusters, brackets shutters, etc., with new materials that match the old in design, texture, visual characteristics, and, where possible materials, so long as the applicant is able to provide one extant example, photographic evidence, or physical evidence that serves as the basis for the work proposed;
Construction of wooden decks that are at the rear of a structure and are not visible from a public right-of-way;
Roof replacement with -compatible roofing materials, or with architectural shingles replacing 3-Tab asphalt shingles;
Installation of storm windows or doors that are compatible with the historic resource or district;
Repair, replacement or installation of foundation-level doors, windows, window wells, and areaways, or foundation vents, venting pipes, or exterior grills that do not alter the character-defining features and/or the historic character of the resource;
Construction of fences that are compatible with the historic site or district in material, height, location, and design;
Fence is lower than 48" in front of rear wall plane;

- Construction of walkways, parking pads, patios, driveways, or other paved areas that are not visible from a public right-of-way and measure no more than 150 square feet in size;
Replacement of existing walkways, parking pads, patios, driveways, or other paved areas with materials that are compatible with the visual character of the historic site and district and that are no greater than the dimensions of the existing hardscape;
Construction of small accessory buildings no larger than 250 square feet in size that are not visible from the public right-of-way;
Installations of skylights on the rear of a structure that will not be visible from the public right-of-way, and would not remove or alter character-defining roof materials;
Installation of solar panels and arrays in locations that are not readily visible from the public right-of-way or that are designed so as to have a minimal impact on the historic resource or the historic district (e.g., systems that are ground-mounted in areas other than the front or side yard of a corner lot, located on accessory or outbuildings, on non-historic additions, or on rear facing roof planes);
Installation of car charging stations in any location on a property or in the right-of-way;
Installation of satellite dishes;
Removal of trees greater than 6" in diameter (d.b.h.) that are dead, dying, or present an immediate hazard.
Removal of trees greater than 6" in diameter (d.b.h.) in the rear of the property that will not impact the overall tree canopy of the surrounding district or historic site;
Replacement tree required as a condition; and,
Other minor alterations that may be required by the Department of Permitting Services post-Commission approval that would have no material effect on the historic character of the property.

Staff finds the proposal complies with Chapter 24A, the Secretary of the Interior's Standards for Rehabilitation, and any additional requisite guidance. Under the authority of COMCOR No. 24A.04.01, this HAWP is approved by [Signature] on \_\_\_\_\_. The approval memo and stamped drawings follow.



APPLICATION FOR HISTORIC AREA WORK PERMIT
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP#
DATE ASSIGNED

APPLICANT:

Name:
Address:
Daytime Phone:
E-mail:
City:
Zip:
Tax Account No.:

AGENT/CONTACT (if applicable):

Name:
Address:
Daytime Phone:
E-mail:
City:
Zip:
Contractor Registration No.:

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property

Is the Property Located within an Historic District? Yes/District Name
No/Individual Site Name

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Applications (Conditional Use, Variance, Record Plat, etc.?) included as supplemental information.



of this Application?
reviews as

REVIEWED
By Rebecca Ballo at 3:41 pm, Apr 02, 2024

Lot:
Block:
Subd

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- Checkboxes for: New Construction, Addition, Demolition, Grading/Excavation, Deck/Porch, Fence, Hardscape/Landscape, Roof, Shed/Garage/Accessory Structure, Solar, Tree removal/planting, Window/Door, Other.

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date

Signature of owner or authorized agent

Date

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<b>Owner's mailing address</b>	<b>Owner's Agent's mailing address</b>
<b>Adjacent and confronting Property Owners mailing addresses</b>	

**Description of Property:** Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

**Description of Work Proposed:** Please give an overview of the work to be undertaken:

Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

**HISTORIC AREA WORK PERMIT  
CHECKLIST OF  
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*



APPROVED  
 Department of Permitting Services  
 Permit # COMBUILD-1051541  
 Date 03/18/24  
Stamped By: Rebecca Jones



Americans with Disabilities Act (ADA), Maryland Accessibility Code (MAC), and/or Fair Housing Act (FHA), may have additional accessibility requirements which apply to this project.

All demolition and construction operations shall be done in accordance with the Montgomery County Fire Safety Code (MCFSC 22-44), IBC-2018 chapter 33 and the NFPA241. Also, provisions shall be made to protect all occupants and all property located within the vicinity of the work area. During construction operations the work area shall be equipped with portable fire extinguishers with a minimum of 2-A:10-B:C in accordance with NFPA10.

**ARCHITECTURAL & LIFE SAFETY  
 REVIEW COMPLETED BY  
 M. DELAPUENTE**

ARCH/LIFE SAFETY  
 APPROVAL COMMENTS

NO CHANGES CAN BE MADE TO THE APPROVED DRAWINGS. CHANGES OR MODIFICATIONS TO THESE PLANS MAY REQUIRE RESUBMITTAL WITH ADDITIONAL PERMIT FEES

BEFORE CONSTRUCTION BEGINS THE OWNER/DESIGNEE SHALL CONTACT 240-777-0311 AND SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE FIELD INSPECTOR

FAILURE TO DO SO MAY RESULT IN A CIVIL CITATION PER SECTION 8-25(H) OF THE BUILDING CODE OF MONTGOMERY COUNTY.

**SUBJECT TO FIELD INSPECTION**

MONTGOMERY COUNTY  
 DEPARTMENT OF PERMITTING SERVICES  
 DIVISION OF BUILDING CONSTRUCTION  
 APPROVED AS NOTED

**THIRD-PARTY INSPECTIONS ARE REQUIRED.**  
 THE DPS INSPECTOR SHALL DESIGNATE REQUIRED THIRD-PARTY INSPECTION(S) AT THE PRE-CONSTRUCTION MEETING. THE OWNER/DESIGNEE SHALL **SUBMIT FIELD REPORT(S) WITHIN 10 DAYS OF THE INSPECTION** AND COMPLETED DPS INSPECTION CERTIFICATION(S) AS INSTRUCTED BY THE DPS INSPECTOR.

STRUCTURAL REVIEW APPROVED BY  
 MARCO GIURIOLA

STRUCTURAL APPROVAL COMMENTS

APPROVED  
 Montgomery County  
 Historic Preservation Commission

**REVIEWED**

*By Rebecca Ballo at 3:41 pm, Apr 02, 2024*

GREEN BUILDING  
 APPROVAL COMMENTS

MECHANICAL APPROVAL COMMENTS

ELECTRICAL APPROVAL COMMENTS





**Montgomery County  
 Department of Permitting Services**

2425 Reedie Drive, 7<sup>th</sup> Floor  
 Wheaton, MD 20902  
 Phone: 311 in Montgomery County or (240) 777-0311  
[www.montgomerycountymd.gov/dps](http://www.montgomerycountymd.gov/dps)

*Affix DPS Approval Sticker Here. Include Inspector name, contact info and additional project requirements. Post this sheet to Back of First Page on Approved Plans. Mark **FAIL** if Inspection Agency is not provided.*

**COMMERCIAL BUILDING & MECHANICAL  
 INSPECTIONS PRE-CON MEETING NOTES**

**A. BUILDING AND MECHANICAL INSPECTION SCHEDULING GUIDELINES:**

1. DPS approved plans along with the all applicable deferred submittals, reviewed and approved by the registered design professional in responsible charge as shop drawings must be on site for inspector review. Any changes affecting Structural, Accessibility (ADA), Egress, Life Safety, or Mechanical Systems require a formal DPS Plan Revision submission and review.
2. Post permits conspicuously at building entrances. Schedule Inspections on-line or via 311 before 12PM for next day service. Always Provide contact information and suite/unit number when scheduling any inspection.
3. Check on-line or via 311 to verify the assigned inspector **after** 7:00 AM the day of inspection. Customers may then contact the inspector directly for an inspection time frame or to cancel any scheduled inspection(s).
4. **The inspector will disapprove/cancel the inspection(s) if any trade close-in/final inspection is not approved, or inspections are not scheduled correctly. Repeat disapproval(s) is subject to a Re-Fee.**

TYPICAL BUILDING INSPECTION TYPES				
Y/N	Code	Description	Types of Inspection	Pre-requisite Approvals
	042	Wall Bracing	Exterior - Structural Wall Bracing/Sheathing.	Wall Check (074 for New/Adds)
	051	Footing/ Foundation	Footing/foundation reinforcing, & soil bearing (visual inspection).	Soils Testing if >2000 PSF (3 <sup>rd</sup> Party, see Section B)
	056	Masonry	Masonry Walls (Interior and Exterior)	Wall Check? Electrical & Plumbing
	069	Slabs (Decks)	Concrete SOG, Framed decks/platforms.	Underground/platform Plumbing & Electrical.
	070	Wall Framing	Interior - Close-in (partitions & shafts) One-sided sheathing/drywall allowed. <b>Pre-Rock*</b> .	Wall Check? Plumbing & Electrical. (*Partial Inspection Fee).
⇒	071	Ceiling	Close-in of acoustical and hard ceiling framing. Schedule with Mech.	Plumbing, Electrical, Sprinkler (Hydro) & Fire Alarm (Low Volt.)
⇒	251	Final	Final Life Safety, Energy, Fire Prevention, & ADA compliance check. Sched. with Mech.	Final Plumbing, Electrical, Sprinkler & Fire Alarm.
	504	Energy Ceiling	Ceiling Insulation Inspection. Spray thermal insulation requires pre-approval*.	Ceiling Framing (071). (*3 <sup>rd</sup> Party Cert/Letter needed)
	506	Energy Wall	<b>Air barrier</b> * & Wall Insulation Inspection. Spray thermal insulation requires pre-approval**.	(*Partial Inspection Fee) Framing/Bracing (070). (**3 <sup>rd</sup> Party Cert/Letter needed)

