



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert Sutton
Chairman

Date: May 31, 2023

MEMORANDUM

TO: Rabbiah Sabbakhan
Department of Permitting Services

FROM: Michael Kyne
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1030740 Alteration of columns, fenestration alteration, hardscape alteration and addition of mechanical units

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved with one (1) condition** at the May 24, 2023 HPC meeting.

1. Alteration of columns, fenestration alteration, hardscape alteration and addition of mechanical units.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: M-NCPPC (Eileen Emmet, Montgomery Parks)
Address: 12535 Milestone Manor Lane, Germantown

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Michael Kyne at 301.563.3403 or Michael.Kyne@montgomeryplanning.org to schedule a follow-up site visit.





APPLICATION FOR HISTORIC AREA WORK PERMIT
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP#
DATE ASSIGNED

APPLICANT:

Name:
Address:
Daytime Phone:
E-mail:
City:
Zip:
Tax Account No.:

AGENT/CONTACT (if applicable):

Name:
Address:
Daytime Phone:
E-mail:
City:
Zip:
Contractor Registration No.:

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property

Is the Property Located within an Historic District? Yes/District No/Individual

Is there an Easement/Land Trust/Environmental Easement?
map of the property and documentation from the Easement Holder

REVIEWED
By Michael Kyne at 12:48 pm, May 31, 2023

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]

Are other Planning and/or Hearing Examiner Approvals /Reviews (Conditional Use, Variance, Record Plat, etc.?) If YES, include info supplemental information.

Building Number: Street:
Town/City: Nearest Cross Street:
Lot: Block: Subdivision: Parcel:

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- New Construction
Addition
Demolition
Grading/Excavation
Deck/Porch
Fence
Hardscape/Landscape
Roof
Shed/Garage/Accessory Structure
Solar
Tree removal/planting
Window/Door
Other:

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date

Adjacent and Confronting Properties:

Germantown, MD 20876

12615 Royal Crown Drive

12604 Milestone Manor Lane

12602 Milestone Manor Lane

12600 Milestone Manor Lane

12523 Eagle View Way

12532 Milestone Manor Lane

REVIEWED

By Michael Kyne at 12:48 pm, May 31, 2023

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Montgomery County

Historic Preservation Commission



Robert H. Patton

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

REVIEWED

By Michael Kyne at 12:48 pm, May 31, 2023

APPROVED

Montgomery County

Historic Preservation Commission



Robert H. Patton



REVIEWED

By Michael Kyne at 12:48 pm, May 31, 2023

April 25, 2023

Ms. Rebeccah Ballo,
Historic Preservation Supervisor
Montgomery County Planning Department
2425 Reddie Drive
Wheaton, MD 21032

Copy via email to: HAWP@montgomeryplanning.org

Dear Ms. Ballo,

Re: M-19-1 Pleasant Fields (Waters House), 12535 Milestone Manor Lane, Germantown, MD

Please find attached HAWP application materials to complete exterior repairs at the above-mentioned property. A copy of our April 10 application to the Maryland Historical Trust for interior and exterior repairs is attached plus a supplemental application to MHT April 25. A building permit will not be obtained due to the repair nature of the work and Park staff occupancy. If you have any questions, I can be reached at 301.495.2550.

Thank you.

Sincerely,

Eileen Emmet, RA, AIA

Architectural and Special Projects Section

M-NCPPC | Montgomery Parks | Park Development Division

2425 Reddie Drive, 11th Floor | Wheaton, MD 20902

Office: 301.495.2550 | Fax: 301.585.1921

Attachments:

- A. HAWP Application
- B. HAWP Written Description
- C. April 10, 2023, MHT Application Materials
 1. Transmittal Letter
 2. MHT Applications, Work Description and Photos
 3. Drawings
 4. Specifications
- D. April 25, 2023, MHT Additional Information Application



April 25, 2023

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1a. Description of existing structure, environmental setting and significance

The Waters House (also known as Pleasant Fields/Basil Waters House) is a historic house located at 12535 Milestone Road, a Montgomery County historic site located at 12535 Milestone Road. The house resides in a 3.69-acre environmental setting with other farmhouse outbuildings, locally designated as a Montgomery County Historic Resource (c. 1797). The Maryland Historical Trust holds an easement on the property.

Waters House is illustrative of a late 18th to early 20th Century vernacular farmhouse. The house is two and three stories, built in three distinct phases. The western most block consists of the original 2-story farmhouse constructed in 1797 with two later additions added to the east. The first addition, the central 3-story block, was constructed pre-1857 and a second larger 3-story addition was constructed in the 1890's. The house was renovated in the 1990s prior to M-NCPPC ownership.

1b. General description of the project and its effect on the resource.

The project has interior and exterior work governed by the MHT Easement. Exterior repairs specific to this HPC review include: Replacement Wood Shutters; Louver Repair; Porch Column, Floorboards and Railing Repairs; Door Repairs; Wood Clapboard Repairs, Stone Foundation Repairs.

Interior repairs requiring MHT review include energy efficiency improvements such as installation of HVAC equipment and ductwork on the 3rd floor, and wall, floor, and ceiling insulation throughout. To improve the building's functionality and longevity, additional interior repairs will be made: structural, carpentry, masonry, electrical, plaster repairs and painting. Specific work items are listed in the MHT Detailed Work Description Form for our MHT Easement Committee Submission dated April 10 and April 25, attached.

A building permit will not be obtained due to the repair nature of the work and Park staff occupancy. All work will be completed according to the *Secretary of the Interior's Standards for Rehabilitation* and according to the attached plans and specifications. The repairs will have no adverse effect on the building or site and will not mar the integrity of the location, design, setting, materials, workmanship, feeling or association.

There is no adverse effect to the environmental setting.

2. Site Plan: See site plan in architectural plans in MHT Submission

3. Plans and Elevations: See architectural plans in MHT Submission

4. Materials Specification: See compiled specs in MHT Submissions

5. Photographs: See photos in MHT Submissions


6. Tree Survey: N/A

7. Addresses of Adjacent and Confronting Property Owners: Will provide if project is required to have HPC review.


Detailed Work Description Form

(Include all construction, reconstruction, improvement, enlargement, painting and decorating, alteration, demolition, maintenance or repair, and excavation)

Work Item # 23

| | | |
|--|---|--|
| <p>Architectural/Landscape feature: 1797 Block and 1890s Block - Front Porch Column Bases</p> | <p>Describe, in detail, the proposed work and impact on existing feature:</p> | |
| <p>Approximate date of feature: The wood porch framing, flooring and columns are late 20th c. or early 21st c.</p> | <p>Be sure to include details and specifications on proposed products</p> | |
| <p>Describe existing feature and its condition:</p> | <p>Photo no. 23-1,2,3</p> | <p>Drawing no. A101, Illustration A</p> |
| <p>The column bases (at free-standing locations at the front edge of the porch deck) are beginning to rot due to water infiltration that is not drying out properly.</p> | <p>As a preventive measure, we recommend that small, 2" diameter aluminum louvered and screened vents be installed near the base and tops of each column on the front porches. 1797 Block – 3 locations, 1890s Block – 4 locations (see photos). These vents will allow convective air flow to carry away excess moisture, thereby prolonging the life of this historic feature which has a unique profile. Although small, the vents shall be installed on the backside of the columns so that they cannot be seen from the front of the building.</p>  | |

Work Item # 24

| | | |
|---|---|--------------------------------|
| <p>Architectural/Landscape feature: 1st Floor, Front Door Hinges</p> | <p>Describe, in detail, the proposed work and impact on existing feature:</p> | |
| <p>Approximate date of feature: Mid-19th C.</p> | <p>Be sure to include details and specifications on proposed products</p> | |
| <p>Describe existing feature and its condition:</p> | <p>Photo no. 24-1,2,3</p> | <p>Drawing no. A101</p> |
| <p>The main door at the south elevation is a step up from the porch floor. A decorative trim surrounds the pair of doors and two-lite transom. The doors have a single panel with raised trim and a single pane of glass above. The active leaf of the door has a mortise lock with a knob.</p> <p>The door hinges are solid brass (Meant for light weight solid wood/glass doors. It has caused the hinges to mushroom out and separate at the space apart).</p> | <p>The original hinges, as shown in the photos, were larger than the existing ones and likely made of cast-iron. Larger solid-brass, rectangular butt hinges are recommended as replacement hinges because we don't know what the originals looked like. The new so</p> <div data-bbox="885 1617 1372 1995" style="border: 2px solid black; padding: 10px; text-align: center;"> <p>APPROVED</p> <p>Montgomery County</p> <p>Historic Preservation Commission</p>  </div> | |

REVIEWED
By Michael Kyne at 12:48 pm, May 31, 2023

Work Item # 25

| | | |
|---|---|-------------------------|
| Architectural/Landscape feature: 1 st Floor, Rear Door Hinges | Describe, in detail, the proposed work and impact on existing feature: | |
| Approximate date of feature: Mid-19 th C. | <i>Be sure to include details and specifications on proposed products</i> | |
| Describe existing feature and its condition: | Photo no. 25-1,2,3 | Drawing no. A101 |
| <p>The rear exterior doors are typically single-leaf paneled doors with a transom. Possibly replaced with the 1990s renovation and non-contributing.</p> <p>This door opens onto the deck. It has cabinet hinges holding up the door. They are not rated for door use and are quite small. You can see that there were two other sets of hinges on the frame at one point or another in time.</p> | <p>The original hinges, as shown in the photos, were larger than the existing ones and likely made of cast-iron. Larger solid-brass, rectangular butt hinges are recommended as replacement hinges because we don't know what the originals looked like. The original screw holes will be filled so the new screws will grip the jambs.</p> | |

Work Item # 26

| | | |
|---|--|-------------------------|
| Architectural/Landscape feature: 2 nd Floor, Rear Deck Door Repair | Describe, in detail, the proposed work and impact on existing feature: | |
| Approximate date of feature: Unknown. Non-contributing. | <i>Be sure to include details and specifications on proposed products</i> | |
| Describe existing feature and its condition: | Photo no. 26-1,2,3 | Drawing no. A101 |
| <p>The rear exterior doors are typically single-leaf paneled doors with a transom. Possibly replaced with the 1990s renovation and non-contributing.</p> <p>Rotting is occurring at mid-point of door. Approximately 4-in long x ¾-in deep.</p> | <p>Patch with wood consolidating material and paint.</p> | |

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PHOTOGRAPHS:



Photo 23-1: 1797 Block
3 Free-standing columns



Photo 23-2: 1890s Block
4 Free-standing columns



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By Michael Kyne at 12:48 pm, May 31, 2023

Approximate location vents, top and bottom of column

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Photo 23-3: 1797 Block
Proposed Vent Locations



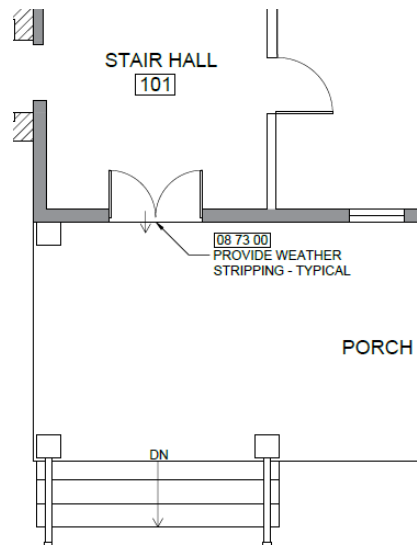
24-1 1890's Block, Front Door



Photo 24-2: 1890s Block, Front Door Hinge



Photo 24-3: 1890s Block, Front Door Hinge



Drawing A101, Front Door

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 By Michael Kyne at 12:48 pm, May 31, 2023

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Ronald A. [Signature]



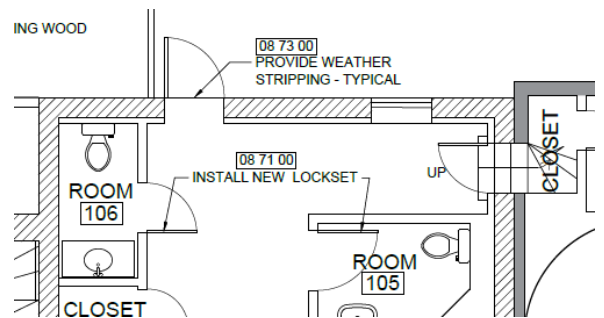
Photo 25-1 1850s Block, Rear Door



Photo 25-2: 1850s Block Door Jamb, Adjacent Rm 106



Photo 25-3: 1850s Block Hinge



Drawing A101, Rear Door

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By Michael Kyne at 12:48 pm, May 31, 2023

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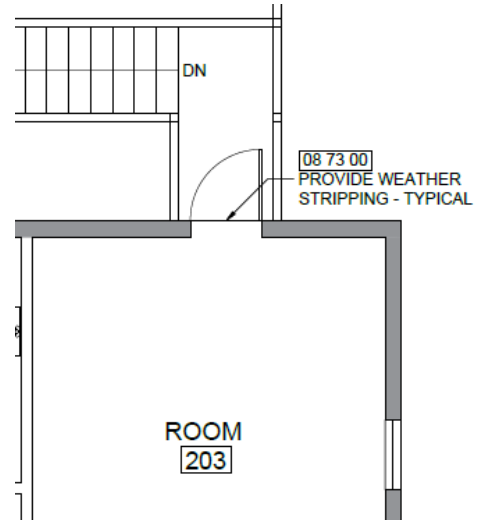
Montgomery County

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A handwritten signature in black ink, appearing to read 'Robert H. Adams'.



Photo 26-1 1890s 2nd Floor Rear Door



Drawing A201, 2nd Floor Plan



Photo 26-2: 1890s Block Rear Door, Rm. 203



Photo 26-3: 1890s Block Rear Door, Rm. 203

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Detailed Work Description Form

(Include all construction, reconstruction, improvement, enlargement, painting and decorating, alteration, demolition, maintenance or repair, and excavation)

Work Item # 1

| | | |
|---|---|-------------------------|
| Architectural/Landscape feature: Rear Porch Floor | Describe, in detail, the proposed work and impact on existing feature: | |
| Approximate date of feature: Although the stone piers supporting the porch appear to be original from 1797, the wood porch framing, flooring and columns are late 20th c. or early 21st c. | Be sure to include details and specifications on proposed products | |
| Describe existing feature and its condition: | Photo no. 01A, 01B | Drawing no. A101 |
| Five fir floorboards and edge trim below the corner 4 x 4 column are severely rotted; the stair treads are worn and cracked. | The full length of rotted flooring and trim will be replaced to match the existing with naturally rot resistant wood of same size, shape and profile as the existing. The new floorboards and trim will be painted to match the existing porch floor. | |

Work Item # 2

| | | |
|--|--|-------------------------|
| Architectural/Landscape feature: Rear Deck Floorboards | Describe, in detail, the proposed work and impact on existing feature: | |
| Approximate date of feature: 1994 | Be sure to include details and specifications on proposed products | |
| Describe existing feature and its condition: | Photo no. 02A, 02B | Drawing no. A101 |
| In the 1994 rear deck addition there are small areas of rot at approximately 20 wood floorboards and severe floorboard rot at five floorboards below one railing post. | The small rotted areas will be cut out and patched with epoxy wood filler. The railing post will be disconnected, the severely rotted flooring will be replaced to match the existing with naturally rot resistant wood of same size, shape and profile as the existing. The new floorboards and trim will be painted to match the existing porch floor. | |

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By Michael Kyne at 12:48 pm, May 31, 2023

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| | | |
|--|---|-----------------------|
| Architectural/Landscape feature: Wood Clapboards | Describe, in detail, the proposed work and impact on existing feature: | |
| Approximate date of feature: 19th c. | Be sure to include details and specifications on proposed products | |
| Describe existing feature and its condition: | Photo no. 03B, 03C | Drawing no. 03 |
| Clapboards at the bottom of the east elevation of the 1890's block and the bottom of the north porch enclosure at the 1797 block are severely deteriorated by dry rot. Two clapboards at the top of the electric meter on the east elevation of the 1890's block are partially deteriorated. | The partially deteriorated areas of clapboards at the electric meter will be cut out and patched with epoxy wood filler. The severely deteriorated clapboards will be replaced to match the existing with naturally rot resistant wood of same size, shape and profile as the existing. | |

Work Item #4

| | | |
|---|---|-------------------------|
| Architectural/Landscape feature: Porch Railing | Describe, in detail, the proposed work and impact on existing feature: | |
| Approximate date of feature: 1994 | Be sure to include details and specifications on proposed products | |
| Describe existing feature and its condition: | Photo no. 04 | Drawing no. A101 |
| The east side railing of the 1797 block front porch steps is severely deteriorated. | The railing will be replaced with naturally rot resistant wood top and bottom rails and square balusters matching the existing in size, shape and profile. Connectors will be galvanized steel. | |

Work Item #5

| | | |
|---|---|-------------------------|
| Architectural/Landscape feature: Wood Louver | Describe, in detail, the proposed work and impact on existing feature: | |
| Approximate date of feature: 19th c. | Be sure to include details and specifications on proposed products | |
| Describe existing feature and its condition: | Photo no. 05 | Drawing no. A200 |
| The wood louver in the front basement opening has two broken slats. | The louver will be removed, new slats installed to match the existing size and profile, and the louver reinstalled. | |

Work Item #6

| | | |
|---|---|----------------------------------|
| Architectural/Landscape feature: Window Shutters | Describe, in detail, the proposed work and impact on existing feature: | |
| Approximate date of feature: 20th c. | Be sure to include details and specifications on proposed products | |
| Describe existing feature and its condition: | Photo no. 06A | Drawing no. A200 |
| The wood louvered shutters have cast-iron pintle hinges and fasteners and hinges. The shutters are in poor condition and are coming off the building. | The and shut and | ainted nt wood oe, profile |

REVIEWED
By Michael Kyne at 12:48 pm, May 31, 2023

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Work Item # 7

| | | |
|---|---|-------------------------------|
| Architectural/Landscape feature: Stone foundations | Des | imp |
| Approximate date of feature: 1797 | Be | |
| Describe existing feature and its condition: | Photo no. 7A, 7B, 7C | Drawing no. A100, A201 |
| Although the foundations are in generally good condition, there are voids at two locations in the 1797 block due to missing stones and mortar is missing at some locations. | Mortar analysis will be performed. New stones matching the existing will be installed and limited repointing with mortar matching the original will be performed. | |



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Montgomery County
Historic Preservation Commission


April 25, 2023

Administrator, Easement Program
Maryland Historical Trust
Maryland Department of Planning
100 Community Place
Crownsville, MD 21032

Copy via email to: mht.easements@maryland.gov

To Whom It Concerns,

Re: M-19-1 Pleasant Fields (Waters House), 12535 Milestone Manor Lane, Germantown, MD

This letter transmits documentation required for Easement Committee Review of additional building envelop repairs being planned for the house. A Detailed Work Description and Photographs are provided for these items:

- Work Item #23: Front Porch Column Vents
- Work Item #24: Front, 1st Floor, Door Hinge Replacement
- Work Item #25: Rear, 1st Floor, Door Hinge Replacement
- Work Item #26: Rear, 2nd Floor, Door Repair

A response by mid-May would be greatly appreciated so we can stay on schedule to bid the work.

Thank you.

Sincerely,



Eileen Emmet, RA, AIA
Architectural and Special Projects Section
M-NCPPC | Montgomery Parks | Park Development Division
2425 Reedie Drive, 11th Floor | Wheaton, MD 20902
Office: 301.495.2550 | Fax: 301.585.1921 | Cell: 301.275.2550

GENERAL NOTES

- ALL WORK SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL LAWS, ORDINANCES, RULES, REGULATIONS, CODES, AND GUIDELINES.
- DO NOT SCALE DRAWINGS.
- CONTRACTOR SHALL VERIFY IN FIELD (VIF) ALL SITE CONDITIONS, UTILITIES, ELEVATIONS, SECTIONS, AND DIMENSIONS PRIOR TO THE START OF WORK. CONTRACTOR IS RESPONSIBLE FOR SURVEY, LAYOUT, AND COORDINATION OF ALL WORK. ANY DISCREPANCIES IN DIMENSIONS AND CONDITIONS, OR DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE M-NCPPC IMMEDIATELY.
- ALL DIMENSIONS SHOWN ON DRAWINGS ARE NOTED FROM FINISH MATERIAL TO FINISH MATERIAL, UNLESS OTHERWISE NOTED.
- FLOOR ELEVATIONS ARE TO THE TOP OF FINISHED FLOOR UNLESS OTHERWISE NOTED.
- CEILING HEIGHT DIMENSIONS ARE TO FINISHED SURFACE OF CEILING UNLESS OTHERWISE NOTED.
- ALL FIRE RATED CONSTRUCTION, IF INDICATED, SHALL CONFORM WITH UL TESTED STANDARDS AND/OR LOCAL REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR TO VERIFY THAT ALL EXISTING RATED WALLS (INCLUDING PENETRATIONS) WERE CONSTRUCTED TO MEET CURRENT REQUIREMENTS FOR A RATED WALL ASSEMBLY, IF DISTURBED, ASSOCIATED OR ADJACENT TO PROJECT SCOPE. CONTRACTOR SHALL NOTIFY THE M-NCPPC OF ANY NON-COMFORMANCE THAT DO NOT APPLY.
- ABBREVIATIONS THROUGHOUT THE PLANS ARE THOSE IN COMMON USE. IF THE MEANING OF AN ABBREVIATION IS UNCLEAR, NOTIFY THE M-NCPPC FOR CLARIFICATION.
- CONTRACTOR SHALL COORDINATE AND PROVIDE ALL NECESSARY BLOCKING, BRACING, STIFFENERS, AND CARRIERS WITHIN WALLS AND CEILINGS AS REQUIRED TO SUPPORT ITEMS TO BE ATTACHED OR HUNG FROM WALLS OR CEILINGS TO MAKE THE WORK COMPLETE.
- PROVIDE SEALANT AT ALL FIXTURES AND CHANGE IN MATERIAL - TYPICAL.
- ALL WORK SHALL BE DONE IN A WORKMAN LIKE MANNER AND IN CONFORMANCE WITH MANUFACTURER'S INSTALLATION AND GUARANTEE REQUIREMENTS.
- THE CONTRACTOR IS SPECIFICALLY RESPONSIBLE FOR ALL MEANS AND METHODS OF JOB SITE SAFETY.
- PROVIDE SAMPLES OF ALL FINISHES FOR APPROVAL PRIOR TO ORDERING OR INSTALLATION.
- ALL ITEMS, EQUIPMENT, APPLIANCES, AND APPARATUS SHALL REMAIN THE PROPERTY OF THE M-NCPPC. VERIFY THOSE ITEMS TO REMAIN AND CAREFULLY REMOVE AND/OR STORE ON SITE AS DIRECTED BY THE M-NCPPC. DO NOT DISPOSE OF ANY ITEMS WITHOUT CONFIRMATION.
- REMOVE ALL DEBRIS PROPERLY FROM SITE, EXCEPT THAT LISTED OR MARKED FOR RETENTION. DISPOSE OF DEBRIS LEGALLY AND DO NOT BURN ON SITE NOR ALLOW DEBRIS TO ENTER SEWER OR STORMWATER SYSTEMS. DO NOT LET PILED DEBRIS ENDANGER STRUCTURE, BLOCK EXITS, OR ROADWAYS. UPON DISCOVERY OF ANY HAZARDOUS MATERIAL, NOTIFY THE M-NCPPC OF THE TYPE, LOCATION, AND EXTENT OF SAME.
- REMOVAL OF A PARTICULAR ITEM, I.E. WALLS, DOORS, ETC. IS TO INCLUDE RELATED ITEMS SUCH AS ELECTRICAL, MECHANICAL, PLUMBING, AND HARDWARE. CARE SHOULD BE TAKEN NOT TO REMOVE MORE THAN IS NECESSARY TO ACCOMMODATE NEW CONSTRUCTION. ANY SURFACES DISTURBED BY REMOVAL ARE TO BE RETURNED TO LIKE-NEW CONDITION WITH NEW MATERIAL TO MATCH SURROUNDING SURFACES.
- UNLESS NOTED OTHERWISE, ALL WORK SHALL BE NEW AND THE M-NCPPC WILL NOT PROVIDE ANY EQUIPMENT, MATERIALS, OR LABOR FOR THE WORK.
- ONLY APPROVED PLANS THAT HAVE BEEN SIGNED BY THE APPROPRIATE AUTHORITIES SHALL BE USED FOR THE CONSTRUCTION OF THE IMPROVEMENTS.
- REFER TO M-NCPPC CONSTRUCTION GENERAL CONDITIONS CONTRACT DOCUMENT FOR ADDITIONAL CONTRACTOR RESPONSIBILITIES.
- INTERIOR WORK AREAS SHALL BE LIMITED TO THOSE APPROVED BY THE M-NCPPC AND PROTECTED FROM DUST, ABRASION OR OTHER DETERIORATION, AND SEPARATED FROM OTHER INTERIOR SPACES BY DUST SHIELDS.

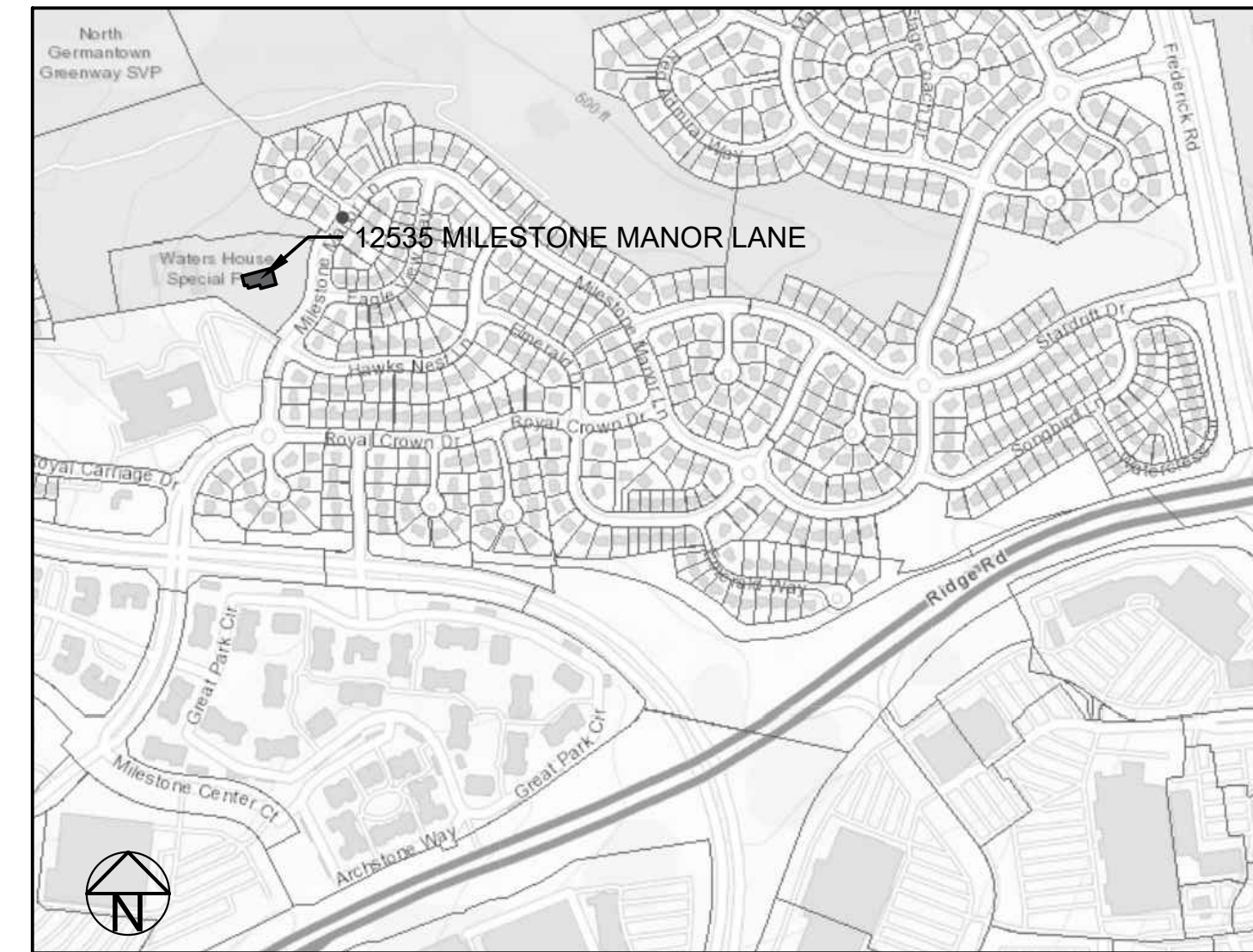
THE MARYLAND - NATIONAL CAPITAL PARK AND PLANNING COMMISSION

HISTORIC WATERS HOUSE BUILDING ENVELOPE REPAIRS

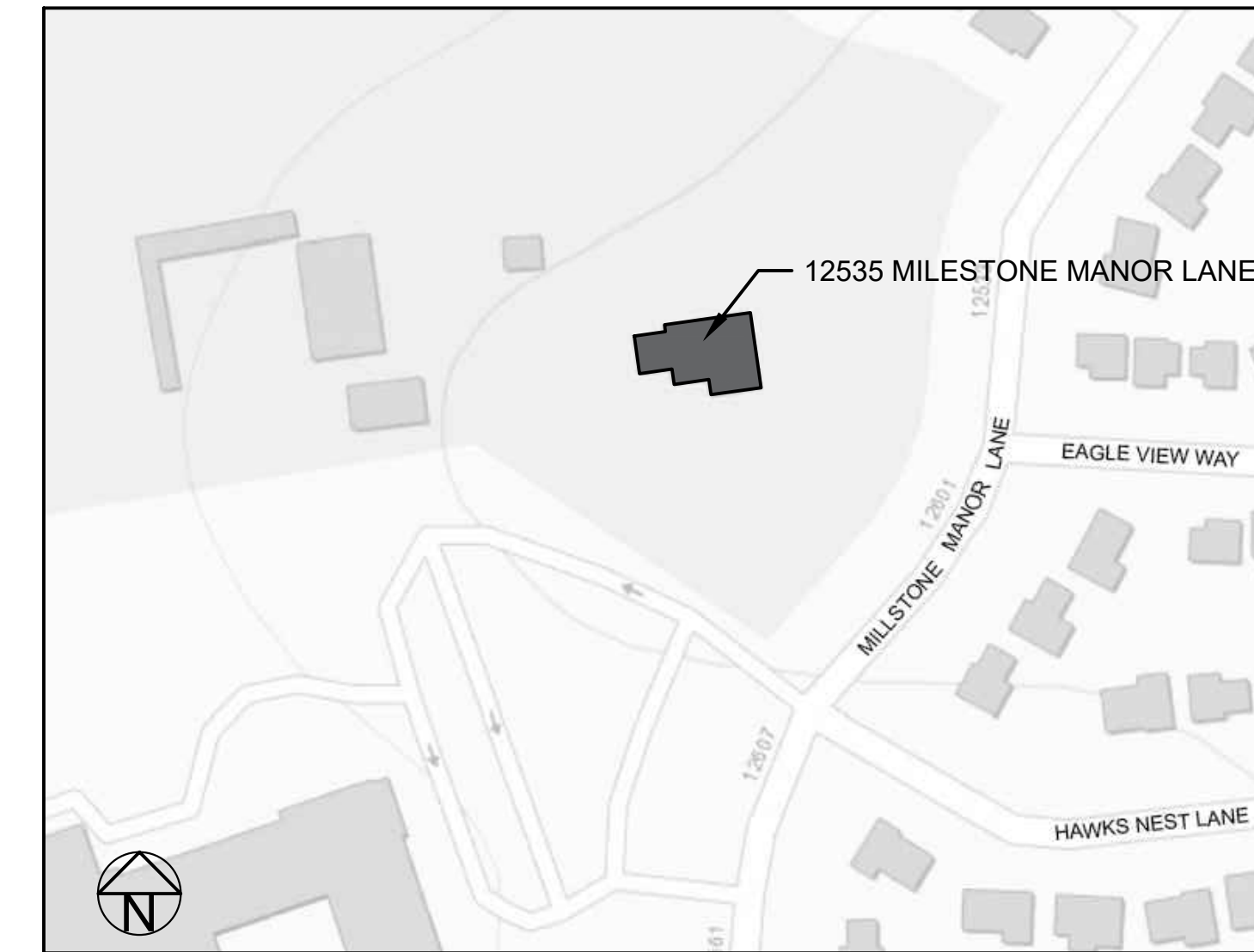
12535 MILESTONE MANOR LANE, GERMANTOWN, MD 20876

PARK CODE: N30-B04

VICINITY MAP



LOCATION MAP



BUILDING IMAGE



DRAWING INDEX

| SHT. NO. | DWG NO. | TITLE |
|----------|---------|-----------------------------|
| 01 | G000 | COVER SHEET |
| 02 | G001 | ABBREVIATIONS AND SYMBOLS |
| 03 | A100 | PROPOSED BASEMENT PLAN |
| 04 | A101 | PROPOSED 1ST FLOOR PLAN |
| 05 | A102 | PROPOSED 2ND FLOOR PLAN |
| 06 | A103 | PROPOSED 3RD FLOOR PLAN |
| 07 | A200 | PROPOSED SOUTH ELEVATION |
| 08 | A201 | PROPOSED WEST ELEVATION |
| 09 | A202 | PROPOSED NORTH ELEVATION |
| 10 | A203 | PROPOSED EAST ELEVATION |
| 11 | A300 | BASEMENT STAIR DETAILS |
| 12 | A301 | STAIR AND CHIMNEY DETAILS |
| 13 | S001 | STRUCTURAL GENERAL NOTES |
| 14 | S110 | BASEMENT / FOUNDATION PLAN |
| 15 | S101 | 1ST FLOOR FRAMING PLAN |
| 16 | S301 | BASEMENT STAIR DETAILS |
| 17 | S302 | BASEMENT FIREPLACE DETAILS |
| 18 | S303 | ROOM 002 FRAMING REPAIRS |
| 19 | S304 | ROOM 002 STONE WALL REPAIRS |
| 20 | S305 | NEWEL POST DETAILS |
| 21 | S306 | MAIN STAIR RAILING DETAILS |
| 22 | M0.0 | MECHANICAL COVER SHEET |
| 23 | M6.1 | MECHANICAL GENERAL NOTES |
| 24 | MD | MECHANICAL DEMOLITION PLANS |
| 25 | ME | MECHANICAL PLANS |
| 26 | P0.0 | PLUMBING COVER SHEET |
| 27 | PE | PLUMBING PLANS |
| 28 | EE001 | ELECTRICAL COVER SHEET |
| 29 | EE501 | ELECTRICAL DETAILS |
| 30 | EE502 | ELECTRICAL DETAILS |
| 31 | EE601 | ELECTRICAL SCHEDULE |
| 32 | EP101 | BASEMENT POWER PLAN |
| 33 | EP102 | 1ST FLOOR POWER PLAN |
| 34 | EP103 | 2ND FLOOR POWER PLAN |
| 35 | EP104 | 3RD FLOOR POWER PLAN |
| 36 | EL101 | BASEMENT LIGHTING PLAN |
| 37 | EL102 | 1ST FLOOR LIGHTING PLAN |
| 38 | EL103 | 2ND FLOOR LIGHTING PLAN |

CODE ANALYSIS

APPLICABLE CODES

- BUILDING CODES
- 2018 INTERNATIONAL BUILDING CODE
- 2018 INTERNATIONAL EXISTING BUILDING CODE
- 2015 NFPA 101 LIFE SAFETY CODE

PARCEL DATA

DISTRICT: 02, MAP: EV51,
SUBDIVISION: 0020, BLOCK: N

CODE ANALYSIS (EXISTING BUILDING)

| | |
|-----------------------------------|--|
| IBC OCCUPANCY CLASSIFICATIONS | B |
| TYPE OF CONSTRUCTION: | 5B |
| NUMBER OF STORIES ABOVE GRADE: | 3 |
| FULLY SPRINKLERED: | YES |
| FIRE ALARM: | NO - NOT REQUIRED UNLESS LEVEL II RENOVATION |
| SMOKE DETECTORS: | YES |
| OCCUPANT LOAD: | N/A |
| ENERGY COMPLIANCE PATH: | N/A |
| HISTORIC STRUCTURE: | LISTED ON MONTGOMERY COUNTY MASTER PLAN FOR HISTORIC PRESERVATION (REFER TO PROJECT DESCRIPTION) |
| EXPOSED INSULATION PER IBC 720.3: | FLAME SPREAD RATING NO MORE THAN 25 SMOKE DEVELOPED INDEX NO MORE THAN 450 |

REVIEWED
By Michael Kyne at 12:50 pm, May 31, 2023

APPROVED
Montgomery County
Historic Preservation Commission
Robert H. [Signature]

PROJECT DESCRIPTION/SUMMARY

THE WATERS HOUSE IS A MONTGOMERY PARKS, MARYLAND NATIONAL CAPITAL PARK AND PLANNING (M-NCPPC) OWNED HISTORIC SITE LOCATED AT 12535 MILESTONE MANOR LANE, GERMANTOWN, MD 20876. CONSTRUCTED IN THREE DISTINCT PHASES, WATERS HOUSE IS ILLUSTRATIVE OF A LATE 18TH TO THE EARLY 20TH CENTURY VERNACULAR FARMHOUSE. THE WESTERN MOST BLOCK CONSIST OF THE ORIGINAL FARMHOUSE CONSTRUCTED IN 1797 WITH TWO LATER ADDITIONS ADDED TO THE EAST. THE FIRST ADDITION WAS CONSTRUCTED PRE-1857 AND A SECOND LARGER ADDITION WAS CONSTRUCTED IN THE 1890'S. IT IS LOCALLY DESIGNATED AS A MONTGOMERY COUNTY HISTORIC RESOURCE (c.1797), RESOURCE NO. MP19/001. ALL WORK SHALL CONFORM WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR THE PRESERVATION OF HISTORIC PROPERTIES (1995) AND ITS RELATED PRESERVATION BRIEFS.

THE MARYLAND HISTORICAL TRUST (MHT) HOLDS A PRESERVATION EASEMENT ON THIS PROPERTY. ALL WORK DESCRIBED IN THESE DRAWINGS HAS RECEIVED MHT APPROVAL TO PROCEED. DEVIATIONS FROM THESE DRAWINGS COULD TRIGGER A DELAY UNTIL THE DEVIATION IS APPROVED BY THE M-NCPPC AND THE MHT.

SCOPE OF WORK: REPLACE SHUTTERS, INSULATE FRAME WALLS, MISCELLANEOUS ARCHITECTURAL, STRUCTURAL, AND MEP REPAIRS.

ENCORE
SUSTAINABLE ARCHITECTS
ARCHITECTURE PRESERVATION
31 LIGHT STREET, SUITE 500, BALTIMORE, MD 21202
(410) 624-5461

MCC=1200
ARCHITECTURAL ENGINEERS PLLC
1200 ARCHITECTURAL ENGINEERS
210 NORTH LEE ST, SUITE 210
ALEXANDRIA, VA 22314
703-350-4151
SPECTRUM
ENGINEERS
9520 BERGER ROAD, SUITE 212, COLUMBIA, MD 21046
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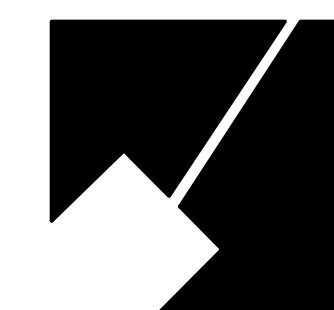
DRAWING CHECKED BY:

| Submission Name | Initials | Date |
|-----------------|----------|-----------|
| MHT SUBMISSION | WB/JW | 4/10/2023 |
| | | |
| | | |
| | | |

PROFESSIONAL CERTIFICATION:
I certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws under of the State of Maryland.

LICENSE NO. 5011
EXPIRATION DATE: 12/25/2023

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The Maryland-National Capital
Park and Planning Commission
Montgomery County Department of Parks
9500 Brunett Avenue
Silver Spring, Maryland 20901
(301) 495-2535

SUBMISSION / REVISION

| Rev. No. | Date | Description |
|----------|------------|----------------|
| | 04.10.2023 | MHT SUBMISSION |
| | | |
| | | |
| | | |

COVER SHEET

BUILDING ENVELOPE REPAIRS

HISTORIC WATERS HOUSE
12535 MILESTONE MANOR LANE
GERMANTOWN, MD 20876

SCALE: N/A

DWG.

G000

FINAL EXAMINED PLAN SHOWN PLAN CODE

DEFINITIONS

DISASSEMBLE: CAREFULLY TAKE APART MATERIALS (OR COMPONENTS) THAT ARE TO BE SALVAGED AND STORED.

REMOVE: TAKE AWAY MATERIALS THAT ARE NOT TO BE SALVAGED, AND DISPOSE OF THEM IN A PROPER AND LEGAL MANNER.

REFINISH: MAKE SURFACE REPAIRS AND APPLY A NEW PERMANENT FINISH.

REFURBISH: REPAIR SURFACE AND FUNCTIONALITY OF ITEM TO ASSURE PERMANENT INTEGRITY, OPERATION AND FINISH APPEARANCE.

REPLACE: REMOVE MATERIAL OR ITEM AND DISPOSE OF IN A PROPER AND LEGAL MANNER. MANUFACTURER REPLACEMENT THAT MATCHES THE EXISTING IN KIND.

REPAIR: FIX OR MEND EXISTING TO ASSURE PERMANENT INTEGRITY, OPERATION, AND FINISH APPEARANCE.

RESTORE: REMOVE FINISHES AS NECESSARY, AS WELL AS MATERIAL DAMAGE, IF ANY. MAKE REPAIRS TO BASE MATERIALS AND REFINISH MATERIAL.

SALVAGE: RETAIN MATERIAL OR ITEM FOR REPAIR AND REINSTALLATION IN PLACE.

TME: TO MATCH EXISTING IN LIKE/KIND MATERIAL, FINISH AND COLOR.

HISTORICAL NOTES

1. AN ARCHEOLOGICAL MONITOR WILL BE REQUIRED TO BE ON-SITE DURING ANY GROUND DISTURBING ACTIVITY OR WORK IN ARCHEOLOGICALLY SENSITIVE AREAS, INCLUDING REMOVAL OF LARGE PLANTS, GRADING, ETC. IF ARTIFACTS SURFACE, WORK WILL BE HALTED WHILE THE MONITOR ASSESSES THE SITUATION.
2. PRIOR TO REMOVAL OF ANY HISTORICAL BUILDING FEATURE OR MATERIAL FOR THE PURPOSE OF SALVAGE OR DEMOLITION, THE CONTRACTOR SHALL PROVIDE A MINIMUM OF 72-HOURS WRITTEN ADVANCE NOTICE TO THE M-NCPPC.
3. IF THE CONTRACTOR PROPOSES CHANGES TO HISTORIC FEATURES OR MATERIALS THAT RESULT IN DEVIATION FROM THESE APPROVED PLANS, THE CONTRACTOR SHALL NOTIFY THE M-NCPPC IN ADVANCE. THE PROPOSED CHANGE MAY REQUIRE APPROVAL OF THE HISTORIC AUTHORITIES HAVING JURISDICTION BEFORE ANY CHANGE IS ALLOWED TO PROCEED.
4. WHERE DRAWINGS INDICATE "REPAIR" OR "REPLACE", UNLESS NOTED OTHERWISE DO SO WITH IN-KIND MATERIALS THAT MATCHES THE EXISTING CONDITION WITH RESPECT TO MATERIAL TYPE, THICKNESS, FINISH AND/OR TEXTURE.
5. THE M-NCPPC SHALL BE THE JUDGE OF THE RELATIVE HISTORIC SIGNIFICANCE OF ANY FEATURE. NO ELEMENT SHALL BE ALTERED, REMOVED, REUSED OR TAKEN FROM THE PREMISES WITHOUT PRIOR APPROVAL OF THE M-NCPPC.

REFERENCE SYMBOLS

| | |
|--|---|
| <p>EXISTING/ DEMOLISHED</p> <p> EXISTING WALL TO REMAIN</p> <p> EXISTING WALL TO BE DEMOLISHED</p> <p> EXISTING WALL TO BE SALVAGED</p> <p>SECTIONS / DETAILS / ENLARGED PLANS</p> <p> REFERENCE NUMBER</p> <p> SHEET NUMBER</p> <p> REFERENCE NUMBER</p> <p> SHEET NUMBER</p> <p> AREA OF DETAIL</p> <p>ELEVATION REFERENCE SYMBOLS</p> <p>INTERIOR ELEVATION:</p> <p> ELEVATION NUMBER</p> <p> SHEET REFERENCE</p> <p>EXTERIOR ELEVATION:</p> <p> REFERENCE NUMBER</p> <p> SHEET NUMBER</p> <p>REVISION REFERENCE SYMBOLS</p> <p> REVISION CLOUD / AREA OF DRAWING REVISIONS</p> <p> REVISION DELTA & NUMBER</p> | <p>NEW CONSTRUCTION</p> <p> NEW WALL</p> <p>ROOM DESIGNATION:</p> <p> ROOM NAME</p> <p> ROOM NUMBER</p> <p> AREA</p> <p>PLAN REFERENCE SYMBOLS</p> <p>DOOR DESIGNATION:</p> <p> DOOR NUMBER</p> <p>WINDOW DESIGNATION:</p> <p> WINDOW NUMBER</p> <p>PARTITION DESIGNATION:</p> <p> PARTITION NUMBER</p> <p>EQUIPMENT DESIGNATION:</p> <p> EQUIPMENT NUMBER</p> <p>KEY NOTE:</p> <p> DEMOLITION KEY NOTE NUMBER</p> <p> PROPOSED KEY NOTE NUMBER</p> |
|--|---|

MATERIAL SYMBOLS

| | | |
|-----------------------|-----------------------|--------------------------|
| ALUMINUM | GLASS- CROSS SECTION | STEEL |
| BATT INSULATION | GRAVEL | WATER BARRIER |
| BRICK | GROUT | WOOD - ROUGH |
| CONCRETE | GYPSUM OR SAND | WOOD - FINISH |
| CONCRETE MASONRY UNIT | RIGID INSULATION | WOOD BLOCKING |
| EARTH | SEMI-RIGID INSULATION | WOOD - SUBSTRATE PLYWOOD |

REVIEWED
By Michael Kyne at 12:50 pm, May 31, 2023

APPROVED
Montgomery County
Historic Preservation Commission

ENCORE
SUSTAINABLE ARCHITECTS
ARCHITECTURE PRESERVATION
31 LIGHT STREET, SUITE 500, BALTIMORE, MD 21202
(410) 624-5461

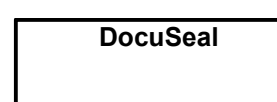
MCC 1200
ARCHITECTURAL ENGINEERS PLLC
1200 ARCHITECTURAL ENGINEERS
210 NORTH LEE ST, SUITE 210
ALEXANDRIA, VA 22314
703-350-4151
SPECTRUM
ENGINEERS
9520 BERGER ROAD, SUITE 212, COLUMBIA, MD 21046
(410) 381-8010

DRAWING CHECKED BY:

| Submission Name | Initials | Date |
|-----------------|----------|-----------|
| MHT SUBMISSION | WB/JW | 4/10/2023 |
| | | |
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| | | |

PROFESSIONAL CERTIFICATION:
I certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws under of the State of Maryland.

LICENSE NO. 5011
EXPIRATION DATE: 12/25/2023



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Montgomery County Department of Parks
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(301) 495-2535

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ABBREVIATIONS AND SYMBOLS

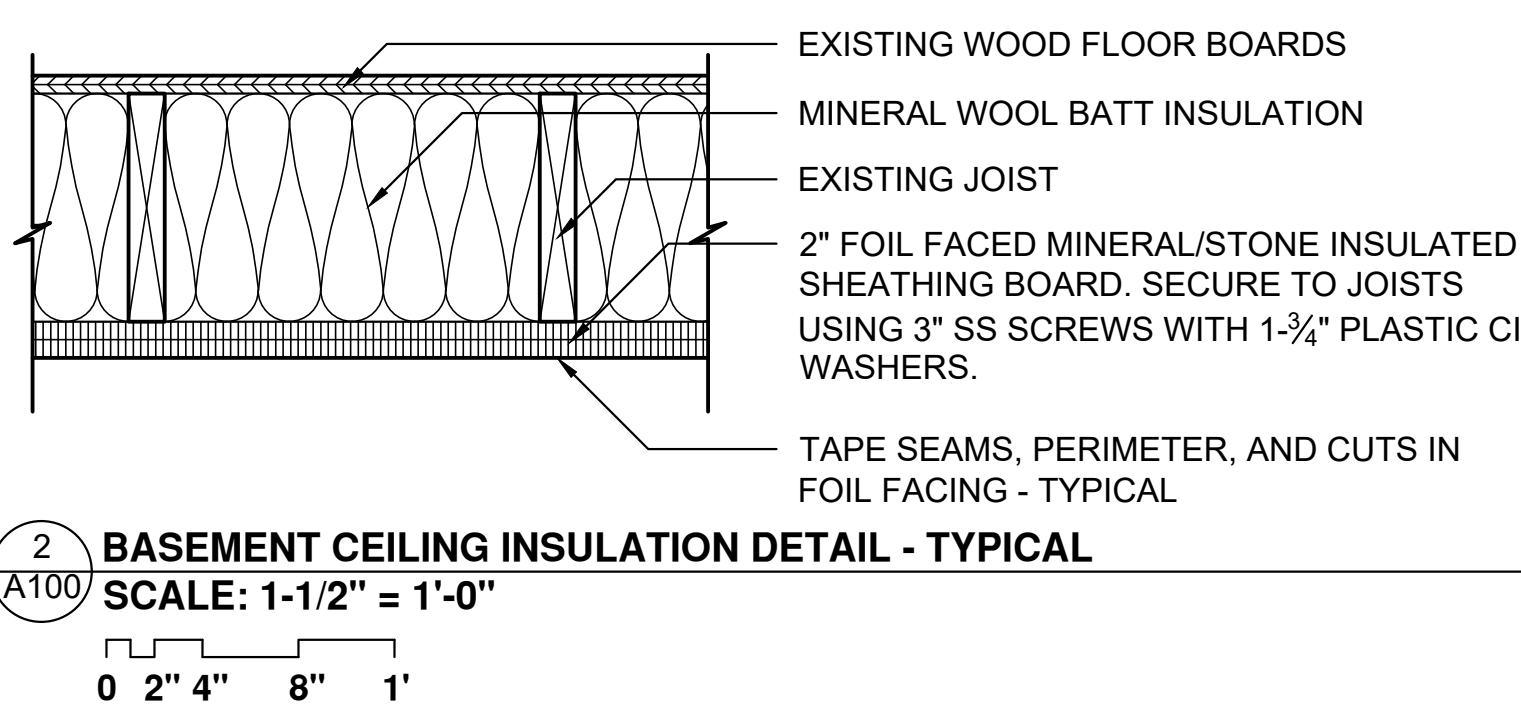
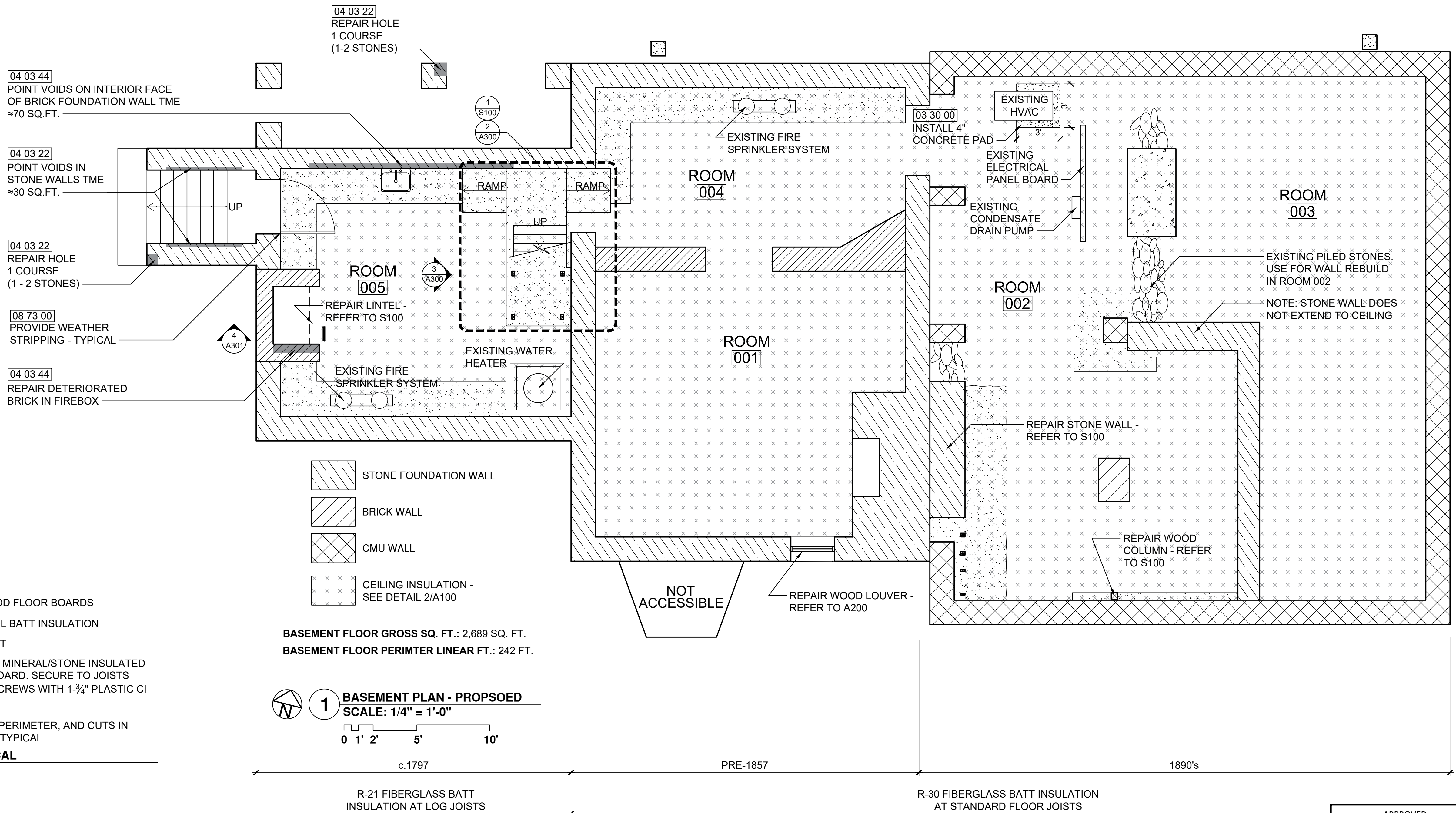
BUILDING ENVELOPE REPAIRS
HISTORIC WATERS HOUSE
12535 MILESTONE MANOR LANE
GERMANTOWN, MD 20876
SCALE: N/A

DWG. #

G001

OUTLINE SPECS

- 03 30 00 **CONCRETE**
HVAC PAD: 4" THICK 3,000 PSI CONCRETE WITH 6X6 WWM ON 4" MINIMUM COMPACTED GRAVEL BASE. TROWELED FINISH.
RAMP AND LANDING AT BASEMENT STAIR: REFER TO STRUCTURAL
- 04 03 22 **STONework REPAIR**
TAKE MORTAR SAMPLE FROM WORK AREA AND PERFORM MORTAR ANALYSIS. REMOVE DEBRIS AND LOOSE MORTAR. PREWET AND FILL VOIDS WITH MORTAR MATCHING TEST RESULTS IN COMPOSITION AND COLOR; APPLY IN COMPACTED LAYERS NOT MORE THAN 1" THICK. FINISH WITH CHURN BRUSH SO SURFACE TEXTURE MATCHES EXISTING JOINTS. FILL LARGE VOIDS WITH LARGE STONE MATCHING THE EXISTING IN TYPE, COLOR AND TEXTURE. USE GALLETING WITH SMALL STONES AS REQUIRED IN LARGE MORTAR AREAS.
- 04 03 44 **BRICKWORK REPAIR**
TAKE MORTAR SAMPLE FROM WORK AREA AND PERFORM MORTAR ANALYSIS. FIND SALVAGED BRICK OR PURCHASE NEW BRICK MATCHING EXISTING SIZE, SHAPE AND TEXTURE. REMOVE DEBRIS AND LOOSE MORTAR. PREWET AND FILL VOIDS WITH MORTAR MATCHING TEST RESULTS IN COMPOSITION AND COLOR; APPLY IN COMPACTED LAYERS NOT MORE THAN 1" THICK. FINISH WITH CHURN BRUSH SO SURFACE TEXTURE MATCHES EXISTING JOINTS.
- 07 21 00 **MINERAL/STONE WOOL INSULATED SHEATHING BOARD**
INSTALL 1-1/2" MINERAL/STONE WOOL INSULATED SHEATHING BOARD. SECURE TO STUDS USING 3" SS SCREWS WITH 1-3/4" PLASTIC CI WASHERS.
MINERAL WOOL BATT INSULATION
INSTALL MINERAL WOOL BATT INSULATION BETWEEN EXISTING CEILING JOIST. R-30 TYPICAL, R-21 AT LOG JOISTS
- 08 73 00 **WEATHER STRIPPING**
CLEAN DOOR TOP AND SIDES, AND JAMBS AND HEADER. TIGHTEN HINGES. PRIOR TO INSTALLTION OF WEATHER STRIPPING, SURVEY DOORS TO CONFIRM SMOOTH OPERATION WITH VARYING TEMPERATURES AND HUMIDITY LEVELS. INSTALL SPRING BRONZE V-STRIP WITH STAINLESS STEEL FINISH TACKS. INSTALL BRONZE COLOR ALUMINUM DOOR SWEEP AT BOTTOM OF INTERIOR SIDE OF DOOR.