TYPICAL MECHANICAL INSPECTION TYPES				
Y/N	Code	Description	Types of Inspection	Pre-requisite Approvals
	604	Hood	Type I Hood Inspection and grease duct light test*.	Structural approval. (*300-Watt Bulb with blacked-out space.)
	606	Ductwork	Hard Duct Inspection for sizing and joint sealing prior to duct insulation application.	None.
⇒	608	Close-In (Ceiling)	Close-in of mech. systems, ductwork, & connections. Schedule with Building.	Hydronic, Refrigerant & Fuel Oil piping pressure testing Y / N
⇒	651	Final	Final approval of equipment, and components. Schedule with Building.	Unit MOCP check. Mech. piping Cert. & Air balance Report.



**COMMERCIAL BUILDING & MEC**

**E-CON MEETING NOTES**

**B. THIRD PARTY INSPECTIONS:** DPS Authorized 3<sup>rd</sup> Party Inspections: (circle all that apply) 051, 053, 054, 056, 058, 059, 060, 061, 065, 068, 069, 072, 259, 502, 504, 506, EFIS or N/A. Provide final certifications and daily field reports at time of DPS Inspection. **Field reports shall be submitted to DPS within 10 days of inspection.**

**Third Party Inspector** (Signing below certifies agency's personnel qualifications for performing required inspections.)

Company Name:

3<sup>rd</sup> Party Inspector Engineer of Record:

Date:

\*Signature:

**Geotechnical Inspector (If other than the 3<sup>rd</sup> Party Inspector above):**

Company Name:

Geotechnical Inspector Engineer of Record:

Date:

\*Signature:

**Scope of 3<sup>rd</sup> Party Inspections:** (List project scope items subjected to third party inspection.)

\* Inspection agency portion needs to be completed, submitted to DPS Inspector prior to scheduling close-in inspections.

**C. IDENTIFY ELEMENTS OF STRUCTURE THAT WILL BE CONSIDERED AS DEFERRED SUBMITTAL AND BY TRADE AND NOT REQUIRING SEPARATE PERMIT:**

**Definition IBC Chapter 1, section 107.3.4.1:** Deferred submittals are defined as those portions of the design that are not submitted at the time of the permit application and that are designed by others (delegate engineer/ architect). The work of delegate engineer/ architect (deferred submittals) shall be reviewed and approved by the registered design professional in responsible charge (record professional) as shop drawings and shall be presented on site at the time of inspection. Shop drawing approval stamp shall read as "Approved" or "No exception Taken" not as "Make Corrections as Noted"

- Wood Roof Trusses
- Wood Floor Trusses
- Light gage metal (Cold formed steel) bearing walls and/or floor framing not designed by SER
- Steel Joists
- Cupola Design (Church)
- Stair, handrail, guardrail design
- Canopy
- Pre-Manufactured Buildings (Metal, precast, cold-formed, steel etc.)
- Other (Specify)

**D. USE & OCCUPANCY:** A Use and Occupancy Permit is required - Yes  No . Proposed Use Type \_\_\_\_\_.  
Additional Use Type requirements: \_\_\_\_\_

**E. PROTECTION OF OPENINGS:** Rated wall/ceiling assemblies required by plan or Use Type - Yes  No .  
Provide UL Systems Number(s) for proposed opening protection in rated assemblies at or before inspection.

**F. CUSTOMER ACKNOWLEDGMENT OF DPS PERMIT INSPECTIONS REQUIREMENTS:**

GC Agent Name: \_\_\_\_\_ Date: \_\_\_\_\_

Signature: \_\_\_\_\_

See attached DPS Sticker for additional requirements.



# Montgomery County Department of Permitting Services

2425 Reedie Drive, 7<sup>th</sup> Floor  
Wheaton, MD 20902  
Phone: 311 in Montgomery County or (240)777-0311  
<http://www.montgomerycountymd.gov/permittingservices>



APPROVED  
Department of Permitting Services  
Permit # **COMBUILD-1051541**  
Date **03/18/24**  
Stamped By: Rebecca Jones



## Commercial Building Inspections

### ISSUED PERMITS MUST BE INSPECTED BY DPS

Montgomery County commercial inspectors are cross trained in Building and Mechanical inspections, therefore the close-in and final building and mechanical inspections must each be scheduled for the same day after all trade permits have been approved.

Inspection requests made before 12:00 noon will be scheduled for the next working day, requests made after 12:00 noon will be scheduled within two working days.

The permit, approved plans and all attached notes, comments and/or inspection reports shall be kept on the site and available for immediate review until the project has received final DPS approval. The permit must be conspicuously posted.

The following is a list of inspection types available for scheduling, a description of the inspection type and responsibilities of the applicant/person scheduling the inspection. Additional information and/or scheduling assistance is available by call 240.777.0311.

- 255 **Pre-construction meeting-** Before commencing the construction, the owner or designee shall call 311 to schedule a meeting to discuss requirements, approved plans and related matters. Notice: failure to schedule a pre-construction meeting before commencing construction may result in the issuance of a civil citation in the amount of \$500.00.
- 259 **Soils Inspection and Testing (S)-** This Special Inspection is required for:
  - a. All placed engineered fill and backfill material.
  - b. Foundation excavations tests where soil-bearing capacity must be determined or verified.  
NOTE: The certification by the inspection agency indicating adequate soil bearing capacity to support the design loads must be submitted to the inspector at the site at the time of the footing/rebar inspection and prior to placing any concrete.
- 042 **Wall Close in Exterior/ Bracing**
- 051 **Footings-** Excavate to approved depth. All formwork and reinforcing must be in place prior to inspection.
- 053 **Grade Beam/rebar-** All formwork and rebars must be in place prior to inspection
- 054 **Foundation wall/rebar Exterior-** All formwork and rebars must be in place prior to inspection
- 055 **Walls Masonry Exterior-** If reinforced all rebar must be in place at the time of inspection. All clean out holes for each lift must remain open until inspection.
- 056 **Walls Masonry Interior-** All reinforcing must be in place at time of inspection.
- 057 **Walls reinforced concrete (Interior walls)-** All reinforcing must be in place at the time of inspection before placing concrete.
- 065 **Parging, Waterproofing-** All debris must be removed from perimeter of foundation at the time of inspection. Walls waterproofed, foundation drainage installed.
- 069 **Structural Concrete Slabs-** All formwork sleeves and rebar to be in place prior to inspection and placing of concrete.
- 074 **Wall Check / Location Survey-** (All new structures and Additions) Upon completion of the foundation walls or perimeter footing and before any construction is placed upon the foundation walls or footings obtain a Professional Engineer entitled to practice in Maryland. Wall Check must be approved by zoning office.
- 070 **Wall Close-in-** All fire stopping and all electrical and plumbing rough in approvals must be approved prior inspection. Note: If structural steel is involved all certification of the steel assembly and connection are due at this time (058,059).
- 071 **Ceiling Close-in-** All electrical, plumbing, and sprinkler approvals must be obtained prior to building inspection. Mechanical inspection (608) must be scheduled at the same time as (071)



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- 072 **Columns reinforced concrete-** All formwork and rebars to be in place prior to inspection and placing of concrete.
- 075/076 **Light Gage Framing**
- EIFS**
- 058 **Structural Steel Assembly-** This Special Inspection includes determination that the members are properly located, sized, and in accordance with the approved plans; checking of setting of anchor bolts and base plates to determining members are plumb
- 059 **Structural Steel Connections-** This Special inspection includes all connections both Welded and Bolts.
- 067 **Chimney/Pre Fab Fireplace-** Firebox, pipe, firestops, and chimney cap to be complete at the time of inspection. All areas of pipe and firebox must be visible so inspector can verify connections, firestops, and clearances.
- 068 **Masonry Fireplace/Flue-** Fireplace, throat, damper, and first flue liner are to be in place for this inspection.
- 251 **Final-** All work per approved plans is to be complete and the premise ready for occupancy.
- Capacity Certificate-** In every place of public or private assembly with an occupant load greater than 99 persons a capacity permit is required and it must be posted in a conspicuous place in the room/space near the entrance.
- 252 **Building Use and Occupancy-** All disciplines shall be approved prior to issuance of Certificate: Building, Electrical, Mechanical, Fire, WSSC, and Green Building as applicable.
- 502 **Energy Slab Inspection-** Insulation materials, R-Values/thickness, thermal breaks installed.
- 504 **Energy Ceiling Inspection-** Insulation materials, R-Values/thickness, manufacturers specifications, air barrier/air sealing materials and methods. Verification of Skylight/Roof monitor U-Values, SHGC/VT.
- 506 **Energy Floor or Wall Inspection**
  - Insulation materials, R-Values, manufacturer specifications, air barrier/air sealing materials and methods. Provide air leakage pressure tests when appropriate.
  - Fenestration verification with approved plans and specifications. Must show NFRC labels or manufacturer proof of U-Values, SHGC, VT and air leakage testing results.
  - Provide verification of slab/foundation insulation R-Values and thermal breaks.
  - Rooms containing fuel burning appliances where open combustion air ducts supply combustion air to open combustion space conditioning fuel-burning appliances shall be located in a room isolated from and outside of the building thermal envelope.
- 550 **Energy Final Inspection**

Functional testing reports for the new building systems (HVAC and Lighting) shall be transmitted to DPS prior to scheduling building final inspection. When Commissioning (Cx) is required by code, preliminary Cx report shall be provided to the building owner and, DPS must receive a letter of transmittal from the building owner acknowledging receipt of the Preliminary Cx Report prior to scheduling building final inspection. Within 90 days of Occupancy Approval, the building owner must be provided with the Final Cx report, System Balancing Report and all manuals associated with the building systems and operations. Please forward all required documentation to: [mark.nauman@montgomerycountymd.gov](mailto:mark.nauman@montgomerycountymd.gov) and [ye.jiang@montgomerycountymd.gov](mailto:ye.jiang@montgomerycountymd.gov).



**DPS**



APPROVED  
Department of Permitting Services  
Permit # **COMBUILD-1051541**  
Date **03/18/24**  
Stamped By: Rebecca Jones

**Montgomery County**  
**Department of Permitting Services**

2425 Reddie Drive, 7th Floor  
Wheaton, MD 20902  
Phone: 311 in Montgomery County or (240) 777-0311



# Third-Party Inspections Guidelines

## When Third-Party (Special) Inspections are Required

Special Inspections by qualified Third-Party Inspectors/Inspection Agencies may be required on Commercial Building Projects with construction work requiring 3<sup>rd</sup> party or special inspections. Refer to DPS' [Commercial Building/Energy Inspection Report/Certification](#) for a complete list of applicable Third-Party inspections including the following:

- Structural steel framing (assembly & connections)
- Concrete inspection, sampling and testing,
- Soil compaction testing
- Soil bearing testing for over 2000 psf,
- Spray applied fire protection,
- Light gage steel framing utilized as bearing walls,
- Exterior Insulation and Finish System (EIFS),
- Spray/blown Insulation Installation (needs installer's Compliance Letter/Form at minimum),
- Other Energy Inspections

In addition, the building official is authorized to make or require other inspections of any construction work to ascertain compliance with the provisions of Building Code and County laws enforced by the Department of Permitting Services.

## Documentation of Third-Party Inspections

**All field reports shall include the project address and DPS Permit Number.** Inspection reports shall be signed and sealed by a designated engineer licensed in Maryland and shall be submitted to the County within ten (10) days from the date the inspection is conducted. Inspection reports with noted deficiencies shall be submitted to the DPS within five (5) working days from the date that the deficiency was identified.

Note that Third-Party Inspectors are charged with performance of required inspections **not observations** (as defined in the IBC) for the project's scope of work. Any inspection report with the term "observe" in-lieu of "inspection" for required inspection(s) will be rejected and required to be revised for DPS acceptance.

At the conclusion of each construction phase the inspection agency shall provide a [final certification](#) stating that the construction of that phase has been completed in accordance with the approved drawings, the job specifications and the Montgomery County Building Code. The certification shall have the seal and signature of the *responsible professional* registered in the State of Maryland.



## Qualifications of Third-Party Inspectors

Third-Party inspection agencies and respective project assigned inspectors shall possess the competence and relevant experience or training to perform the project scope required 3<sup>rd</sup> party/special inspections and tests during construction. The responsible professional shall be licensed in Maryland and capable of signing and attaching professional seals to field reports and final certifications.

As per IBC 1704.2.1 “the registered design professional in responsible charge and engineers of record involved in the design of the project are permitted to act as the approved agency and their personnel are permitted to act as special inspectors for the work designed by them, provided they qualify as special inspectors.”

In addition, the building official is authorized to request third-party inspector resume and/or certifications to confirm inspector qualifications and active status for designated special inspections.

## What the Applicant Shall do After Permit Issuance

For every commercial building permit not assigned to Complex Structures group, the owner or the owner’s authorized agent shall do the following:

1. The owner or his/her designee shall set-up a pre-construction meeting (Code 255) online or via 311 (240-777-0311 Outside Montgomery County). The meeting shall take place after issuance of permit, but prior to start of construction. The complete set of printed DPS approved plans and documents shall be at the site for DPS use.
2. Review and comply with the requirements of the Montgomery County Third Party Inspections including gathering inspection agency point of contact for DPS to confirm third-party inspection agency(ies) understand the project special inspections scope.
3. The owner or his/her designee to call 311 (240-777-0311 Outside Montgomery County) and request DPS performed inspections as required, at the proper time in accordance with the sequence of the work. No work shall proceed beyond the point where an inspection is required.
4. Schedule 3<sup>rd</sup> Party/Special inspections at appropriate intervals during construction. Obtain and have copies of inspection reports and inspection certifications ready to submit to the DPS Inspector at scheduled DPS inspections or through means determined at the Pre-con.

## Pre-Construction Meeting

At the pre-construction meeting the DPS Commercial Building inspector will review the approved plans and documents and determine the type and extent of any applicable 3<sup>rd</sup> Party/special inspections for the scope of work. In addition, the Building Official is authorized to make or require other inspections of any construction work deemed to ascertain compliance with the provisions of Building Code and County laws enforced by the Department of Permitting Services.



APPROVED  
 Department of Permitting Services  
 Permit # **COMBUILD-1051541**  
 Date **03/18/24**



DEPARTMENT OF PERMITTING SERVICES

Marc Elrich  
 County Executive

Rabbiah Sabbakhan  
 Director

**COMMERCIAL BUILDING PERMIT APPLICATION**

Application Date: 11/28/2023

Application No: 1051541  
 AP Type: COMBUILD  
 Customer No: 1479117

**Affidavit Acknowledgement**

**Primary Applicant Information**

Location: Parking deck/garage at the end of Dewitt Drive on the National Park Seminary property.  
 Propertyowner: Todhunter (Primary)

**Commercial Building Permit Details**

Use Code: MISSTR  
 Work Type: ADD  
 Construction Type: IA  
 Use Group: U  
 Disturbed Area: 300  
 Gross Floor Area: 300  
 Sediment Control: 282810  
 Estimated Cost \$: 30000  
 Scope of Work: Construct concrete steps from the parking deck to covered garage below, add walkway behind garage; install safety barrier and handrail along steps.  
 Type of Water Supply: WSSC  
 Sewage Disposal: WSSC  
 AttachmentType: SELECT