BASEMENT FLOOR GROSS SQ. FT.: 2,689 SQ. FT.
BASEMENT FLOOR PERIMTER LINEAR FT.: 242 FT.

1 BASEMENT PLAN - PROPOSED
SCALE: 1/4" = 1'-0"

0 1' 2' 5' 10'

REVIEWED
By Michael Kyne at 12:50 pm, May 31, 2023

APPROVED
Montgomery County
Historic Preservation Commission

[Signature]

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ARCHITECTURE PRESERVATION
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(410) 381-8010

DRAWING CHECKED BY:

| Submission Name | Initials | Date |
|-----------------|----------|-----------|
| MHT SUBMISSION | WB/JW | 4/10/2023 |
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PROFESSIONAL CERTIFICATION:
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LICENSE NO. 5011
EXPIRATION DATE: 12/25/2023

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Montgomery County Department of Parks
9500 Brunett Avenue
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(301) 495-2535

SUBMISSION / REVISION

| Rev. No. | Date | Description |
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| | 04.10.2023 | MHT SUBMISSION |
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PROPOSED BASEMENT PLAN

BUILDING ENVELOPE REPAIRS

HISTORIC WATERS HOUSE
12535 MILESTONE MANOR LANE
GERMANTOWN, MD 20876
SCALE: 1/2" = 1'-0"

DWG. #
A100

OUTLINE SPECS

- 03 30 00 **CONCRETE**
HVAC PAD: 4" THICK 3,000 PSI CONCRETE WITH 6X6 WMM ON 4" MINIMUM COMPACTED GRAVEL BASE. TROWELED FINISH.
- 06 30 00 **EPOXY WOOD REPAIR - (BY OTHERS)**
REMOVE SEVERELY DETERIORATED WOOD. TREAT SOFT, SPONGY WOOD AND PRIME VOIDS WITH LIQUID CONSOLIDANT. WHERE NECESSARY, SEAL BACK SIDE OF HOLES. FILL VOIDS WITH EPOXY PUTTY. AFTER 24 HOURS MINIMUM, SAND HARDENED EPOXY FLUSH WITH ADJACENT SOUND WOOD. PRIME AND PAINT ENTIRE BOARD TME. SUBMIT COLORS TO PARKS FOR REVIEW AND APPROVAL. FOR DECK ASSUME 22 SMALL REPAIRS, PROVIDE UNIT COST IN BID FOR ADDITIONAL REPAIRS.
- 06 40 00 **WOOD TRIM & RAILINGS**
REMOVE DETERIORATED WOOD RAILING. INSTALL NEW ROT NATURALLY RESISTANT WOOD RAILING TME. NATURALLY ROT RESISTANT WOOD SPECIES INCLUDE BUT ARE NOT LIMITED TO: MAHOGANY, CEDAR, TEAK, REDWOOD, WHITE OAK, CYPRESS, AND BLACK WALNUT. PRIME AND TWO COAT PAINT TME.
- 07 21 00 **BLOW-IN INSULATION**
WALLS: SEPARATE WORK AREA FROM OTHER AREAS OF THE BUILDING BY CREATING AN AIR TIGHT SEAL. DRILL 2" HOLES FOR BLOWER NOZZLE IN INTERIOR SIDE OF INDICATED WALLS NEAR THE TOP OF EVERY CAVITY SPACE; AT BUILDING CORNERS HOLE MUST BE BOTH ABOVE AND BELOW INTERNAL CORNER BRACES. BLOW-IN BORATE TREATED INSULATION TO FILL VOIDS PER MANUFACTURER'S INSTRUCTIONS. PATCH HOLES WITH PLASTER TME. PAINT ALL WALLS IN ROOMS WITH NEW WALL INSULATION TME. SUBMIT COLORS TO PARKS FOR REVIEW AND APPROVAL. SUBMIT INFRARED PHOTOGRAPHS INDICATING ALL CAVITIES HAVE BEEN FILLED WITH INSULATION.
- 08 71 00 **TOILET ROOM LOCKSETS**
TOILET ROOM 105: REMOVE EXISTING KNOB LOCKSET AND REPLACE WITH PRIVACY LOCKSET WITH LEVER HANDLES; SCHLAGE CUSTOM WHITNEY LEVER WITH ALDEN TRIM, AND DEADBOLT WITH THUMB LATCH ON INTERIOR; BOTH WITH SATIN BRASS FINISH.
TOILET ROOM 106: ADD HORIZONTAL SLIDEBOLT ABOVE EXISTING HISTORIC BOX LOCK; EVERBILT 4" SATIN BRASS SURFACE BOLT WITH CONCEALED SCREW HEADS.
- 08 73 00 **WEATHER STRIPPING**
CLEAN DOOR TOP AND SIDES, AND JAMBS AND HEADER. TIGHTEN HINGES. PRIOR TO INSTALLTION OF WEATHER STRIPPING, SURVEY DOORS TO CONFIRM SMOOTH OPERATION WITH VARYING TEMPERATURES AND HUMIDITY LEVELS. INSTALL SPRING BRONZE V-STRIP WITH STAINLESS STEEL FINISH TACKS. INSTALL BRONZE COLOR ALUMINUM DOOR SWEEP AT BOTTOM OF INTERIOR SIDE OF DOOR.

06 40 00
REPLACE FULL LENGTH OF 5 DAMAGED FLOORBOARDS AND EDGE TRIM TME. INSTALL METAL COLUMN BASE TME.

1
A201

03 30 00
INSTALL 4" CONCRETE PAD

03 30 00
INSTALL 4" CONCRETE PAD

APPROVED
Montgomery County
Historic Preservation Commission
Robert H. Porter

1ST FLOOR GROSS SQ. FT.: 2,776 SQ. FT.
1ST FLOOR PERIMETER LINEAR FT.: 250 FT.

1 FIRST FLOOR PLAN - EXISTING
SCALE: 1/4" = 1'-0"
0 1' 2' 5' 10'

■ BLOWN-IN BORATE TREATED INSULATION IN FRAME WALL
▨ BRICK WALL

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DRAWING CHECKED BY:

| Submission Name | Initials | Date |
|-----------------|----------|-----------|
| MHT SUBMISSION | WB/JW | 4/10/2023 |
| | | |
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| | | |

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LICENSE NO. 5011
EXPIRATION DATE: 12/25/2023

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(301) 495-2535

SUBMISSION / REVISION

| Rev. No. | Date | Description |
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| | | |

PROPOSED 1ST FLOOR PLAN

BUILDING ENVELOPE REPAIRS

HISTORIC WATERS HOUSE
12535 MILESTONE MANOR LANE
GERMANTOWN, MD 20876

SCALE: 1/4" = 1'-0"

DWG. #

A101

FINAL REVISION

PLAN REVISION

PARK CODE

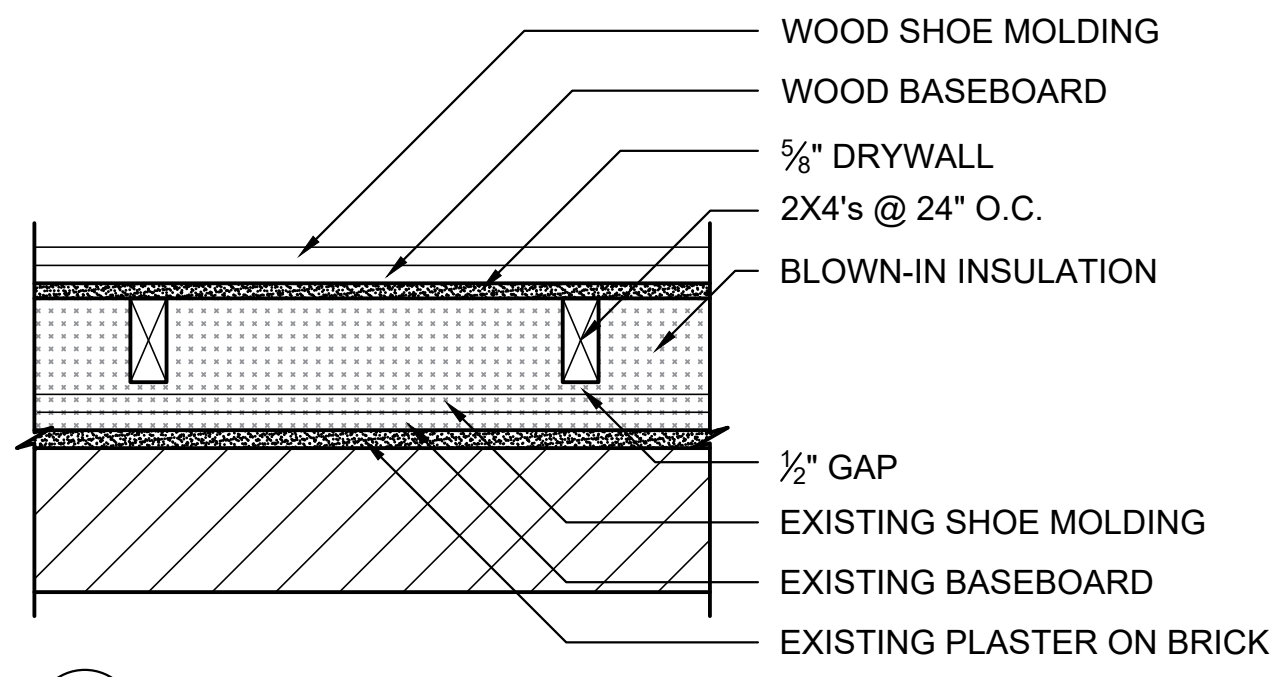
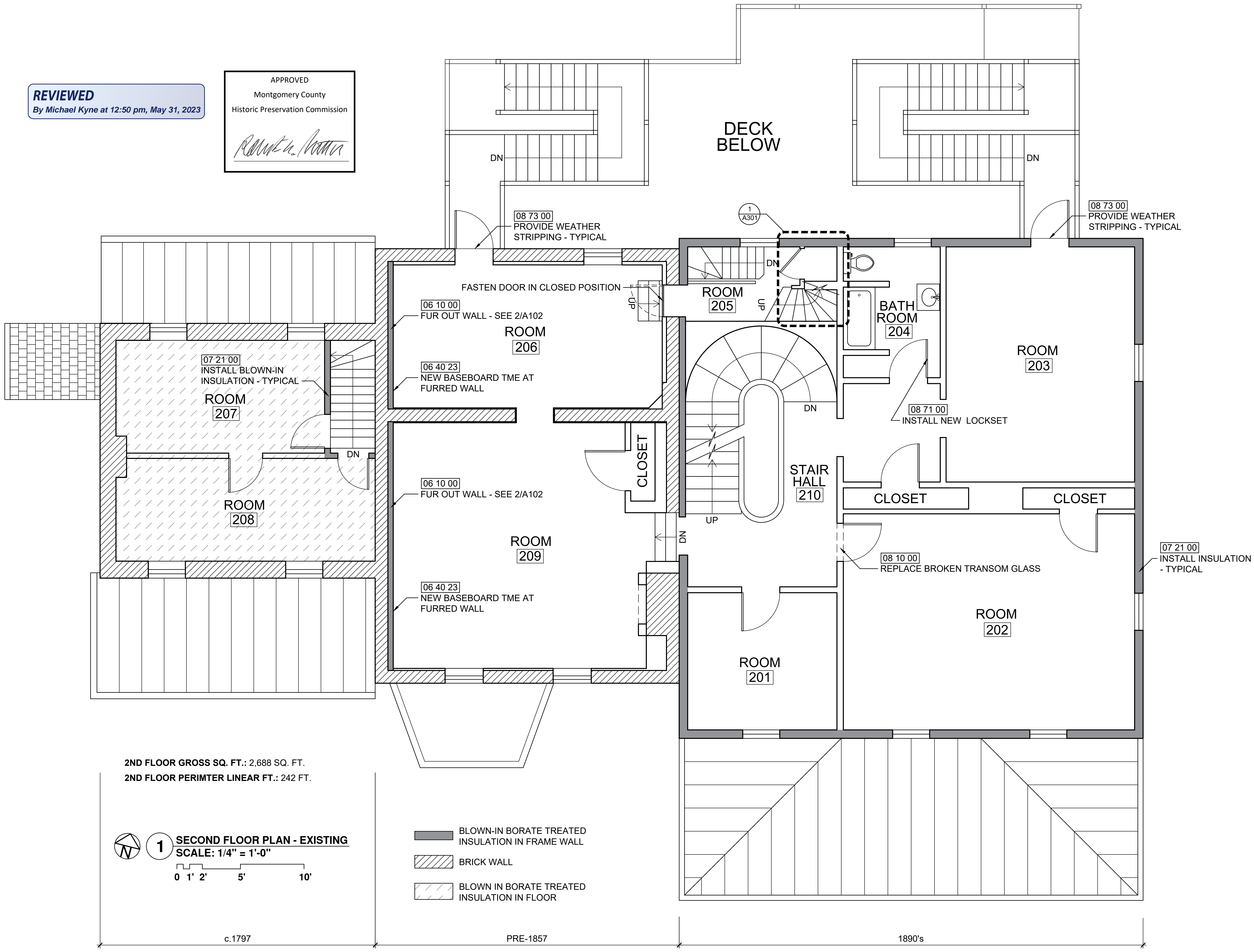
OUTLINE SPECS

- 06 10 00 **WOOD WALL FRAMING**
INSTALL #2 FIR STUDS AND PLATES WITH 3" CONSTRUCTION GRADE DRIVE SCREWS. NEW STUD WALL SHOULD BE INSTALLED TO PROVIDE 1/2" CLEANANCE TO EXISTING SHOE MOLDING. PRIME AND TWO COAT PAINT WALL TME.
- 06 40 23 **WOOD BASEBOARD & PICTURE RAIL**
INSTALL NEW CUSTOM BASEBOARD, SHOE MOLD, & PICTURE RAIL TME SIZE AND PROFILE; CLEAR PINE OR POPLAR. COPE ENDS OF NEW BASEBOARD TO OVERLAP EXISTING BASEBOARD. PRIME AND TWO COAT PAINT TME. SUBMIT COLORS TO PARKS FOR REVIEW AND APPROVAL.
- 07 21 00 **BLOWN-IN INSULATION**
WALLS: SEPARATE WORK AREA FROM OTHER AREAS OF THE BUILDING BY CREATING AN AIR TIGHT SEAL. DRILL HOLES FOR BLOWER NOZZLE IN INTERIOR SIDE OF INDICATED WALLS NEAR THE TOP OF EVERY CAVITY SPACE; AT BUILDING CORNERS HOLE MUST BE BOTH ABOVE AND BELOW INTERNAL CORNER BRACES. BLOW-IN BORATE TREATED INSULATION TO FILL VOIDS PER MANUFACTURER'S INSTRUCTIONS. PATCH HOLES TME. PAINT ALL WALLS IN ROOMS WITH NEW WALL INSULATION TME. SUBMIT COLORS TO PARKS FOR REVIEW AND APPROVAL. SUBMIT INFRARED PHOTOGRAPHS INDICATING ALL CAVITIES HAVE BEEN FILLED WITH INSULATION.

FLOOR: SEPARATE WORK AREA FROM OTHER AREAS OF THE BUILDING BY CREATING AN AIR TIGHT SEAL. CAREFULLY REMOVE SELECT FLOOR BOARDS AS NEEDED TO ACCESS VOIDS BETWEEN FLOOR JOISTS. BLOW-IN BORATE TREATED INSULATION TO FILL VOIDS PER MANUFACTURER'S INSTRUCTIONS. REINSTALL FLOOR BOARDS PREVIOUSLY REMOVED. SUBMIT INFRARED PHOTOGRAPHS INDICATING ALL CAVITIES HAVE BEEN FILLED WITH INSULATION.
- 08 10 00 **GLASS REPAIR**
SOFTEN EXISTING PUTTY WITH INFRA RED HEATER, REMOVE PUTTY, PUSH POINTS AND GLASS. INSTALL NEW DOUBLE-STRENGTH FLOAT GLASS PANE, WITH CRL PUSH POINTS AND DAP GLAZING PUTTY. PAINT ENTIRE FRAME AND PUTTY TME. SUBMIT COLORS TO PARKS FOR REVIEW AND APPROVAL.
- 08 71 00 **TOILET ROOM LOCKSETS**
TOILET ROOM 204: REMOVE EXISTING KNOB LOCKSET AND REPLACE WITH PRIVACY LOCKSET WITH LEVER HANDLES; SCHLAGE CUSTOM WHITNEY LEVER WITH ALDEN TRIM, AND DEADBOLT WITH THUMBLATCH ON INTERIOR; BOTH WITH SATIN BRASS FINISH.
- 08 73 00 **WEATHER STRIPPING**
CLEAN DOOR TOP AND SIDES, AND JAMBS AND HEADER. TIGHTEN HINGES. INSTALL SPRING BRONZE V-STRIP WITH STAINLESS STEEL FINISH TACKS. INSTALL BRONZE COLOR ALUMINUM DOOR SWEEP AT BOTTOM OF INTERIOR SIDE OF DOOR.

REVIEWED
By Michael Kyne at 12:50 pm, May 31, 2023

APPROVED
Montgomery County
Historic Preservation Commission
Robert H. Porter



2ND FLOOR GROSS SQ. FT.: 2,688 SQ. FT.
2ND FLOOR PERIMTER LINEAR FT.: 242 FT.

1 SECOND FLOOR PLAN - EXISTING
SCALE: 1/4" = 1'-0"
0 1' 2' 5' 10'

- BLOWN-IN BORATE TREATED INSULATION IN FRAME WALL
- BRICK WALL
- BLOWN IN BORATE TREATED INSULATION IN FLOOR

2 FURRED WALL DETAIL
SCALE: 1-1/2" = 1'-0"
0 2" 4" 8" 1'

ENCORE
SUSTAINABLE ARCHITECTS
ARCHITECTURE PRESERVATION
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(410) 381-8010

| DRAWING CHECKED BY: | | |
|---------------------|----------|-----------|
| Submission Name | Initials | Date |
| MHT SUBMISSION | WB/JW | 4/10/2023 |
| | | |
| | | |

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EXPIRATION DATE: 12/25/2023

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Montgomery County Department of Parks
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| SUBMISSION / REVISION | | |
|-----------------------|------------|----------------|
| Rev. No. | Date | Description |
| | 04.10.2023 | MHT SUBMISSION |
| | | |
| | | |

PROPOSED 2ND FLOOR PLAN
BUILDING ENVELOPE REPAIRS
HISTORIC WATERS HOUSE
12535 MILESTONE MANOR LANE
GERMANTOWN, MD 20876
SCALE: 1/4" = 1'-0"

DWG. #
A102

OUTLINE SPECS

07 21 00 BLOWN-IN INSULATION
 WALLS & CEILING: SEPARATE WORK AREA FROM OTHER AREAS OF THE BUILDING BY CREATING AN AIR TIGHT SEAL. DRILL HOLES FOR BLOWER NOZZLE IN INTERIOR SIDE OF INDICATED WALLS NEAR THE TOP OF EVERY CAVITY SPACE; AT BUILDING CORNERS HOLE MUST BE BOTH ABOVE AND BELOW INTERNAL CORNER BRACES. BLOW-IN BORATE TREATED INSULATION TO FILL VOIDS PER MANUFACTURER'S INSTRUCTIONS. PATCH HOLES TME. PAINT ALL WALLS AND CEILING IN ROOMS WITH NEW WALL INSULATION TME. SUBMIT INFRARED PHOTOGRAPHS INDICATING ALL CAVITIES HAVE BEEN FILLED WITH INSULATION.

FLOOR: SEPARATE WORK AREA FROM OTHER AREAS OF THE BUILDING BY CREATING AN AIR TIGHT SEAL. CAREFULLY REMOVE SELECT FLOOR BOARDS AS NEEDED TO ACCESS VOIDS BETWEEN FLOOR JOISTS. BLOW-IN BORATE TREATED INSULATION TO FILL VOIDS PER MANUFACTURER'S INSTRUCTIONS. REINSTALL FLOOR BOARDS PREVIOUSLY REMOVED. SUBMIT INFRARED PHOTOGRAPHS INDICATING ALL CAVITIES HAVE BEEN FILLED WITH INSULATION.

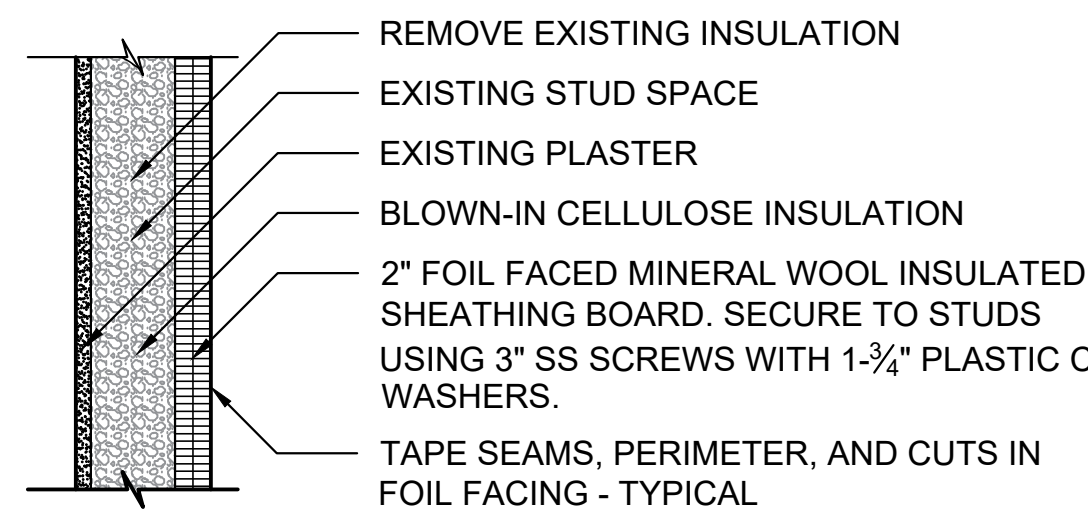
MINERAL/STONE WOOL INSULATED SHEATHING BOARD
 INSTALL 2" FOIL FACED MINERAL/STONE WOOL INSULATED SHEATHING BOARD. SECURE TO STUDS USING 3" SS SCREWS WITH 1-3/4" PLASTIC CI WASHERS. TAPE SEAMS, PERIMTER AND CUTS IN FOIL FACING

MINERAL WOOL BATT INSULATION
 REMOVE EXISTING DAMAGED BATT INSULATION. INSTALL MINERAL WOOL BATT INSULATION BETWEEN EXISTING CEILING JOIST. R-30 TYPICAL AT CEILING JOISTS, R-21 TYPICAL AT ROOF RAFTERS

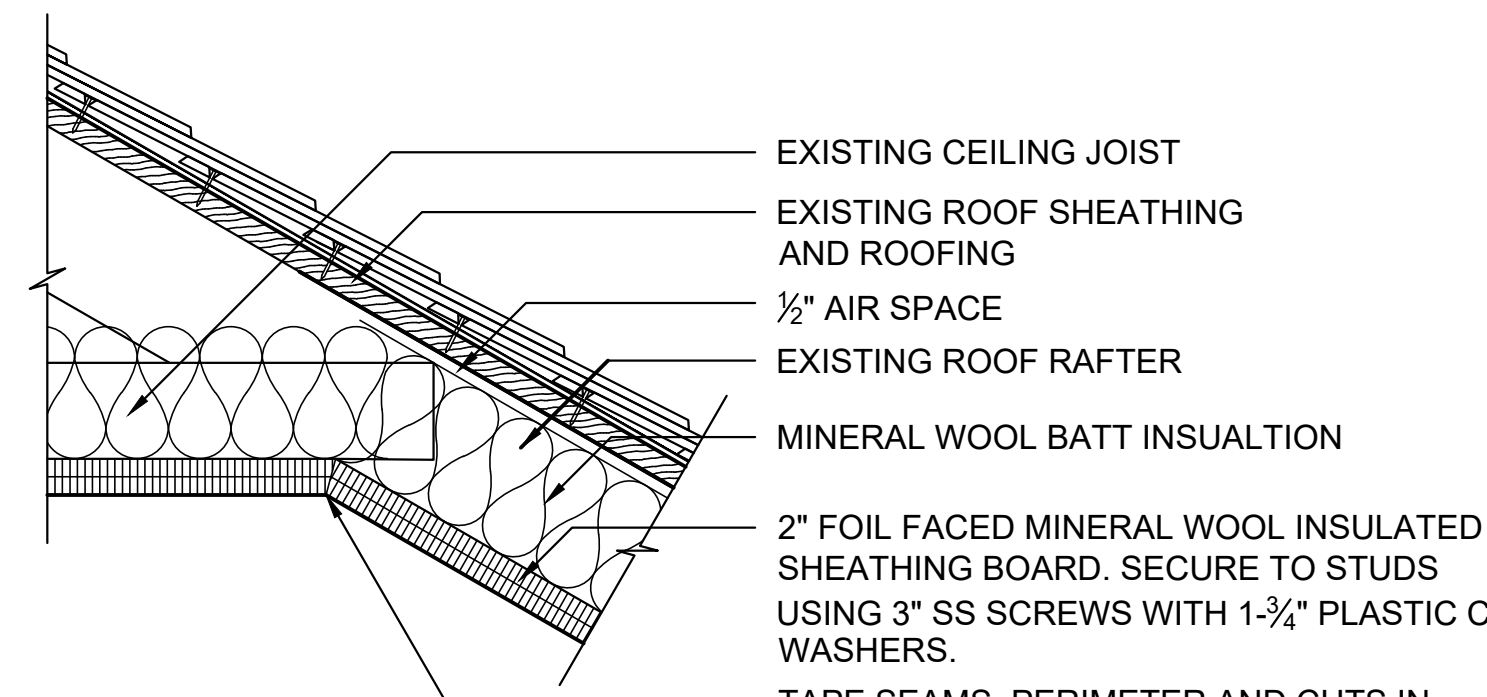
08 10 00 GLASS REPAIR
 SOFTEN EXISTING PUTTY WITH INFRA RED HEATER, REMOVE PUTTY, PUSH POINTS AND GLASS. INSTALL NEW DOUBLE-STRENGTH FLOAT GLASS PANE, WITH CRL PUSH POINTS AND DAP GLAZING PUTTY. PAINT ENTIRE FRAME AND PUTTY TME.

08 73 00 WEATHER STRIPPING
 CLEAN DOOR TOP AND SIDES, AND JAMBS AND HEADER. TIGHTEN HINGES. INSTALL SPRING BRONZE V-STRIP WITH STAINLESS STEEL FINISH TACKS. INSTALL BRONZE COLOR ALUMINUM DOOR SWEEP AT BOTTOM OF INTERIOR SIDE OF DOOR.

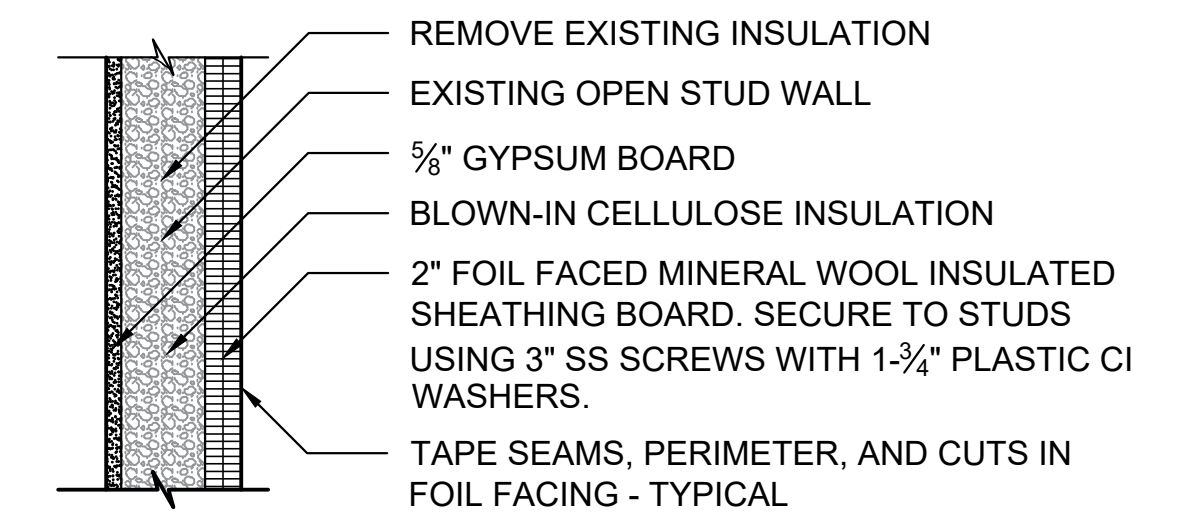
08 80 00 ACCESS DOOR
 24" WIDE X 36" HIGH ACCESS DOOR AND FRAME SHALL BE FABRICATED FROM 16 GAUGE, GALVANNEALED STEEL WITH WHITE PRIME COAT FINISH. HINGE SHALL BE CONCEALED TYPE. DOOR SHALL HAVE HEAVY DUTY SPRING FOR POSITIVE LATCHING WHEN CLOSED AND INTERIOR RELEASE SLIDE LATCH. EXTERIOR LATCH SHALL BE RECESSED AND OPERATED WITH RING ATTACHED TO THE SLIDING BOLT. REFRAME PERIMETER OF DOOR WITH 2X4'S. ELMDOOR OR APPROVED EQUAL. PAINT EXTERIOR TME TRIM. SUBMIT



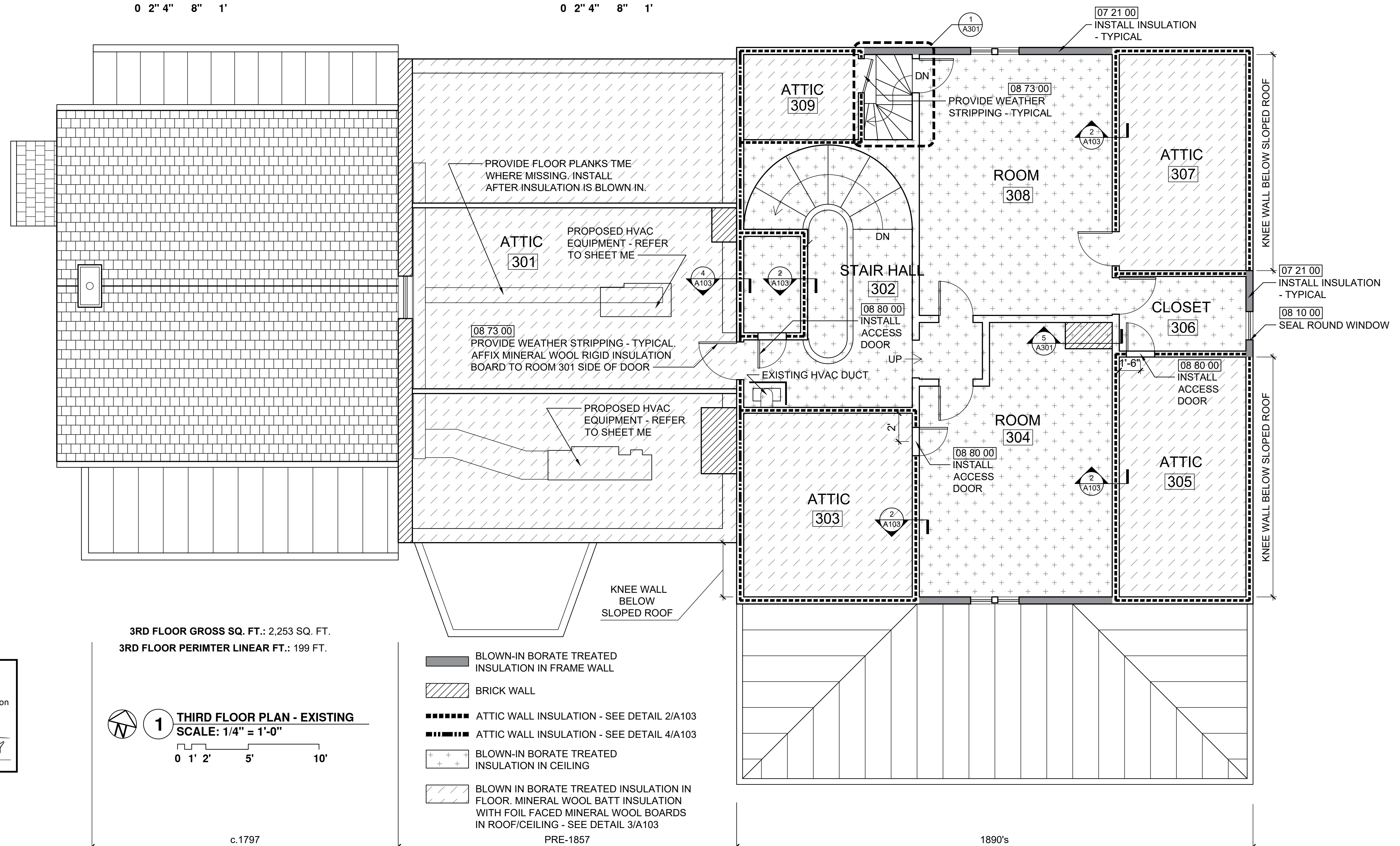
2 ATTIC WALL DETAIL - WALL WITH EXISTING PLASTER
 SCALE: 1-1/2" = 1'-0"
 0 2" 4" 8" 1'



3 ATTIC ROOF/CEILING DETAIL
 SCALE: 1-1/2" = 1'-0"
 0 2" 4" 8" 1'



4 ATTIC WALL DETAIL - EXISTING OPEN STUD WALL
 SCALE: 1-1/2" = 1'-0"
 0 2" 4" 8" 1'



3RD FLOOR GROSS SQ. FT.: 2,253 SQ. FT.
3RD FLOOR PERIMTER LINEAR FT.: 199 FT.

1 THIRD FLOOR PLAN - EXISTING
 SCALE: 1/4" = 1'-0"
 0 1' 2' 5' 10'

- BLOWN-IN BORATE TREATED INSULATION IN FRAME WALL
- BRICK WALL
- ATTIC WALL INSULATION - SEE DETAIL 2/A103
- ATTIC WALL INSULATION - SEE DETAIL 4/A103
- BLOWN-IN BORATE TREATED INSULATION IN CEILING
- BLOWN IN BORATE TREATED INSULATION IN FLOOR. MINERAL WOOL BATT INSULATION WITH FOIL FACED MINERAL WOOL BOARDS IN ROOF/CEILING - SEE DETAIL 3/A103

REVIEWED
 By Michael Kyne at 12:50 pm, May 31, 2023

APPROVED
 Montgomery County
 Historic Preservation Commission

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 703-350-4151
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| DRAWING CHECKED BY: | | |
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 (301) 495-2535

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PROPOSED 3RD FLOOR PLAN
BUILDING ENVELOPE REPAIRS
 HISTORIC WATERS HOUSE
 12535 MILESTONE MANOR LANE
 GERMANTOWN, MD 20876
 SCALE: 1/2" = 1' - 0"

DWG. #

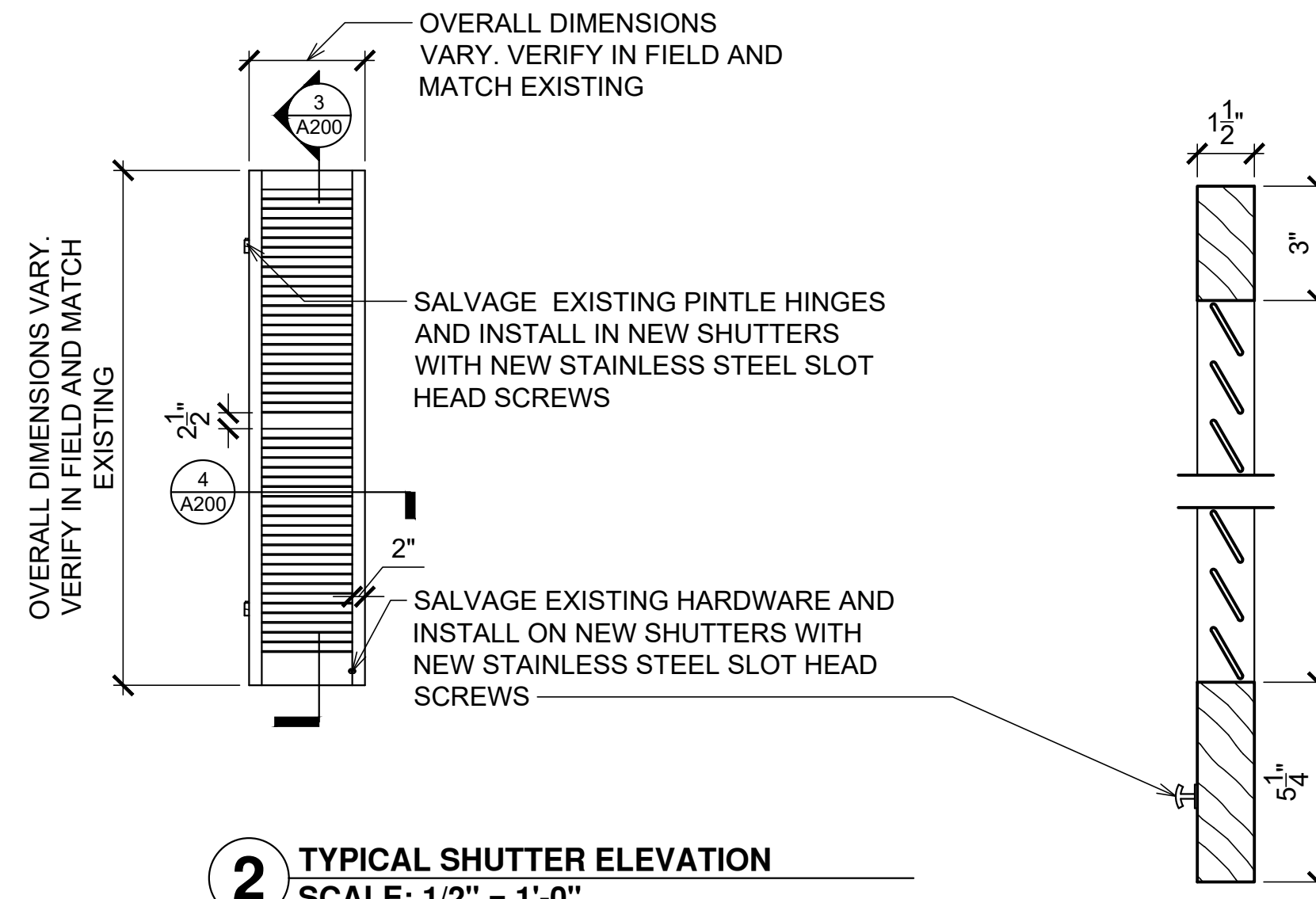
A103

OUTLINE SPECS

04 03 22 STONEMWORK REPAIR
 TAKE SAMPLE FROM WORK AREA AND PERFORM MORTAR ANALYSIS. REMOVE DEBRIS AND LOOSE MORTAR. PREWET AND FILL VOIDS WITH MORTAR MATCHING TEST RESULTS IN COMPOSITION AND COLOR; APPLY IN COMPACTED LAYERS NOT MORE THAN 1" THICK. FINISH WITH CHURN BRUSH SO SURFACE TEXTURE MATCHES EXISTING JOINTS. FILL LARGE VOIDS WITH LARGESTONE MATCHING THE EXISTING IN TYPE, COLOR AND TEXTURE. USE GALLETTING WITH SMALL STONES AS REQUIRED IN LARGE MORTAR AREAS.

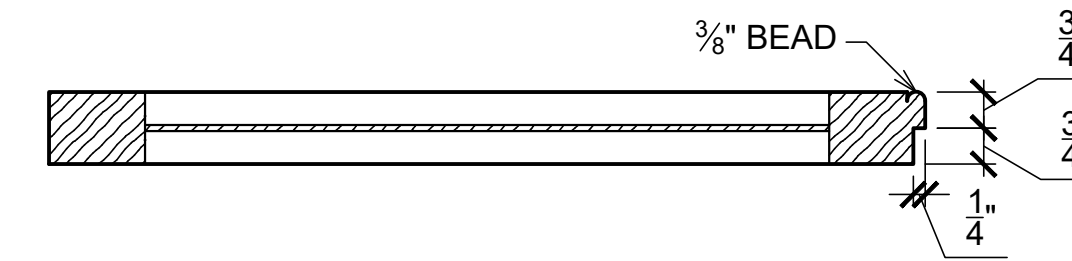
06 40 00 WOOD SHUTTERS
 PREPARE SHOP DRAWINGS FOR EACH PAIR OF SHUTTERS FOR APPROVAL. REMOVE EXISTING SHUTTERS BY LIFTING OFF PINTLES. SALVAGE ALL HARDWARE AND STRIP OFF PAINT. FABRICATE NEW SHUTTERS TME WITH SOLID KILN DRIED MAHOGANY TME INCLUDING PEGGED MORTISE AND TENON JOINTS. PRIME AND TWO COATS PAINT WOOD AND HARDWARE (INCLUDING PINTLES ATTACHED TO WINDOW JAMBS) TME TYPE, COLOR AND TEXTURE.

WOOD LOUVER REPAIR
 REMOVE EXISTING WOOD LOUVER AND DIASSEMBLE. REPLACE BROKEN SLATS WITH NEW WOOD SLATS TME IN SIZE, PROFILE AND TEXTURE. REASSEMBLE LOUVER AND REINSTALL. PRIME AND TWO COAT PAINT TME. SUBMIT COLORS TO PARKS FOR REVIEW AND APPROVAL.



2 TYPICAL SHUTTER ELEVATION
 SCALE: 1/2" = 1'-0"
 0 6" 1' 2' 3'

3 SHUTTER DETAIL
 SCALE: 3" = 1'-0"
 0 1" 2" 4" 6"



4 DETAIL PLAN - RIGHT SHUTTER MEETING EDGE
 SCALE: 3" = 1'-0"
 0 1" 2" 4" 6"

REVIEWED
 By Michael Kyne at 12:50 pm, May 31, 2023

APPROVED
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 Historic Preservation Commission

06 40 00
 INSTALL LOUVERED WOOD SHUTTERS
 MATCHING EXISTING - TYPICAL

04 03 22
 REPOINT STONEMWORK AT GRADE

06 40 00
 REPAIR WOOD LOUVERS

1 SOUTH (FRONT) ELEVATION - PROPOSED
 SCALE: 1/4" = 1'-0"
 0 1' 2' 4' 6' 10'

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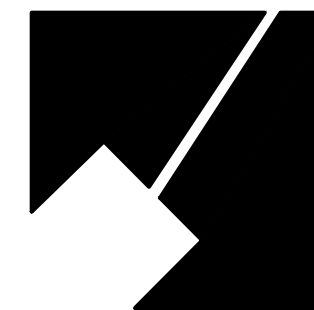
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PROPOSED SOUTH ELEVATION

BUILDING ENVELOPE REPAIRS

HISTORIC WATERS HOUSE
 12535 MILESTONE MANOR LANE
 GERMANTOWN, MD 20876

SCALE: 1/4" = 1' - 0"

DWG. #

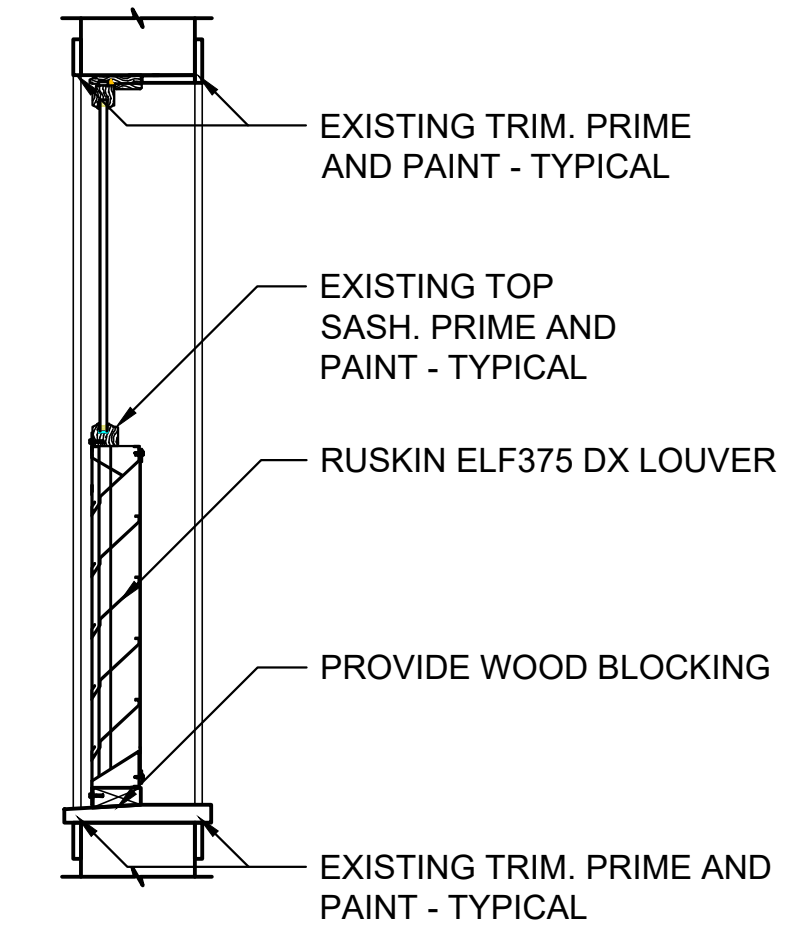
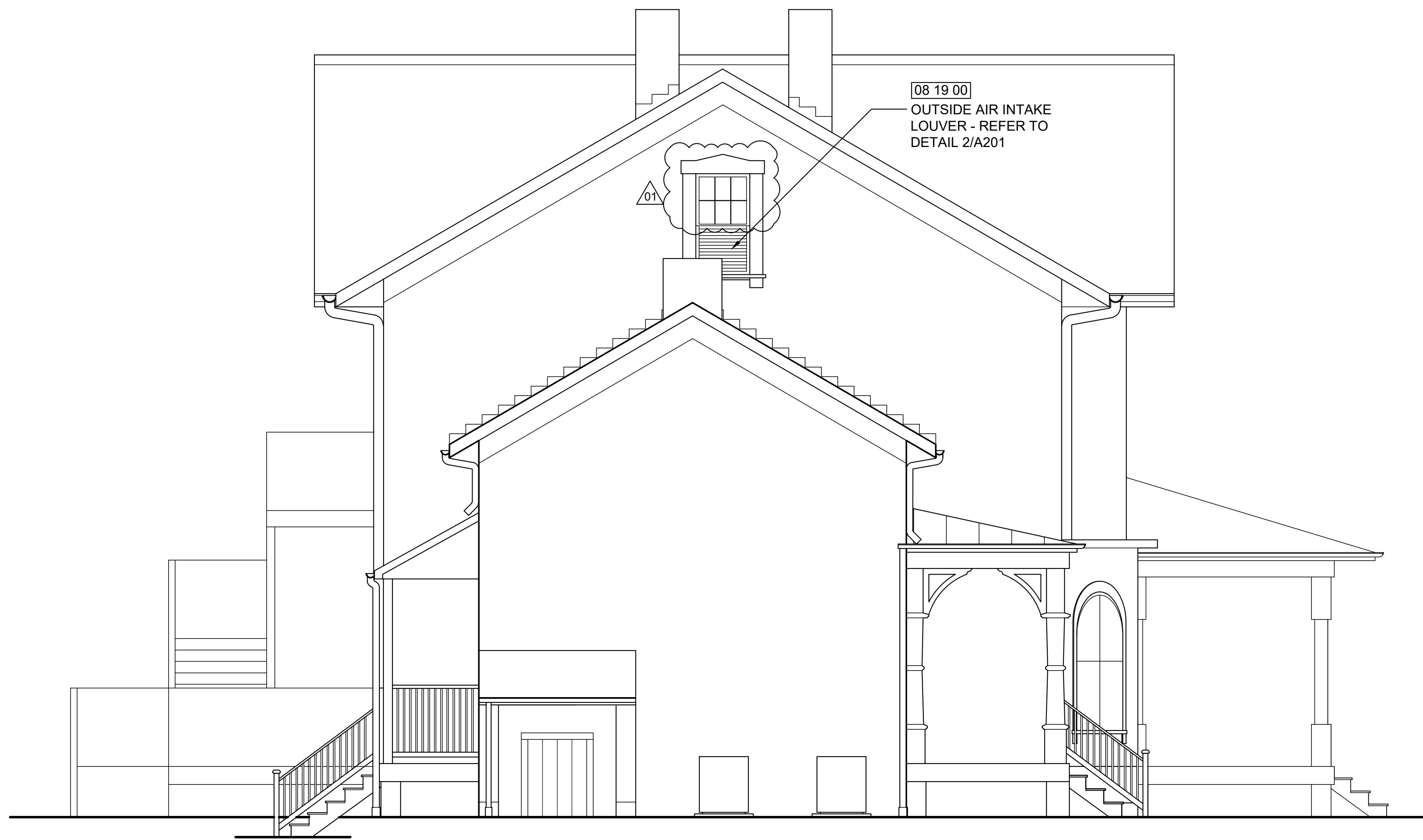
A200

OUTLINE SPECS

08 19 00 **HVAC INTAKE LOUVERS**
 REMOVE LOWER SASH OF EXISTING WOOD WINDOW AND RETURN TO OWNER. PROVIDE RUSKIN ELF 375 DX METAL INTAKE LOUVER WITH INSECT SCREEN SIZED TO FIT AREA OF REMOVED LOWER SASH. LOUVER COLOR TO MATCH EXISTING WINDOW.

REVIEWED
 By Michael Kyne at 12:50 pm, May 31, 2023

APPROVED
 Montgomery County
 Historic Preservation Commission

2 WINDOW LOUVER SECTION - ATTIC ROOM 301
 SCALE: 3/4" = 1'-0"
 0 6" 1' 2' 4"

1 WEST ELEVATION - PROPOSED
 SCALE: 1/4" = 1'-0"
 0 1' 2' 4' 6' 10"

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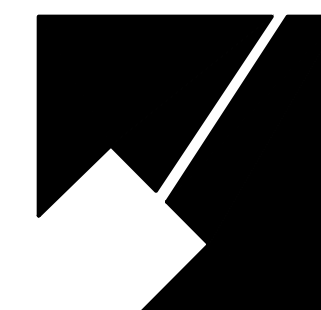
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| Submission Name | Initials | Date |
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| MHT REVISION 1 | WB/JW | 5/17/2023 |

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| 01 | 05.17.2023 | MHT REVISION 1 |

PROPOSED WEST ELEVATION
BUILDING ENVELOPE REPAIRS
 HISTORIC WATERS HOUSE
 12535 MILESTONE MANOR LANE
 GERMANTOWN, MD 20876
 SCALE: 1/4" = 1' - 0"

DWG. #
A201

OUTLINE SPECS

- 06 40 00 **WOOD WINDOW MUNTIN**
SOFTEN EXISTING PUTTY WITH INFRA RED HEATER, REMOVE PUTTY, PUSH POINTS AND GLASS. REPAIR DETERIORATED WOOD WITH EPOXY. PAINT TO MATCH EXISTING. REINSTALL GLASS PANE, WITH CRL PUSH POINTS AND DAP GLAZING PUTTY. PAINT ENTIRE FRAME AND PUTTY TME. SUBMIT COLORS TO PARKS FOR REVIEW AND APPROVAL.
- 07 21 00 **WOOD SIDING**
REMOVE DETERIORATED WOOD SIDING BOARDS AND REPLACE WITH NEW NATURALLY ROT-RESISTANT WOOD SIDING BOARDS TME IN SIZE AND SHAPE. PRIME AND TWO COAT PAINT TME. SUBMIT COLORS TO PARKS FOR REVIEW AND APPROVAL. NATURALLY ROT RESISTANT WOOD SPECIES INCLUDE BUT ARE NOT LIMITED TO: MAHOGANY, CEDAR, TEAK, REDWOOD, WHITE OAK, CYPRESS, AND BLACK WALNUT.

REVIEWED
By Michael Kyne at 12:50 pm, May 31, 2023

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]



1 NORTH (REAR) ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"
0 1' 2' 4' 6' 10'

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PROPOSED NORTH ELEVATION

BUILDING ENVELOPE REPAIRS
HISTORIC WATERS HOUSE
12535 MILESTONE MANOR LANE
GERMANTOWN, MD 20876
SCALE: 1/4" = 1' - 0"

DWG. #

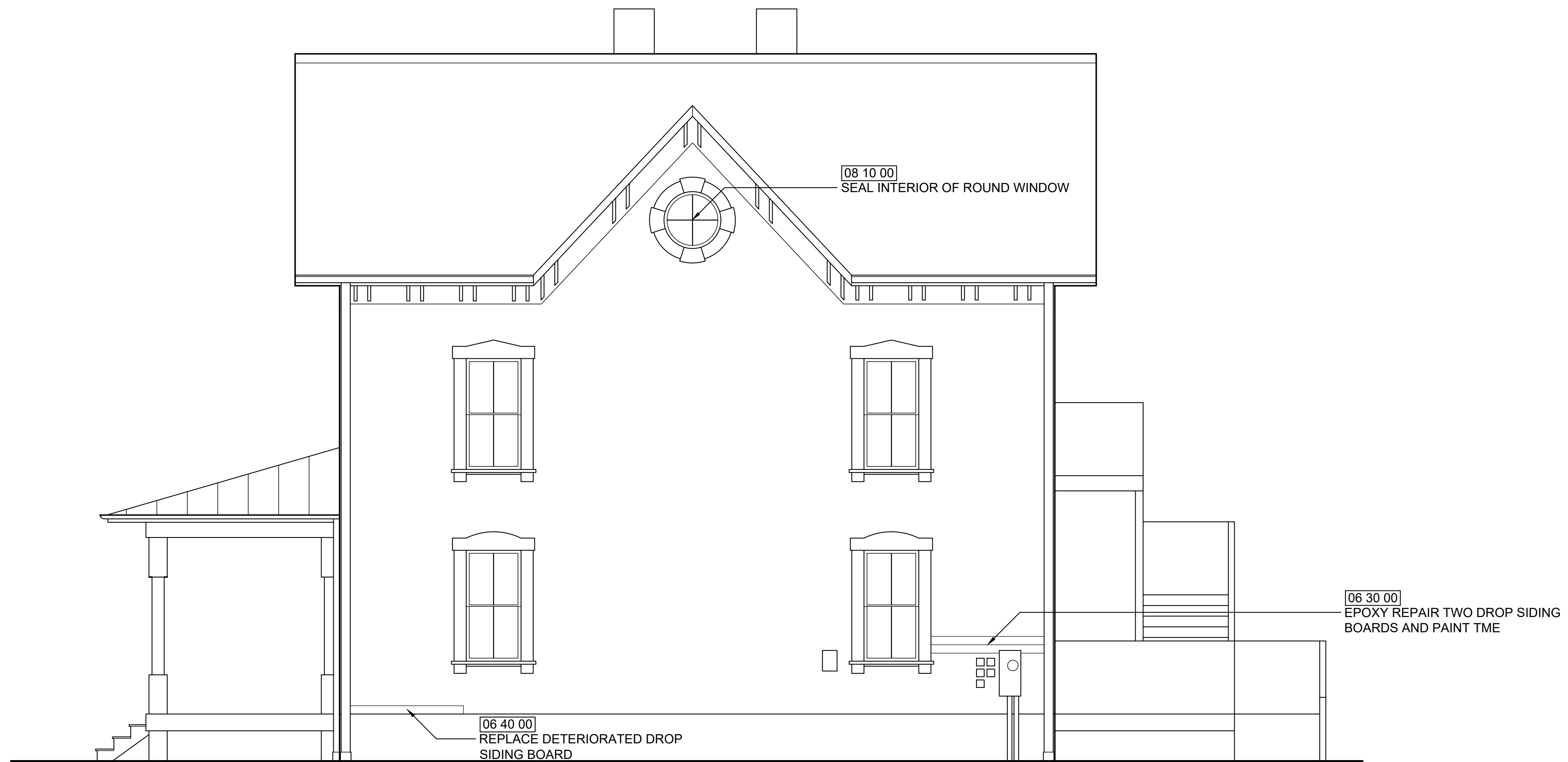
A202

OUTLINE SPECS

- 06 30 00 **EPOXY WOOD REPAIR**
REMOVE SEVERELY DETERIORATED WOOD. TREAT SOFT, SPONGY WOOD AND PRIME VOIDS WITH LIQUID CONSOLIDANT. WHERE NECESSARY, SEAL BACK SIDE OF HOLES. FILL VOIDS WITH EPOXY PUTTY. AFTER 24 HOURS MINIMUM, SAND HARDENED EPOXY FLUSH WITH ADJACENT SOUND WOOD. PRIME AND PAINT ENTIRE BOARD TME. SUBMIT COLORS TO PARKS FOR REVIEW AND APPROVAL.
- 06 40 00 **WOOD SIDING**
REMOVE DETERIORATED WOOD SIDING BOARDS AND REPLACE WITH NEW NATURALLY ROT-RESISTANT WOOD SIDING BOARDS TME IN SIZE AND SHAPE. PRIME AND TWO COAT PAINT TME. SUBMIT COLORS TO PARKS FOR REVIEW AND APPROVAL. NATURALLY ROT RESISTANT WOOD SPECIES INCLUDE BUT ARE NOT LIMITED TO: MAHOGANY, CEDAR, TEAK, REDWOOD, WHITE OAK, CYPRESS, AND BLACK WALNUT.
- 08 10 00 **SEAL WINDOW**
INSTAL JOINT SEALANT ON INTERIOR SIDE OF OCULOUS WINDOW JAMB. PROVIDE BACKER ROD IN GAPS LARGER THAN 1/4 INCH.

REVIEWED
By Michael Kyne at 12:50 pm, May 31, 2023

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]



1 EAST ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"
0 1' 2' 4' 6' 10'

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PROPOSED EAST ELEVATION

BUILDING ENVELOPE REPAIRS
HISTORIC WATERS HOUSE
12535 MILESTONE MANOR LANE
GERMANTOWN, MD 20876
SCALE: 1/4" = 1' - 0"

DWG. #

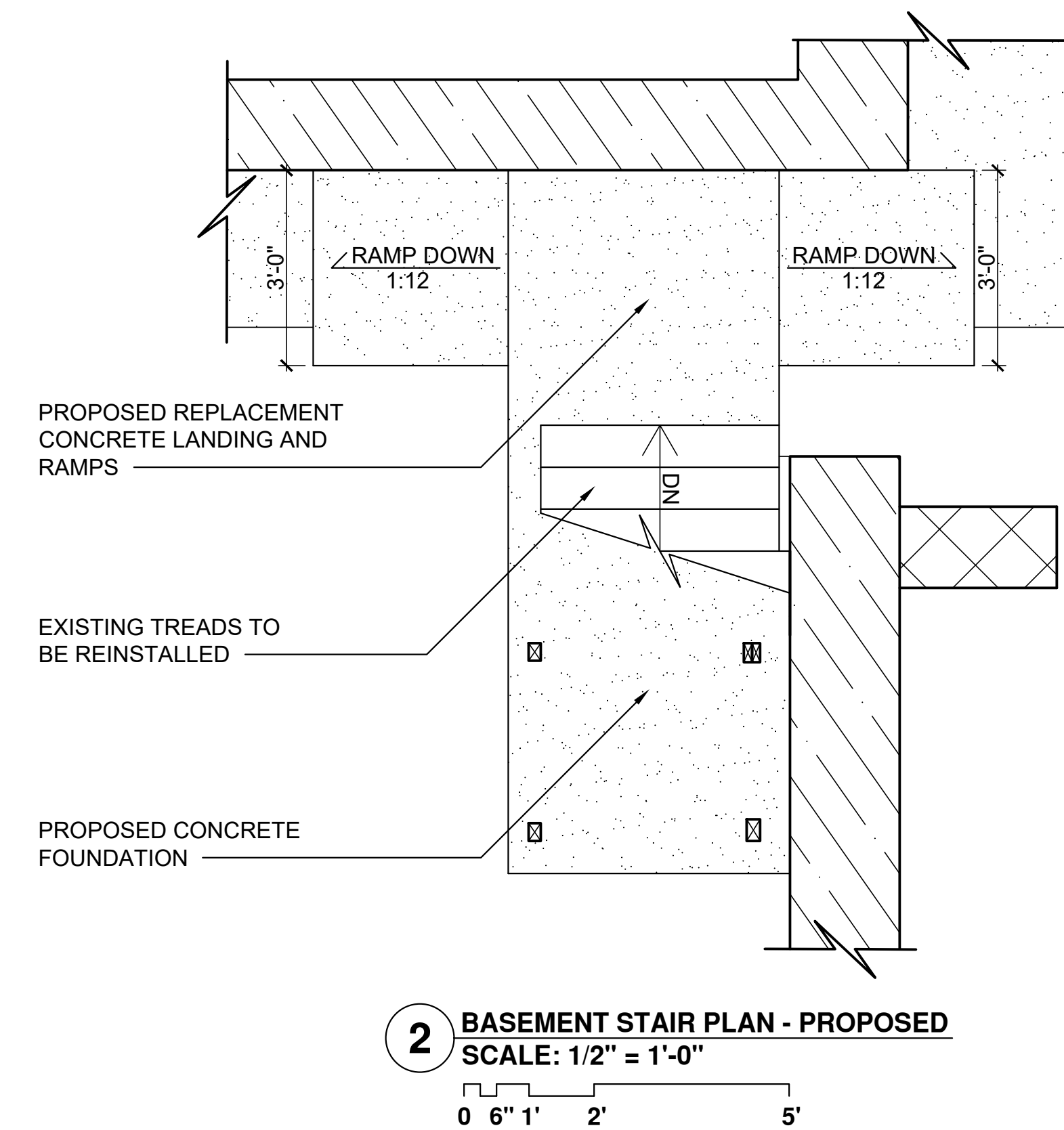
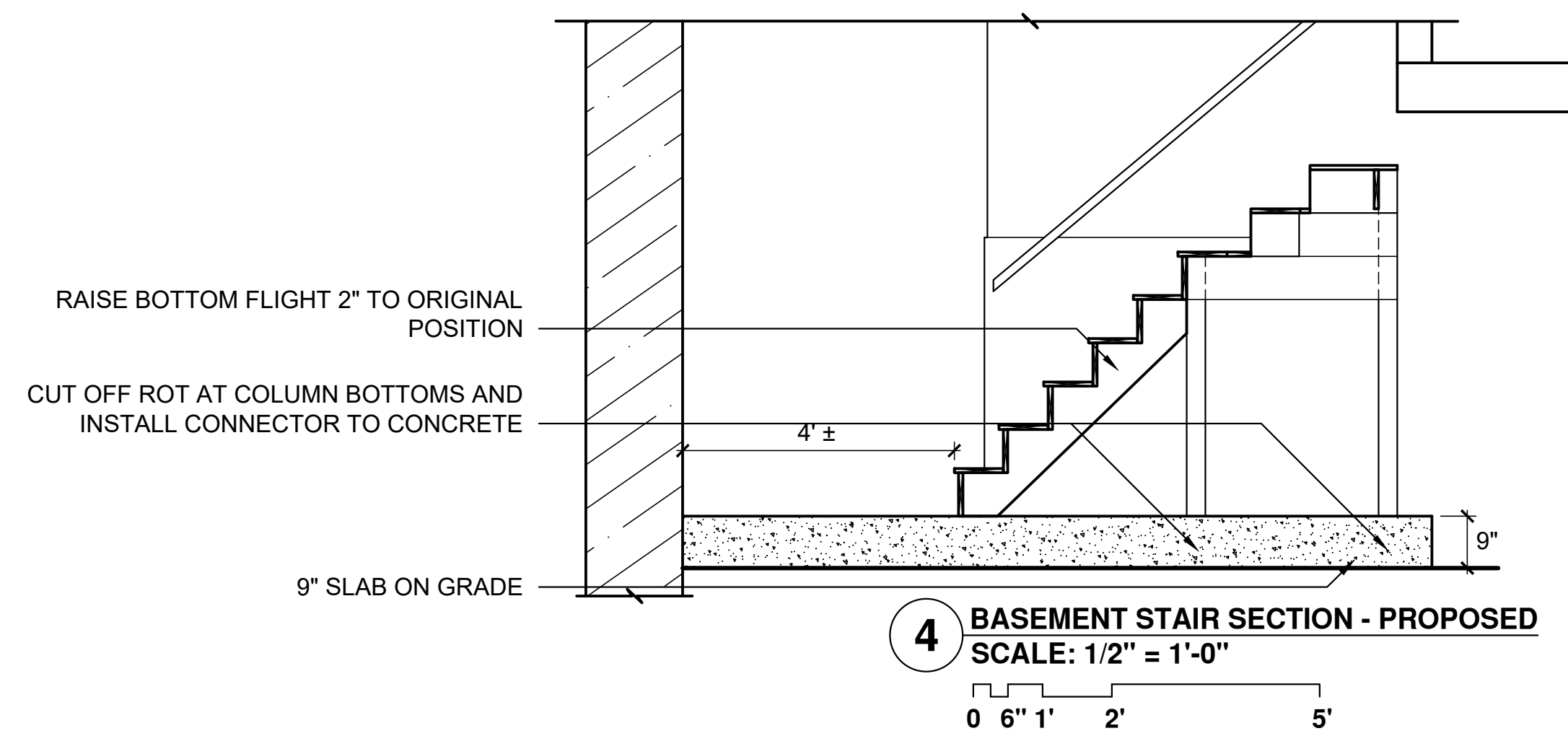
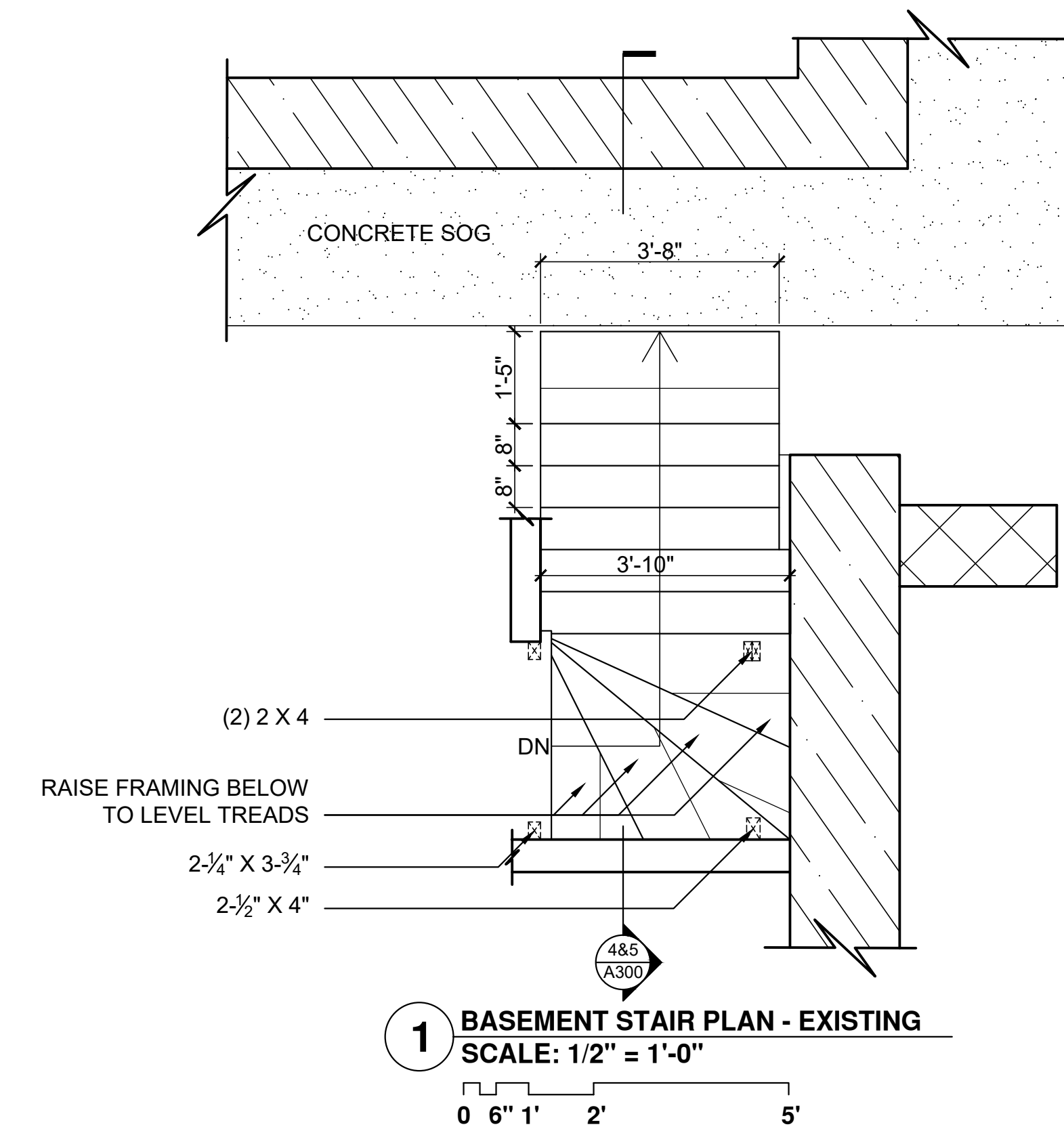
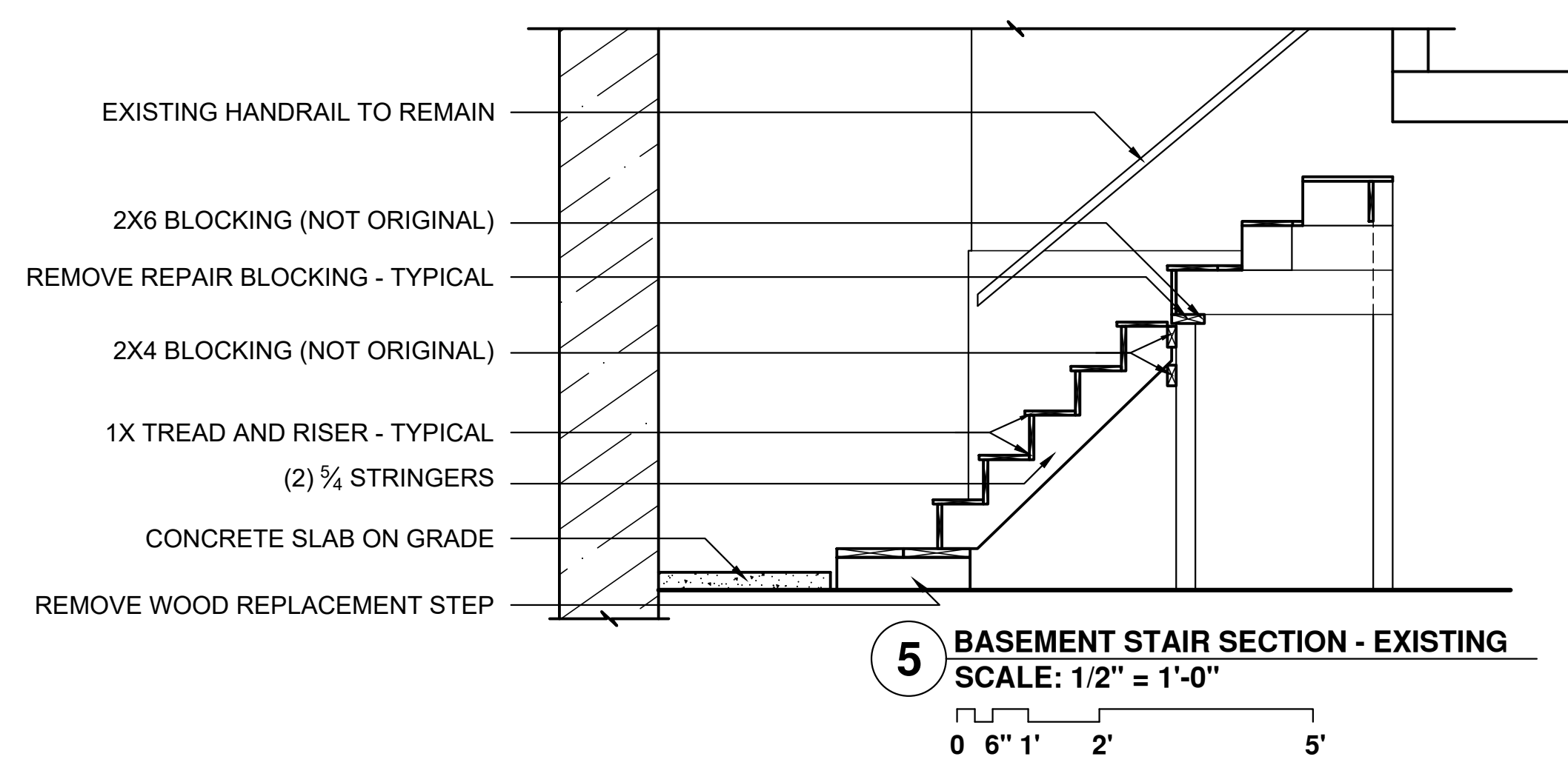
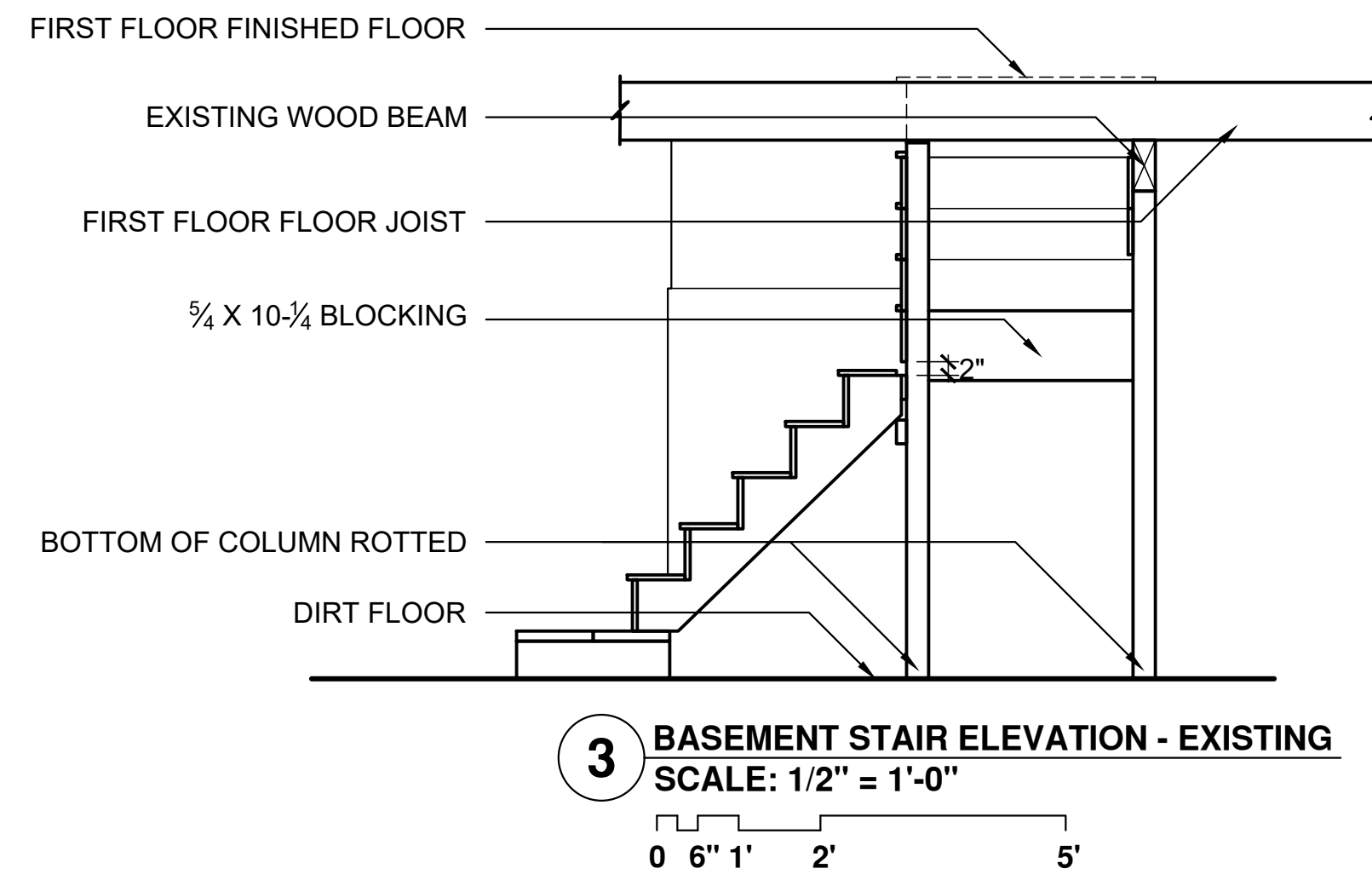
A203

OUTLINE SPECS

06 40 00 **WOOD STAIR**
 ALL EXISTING AND NEW STAIR COMPONENTS TO BE PRIMED
 AND TWO COATS SEMI-GLOSS PAINT.

REVIEWED
 By Michael Kyne at 12:50 pm, May 31, 2023

APPROVED
 Montgomery County
 Historic Preservation Commission

NOTE: REFER TO ADDITIONAL DRAWINGS ON SHEET S301

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BASEMENT STAIR DETAILS

BUILDING ENVELOPE REPAIRS

HISTORIC WATERS HOUSE
 12535 MILESTONE MANOR LANE
 GERMANTOWN, MD 20876
 SCALE: AS NOTED

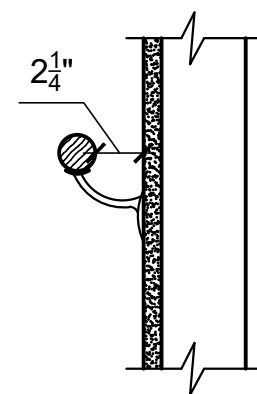
DWG. #
A300

OUTLINE SPECS

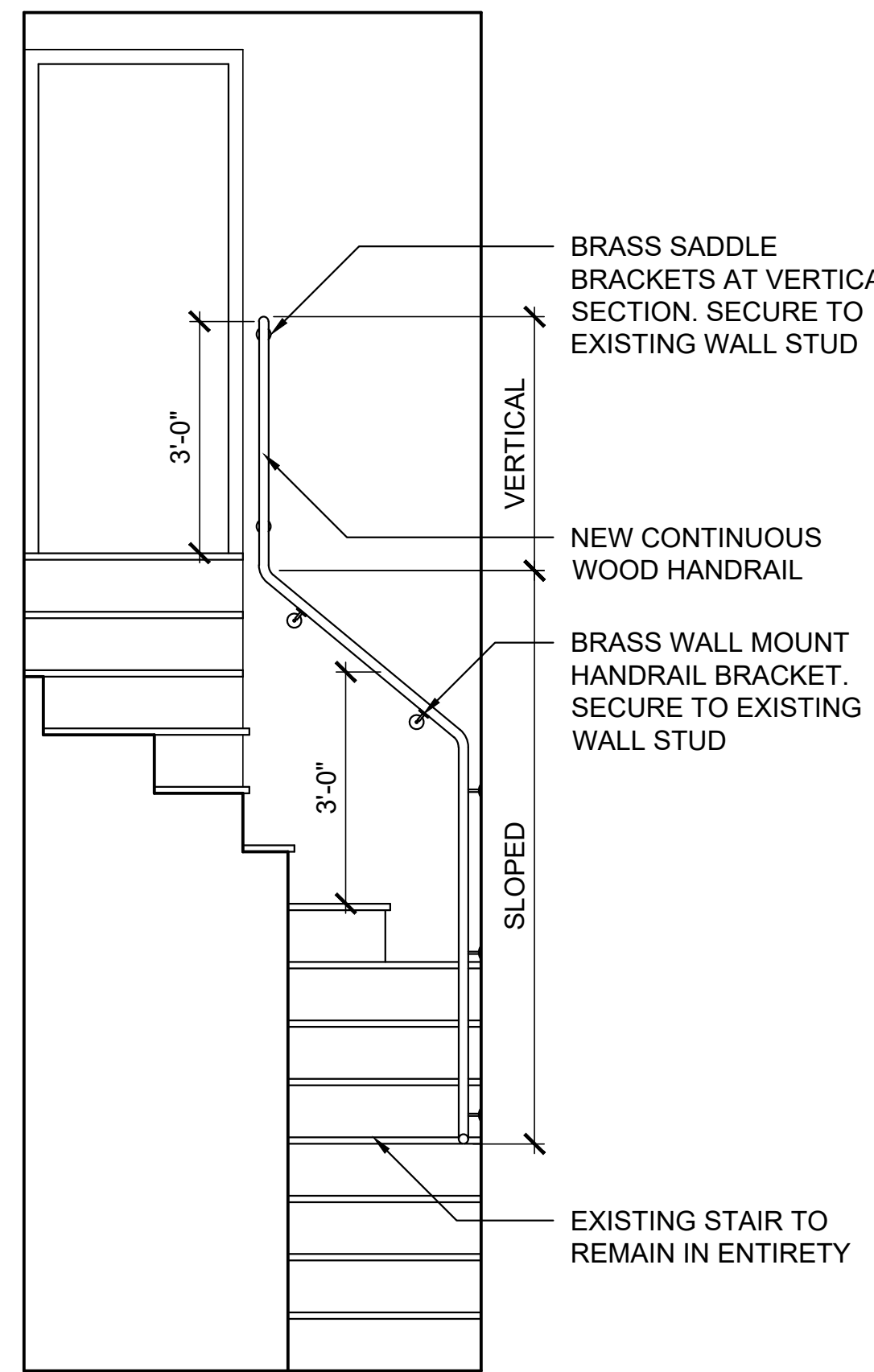
06 43 00 **STAIR HANDRAIL**
 INSTALL CONTINUOUS 1-1/2" ROUND HANDRAIL WHITE OAK OR APPROVED EQUAL, ON CURVED BRASS FINISH METAL BRACKETS; HARDWARE ESSENTIALS OR APPROVED EQUAL. TWO COATS OF CLEAR POLYURETHANE VARNISH ON WOOD.

REVIEWED
 By Michael Kyne at 12:50 pm, May 31, 2023

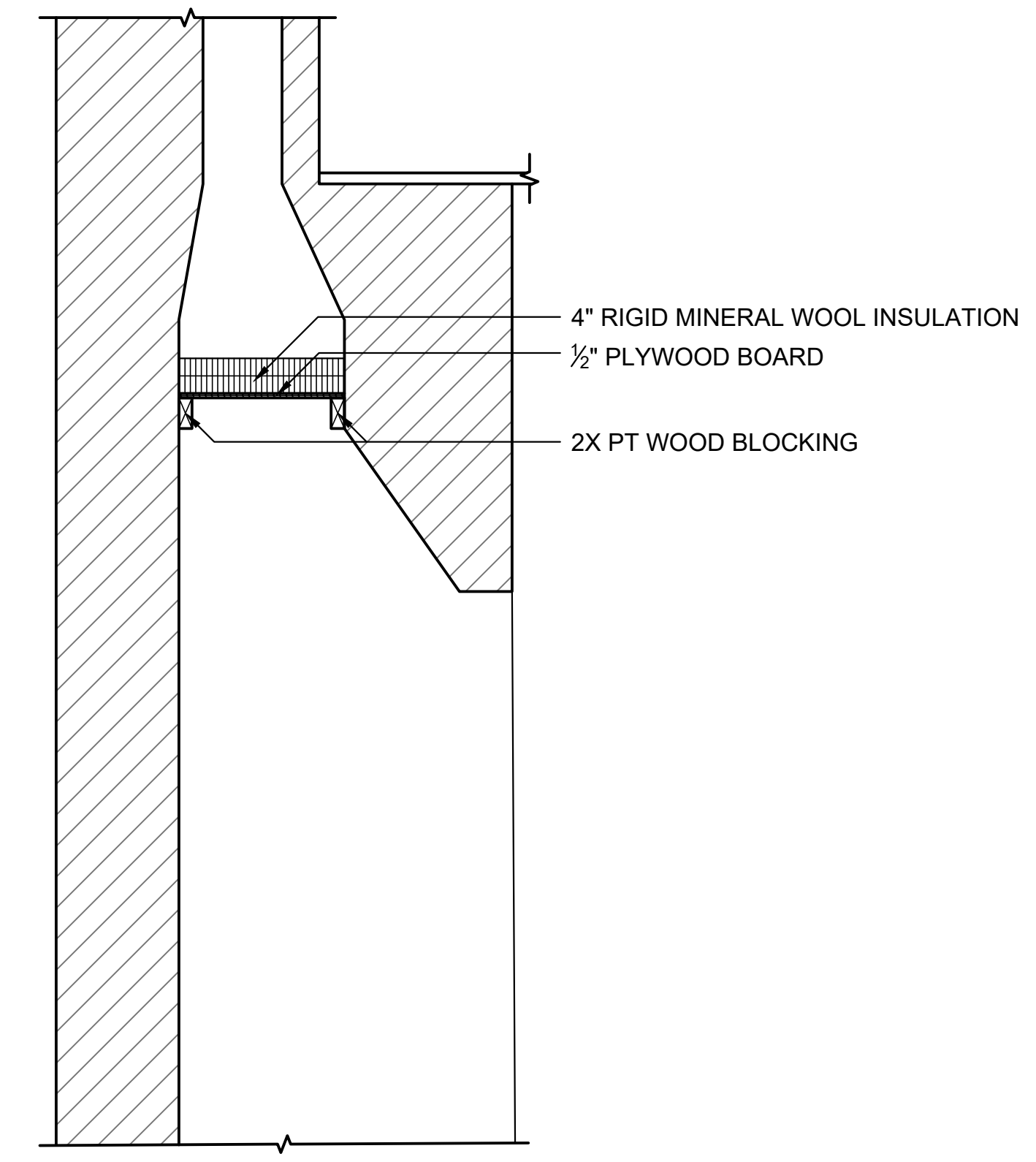
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3 HANDRAIL DETAIL
 SCALE: 1-1/2" = 1'-0"
 0 2" 4" 8" 1'

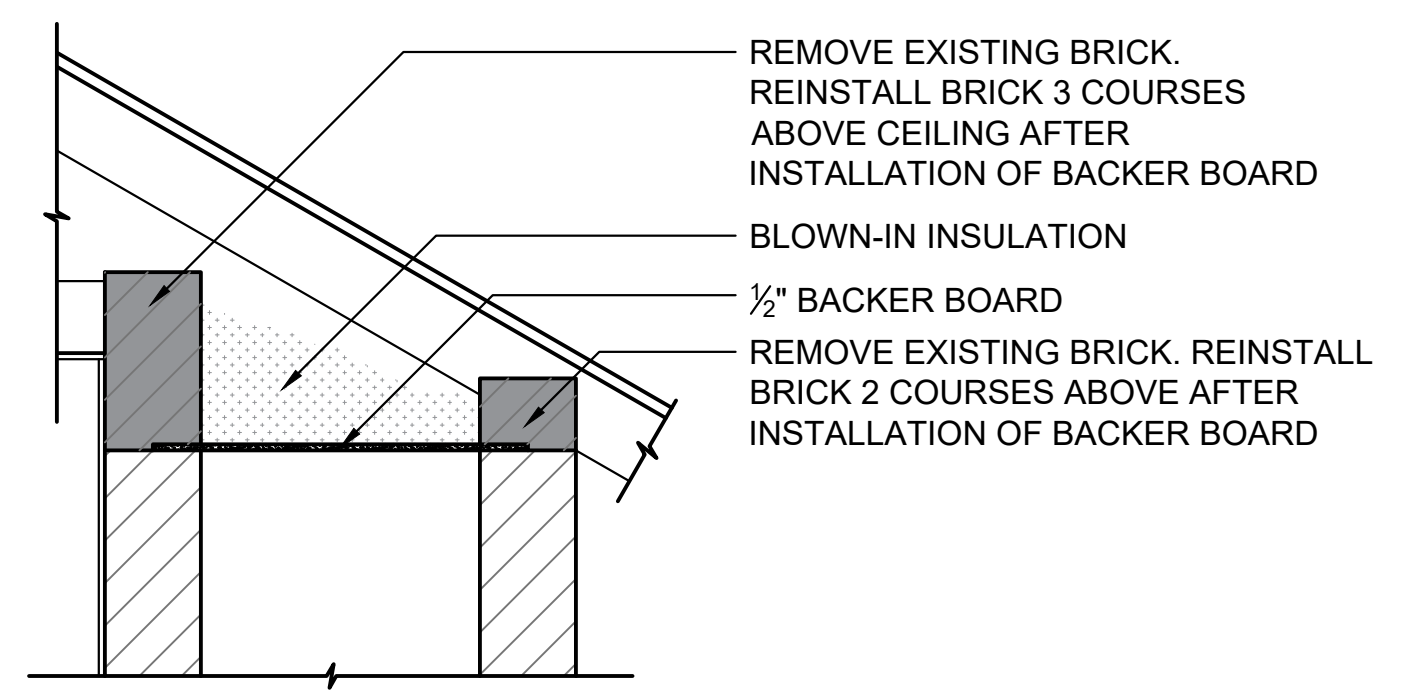


2 REAR STAIR ELEVATION - 2ND/3RD FLOOR
 SCALE: 1/2" = 1'-0"
 0 6" 1' 2' 5'

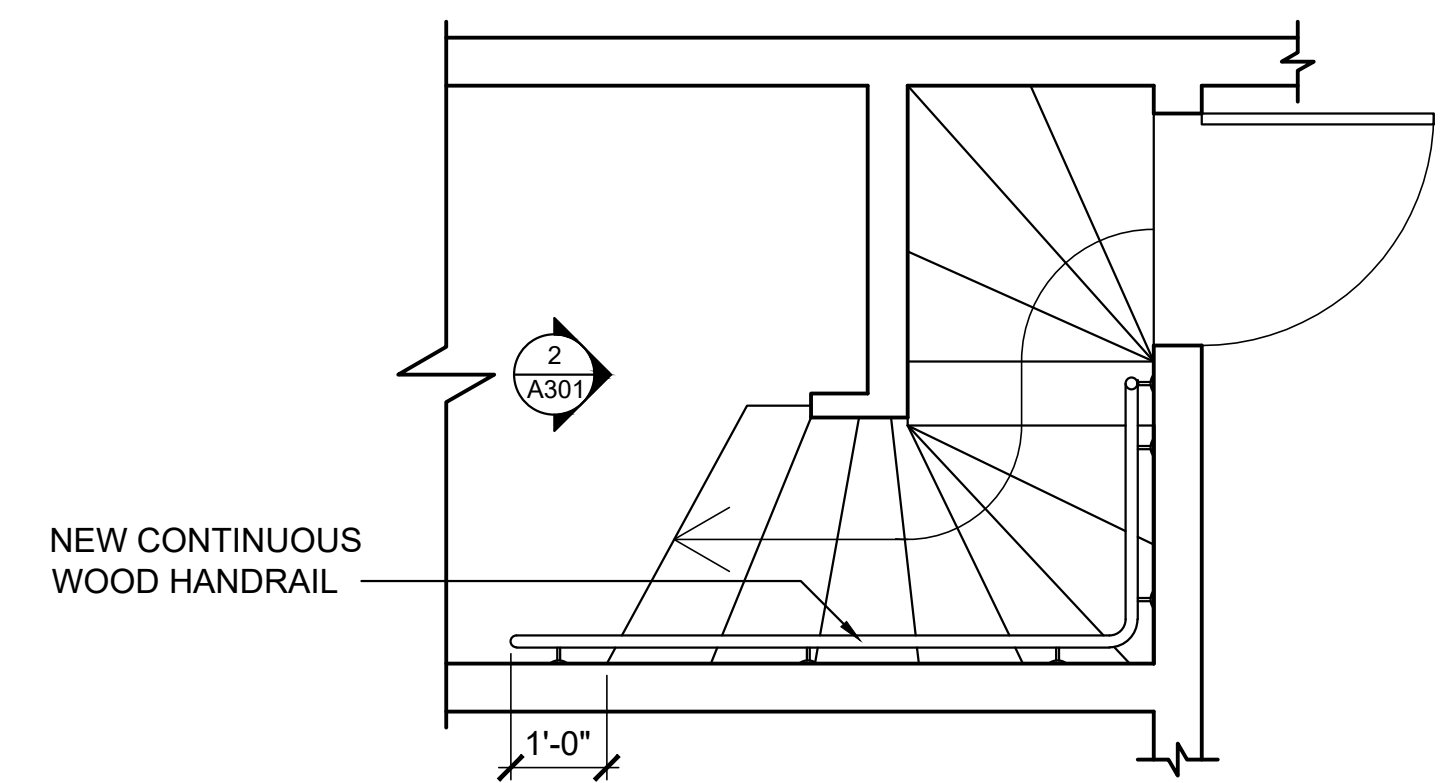


4 TYPICAL FIREBOX SEAL SECTION DETAIL - PROPOSED
 SCALE: 3/4" = 1'-0"
 0 6" 1' 2' 4'

NOTE: ATTACH BLOCKING INTO BRICK JOINTS ONLY.



5 ROOM 304 CHIMNEY CAP SECTION DETAIL - PROPOSED
 SCALE: 3/4" = 1'-0"
 0 6" 1' 2' 4'



1 REAR STAIR PLAN - 2ND/3RD FLOOR
 SCALE: 1/2" = 1'-0"
 0 6" 1' 2' 5'

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 31 LIGHT STREET, SUITE 500, BALTIMORE, MD 21202
 (410) 624-5461

MCC 1200
 ARCHITECTURAL ENGINEERS PLLC
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 210 NORTH LEE ST, SUITE 210
 ALEXANDRIA, VA 22314
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 ENGINEERS
 9520 BERGER ROAD, SUITE 212, COLUMBIA, MD 21046
 (410) 381-8010

DRAWING CHECKED BY:

| Submission Name | Initials | Date |
|-----------------|----------|-----------|
| MHT SUBMISSION | WB/JW | 4/10/2023 |
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PROFESSIONAL CERTIFICATION:
 I certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws under of the State of Maryland.

LICENSE NO. 5011
 EXPIRATION DATE: 12/25/2023

DocuSeal

The Maryland-National Capital Park and Planning Commission
 Montgomery County Department of Parks
 9500 Brunett Avenue
 Silver Spring, Maryland 20901
 (301) 495-2535

SUBMISSION / REVISION

| Rev. No. | Date | Description |
|----------|------------|----------------|
| | 04.10.2023 | MHT SUBMISSION |
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STAIR AND CHIMNEY DETAILS
BUILDING ENVELOPE REPAIRS
 HISTORIC WATERS HOUSE
 12535 MILESTONE MANOR LANE
 GERMANTOWN, MD 20876
 SCALE: AS NOTED

DWG. #
A301

GENERAL NOTES

- ALL STRUCTURAL WORK SHALL BE COORDINATED WITH ARCHITECTURAL AND MECHANICAL DRAWINGS AND SHALL CONFORM TO THE PROJECT SPECIFICATIONS, INCLUDING THE 2018 INTERNATIONAL BUILDING CODE AND 2018 INTERNATIONAL EXISTING BUILDING CODE, LOCALLY APPROVED EDITION.
- CONTRACTOR SHALL PROVIDE TEMPORARY SHORING, BRACING, SHEETING AND MAKE SAFE ALL FLOORS, ROOFS, WALLS AND ADJACENT PROPERTY AS PROJECT CONDITIONS REQUIRE. SHORING AND SHEETING SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER LICENSED IN THE PROJECT JURISDICTION HIRED BY THE CONTRACTOR WHO SHALL SUBMIT SHOP DRAWINGS AND CALCULATIONS FOR THE OWNER'S REVIEW.
- DIMENSIONS AND ELEVATIONS OF EXISTING CONSTRUCTION GIVEN IN STRUCTURAL DRAWINGS ARE BASED ON INFORMATION CONTAINED IN VARIOUS ORIGINAL DESIGN AND CONSTRUCTION DOCUMENTS PROVIDED BY THE OWNER, AND LIMITED FIELD OBSERVATIONS AND MEASUREMENTS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION PERTAINING TO EXISTING CONDITIONS BY ACTUAL MEASUREMENT AND OBSERVATION AT THE SITE. ALL DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THOSE SHOWN IN THE CONTRACT DOCUMENTS SHALL BE REPORTED TO THE ENGINEER OF RECORD FOR HIS EVALUATION BEFORE THE AFFECTED CONSTRUCTION IS PUT IN PLACE.
- THE CONTRACT DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY. THESE NOTES HIGHLIGHT RATHER THAN REPLACE THE SPECIFICATIONS CONTAINED IN THE PROJECT MANUAL. PLEASE NOTIFY THE ENGINEER OF ANY CONFLICTS. REFER TO THE SPECIFICATION FOR WORK NOT SHOWN ON THE DRAWINGS.
- THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS REPRESENTS THE DESIGN INTENT OF THE PROPOSED CONSTRUCTION. ELECTRONIC VERSIONS (PDF, DWG) OF THESE DRAWINGS SHOULD NOT BE USED TO DETERMINE DIMENSIONS OR GATHER ANY INFORMATION THAT IS NOT SPECIFICALLY LABELED OR OTHERWISE DENOTED IN PLAN, SECTION, OR DETAIL. DUPLICATION OF THESE DRAWINGS FOR USE IN THE PREPARATION OF SHOP DRAWINGS IS NOT ACCEPTABLE. THIS INCLUDES ANNOTATED HARD-COPIES AND DIRECT REUSE OF ELECTRONIC FILES.

FOUNDATIONS

- BUILDING FOUNDATIONS SHALL BEAR ON UNDISTURBED SOIL HAVING MINIMUM BEARING CAPACITY OF 1500 PSF, AS SPECIFIED BY THE IBC WHEN NO GEOTECHNICAL INVESTIGATION HAS BEEN PERFORMED. ADEQUACY OF BEARING STRATUM SHALL BE VERIFIED IN FIELD PRIOR TO PLACING CONCRETE. ADJUST BOTTOM OF FOOTING ELEVATIONS AS REQUIRED.
- DO NOT PLACE BACKFILL AGAINST BASEMENT WALLS UNTIL ALL FLOORS BRACING THESE WALLS ARE IN PLACE AND HAVE ATTAINED THEIR 28 DAY STRENGTH.
- ALL EXTERIOR FOOTINGS SHALL BE PLACED A MINIMUM OF 2'-6" BELOW FINAL GRADE.
- CONCRETE SHALL BE POURED IN DRY EXCAVATIONS. CONTRACTOR SHALL NOTE SOIL AND WATER CONDITIONS AS SHOWN BY BORINGS AND DEPTHS OF FOOTING AS SHOWN ON FOUNDATION PLANS.

CONCRETE

- ALL CONCRETE WORK SHALL CONFORM TO THE ACI FOLLOWING GOVERNING STANDARDS.
 - AMERICAN CONCRETE INSTITUTE (ACI) "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE" (ACI 318), LOCALLY APPROVED EDITION.
 - ACI "MANUAL OF CONCRETE PRACTICE" LOCALLY APPROVED EDITION
 - CONCRETE REINFORCING STEEL INSTITUTE (CRSI) "MANUAL OF STANDARD PRACTICE" LOCALLY APPROVED EDITION
- ALL CONCRETE SHALL BE NORMAL WEIGHT CONCRETE WITH A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS, UNLESS OTHERWISE NOTED.
- REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A615, GRADE 60 OR A775 EPOXY COATED WHEN CALLED OUT ON PLAN. REINFORCING STEEL SHALL BE DETAILED ACCORDING TO THE ACI "DETAILS AND DETAILING OF REINFORCEMENT", (ACI 315), LOCALLY APPROVED EDITION.
- WELDED WIRE FABRIC (WWF) SHALL CONFORM TO ASTM A185, WITH A MINIMUM YIELD STRENGTH OF 65,000 PSI.
- PROVIDE MINIMUM SHRINKAGE AND TEMPERATURE REINFORCEMENT, AS REQUIRED BY ACI 318, IN ALL SLABS AND WALLS WHERE REINFORCEMENT IS NOT INDICATED ON DRAWINGS.
- COORDINATE SIZE AND LOCATION OF ALL OPENINGS AND PIPE SLEEVES WITH ARCHITECTURAL AND MECHANICAL DRAWINGS. MINIMUM CONCRETE BETWEEN SLEEVES SHALL BE 6". CORE DRILLING OF WALLS AND SLABS SHALL NOT BE PERMITTED.
- ALL GROUT SHALL BE NONSHRINK WITH A MINIMUM COMPRESSIVE STRENGTH OF 5000 PSI.
- PROVIDE CLEARANCE FROM FACE OF CONCRETE TO REINFORCEMENT AS FOLLOWS:
 - SLABS: 3/4"
 - BEAMS, COLUMNS: 1 1/2"
 - FOOTINGS: 3"
 - EXTERIOR WALLS: 2" FOR #6 OR LARGER, 1 1/2" FOR #5 OF SMALLER
 - INTERIOR WALLS: 3/4"
- SHOP DRAWINGS SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER FOR REVIEW AND APPROVAL. NO CONCRETE WORK SHALL COMMENCE WITHOUT APPROVED SHOP DRAWINGS.
- SEE OTHER DRAWINGS IN THIS PROJECT FOR SIZE AND LOCATIONS OF EQUIPMENT PADS, INSERT AND EMBED ITEMS.
- REINFORCING DOWELS, WATERSTOPS AND OTHER EMBED ITEMS SHALL BE INSTALLED AND SECURED PRIOR TO CONCRETE PLACEMENT. "WET-SETTING" OF EMBEDDED ITEMS IS NOT PERMITTED.
- WHERE CONCRETE IS PLACED AGAINST AND DOWELED TO HARDENED CONCRETE AND/OR WHERE A ROUGHENED SURFACE IS INDICATED IN THE STRUCTURAL DRAWINGS, THE HARDENED CONCRETE SURFACE SHALL BE CLEAN AND FREE OF LAITANCE AND SHALL BE ROUGHENED TO A FULL AMPLITUDE OF APPROXIMATELY 1/4".

EXISTING BRICK AND STONE MASONRY

- MASONRY REPAIRS SHALL BE COMPLETED USING BRICK UNITS AND MORTAR THAT HAVE MATERIAL PROPERTIES CONSISTENT WITH EXISTING MASONRY. SAMPLES OF EXISTING MORTAR SHALL BE TAKEN AND TESTED FOR COMPOSITION BY THE CONTRACTOR'S TESTING AGENCY. THE DESIGN OF THE MORTAR MIX SHALL BE BASED ON THIS EVALUATION.
- REPAIR OF MASONRY: IF MORTAR CAN BE REMOVED EASILY WITH HAND TOOLS BY SCRAPING, REMOVE SOFT OR CRACKED MORTAR TO SOUND MATERIAL. LIMIT DEPTH OF REMOVAL TO A MAXIMUM OF 2" (51 MM). ALSO REPOINT AREAS WHERE MORTAR DOES NOT EXIST. FOR BRICKS LOOSE ENOUGH TO BE REMOVED BY HAND, REMOVE, CLEAN AND REINSTALL IN A FULL BED OF MORTAR.
- INFILL EXISTING UNUSED OR NEWLY ABANDONED PENETRATIONS, JOIST AND BEAM POCKETS, UTILITY CHASES AND ELECTRICAL BOX RECESSES WITH SOLID MASONRY OR GROUT.

STRUCTURAL STEEL

- ALL STRUCTURAL STEEL WORK SHALL CONFORM TO THE FOLLOWING GOVERNING STANDARDS:
 - AISC "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS" AND "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES," LOCALLY APPROVED EDITIONS.
 - AMERICAN WELDING SOCIETY (AWS) D1.1 "STRUCTURAL WELDING CODE--STEEL," LOCALLY APPROVED EDITION.
- ALL STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING ASTM SPECIFICATIONS:
 - CHANNELS, ANGLES AND PLATES: ASTM A36 UNLESS OTHERWISE NOTED.
 - STANDARD BOLTED CONNECTIONS ARE TO USE A325 OR A490 BEARING TYPE BOLTS (3/4" DIAMETER MINIMUM).
 - ANCHOR BOLTS: ASTM F1554, GRADE 36. FURNISHED COMPLETE WITH NUTS AND WASHERS. ANCHOR BOLTS SHALL HAVE HEADED ENDS OR NUTS WELDED (TACK AT BOTTOM SIDE OF NUT) AT EMBEDDED END.
 - STRUCTURAL STEEL NOTED TO BE STAINLESS STEEL SHALL BE ASTM A276 STAINLESS STEEL GRADE 304.
 - ALL STAINLESS STEEL BOLTS SHALL CONFORM TO ASTM F593 ALLOY 304.
 - ALL STAINLESS STEEL NUTS SHALL CONFORM TO ASTM F594 ALLOY 304.
- STEEL CONNECTIONS:
 - PROVIDE MECHANICALLY GALVANIZED BOLTS FOR EXTERIOR APPLICATIONS OR FOR BOLTS EMBEDDED IN EXTERIOR OR BASEMENT WALLS.
 - MINIMUM SIZE WELD, UNLESS NOTED OTHERWISE, IS 1/4" FILLET.
- SHOP AND ERECTION DRAWINGS SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER FOR REVIEW AND APPROVAL. NO FABRICATION OF STEEL SHALL COMMENCE WITHOUT APPROVED SHOP DRAWINGS.
- WELDING SHALL BE PERFORMED BY CERTIFIED WELDERS LICENSED BY THE GOVERNING LOCALITY AND CERTIFIED IN ACCORDANCE WITH AWS D1.1. WELDING ELECTRODES SHALL BE ASTM A233, CLASS E70XX (USE LOW HYDROGEN ELECTRODES FOR A992, GRADE 50 STEEL).
- STRUCTURAL STEEL MEMBERS SHALL BE FINISHED PER THE FOLLOWING SPECIFICATIONS:
 - GALVANIZE ALL STRUCTURAL STEEL EXPOSED TO WEATHER, AND STEEL SUPPORTING EXTERIOR ELEMENTS.
 - HOT-DIP GALVANIZING SHALL CONFORM TO ASTM A123. REPAIR SCRATCHED OR ABRADED GALVANIZED SURFACES WITH COLD GALVANIZING ZINC-RICH PAINT.
 - WHERE SHOP PAINTING IS REQUIRED BY PROJECT SPECIFICATION, PROVIDE MODIFIED ALKYL PER MANUFACTURER REQUIREMENTS. ALL FIELD PAINTING SHALL BE PER ARCHITECTURAL DRAWINGS AND SPECIFICATIONS.
 - FACES OF STRUCTURAL STEEL MEMBERS SUPPORTING METAL DECK WITH WELDED FASTENING, OR RECEIVING WELDED SHEAR STUDS, SHALL REMAIN FREE OF ALL PAINT AND PRIMER.
- ALL BEAMS, EXCEPT CANTILEVER BEAMS, SHALL BE FABRICATED WITH NATURAL CAMBER UP. CANTILEVER BEAMS SHALL BE FABRICATED SO THAT NATURAL CAMBER RAISES CANTILEVER END, U.N.O.
- LINTELS SHALL BE INSTALLED OVER ALL OPENINGS IN MASONRY WALLS AS FOLLOWS:

| | |
|-----------------|----------------|
| MASONRY OPENING | LINTEL |
| 4'-0" OR LESS | L4x3 1/2x5/16" |
| 4'-1" TO 7'-0" | L6x3 1/2x5/16" |

 - 3 1/2" LEGS ARE HORIZONTAL.
 - PROVIDE ONE ANGLE FOR EACH 4" OF WALL THICKNESS.
 - PROVIDE L5x5x5/16" ANGLES FOR 6" THICK WALLS AND PARTITIONS.
 - PROVIDE MINIMUM 6" BEARING ON EACH END, U.N.O.
- FIELD CUTTING OR BURNING OF STRUCTURAL STEEL IS PROHIBITED EXCEPT WHEN APPROVED BY THE ENGINEER OF RECORD.
- SEE ARCHITECTURAL DRAWINGS FOR MISCELLANEOUS STEEL NOT SHOWN ON STRUCTURAL DRAWINGS. STEEL EXPOSED AS AN ARCHITECTURAL FINISH ELEMENT IS TO BE CLASSIFIED AS ARCHITECTURALLY EXPOSED STRUCTURAL STEEL (AESS) PER AISC, U.N.O. REDUCED TOLERANCES SHALL BE MAINTAINED.