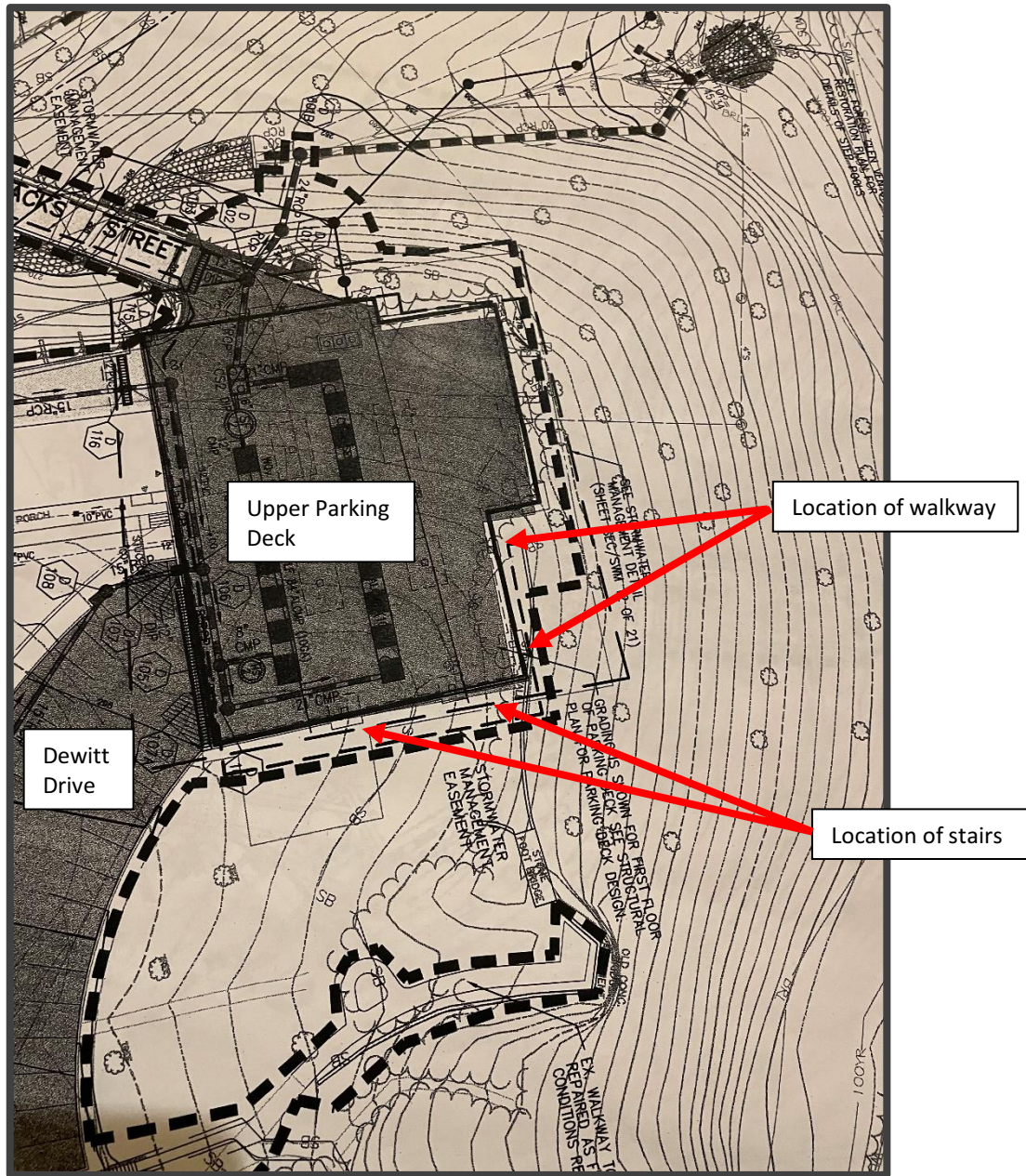
APPROVED  
 Department of Permitting Services  
 Permit # COMBUILD-1051541  
 Date 03/18/24  
Stamped By: Rebecca Jones

APPROVED  
 Montgomery County  
 Historic Preservation Commission

**REVIEWED**  
 By Rebecca Ballo at 3:40 pm, Apr 02, 2024

National Park Seminary  
 Application 1051541 for the Construction of Concrete Stairs  
 and Metal Railing by the Parking Garage

Topographical Map







Wes Moore, Governor  
Aruna Miller, Lt. Governor



Rebecca L. Flora, AICP, LEED ND / BD+C, Secretary  
Elizabeth Hughes, MHT Director and  
State Historic Preservation Officer

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**Maryland**  
**DEPARTMENT OF PLANNING**  
**MARYLAND HISTORICAL TRUST**

March 21, 2024

Eddie Baron  
President, NPSMA  
9610 Dewitt Drive, Unit SH308  
Silver Spring, MD 20910

Re: National Park Seminary, Montgomery County – Change/Alteration  
Maryland Historical Trust Preservation Easement

Dear Mr. Baron:

The Maryland Historical Trust (MHT) is in receipt of your email, received on March 19, 2024, with additional information received on March 21, 2024, requesting approval to modify the scope of the stepped walkway with associated handrail on the site of the parking garage at the National Park Seminary as was previously approved by letters dated November 15, 2021, July 18, 2023, and January 3, 2024.

I have reviewed the materials provided in your submission and based on the scope of work and specifications, grant staff approval to construct the stepped walkway with a handrail on each side of the walkway and with the depth of the treads being 13”.

This work is consistent with the Secretary of the Interior’s *Standards for the Treatment of Historic Properties*, specifically *General Rehabilitation Standards 2, 8, and 10*.

This approval is valid for a period of six months from the date of this letter. Should you require additional time to complete the project, make any changes to the scope of work as approved, or have any questions regarding this letter, please contact MHT Easement Staff via email at [mht.easements@maryland.gov](mailto:mht.easements@maryland.gov).

Sincerely,

Carolyn Nosacek  
Easement Administrator  
Maryland Historical Trust



National Park Seminary  
Application 1051541 for the Construction of Concrete Stairs  
and Metal Railing by the Parking Garage

Location of the Project

Location:

The new stairs will abut the parking garage located at the end of Dewitt Drive on the National Park Seminary campus, connecting the upper level of the two-story parking deck to the lower level. The nearest residence to the parking garage is 9610 Dewitt Drive.

Purpose:

The stairs will provide safe access for residents of the Main Condo to their cars parked on the lower-level covered parking area as well as returning up the hillside coming from their cars. Currently residents navigate an uneven terrain along the hillside beside the parking garage to access to the covered lower-level parking area.

While residents may access their cars on the lower-level parking area through the Main Condo building, they may take up to seven flights of stairs and a long hallway to get there; it is often more convenient to use the external pathway. Consequently, the pathway should provide safe access.

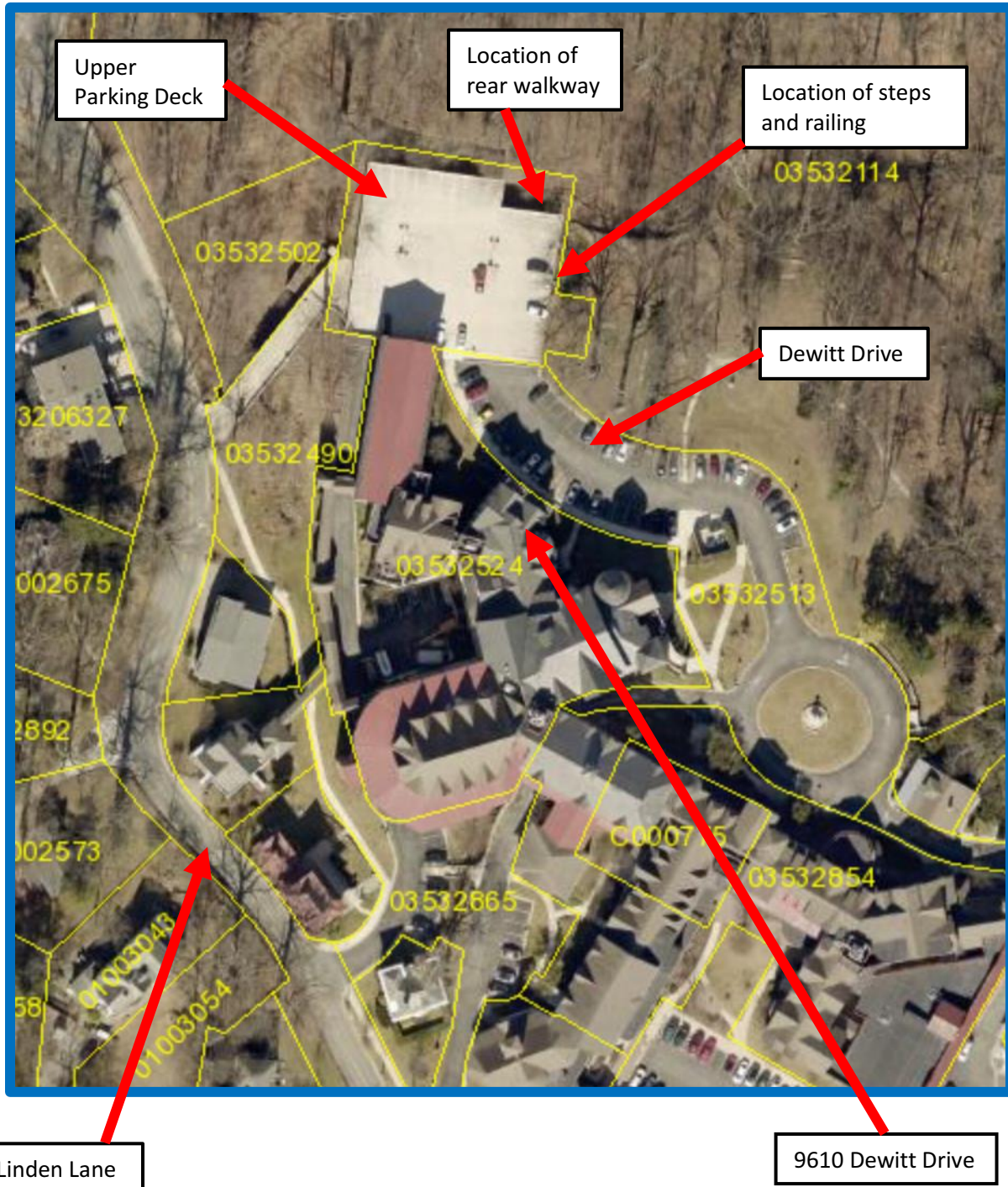
Proposed Solution:

- Construct concrete stairs starting at the pedestrian opening by the upper parking deck, along the slope to the covered parking below, and extending as a walkway to the existing pedestrian access at the back of the lower parking area.
- Install a rail barrier at the opening of the side of the garage, and metal hand railings on both sides of the stairs.