POST INSTALLED ADHESIVE AND MECHANICAL ANCHORS

- POST INSTALLED ANCHORAGE SHALL BE INSTALLED PER MANUFACTURER TECHNICAL DATA TO INTACT BASE MATERIAL. NOTIFY ENGINEER OF RECORD PRIOR TO INSTALLATION IF BASE MATERIAL CONDITION DEVIATES FROM STRUCTURAL DRAWINGS OR MANUFACTURER TECHNICAL DATA.
- MANUFACTURER DATA FOR ALTERNATE ANCHORAGE PROPOSED BY CONTRACTOR SHALL BE SUBMITTED TO ENGINEER OF RECORD FOR REVIEW AND APPROVAL. SUBMITTAL SHALL INCLUDE THE ICC EVALUATION SERVICE REPORT WITH ICC TESTED CAPACITY MEETING OR EXCEEDING CAPACITY OF ANCHORAGE SPECIFIED IN CONTRACT DOCUMENTS.
- UNLESS OTHERWISE INDICATED, POST INSTALLED ANCHORAGE SHALL BE ADHESIVE TYPE HILTI HIT-HY200 INTO CONCRETE OR STONE BASE MATERIAL OR HY-270 INTO BRICK MASONRY BASE MATERIAL.

ENGINEERED WOOD PRODUCTS

- MICROLAM BEAMS: PROVIDE ENGINEERED BEAMS, SIZES AS SHOWN, MICROLAM LVL OR PARALLAM PSL AS MANUFACTURED BY WEYERHAEUSER OR APPROVED EQUAL. INSTALL IN STRICT CONFORMANCE WITH THE MANUFACTURER'S STANDARD RECOMMENDATIONS AND DETAILS.
- GLUED LAMINATED TIMBER (SOFTWOOD): PROVIDE ENGINEERED BEAMS, SIZES AS SHOWN, IN ACCORDANCE WITH AITC 117-84 DESIGN STANDARD SPECIFICATIONS FOR STRUCTURAL GLUED LAMINATED TIMBER OF SOFTWOOD SPECIES. UNLESS NOTED OTHERWISE, ALL LAMINATIONS SHALL BE SOUTHERN PINE.
 - ANTHONY POWER COLUMNS: COMBINATION 50 SOUTHERN PINE N1D14
 - ANTHONY POWER PRESERVED COLUMNS: COMBINATION 50 SOUTHERN PINE N1D14
 - ANTHONY POWER BEAMS: 3000 Fb - 2.1E - 300 Fv
 - ANTHONY POWER PRESERVED BEAMS: 24F-V5M1/SP (2400 Fb - 1.8E - 300 Fv)

FRAMING LUMBER

- ALL FRAMING LUMBER WORK SHALL CONFORM TO THE FOLLOWING GOVERNING STANDARDS:
 - AMERICAN INSTITUTE OF TIMBER CONSTRUCTION, "TIMBER CONSTRUCTION MANUAL" LOCALLY APPROVED EDITION.
 - NATIONAL FOREST PRODUCTS ASSOCIATION "NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION," LOCALLY APPROVED EDITION.
- FRAMING LUMBER SHALL HAVE EACH PIECE GRADE STAMPED, SHALL BE SURFACED DRY (EXCEPT STUDS, WHICH SHALL BE KILN DRIED) AND SHALL CONFORM TO THE FOLLOWING SPECIES AND GRADE:
 - RAFTERS AND JOISTS: DOUGLAS FIR-LARCH #2 OR HEM FIR #2
 - BEAMS, GIRDERS AND HEADERS: DOUGLAS FIR-LARCH #1 OR HEM FIR #1
 - STUDS AND PLATES: DOUGLAS FIR-LARCH STUD GRADE OR HEM FIR STUD GRADE
- TIMBER LUMBER SHALL CONFORM TO THE FOLLOWING SPECIES AND GRADE:
 - POST AND TIMBER: DOUGLAS FIR-LARCH #1 OR HEM FIR #1
 - BEAMS AND STRINGERS: DOUGLAS FIR-LARCH #1 OR HEM FIR #1
- PRESERVATIVE-TREATED WOOD: PROVIDE TREATED DOUG-FIR #2 LUMBER COMPLYING WITH ACQ-D (CARBONATE). COPPER AZOLE (CA-B), OR SODIUM BORATE (SBX (DOT) WITH NaS10/2) AT ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY, OR AS OTHERWISE INDICATED ON ARCHITECTURAL OR STRUCTURAL DRAWINGS. ACZA TREATMENT IS NOT PERMITTED. TREATED LUMBER AND/OR PLYWOOD SHALL BEAR THE LABEL OF AN ACCREDITED AGENCY SHOWING 0.40 PCF RETENTION. WHERE LUMBER AND/OR PLYWOOD IS CUT OR DRILLED AFTER TREATMENT, THE TREATED SURFACE SHALL BE FIELD-TREATED WITH COPPER NAPHTHATE (THE CONCENTRATION OF WHICH SHALL CONTAIN A MINIMUM OF 2% COPPER METAL) BY REPEATED BRUSHING, DIPPING, OR SOAKING UNTIL THE WOOD ABSORBS NO MORE PRESERVATIVE.
- ALL WOOD FRAMING INCLUDING DETAILS FOR BRIDGING, BLOCKING, FIRE STOPPING, ETC., SHALL CONFORM TO THE LOCALLY APPROVED EDITION OF THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" AND ITS SUPPLEMENTS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE NFPA "MANUAL FOR HOUSE FRAMING" OR THE GOVERNING LOCAL/STATE BUILDING CODE.
- FASTENING SHALL BE IN ACCORDANCE WITH THE MOST RESTRICTIVE OF: THE GOVERNING LOCAL/STATE BUILDING CODE, (LOCALLY APPROVED EDITION), OR THE MANUFACTURER'S RECOMMENDED FASTENING SCHEDULES.
- ALL FLUSH FRAMED CONNECTIONS SHALL BE MADE WITH APPROVED GALVANIZED STEEL JOIST OR BEAM HANGERS, MINIMUM 18 GAUGE, INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- WHERE FRAMING LUMBER IS FLUSH FRAMED TO MICROLAM, STEEL OR FLITCH-PLATE GIRDER, SET THESE GIRDERS 1/2" CLEAR (MIN.) BELOW TOP OF FRAMING LUMBER, TO ALLOW FOR SHRINKAGE.
- BUILT UP BEAMS LESS THAN 8" DEEP SHALL BE SPIKED TOGETHER WITH 2 - 16D NAILS @16"o/c. BUILT UP BEAMS GREATER THAN 8" DEEP SHALL BE SPIKED TOGETHER WITH 3 - 16D NAILS @16" o/c.
- WHERE CANTILEVERED BEAMS ARE INDICATED, THE FAR CONNECTOR SHALL BE CAPABLE OF RESISTING AN UPLIFT OF 1000 LBS. MIN., U.N.O.
- NO NEW OR EXISTING JOISTS SHALL BE CUT OR NOTCHED WITHOUT APPROVAL.
- ALL LIGHT-GAUGE HANGERS SUPPORTING PRESERVATIVE TREATED WOOD SHALL MEET OR EXCEED G185 (1.85 OZ OF ZINC PER SQUARE FOOT). ALTERNATIVELY, STAINLESS STEEL CONNECTIONS MAY BE USED. FASTENERS SHALL MATCH THE HANGER FINISH AND MATERIAL.

SPECIAL INSPECTIONS

- INSPECTIONS REQUIRED BY THE LOCAL JURISDICTION SHALL BE PERFORMED BY A TESTING AGENCY PROVIDED BY THE OWNER FOR THE FOLLOWING ITEMS:
 - INSPECTION OF FABRICATORS (IBC 1704.2.5)
 - STEEL CONSTRUCTION (IBC 1705.2)
 - STRUCTURAL STEEL (IBC 1705.2.1)
 - STRUCTURAL STEEL WELDING (AISC 360, AWS D1.1)
 - HIGH STRENGTH BOLTS (AISC 360)
 - CONCRETE CONSTRUCTION (IBC 1705.3, TABLE 1705.3)
 - WELDING OF REINFORCING BARS (IBC 1705.3.1, TABLE 1705.3)
 - MATERIALS (IBC 1705.3.1)
 - POST-INSTALLED ANCHORS (IBC TABLE 1705.3)
 - MASONRY CONSTRUCTION (IBC 1705.4, ACI 530 AND ACI 530.1 LEVEL B QUALITY ASSURANCE)
 - WOOD CONSTRUCTION (IBC 1705.5)
 - SOILS (IBC 1705.6, TABLE 1705.6)
- STRUCTURAL OBSERVATIONS REQUIRED BY THE LOCAL JURISDICTION AND IBC 1704.5 SHALL BE PERFORMED BY A REGISTERED DESIGN PROFESSIONAL PROVIDED BY THE OWNER. STRUCTURAL OBSERVATIONS SHALL BE THE VISUAL OBSERVATION OF THE STRUCTURAL SYSTEM FOR GENERAL CONFORMANCE TO THE APPROVED CONSTRUCTION DOCUMENTS.
- TESTING AGENCY FOR THE INSPECTIONS SHALL FILE ALL APPROPRIATE FORMS WITH THE BUILDING DEPARTMENT.

APPROVED
Montgomery County
Historic Preservation Commission



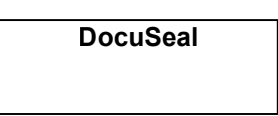
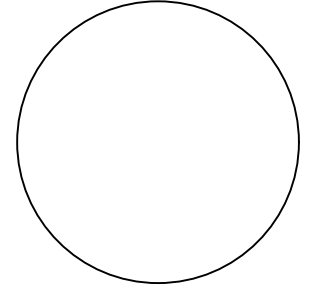
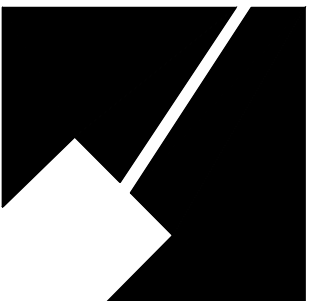


REVIEWED
By Michael Kyne at 12:50 pm, May 31, 2023

DESIGN LOADS AND FACTORS

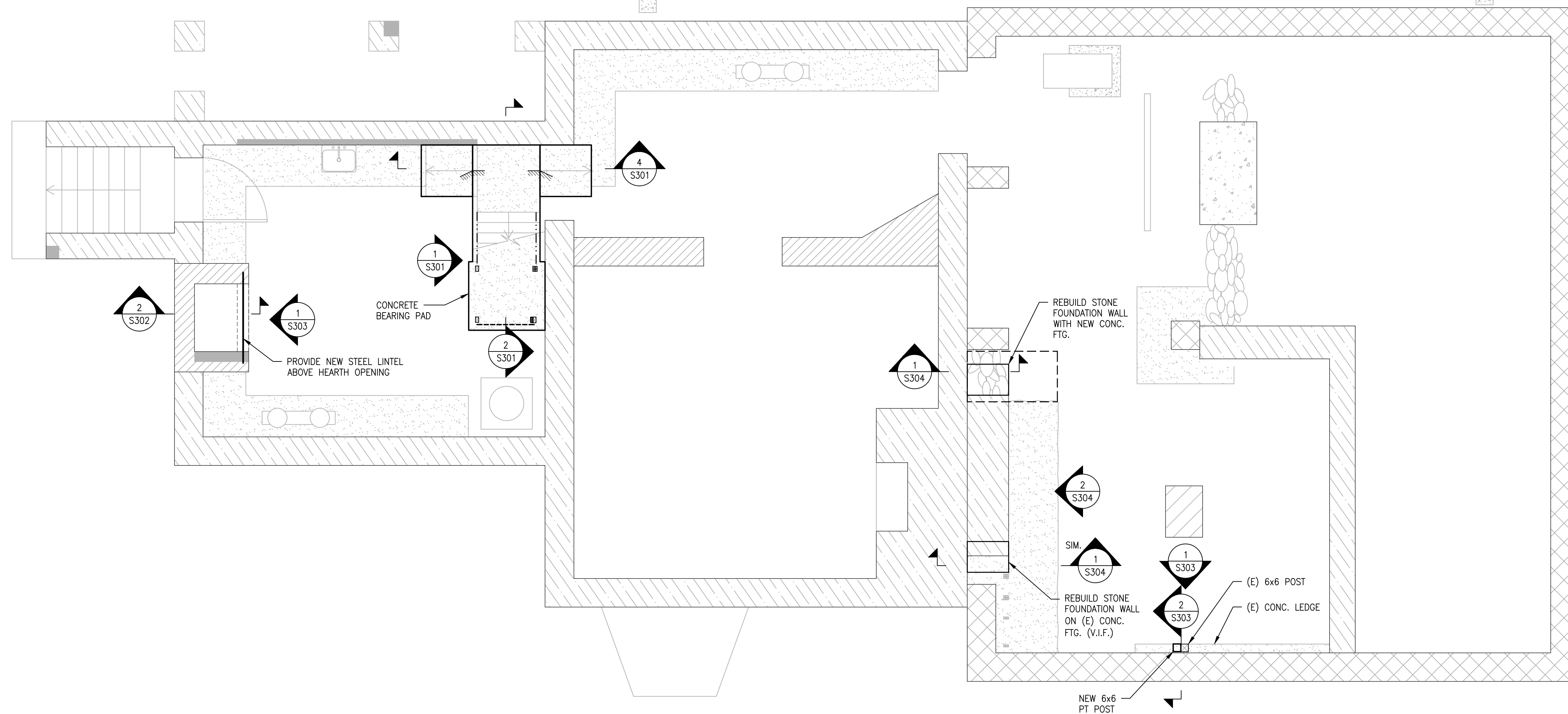
| LIVE LOADS | | SNOW LOADS | | WIND DESIGN PARAMETERS | | SEISMIC DESIGN PARAMETERS | |
|-----------------------------|-------------------------|--|-------------------------|------------------------|-------------------------|---|--------|
| FLOOR OR ROOF AREA | LOAD (PSF) | LOAD TYPE | LOAD (PSF) | PARAMETER | VALUE | PARAMETER | VALUE |
| FIRST FLOOR CORRIDORS | 100 | SNOW | 30 | BASIC WIND SPEED | 110 MPH | SEISMIC DESIGN CATEGORY | B |
| ASSEMBLY | 100 | DRIFT | N/A | WIND EXPOSURE | B | RISK CATEGORY | II |
| OFFICES | 50 | | | | | SITE CLASS (ASSUMED) | D |
| RESIDENTIAL AREAS | 40 | | | | | SHORT PERIOD DESIGN VALUE (S _{ps}) | 0.144g |
| CORRIDORS ABOVE FIRST FLOOR | 80 | | | | | 1.0 SEC. PERIOD DESIGN VALUE (S _{p1}) | 0.069g |
| ROOF | 20 | PARAMETER | VALUE | | | RESPONSE MODIFICATION (R) | 1.5 |
| | | GROUND SNOW LOAD (P _g) | 25 | | | * PER GEOTECHNICAL REPORT DETAILED IN FOUNDATION NOTES. | |
| | | SNOW EXPOSURE FACTOR (C _e) | 1.0 | | | | |
| | | SNOW LOAD IMPORTANCE FACTOR (I) | 1.0 | | | | |
| | | TERRAIN EXPOSURE | B | | | | |
| SPECIAL CONSIDERATIONS: | SPECIAL CONSIDERATIONS: | | SPECIAL CONSIDERATIONS: | | SPECIAL CONSIDERATIONS: | | |

****NOT FOR CONSTRUCTION****

|   | <p>DRAWING CHECKED BY:</p> <table border="1"> <tr> <th>Submission Name</th> <th>Initials</th> <th>Date</th> </tr> <tr> <td>MHT SUBMISSION</td> <td>NF / JM</td> <td>4/10/2023</td> </tr> </table> | Submission Name | Initials | Date | MHT SUBMISSION | NF / JM | 4/10/2023 | <p>PROFESSIONAL CERTIFICATION: I, John A. Matteo, hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.</p> <p>LICENSE NO. <u>57428</u></p> <p>EXPIRATION DATE: <u>04/05/2025</u></p>   |  <p>The Maryland-National Capital Park and Planning Commission</p> <p>Montgomery County Department of Parks 9500 Brunett Avenue Silver Spring, Maryland 20901 (301) 495-2535</p> | <p>SUBMISSION / REVISION</p> <table border="1"> <tr> <th>Rev. No.</th> <th>Date</th> <th>Description</th> </tr> <tr> <td></td> <td>04.10.2023</td> <td>MHT SUBMISSION</td> </tr> </table> | Rev. No. | Date | Description | | 04.10.2023 | MHT SUBMISSION | <p>STRUCTURAL GENERAL NOTES</p> <p>BUILDING ENVELOPE REPAIRS</p> <p>HISTORIC WATERS HOUSE 12535 MILESTONE MANOR LANE GERMANTOWN, MD 20876</p> <p>SCALE:</p> | <p>DWG. #</p> <p>S001</p> |
|---|--|-----------------|----------|------|----------------|---------|-----------|--|--|--|----------|------|-------------|--|------------|----------------|---|---|
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| | 04.10.2023 | MHT SUBMISSION | | | | | | | | | | | | | | | | |

REVIEWED
By Michael Kyne at 12:50 pm, May 31, 2023

APPROVED
Montgomery County
Historic Preservation Commission
Robert A. Norton



1 BASEMENT / FOUNDATION PLAN
S100 SCALE: 1/4" = 1'-0"

****NOT FOR CONSTRUCTION****

ENCORE SUSTAINABLE ARCHITECTS
ARCHITECTURE PRESERVATION
31 LIGHT STREET, SUITE 200, BALTIMORE, MD 21202
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|---------------------|----------|-----------|
| Submission Name | Initials | Date |
| MHT SUBMISSION | NF / JM | 4/10/2023 |
| | | |
| | | |
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PROFESSIONAL CERTIFICATION:
I, John A. Matteo, hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

LICENSE NO. 57428

EXPIRATION DATE: 04/05/2025

DocuSeal

The Maryland-National Capital Park and Planning Commission
Montgomery County Department of Parks
9500 Brunett Avenue
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(301) 495-2535

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BASEMENT / FOUNDATION PLAN

BUILDING ENVELOPE REPAIRS

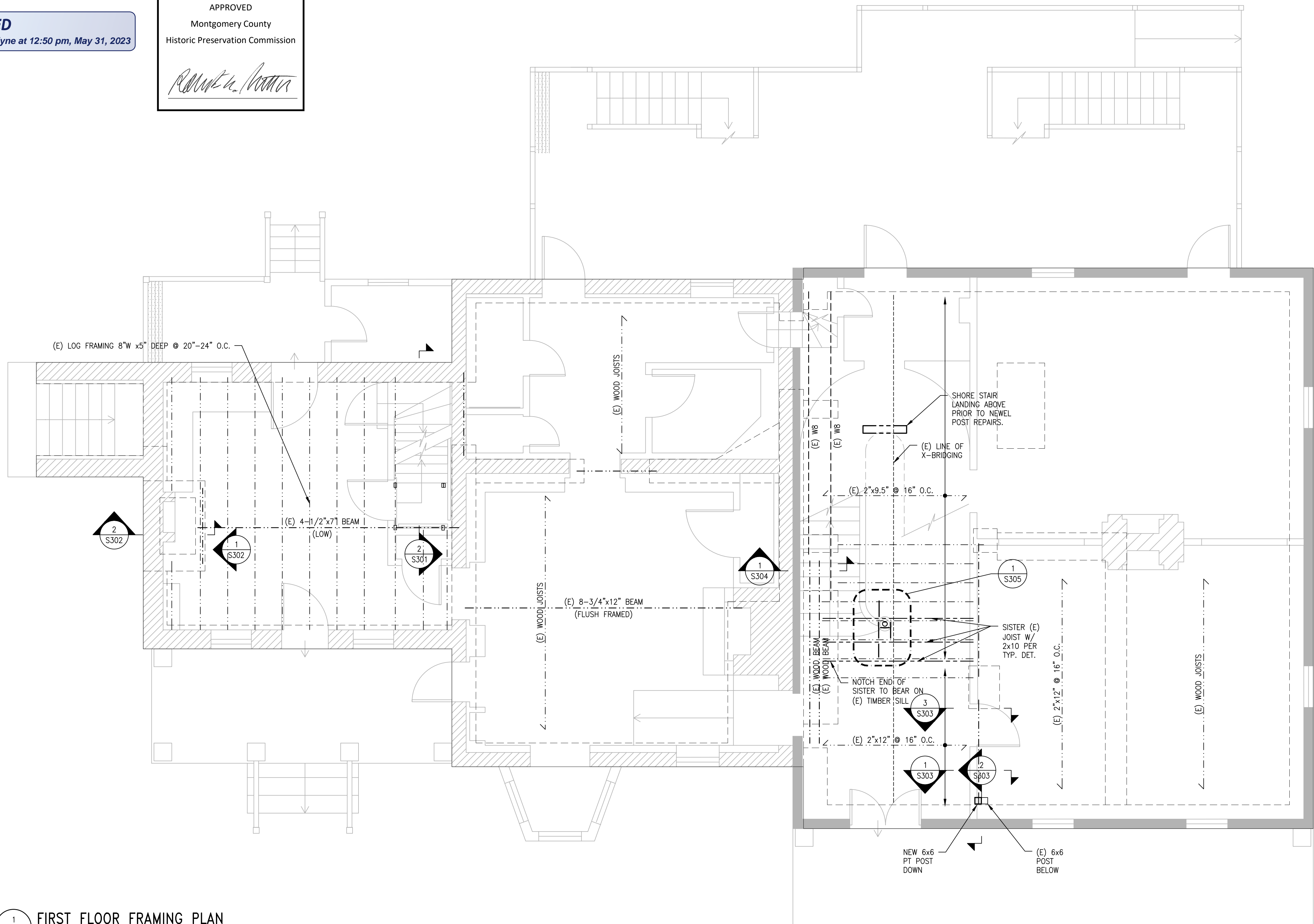
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12535 MILESTONE MANOR LANE
GERMANTOWN, MD 20876

SCALE:

DWG. #
S100

REVIEWED
By Michael Kyne at 12:50 pm, May 31, 2023

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]



1 S101 FIRST FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

****NOT FOR CONSTRUCTION****

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MCC=1200 ARCHITECTURAL ENGINEERS PLLC
210 N. Lee St., Suite 210
Alexandria, VA 22314
T: 703.350.4151
1200ae.com

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|---------------------|----------|-----------|
| Submission Name | Initials | Date |
| MHT SUBMISSION | NF / JM | 4/10/2023 |
| | | |
| | | |
| | | |

PROFESSIONAL CERTIFICATION:
I, John A. Matteo, hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

LICENSE NO. 57428

EXPIRATION DATE: 04/05/2025

DocuSeal

The Maryland-National Capital Park and Planning Commission
Montgomery County Department of Parks
9500 Brunett Avenue
Silver Spring, Maryland 20901
(301) 495-2535

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|-----------------------|------------|----------------|
| Rev. No. | Date | Description |
| | 04.10.2023 | MHT SUBMISSION |
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1ST FLOOR FRAMING PLAN

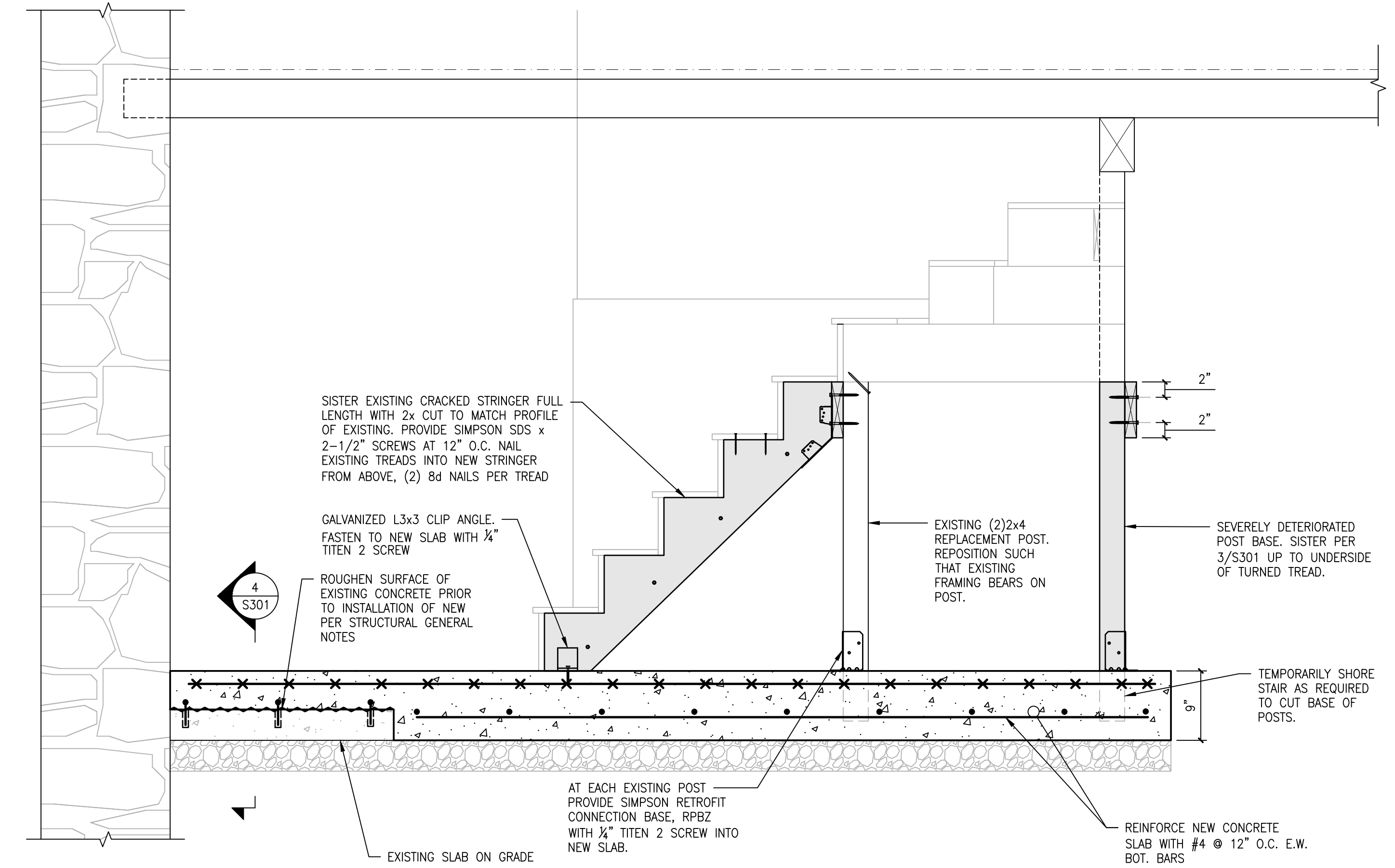
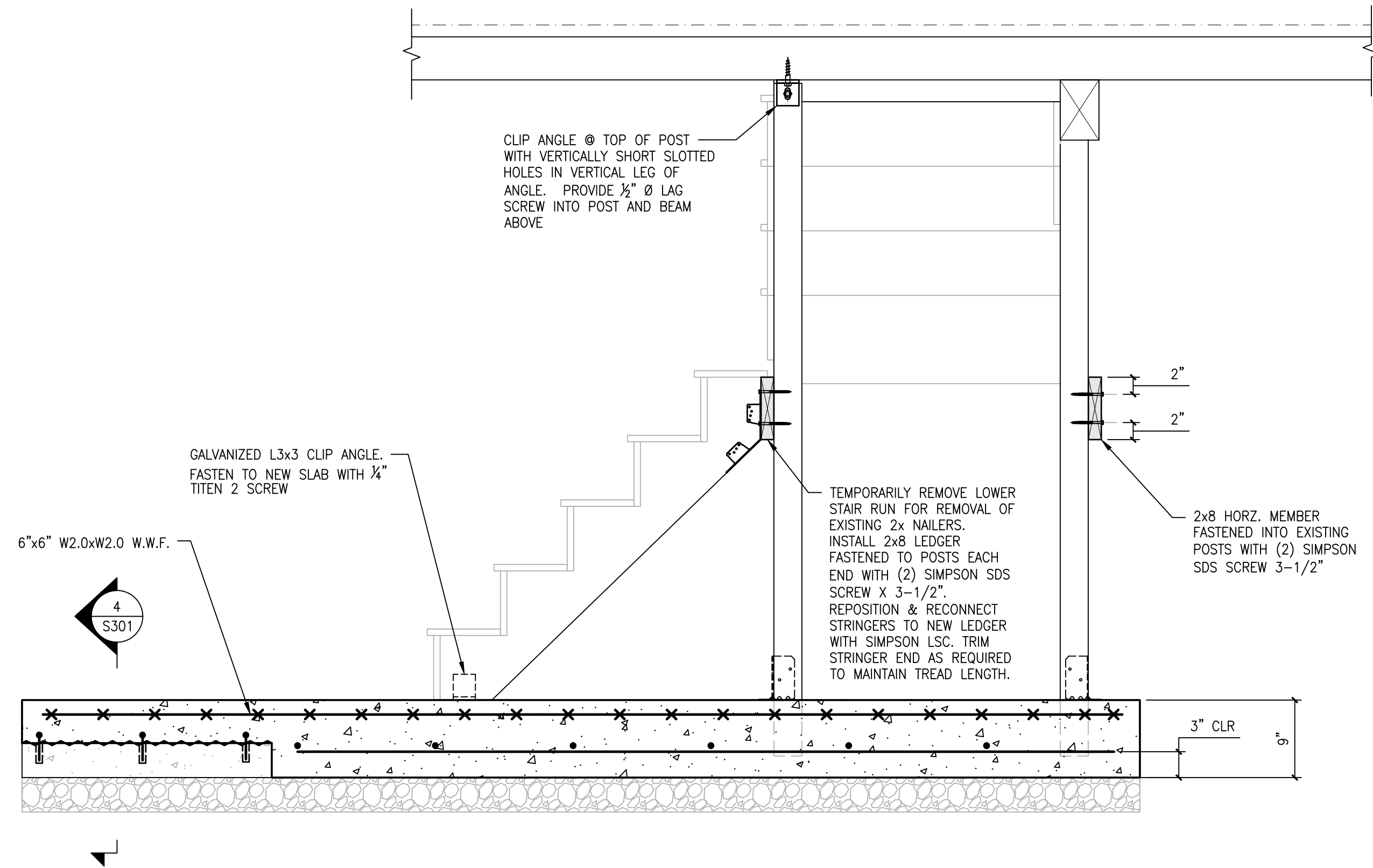
BUILDING ENVELOPE REPAIRS

HISTORIC WATERS HOUSE
12535 MILESTONE MANOR LANE
GERMANTOWN, MD 20876

SCALE:

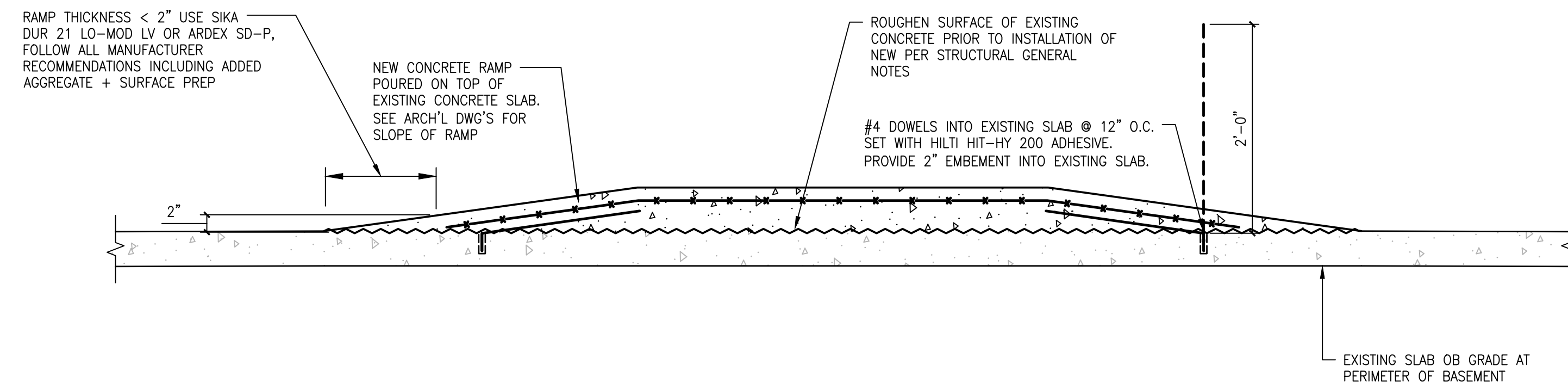
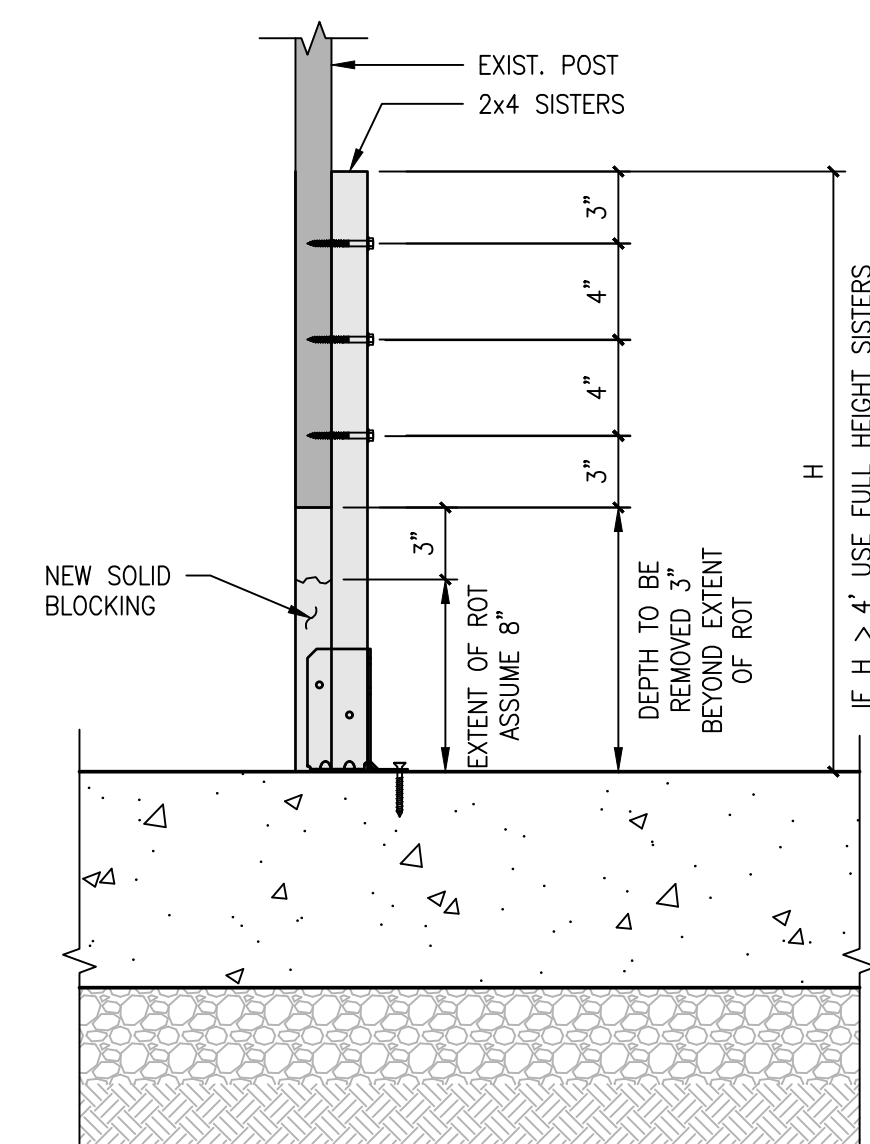
DWG. #
S101

FINAL SCANNED
PLAN SCANNED
PARK CODE



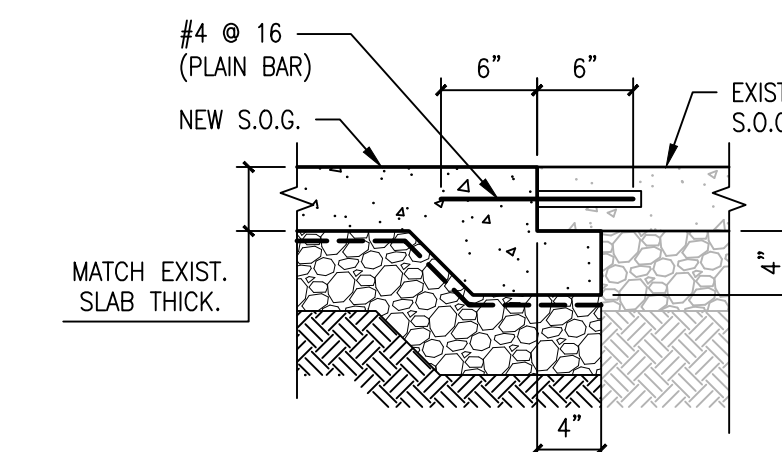
1 ELEVATION BASEMENT STAIR
S301 SCALE: 1" = 1'-0"

2 SECTION THROUGH BASEMENT STAIR
S301 SCALE: 1" = 1'-0"



REVIEWED
By Michael Kyne at 12:50 pm, May 31, 2023

APPROVED
Montgomery County
Historic Preservation Commission
Robert A. ...



3 WOOD POST BEARING REPAIR
S301 SCALE: 1-1/2" = 1'-0"

4 CONCRETE RAMP OVERBUILD
S301 SCALE: 1" = 1'-0"

5 CONNECTION OF NEW TO EXISTING S.O.G.
S301 SCALE: NTS

****NOT FOR CONSTRUCTION****

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ARCHITECTURE PRESERVATION
31 LIGHT STREET, SUITE 200, BALTIMORE, MD 21202
(410) 624-5461

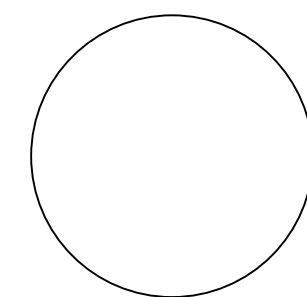
MCC=1200 ARCHITECTURAL ENGINEERS PLLC
210 N. Lee St., Suite 210
Alexandria, VA 22314
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1200aee.com

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Park and Planning Commission
Montgomery County Department of Parks
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(301) 495-2535

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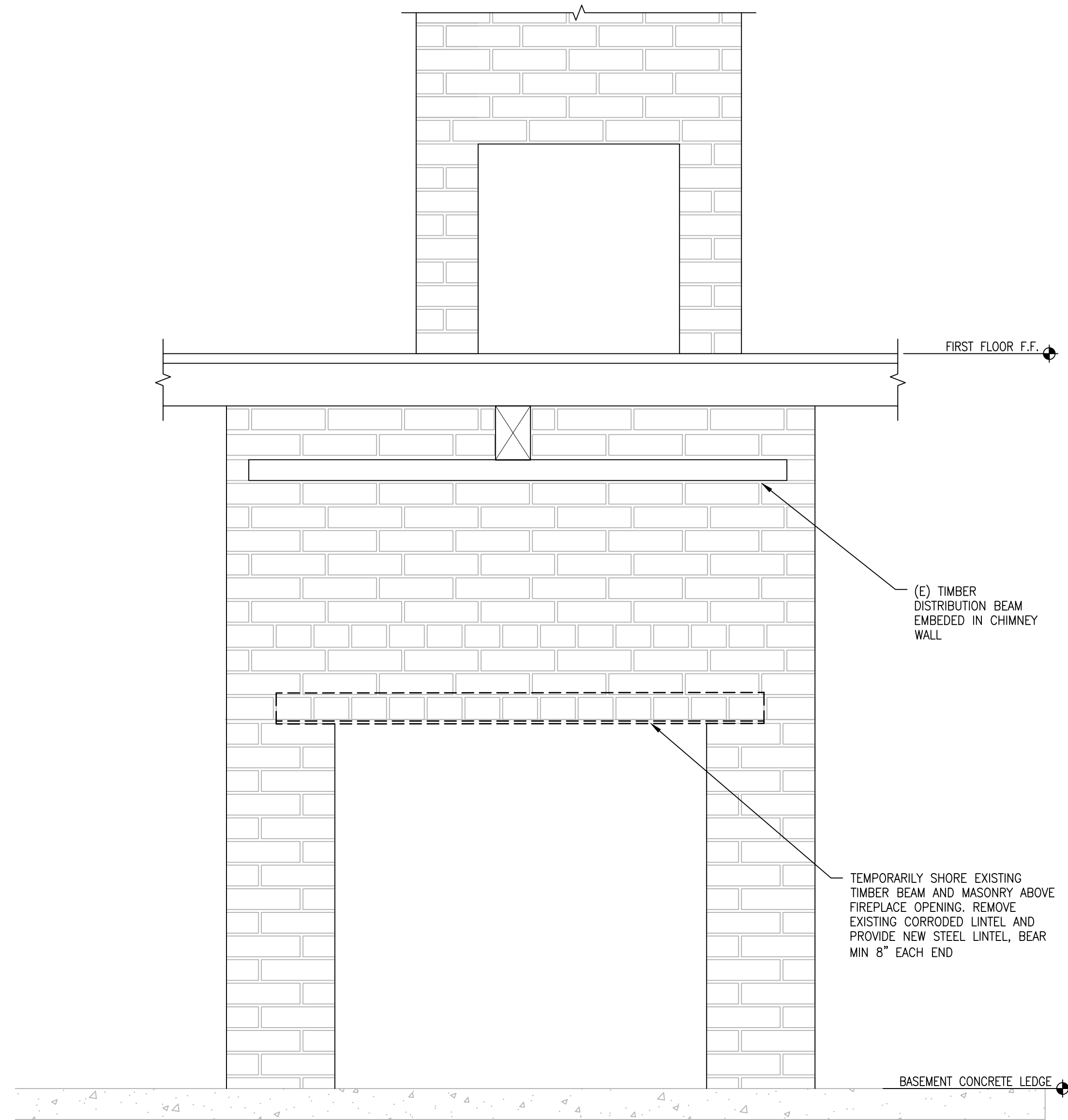
BASEMENT STAIR DETAILS
BUILDING ENVELOPE REPAIRS
HISTORIC WATERS HOUSE
12535 MILESTONE MANOR LANE
GERMANTOWN, MD 20876
SCALE:

DWG. #
S301

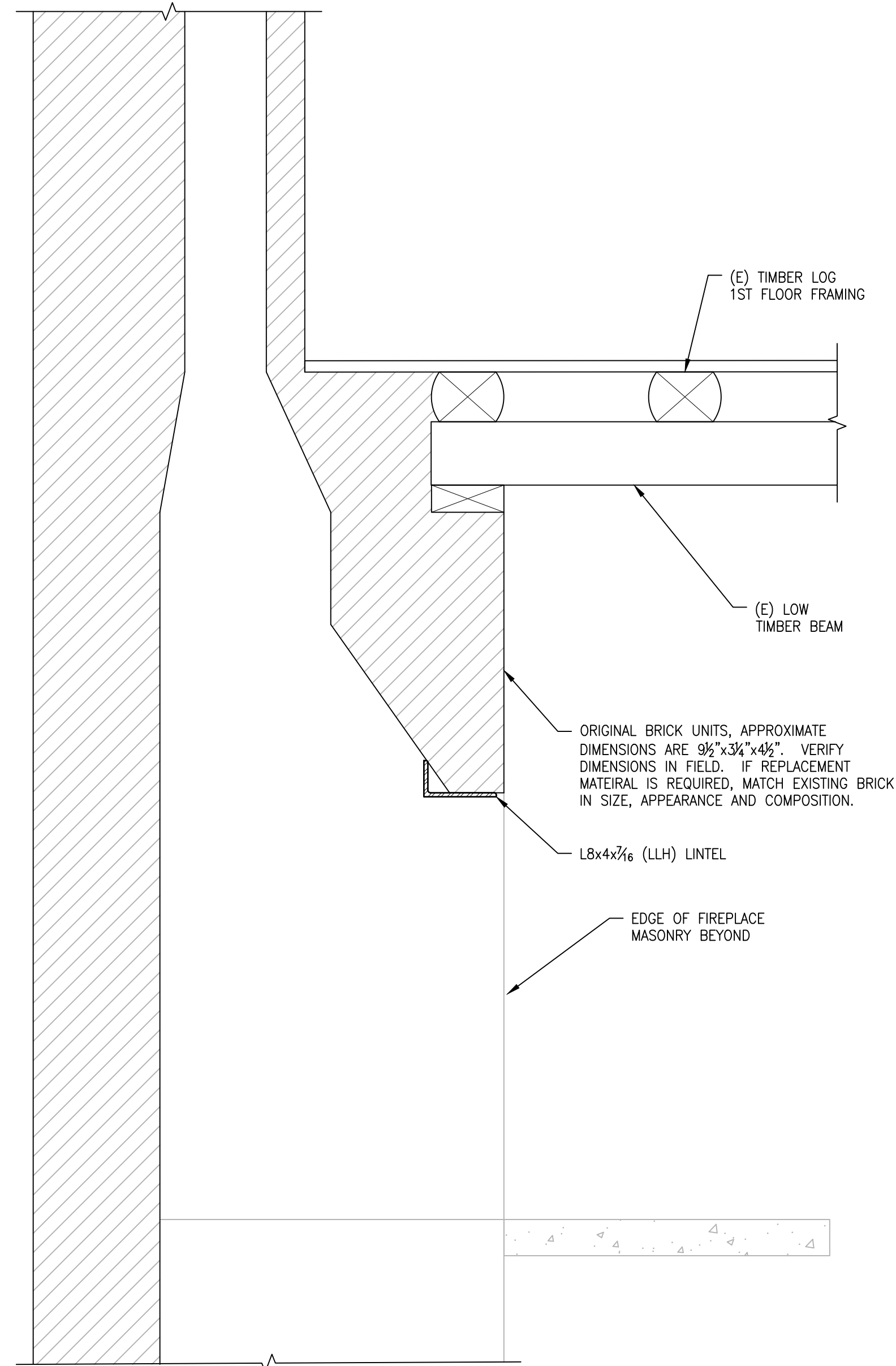
FINAL SCANNED
PLAN REVISIONS
PARK CODE

REVIEWED
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Montgomery County
Historic Preservation Commission
Robert A. ...



1 ELEVATION OF BASEMENT FIREPLACE
S302 SCALE: 1" = 1'-0"



2 SECTION THROUGH BASEMENT FIREPLACE
S302 SCALE: 1" = 1'-0"

****NOT FOR CONSTRUCTION****

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ARCHITECTURE PRESERVATION
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Montgomery County Department of Parks
9500 Brunett Avenue
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BASEMENT FIREPLACE DETAILS

BUILDING ENVELOPE REPAIRS

HISTORIC WATERS HOUSE
12535 MILESTONE MANOR LANE
GERMANTOWN, MD 20876

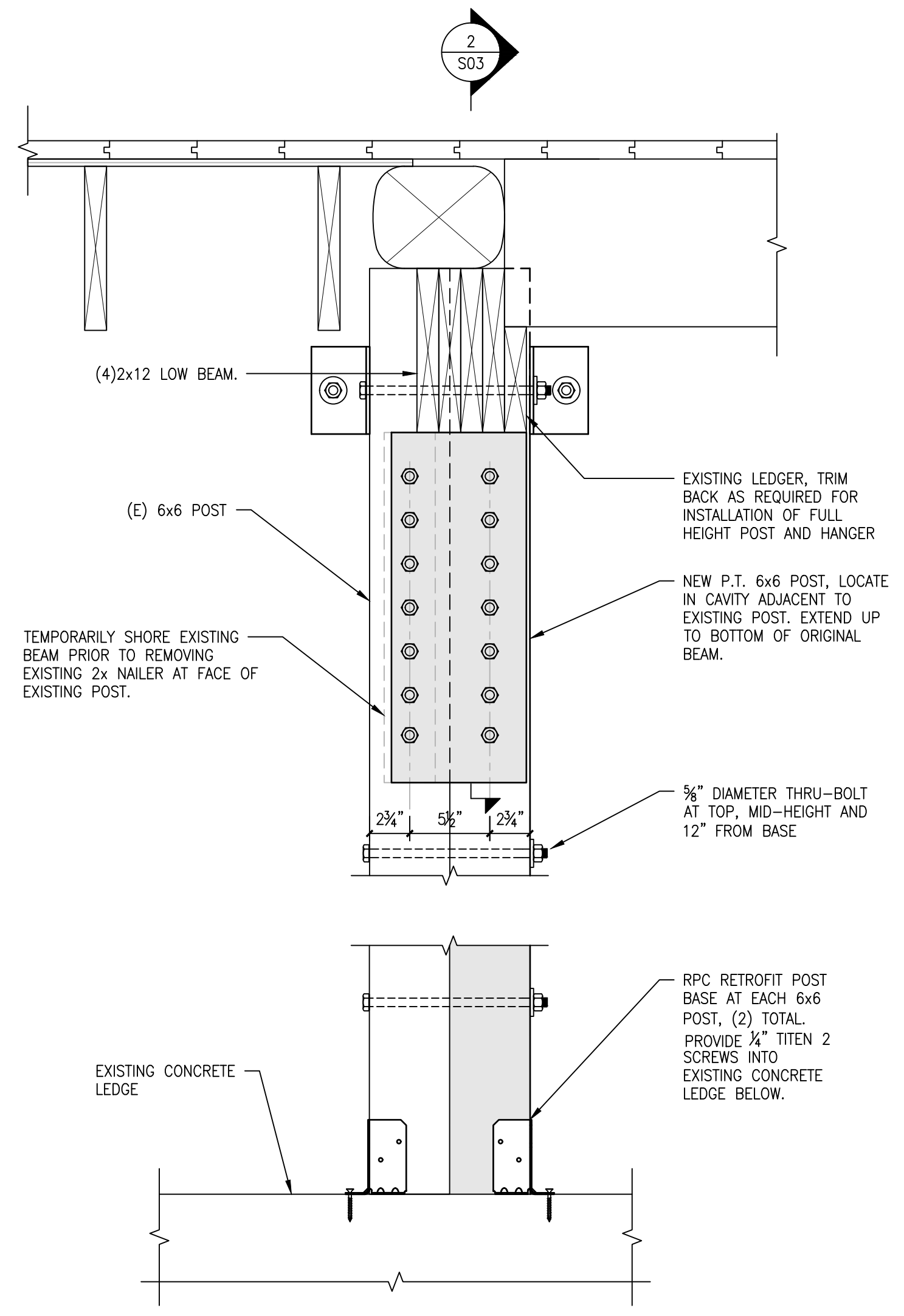
SCALE:

DWG. #
S302

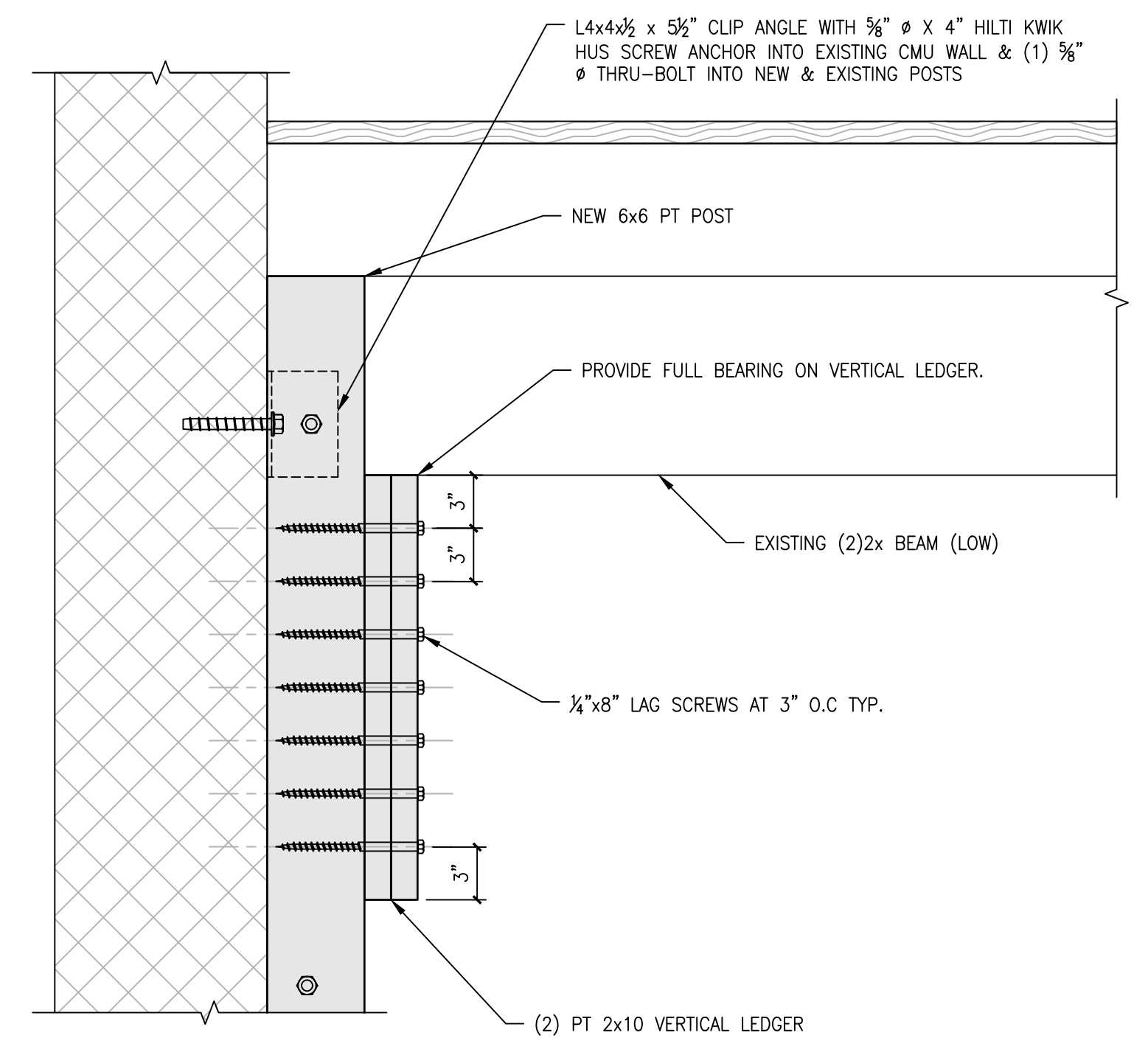
FINAL REVISION
PLAN REVISION
MARK CODE

REVIEWED
By Michael Kyne at 12:50 pm, May 31, 2023

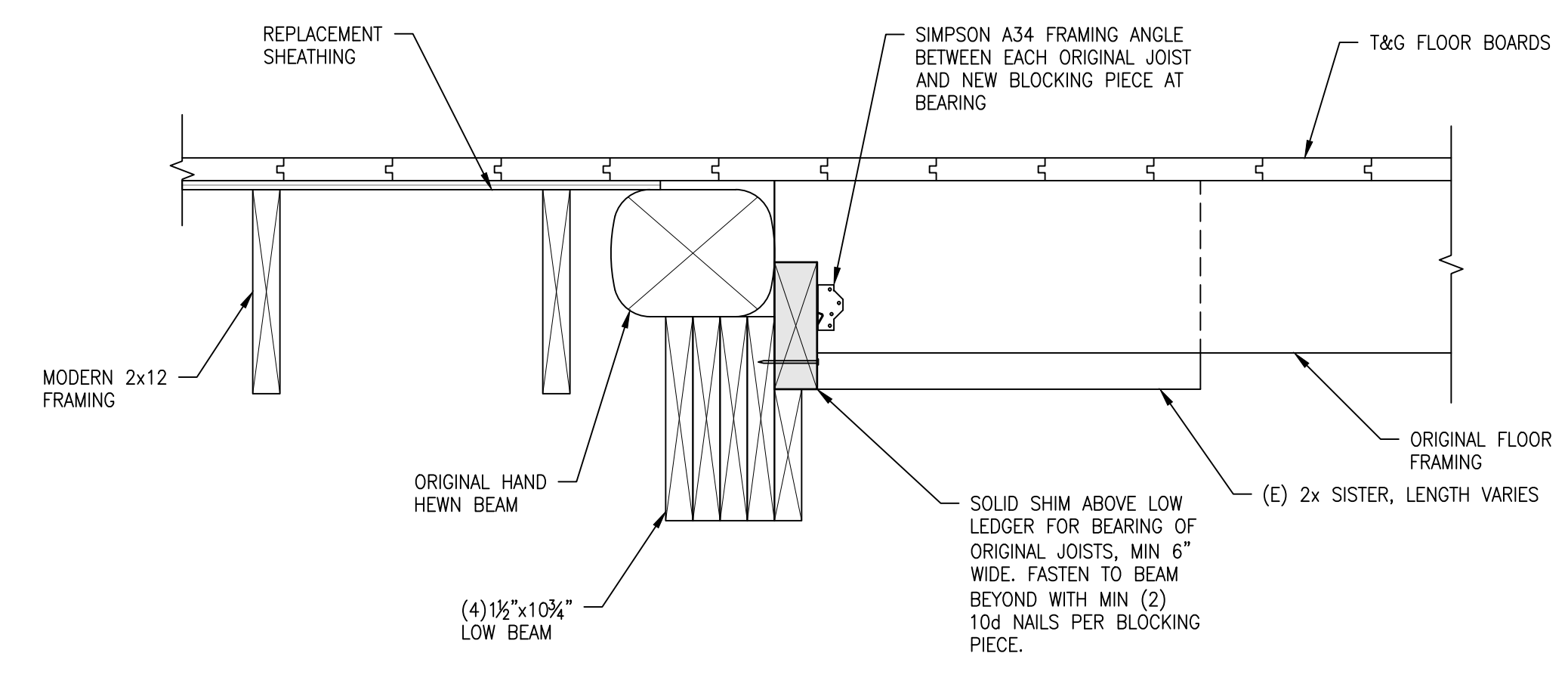
APPROVED
Montgomery County
Historic Preservation Commission
Robert A. ...



1 REINFORCED POST ELEVATION
SCALE: 1-1/2" = 1'-0"



2 REINFORCED POST SECTION
SCALE: 1-1/2" = 1'-0"



3 MODIFIED CONNECTION OF EXISTING FIRST FLOOR FRAMING
SCALE: 1-1/2" = 1'-0"

****NOT FOR CONSTRUCTION****

ENCORE SUSTAINABLE ARCHITECTS
31 LIGHT STREET, SUITE 200, BALTIMORE, MD 21202
(410) 624-5461

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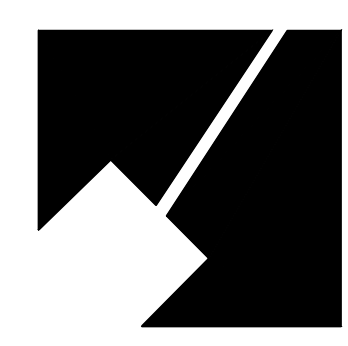
| DRAWING CHECKED BY: | | |
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| Submission Name | Initials | Date |
| MHT SUBMISSION | NF / JM | 4/10/2023 |
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Montgomery County Department of Parks
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ROOM 002 FRAMING REPAIRS

BUILDING ENVELOPE REPAIRS

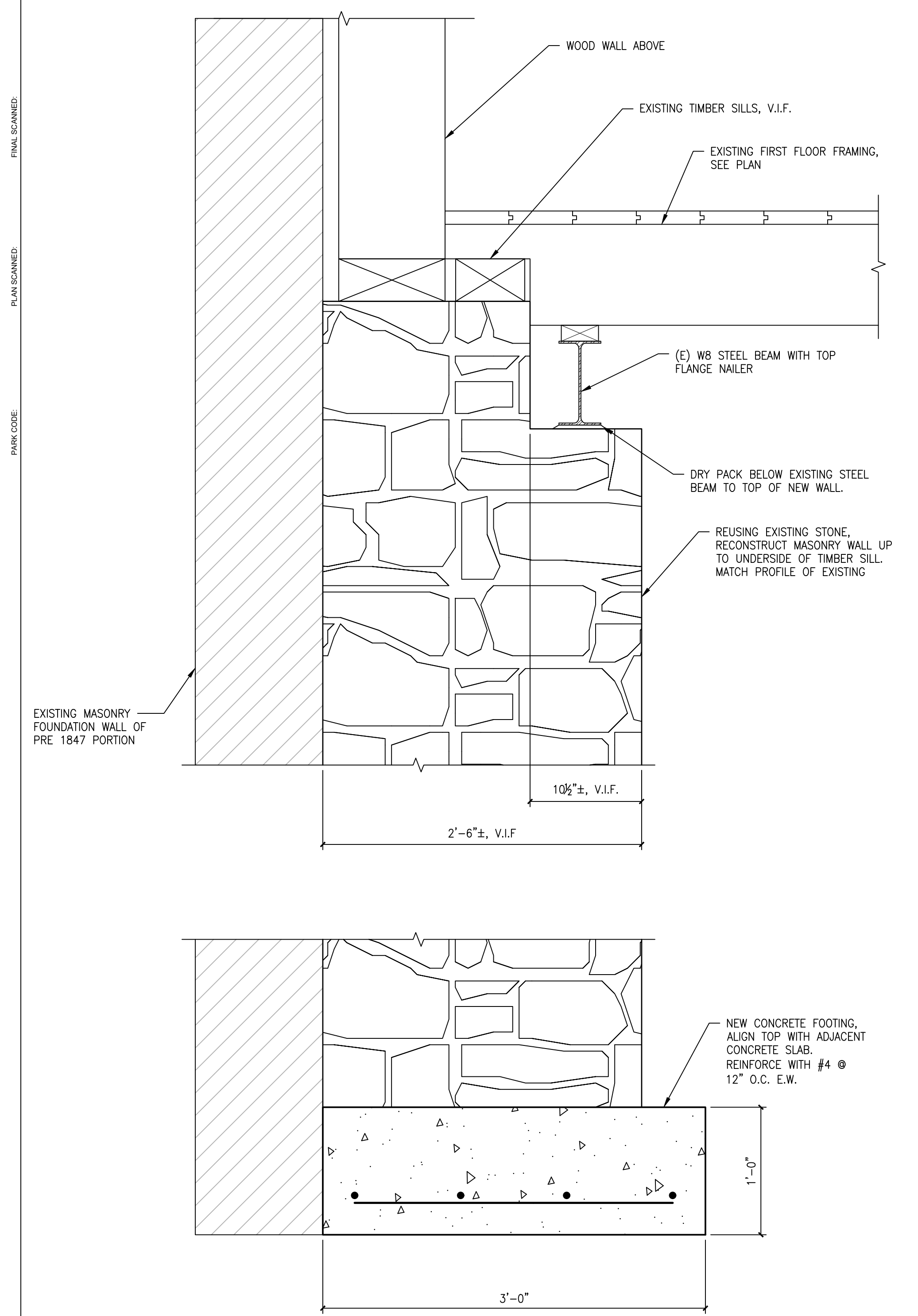
HISTORIC WATERS HOUSE
12535 MILESTONE MANOR LANE
GERMANTOWN, MD 20876

SCALE:

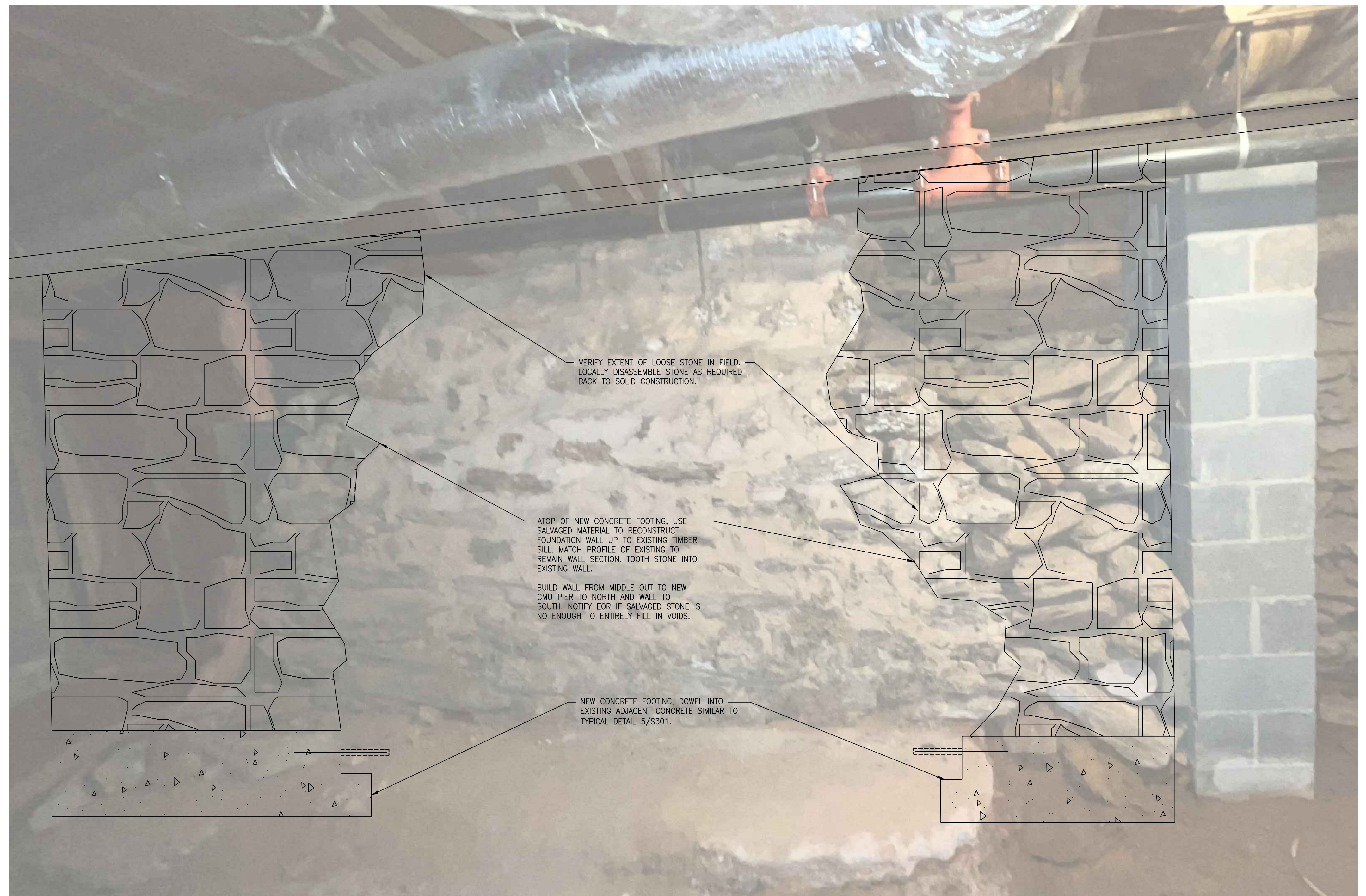
DWG. #
S303

REVIEWED
By Michael Kyne at 12:50 pm, May 31, 2023

APPROVED
Montgomery County
Historic Preservation Commission
Ronald H. [Signature]



1 SECTION THROUGH RECONSTRUCTED WALL
S304 SCALE: 1-1/2" = 1'-0"



2 WALL ELEVATION
S304 SCALE: NTS

****NOT FOR CONSTRUCTION****

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ARCHITECTURE PRESERVATION
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EXPIRATION DATE: 04/05/2025

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The Maryland-National Capital Park and Planning Commission

Montgomery County Department of Parks
9500 Brunett Avenue
Silver Spring, Maryland 20901
(301) 495-2535

| SUBMISSION / REVISION | | |
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| Rev. No. | Date | Description |
| | 04.10.2023 | MHT SUBMISSION |
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| | | |

ROOM 002 STONE WALL REPAIRS

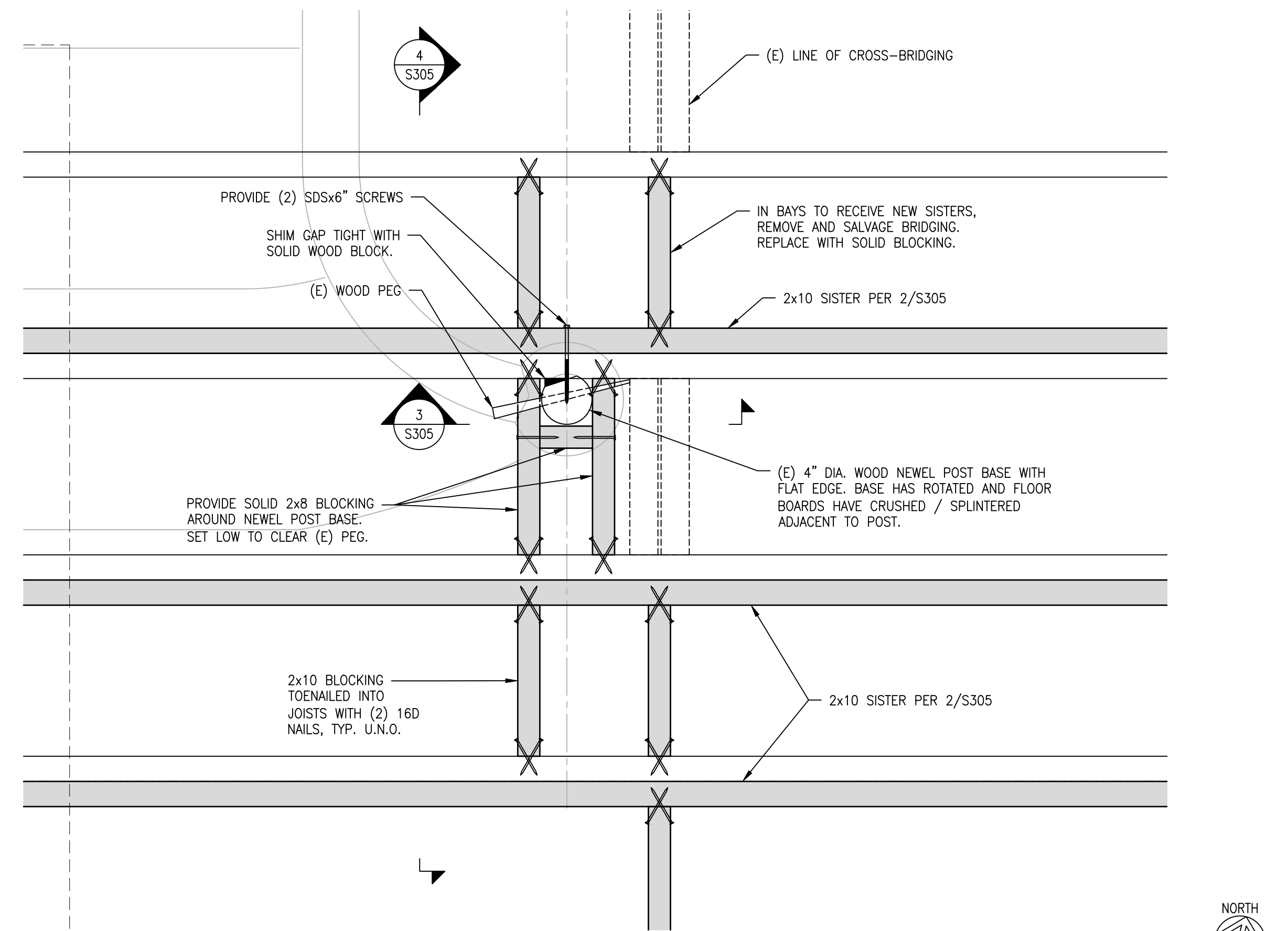
BUILDING ENVELOPE REPAIRS

HISTORIC WATERS HOUSE
12535 MILESTONE MANOR LANE
GERMANTOWN, MD 20876

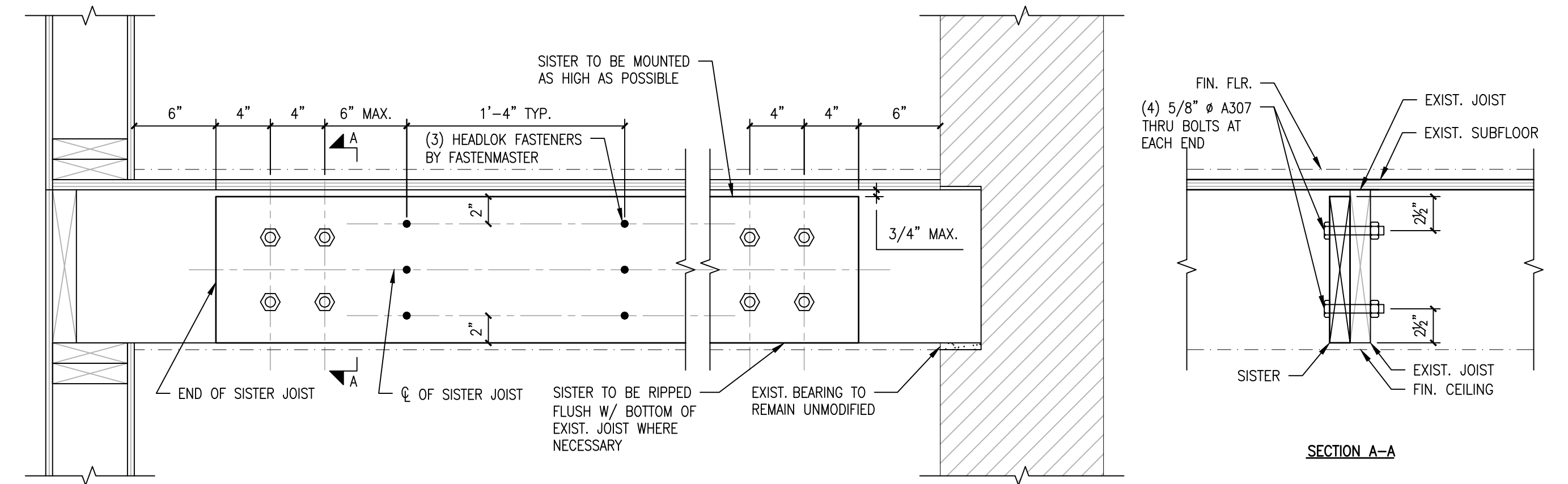
SCALE:

DWG. #
S304

FINAL REVISION
PLAN REVISION
MARK CODE



1 PARTIAL PLAN AT FIRST FLOOR FRAMING AT NEWEL POST
S305 SCALE: 3/4" = 1'-0"

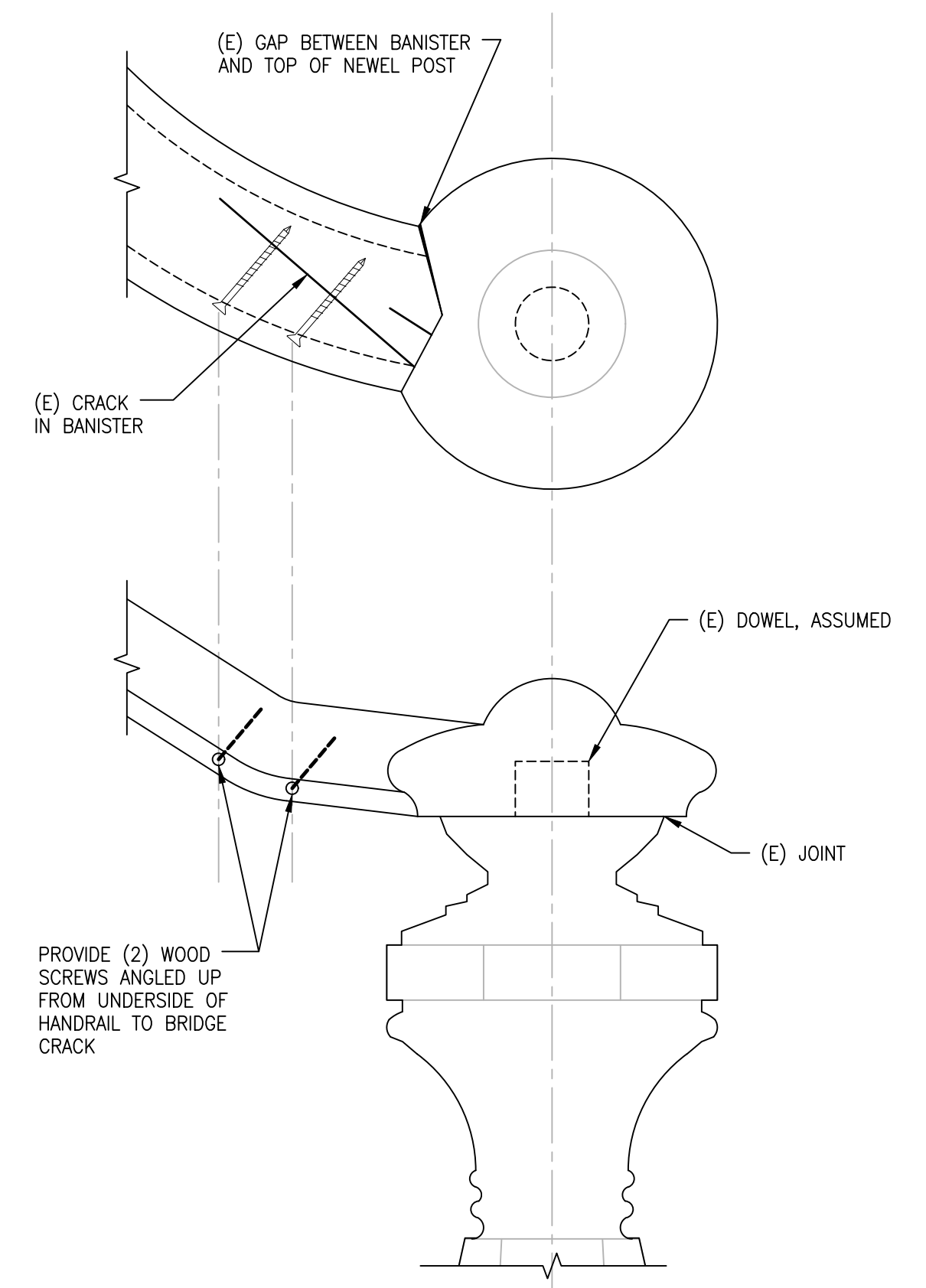


2 SCREWED & BOLTED WOOD SISTER
S305 SCALE: N.T.S.

NOTE:
REPLACE AND/OR PROVIDE BLOCKING AND BRIDGING AS NECESSARY. SEE PROJECT GENERAL NOTES.

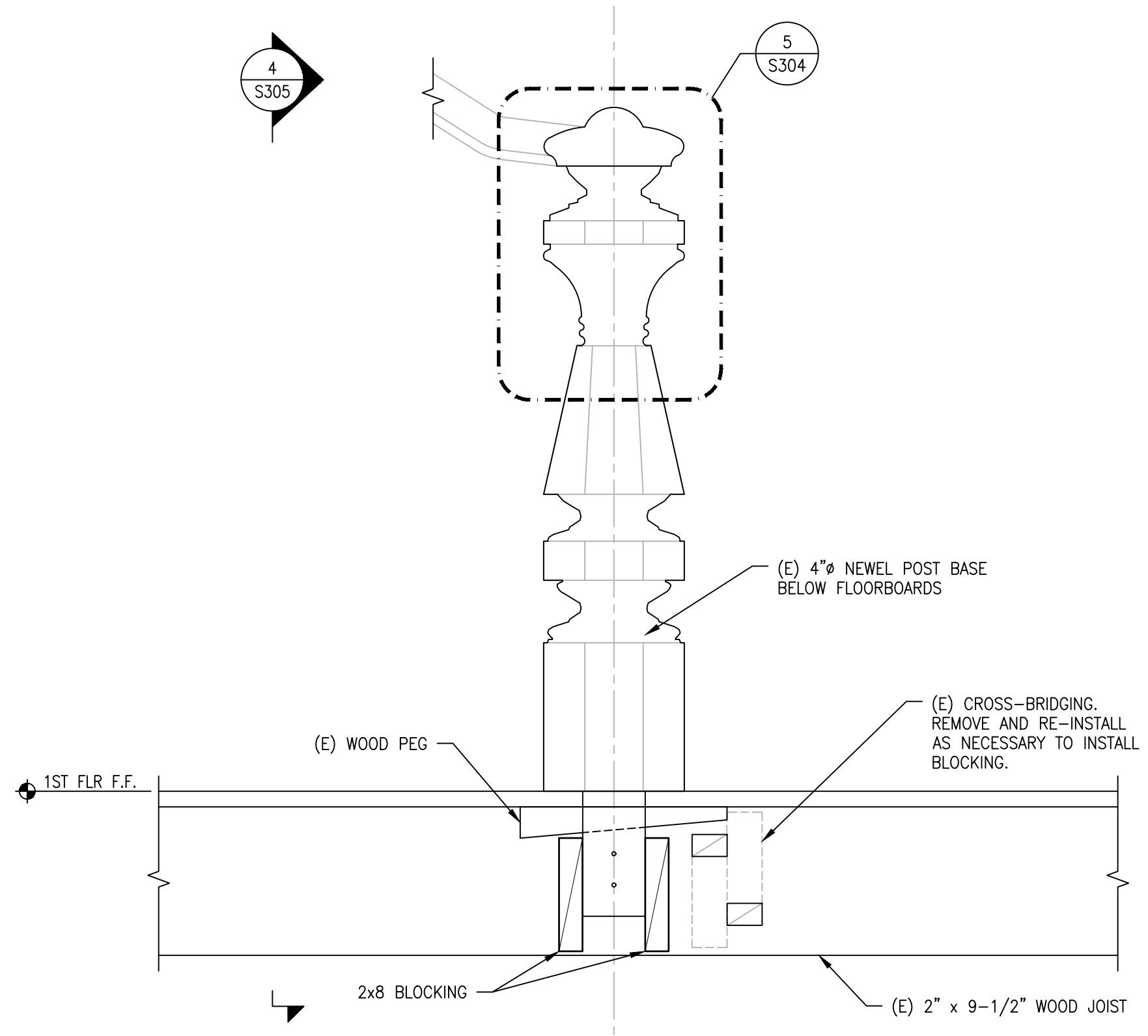
REVIEWED
By Michael Kyne at 12:50 pm, May 31, 2023

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]

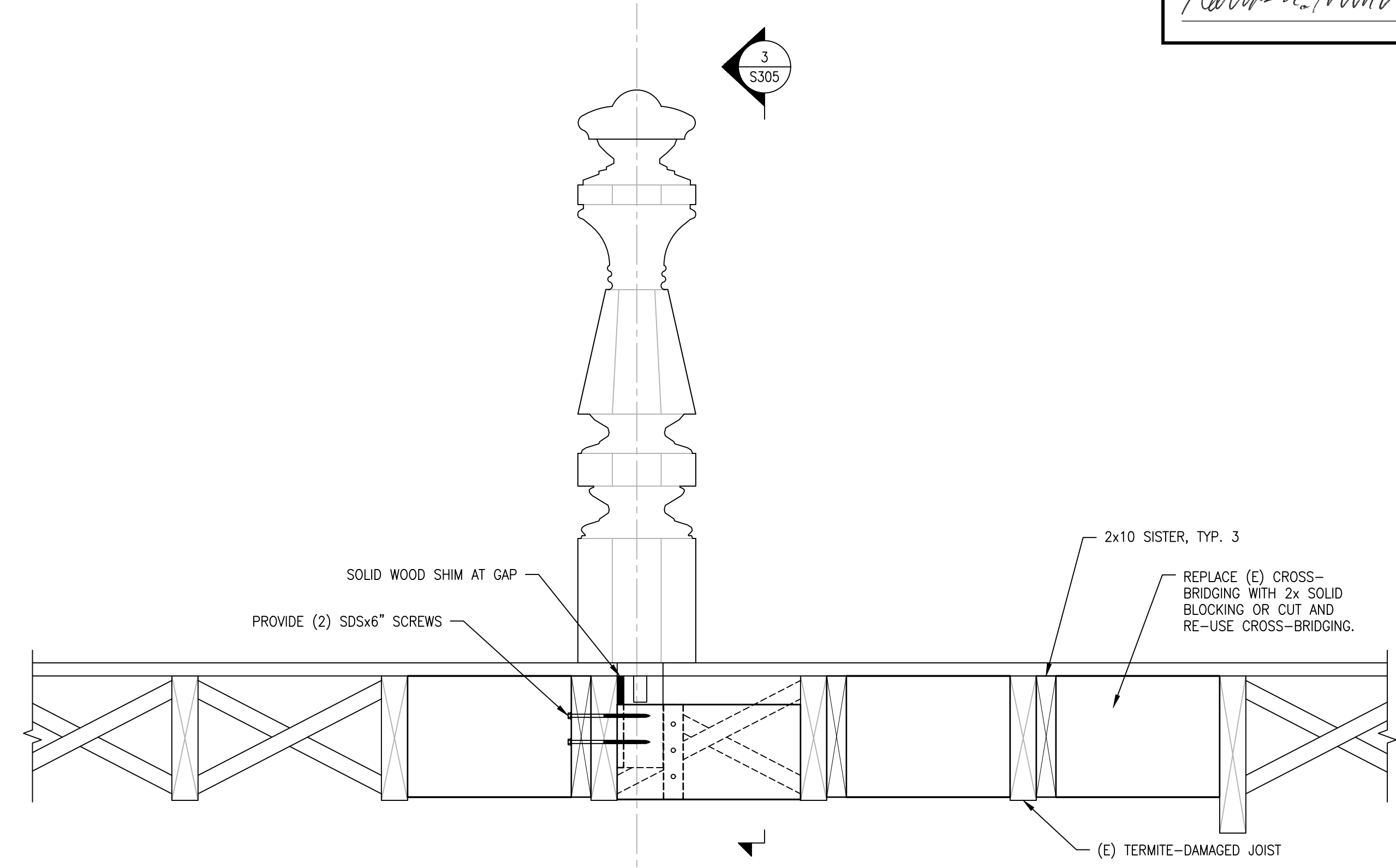


- CONSTRUCTION SEQUENCE:
1. PROVIDE TEMPORARY SHORING BELOW CURVED LANDING BETWEEN FIRST AND SECOND FLOOR LEVELS.
 2. CAREFULLY REMOVE NEWEL POST CAP.
 3. READHERE CAP WITH WOOD GLUE AT HORIZONTAL JOINT AND DOWEL. APPLY SPACER FABRIC AT DOWEL AS REQUIRED FOR SNUG FIT.
 4. REMOVE SHORING ONCE GLUE HAS FULLY HARDENED / CURED.

5 SECTION AT NEWEL POST CAP TO HANDRAIL CONNECTION
S305 SCALE: 3" = 1'-0"



3 SECTION AT NEWEL POST BASE
S305 SCALE: 1-1/2" = 1'-0"



4 SECTION AT NEWEL POST BASE
S305 SCALE: 1-1/2" = 1'-0"

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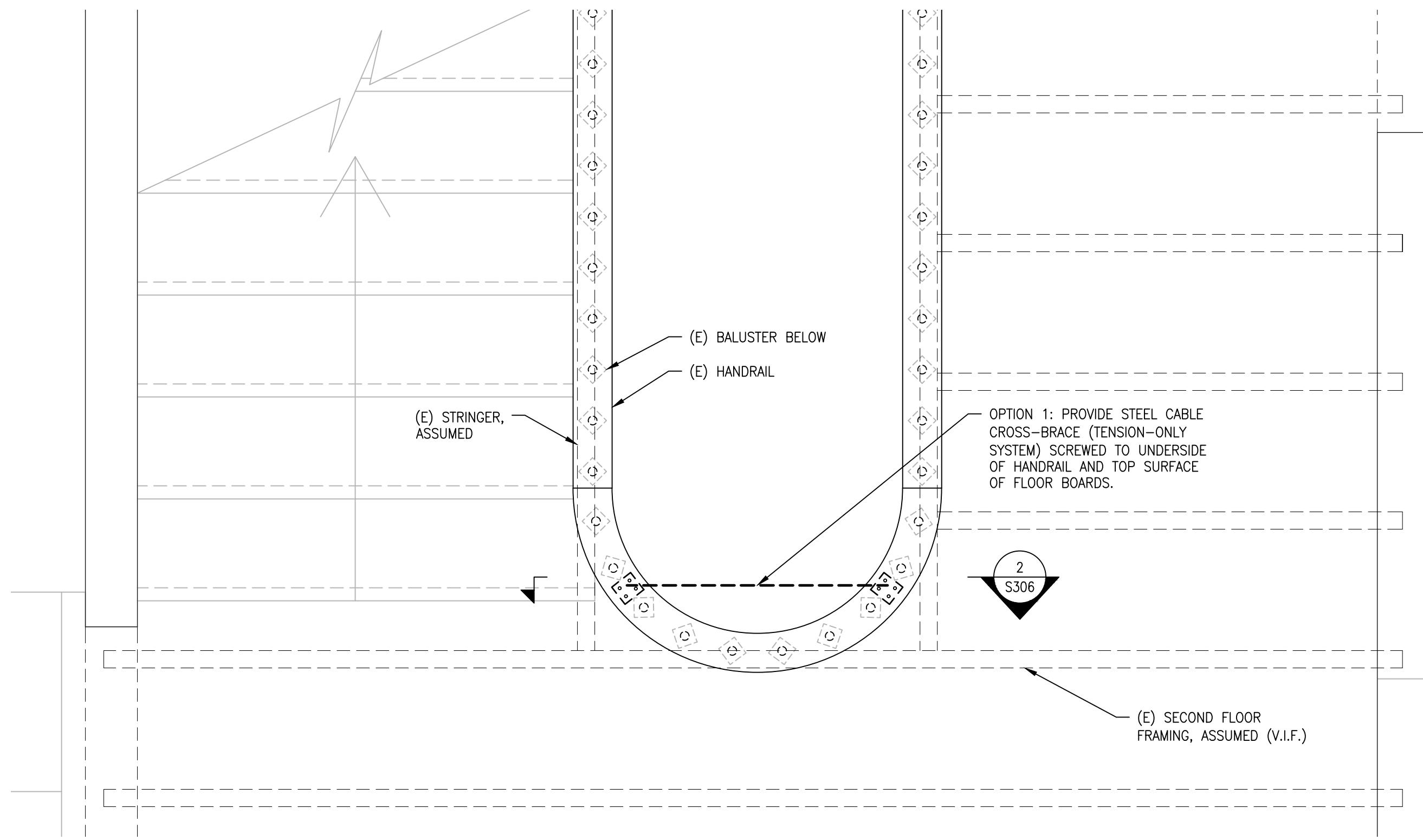
SUBMISSION / REVISION

| Rev. No. | Date | Description |
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| | 04.10.2023 | MHT SUBMISSION |

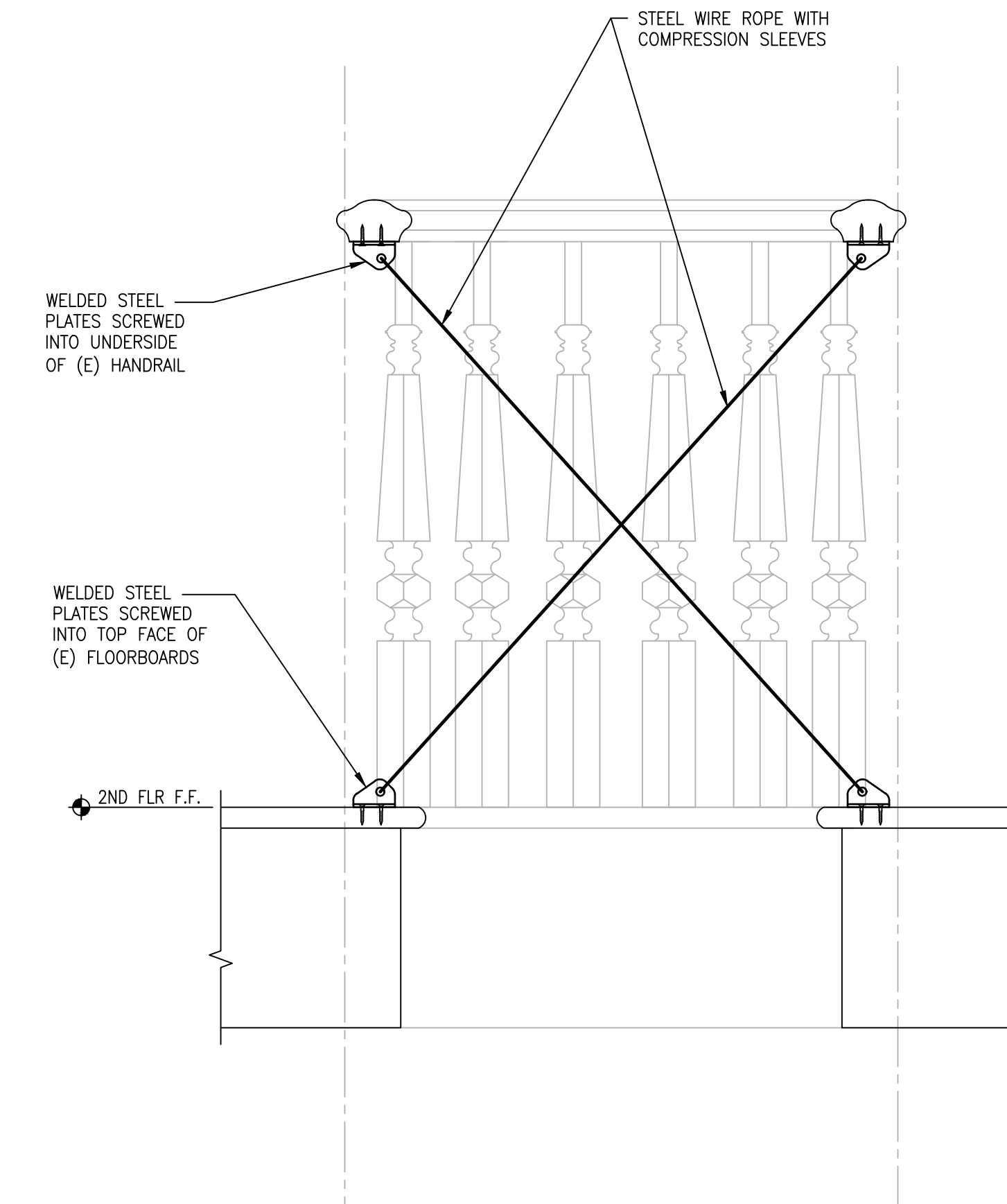
NEWEL POST DETAILS
BUILDING ENVELOPE REPAIRS
HISTORIC WATERS HOUSE
12535 MILESTONE MANOR LANE
GERMANTOWN, MD 20876
SCALE:

DWG. #
S305

FINAL SCANNED
PLAN REVISION
PARK CODE



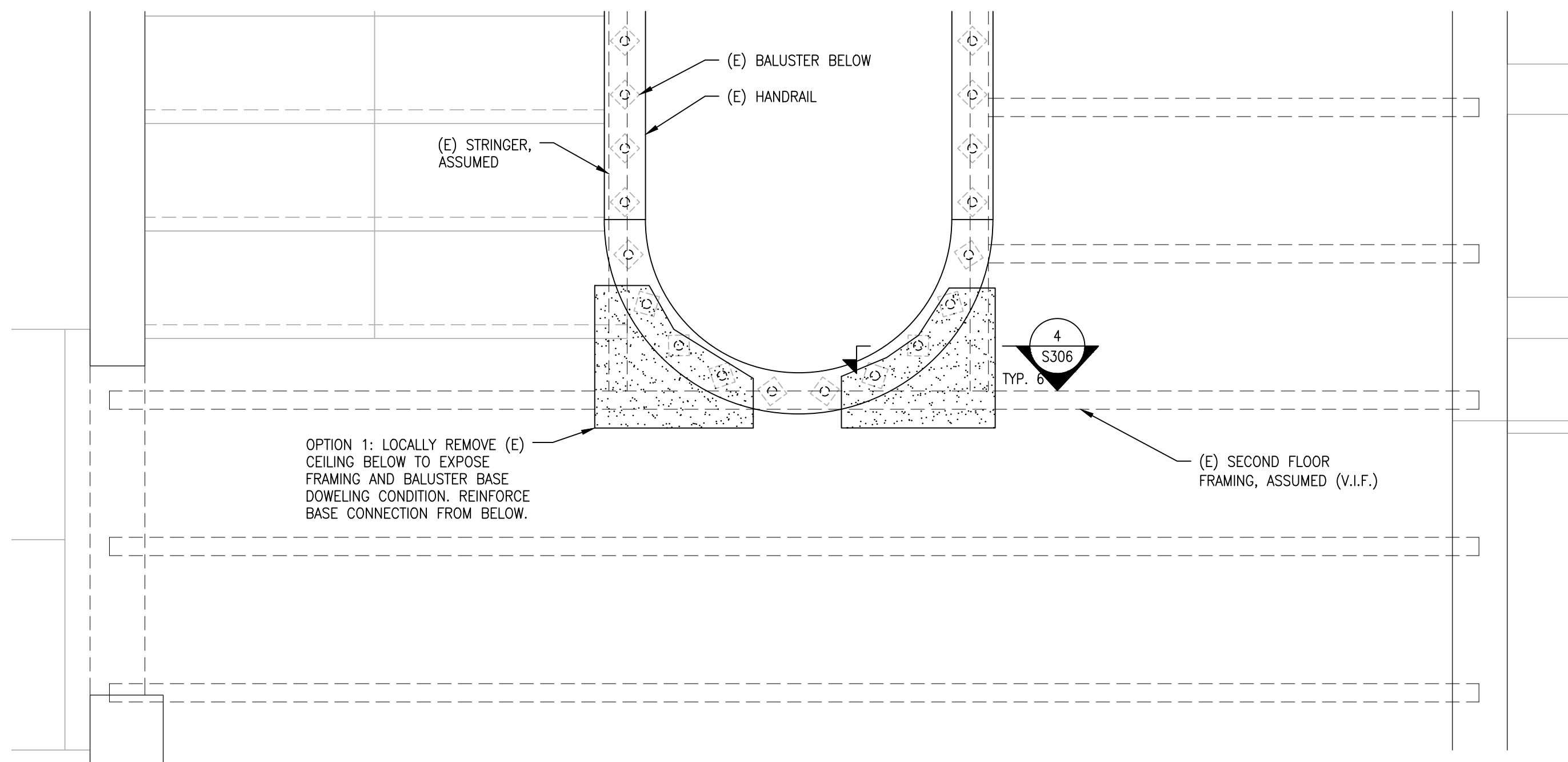
1 PARTIAL SECOND FLOOR FRAMING PLAN AT MAIN STAIR - OPTION 1
S306 SCALE: 1" = 1'-0"



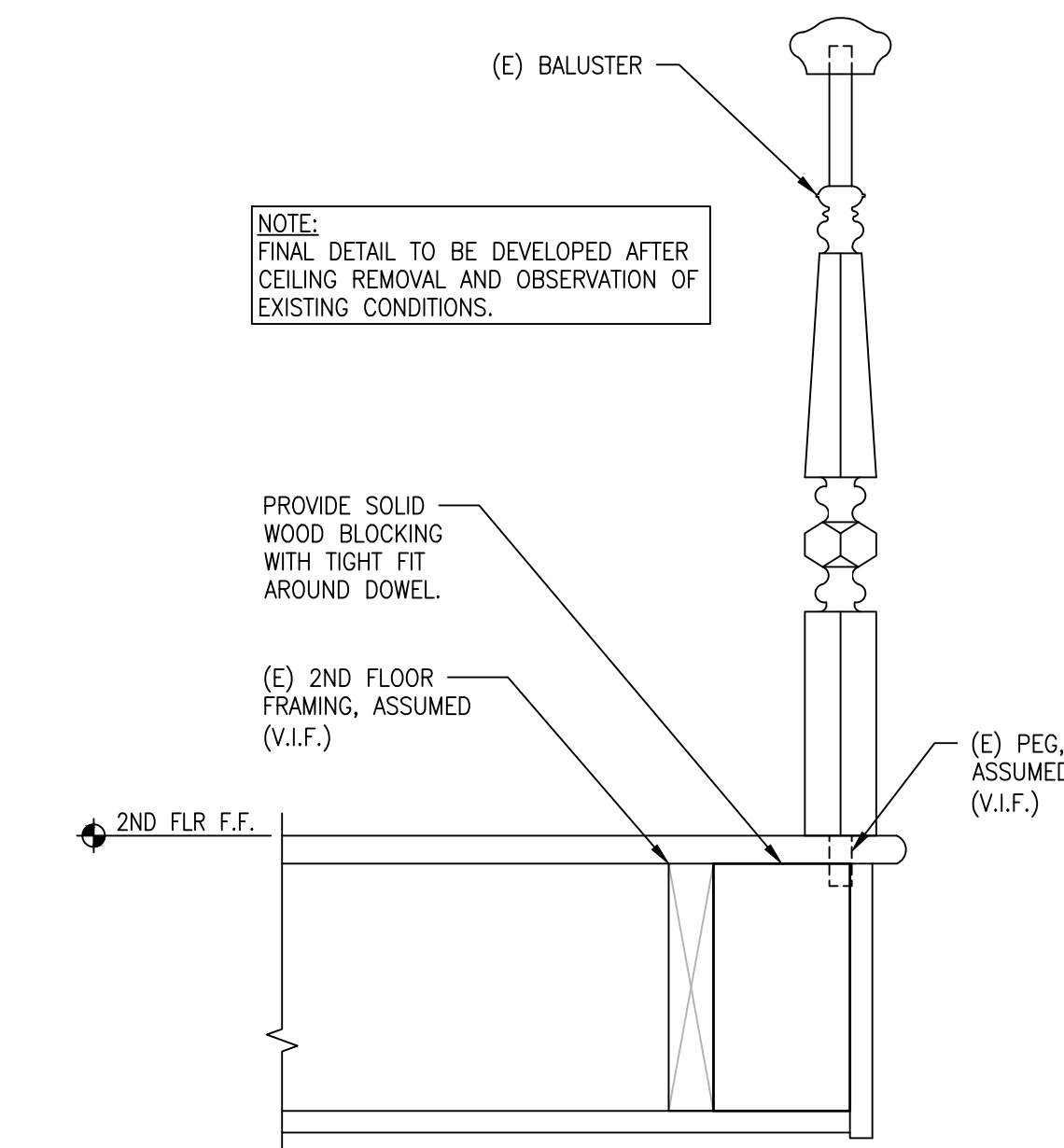
2 OPTION 1: EXTERNAL X-BRACING (REVERSIBLE)
S306 SCALE: 1-1/2" = 1'-0"

REVIEWED
By Michael Kyne at 12:50 pm, May 31, 2023

APPROVED
Montgomery County
Historic Preservation Commission
Robert A. Patton



3 PARTIAL SECOND FLOOR FRAMING PLAN AT MAIN STAIR - OPTION 2
S306 SCALE: 1" = 1'-0"



4 OPTION 2: BALUSTER BASE CONNECTION REINFORCEMENT
S306 SCALE: 1-1/2" = 1'-0"

****NOT FOR CONSTRUCTION****

| <p>ENCORE SUSTAINABLE ARCHITECTS ARCHITECTURE PRESERVATION 31 LIGHT STREET, SUITE 500, BALTIMORE, MD 21202 (410) 624-5461</p> <p>MCC=1200 ARCHITECTURAL ENGINEERS PLLC 210 N. Lee St., Suite 210 Alexandria, VA 22314 T: 703.350.4151 1200ae.com</p> | <p>DRAWING CHECKED BY:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>Submission Name</th> <th>Initials</th> <th>Date</th> </tr> <tr> <td>MHT SUBMISSION</td> <td>NF / JM</td> <td>4/10/2023</td> </tr> </table> | Submission Name | Initials | Date | MHT SUBMISSION | NF / JM | 4/10/2023 | <p>PROFESSIONAL CERTIFICATION: I, John A. Matteo, hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.</p> <p>LICENSE NO. <u>57428</u></p> <p>EXPIRATION DATE: <u>04/05/2025</u></p> | | <p>The Maryland-National Capital Park and Planning Commission</p> <p>Montgomery County Department of Parks 9500 Brunett Avenue Silver Spring, Maryland 20901 (301) 495-2535</p> | <p>SUBMISSION / REVISION</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Rev. No.</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr> <td>04.10.2023</td> <td></td> <td>MHT SUBMISSION</td> </tr> </tbody> </table> | Rev. No. | Date | Description | 04.10.2023 | | MHT SUBMISSION | <p>MAIN STAIR RAILING DETAILS</p> <p>BUILDING ENVELOPE REPAIRS</p> <p>HISTORIC WATERS HOUSE 12535 MILESTONE MANOR LANE GERMANTOWN, MD 20876</p> <p>SCALE:</p> | <p>DWG. #</p> <p>S306</p> |
|--|---|-----------------|----------|------|----------------|---------|-----------|---|--|---|---|----------|------|-------------|------------|--|----------------|--|----------------------------------|
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| 04.10.2023 | | MHT SUBMISSION | | | | | | | | | | | | | | | | | |

FINAL SCANNED

PLANS SCANNED

PLANS CODE

SYMBOL LEGEND - PIPING

NOTE: ALL ABBREVIATIONS MAY NOT BE USED.

| SYMBOL | DESCRIPTION |
|--------|-----------------------------|
| | SHUT OFF VALVE |
| | GATE VALVE |
| | CHECK VALVE |
| | AUTOMATIC 2-WAY VALVE |
| | AUTOMATIC 3-WAY VALVE |
| | GLOBE VALVE |
| | BALL VALVE |
| | RELIEF VALVE |
| | PRESSURE REDUCING VALVE |
| | BUTTERFLY VALVE |
| | SOLENOID VALVE |
| | ANGLE VALVE |
| | VENTURI VALVE |
| | BALANCING OR PLUG COCK |
| | FLOW SETTER |
| | EXPANSION VALVE |
| | GAS COCK |
| | MANUAL AIR VENT |
| | STRAINER |
| | GAUGE COCK |
| | FLEXIBLE CONNECTION |
| | PRESSURE GAUGE |
| | THERMOMETER |
| | PIPE REDUCER |
| | REFRIGERANT SITE GLASS |
| | REFRIGERANT STRAINER |
| | REFRIGERANT FILTER DRIER |
| | 90 DEGREE ELBOW UP |
| | 90 DEGREE ELBOW DOWN |
| | 90 DEGREE TEE UP |
| | 90 DEGREE TEE DOWN |
| | PIPE UNION |
| | PIPE CAP |
| | PIPE ANCHOR |
| | FLOAT AND THERMOSTATIC TRAP |

SYMBOL LEGEND - DUCTWORK

NOTE: ALL ABBREVIATIONS MAY NOT BE USED.

| SYMBOL | DESCRIPTION |
|--------|--|
| | RECTANGULAR SUPPLY DUCT UP |
| | RECTANGULAR SUPPLY DUCT DOWN |
| | RECTANGULAR RETURN DUCT UP |
| | RECTANGULAR RETURN DUCT DOWN |
| | RECTANGULAR EXHAUST DUCT UP |
| | RECTANGULAR EXHAUST DUCT DOWN |
| | ROUND SUPPLY DUCT UP |
| | ROUND SUPPLY DUCT DOWN |
| | ROUND RETURN DUCT UP |
| | ROUND RETURN DUCT DOWN |
| | ROUND EXHAUST DUCT UP |
| | ROUND EXHAUST DUCT DOWN |
| | OVAL SUPPLY DUCT UP |
| | OVAL SUPPLY DUCT DOWN |
| | OVAL RETURN DUCT UP |
| | OVAL RETURN DUCT DOWN |
| | OVAL EXHAUST DUCT UP |
| | OVAL EXHAUST DUCT DOWN |
| | SPIRAL OVAL DUCT |
| | SPIRAL ROUND DUCT |
| | DUCT INSULATION |
| | DUCT LINING |
| | 90° RECTANGULAR ELBOW WITH TURNING VANES |
| | 90° ROUND RADIUS ELBOW |

PIPING LEGEND

NOTE: ALL ABBREVIATIONS MAY NOT BE USED.

| ABBREVIATION | DESCRIPTION |
|--------------|----------------------------|
| —CHWR— | CHILLED WATER RETURN |
| —CHWS— | CHILLED WATER SUPPLY |
| —CA— | COMPRESSED AIR |
| —CD— | CONDENSATE DRAIN |
| —CO2— | CARBON DIOXIDE |
| —CWR— | CONDENSER WATER RETURN |
| —CWS— | CONDENSER WATER SUPPLY |
| —FP— | FIRE PROTECTION |
| —FOR— | FUEL OIL RETURN |
| —FOS— | FUEL OIL SUPPLY |
| —FOV— | FUEL OIL VENT |
| —GR— | GLYCOL RETURN |
| —GS— | GLYCOL SUPPLY |
| —HPC— | HIGH PRESSURE CONDENSATE |
| —MPC— | MEDIUM PRESSURE CONDENSATE |
| —LPC— | LOW PRESSURE CONDENSATE |
| —HPS— | HIGH PRESSURE STEAM |
| —MPS— | MEDIUM PRESSURE STEAM |
| —LPS— | LOW PRESSURE STEAM |
| —HHWR— | HEATING HOT WATER RETURN |
| —HHWS— | HEATING HOT WATER SUPPLY |
| —LPG— | LIQUID PROPANE GAS |
| —LPS— | LOW PRESSURE STEAM |
| —MA— | MEDICAL AIR |
| —NG— | NATURAL GAS |
| —NO— | NITROUS OXIDE |
| —O— | OXYGEN |
| —PC— | PUMPED CONDENSATE |
| —RG— | REFRIGERANT GAS |
| —RL— | REFRIGERANT LIQUID |
| —SMR— | SNOW MELT RETURN |
| —SMS— | SNOW MELT SUPPLY |
| —VAC— | VACUUM |

SYMBOL LEGEND - MECH

NOTE: ALL ABBREVIATIONS MAY NOT BE USED.

| SYMBOL | DESCRIPTION |
|--------|---|
| | SQUARE OR RECTANGULAR SUPPLY DIFFUSER |
| | SQUARE OR RECTANGULAR RETURN DIFFUSER |
| | SQUARE OR RECTANGULAR EXHAUST DIFFUSER |
| | ROUND DIFFUSER |
| | LINEAR SLOT GRILLE OR DIFFUSER |
| | FLEXIBLE DUCT |
| | SIDEWALL GRILLE OR REGISTER |
| | DUCT HIGH EFFICIENCY TAKE OFF WITH BALANCING DAMPER |