Please see the technical drawings of the proposed construction that have been submitted with this application.



### Aerial View of Project Area





### Current State of the Project Site

Residents of Main Condo use the slope alongside the garage deck at the end of Dewitt Drive to access their cars in the lower-level covered parking area of this two-story parking garage, and to walk back up the slope to their residences. The pathway is irregular and a tripping hazard. When wet, snowy, icy, or leaf-covered, it can be dangerously slippery.

The purpose of this project is to construct concrete steps and a walkway along the back, lower level of the garage, and install a rail barrier along the opening between the parking levels, and handrails along the stairs.



View of the slope from the covered garage to the parking deck above.



View of the existing pedestrian opening on the upper parking deck of the garage.



View of the back of the lower level of the garage showing the existing pedestrian opening into the garage where the walkway will be constructed. The slope where the stairs will be constructed is at the upper left side of the photo.



## National Park Seminary Application 1051541 for the Construction of Concrete Stairs and Metal Railing by the Parking Garage

### Project Description

The National Park Seminary Master Association (NPSMA) plans to construct concrete steps and a walkway, and install a metal safety barrier and handrails along the slope between the parking deck at the end of Dewitt Drive and the covered parking area below it. The project would extend from an existing pedestrian opening at the upper parking deck along the slope to an existing pedestrian opening at the rear of the covered garage.

The slope is used by residents to access their parked cars on the lower level. The informal pathway along the slope is rutted and uneven. It poses a hazard when wet, icy, or leaf-covered. The addition of the formal steps and railing would provide safe access to the covered lower level of the garage, and improve the appearance of the property. This construction is a necessary and beneficial addition to the NPS campus and community.

### Specific Work Items

Item	Current Condition Description	Proposed Work
1. Concrete steps	The area is an informal, rugged dirt and grass pathway along the slope aside the parking structure.	Please see technical drawings submitted as part of this application.
2. Concrete walkway	The area is an informal, rugged dirt pathway.	Please see technical drawings submitted as part of this application.
3. Metal protective barrier	There is currently no protective barrier in the gap along the slope between the upper parking deck and covered garage below.	Please see technical drawings submitted as part of this application.
4. Metal handrail	There is no handrail for residents who use the slope as a pathway to access cars parked in the covered lower level of the garage.	Please see technical drawings submitted as part of this application.







DEPARTMENT OF PERMITTING SERVICES

Marc Elrich
County Executive

Rabbiah Sabbakhan
Director

BUILDING PERMIT

Issue Date: 03/18/2024

Permit No: 1051541
AP Type: COMBUILD
Expires: 03/19/2025
X Ref:
Rev. No:
ID: 1479117

THIS IS TO CERTIFY THAT: Lois Todhunter
9610 Dewitt Drive
Unit SH102
SILVER SPRING, MD 20910

HAS PERMISSION TO: ADD MISCELLANEOUS STRUCTURE

PERMIT CONDITIONS: Customer Wants To Use ePlans, Construct concrete steps from the parking deck to covered garage below, add walkway behind garage; install safety barrier and handrail along steps.

MODEL NAME:

PREMISE ADDRESS: 9610 DEWITT DR, SILVER SPRING, MD 20910

LOT - BLOCK: 61 - 1 ZONE: R-90 ELECTION DISTRICT:

BOND NO.: BOND TYPE: PS NUMBER:

PERMIT FEE: \$ 724.60 SUBDIVISION:

The permit fee is calculated based on the approved Executive Regulations multiplied by the Enterprise Fund Stabilization Factor for the current fiscal year.

TRANSPORTATION IMPACT TAX DUE: \$0.00
SCHOOLS IMPACT TAX DUE: \$0.00
SCHOOLS FACILITY PAYMENT DUE: \$0.00
IMPACT TAXES ARE NOT DUE.

MUST BE KEPT AT JOB SITE

AN APPROVED FINAL INSPECTION IS REQUIRED PRIOR TO USE OR OCCUPANCY

Every new one- or two-family dwelling, every townhouse and any attached accessory structure must be equipped with a fire sprinkler system. A separate sprinkler permit is required for the installation of the fire sprinkler system.

Many subdivisions and neighborhoods within Montgomery County have private deed restrictions and covenants regulating building construction. Obtaining a building permit does not relieve the property owner of responsibility for complying with applicable covenants.

NOTICE

THIS APPROVAL DOES NOT INCLUDE PLUMBING, GAS PIPING OR ELECTRICAL OR CONSTRUCTION IN ANY DEDICATED RIGHT-OF-WAY.

NOTE

THIS PERMIT DOES NOT INCLUDE APPROVAL FOR ANY ELECTRICAL WORK. YOU MUST HAVE A SEPARATE ELECTRICAL PERMIT TO DO ANY ELECTRICAL WORK.

[Handwritten signature of Rabbiah Sabbakhan]

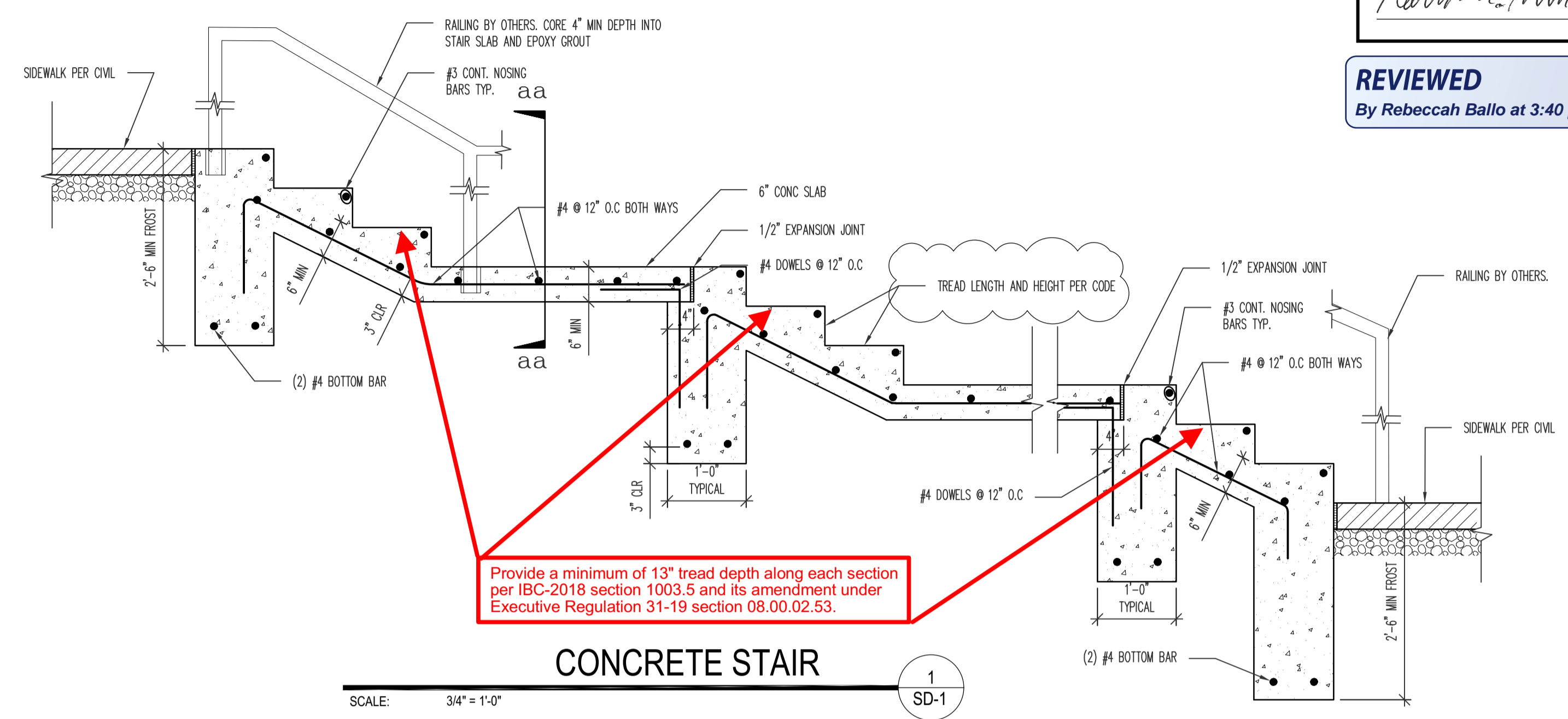
Director, Department of Permitting Services

- I. STANDARDS AND CODES**
- DESIGN BUILDING CODE: IBC 2018 W/ DC AMENDMENTS
  - ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 301, ACI 318 AND ACI 302 LATEST EDITIONS.
  - IN ADDITION TO THE REQUIREMENTS INCLUDED IN THESE STRUCTURAL NOTES, ALL CONSTRUCTION AND MATERIALS SHALL FURTHER CONFORM TO THE APPLICABLE PROVISIONS OF THE FOLLOWING STANDARDS:
    - AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM)
    - AMERICAN CONCRETE INSTITUTE (ACI)
- II. DESIGN LOADS**
- A. THESE NOTES/SPECIFICATIONS TAKE PRECEDENCE IF CONFLICTS EXIST WITH PROJECT SPECIFICATIONS OR ARCHITECTURAL NOTES.
- B. FLOOR LOADS (PSF)
- LIVE LOAD
 

a. PUBLIC AREA	=	LIVE LOAD	100	TOTAL LOAD	100
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- D. WIND LOADS
- WIND SPEED (ULTIMATE) = 115 MPH
  - WIND SPEED (ASD) = 90 MPH
  - RISK CATEGORY = II
  - WIND EXPOSURE = B
  - INTERNAL PRESSURE COEFFICIENT, C<sub>pi</sub> = ± 0.18
  - COMPONENTS AND CLADDING = 15 MPH, EXP. B, H=30, ZONE S, ULT. LOAD = +24 / -32 PSF
- E. EARTHQUAKE LOADS
- SEISMIC IMPORTANCE FACTOR, I<sub>e</sub> = 1.0
  - RISK CATEGORY = I
  - SEISMIC DESIGN CATEGORY = A
- F. FOUNDATION
- FOOTING DESIGN IS BASED ON ASSUMED ALLOWABLE SOIL BEARING PRESSURE OF 1500 PSF.
- G. DEFLECTION LIMITS
- |          |           |            |
|----------|-----------|------------|
| 1. FLOOR | LIVE LOAD | TOTAL LOAD |
|          | SPAN/480  | SPAN/240   |
- III. GENERAL**
- DETAILS, SECTIONS, AND NOTES SHOWN ON THESE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR CONDITIONS ELSEWHERE UNLESS OTHERWISE SHOWN OR NOTED.
  - THE STRUCTURAL INTEGRITY OF THE BUILDING IS DEPENDENT UPON COMPLETION OF WORK ACCORDING TO THE STRUCTURAL DRAWINGS AND SPECIFICATIONS. THE STRUCTURAL ENGINEER ASSUMES NO LIABILITY FOR THE STRUCTURE DURING CONSTRUCTION. THE METHOD OF CONSTRUCTION AND SEQUENCE OF OPERATIONS IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY BRACING AND SHORING, AS REQUIRED, TO ENSURE VERTICAL AND LATERAL STABILITY OF THE ENTIRE STRUCTURE OR PORTION THEREOF DURING CONSTRUCTION. THE DESIGN PROCEDURES SHALL CONFORM TO ALL GOVERNING CODES AND SAFETY REQUIREMENTS. TEMPORARY BRACING AND SHORING SHALL BE IN CONFORMANCE WITH OSHA REGULATIONS.
  - IT IS RECOMMENDED THAT THE CONTRACTOR ARRANGE A PRECONSTRUCTION MEETING PRIOR TO CONSTRUCTION OF ELEVATED CONCRETE SLABS AND PRIOR TO CONSTRUCTION OF WOOD FRAMING. AT A MINIMUM, THE ENGINEER, GENERAL CONTRACTOR, FRAMING SUBCONTRACTOR OR CONCRETE SUBCONTRACTOR SHOULD BE IN ATTENDANCE.
  - TESTING
    - SUBGRADE DENSITY TESTING: A QUALIFIED GEOTECHNICAL ENGINEER SHALL BE RETAINED TO PROVIDE THE FOLLOWING:
      - ONE DENSITY TEST FOR EACH 2,000 SQUARE FEET OF COMPACTED SUBGRADE AND COMPACTED FILL.
      - ONE DENSITY TEST PER 100 SQUARE FOOT OF FOOTINGS (50 LINEAR FEET MAX. FOR CONTINUOUS SPREAD FOOTINGS).
    - A QUALIFIED TESTING LABORATORY SHALL BE RETAINED TO PERFORM THE FOLLOWING CONCRETE TESTS ON SITE. ALL TESTS SHALL BE DONE AFTER THE ADDITION OF WATER TO THE MIX:
      - CYLINDER STRENGTH TESTS PER ASTM C39; ONE SET OF FIVE CYLINDERS FOR EACH 50 CUBIC YARDS OR FRACTION THEREOF. TEST TWO CYLINDERS AT 7 DAYS AND TWO AT 28 DAYS. HOLD THE FINAL CYLINDER IN RESERVE.
      - SUMP TESTS PER ASTM C143
  - SUBMITTALS
    - THE CONTRACTOR SHALL PROVIDE SUBMITTALS TO THE ARCHITECT, STRUCTURAL ENGINEER, AND THE OWNER.
    - ALL SUBMITTALS SHALL CONTAIN A STATEMENT OF COMPLIANCE OR NON-COMPLIANCE WITH THE CONTRACT DOCUMENTS. SUBMITTALS WITHOUT THIS STATEMENT MAY BE RETURNED FOR RESUBMITTAL.
    - SUBMITTALS REQUIRING A REGISTERED PROFESSIONAL ENGINEER'S SEAL OR REQUIRING SUPERVISION BY A REGISTERED PROFESSIONAL ENGINEER: THE ENGINEER SHALL HAVE A CURRENT REGISTRATION IN THE STATE IN WHICH THE PROJECT IS LOCATED.
    - THE CONTRACTOR SHALL COORDINATE ALL DIMENSIONS AND ELEVATIONS SHOWN ON THESE DRAWINGS WITH THE DRAWINGS OF THE ARCHITECT AND OTHER TRADES PRIOR TO THE SUBMISSION OF SHOP DRAWINGS AND CONSTRUCTION.
    - CONTRACTOR SHALL NOT REPRODUCE ANY PORTION OF CONTRACT DOCUMENTS IN THE SHOP DRAWINGS.
    - ALL SHOP DRAWINGS MUST BE REVIEWED BY THE CONTRACTOR AND MUST BEAR THE CONTRACTOR'S APPROVAL STAMP PRIOR TO SUBMISSION.
    - SITING SUBMITTALS:
      - SUBMIT GEOTECHNICAL ENGINEER REPORTS.
      - SUBMIT FOUNDATION DENSITY TESTING RESULTS.
    - CONCRETE SUBMITTALS:
      - SUBMIT PROPOSED CONCRETE MIX DESIGN PRIOR TO CONSTRUCTION, INCLUDING BACKUP DATA IN ACCORDANCE WITH ACI 301 CHAPTER 3, METHOD 1 OR 2. THE PROPOSED MIX DESIGN SHALL BE SIGNED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER.
      - SUBMIT DETAILED SHOP DRAWINGS OF REINFORCING BARS SHOWING NUMBER, SIZE, AND LOCATION. INCLUDE BAR LISTS AND BEND DIAGRAMS.
      - SUBMIT FORMWORK AND SHORING DRAWINGS SIGNED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER.
      - SUBMIT COORDINATED DIMENSIONED SLEEVING PLAN FOR ELEVATED SLABS
    - STEEL SUBMITTALS:
      - SUBMIT ALL STRUCTURAL STEEL SHOP DRAWINGS SIGNED AND SEALED BY A REGISTERED STRUCTURAL ENGINEER.
      - STEEL JOIST SHOP DRAWINGS INCLUDING CALCULATIONS FOR ALL SPECIAL JOISTS SHOP DRAWING PREPARATION SHALL BE SUPERVISED BY A REGISTERED PROFESSIONAL ENGINEER.
      - SUBMIT SIGNED AND SEALED DESIGN SHOP DRAWINGS FOR ALL LIGHT GAUGE METAL FRAMING.
    - HAND RAILS, GUARD RAILS, AND STAIRS:
      - HANDRAILS, GUARDRAILS AND LADDERS SHALL BE DESIGNED AND STAMPED BY THE MANUFACTURER'S ENGINEER FOR THE MOST RESTRICTIVE OF THE LOADS GIVEN BY THE APPLICABLE DESIGN CODE.
        - THE MAXIMUM HORIZONTAL DEFLECTION SHALL NOT BE MORE THAN : HEIGHT/12 WHEN THE LOAD IS APPLIED AT THE LINE OF VERTICAL SUPPORT.
        - THE MAXIMUM HORIZONTAL DEFLECTION SHALL NOT BE MORE THAN : HEIGHT/12 + SPAN/96 WHEN THE LOAD IS APPLIED AT THE MIDSPAN OF THE RAIL.
        - THE MAXIMUM VERTICAL DEFLECTION SHALL NOT BE MORE THAN : SPAN/96 WHEN THE LOAD IS APPLIED AT THE MIDSPAN OF THE RAIL.
      - SUBMIT DETAILED SHOP DRAWINGS SHOWING MEMBERS SIZES, MATERIALS, AND CONNECTIONS TO PRIMARY STRUCTURAL ELEMENTS IN ACCORDANCE WITH THE DESIGN BUILDING CODE REQUIREMENTS SIGNED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER.
- IV. SITE WORK**
- UN-BRACED EXCAVATIONS SHALL BE SLOPED NO GREATER THAN (2) HORIZONTAL TO (1) VERTICAL, OR PER OSHA STANDARDS
  - GENERAL
    - FOUNDATION DESIGN IS BASED ON ASSUMED INFORMATION A GEOTECHNICAL REPORT HAS NOT BEEN PROVIDED.
    - SEE NOTE II.c FOR THE DESIGN SOIL BEARING VALUE. BEARING VALUE SHALL BE VERIFIED BY THE ON SITE GEOTECHNICAL ENGINEER.
    - BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-6" BELOW EXTERIOR GRADE AND SHALL PROJECT 1'-0" INTO UNDISTURBED VIRGIN SOIL OR ENGINEERED FILL.
    - ALL BEARING STRATA SHALL BE ADEQUATELY DRAINED PRIOR TO PLACING FOUNDATION CONCRETE.
    - THE SIDES OF FOOTINGS MAY BE EARTH-FORMED IF THE EXCAVATION CAN BE KEPT