ABBREVIATIONS

NOTE: ALL ABBREVIATIONS MAY NOT BE USED.

| | |
|---------|-----------------------------------|
| (E) | EXISTING |
| (F) | FUTURE |
| AC | AIR CONDITION(-ING,-ED) |
| APD | AIR PRESSURE DROP |
| BD | BALANCING DAMPER |
| BHP | BRAKE HORSE POWER |
| BTU | BRITISH THERMAL UNIT |
| BTUH | BTU/HOUR |
| CFH | CUBIC FEET PER HOUR |
| CFM | CUBIC FEET PER MINUTE |
| CV | CONTROL VALVE |
| DB | DRY BULB TEMPERATURE |
| DCW | DOMESTIC COLD WATER |
| DHW | DOMESTIC HOT WATER |
| DHWR | DOMESTIC HOT WATER RECIRC |
| DP | DEPTH, DEEP, OR DROP IN PRESSURE |
| EA | EXHAUST AIR |
| EER | ENERGY EFFICIENCY RATIO |
| EFF | EFFICIENCY |
| ELEC | ELECTRIC |
| ELEV | ELEVATION |
| ENT | ENTERING |
| EVAP | EVAPORAT(-E, -ING, -ED, -OR) |
| EWT | ENTERING WATER TEMPERATURE |
| EXT | EXTERNAL |
| FD | FIRE DAMPER |
| FLA | FULL LOAD AMPS |
| FI | FEET PER INCH |
| FPM | FEET PER MINUTE |
| FPS | FEET PER SECOND |
| FSD | FIRE SMOKE DAMPER |
| GE | GREASE EXHAUST |
| GPH | GALLONS PER HOUR |
| GPM | GALLONS PER MINUTE |
| HD | HEAD |
| HG | MERCURY |
| HP | HORSEPOWER |
| HR | HOUR |
| HTG | HEATING |
| HZ | HERTZ (FREQUENCY) |
| IN | INCH |
| KW | KILOWATT |
| LAT | LEAVING AIR TEMPERATURE |
| LBS | POUNDS |
| LH | LATENT HEAT |
| LRA | LOCKED ROTOR AMPS |
| LVG | LEAVING |
| LWT | LEAVING WATER TEMPERATURE |
| MBH | THOUSAND BTU PER HOUR |
| MCA | MINIMUM CIRCUIT AMPS |
| MFR | MANUFACTUR(-ER, -ED) |
| NC | NORMALLY CLOSED OR NOISE CRITERIA |
| NIC | NOT IN CONTRACT |
| NO | NORMALLY OPEN |
| NPSH | NET POSITIVE SUCTION HEAD |
| NTS | NOT TO SCALE |
| OA | OUTSIDE AIR |
| OD | OUTSIDE DIAMETER |
| OZ | OUNCE |
| PD | PRESSURE DROP OR DIFFERENCE |
| PG | PROPYLENE GLYCOL |
| PH | PHASE |
| PPM | PARTS PER MILLION |
| PSF | POUNDS PER SQUARE FOOT |
| PSI | POUNDS PER SQUARE INCH |
| PSIA | PSI ABSOLUTE |
| PSIG | PSI GAUGE |
| RA | RETURN AIR |
| RECIRC | RECIRCULATE (-ER, -ED, -ING) |
| REFR | REFRIGERATION |
| REQD | REQUIRED |
| RLA | RATED LOAD AMPS |
| RPM | REVOLUTIONS PER MINUTE |
| SA | SUPPLY AIR |
| SCFM | STANDARD CUBIC FEET PER MINUTE |
| SCW | SOFT COLD WATER |
| SH | SENSIBLE HEAT |
| SP | STATIC PRESSURE |
| SPEC(S) | SPECIFICATION(S) |
| SQ | SQUARE |
| STD | STANDARD |
| SW | SOIL, WASTE |
| TA(R) | TRANSFER AIR (RETURN) |
| TA(S) | TRANSFER AIR (SUPPLY) |
| TD | TEMP. DROP OR DIFF. |
| TEMP | TEMPERATURE |
| TOT | TOTAL |
| TSTAT | THERMOSTAT |
| V | VOLT, VOLTAGE OR VENT |
| VAC | VACUUM |
| VAV | VARIABLE AIR VOLUME |
| VEL | VELOCITY |
| VENT | VENT, VENTILATION |
| VERT | VERTICAL |
| VFD | VARIABLE FREQUENCY DRIVE |
| VOL | VOLUME |
| VTR | VENT THROUGH ROOF |
| WB | WET BULB TEMP |
| WC | WATER COLUMN |
| WG | WATER GAUGE |
| WPD | WATER PRESSURE DROP |
| WTR | WATER |

MECHANICAL GENERAL NOTES

- THE MECHANICAL DRAWINGS SHOW THE GENERAL DESIGN, ARRANGEMENT, & EXTENT OF THE MECHANICAL SYSTEM BECAUSE OF THE SMALL SCALE OF THE DRAWINGS, THESE DRAWINGS DO NOT SHOW ALL OFFSETS, BENDS, OR ELBOWS NECESSARY FOR THE COMPLETE INSTALLATION IN THE SPACE PROVIDED. CONTRACTOR SHALL MAKE ALTERATIONS AS MAY BE NECESSARY TO MAKE THE SYSTEM COMPLETE & OPERATIONAL IN ACCORDANCE WITH THE DESIGN INTENT.
- MAJOR DEVIATIONS SUCH AS CHANGES IN SIZES, WEIGHTS, QUANTITIES, OR MATERIAL REQUIRE PRIOR APPROVAL BY THE DESIGN ENGINEER.
- THE DRAWINGS & SPECIFICATIONS HAVE BEEN PREPARED TO SUPPLEMENT EACH OTHER & SHALL BE INTERPRETED AS AN INTEGRAL UNIT WITH THE ITEMS SHOWN ON ONE & NOT THE OTHER BEING FURNISHED & INSTALLED AS THOUGH SHOWN AND CALLED OUT IN BOTH DOCUMENTS.
- THE ENTIRE MECHANICAL INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF THE MOST RECENTLY ADOPTED BUILDING CODES, MECHANICAL CODE, PLUMBING CODE, ELECTRICAL CODE, & ALL OTHER APPLICABLE CITY, COUNTY, STATE, & FEDERAL CODES & REGULATIONS IN EFFECT.
- THE ENTIRE MECHANICAL INSTALLATION SHALL CONFORM TO ALL CODES, RULES, REGULATIONS, & REQUIREMENTS OF THE BUILDING OWNER.
- ALL MECHANICAL COMPONENTS AND EQUIPMENT SHALL BE INSTALLED TO CONFORM WITH ANY APPLICABLE LOCAL SEISMIC REQUIREMENTS.
- PRIOR TO FABRICATION & INSTALLATION OF ANY MECHANICAL COMPONENT THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL MECHANICAL WORK WITH ALL OTHER BUILDING TRADES, INCLUDING BUILDING TRADES HIRED DIRECTLY BY THE OWNER, WHERE CONFLICTS MAY OCCUR, THEY SHALL BE RESOLVED PRIOR TO INSTALLATION.
- VERIFY ALL REQUIRED SERVICE CONNECTIONS, INCLUDING ELECTRICAL CHARACTERISTICS, FOR ALL EQUIPMENT PRIOR TO ORDERING OR FABRICATING MECHANICAL EQUIPMENT AND COMPONENTS.
- THE SPACE ABOVE CEILINGS IS LIMITED. CAREFUL COORDINATION IS REQUIRED WITH ALL TRADES BEFORE ANY PIPE, DUCT, OR EQUIPMENT IS ORDERED &/OR INSTALLED. ANY CONFLICTS &/OR CHANGES FOUND DURING INSTALLATION THAT RESULTS FROM THE LACK OF COORDINATION BY THE CONTRACTORS DURING THE SHOP DRAWING PROCESS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL MECHANICAL INFORMATION IS NOT SHOWN ON THE MECHANICAL DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL INFORMATION ON ALL OTHER CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO REVIEW & USE, WHERE APPROPRIATE, ALL THE MECHANICAL DETAILS SHOWN ON THE DRAWINGS. DETAILS MAY OR MAY NOT BE CALLED OUT ON THE DRAWINGS WITH SYMBOLS OR KEYS FROM THE DRAWINGS. ANY CHANGES TO THE DETAILS TO INSTALL THE MECHANICAL SYSTEM WITHOUT USING THE INCLUDED DETAILS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EQUIPMENT SHALL BE INDEPENDENTLY SUPPORTED FROM STRUCTURAL MEMBERS. STRUCTURAL ELEMENTS SHOWN IN DETAILS MAY OR MAY NOT BELONG TO ANY PORTION OF THE BUILDING. COORDINATE ALL MOUNTING REQUIREMENTS WITH ARCHITECTURAL & STRUCTURAL DRAWINGS AND SPECIFICATIONS.
- ALL MECHANICAL COMPONENTS AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH ALL MANUFACTURER RECOMMENDATIONS.
- ALL SIMILAR EQUIPMENT SHALL BE OF THE SAME MANUFACTURER. AIR INLETS & OUTLETS OF SIMILAR TYPES SHALL BE OF THE SAME MANUFACTURER.
- ANY PART OF THE MECHANICAL INSTALLATION THAT FAILS, IS DEEMED UNFIT, OR BECOMES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EQUIPMENT CHECK-IN, SAFEKEEPING, & DAMAGE.
- COORDINATE WITH ARCHITECT FOR EXACT LOCATION OF ALL CEILING DIFFUSERS & GRILLES.
- CONTRACTOR SHALL OPERATE INSTALLED &/OR MODIFIED SYSTEMS & DEMONSTRATE ALL ASPECTS OF THE SYSTEM TO THE ENGINEER &/OR OWNER TO PROVE ALL ASSOCIATED SYSTEMS ARE OPERATIONAL.
- DURING CONSTRUCTION THE CONTRACTOR SHALL MAINTAIN A SET OF AS-BUILT REDLINED RECORD DRAWINGS AT THE PROJECT SITE. ALL CHANGES OR DEVIATIONS LAYOUT, ROUTING, EQUIPMENT, COMPONENTS, & ACCESSORIES SHALL BE RECORDED. THESE REDLINED DRAWINGS SHALL BE GIVEN TO THE ARCHITECT / ENGINEER AFTER THE FINAL INSPECTION IN ACCORDANCE WITH PROJECT SPECIFICATIONS.

REVIEWED

By Michael Kyne at 12:52 pm, May 31, 2023

APPROVED

Montgomery County
Historic Preservation Commission

DEFINITIONS

NOTE: ALL DEFINITIONS MAY NOT BE USED.

INDICATED: THE TERM "INDICATED" REFERS TO GRAPHIC REPRESENTATIONS, NOTES, OR SCHEDULES ON THE DRAWINGS, OTHER PARAGRAPHS OR SCHEDULES IN THE SPECIFICATIONS, AND SIMILAR REQUIREMENTS IN THE CONTRACT DOCUMENTS. WHERE TERMS SUCH AS "SHOWN", "NOTED", "SCHEDULED", AND "SPECIFIED" ARE USED, IT IS TO HELP THE READER LOCATE THE REFERENCE. NO LIMITATION ON LOCATION IS INTENDED.

DIRECTED: TERMS SUCH AS "DIRECTED", "REQUESTED", "AUTHORIZED", "SELECTED", "APPROVED", "REQUIRED", AND "PERMITTED" MEAN "DIRECTED BY THE ENGINEER", "REQUESTED BY THE ENGINEER", AND SIMILAR PHRASES.

APPROVED: THE TERM "APPROVED", WHERE USED IN CONJUNCTION WITH THE ENGINEER'S ACTION ON THE CONTRACTOR'S SUBMITTALS, APPLICATIONS, AND REQUESTS, IS LIMITED TO THE ENGINEER'S DUTIES AND RESPONSIBILITIES AS STATED IN GENERAL AND SUPPLEMENTARY CONDITIONS.

FURNISH: THE TERM "FURNISH" IS USED TO MEAN "SUPPLY AND DELIVER TO THE PROJECT SITE, READY FOR UNLOADING, UNPACKING, ASSEMBLY, INSTALLATION, AND SIMILAR OPERATIONS."

INSTALL: THE TERM "INSTALL" IS USED TO DESCRIBE OPERATIONS AT PROJECT SITE INCLUDING THE ACTUAL "UNLOADING, UNPACKING, ASSEMBLY, ERECTION, PLACING, ANCHORING, APPLYING, WORKING TO DIMENSION, FINISHING, CURING, PROTECTING, CLEANING, AND SIMILAR OPERATIONS."

PROVIDE: THE TERM "PROVIDE" MEANS "TO FURNISH AND INSTALL, COMPLETE AND READY FOR THE INTENDED USE."

INSTALLER: AN "INSTALLER" IS THE CONTRACTOR OR AN ENTITY ENGAGED BY THE CONTRACTOR, EITHER AS AN EMPLOYEE, SUBCONTRACTOR, OR SUB-SUBCONTRACTOR, FOR PERFORMANCE OF A PARTICULAR CONSTRUCTION ACTIVITY, INCLUDING INSTALLATION, ERECTION, APPLICATION, AND SIMILAR OPERATIONS. INSTALLERS ARE REQUIRED TO BE EXPERIENCED IN THE OPERATIONS THEY ARE ENGAGED TO PERFORM.

MECHANICAL SHEET INDEX

| | |
|------|------------------------|
| M0.0 | MECHANICAL COVER SHEET |
| M6.1 | MECHANICAL SCHEDULES |
| MD | MECHANICAL DEMO PLANS |
| ME | MECHANICAL PLANS |

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(410) 381-8010

DRAWING CHECKED BY:

| Submission Name | Initials | Date |
|-----------------|----------|-----------|
| MHT SUBMISSION | CG/JH | 4/10/2023 |
| | | |
| | | |

PROFESSIONAL CERTIFICATION:
I certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws under of the State of Maryland.

LICENSE NO. 49263

EXPIRATION DATE: 2024-05-08

DocuSeal



The Maryland-National Capital
Park and Planning Commission

Montgomery County Department of Parks
9500 Brunett Avenue
Silver Spring, Maryland 20901
(301) 495-2535

SUBMISSION / REVISION

| Rev. No. | Date | Description |
|----------|------------|----------------|
| | 04.10.2023 | MHT SUBMISSION |
| | | |
| | | |

MECHANICAL COVER SHEET

BUILDING ENVELOPE REPAIRS

HISTORIC WATERS HOUSE
12535 MILESTONE MANOR LANE
GERMANTOWN, MD 20876

SCALE: AS SHOWN

DWG. #

M0.0

Sheet 1 of 4

FINAL SCANNED

PLAN SCANNED

PARK CODE

HEAT PUMP SCHEDULE

| ACCEPTABLE MANUFACTURERS: | | REMARKS: | | | | | | | | | | SCHEDULE KEY: | | | | | | | | |
|------------------------------------|-------|---|--------|---------------|-----------------------|---------------|-----------------------|---------------|------------------------|--------|------------|--|----|-----|-----|-------------------------------------|--------------|---------------|-------|---------|
| TRANE CARRIER LENNOX YORK | | (1) RATING AT PROJECT ALTITUDE. (2) PROVIDE WITH FILTER RACK, NEUTRALIZATION KIT, AND CONDENSATE PUMP. (3) PROVIDE WITH COOLING COIL TO MATCH AIRFLOW. (4) PROVIDE WITH HONEYWELL PRESTIGE IAQ THERMOSTAT. RUN A 7 CONDUCTOR THERMOSTAT WIRE FROM HP TO THERMOSTAT. (5) PROVIDE FACTORY AUTHORIZED STARTUP OF EQUIPMENT INCLUDING STARTUP (6) PROVIDE SECONDARY DRAIN PAN. PROVIDE WATER LEVEL ALARM (DIVERSITECH WS-1 WET SWITCH OR EQUAL) IN DRAIN PAN TO SHUT OFF UNIT WHEN HIGH WATER LEVEL IS DETECTED. | | | | | | | | | | PLUMB = DIVISION 22 MECH = DIVISION 23 ELEC = DIVISION 26 MNFR = MANUFACTURER | | | | | | | | |
| LABEL | Count | TYPE | SERVES | HEATING | | COOLING | | AIRFLOW (CFM) | MIN. OUTSIDE AIR (CFM) | E.S.P. | ELECTRICAL | | | | | DISCONNECT PROVIDED BY (MECH/ ELEC) | WEIGHT (LBS) | MANUFACTURER | MODEL | REMARKS |
| | | | | OUTPUT (BTUH) | TOTAL CAPACITY (BTUH) | OUTPUT (BTUH) | TOTAL CAPACITY (BTUH) | | | | VOLTS | PHASE | Hz | MOC | MCA | | | | | |
| HP-4 | 2 | HORIZONTAL | HP-4 | 48,000.0 | 47,500.0 | 1,530 | 200 | 0.50 | 208 | 1 | 60 | 15 | 5 | N | E | 230 | BOSCH | BVA-48WN1-M20 | ALL | |

CONDENSING UNIT SCHEDULE

| ACCEPTABLE MANUFACTURERS: | | AMBIENT OPERATING CONDITIONS: | | | | | REMARKS: | | | | | | | | | | SCHEDULE KEY: | | |
|---|-------|---|------------------------|------|---------------------------|------------------|---|-------|----|------------|------------|-------------------------------------|--------------|--------------|--------------|-------|--|-------------------------|-------------|
| BOSCH CARRIER YORK TRANE LENNOX | | (A) NOMINAL COOLING CONDITIONS : • INDOOR: 78°F DB/ 60°F WB • OUTDOOR: 98.3°F DB (B) NOMINAL HEATING CONDITIONS : • INDOOR: 70°F DB • OUTDOOR: 11.4°F DB / 10°F WB | | | | | (1) PROVIDE WITH HAIL GUARDS. (2) PROVIDE WITH MIRO INDUSTRIES LD SUPPORT/MOUNTING FRAME. (3) PROVIDE WITH NEOPRENE PADS AT ALL MOUNTING CONNECTION POINTS. (4) PROVIDE REFRIGERANT PIPING SIZED AS PER MANUFACTURER'S RECOMMENDATIONS. "ACR" COPPER ONLY. (5) COORDINATE REFRIGERANT CHARGE AND PIPING SIZES WITH EQUIVALENT LINE LENGTH TO MINIMIZE PRESSURE DROP AND CAPACITY LOSS. (6) PROVIDE BOOT AT ANY CONDENSER LINE PENETRATIONS INTO BUILDING ENVELOPE. (7) PROVIDE CRANKCASE HEATER. *(needed anytime it may be colder outside than inside)* (8) PROVIDE WITH WIND BAFFLE FOR COOLING (9) INDOOR UNIT POWERED FROM OUTDOOR UNIT. (10) ACCEPTABLE MANUFACTURERS: TRANE, CARRIER, LENNOX OR PRIOR APPROVED EQUAL. (11) PROVIDE FACTORY AUTHORIZED STARTUP OF EQUIPMENT INCLUDING STARTUP (12) PROVIDE 4" THICK CONCRETE PAD (OR EQUIVALENT PREFAB PAD) FOR ALL NEW CONDENSING UNITS. | | | | | | | | | | PLUMB = DIVISION 22 MECH = DIVISION 23 ELEC = DIVISION 26 MNFR = MANUFACTURER | | |
| LABEL | Count | SERVES | NOMINAL COOLING (BTUH) | EER | HEAT PUMP CAPACITY (BTUH) | REFRIGERANT TYPE | ELECTRICAL | | | | | DISCONNECT PROVIDED BY (MECH/ ELEC) | SOUND RATING | WEIGHT (LBS) | MANUFACTURER | MODEL | REMARKS | | |
| | | | | | | | VOLTS | PHASE | Hz | MCA (EACH) | MOC (EACH) | | | | | | | BASE PAN HEATER (Y / N) | EMERG POWER |
| CJ-4 | 2 | HP-4 | 47,500.0 | 13.5 | 48,000.0 | 410A | 208 | 1 | 60 | 39 | 60 | Y | N | E | 79 | 230 | BOSCH | BOVA-60HDN1-M20G | ALL |

REGISTER - GRILLE- DIFFUSER SCHEDULE

| ACCEPTABLE MANUFACTURERS: | | REMARKS: | | | | | | | | | | |
|--|---------------|--|--------------------|-----------|-----------|--------------|------------|---------------|--------|------------------|----------|---------|
| KRUEGER TUTTLE & BAILEY TITUS PRICE | | (1) REGISTERS AND GRILLES SHALL BE TESTED IN ACCORDANCE WITH ANSI/ASHRAE STD 70. (2) NC VALUES ARE BASED ON OCTAVE BAND SOUND POWER LEVELS MINUS A ROOM ABSORPTION OF 10 dB, RE 10(1-12) WATTS. (3) COORDINATE EXACT COLOR SELECTION WITH OWNER AND ARCHITECT. | | | | | | | | | | |
| LABEL | *approx count | TYPE | MAX AIR FLOW (CFM) | FACE SIZE | NECK SIZE | BLOW PATTERN | PD (IN-WG) | THROW(S) (FT) | MAX NC | MANUFACTURER | MODEL | REMARKS |
| L-1 | 1 | EXTERIOR LOUVER | 450 | 36x24 | | NA | 0.000 | NA | 30 | Ruskin | ELF375DX | ALL |
| R-1 | 1 | RETURN GRILLE | 1630 | 32 X 32 | 32 X 32 | N/A | 0.100 | N/A | 30 | PRICE INDUSTRIES | 535 | ALL |
| S-1 | 5 | SQUARE PLAQUE DIFFUSER | 315 | 12" X 12" | 8" Ø | 4-WAY | 0.343 | 6-9-14 | 30 | PRICE INDUSTRIES | SPD | ALL |
| S-2 | 1 | SQUARE PLAQUE DIFFUSER | 545 | 20" X 20" | 10" Ø | 4-WAY | 0.203 | 5-7-10 | 30 | PRICE INDUSTRIES | SPD | ALL |
| T-1 | 4 | TRANSFER GRILLE | 1630 | 14" X 8" | 14" X 8" | N/A | 0.100 | N/A | 30 | PRICE INDUSTRIES | 535 | ALL |
| T-2 | 2 | LOUVERED SIDEWALL RETURN | 1630 | 16" X 12" | 16" X 12" | N/A | 0.100 | N/A | 30 | PRICE INDUSTRIES | 535 | ALL |

REVIEWED
By Michael Kyne at 12:52 pm, May 31, 2023

DUCT INSULATION REQUIREMENTS

| DUCT SYSTEM | DUCT LOCATION | INSULATION MATERIALS | MINIMUM THERMAL RESISTANCE ("R") | | FIELD APPLIED JACKET |
|-------------|---|--|----------------------------------|-------------------|----------------------|
| | | | CLIMATE ZONES 1-4 | CLIMATE ZONES 5-8 | |
| SUPPLY AIR | BUILDING INTERIOR, CONCEALED | MINERAL-FIBER BLANKET | 6.0 | 6.0 | NONE |
| | BUILDING INTERIOR, EXPOSED, OUTSIDE CONDITIONED SPACE | MINERAL-FIBER BLANKET | 6.0 | 6.0 | NONE |
| | BUILDING EXTERIOR (OUTSIDE BUILDING INSULATION) | MINERAL-FIBER BLANKET | 8.0 | 12.0 | ALUMINUM |
| RETURN AIR | BUILDING INTERIOR, CONCEALED | MINERAL-FIBER BLANKET | 6.0 | 6.0 | NONE |
| | BUILDING INTERIOR, EXPOSED, OUTSIDE CONDITIONED SPACE | MINERAL-FIBER BLANKET | 6.0 | 6.0 | NONE |
| | BUILDING EXTERIOR (OUTSIDE BUILDING INSULATION) | MINERAL-FIBER BLANKET | 8.0 | 12.0 | ALUMINUM |
| EXHAUST AIR | ALL | NONE | --- | --- | --- |
| | BUILDING INTERIOR, CONCEALED OR EXPOSED | MINERAL-FIBER BLANKET | 6.0 | 6.0 | NONE |
| OUTSIDE AIR | BUILDING EXTERIOR (OUTSIDE BUILDING INSULATION) | MINERAL-FIBER BLANKET | 8.0 | 12.0 | NONE |
| | BUILDING INTERIOR | MINERAL-FIBER BLANKET POLYETHYLENE INNER AND OUTER JACKET | 6.0 | 6.0 | NONE |

NOTES

- DUCT INSULATION THERMAL RESISTANCE VALUES DETERMINED FROM 2018 IECC SECTION C403.11.1.
- CLIMATE ZONES DETERMINED BY ASHRAE. THIS PROJECT IS IN CLIMATE ZONE 4.
- ALL DUCT INSULATION SHALL HAVE ALL SERVICE JACKET MANUFACTURER FROM KRAFT PAPER, REINFORCED SCRIM, ALUMINUM FOIL, OR VINYL FILM.
- DUCT INSULATION SHALL BE MECHANICALLY FASTENED TO DUCTS WIDER THAN 24" AND SHALL BE AFFIXED TO BOTTOM OF DUCT WITH WELDED METAL PINS AND 2" WASHERS AT 18" MAXIMUM SPACING.
- DUCT LINER, WHERE SHOWN ON DRAWINGS, SHALL BE A MINIMUM OF 1" THICK AND SHALL HAVE A MINIMUM "R" VALUE OF 3.8.
- DUCT LINER SHALL NOT BE SUBSTITUTED FOR DUCT WRAP UNLESS THE MINIMUM "R" VALUE OF THE DUCT LINER IS INCREASED TO VALUE NEEDED PER TABLE ABOVE.
- DUCT DIMENSIONS SHOWN ON THE DRAWINGS ARE NET FREE AREA. WHERE DUCT LINER IS SHOWN, INCREASE METAL DUCT SIZE TO ALLOW FOR THICKNESS OF DUCT LINER.
- TOTAL LENGTH OF FLEXIBLE DUCT SHALL NOT EXCEED 3'-0". EXTEND SHEET METAL DUCT TO WITHIN 3'-0" OF THE AIR INLET OR AIR OUTLET DEVICE.
- OFFSET OF FLEXIBLE DUCT SHALL NOT EXCEED ONE HALF OF THE DUCT DIAMETER.
- ALL DUCT CHANGES IN DIRECTION SHALL BE MADE WITH RIGID ELBOWS OR OTHER RIGID METAL FITTINGS.
- INDOOR DUCT INSULATION AND RELATED MATERIALS SHALL HAVE A FLAME-SPREAD INDEX OF 25 OR LESS, AND SMOKE-DEVELOPED INDEX OF 50 OR LESS WHEN TESTED TO ASTM 84.
- OUTDOOR DUCT INSULATION AND RELATED MATERIALS SHALL HAVE A FLAME-SPREAD INDEX OF 75 OR LESS, AND SMOKE-DEVELOPED INDEX OF 150 OR LESS WHEN TESTED TO ASTM 84.
- ALL DUCT COVERINGS AND LININGS SHALL NOT FLAME, GLOW, SMOLDER, OR SMOKE WHEN TESTED IN ACCORDANCE WITH ASTM 411.
- ALL MATERIALS USED AS INTERNAL INSULATION AND EXPOSED TO THE AIR STREAM IN DUCTS SHALL BE SHOWN TO BE DURABLE WHEN TESTED IN ACCORDANCE WITH UL 181.

APPROVED
Montgomery County
Historic Preservation Commission



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SUSTAINABLE ARCHITECTS
ARCHITECTURE PRESERVATION
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(410) 624-5461

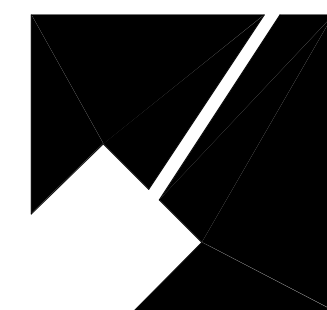
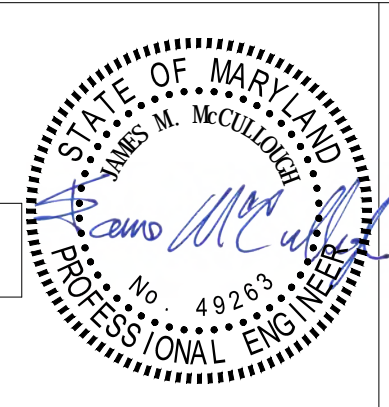
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ENGINEERS
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| DRAWING CHECKED BY: | | |
|---------------------|----------|-----------|
| Submission Name | Initials | Date |
| MHT SUBMISSION | CG/JH | 4/10/2023 |

PROFESSIONAL CERTIFICATION:
I certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws under of the State of Maryland.

LICENSE NO. 49263
EXPIRATION DATE: 2024-05-08



The Maryland-National Capital
Park and Planning Commission
Montgomery County Department of Parks
9500 Brunett Avenue
Silver Spring, Maryland 20901
(301) 495-2535

| SUBMISSION / REVISION | | |
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| Rev. No. | Date | Description |
| | 04.10.2023 | MHT SUBMISSION |

MECHANICAL SCHEDULES
BUILDING ENVELOPE REPAIRS
HISTORIC WATERS HOUSE
12535 MILESTONE MANOR LANE
GERMANTOWN, MD 20876
SCALE: AS SHOWN

DWG. #
M6.1
Sheet 1 of 4

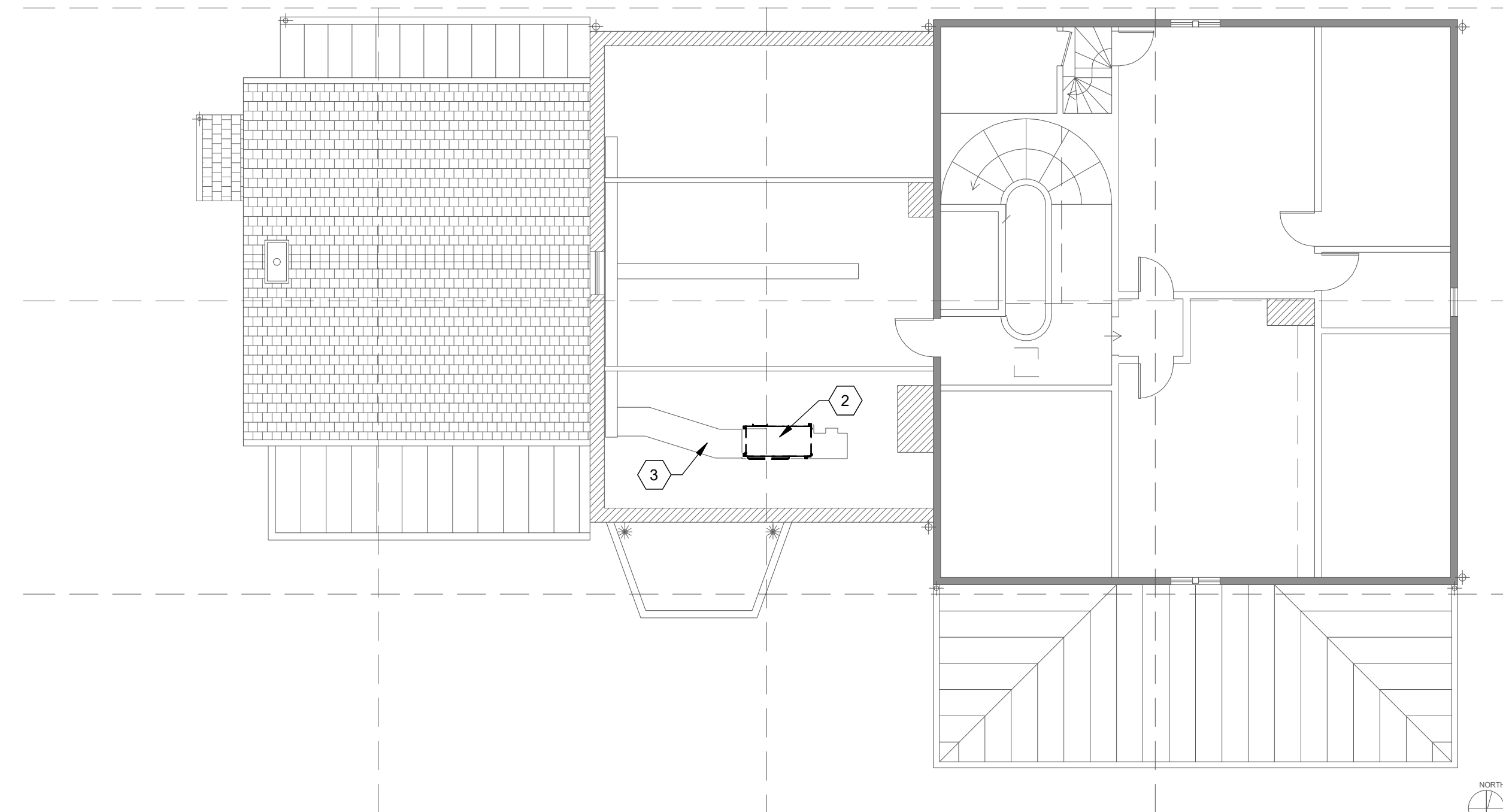
FINAL SCANNED

PLAN SCANNED

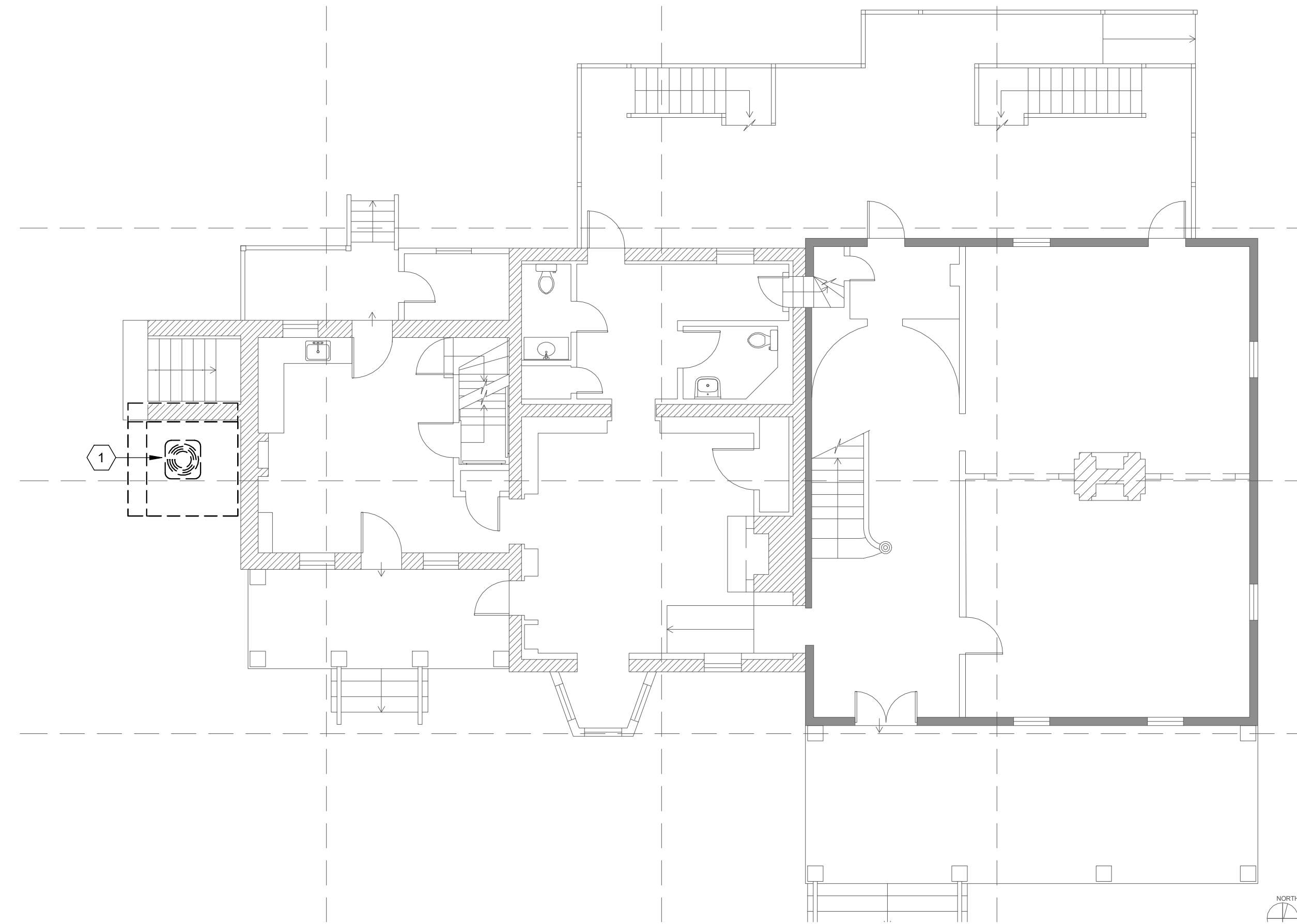
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SHEET KEYNOTES

- 1 DEMOLISH EXISTING CONDENSER AND ALL APPURTENANCES.
- 2 DEMOLISH EXISTING FUNACE AND ALL APPURTENANCES.
- 3 EXISTING DUCTWORK TO REMAIN.



2 LEVEL 3 MECHANICAL DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



1 LEVEL 1 MECHANICAL DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

REVIEWED
By Michael Kyne at 12:52 pm, May 31, 2023

APPROVED
Montgomery County
Historic Preservation Commission
Robert A. ...

ENCORE
SUSTAINABLE ARCHITECTS
ARCHITECTURE PRESERVATION
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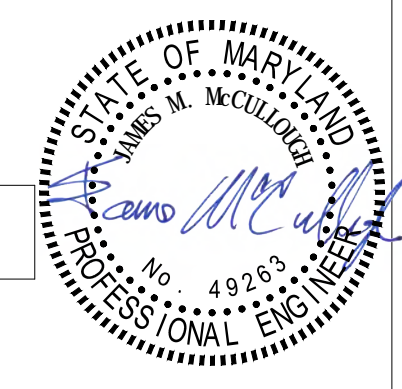
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| DRAWING CHECKED BY: | | |
|---------------------|----------|-----------|
| Submission Name | Initials | Date |
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PROFESSIONAL CERTIFICATION:
I certify that these documents were prepared or approved
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LICENSE NO. 49263
EXPIRATION DATE: 2024-05-08

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**The Maryland-National Capital
Park and Planning Commission**
Montgomery County Department of Parks
9500 Brunett Avenue
Silver Spring, Maryland 20901
(301) 495-2535

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MECHANICAL DEMO PLANS
BUILDING ENVELOPE REPAIRS
HISTORIC WATERS HOUSE
12535 MILESTONE MANOR LANE
GERMANTOWN, MD 20876
SCALE: AS SHOWN

DWG. #
MD
Sheet 1 of 4

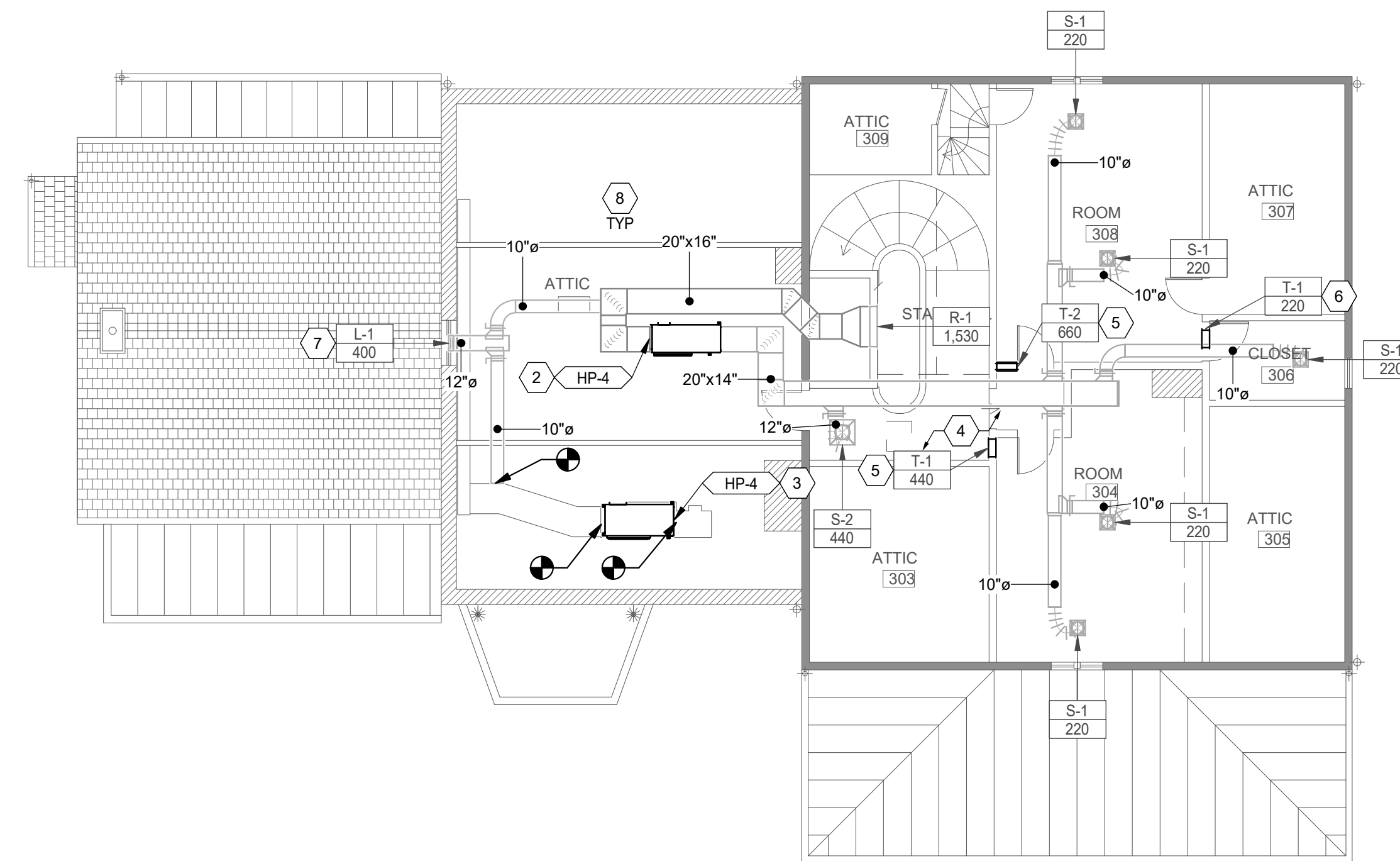
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PLAN SCANNED

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SHEET KEYNOTES

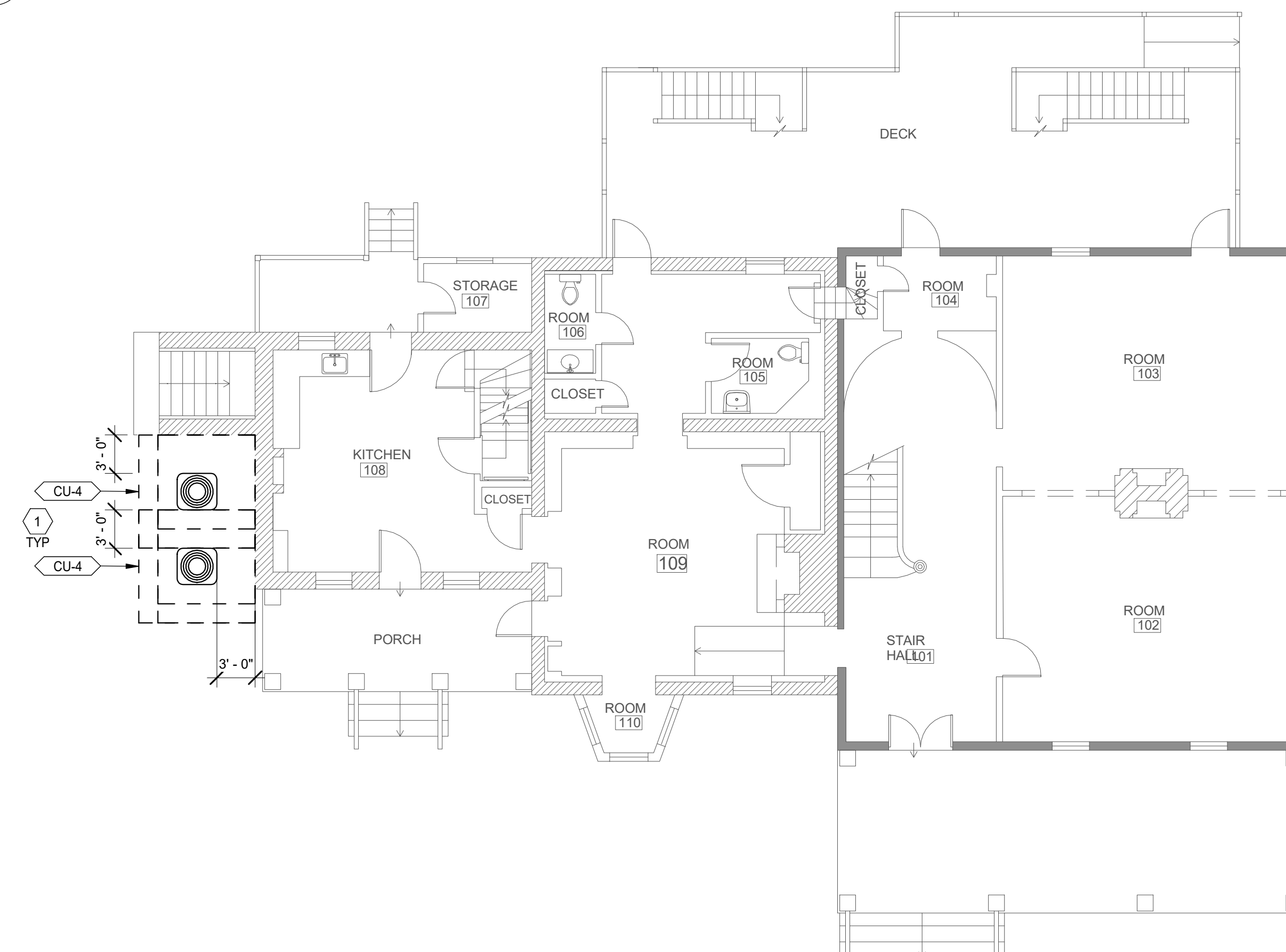
- 1 CONDENSERS SHALL BE PLACED ON 4" X 3' X 3' HOUSEKEEPING PADS, TYPICAL.
- 2 INSTALL NEW HORIZONTAL HEAT PUMP, NEW DUCTWORK AS SHOWN.
- 3 INSTALL NEW HORIZONTAL HEAT PUMP, CONNECT TO EXISTING DUCTWORK.
- 4 DUCTWORK IN ATTIC, TYP.
- 5 HI/LOW TRANSFER GRILLE FOR RETURN AIR.
- 6 TRANSFER GRILLE ABOVE DOOR.
- 7 AIR INTAKE LOUVER THROUGH WINDOW IN PLACE OF LOWER SASH.
- 8 CONTRACTOR TO COORDINATE EXACT LOCATION WITH EXISTING CONDITIONS IN THE FIELD, TYPICAL.



2 LEVEL 3 MECHANICAL PLAN
SCALE: 1/8" = 1'-0"

REVIEWED
By Michael Kyne at 12:52 pm, May 31, 2023

APPROVED
Montgomery County
Historic Preservation Commission
Robert A. ...



1 LEVEL 1 MECHANICAL PLAN
SCALE: 1/8" = 1'-0"

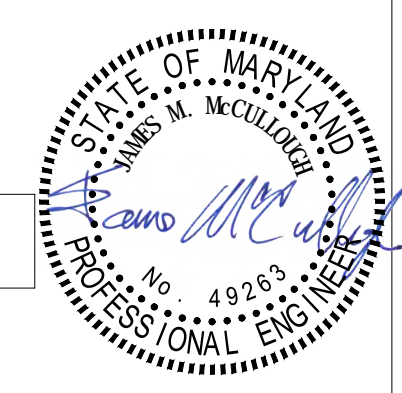
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SCALE: AS SHOWN

DWG. #
ME
Sheet 1 of 4

FINAL SCANNED

PLAN SCANNED

PLAN CODE

SYMBOL LEGEND - MISC

REFERENCE LINES AND SYMBOLS

| SYMBOL | DESCRIPTION |
|--------|---|
| | VIEW OR DETAIL INDICATOR: # INDICATES DETAIL NUMBER, SHEET INDICATES DRAWING SHEET WHERE VIEW OR DETAIL IS SHOWN. |
| | ELEVATION OR SECTION INDICATOR: # INDICATES VIEW NUMBER, SHEET INDICATES DRAWING SHEET WHERE VIEW IS SHOWN. |
| | ROOM / SPACE INDICATOR |
| | KEYNOTE INDICATOR |
| | REVISION INDICATOR |
| | PLUMBING FIXTURE INDICATOR |
| | EQUIPMENT INDICATOR |
| | REGISTER, GRILLE, OR DIFFUSER INDICATOR |
| | BREAKLINE |
| | MATCHLINE INDICATOR |
| | CONTRACT LIMIT LINE: DASHDOT, WIDE LINE |
| | NEW CONNECTION TO EXISTING |
| | POINT OF DEMOLITION |

SYMBOL LEGEND - PIPING

NOTE: ALL ABBREVIATIONS MAY NOT BE USED.

| SYMBOL | DESCRIPTION |
|--------|--------------------------|
| | HOSE BIBB / WALL HYDRANT |
| | CLEANOUT TO GRADE |
| | FLOOR CLEANOUT |
| | WALL CLEANOUT |
| | FLOOR DRAIN |
| | FLOOR SINK |

DEFINITIONS

NOTE: ALL DEFINITIONS MAY NOT BE USED.

INDICATED: THE TERM "INDICATED" REFERS TO GRAPHIC REPRESENTATIONS, NOTES, OR SCHEDULES ON THE DRAWINGS, OTHER PARAGRAPHS OR SCHEDULES IN THE SPECIFICATIONS, AND SIMILAR REQUIREMENTS IN THE CONTRACT DOCUMENTS. WHERE TERMS SUCH AS "SHOWN", "NOTED", "SCHEDULED", AND "SPECIFIED" ARE USED, IT IS TO HELP THE READER LOCATE THE REFERENCE, NO LIMITATION ON LOCATION IS INTENDED.

DIRECTED: TERMS SUCH AS "DIRECTED", "REQUESTED", "AUTHORIZED", "SELECTED", "APPROVED", "REQUIRED", AND "PERMITTED" MEAN "DIRECTED BY THE ENGINEER", "REQUESTED BY THE ENGINEER", AND SIMILAR PHRASES.

APPROVED: THE TERM "APPROVED", WHERE USED IN CONJUNCTION WITH THE ENGINEER'S ACTION ON THE CONTRACTOR'S SUBMITTALS, APPLICATIONS, AND REQUESTS, IS LIMITED TO THE ENGINEER'S DUTIES AND RESPONSIBILITIES AS STATED IN GENERAL AND SUPPLEMENTARY CONDITIONS.

FURNISH: THE TERM "FURNISH" IS USED TO MEAN "SUPPLY AND DELIVER TO THE PROJECT SITE, READY FOR UNLOADING, UNPACKING, ASSEMBLY, INSTALLATION, AND SIMILAR OPERATIONS."

INSTALL: THE TERM "INSTALL" IS USED TO DESCRIBE OPERATIONS AT PROJECT SITE INCLUDING THE ACTUAL "UNLOADING, UNPACKING, ASSEMBLY, ERECTION, PLACING, ANCHORING, APPLYING, WORKING TO DIMENSION, FINISHING, CURING, PROTECTING, CLEANING, AND SIMILAR OPERATIONS."

PROVIDE: THE TERM "PROVIDE" MEANS "TO FURNISH AND INSTALL, COMPLETE AND READY FOR THE INTENDED USE."

INSTALLER: AN "INSTALLER" IS THE CONTRACTOR OR AN ENTITY ENGAGED BY THE CONTRACTOR, EITHER AS AN EMPLOYEE, SUBCONTRACTOR, OR SUB-SUBCONTRACTOR, FOR PERFORMANCE OF A PARTICULAR CONSTRUCTION ACTIVITY, INCLUDING INSTALLATION, ERECTION, APPLICATION, AND SIMILAR OPERATIONS. INSTALLERS ARE REQUIRED TO BE EXPERIENCED IN THE OPERATIONS THEY ARE ENGAGED TO PERFORM.