- VERTICAL, CLEAN, AND STABLE. OTHERWISE, FORMS MUST BE USED.
- NO EXCAVATION SHALL BE CLOSER THAN AT LEAST A SLOPE OF TWO HORIZONTAL TO ONE VERTICAL TO THE UNDERSIDE OF ANY FOOTING OR UNDERGROUND UTILITY (WET OR DRY) WITHOUT THE WRITTEN AND CERTIFIED PERMISSION OF THE GEOTECHNICAL ENGINEER. STEP FOOTINGS AT A RATIO OF TWO HORIZONTAL TO ONE VERTICAL TO AVOID ZONE OF INFLUENCE ON ADJACENT UNDERGROUND STRUCTURES OR UTILITY.
- FOUNDATION ELEMENTS THAT ARE TO SUPPORT FILL ON BOTH SIDES SHALL BE BACKFILLED SIMULTANEOUSLY AND UNIFORMLY ON BOTH SIDES.
- FOUNDATION ELEMENTS THAT ARE TO SUPPORT FILL ON ONE SIDE ONLY SHALL BE PROPERLY BRACED BY PERMANENT STRUCTURAL ELEMENTS PRIOR TO BACKFILLING. PROVIDE TEMPORARY BRACING AS REQUIRED UNTIL PERMANENT BRACING IS IN PLACE.
- PROVIDE SHORING AND PROTECTION FOR EXCAVATION BANKS AS NECESSARY TO PREVENT CAVING.
- ENGINEERED FILL SHALL BE PLACED IN 8" MAXIMUM HEIGHT LOOSE LIFTS AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT AS ESTABLISHED BY ASTM D-698 SEE GEOTECHNICAL REPORT.
- BELOW GRADE WALLS WILL REQUIRE DRAINAGE. REFER TO SECTIONS AND GEOTECHNICAL REPORT FOR RECOMMENDATIONS.
- BELOW GRADE SLABS ON GRADE MAY REQUIRE A DRAINAGE SYSTEM. REFER TO GEOTECHNICAL REPORT FOR RECOMMENDATIONS.