PIPING LEGEND

NOTE: ALL ABBREVIATIONS MAY NOT BE USED.

| ABBREVIATION | DESCRIPTION |
|--------------|--------------------------------------|
| | 160°F HOT WATER |
| | 160°F HOT WATER RETURN / CIRCULATION |
| | 180°F HOT WATER |
| | 180°F HOT WATER RETURN / CIRCULATION |
| | ACID WASTE |
| | ACID VENT |
| | CARBON DIOXIDE |
| | COMBINATION WASTE AND VENT |
| | COMPRESSED AIR |
| | CONDENSATE DRAIN |
| | DOMESTIC COLD WATER |
| | DOMESTIC HOT WATER |
| | DOMESTIC HOT WATER RECIRCULATION |
| | DEIONIZED WATER |
| | DOMESTIC SOFT WATER |
| | DEMOLISHED PIPING |
| | FIRE PROTECTION |
| | FUEL OIL RETURN |
| | FUEL OIL SUPPLY |
| | FUEL OIL VENT |
| | GREASE WASTE |
| | HIGH PRESSURE CONDENSATE |
| | MEDIUM PRESSURE CONDENSATE |
| | LOW PRESSURE CONDENSATE |
| | INDUSTRIAL COLD WATER |
| | INDUSTRIAL HOT WATER |
| | IRRIGATION WATER |
| | LIQUID PROPANE GAS |
| | MEDICAL AIR |
| | NATURAL GAS |
| | NITROUS OXIDE |
| | OXYGEN |
| | PUMPED CONDENSATE |
| | RAINWATER / STORM DRAIN |
| | SECONDARY RAINWATER / STORM DRAIN |
| | SANITARY SEWER |
| | VACUUM |
| | VENT |

SYMBOL LEGEND - PIPING

NOTE: ALL ABBREVIATIONS MAY NOT BE USED.

| SYMBOL | DESCRIPTION |
|--------|-----------------------------|
| | SHUT OFF VALVE |
| | GATE VALVE |
| | CHECK VALVE |
| | AUTOMATIC 2-WAY VALVE |
| | AUTOMATIC 3-WAY VALVE |
| | GLOBE VALVE |
| | BALL VALVE |
| | RELIEF VALVE |
| | PRESSURE REDUCING VALVE |
| | BUTTERFLY VALVE |
| | SOLENOID VALVE |
| | ANGLE VALVE |
| | VENTURI VALVE |
| | BALANCING OR PLUG COCK |
| | FLOW SETTER |
| | EXPANSION VALVE |
| | GAS COCK |
| | MANUAL AIR VENT |
| | STRAINER |
| | GAUGE COCK |
| | FLEXIBLE CONNECTION |
| | PRESSURE GAUGE |
| | THERMOMETER |
| | PIPE REDUCER |
| | REFRIGERANT SITE GLASS |
| | REFRIGERANT STRAINER |
| | REFRIGERANT FILTER DRIER |
| | 90 DEGREE ELBOW UP |
| | 90 DEGREE ELBOW DOWN |
| | 90 DEGREE TEE UP |
| | 90 DEGREE TEE DOWN |
| | PIPE UNION |
| | PIPE CAP |
| | PIPE ANCHOR |
| | FLOAT AND THERMOSTATIC TRAP |

ABBREVIATIONS

NOTE: ALL ABBREVIATIONS MAY NOT BE USED.

| | |
|----------|-----------------------------------|
| (E) | EXISTING |
| (F) | FUTURE |
| AC | AIR CONDITION(-ING,-ED) |
| APD | AIR PRESSURE DROP |
| BD | BALANCING DAMPER |
| BHP | BRAKE HORSE POWER |
| BTU | BRITISH THERMAL UNIT |
| BTU/HOUR | BTU/HOUR |
| CFH | CUBIC FEET PER HOUR |
| CFM | CUBIC FEET PER MINUTE |
| CV | CONTROL VALVE |
| DB | DRY BULB TEMPERATURE |
| DCW | DOMESTIC COLD WATER |
| DHW | DOMESTIC HOT WATER |
| DHW-R | DOMESTIC HOT WATER RECIRC |
| DP | DEPTH, DEEP, OR DROP IN PRESSURE |
| EA | EXHAUST AIR |
| EER | ENERGY EFFICIENCY RATIO |
| EFF | EFFICIENCY |
| ELEC | ELECTRIC |
| ELEV | ELEVATION |
| ENT | ENTERING |
| EVAP | EVAPORAT(-E,-ING,-ED,-OR) |
| EWT | ENTERING WATER TEMPERATURE |
| EXT | EXTERNAL |
| FD | FIRE DAMPER |
| FLA | FULL LOAD AMPS |
| FPI | FINS PER INCH |
| FPM | FEET PER MINUTE |
| FPS | FEET PER SECOND |
| FSD | FIRE SMOKE DAMPER |
| GE | GREASE EXHAUST |
| GPH | GALLONS PER HOUR |
| GPM | GALLONS PER MINUTE |
| HD | HEAD |
| HG | MERCURY |
| HP | HORSEPOWER |
| HR | HOUR |
| HTG | HEATING |
| HZ | HERTZ (FREQUENCY) |
| IN | INCH |
| KW | KILOWATT |
| LAT | LEAVING AIR TEMPERATURE |
| LBS | POUNDS |
| LH | LATENT HEAT |
| LRA | LOCKED ROTOR AMPS |
| LVG | LEAVING |
| LWT | LEAVING WATER TEMPERATURE |
| MBH | THOUSAND BTU PER HOUR |
| MCA | MINIMUM CIRCUIT AMPS |
| MFR | MANUFACTUR(-ER,-ED) |
| NC | NORMALLY CLOSED OR NOISE CRITERIA |
| NIC | NOT IN CONTRACT |
| NO | NORMALLY OPEN |
| NPISH | NET POSITIVE SUCTION HEAD |
| NTS | NOT TO SCALE |
| OA | OUTSIDE AIR |
| OD | OUTSIDE DIAMETER |
| OZ | OUNCE |
| PD | PRESSURE DROP OR DIFFERENCE |
| PG | PROPYLENE GLYCOL |
| PH | PHASE |
| PPM | PARTS PER MILLION |
| PSF | POUNDS PER SQUARE FOOT |
| PSI | POUNDS PER SQUARE INCH |
| PSIA | PSI ABSOLUTE |
| PSIG | PSI GAUGE |
| RA | RETURN AIR |
| RECIRC | RECIRCULATE (-ER,-ED,-ING) |
| REFR | REFRIGERATION |
| REQD | REQUIRED |
| RLA | RATED LOAD AMPS |
| RPM | REVOLUTIONS PER MINUTE |
| SA | SUPPLY AIR |
| SCFM | STANDARD CUBIC FEET PER MINUTE |
| SCW | SOFT COLD WATER |
| SH | SENSIBLE HEAT |
| SP | STATIC PRESSURE |
| SPEC(S) | SPECIFICATION(S) |
| SQ | SQUARE |
| STD | STANDARD |
| SW | SOIL, WASTE |
| TA(R) | TRANSFER AIR (RETURN) |
| TA(S) | TRANSFER AIR (SUPPLY) |
| TD | TEMP. DROP OR DIFF. |
| TEMP | TEMPERATURE |
| TOT | TOTAL |
| TSTAT | THERMOSTAT |
| V | VOLT, VOLTAGE OR VENT |
| VAC | VACUUM |
| VAV | VARIABLE AIR VOLUME |
| VEL | VELOCITY |
| VENT | VENT, VENTILATION |
| VERT | VERTICAL |
| VFD | VARIABLE FREQUENCY DRIVE |
| VOL | VOLUME |
| VTR | VENT THROUGH ROOF |
| WB | WET BULB TEMP |
| WC | WATER COLUMN |
| WG | WATER GAUGE |
| WPD | WATER PRESSURE DROP |
| WTR | WATER |

PLUMBING GENERAL NOTES

- THE PLUMBING DRAWINGS SHOW THE GENERAL DESIGN, ARRANGEMENT AND EXTENT OF THE PLUMBING SYSTEM. BECAUSE OF THE SMALL SCALE OF THE DRAWINGS, THESE DRAWINGS DO NOT SHOW ALL OFFSETS, BENDS OR ELBOWS NECESSARY FOR THE COMPLETE INSTALLATION IN THE SPACE PROVIDED. CONTRACTOR SHALL MAKE SUCH SLIGHT ALTERATIONS AS MAY BE NECESSARY TO MAKE THE SYSTEM COMPLETE AND OPERATIONAL IN ACCORDANCE WITH THE DESIGN INTENT. MAJOR DEVIATIONS SUCH AS CHANGES IN COMPONENT SIZES, WEIGHTS, QUANTITIES OR MATERIAL REQUIRE PRIOR APPROVAL BY THE DESIGN ENGINEER.
- THE DRAWINGS AND SPECIFICATIONS HAVE BEEN PREPARED TO SUPPLEMENT EACH OTHER AND SHALL BE INTERPRETED AS AN INTEGRAL UNIT WITH THE ITEMS SHOWN ON ONE AND NOT THE OTHER BEING FURNISHED AND INSTALLED AS THOUGH SHOWN AND CALLED OUT IN BOTH.
- THE ENTIRE PLUMBING INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF THE MOST RECENTLY ADOPTED BUILDING CODES, MECHANICAL CODE, PLUMBING CODE, ELECTRICAL CODE, AND ALL OTHER APPLICABLE CITY, COUNTY, STATE, AND FEDERAL CODES AND REGULATIONS IN EFFECT.
- THE ENTIRE PLUMBING INSTALLATION SHALL CONFORM TO ANY CODES, RULES, REGULATIONS AND REQUIREMENTS OF THE BUILDING OWNER.
- PRIOR TO FABRICATION AND INSTALLATION OF ANY PLUMBING COMPONENT THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL PLUMBING WORK WITH ALL OTHER BUILDING TRADES, INCLUDING BUILDING TRADES HIRED DIRECTLY BY THE OWNER. WHERE CONFLICTS MAY OCCUR, THEY SHALL BE RESOLVED PRIOR TO INSTALLATION.
- ALL PLUMBING INFORMATION IS NOT SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL INFORMATION ON ALL OTHER CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO REVIEW AND USE, WHERE APPROPRIATE, ALL THE PLUMBING DETAILS SHOWN ON THE DRAWINGS. DETAILS MAY OR MAY NOT BE CALLED OUT ON THE DRAWINGS WITH SYMBOLS OR KEYED NOTES. ANY CHANGES RESULTING FROM FAILURE TO INSTALL THE PLUMBING SYSTEM WITHOUT USING THE INCLUDED DETAILS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ANY PART OF THE PLUMBING INSTALLATION THAT FAILS, IS UNFIT, OR BECOMES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- PROVIDE PROPER PROVISIONS FOR EXPANSION, CONTRACTION, OR MOVEMENT OF ALL PIPING.
- PROVIDE LARGE ENOUGH PIPE SLEEVES THROUGH WALL OR FLOOR TO ALLOW FOR ANTICIPATED DIFFERENTIAL MOVEMENT.
- ALL PIPING SHALL BE SUPPORT WITH CLEVIS HANGERS (MSS TYPE 1), PERFORATED METAL STRAPS OR PLASTIC STRAPPING (PLUMBER TAPE) SHALL NOT BE USED TO SUPPORT OR BRACE ANY PIPE.
- PROVIDE PIPE HANGERS WITHIN 18-INCHES OF ALL CHANGES OF DIRECTION.
- PROVIDE SWAY BRACING FOR ALL PIPING 4" AND LARGER AT ALL CHANGES IN DIRECTION GREATER THAN 45-DEGREES.
- ALL STEEL CLEVIS HANGERS USED TO SUPPORT COPPER PIPING SHALL BE COPPER OR PLASTIC COATED.
- COPPER PIPING SHALL NOT COME IN CONTACT WITH FIRE TREATED LUMBER. PROVIDE 1/2" THICK SLIP-ON CLOSED CELL INSULATION WHERE COPPER PIPING IS ADJACENT TO FIRE TREATED LUMBER. CLOSED CELL INSULATION SHALL EXTEND A MINIMUM OF 1-1/2" PAST LUMBER.
- ALL EXPOSED PIPING SHALL BE INSTALLED IN A NEATLY ARRANGED MANNER PARALLEL TO THE BUILDING STRUCTURE.
- ALL EXPOSED DOMESTIC WATER PIPE IN OCCUPIED SPACES SHALL BE POLISHED CHROME PLATED.
- ALL EXPOSED DRAINAGE PIPING IN OCCUPIED SPACES INCLUDING TRAPS UNDER SINKS SHALL BE POLISHED CHROME PLATED.
- DRAWINGS SHOW GENERAL ARRANGEMENT OF THE DRAIN WASTE AND VENT SYSTEM WITH THE REQUIRED CLEANOUTS. CONTRACTOR SHALL PROVIDE ALL ADDITIONAL CLEANOUTS AS REQUIRED BY THE PLUMBING CODE.
- ALL SANITARY DRAINAGE SYSTEM PIPING 3" AND LARGER SHALL BE SLOPED IN DIRECTION OF FLOW AT A MINIMUM OF 1/8" PER FOOT.
- ALL SANITARY DRAINAGE SYSTEM PIPING SMALLER THAN 3" SHALL BE SLOPED IN DIRECTION OF FLOW AT A MINIMUM OF 1/4" PER FOOT.
- SLOPE VENT SYSTEM TOWARDS DRAINAGE SYSTEM.
- SIMILAR EQUIPMENT SHALL BE OF THE SAME MANUFACTURER.
- ALL EQUIPMENT SHALL PROVIDE THE SCHEDULED PERFORMANCE AT THE JOB SITE ELEVATION.
- FIXTURE AND EQUIPMENT MODEL NUMBERS SHOWN IN PLUMBING FIXTURE SCHEDULE AND PLUMBING EQUIPMENT SCHEDULE ARE SHOWN TO ESTABLISH THE TYPE OF PRODUCT THAT SHALL BE USED. THE SELECTED PRODUCT SHALL MEET THE SCHEDULED PERFORMANCE DATA SHOWN ON THE SCHEDULE EVEN IF A DIFFERENT MODEL IS SUPPLIED THAT IS DIFFERENT THAN THAT SCHEDULED.
- ALL EQUIPMENT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE EQUIPMENT MANUFACTURER'S INSTALLATION INSTRUCTIONS. PROVIDE ALL NECESSARY FITTINGS, TRANSITIONS, VALVES AND OTHER DEVICES AND ACCESSORIES REQUIRED FOR A COMPLETE, WORKABLE INSTALLATION.
- SEE "PLUMBING FIXTURE SCHEDULE" FOR INDIVIDUAL TRAPS, WASTE, VENT, AND DOMESTIC WATER PIPING FOR INDIVIDUAL FIXTURES.
- ALL PLUMBING EQUIPMENT SHALL BE LISTED AND LABELED BY AN APPROVED TESTING AGENCY.
- FIXTURES, EQUIPMENT AND PIPING INSTALLATION SHALL MEET NSF STANDARDS.

PLUMBING SHEET INDEX

| | |
|------|----------------------|
| P0.0 | PLUMBING COVER SHEET |
| PE | PLUMBING PLANS |

REVIEWED

By Michael Kyne at 12:52 pm, May 31, 2023

APPROVED

Montgomery County
Historic Preservation Commission

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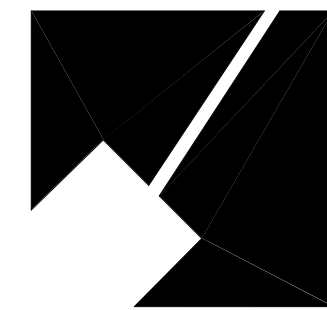
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PLUMBING COVER SHEET

BUILDING ENVELOPE REPAIRS

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SCALE: AS SHOWN

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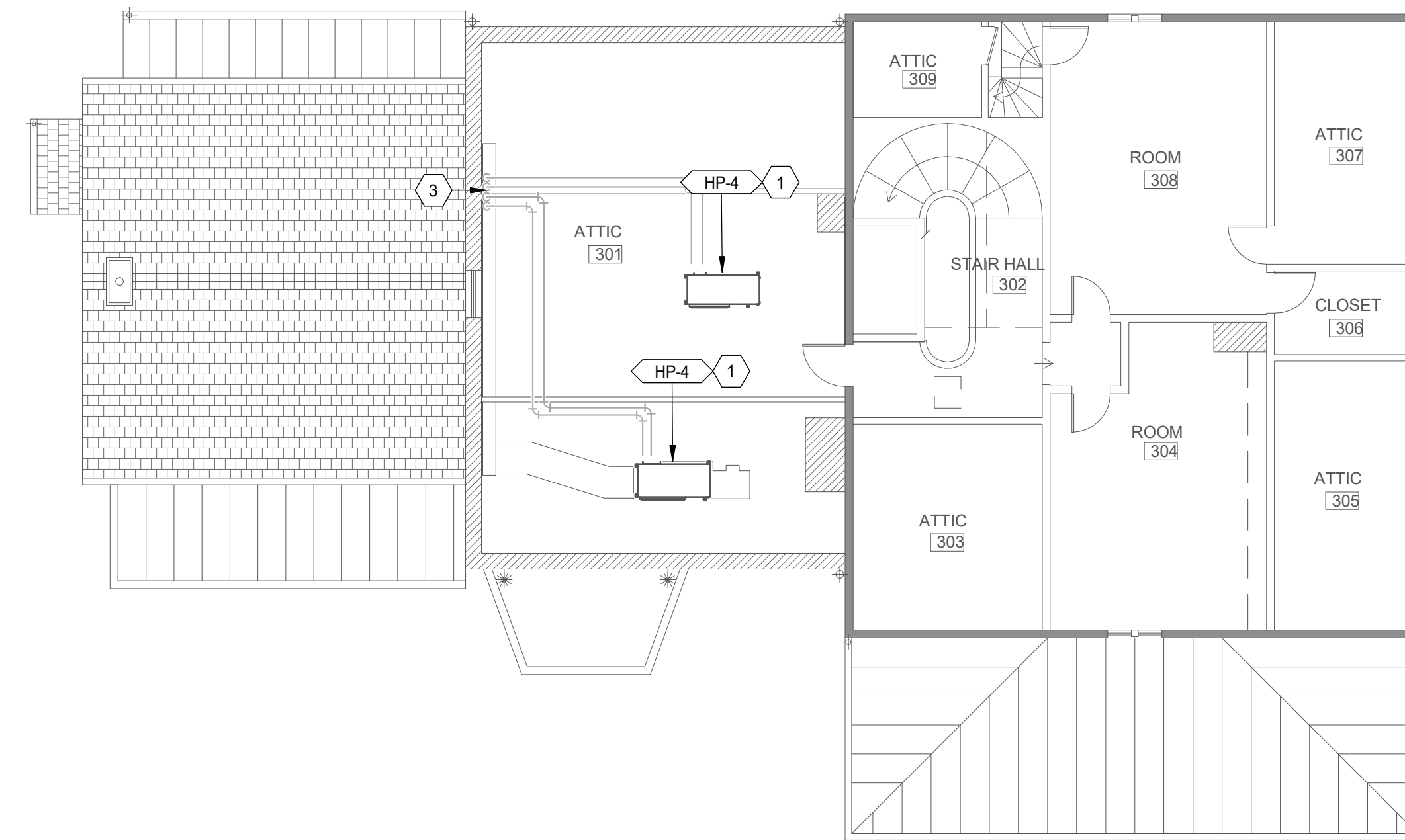
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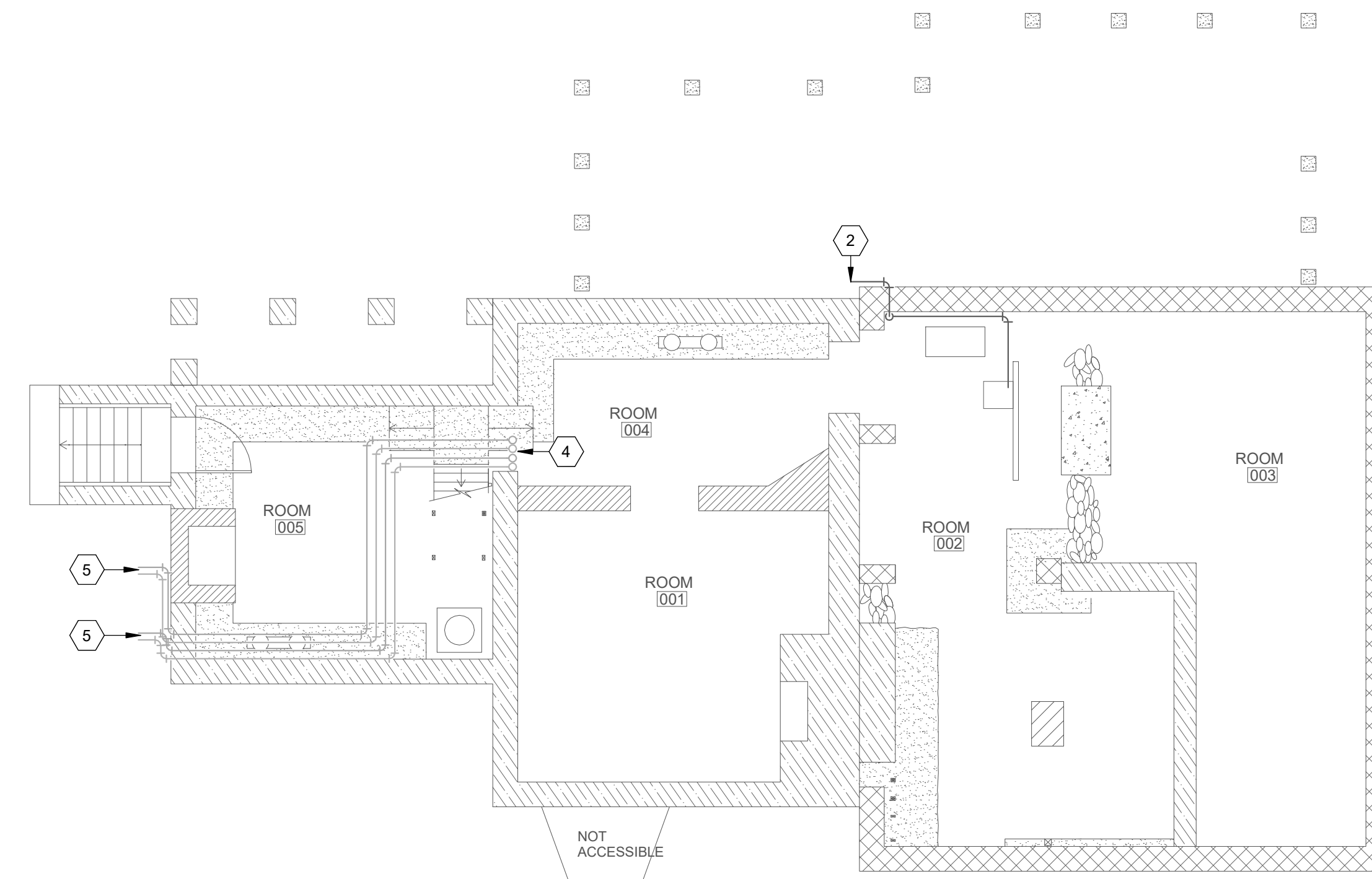
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SHEET KEYNOTES

- 1 FIELD ROUTE CONDENSATE FROM HP'S TO NEAREST FD, LAV TAILPIECE, OR TO 12" ABOVE GRADE.
- 2 RUN CONDENSATE LINE FROM EXISTING CONDENSATE PUMP TO DISCHARGE INTO EXISTING DOWNSPOUT.
- 3 CONDENSER LINESETS DOWN TO BASEMENT CEILING.
- 4 CONDENSER LINESETS UP TO ATTIC.
- 5 CONDENSER LINESETS TO CONDENSERS.



2 LEVEL 3 PLUMBING PLAN
SCALE: 1/8" = 1'-0"



1 BASEMENT PLUMBING PLAN
SCALE: 1/8" = 1'-0"

REVIEWED
By Michael Kyne at 12:52 pm, May 31, 2023

APPROVED
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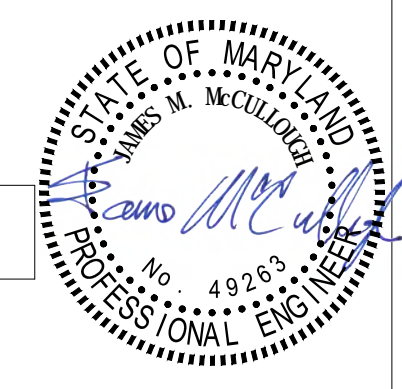
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BUILDING ENVELOPE REPAIRS
HISTORIC WATERS HOUSE
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SCALE: AS SHOWN

DWG. #

PE

Sheet 1 of 4

| SYMBOL LEGEND | |
|-----------------------------------|--|
| SYMBOL | DESCRIPTION |
| REFERENCE AND LINE SYMBOLS | |
| | DETAIL INDICATOR: A5 INDICATES DETAIL NUMBER, E-501 INDICATES DRAWING SHEET WHERE DETAIL IS SHOWN. |
| | ELEVATION OR SECTION INDICATOR, EXTERIOR: A5 INDICATES ELEVATION OR SECTION NUMBER, E-201 INDICATES DRAWING SHEET WHERE ELEVATION OR SECTION IS SHOWN. |
| | ELEVATION OR SECTION INDICATOR, INTERIOR: A5 INDICATES ELEVATION OR SECTION NUMBER, E-201 INDICATES DRAWING SHEET WHERE ELEVATION OR SECTION IS SHOWN. |
| | ROOM IDENTIFIER WITH ROOM NAME AND NUMBER. |
| | KEYNOTE INDICATOR. |
| | REVISION INDICATOR. |
| | EQUIPMENT INDICATOR. |
| | BREAK, STRAIGHT: TO BREAK PARTS OF DRAWING. |
| | BREAK, ROUND. |
| | MATCH LINE INDICATOR: CENTER, EXTRA WIDE LINE. |
| | NEW LINE: MEDIUM LINE. |
| | HIDDEN FEATURES LINE: HIDDEN, THIN LINE. |
| | EXISTING TO REMAIN LINE: THIN LINE. |
| | DEMOLITION LINE: DASHED, MEDIUM LINE. |
| | PROPERTY LINE: DASHED, WIDE LINE. |
| | CONTRACT LIMIT LINE: DASHDOT, WIDE LINE. |
| | MECHANICAL EQUIPMENT INDICATOR: "X-X" INDICATES EQUIPMENT MARK SHOWN ON EQUIPMENT SCHEDULE. "XMDP" IDENTIFIES PANEL EQUIPMENT IS CIRCUITED TO. REFER TO EQUIPMENT SCHEDULE FOR ADDITIONAL INFORMATION. |
| | ELECTRICAL EQUIPMENT INDICATOR: "XXX" INDICATES TYPE OF EQUIPMENT OR EQUIPMENT ID. "EF-X" IDENTIFIES MECHANICAL EQUIPMENT BEING SERVED. REFER TO EQUIPMENT SCHEDULE FOR ADDITIONAL INFORMATION. |
| WIRING METHODS | |
| | WIRING. |
| | WIRING TURNED UP OR TOWARDS OBSERVER. |
| | WIRING TURNED DOWN OR AWAY FROM OBSERVER. |
| | BRANCH CIRCUIT HOME RUN TO PANELBOARD: NUMBER OF ARROWS INDICATES NUMBER OF CIRCUITS. LETTER AND NUMBER NOTATIONS IDENTIFY PANEL AND CIRCUIT NUMBERS. USE #12 CONDUCTORS, EXCEPT #10 CONDUCTORS SHALL BE INSTALLED IF DISTANCES EXCEED THOSE SPECIFIED IN THE ELECTRICAL SPECIFICATIONS. |
| | BRANCH CIRCUIT HOME RUN TO PANELBOARD: NUMBER OF ARROWS INDICATES NUMBER OF CIRCUITS. LETTER AND NUMBER NOTATIONS IDENTIFY PANEL AND CIRCUIT NUMBERS. NUMBER IN BOX REFERS TO THE CONDUCTOR AND CONDUIT SCHEDULE. FOR BRANCH WIRING USE #12 CONDUCTORS, EXCEPT #10 CONDUCTORS SHALL BE INSTALLED IF DISTANCES EXCEED THOSE SPECIFIED IN THE ELECTRICAL SPECIFICATIONS. |
| | WIRING AND/OR RACEWAY: THIN LINE. WHERE "X" = : CATV = CABLE TELEVISION NC = NURSE CALL CCTV = CLOSED CIRCUIT P = POWER FA = TELEVISION RC = RIGID CONDUIT FO = FIRE ALARM S = SOUND FO = FIBER OPTICS T = TELEPHONE I = INTERCOM TV = TELEVISION OTHERS AS NOTED IN OTHER SCHEDULES. RACEWAYS AND WIRING SHALL BE SIZED AS SHOWN AND/OR SPECIFIED. |
| | LOW VOLTAGE WIRING: DIVIDE, MEDIUM LINE. |
| | CONDUIT STUB. DIMENSION RECORD DRAWINGS AND MARK. |
| | CONDUCTOR & CONDUIT ("CC") SCHEDULE INDICATOR. REFER TO ONE-LINE DIAGRAM. |
| | CONDUCTOR RUN IDENTIFICATION. |
| | JUNCTION BOX. |
| | JUNCTION BOX, CEILING. |
| | PULL BOX. |
| | EARTH GROUND (ONE-LINE DIAGRAM). |
| | MECHANICAL EQUIPMENT CONNECTION. REFER TO EQUIPMENT SCHEDULE FOR REQUIREMENTS. |

| SYMBOL LEGEND | |
|-------------------------|---|
| SYMBOL | DESCRIPTION |
| WIRING DEVICES | |
| | RECEPTACLE, SINGLE: NEMA 5-20R. |
| | RECEPTACLE, DUPLEX: NEMA 5-20R. |
| | RECEPTACLE, DUPLEX, ABOVE COUNTER: NEMA 5-20R. |
| | RECEPTACLE, DUPLEX, CEILING: NEMA 5-20R. |
| | RECEPTACLE, DUPLEX, SWITCHED: NEMA 5-20R. |
| | RECEPTACLE, DUPLEX, WEATHERPROOF: NEMA 5-20R. |
| | RECEPTACLE, DUPLEX WITH GROUND FAULT CIRCUIT INTERRUPTER: NEMA 5-20R. |
| | RECEPTACLE, DUPLEX WITH GROUND FAULT CIRCUIT INTERRUPTER, WET LABEL, "WEATHERPROOF IN USE": NEMA 5-20R. |
| | RECEPTACLE, DUPLEX WITH GROUND FAULT CIRCUIT INTERRUPTER, WEATHERPROOF: NEMA 5-20R. |
| | RECEPTACLE, DUPLEX, RECESSED: NEMA 5-20R. |
| | RECEPTACLE, DUPLEX, SWITCHED, RECESSED: NEMA 5-20R. |
| | RECEPTACLE, QUADRUPLEX: NEMA 5-20R. |
| | RECEPTACLE, QUADRUPLEX WITH GROUND FAULT CIRCUIT INTERRUPTER: NEMA 5-20R. |
| | RECEPTACLE, SPECIAL PURPOSE. PROVIDE RECEPTACLE TO MATCH EQUIPMENT PLUG. |
| | RECEPTACLE, SINGLE PLEX, WITH USB OUTLET |
| LIGHTING CONTROL | |
| | SWITCH, DIMMER. |
| | SWITCH, SINGLE POLE (*X* INDICATES FIXTURES CONTROLLED). |
| | SWITCH, THREE-WAY (*X* INDICATES FIXTURES CONTROLLED). |
| | SWITCH, FOUR-WAY (*X* INDICATES FIXTURES CONTROLLED). |
| | SWITCH/VACANCY SENSOR COMBO, DUAL TECHNOLOGY, WALL. |
| | SWITCH/OCCUPANCY SENSOR COMBO, DUAL TECHNOLOGY, WALL. |

| DEFINITIONS | |
|---|--|
| NOTE: ALL DEFINITIONS MAY NOT BE USED. | |
| INDICATED: THE TERM "INDICATED" REFERS TO GRAPHIC REPRESENTATIONS, NOTES, OR SCHEDULES ON THE DRAWINGS, OTHER PARAGRAPHS OR SCHEDULES IN THE SPECIFICATIONS, AND SIMILAR REQUIREMENTS IN THE CONTRACT DOCUMENTS. WHERE TERMS SUCH AS "SHOWN", "NOTED", "SCHEDULED", AND "SPECIFIED" ARE USED, IT IS TO HELP THE READER LOCATE THE REFERENCE, NO LIMITATION ON LOCATION IS INTENDED. | |
| DIRECTED: TERMS SUCH AS "DIRECTED", "REQUESTED", "AUTHORIZED", "SELECTED", "APPROVED", "REQUIRED", AND "PERMITTED" MEAN "DIRECTED BY THE ENGINEER", "REQUESTED BY THE ENGINEER", AND SIMILAR PHRASES. | |
| APPROVED: THE TERM "APPROVED", WHERE USED IN CONJUNCTION WITH THE ENGINEER'S ACTION ON THE CONTRACTOR'S SUBMITTALS, APPLICATIONS, AND REQUESTS, IS LIMITED TO THE ENGINEER'S DUTIES AND RESPONSIBILITIES AS STATED IN GENERAL AND SUPPLEMENTARY CONDITIONS. | |
| FURNISH: THE TERM "FURNISH" IS USED TO MEAN "SUPPLY AND DELIVER TO THE PROJECT SITE, READY FOR UNLOADING, UNPACKING, ASSEMBLY, INSTALLATION, AND SIMILAR OPERATIONS." | |
| INSTALL: THE TERM "INSTALL" IS USED TO DESCRIBE OPERATIONS AT PROJECT SITE INCLUDING THE ACTUAL "UNLOADING, UNPACKING, ASSEMBLY, ERECTION, PLACING, ANCHORING, APPLYING, WORKING TO DIMENSION, FINISHING, CURING, PROTECTING, CLEANING, AND SIMILAR OPERATIONS." | |
| PROVIDE: THE TERM "PROVIDE" MEANS "TO FURNISH AND INSTALL, COMPLETE AND READY FOR THE INTENDED USE." | |
| INSTALLER: AN "INSTALLER" IS THE CONTRACTOR OR AN ENTITY ENGAGED BY THE CONTRACTOR, EITHER AS AN EMPLOYEE, SUBCONTRACTOR, OR SUB-SUBCONTRACTOR, FOR PERFORMANCE OF A PARTICULAR CONSTRUCTION ACTIVITY, INCLUDING INSTALLATION, ERECTION, APPLICATION, AND SIMILAR OPERATIONS. INSTALLERS ARE REQUIRED TO BE EXPERIENCED IN THE OPERATIONS THEY ARE ENGAGED TO PERFORM. | |
| TECHNOLOGY SYSTEMS: THE TERM "TECHNOLOGY SYSTEMS" IS USED TO DESCRIBE ALL LOW VOLTAGE SYSTEMS GENERALLY REFERRED TO AS "SPECIAL SYSTEMS". THESE SYSTEMS INCLUDE BUT ARE NOT NECESSARILY LIMITED TO ALL SYSTEMS WHICH UTILIZE VOLTAGES OF LESS THAN 71 VOLTS SUCH AS SOUND SYSTEMS, VIDEO SYSTEMS, TV SYSTEMS, SECURITY SYSTEMS, VOICE AND DATA CABLING SYSTEMS, ETC... | |

| SYMBOL LEGEND | |
|--|--|
| SYMBOL | DESCRIPTION |
| ELECTRICAL POWER AND DISTRIBUTION | |
| | DISCONNECT, FUSED (ONE-LINE DIAGRAM). |
| | DISCONNECT, NONFUSED (ONE-LINE DIAGRAM). |
| | CIRCUIT BREAKER, MOLDED CASE (ONE-LINE DIAGRAM). |
| | CIRCUIT BREAKER, MOTOR CIRCUIT PROTECTION (ONE-LINE DIAGRAM). |
| | MOTOR. |
| | PANELBOARD WITH MAIN LUGS ONLY. BUS SIZE AND PHASE AS SHOWN (ONE-LINE DIAGRAM). |
| | PANELBOARD WITH MAIN CIRCUIT BREAKER. SIZE AND PHASE AS SHOWN (ONE-LINE DIAGRAM). |
| | PANELBOARD WITH MAIN LUGS ONLY AND SURGE PROTECTION WITH CIRCUIT BREAKER (ONE-LINE DIAGRAM). |
| | CT CABINET PER UTILITY'S REQUIREMENTS (ONE-LINE DIAGRAM). |
| | SERVICE ENTRANCE SURGE PROTECTION (ONE-LINE DIAGRAM). |
| | METER. |
| | DISCONNECT SWITCH, FUSED. |
| | DISCONNECT SWITCH, UNFUSED. |
| | PUSHBUTTON. |
| | PUSHBUTTONS, MOTOR CONTROL. |
| | PANELBOARD CABINET, FLUSH MOUNTED. |
| | PANELBOARD CABINET, SURFACE MOUNTED, 1 SECTION. |
| | PANELBOARD CABINET, SURFACE MOUNTED, 2 SECTION. |
| | DISTRIBUTION PANEL OR SWITCHBOARD. |
| | LIGHTING RELAY, CONTACTOR PANEL, OR DIMMING ENCLOSURE. |
| | SWITCH, TOGGLE MOTOR STARTER WITH OVERLOAD PROTECTION. |

| ABBREVIATIONS | | | |
|--|--|---------|---|
| NOTE: ALL ABBREVIATIONS MAY NOT BE USED. | | | |
| 1P | SINGLE POLE | KV | KILOVOLT |
| 1PH | SINGLE-PHASE | KVA | KILOVOLT AMPERE |
| 1WAY | ONE-WAY | KVAR | KILOVOLT AMPERE REACTIVE |
| 2/C | TWO-CONDUCTOR | KW | KILOWATT |
| 2WAY | TWO-WAY | kWh | KILOWATT HOUR |
| 3/C | THREE-CONDUCTOR | LED | LIGHT EMITTING DIODE |
| 3PH | THREE-PHASE | LFLMC | LIQUID TIGHT FLEXIBLE METAL CONDUIT |
| 3WAY | THREE-WAY | LFNC | LIQUID TIGHT FLEXIBLE NONMETALLIC CONDUIT |
| 4OUT | QUADRUPLE RECEPTACLE | LPS | LOW PRESSURE SODIUM |
| 4PDT | FOUR-POLE DOUBLE THROW | LRA | LOCKED ROTOR AMPS |
| 4PST | FOUR-POLE SINGLE THROW | LTG | LIGHTING |
| 4W | FOUR-WIRE | LV | LOW VOLTAGE |
| 4WAY | FOUR-WAY | MATV | MASTER ANTENNA TELEVISION SYSTEM |
| AC | ABOVE COUNTER | MAX | MAXIMUM |
| ADA | ARMORED CABLE | MC | METAL CLAD |
| ADJ | ADJACENT | MCA | MINIMUM CIRCUIT AMPS |
| AFF | ABOVE FINISHED FLOOR | MCB | MAIN CIRCUIT BREAKER |
| AFG | ABOVE FINISHED GRADE | MCC | MOTOR CONTROL CENTER |
| AIC | AMPERE INTERRUPTING CAPACITY | MCP | MOTOR CIRCUIT PROTECTION |
| ALUM | ALUMINUM | MDP | MAIN DISTRIBUTION PANEL |
| AMP | AMPERE | MG | MOTOR GENERATOR |
| ANN | ANNUNCIATOR | MH | MANHOLE |
| AP | ACCESS POINT (WIRELESS DATA) | MIN | MINIMUM |
| AR | AS REQUIRED | MLO | MAIN LUGS ONLY |
| ASC | AMPS SHORT CIRCUIT | MOCP | MAXIMUM OVERCURRENT PROTECTION |
| ATS | AUTOMATIC TRANSFER SWITCH | NA | NOT APPLICABLE |
| AV | AUDIO VISUAL | NC | NORMALLY CLOSED |
| AWG | AMERICAN WIRE GAGE | NEC | NATIONAL ELECTRICAL CODE |
| BB XFMR | BUCK-BOOST TRANSFORMER | NEMA | NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION |
| C | CEILING MOUNTED | NFC | NATIONAL FIRE CODE |
| CATV | COMMUNITY ANTENNA TELEVISION | NFPA | NATIONAL FIRE PROTECTION ASSOCIATION |
| CB | CIRCUIT BREAKER | NIC | NOT IN CONTRACT |
| CCBA | CUSTOM COLOR AS SELECTED BY ARCHITECT | NL | NIGHT LIGHT |
| CCTV | CLOSED CIRCUIT TELEVISION | NO | NORMALLY OPEN |
| CFBA | CUSTOM FINISH AS SELECTED BY ARCHITECT | NTS | NOT TO SCALE |
| CF/CI | CONTRACTOR FURNISHED/ CONTRACTOR INSTALLED | OC | ON CENTER |
| CF/OI | CONTRACTOR FURNISHED/ OWNER INSTALLED | OC | OVER CURRENT PROTECTION |
| CKT | CIRCUIT | OF/CI | OWNER FURNISHED/ CONTRACTOR INSTALLED |
| CM | CONSTRUCTION MANAGER | OF/OI | OWNER FURNISHED/ OWNER INSTALLED |
| CND | CONDUIT | OPF | OBTAIN FROM PLANS |
| CO | CONVENIENCE OUTLET | OH DR | OVERHEAD (COILING) DOOR |
| COR | CONTRACTING OFFICER'S REPRESENTATIVE | OL | OVERLOAD |
| CP | CONTROL PANEL | PB | PUSHBUTTON |
| CT | CURRENT TRANSFORMER | PF | POWER FACTOR |
| CTV | CABLE TELEVISION | PH | PHASE |
| CU | COPPER | PNL | PANEL |
| CU | COPPER | PT | POTENTIAL TRANSFORMER |
| 4BA | UNIT OF SOUND LEVEL | PTZ | PAN/TILT/ZOOM |
| DPDT | DOUBLE POLE DOUBLE THROW | QTY | QUANTITY |
| DS | DISCONNECT SWITCH | R | REMOVE |
| EA | EACH | RCP | REFLECTED CEILING PLAN |
| EM | EMERGENCY | RMC | RIGID METAL CONDUIT |
| EMT | ELECTRICAL METALLIC TUBING | RNC | RIGID NONMETALLIC CONDUIT |
| ENT | ELECTRICAL NONMETALLIC TUBING | RPM | REVOLUTIONS PER MINUTE |
| EPO | EMERGENCY POWER OFF EQUIPMENT | RR | REMOVE AND RELOCATE |
| EX | EXISTING | SCA | SHORT CIRCUIT AMPS |
| F | FURNITURE MOUNTED | SCBA | STANDARD COLOR AS SELECTED BY ARCHITECT |
| FA | FIRE ALARM | SF | SQUARE FOOT (FEET) |
| FCP | FIRE ALARM CONTROL PANEL | SFBA | STANDARD FINISH AS SELECTED BY ARCHITECT |
| FLA | FULL LOAD AMPS | SPDT | SINGLE POLE, DOUBLE THROW |
| FMC | FLEXIBLE METALCONDUIT | SPEC | SPECIFICATION |
| FOB | FREIGHT ON BOARD | SPST | SINGLE POLE, SINGLE THROW |
| FVNR | FULL VOLTAGE NON-REVERSING | S/S | START/STOP |
| FVR | FULL VOLTAGE REVERSING | ST | SINGLE THROW |
| G | GROUND | SWBD | SWITCHBOARD |
| GEN | GENERATOR | SWGR | SWITCHGEAR |
| GFCI | GROUND FAULT CIRCUIT INTERRUPTER | TL | TWIST LOCK |
| GFP | GROUND FAULT PROTECTION | TP | TELEPHONE POLE |
| HD | HEAVY DUTY | TP | TWISTED PAIR |
| HID | HIGH INTENSITY DISCHARGE | TTB | TELEPHONE TERMINAL BOARD |
| HOA | HAND-OFF-AUTOMATIC | TV | TELEVISION |
| HP | HORSE POWER | TVSS | TRANSIENT VOLTAGE SURGE SUPPRESSER |
| HPF | HIGH POWER FACTOR | TYP | TYPICAL |
| HPS | HIGH PRESSURE SODIUM | UF | UNDERFLOOR |
| HV | HIGH VOLTAGE | UGND | UNDERGROUND |
| HZ | HERTZ | UPS | UNINTERRUPTIBLE POWER SUPPLY |
| IG | ISOLATED GROUND | V | VOLTS |
| IMC | INTERMEDIATE METAL CONDUIT | VA | VOLT AMPERE |
| IN/IS | INSULATED/ISOLATED | VFC/VFD | VARIABLE FREQUENCY MOTOR CONTROLLER |
| I/O | INPUT/OUTPUT | W/ | WITH |
| IR | INFRARED | W/O | WITHOUT |
| J-BOX | JUNCTION BOX | WP | WEATHERPROOF |
| | | XFMR | TRANSFORMER |

| GENERAL ELECTRICAL NOTES | |
|--------------------------|---|
| 1. | CLARIFICATION METHODS: AT THE TIME OF BIDDING, BIDDERS SHALL FAMILIARIZE THEMSELVES WITH THE DRAWINGS AND SPECIFICATIONS. ANY QUESTIONS, MISUNDERSTANDINGS, CONFLICTS, DELETIONS, DISCONTINUED PRODUCTS, CATALOG NUMBER DISCREPANCIES, DISCREPANCIES BETWEEN THE EQUIPMENT SUPPLIED AND THE INTENT OR FUNCTION OF THE EQUIPMENT, ETC. SHALL BE SUBMITTED TO THE ARCHITECT/ENGINEER IN WRITING FOR CLARIFICATION PRIOR TO ISSUANCE OF THE FINAL ADDENDUM AND BIDDING OF THE PROJECT. WHERE DISCREPANCIES OR MULTIPLE INTERPRETATIONS OCCUR, THE MOST STRINGENT (WHICH IS GENERALLY RECOGNIZED AS THE MOST COSTLY) THAT MEETS THE INTENT OF THE DOCUMENTS SHALL BE ENFORCED. |
| 2. | OWNER FURNISHED ITEMS: THE OWNER WILL FURNISH MATERIAL AND EQUIPMENT AS INDICATED IN THE CONTRACT DOCUMENTS TO BE INCORPORATED INTO THE WORK. THESE ITEMS ARE ASSIGNED TO THE INSTALLER AND COSTS FOR RECEIVING, HANDLING, STORAGE, IF REQUIRED, AND INSTALLATION ARE INCLUDED IN THE CONTRACT SUM. <ul style="list-style-type: none"> A. THE INSTALLER'S RESPONSIBILITIES ARE THE SAME AS IF THE INSTALLER FURNISHED THE MATERIALS OR EQUIPMENT. B. THE OWNER WILL ARRANGE AND PAY FOR DELIVERY OF OWNER FURNISHED ITEMS FREIGHT ON BOARD JOB SITE AND THE INSTALLER WILL INSPECT DELIVERIES FOR DAMAGE. IF OWNER FURNISHED ITEMS ARE DAMAGED, DEFECTIVE OR MISSING, DOCUMENT DAMAGED ITEMS WITH THE TRANSPORT COMPANY AND THE OWNER WILL ARRANGE FOR REPLACEMENT. THE OWNER WILL ALSO ARRANGE FOR MANUFACTURER'S FIELD SERVICES, AND THE DELIVERY OF MANUFACTURER'S WARRANTIES AND BONDS TO THE INSTALLER. C. THE INSTALLER IS RESPONSIBLE FOR DESIGNATING THE DELIVERY DATES OF OWNER FURNISHED ITEMS AT THE SITE. THE INSTALLER IS RESPONSIBLE FOR PROTECTING OWNER FURNISHED ITEMS FROM DAMAGE, INCLUDING DAMAGE FROM EXPOSURE TO THE ELEMENTS, AND TO REPAIR OR REPLACE ITEMS DAMAGED AS A RESULT OF HIS OPERATIONS. |
| 3. | EXPOSED STRUCTURE AREAS (EXCLUDING MECHANICAL, ELECTRICAL, AND COMMUNICATION SPACES): INSTALL RACEWAYS BETWEEN DECK AND STRUCTURE WHEREVER POSSIBLE IN EXPOSED STRUCTURE CEILING AREAS. ROUTE RACEWAYS IN CONCEALED AREAS WHEREVER POSSIBLE. REFER ALL CONDITIONS WHERE RACEWAYS MUST BE INSTALLED WHICH CANNOT COMPLY WITH THESE REQUIREMENTS TO THE ARCHITECT. |
| 4. | SUBMITTALS: PROVIDE ORIGINAL ELECTRONIC PDF FORMAT, BOUND, BOOKMARKED (EACH SECTION AND PRODUCT), AND HIGHLIGHTED. JOB NAME AND SUBCONTRACTOR SHALL BE ON THE FRONT COVER. PREPARE INDEX OF EQUIPMENT SUBMITTED IN EACH TAB. |
| 5. | REFLECTED CEILING PLANS: COORDINATE THE LOCATION OF LIGHT FIXTURES WITH THE ARCHITECTURAL REFLECTED CEILING PLANS. REFER ALL DISCREPANCIES TO THE ARCHITECT AND ENGINEER. |
| 6. | ALL WORK SHALL BE DONE ACCORDING TO THE CURRENT NATIONAL ELECTRIC CODE (NEC), IBC, NFPA, AND IFC. COMPLIANCE AND FINAL APPROVAL IS SUBJECT TO THE ON SITE FIELD INSPECTION OF THE AHJ. |

| ELECTRICAL SHEET INDEX | |
|------------------------|---------------------------|
| SHEET NO | SHEET TITLE |
| EE001 | GENERAL ELECTRICAL |
| EE501 | ELECTRICAL SPECIFICATIONS |
| EE502 | ELECTRICAL DETAILS |
| EE601 | ELECTRICAL SCHEDULES |
| EP101 | BASEMENT POWER PLAN |
| EP102 | LEVEL 1 POWER PLAN |
| EP103 | LEVEL 2 POWER PLAN |
| EP104 | LEVEL 3 POWER PLAN |
| EL101 | BASEMENT LIGHTING PLAN |
| EL102 | LEVEL 1 LIGHTING PLAN |
| EL103 | LEVEL 2 LIGHTING PLAN |

REVIEWED
By Michael Kyne at 12:52 pm, May 31, 2023

APPROVED
Montgomery County
Historic Preservation Commission



ENCORE
SUSTAINABLE ARCHITECTS
ARCHITECTURE PRESERVATION
31 LIGHT STREET, SUITE 500, BALTIMORE, MD 21202
(410) 624-5461

MCC=1200
ARCHITECTURAL ENGINEERS PLLC
1200 ARCHITECTURAL ENGINEERS
210 NORTH LEE ST, SUITE 210
ALEXANDRIA, VA 22314
703-350-4151

SPECTRUM
ENGINEERS
9520 BERGER ROAD, SUITE 212, COLUMBIA, MD 21046
(410) 381-8010

| | | |
|---------------------|----------|-----------|
| DRAWING CHECKED BY: | | |
| Submission Name | Initials | Date |
| MHT SUBMISSION | CG/JH | 4/10/2023 |

PROFESSIONAL CERTIFICATION:
I certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws under of the State of Maryland.

LICENSE NO. 37060

EXPIRATION DATE: 2025-04-20

DocuSeal



The Maryland-National Capital Park and Planning Commission
Montgomery County Department of Parks
9500 Brunett Avenue
Silver Spring, Maryland 20901
(301) 495-2535

| SUBMISSION / REVISION | | |
|-----------------------|------------|----------------|
| Rev. No. | Date | Description |
| | 04.10.2023 | MHT SUBMISSION |

ELECTRICAL COVER SHEET

BUILDING ENVELOPE REPAIRS

HISTORIC WATERS HOUSE
12535 MILESTONE MANOR LANE
GERMANTOWN, MD 20876

SCALE: AS SHOWN

DWG. # **EE001**

ELECTRICAL SPECIFICATIONS

SECTION 16050 - BASIC ELECTRICAL MATERIALS AND METHODS

GENERAL

MATERIALS AND INSTALLATION SHALL COMPLY WITH THE LATEST ADOPTED EDITION OF THE NATIONAL ELECTRICAL CODE, OTHER APPLICABLE NFPA SECTIONS, STATE AND LOCAL CODES, AND RECOGNIZED INDUSTRY STANDARDS AND PRACTICES.

LISTING AND LABELING: PROVIDE PRODUCTS THAT ARE UL LISTED AND LABELED.

NEMA COMPLIANCE: COMPLY WITH CONSTRUCTION AND INSTALLATION REQUIREMENTS OF APPLICABLE NEMA STANDARDS.

MAINTAIN A SET OF REDLINED AS-BUILT DRAWINGS AND DELIVER TO OWNER UPON COMPLETION OF PROJECT.

PATCH AND REPAIR SURFACES THAT ARE DISTURBED OR DAMAGED AS A RESULT OF ELECTRICAL INSTALLATION. RESTORE SURFACES TO ORIGINAL CONDITION.

INSTALLATION OF FIRE-STOPPING SEALANT: INSTALL UL-LISTED SEALANT, INCLUDING FORMING, PACKING, AND OTHER ACCESSORY MATERIALS, TO FILL OPENINGS AROUND ELECTRICAL SERVICES PENETRATING FLOORS AND WALLS, TO PROVIDE FIRE-STOPS WITH FIRE-RESISTANCE RATINGS INDICATED FOR FLOOR OR WALL ASSEMBLY IN WHICH PENETRATION OCCURS. COMPLY WITH INSTALLATION REQUIREMENTS ESTABLISHED BY TESTING AND INSPECTING AGENCY.

SECTION 16100 - RACEWAYS, BOXES, AND CABINETS

PRODUCTS

ELECTRICAL METALLIC TUBING AND FITTINGS: ANSI C80.3 WITH SET-SCREW OR COMPRESSION-TYPE FITTINGS. CAST FITTINGS ARE NOT ALLOWED.

FLEXIBLE METAL CONDUIT: ZINC-COATED STEEL.

FITTINGS: NEMA FB 1, COMPATIBLE WITH CONDUIT/TUBING MATERIALS AND SUITABLE FOR USE AND LOCATION.

SHEET METAL BOXES: NEMA OS 1.

EXECUTION

INDOORS WIRING METHODS: USE THE FOLLOWING WIRING METHODS:

CONNECTION TO VIBRATING EQUIPMENT, INCLUDING EXHAUST FANS: FLEXIBLE METAL CONDUIT (MAXIMUM OF 6 FEET).

EXPOSED: ELECTRICAL METALLIC TUBING

CONCEALED: ELECTRICAL METALLIC TUBING.

CONCEAL CONDUIT AND EMT, UNLESS OTHERWISE INDICATED, WITHIN FINISHED WALLS, CEILINGS, AND FLOORS.

INSTALL RACEWAYS LEVEL AND SQUARE AND AT PROPER ELEVATIONS. RUN PERPENDICULAR AND AT RIGHT ANGLES TO BUILDING AND STRUCTURAL ELEMENTS. RUN PARALLEL OR BANKED RACEWAYS TOGETHER, ON COMMON SUPPORTS WHERE PRACTICAL. MAKE BENDS IN PARALLEL OR BANKED RUNS FROM SAME CENTER LINE TO MAKE BENDS PARALLEL.

SUPPORT RACEWAYS AS FOLLOWS, IN COMPLIANCE WITH DIVISION 16 SECTION "SUPPORTING DEVICES": TWO SUPPORTS PER 10' RUN, WITHIN 12" OF A COUPLING, FITTING OR BEND GREATER THAN 45 DEGREES, AND WITHIN 12" OF EVERY BOX WHICH THE RACEWAY IS ENTERING OR EXITING.

RUN CONCEALED RACEWAYS WITH A MINIMUM OF BENDS IN THE SHORTEST PRACTICAL DISTANCE CONSIDERING THE TYPE OF BUILDING CONSTRUCTION AND OBSTRUCTIONS, EXCEPT AS OTHERWISE INDICATED.

JOINTS AND TERMINATIONS: JOIN RACEWAYS WITH FITTINGS DESIGNED AND APPROVED FOR THE PURPOSE AND MAKE JOINTS AND TERMINATIONS TIGHT.

MAKE RACEWAY TERMINATIONS TIGHT. USE BONDING BUSHINGS OR WEDGES AT CONNECTIONS SUBJECT TO VIBRATION. USE BONDING JUMPERS WHERE JOINTS CANNOT BE MADE TIGHT. USE INSULATING BUSHINGS TO PROTECT CONDUCTORS.

INSTALL PULL CORDS IN ALL EMPTY RACEWAYS.

PROVIDE GROUNDING CONNECTIONS FOR RACEWAY, BOXES, AND COMPONENTS AS INDICATED AND INSTRUCTED BY MANUFACTURER. TIGHTEN CONNECTORS AND TERMINALS, INCLUDING SCREWS AND BOLTS, ACCORDING TO EQUIPMENT MANUFACTURER'S PUBLISHED TORQUE-TIGHTENING VALUES FOR EQUIPMENT CONNECTORS. WHERE MANUFACTURER'S TORQUING REQUIREMENTS ARE NOT INDICATED, TIGHTEN CONNECTORS AND TERMINALS ACCORDING TO TIGHTENING TORQUES SPECIFIED IN UL STANDARD 486A.

SECTION 16120 - WIRES AND CABLES

PRODUCTS

WIRES AND CABLES: TYPE THHN/THWN COPPER CONDUCTOR.

SOLID CONDUCTOR FOR 10 AWG AND SMALLER; STRANDED CONDUCTOR FOR LARGER THAN 10 AWG.

CONNECTORS AND SPLICES: UL-LISTED FACTORY-FABRICATED WIRING CONNECTORS OF SIZE, AMPACITY RATING, MATERIAL, AND TYPE AND CLASS FOR APPLICATION AND FOR SERVICE INDICATED. SELECT TO COMPLY WITH PROJECT'S INSTALLATION REQUIREMENTS AND AS SPECIFIED IN THE "EXECUTION" SECTION BELOW.

EXECUTION

INSTALL WIRES AND CABLES AS INDICATED, ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS AND THE NECA "STANDARD OF INSTALLATION."