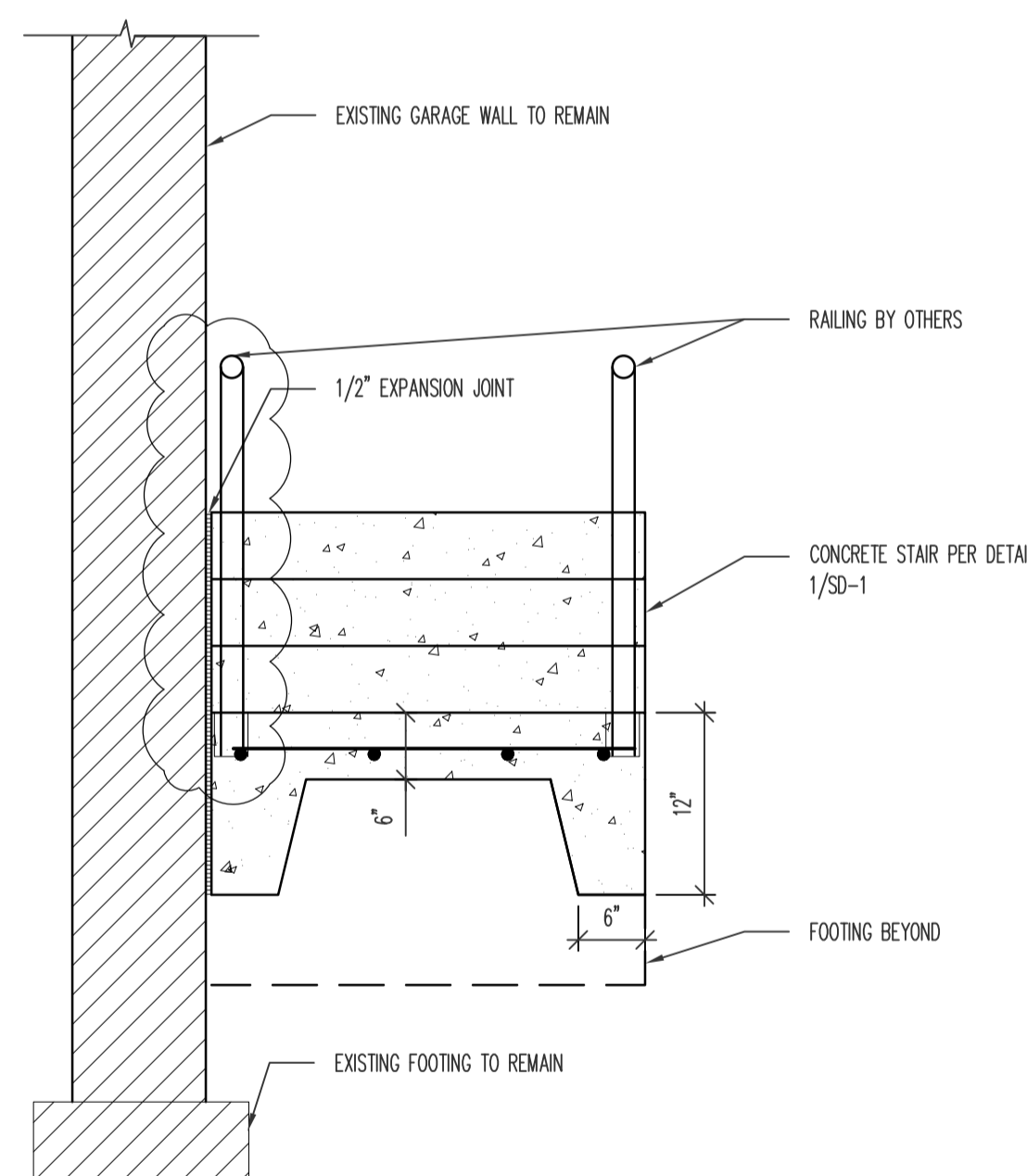
- CONCRETE**
- A. STRUCTURAL CONCRETE**
- ALL REINFORCING STEEL SHALL BE DEFORMED BILLET STEEL CONFORMING TO ASTM A615 GRADE 60 AND DETAILED, FABRICATED, AND PLACED CONFORMING TO THE MANUAL OF STANDARD PRACTICE FOR DETAILING CONCRETE STRUCTURES (ACI 318).
  - ALL WELDED WIRE FABRIC (WFW) SHALL CONFORM TO ASTM A185. ALL MESH EDGES SHALL LAP A MINIMUM OF 2 SQUARES.
  - PROVIDE A VAPOR BARRIER UNDER SLABS ON GRADE. VERIFY THICKNESS W/ ARCHITECT, WATERPROOFING CONSULTANT AND SPECS.
  - CONCRETE COMPRESSIVE STRENGTHS AT 28 DAYS, F<sub>c</sub>(PS) SHALL BE:
    - FOOTINGS AND EXTERIOR SLAB ON GRADE - 4500 PSI.
  - SUMP:
    - CONCRETE MIX SHALL BE PROPORTIONED TO PROVIDE ADEQUATE WORKABILITY AND CONTROL SEGREGATION OF AGGREGATE. SPECIFY A TARGET SLUMP IN CONCRETE SUBMITTAL.
    - IN NO CASE SHALL SLUMP EXCEED 8 INCHES.
  - CAST-IN-PLACE CONCRETE SHALL BE READY-MIX PER ASTM C94. THE MIX SHALL BE PROPORTIONED WITH:
    - PORTLAND CEMENT - ASTM C150
    - AGGREGATES - ASTM C33 WITH 0.75 INCH MAXIMUM DIAMETER
    - NO CALCIUM CHLORIDE SHALL BE PERMITTED
    - AIR ENTRAINMENT - ASTM C260
    - WATER REDUCING ADMIXTURE - ASTM C494
    - FLYASH - ASTM C618 CLASS F, 20% MAXIMUM BY WEIGHT
    - ELAST SLAG - ASTM C989, MAX 50%
    - SILICA FUME - ASTM C1240, MAX 10%
    - WATER - CLEAN AND POTABLE
  - CONCRETE COVER BETWEEN FACE OF REBAR AND FACE OF CONCRETE SHALL BE ACCORDING TO THE FOLLOWING DIMENSIONS UNLESS NOTED OTHERWISE. A17 TOLERANCES APPLY (1/8" MORE COVER IS OK, BUT NO LESS COVER THAN SPECIFIED):
    - FOOTING FACES CAST AGAINST EARTH - 3"
    - WALLS AND TOPS OF FOOTINGS EXPOSED TO EARTH OR WEATHER -
      - #3 THRU #5 BARS - 1 1/2"
      - #6 BARS AND LARGER - 2"
    - WALLS NOT EXPOSED TO WEATHER OR EARTH - 3/4"
    - ELEVATED SLABS
      - 3/4" BOTTOM COVER
      - 3/4" TOP COVER FOR INTERIOR SLABS
      - 1 1/2" TOP COVER FOR GARAGE OR EXTERIOR SLABS WITH #5 AND SMALLER BARS
      - 2" TOP COVER FOR GARAGE OR EXTERIOR SLABS WITH #6 AND LARGER BARS
    - BEAMS AND COLUMNS
      - 1 1/2" TO TIES OR STIRRUPS
    - SLABS ON GRADE
      - MID DEPTH U.N.O. IN PLANS OR DETAILS
  - ALL CONCRETE EXPOSED TO FREEZE/THAT SHALL HAVE A MINIMUM AIR ENTRAINMENT PER ACI 318 4.4.1
    - 6% +/- 1% FOR SLABS
    - 5% +/- 1% FOR WALLS
  - STANDARD WEIGHT CONCRETE SHALL NOT EXCEED 150 PCF IN WEIGHT. LIGHTWEIGHT CONCRETE WHERE SPECIFIED SHALL NOT EXCEED 115 PCF IN WEIGHT.
  - PROVIDE PROPERLY TIED SPACERS, CHAIRS, BOLSTERS, ETC, AS REQUIRED AND NECESSARY TO ASSEMBLE, PLACE AND SUPPORT ALL REINFORCING IN PLACE. USE WIRE BAR TYPE SUPPORTS COMPLYING WITH CRSI RECOMMENDATIONS. USE PLASTIC TIP LEGS ON ALL EXPOSED SURFACES.
  - REINFORCEMENT SPICES SHALL BE LAP SPICES PER ACI 318 CHAPTER 12.
  - WHERE BAR LENGTHS ARE GIVEN ON DRAWINGS, LENGTH OF HOOK, IF REQUIRED, IS NOT INCLUDED. INCREASE BAR LENGTHS WHERE REQUIRED TO MEET MINIMUM DEVELOPMENT LENGTH REQUIREMENTS.
  - PROVIDE CORNER BARS AT ALL WALL, BEAM, AND FOOTING INTERSECTIONS. UNLESS NOTED OTHERWISE, MATCH CONTINUOUS REINFORCING.
  - SEE ARCHITECTURAL DRAWINGS FOR REQUIRED CONCRETE FINISHES.
  - PROVIDE COMMERCIAL FORM COATING COMPOUNDS THAT WILL NOT BOND, STAIN, OR ADVERSELY AFFECT CONCRETE SURFACES. WET FORMS BEFORE PLACING CONCRETE.
  - RESTRICT THE ADDITION OF MIX WATER AT THE JOB SITE. DO NOT ADD WATER WITHOUT THE APPROVAL OF THE INSPECTIONS ENGINEER AND DO NOT EXCEED SLUMP LIMITATIONS. USE COLD WATER FROM THE TRUCK TANK AND REMIX TO ACHIEVE CONSISTENCY. THE REPORTS SHALL INDICATE HOW MUCH WATER WAS ADDED AT THE JOB SITE.
  - CONCRETE SHALL BE PLACED WITHIN 90 MINUTES OF BATCH TIME.
  - ALL CONCRETE SHALL BE CONSOLIDATED IN PLACE USING INTERNAL VIBRATORS.
  - ALL CONCRETE SHALL BE CURED IMMEDIATELY AFTER FINISHING OPERATIONS.
  - REPAIR AND PATCH DEFECTIVE AREAS WITH CEMENT MORTAR IMMEDIATELY AFTER REMOVAL OF FORMS, EXCEPT WHERE REINFORCING IS VISIBLE. CONTACT STRUCTURAL ENGINEER FOR EVALUATION OF EXPOSED REINFORCING.
  - ALL GROUT SHALL BE PRE-MIXED NON-SHRINKABLE, NON-METALLIC CONFORMING TO ASTM C827, AND SHALL HAVE A SPECIFIED COMPRESSIVE STRENGTH OF 3000 PSI WITHIN 24 HOURS AND 6000 PSI AT 28 DAYS. PRE-GROUTING OF BASE PLATED WILL NOT BE PERMITTED.
  - ALL BEAMS, SPANDRELS, AND SLABS SHALL BE POURED MONOLITHICALLY EXCEPT WHERE CONSTRUCTION JOINTS ARE REQUIRED AND DETAILED ON DRAWINGS. PROPOSED CONSTRUCTION JOINTS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL.
  - PROVIDE KEVED JOINTS BETWEEN ALL NON-MONOLITHIC INTERSECTING CONCRETE WALLS AND AT ALL CONCRETE JOINTS.
  - CONTRACTOR SHALL VERIFY LOCATIONS OF ALL OPENINGS, SLEEVES, AND SLAB RECESSES AS REQUIRED BY OTHER TRADES BEFORE CONCRETE IS PLACED. NO SLEEVE, OPENING, OR INSERT MAY BE PLACED IN BEAMS, JOISTS, OR COLUMNS UNLESS APPROVED BY THE ENGINEER.
  - CONTRACTOR SHALL VERIFY EMBEDDED ITEMS, INCLUDING BUT NOT LIMITED TO ANCHOR BOLTS, BOLT CLUSTERS, WELD PLATES, ETC., BEFORE PLACING CONCRETE. NOTIFY ENGINEER OF ANY CONFLICTS WITH REBAR.
  - GENERAL CONTRACTOR IS RESPONSIBLE FOR THE PROPER DESIGN AND CONSTRUCTION OF ALL FORMWORK, SHORING, AND RESHORING.
  - PROVIDE 3/4" CHAMFERS ON ALL EXPOSED CORNERS OF COLUMNS, BEAMS, AND WALLS UNLESS NOTED OTHERWISE ON ARCHITECTURAL DRAWINGS.
  - STEP AND SLOPE ALL WALKWAYS MINIMUM 1/8" PER FOOT AWAY FROM THE BUILDING.
  - PLACE CONDUIT WITHIN SLAB IN MID-SECTION OF SLAB AND DO NOT BUNDLE THEM (NO MORE THAN 2 CONDUITS TOGETHER).
  - ALL KEY WAYS SHALL BE 1.5"x3.5" MIN.



SCALE: 3/4" = 1'-0"

**CONCRETE STAIR**

ARCHITECTURAL & LIFE SAFETY  
 REVIEW COMPLETED BY  
**M. DELAPUENTE**



**SECTION aa**

APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*Robert H. Norton*

REVIEWED  
 By Rebecca Ballo at 3:40 pm, Apr 02, 2024



**ALLIANCE**  
 Structural Engineers, Inc.  
 19356 Sunrise Valley Dr.  
 Suite 200  
 Reston, Virginia 20191-3447  
 Tel: (703) 749-7941  
 Fax: (703) 749-7942

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DATE	ISSUE/REVISION
2-28-24	PERMIT COMMENTS
1	

Drawing: **NATIONAL PARK SEMINARY GARAGE**  
**13TH ELECTION DISTRICT MONTGOMERY COUNTY, MD**  
 Project: **BETHESDA, MD**  
 Client: **NSPMA**



Date: 10/09/2023	Project No.: 23-373
Drawn: ASE, INC.	Scale: 3/4" = 1'-0"
Designed: ASE, INC.	Drawing No.: SD-1
Checked: ASE, INC.	

To the Historic Preservation Commission of Montgomery County:

Please find attached several documents in support of HAWP Application 1033513 for garage stairs and railings at National Park Seminary (NPS). They include an updated HAWP Application, documents associated with the county DPS construction permit, and approval of the final construction design by the Maryland Historical Trust.

They are:

- HAWP-Application-11033513-REVISED
- Nine documents associated with the approved DPS construction permit 1051541:
  - Comments PreConMtg.pdf V1
  - Commercial Building Permit 1051541.pdf V1
  - ContourMap-0001.pdf V1
  - L-100.pdf V1
  - NPS-0001.pdf V2
  - NPS-0002.pdf V1
  - NPSMA-Plat-VIKA-Survey2005.pdf V1
  - Permit 1051541.pdf V1
  - SD-1.pdf V1
- NPS MHT\_Approve\_03-21-2024

Please let me know of any next steps we need to take for issuance of the HAWP.

Thank you.

Lois Todhunter, NPS Project Coordinator  
240-481-9376