PULL CONDUCTORS INTO RACEWAY SIMULTANEOUSLY WHERE MORE THAN ONE IS BEING INSTALLED IN THE SAME RACEWAY.

CONDUCTOR SPLICES: KEEP TO A MINIMUM.

INSTALL SPLICES AND TAPES THAT POSSESS EQUIVALENT OR BETTER MECHANICAL STRENGTH AND INSULATION RATINGS THAN CONDUCTORS BEING SPLICED. USE SPLICE AND TAP CONNECTORS THAT ARE COMPATIBLE WITH CONDUCTOR MATERIAL.

WIRING AT OUTLETS: INSTALL WITH AT LEAST 12 INCHES (300 MM) OF SLACK CONDUCTOR AT EACH OUTLET.

CONNECT OUTLETS AND COMPONENTS TO WIRING AND TO GROUND AS INDICATED AND INSTRUCTED BY MANUFACTURER. TIGHTEN CONNECTORS AND TERMINALS, INCLUDING SCREWS AND BOLTS, ACCORDING TO EQUIPMENT MANUFACTURER'S PUBLISHED TORQUE-TIGHTENING VALUES FOR EQUIPMENT CONNECTORS. WHERE MANUFACTURER'S TORQUING REQUIREMENTS ARE NOT INDICATED, TIGHTEN CONNECTORS AND TERMINALS ACCORDING TO TIGHTENING TORQUES SPECIFIED IN UL STANDARD 486A.

ELECTRICAL SPECIFICATIONS

SECTION 16140 - WIRING DEVICES (CONT.)

WALL PLATES: SINGLE AND COMBINATION TYPES THAT MATE AND MATCH WITH CORRESPONDING WIRING DEVICES. FEATURES INCLUDE THE FOLLOWING:

COLOR: MATCHES WIRING DEVICE EXCEPT AS OTHERWISE INDICATED. PLATE-SECURING SCREWS: METAL WITH HEADS COLORED TO MATCH PLATE FINISH.

MATERIAL FOR FINISHED SPACES: LEXAN OR NYLON EXCEPT AS OTHERWISE INDICATED.

MATERIAL FOR UNFINISHED SPACES: GALVANIZED STEEL.

EXECUTION

INSTALL DEVICES AND ASSEMBLIES PLUMB AND SECURE. PROTECT DEVICES AND ASSEMBLIES DURING PAINTING AND INSTALL. RECEPTACLES ON THE SAME CIRCUIT. DESIGN UNITS FOR INSTALLATION IN A 2-3/4-INCH (70-MM) DEEP OUTLET BOX WITHOUT WALL PLATES WHEN PAINTING IS COMPLETE.

ARRANGEMENT OF DEVICES: EXCEPT AS OTHERWISE INDICATED, MOUNT FLUSH, WITH LONG DIMENSION VERTICAL, AND GROUNDING TERMINAL OF RECEPTACLES ON TOP. GROUP ADJACENT SWITCHES UNDER SINGLE, MULTIGANG WALL PLATES.

SECTION 16190 - SUPPORTING DEVICES

PRODUCTS

MANUFACTURED SUPPORTING DEVICES:

RACEWAY SUPPORTS: CLEVIS HANGERS, RISER CLAMPS, CONDUIT STRAPS, THREADED C-CLAMPS WITH RETAINERS, CEILING TRAPEZE HANGERS, WALL BRACKETS, AND SPRING STEEL CLAMPS.

FASTENERS: TYPES, MATERIALS, AND CONSTRUCTION FEATURES AS FOLLOWS:

EXPANSION ANCHORS: CARBON STEEL WEDGE OR SLEEVE TYPE. TOGGLE BOLTS: ALL STEEL SPRINGHEAD TYPE. POWDER-DRIVEN THREADED STUDS: HEAT-TREATED STEEL, DESIGNED SPECIFICALLY FOR THE INTENDED SERVICE.

FABRICATED SUPPORTING DEVICES: SHOP- OR FIELD-FABRICATED SUPPORTS OR MANUFACTURED SUPPORTS ASSEMBLED FROM U-CHANNEL COMPONENTS.

STEEL BRACKETS: FABRICATED OF ANGLES, CHANNELS, AND OTHER STANDARD STRUCTURAL SHAPES. CONNECT WITH WELDS AND MACHINE BOLTS TO FORM RIGID SUPPORTS.

EXECUTION

INSTALL SUPPORTING DEVICES TO FASTEN ELECTRICAL COMPONENTS SECURELY AND PERMANENTLY IN ACCORDANCE WITH NEC REQUIREMENTS. COORDINATE WITH THE BUILDING STRUCTURAL SYSTEM AND WITH OTHER ELECTRICAL INSTALLATION.

RACEWAY SUPPORTS: COMPLY WITH THE NEC AND THE FOLLOWING REQUIREMENTS:

CONFORM TO MANUFACTURER'S RECOMMENDATIONS FOR SELECTION AND INSTALLATION OF SUPPORTS.

STRENGTH OF EACH SUPPORT SHALL BE ADEQUATE TO CARRY PRESENT AND FUTURE LOAD MULTIPLIED BY A SAFETY FACTOR OF AT LEAST FOUR, BUT IN NO CASE SHALL BE LESS THAN 200 LBS IN THE STRENGTH OF EACH SUPPORT.

INSTALL INDIVIDUAL AND MULTIPLE (TRAPEZE) RACEWAY HANGERS AND RISER CLAMPS AS NECESSARY TO SUPPORT RACEWAYS. PROVIDE U-BOLTS, CLAMPS, ATTACHMENTS, AND OTHER HARDWARE NECESSARY FOR HANGER ASSEMBLY AND FOR SECURING HANGER RODS AND CONDUITS.

MISCELLANEOUS SUPPORTS: SUPPORT MISCELLANEOUS ELECTRICAL COMPONENTS AS REQUIRED TO PRODUCE THE SAME STRUCTURAL SAFETY FACTORS AS SPECIFIED FOR RACEWAY SUPPORTS. INSTALL METAL CHANNEL RACKS FOR MOUNTING PANELBOARDS, DISCONNECTS, PULL BOXES, JUNCTION BOXES, TRANSFORMERS, AND OTHER DEVICES.

IN OPEN OVERHEAD SPACES, CAST BOXES THREADED TO RACEWAYS NEED NOT BE SUPPORTED SEPARATELY EXCEPT WHERE USED FOR FIXTURE SUPPORT; SUPPORT SHEET METAL BOXES DIRECTLY FROM THE BUILDING STRUCTURE OR BY BAR HANGERS. WHERE BAR HANGERS ARE USED, ATTACH THE BAR TO RACEWAYS ON OPPOSITE SIDES OF THE BOX AND SUPPORT THE RACEWAY WITH AN APPROVED TYPE OF FASTENER NOT MORE THAN 24 INCHES FROM THE BOX.

FASTENING: UNLESS OTHERWISE INDICATED, FASTEN ELECTRICAL ITEMS AND THEIR SUPPORTING HARDWARE SECURELY TO THE BUILDING STRUCTURE, INCLUDING BUT NOT LIMITED TO CONDUITS, RACEWAYS, CABLES, CABLE TRAYS, BUSWAYS, CABINETS, PANELBOARDS, TRANSFORMERS, BOXES, DISCONNECT SWITCHES, AND CONTROL COMPONENTS IN ACCORDANCE WITH THE FOLLOWING:

FASTEN BY MEANS OF TOGGLE BOLTS ON HOLLOW MASONRY UNITS, CONCRETE INSERTS OR EXPANSION BOLTS ON SOLID MASONRY, AND MACHINE SCREWS, WELDED THREADED STUDS, OR SPRING-TENSION CLAMPS ON STEEL. THREADED STUDS DRIVEN BY A POWDER CHARGE AND PROVIDED WITH LOCK WASHERS AND NUTS MAY BE USED INSTEAD OF EXPANSION BOLTS AND MACHINE SCREWS. DO NOT WELD CONDUIT, PIPE STRAPS, OR ITEMS OTHER THAN THREADED STUDS TO STEEL STRUCTURES. IN PARTITIONS OF LIGHT STEEL CONSTRUCTION, USE SHEET METAL SCREWS.

ENSURE THAT THE LOAD APPLIED TO ANY FASTENER DOES NOT EXCEED 25 PERCENT OF THE PROOF TEST LOAD.

SECTION 16452 - GROUNDING

PRODUCTS

GROUNDING AND BONDING PRODUCTS: TYPES AS INDICATED. WHERE TYPES, SIZES, RATINGS, AND QUANTITIES INDICATED DIFFER FROM NEC REQUIREMENTS, THE MORE STRINGENT REQUIREMENTS AND THE GREATER SIZE, RATING, AND QUANTITY INDICATIONS GOVERN.

CONDUCTOR MATERIALS: COPPER.

EQUIPMENT GROUNDING CONDUCTOR: GREEN INSULATED.

SOLID CONDUCTORS: ASTM B-3.

ASSEMBLY OF STRANDED CONDUCTORS: ASTM B-8.

TINNED CONDUCTORS: ASTM B-33.

EXECUTION

EQUIPMENT GROUNDING CONDUCTOR APPLICATION: COMPLY WITH NEC ARTICLE 250 FOR SIZES AND QUANTITIES OF EQUIPMENT GROUNDING CONDUCTORS, EXCEPT WHERE LARGER SIZES OR MORE CONDUCTORS ARE INDICATED. INSTALL EQUIPMENT GROUNDING CONDUCTORS IN ALL FEEDER AND BRANCH CIRCUIT RACEWAYS.

INSTALLATION, GENERAL: GROUND ELECTRICAL SYSTEMS AND EQUIPMENT IN ACCORDANCE WITH NEC EXCEPT WHERE GROUNDING IN EXCESS OF NEC REQUIREMENTS IS INDICATED.

CONNECTIONS: MAKE CONNECTIONS IN SUCH A MANNER AS TO MINIMIZE POSSIBILITY OF GALVANIC ACTION OR ELECTROLYSIS. SELECT CONNECTORS, CONNECTION HARDWARE, CONDUCTORS, AND CONNECTION METHODS SO METALS IN DIRECT CONTACT WILL BE GALVANICALLY COMPATIBLE.

TIGHTEN GROUNDING AND BONDING CONNECTORS AND TERMINALS, INCLUDING SCREWS AND BOLTS, IN ACCORDANCE WITH MANUFACTURER'S PUBLISHED TORQUE TIGHTENING VALUES FOR CONNECTORS AND BOLTS. WHERE MANUFACTURER'S TORQUING REQUIREMENTS ARE NOT INDICATED, TIGHTEN CONNECTIONS TO COMPLY WITH TIGHTENING TORQUE VALUES SPECIFIED IN UL 486A AND UL 486B.

COMPRESSION-TYPE CONNECTIONS: USE HYDRAULIC COMPRESSION TOOLS TO PROVIDE THE CORRECT CIRCUMFERENTIAL PRESSURE FOR COMPRESSION CONNECTORS. USE TOOLS AND DIES RECOMMENDED BY THE MANUFACTURER OF THE CONNECTORS. PROVIDE EMBOSSED DIE CODE OR OTHER STANDARD METHOD TO MAKE A VISIBLE INDICATION THAT A CONNECTOR HAS BEEN ADEQUATELY COMPRESSED ON THE CONDUCTOR.

ELECTRICAL SPECIFICATIONS

SECTION 16470 - PANELBOARDS

PRODUCTS

MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE PRODUCTS BY THE FOLLOWING:

GENERAL ELECTRIC CO.

SIEMENS

SQUARE D CO.

CUTLER HAMMER

PANELBOARDS: CONFORM TO THE FOLLOWING GENERAL REQUIREMENTS

ENCLOSURES: CABINETS, FLUSH OR SURFACE MOUNTED AS INDICATED. NEMA TYPE 1 ENCLOSURE FOR INDOOR UNITS.

BUS: HARD DRAWN COPPER OF 98 PERCENT CONDUCTIVITY.

MAIN AND NEUTRAL LUGS: COMPRESSION TYPE.

EQUIPMENT GROUND BUS: ADEQUATE FOR FEEDER AND BRANCH CIRCUIT EQUIPMENT GROUND CONDUCTORS. BONDED TO BOX.

SERVICE EQUIPMENT APPROVAL: LISTED FOR USE AS SERVICE EQUIPMENT FOR PANELBOARDS HAVING MAIN SERVICE DISCONNECT.

CIRCUIT BREAKERS: BOLT-ON TYPE.

PROVISION FOR FUTURE DEVICES: EQUIP WITH MOUNTING BRACKETS, BUS CONNECTIONS, AND NECESSARY APPURTENANCES FOR THE OCCUP AMPERE RATINGS INDICATED FOR FUTURE INSTALLATION OF DEVICES.

IDENTIFICATION: PANELBOARD NAMEPLATES: ENGRAVED LAMINATED PLASTIC OR METAL NAMEPLATE FOR EACH PANELBOARD MOUNTED WITH EPOXY, INDUSTRIAL CEMENT, OR INDUSTRIAL ADHESIVE. TYPED CIRCUIT DIRECTORY INDICATING CORRECT LOAD DESIGNATION OF EACH CIRCUIT.

EXECUTION

INSTALLATION, GENERAL: INSTALL PANELBOARDS AND ACCESSORY ITEMS IN ACCORDANCE WITH NEMA PB 1.1. *GENERAL INSTRUCTIONS FOR PROPER INSTALLATION, OPERATION AND MAINTENANCE OF PANELBOARDS RATED 600 VOLTS OR LESS,* AND MANUFACTURERS' WRITTEN INSTALLATION INSTRUCTIONS.

MOUNTING HEIGHTS: TOP OF TRIM 6'-2" ABOVE FINISHED FLOOR, EXCEPT AS INDICATED.

MOUNTING: PLUMB AND RIGID WITHOUT DISTORTION OF BOX. INSTALL FILLER PLATES IN UNUSED SPACES.

WIRING IN PANEL GUTTERS: TRAIN CONDUCTORS NEATLY IN GROUPS; BUNDLE AND WRAP WITH WIRE TIES AFTER COMPLETION OF LOAD BALANCING. TIGHTEN ELECTRICAL CONNECTORS AND TERMINALS INCLUDING GROUNDING CONNECTIONS IN ACCORDANCE WITH MANUFACTURER'S PUBLISHED TORQUE-TIGHTENING VALUES. WHERE MANUFACTURER'S TORQUE VALUES ARE NOT INDICATED, USE THOSE SPECIFIED IN UL 486A AND UL 486B.

VISUAL AND MECHANICAL INSPECTION: INCLUDE THE FOLLOWING INSPECTIONS AND RELATED WORK:

INSPECT FOR DEFECTS AND PHYSICAL DAMAGE, LABELING, AND NAMEPLATE COMPLIANCE WITH REQUIREMENTS OF UP-TO-DATE DRAWINGS AND PANELBOARD SCHEDULES.

CHECK PANELBOARD MOUNTING, AREA CLEARANCES, AND ALIGNMENT AND FIT OF COMPONENTS.

CHECK TIGHTNESS OF BOLTED ELECTRICAL CONNECTIONS WITH CALIBRATED TORQUE WRENCH. REFER TO MANUFACTURER'S INSTRUCTIONS FOR PROPER TORQUE VALUES.

SECTION 16476 - DISCONNECTS, CIRCUIT BREAKERS, AND FUSES PRODUCTS

ENCLOSED NONFUSIBLE SWITCH: NEMA KS 1, HEAVY DUTY TYPE, HANDLE LOCKABLE WITH 2 PADLOCKS, ENCLOSURE CONSISTENT WITH ENVIRONMENT WHERE LOCATED, MINIMUM FAULT CURRENT RATING OF 200,000 SYMMETRICAL RMS AMPERES.

CHARACTERISTICS: FRAME SIZE, TRIP RATING, NUMBER OF POLES, AND AUXILIARY DEVICES AS INDICATED; INTERRUPTING CAPACITY RATING TO MEET AVAILABLE FAULT CURRENT; 10,000 SYMMETRICAL RMS AMPERES MINIMUM, WITH APPROPRIATE APPLICATION LISTING FOR SWITCHING HEATING, AIR CONDITIONING, AND REFRIGERATION EQUIPMENT.

LUGS: MECHANICAL LUGS AND POWER-DISTRIBUTION CONNECTORS FOR NUMBER, SIZE, AND MATERIAL OF CONDUCTORS INDICATED.

EXECUTION

CONNECT ENCLOSED SWITCHES AND COMPONENTS TO WIRING SYSTEM AND TO GROUND AS INDICATED AND INSTRUCTED BY MANUFACTURER. TIGHTEN CONNECTORS AND TERMINALS, INCLUDING SCREWS AND BOLTS ACCORDING TO EQUIPMENT MANUFACTURER'S PUBLISHED TORQUE TIGHTENING VALUES FOR EQUIPMENT CONNECTORS. WHERE MANUFACTURER'S TORQUING REQUIREMENTS ARE NOT INDICATED, TIGHTEN CONNECTORS AND TERMINALS ACCORDING TO TIGHTENING TORQUES SPECIFIED IN UL STANDARD 486A.

ELECTRICAL SPECIFICATIONS

SECTION 16140 - WIRING DEVICES

PRODUCTS

WIRING DEVICES: COMPLY WITH NEMA STANDARD WD 1, "GENERAL PURPOSE WIRING DEVICES."

COLOR: AS SELECTED BY ARCHITECT/OWNER, EXCEPT AS OTHERWISE INDICATED OR REQUIRED BY CODE.

STANDARD TAMPER RESISTANT DUPLEX RECEPTACLES: 20A TAMPER RESISTANT DEVICES; PROVIDE NYLON OR LEXAN FACE, BACK AND SIDE WIRING. COMPLY WITH FEDERAL SPECIFICATION W-C-596 AND HEAVY-DUTY GRADE OF UL STANDARD 498, "ELECTRICAL ATTACHMENT PLUGS AND RECEPTACLES;" PROVIDE NRTL LABELING OF DEVICES TO VERIFY THESE COMPLIANCES.

GROUND-FAULT CIRCUIT INTERRUPTER (GFCI) TAMPER RESISTANT RECEPTACLES: UL STANDARD 943, "GROUND FAULT CIRCUIT INTERRUPTERS;" FEED-THROUGH TYPE, WITH INTEGRAL NEMA 5-20R TAMPER RESISTANT DUPLEX RECEPTACLE ARRANGED TO PROTECT CONNECTED DOWNSTREAM RECEPTACLES ON THE SAME CIRCUIT. DESIGN UNITS FOR INSTALLATION IN A 2-3/4-INCH (70-MM) DEEP OUTLET BOX WITHOUT AN ADAPTER.

SNAP SWITCHES: QUIET-TYPE A.C. SWITCHES, NRTL LISTED AND LABELED AS COMPLYING WITH UL STANDARD 20 "GENERAL USE SNAP SWITCHES," AND WITH FEDERAL SPECIFICATION W-S-896.

TELEPHONE JACK: RJ-45, 8-POSITION, MODULAR, LATCHING-PLUG TYPE, FLUSH IN FACE OF WALL PLATED.

SECTION 16515 - LIGHTING

PRODUCTS

COMPLY WITH THE REQUIREMENTS SPECIFIED BELOW AND IN THE LIGHTING FIXTURE SCHEDULE.

METAL PARTS: FREE FROM BURRS AND SHARP CORNERS AND EDGES.

SHEET METAL COMPONENTS: STEEL, EXCEPT AS INDICATED. COMPONENTS ARE FORMED AND SUPPORTED TO PREVENT WARPING AND SAGGING.

DOORS, FRAMES, AND OTHER INTERNAL ACCESS: SMOOTH OPERATING AND FREE FROM LIGHT LEAKAGE UNDER OPERATING CONDITIONS. ARRANGE TO PERMIT RELAMPING WITHOUT USE OF TOOLS. ARRANGE DOORS, FRAMES, LENSES, DIFFUSERS, AND OTHER PIECES TO PREVENT ACCIDENTAL FALLING DURING RELAMPING AND WHEN SECURED IN THE OPERATING POSITION.

REFLECTING SURFACES: MINIMUM REFLECTANCES AS FOLLOWS, EXCEPT AS OTHERWISE INDICATED:

WHITE SURFACES: 85 PERCENT.

DIFFUSING SPECULAR SURFACES: 75 PERCENT.

LENSES: 100 PERCENT VIRGIN ACRYLIC PLASTIC.

PLASTIC: HIGHLY RESISTANT TO YELLOWING AND OTHER CHANGES DUE TO AGING, EXPOSURE TO HEAT AND UV RADIATION. LENS THICKNESS: 0.125 INCHES, MINIMUM.

MINIMUM POWER FACTOR: .70

MINIMUM OPERATING FREQUENCY: 20,000 HZ.

THIRD HARMONIC CONTENT OF BALLAST CURRENT: LESS THAN 20 PERCENT. AVERAGE INPUT: THE FOLLOWING IS THE AVERAGE REQUIRED WATTAGE WHEN TESTED ACCORDING TO ANSI C82.2, "FLUORESCENT LAMP BALLASTS, METHODS OF MEASUREMENT."

LAMPS: PROVIDE LAMPS FOR EACH FIXTURE INDICATED. CONFORM TO ANSI STANDARDS, C78 SERIES APPLICABLE TO EACH TYPE OF LAMP. LAMPS SHALL BE TCLIP COMPLIANT.

STEEL PARTS FINISH: MANUFACTURER'S STANDARD FINISH APPLIED OVER CORROSION-RESISTANT PRIMER, FREE OF STREAKS, RUNS, HOLIDAYS, STAINS, BLISTERS, AND DEFECTS. REMOVE FIXTURES SHOWING EVIDENCE OF CORROSION DURING PROJECT WARRANTY PERIOD AND REPLACE WITH NEW FIXTURES.

EXECUTION

INSTALLATION: UNLESS OTHERWISE INDICATED, INSTALL LIGHTING FIXTURES AS FOLLOWS:

SETTING AND SECURING: SET UNITS PLUMB, SQUARE, AND LEVEL WITH CEILING AND WALLS, AND SECURE ACCORDING TO MANUFACTURER'S PRINTED INSTRUCTIONS AND APPROVED SHOP DRAWINGS.

LAMPING: LAMP UNITS ACCORDING TO MANUFACTURER'S INSTRUCTIONS.

ADJUSTING AND CLEANING: CLEAN FIXTURES UPON COMPLETION OF INSTALLATION. USE METHODS AND MATERIALS RECOMMENDED BY MANUFACTURER.

REVIEWED
By Michael Kyne at 12:52 pm, May 31, 2023

APPROVED
Montgomery County
Historic Preservation Commission



ENCORE
SUSTAINABLE ARCHITECTS
ARCHITECTURE PRESERVATION
31 LIGHT STREET, SUITE 500, BALTIMORE, MD 21202
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MCC=1200
ARCHITECTURAL ENGINEERS PLLC
1200 ARCHITECTURAL ENGINEERS
210 NORTH LEE ST, SUITE 210
ALEXANDRIA, VA 22314
703-350-4151

SPECTRUM
ENGINEERS
9520 BERGER ROAD, SUITE 212, COLUMBIA, MD 21046
(410) 381-8010

DRAWING CHECKED BY:

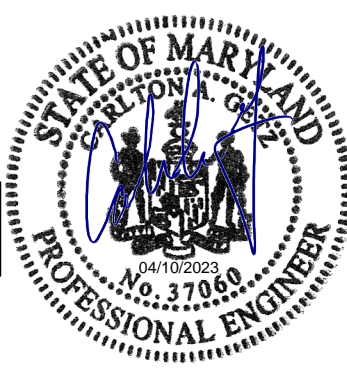
| Submission Name | Initials | Date |
|-----------------|----------|-----------|
| MHT SUBMISSION | CG/JH | 4/10/2023 |
| | | |
| | | |
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PROFESSIONAL CERTIFICATION:
I certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws under of the State of Maryland.

LICENSE NO. 37060

EXPIRATION DATE: 2025-04-20

DocuSeal



The Maryland-National Capital Park and Planning Commission

Montgomery County Department of Parks
9500 Brunett Avenue
Silver Spring, Maryland 20901
(301) 495-2535

SUBMISSION / REVISION

| Rev. No. | Date | Description |
|----------|------------|----------------|
| | 04.10.2023 | MHT SUBMISSION |
| | | |
| | | |
| | | |

ELECTRICAL DETAILS

BUILDING ENVELOPE REPAIRS

HISTORIC WATERS HOUSE
12535 MILESTONE MANOR LANE
GERMANTOWN, MD 20876

SCALE: AS SHOWN

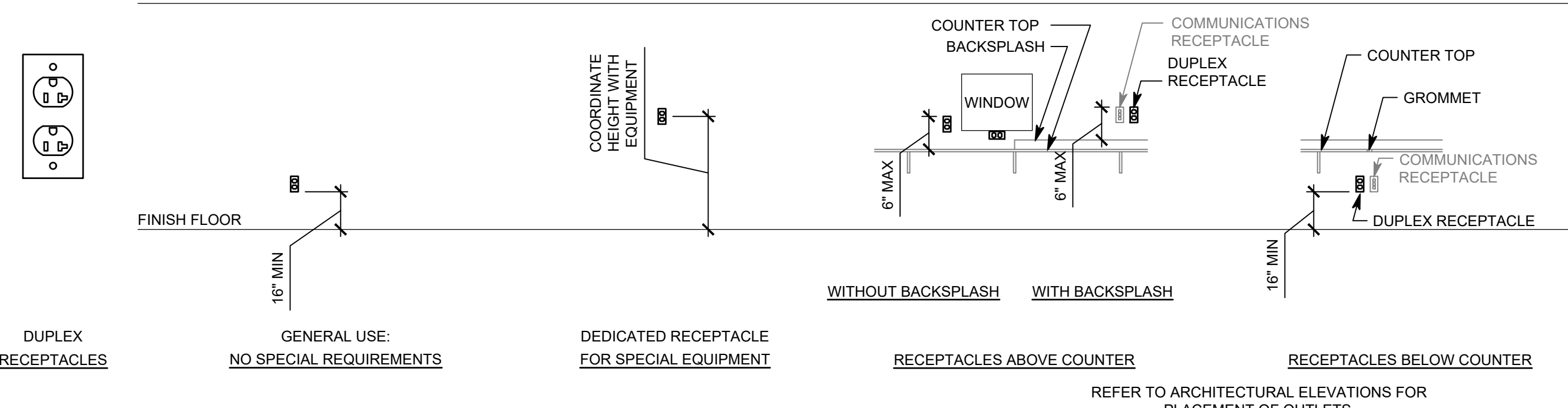
DWG. #
EE501

GENERAL SHEET NOTES

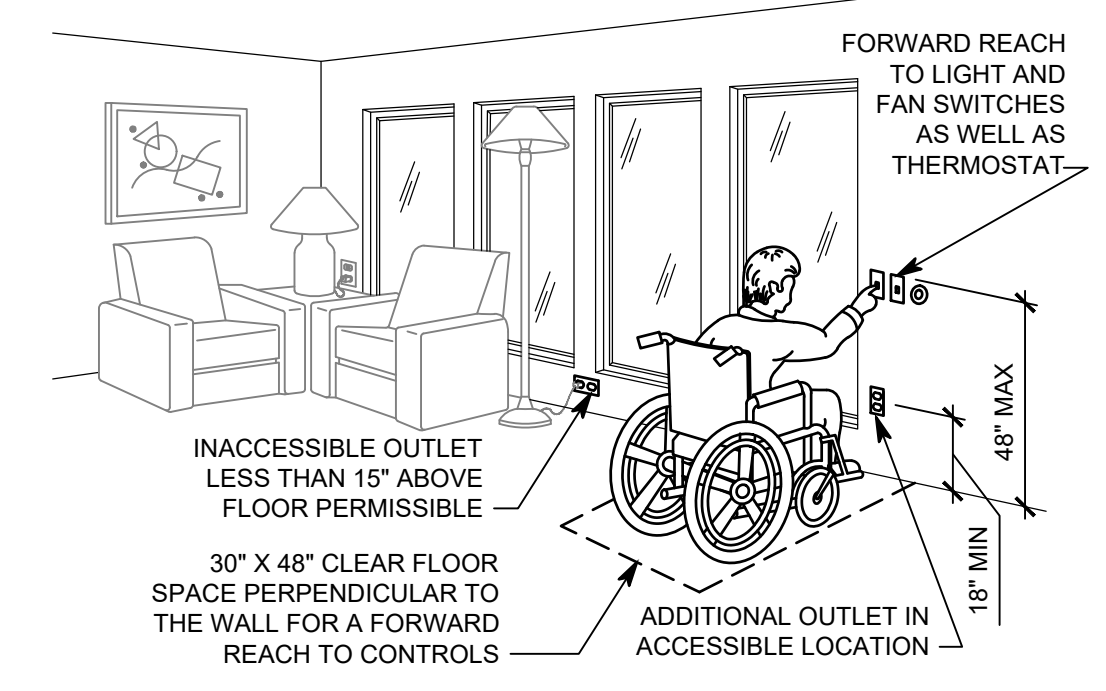
1. DETERMINE MOUNTING HEIGHTS OF ELECTRICAL AND ELECTRONIC EQUIPMENT IN THE FOLLOWING ORDER OF PRIORITY:
 - 1 - ELEVATIONS (ARCHITECTURAL, ELECTRICAL, MECHANICAL, ETC.)
 - 2 - EQUIPMENT SHOP DRAWINGS.
 - 3 - FIELD INSTRUCTIONS.
2. LOCATE RECEPTACLES SERVING THE SAME TYPE OF USE AT A UNIFORM HEIGHT UNLESS DIRECTED OTHERWISE.
3. MECHANICAL, ELECTRICAL, AND COMMUNICATION ROOMS: COORDINATE LOCATION OF LIGHTING AND POWER RECEPTACLES WITH EQUIPMENT, PIPING, AND DUCTWORK. DO NOT INSTALL RECEPTACLES BEHIND EQUIPMENT OR WHERE OTHERWISE INACCESSIBLE. POSITION LIGHTING REGARDLESS OF WHERE SHOWN ON DRAWING TO PROVIDE PROPER ILLUMINATION.
4. MOUNT RECEPTACLE BOXES FOR SWITCHES AND RECEPTACLES WITH LONG AXIS OF THE DEVICE VERTICAL UNLESS OTHERWISE INDICATED.
5. SET BOXES WITH PLASTER RINGS FLUSH WITH FINISHED SURFACE.
6. LOCATE BOX COVERS OR DEVICE PLATES SO THEY WILL NOT SPAN DIFFERENT TYPES OF BUILDING FINISHES EITHER VERTICALLY OR HORIZONTALLY.
7. VERIFY ALL DOOR CONDITIONS ON ARCHITECTURAL DRAWINGS PRIOR TO INSTALLING SWITCHES.
8. LOCATE WIRING DEVICES WHICH ARE ADJACENT AND ARE COMPATIBLE VOLTAGES IN ONE PLATE.
9. COORDINATE WITH ARCHITECTURAL SPECIFICATIONS FOR WALL FINISH REPAIRS.

SHEET KEYNOTES

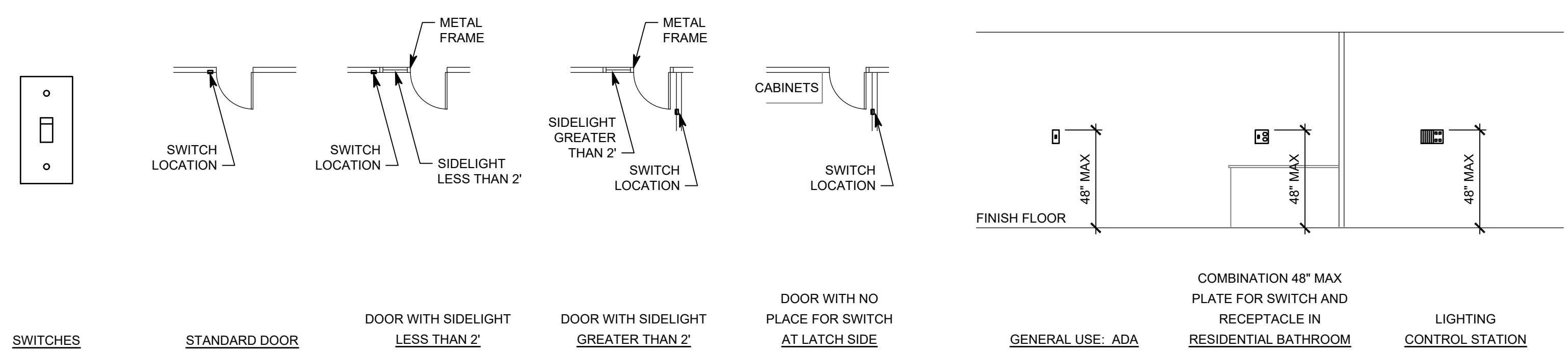
1. LOCATE RECEPTACLES BEHIND DRINKING FOUNTAINS.
2. REFER TO ARCHITECTURAL ELEVATIONS FOR PLACEMENT OF OUTLETS.
3. LOCATE AT BOTTOM OF BEAMS (OR JOISTS) OR AT CEILING. (REDUCE SPACING BY .5 PERPENDICULAR TO BEAM OR JOIST DIRECTION.) FOR OTHER CONDITIONS, REFER TO NFPA 72.
4. LOCATE DETECTOR ANYWHERE IN SHADED AREA BUT NOT IN TOP 4" OF PEAK.
5. LOCATE AT BOTTOM OF BEAMS IF DIH < .1 OR W/H < .4; OTHERWISE, LOCATE IN BEAM POCKET. FOR D > 4 REDUCE SPACING .33 PERPENDICULAR TO BEAMS.



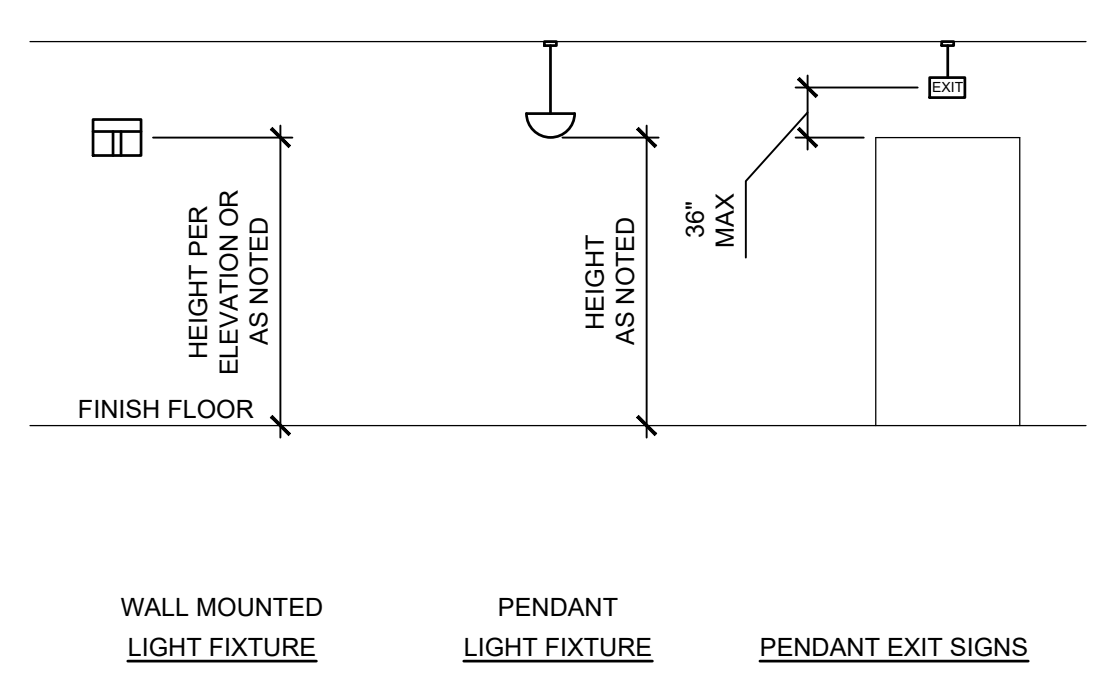
7 RECEPTACLE MOUNTING DETAILS



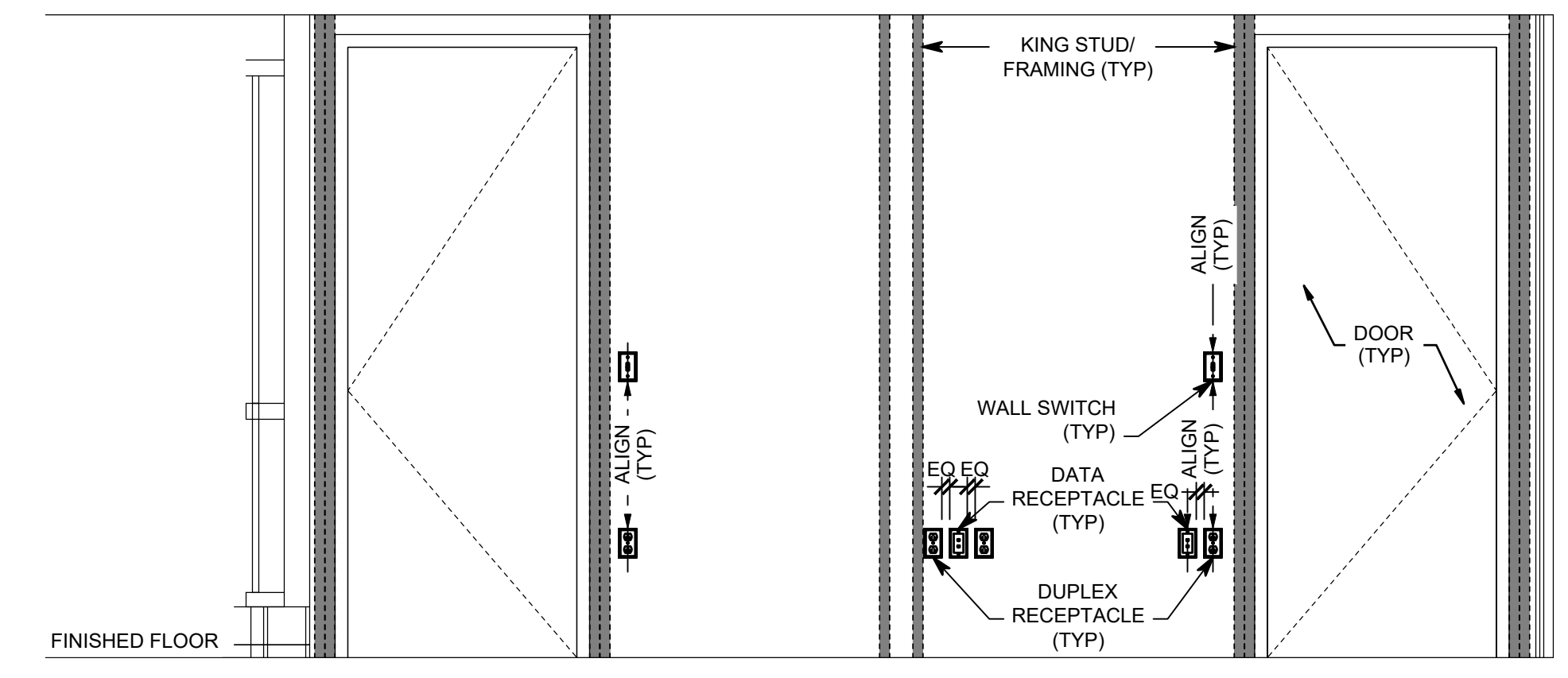
6 ADA DETAIL



5 SWITCH MOUNTING DETAILS



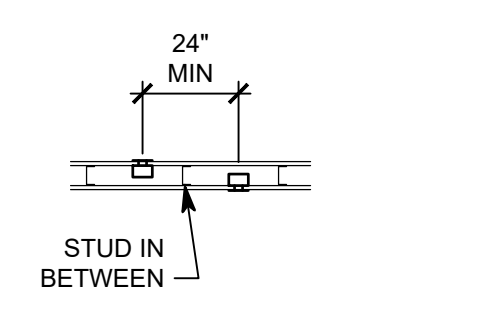
4 LIGHTING MOUNTING DETAILS



1 TYPICAL WALL MOUNTED DEVICES ALIGNMENT DETAIL

REVIEWED
By Michael Kyne at 12:52 pm, May 31, 2023

APPROVED
Montgomery County
Historic Preservation Commission
Robert A. ...



2 BOX MOUNTING DETAILS

ENCORE
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ARCHITECTURE PRESERVATION
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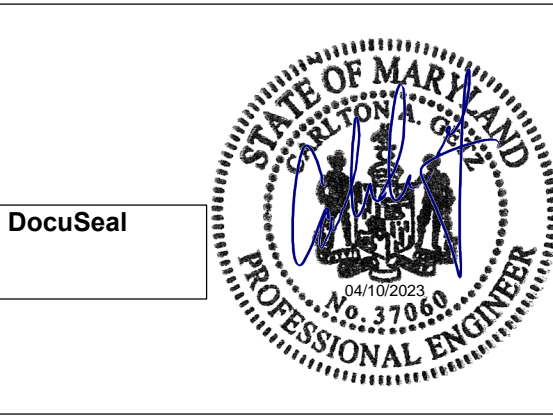
MCC=1200
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(410) 381-8010

DRAWING CHECKED BY:

| Submission Name | Initials | Date |
|-----------------|----------|-----------|
| MHT SUBMISSION | CG/JH | 4/10/2023 |

PROFESSIONAL CERTIFICATION:
I certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws under of the State of Maryland.

LICENSE NO. 37060
EXPIRATION DATE: 2025-04-20



The Maryland-National Capital Park and Planning Commission
Montgomery County Department of Parks
9500 Brunett Avenue
Silver Spring, Maryland 20901
(301) 495-2535

| SUBMISSION / REVISION | | |
|-----------------------|------------|----------------|
| Rev. No. | Date | Description |
| | 04.10.2023 | MHT SUBMISSION |

ELECTRICAL DETAILS
BUILDING ENVELOPE REPAIRS
HISTORIC WATERS HOUSE
12535 MILESTONE MANOR LANE
GERMANTOWN, MD 20876
SCALE: AS SHOWN

DWG. #
EE502

FINAL REVISION PLAN REVISION MARK CODE

| PANEL "A" (EXISTING) | | | | | | | | | | | | | | | | | | |
|---|---------|------|------------|-----------------------|-----|------------------------------|----------------|----------------------|-----|---------|----------------------------------|------------------------|-----|----------|------|--------|----|--|
| VOLTS/PHASE/WIRE: | | | | PANEL SIZE & TYPE: | | | | MAIN SIZE & TYPE: | | | | LOCATION: | | CABINET: | | NOTES: | | |
| 120/240 V, 1 PH 3 WIRE | | | | 22" W x 6" D, BOLT-ON | | | | 200 AMPERE MAIN LUGS | | | | ELEC./MECH. EQUIP. RM. | | SURFACE | | | | |
| ACCESSORIES: PANEL DIRECTORY, IDENTIFICATION, GROUNDING BAR, INSULATED GROUND BAR, SUBFEED LUGS | | | | | | | | | | | | | | | | | | |
| CKT NO | OCP AMP | POLE | LOAD (kVA) | | | DESCRIPTION | LCL PHASEOAD | | | LCL kVA | LOAD (kVA) | | | OCP AMP | POLE | CKT NO | | |
| | | | LTG | CO | PWR | | A | B | LTG | | CO | PWR | | | | | | |
| 1 | 15 | 1 | | | | (EX) 2ND FL LIGHTS | 0.0 | 0.0 | 0.0 | | | | | | 20 | 1 | 2 | |
| 3 | 20 | 1 | | | | (EX) 2ND FL BATHROOM | 0.0 | 0.0 | 0.0 | | | | | | 20 | 1 | 4 | |
| 5 | 20 | 1 | | | | (EX) 2ND FL BEHIND ROOM 1 | 0.0 | 0.0 | 0.0 | | | | | | 15 | 1 | 6 | |
| 7 | 15 | 1 | | | | (EX) 1ST FL LIGHTS | 0.0 | 0.0 | 0.0 | | | | | | 15 | 1 | 8 | |
| 9 | 30 | 2 | | | | (EX) ATTIC FURNACE | 0.0 | 0.0 | 0.0 | | | | | | 15 | 1 | 10 | |
| 11 | - | - | | | | - | 0.0 | 0.0 | 0.0 | | | | | | 20 | 1 | 12 | |
| 13 | 20 | 1 | | | | (EX) RECEPT. 1ST FL BATHROOM | 0.0 | 0.0 | 0.0 | | | | | | 20 | 1 | 14 | |
| 15 | 20 | 1 | | | | (EX) ROOM BEHIND ROOM 4 | 0.0 | 0.0 | 0.0 | | | | | | 15 | 1 | 16 | |
| 17 | 20 | 1 | | | | (EX) 2ND FL ROOM 3 | 0.0 | 0.0 | 0.0 | | | | | | 15 | 1 | 18 | |
| 19 | 20 | 1 | | | | (EX) 1ST FL LIBRARY | 0.0 | 0.0 | 0.4 | 0.4 | | | 0.4 | | 15 | 1 | 20 | |
| 21 | 20 | 1 | | | | (EX) 1ST FL GALLERY | 0.0 | 0.0 | 0.0 | | | | | | 60 | 2 | 22 | |
| 23 | 20 | 1 | | | | (EX) ATTIC LIGHTS + RECEPT | 0.0 | 0.0 | 0.0 | | | | | | - | - | 24 | |
| 25 | 20 | 1 | | | 1.1 | CO LEVEL 1 (NOTE 1) | 1.1 | 2.5 | 1.4 | | | | 1.4 | | 20 | 1 | 26 | |
| 27 | 20 | 1 | | | 1.4 | CO LEVEL 1 (NOTE 1) | 1.4 | 1.6 | 0.2 | | | | 0.2 | | 20 | 1 | 28 | |
| 29 | 20 | 1 | | | | (EX) 1ST FL | 0.0 | 6.5 | 6.5 | | | | 6.5 | | 45 | 2 | 30 | |
| 31 | 60 | 2 | | | | (EX) FURNACE HEAT PACK A | 0.0 | 0.0 | 0.0 | | | | | | - | - | 32 | |
| 33 | - | - | | | | - | 0.0 | 1.4 | 1.4 | | | | 1.4 | | 20 | 1 | 34 | |
| 35 | 20 | 1 | | | 1.4 | CO LEVEL 2 (NOTE 1) | 1.4 | 1.4 | 0.0 | | | | | | 20 | 1 | 36 | |
| 37 | 20 | 1 | | | 0.2 | CO EXTERIOR (NOTE 1) | 0.2 | 0.2 | 0.0 | | | | | | 20 | 1 | 38 | |
| 39 | - | - | | | | (EX) SPACE | 0.0 | 0.0 | 0.0 | | | | | | 20 | 1 | 40 | |
| 41 | - | - | | | | (EX) SPACE | 0.0 | 0.0 | 0.0 | | | | | | 20 | 1 | 42 | |
| TOTALS: | | | | | | | kVA PER PHASE | 11 | 3 | | CONNECTED TOTAL kVA | 14.2 | | | | | | |
| | | | | | | | AMPS PER PHASE | 89 | 29 | | CONNECTED AVERAGE AMPS PER PHASE | 59 | | | | | | |

| NEC DIVERSIFIED LOAD CALCULATIONS | | | |
|-----------------------------------|-------|-------------------------|-------|
| LIGHTING 0kVA @125% = | 0 kVA | ALL OTHER LOADS @100% = | 7 kVA |
| RECEPTACLES 8kVA @100% = | 8 kVA | 25% OF LARGEST MOTOR = | 0 kVA |
| REMAINDER 0kVA @ 50% = | 0 kVA | | |
| DIVERSIFIED TOTAL kVA = | | 14 | |
| AVERAGE AMPS PER PHASE = | | 59 | |

NOTES LEGEND:
1. PROVIDE NEW CIRCUIT BREAKER. MATCH EXISTING BREAKER TYPE AND A.I.C. RATING.

| PANEL "B" (EXISTING) | | | | | | | | | | | | | | | | | | |
|---|---------|------|------------|-----------------------|-----|--------------------------------|----------------|----------------------|-----|---------|----------------------------------|------------------------|-----|----------|------|--------|----|--|
| VOLTS/PHASE/WIRE: | | | | PANEL SIZE & TYPE: | | | | MAIN SIZE & TYPE: | | | | LOCATION: | | CABINET: | | NOTES: | | |
| 120/240 V, 1 PH 3 WIRE | | | | 22" W x 6" D, BOLT-ON | | | | 225 AMPERE MAIN LUGS | | | | ELEC./MECH. EQUIP. RM. | | SURFACE | | | | |
| ACCESSORIES: PANEL DIRECTORY, IDENTIFICATION, GROUNDING BAR, INSULATED GROUND BAR, SUBFEED LUGS | | | | | | | | | | | | | | | | | | |
| CKT NO | OCP AMP | POLE | LOAD (kVA) | | | DESCRIPTION | LCL PHASEOAD | | | LCL kVA | LOAD (kVA) | | | OCP AMP | POLE | CKT NO | | |
| | | | LTG | CO | PWR | | A | B | LTG | | CO | PWR | | | | | | |
| 1 | 20 | 1 | | | | (EX) RECEPT ROOM ABOVE KITCHEN | 0.0 | 0.0 | 0.0 | | | | | | 20 | 1 | 2 | |
| 3 | 20 | 1 | | | | (EX) KITCHEN RECEPTACLES | 0.0 | 0.0 | 0.0 | | | | | | 20 | 1 | 4 | |
| 5 | 20 | 1 | | | | (EX) 1ST FL GALLERY #2 | 0.0 | 0.0 | 0.0 | | | | | | 15 | 1 | 6 | |
| 7 | 15 | 1 | | | | (EX) GALLERY LTS | 0.0 | 0.0 | 0.0 | | | | | | 30 | 2 | 8 | |
| 9 | 20 | 1 | | | | (EX) ATTIC FURNACE | 0.0 | 0.0 | 0.0 | | | | | | - | - | 10 | |
| 11 | 15 | 1 | | | | EXISTING | 0.0 | 0.0 | 0.0 | | | | | | 40 | 2 | 12 | |
| 13 | 20 | 1 | | | | EXISTING | 0.0 | 0.0 | 0.0 | | | | | | - | - | 14 | |
| 15 | 20 | 1 | | | 1.1 | CO LEVEL 2 (NOTE 1) | 1.1 | 1.1 | 0.0 | | | | | | 30 | 2 | 16 | |
| 17 | 20 | 1 | | | 1.4 | CO LEVEL 2 (NOTE 1) | 1.4 | 1.4 | 0.0 | | | | | | - | - | 18 | |
| 19 | 20 | 2 | | | | (EX) OUTSIDE PANEL | 0.0 | 0.0 | 0.0 | | | | | | 20 | 1 | 20 | |
| 21 | - | - | | | | - | 0.0 | 0.0 | 0.0 | | | | | | 20 | 1 | 22 | |
| 23 | 20 | 1 | | | | (EX) COPPER | 0.0 | 0.0 | 0.0 | | | | | | 15 | 1 | 24 | |
| 25 | 45 | 2 | | | 6.5 | CU-4 (NOTE 1) | 6.5 | 7.5 | 1.0 | | | | 1.0 | | 20 | 2 | 26 | |
| 27 | - | - | | | | - | 0.0 | 0.0 | 0.0 | | | | | | - | - | 28 | |
| 29 | - | - | | | | (EX) SPACE | 0.0 | 1.0 | 1.0 | | | | 1.0 | | 20 | 2 | 30 | |
| 31 | - | - | | | | (EX) SPACE | 0.0 | 0.0 | 0.0 | | | | | | - | - | 32 | |
| 33 | - | - | | | | (EX) SPACE | 0.0 | 0.0 | 0.0 | | | | | | - | - | 34 | |
| 35 | - | - | | | | (EX) SPACE | 0.0 | 0.0 | 0.0 | | | | | | - | - | 36 | |
| 37 | - | - | | | | (EX) SPACE | 0.0 | 0.0 | 0.0 | | | | | | - | - | 38 | |
| 39 | - | - | | | | (EX) SPACE | 0.0 | 0.0 | 0.0 | | | | | | - | - | 40 | |
| 41 | - | - | | | | (EX) SPACE | 0.0 | 0.0 | 0.0 | | | | | | - | - | 42 | |
| TOTALS: | | | | | | | kVA PER PHASE | 10 | 1 | | CONNECTED TOTAL kVA | 11.0 | | | | | | |
| | | | | | | | AMPS PER PHASE | 83 | 9 | | CONNECTED AVERAGE AMPS PER PHASE | 46 | | | | | | |

| NEC DIVERSIFIED LOAD CALCULATIONS | | | |
|-----------------------------------|-------|-------------------------|-------|
| LIGHTING 0kVA @125% = | 0 kVA | ALL OTHER LOADS @100% = | 9 kVA |
| RECEPTACLES 3kVA @100% = | 3 kVA | 25% OF LARGEST MOTOR = | 0 kVA |
| REMAINDER 0kVA @ 50% = | 0 kVA | | |
| DIVERSIFIED TOTAL kVA = | | 11 | |
| AVERAGE AMPS PER PHASE = | | 46 | |

NOTES LEGEND:
1. PROVIDE NEW CIRCUIT BREAKER. MATCH EXISTING BREAKER TYPE AND A.I.C. RATING.

| EQUIPMENT SCHEDULE | | | | | | | | | | | | | | | | | |
|--------------------|-----|-----------------------|-----------|-----|-----|------|------|----|-----------------------|------------------------|---------|---------|------------|---------|---------------|--------------|------|
| MARK | QTY | ITEM DESCRIPTION | LOAD DATA | | | | | | WIRE AND CONDUIT SIZE | OVERCURRENT PROTECTION | | | DISCONNECT | | | NOTES | MARK |
| | | | HP | KW | MCA | FLA | VOLT | PH | | Hz | FURN BY | DEVICE | LOCATION | FURN BY | DEVICE | | |
| CU-4 | 2 | CONDENSING UNIT | | 6.5 | 39 | 31.2 | 208 | 1 | 60 | CC#8 | E | 45A C/B | PANEL | E | 45A D/S | ADJ. TO UNIT | CU-4 |
| HP-4 | 2 | INDOOR HEAT PUMP UNIT | | 1.0 | 5 | 4 | 208 | 1 | 60 | CC#1 | E | 20A C/B | PANEL | E | TOGGLE SWITCH | ADJ. TO UNIT | HP-4 |

REVIEWED
By Michael Kyne at 12:52 pm, May 31, 2023

APPROVED
Montgomery County
Historic Preservation Commission
Robert L. Norton

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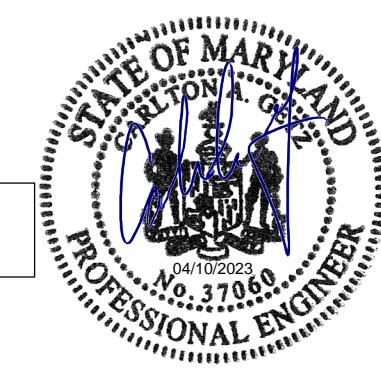
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|---------------------|----------|-----------|
| Submission Name | Initials | Date |
| MHT SUBMISSION | CG/JH | 4/10/2023 |

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LICENSE NO. 37060

EXPIRATION DATE: 2025-04-20

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Montgomery County Department of Parks
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Silver Spring, Maryland 20901
(301) 495-2535

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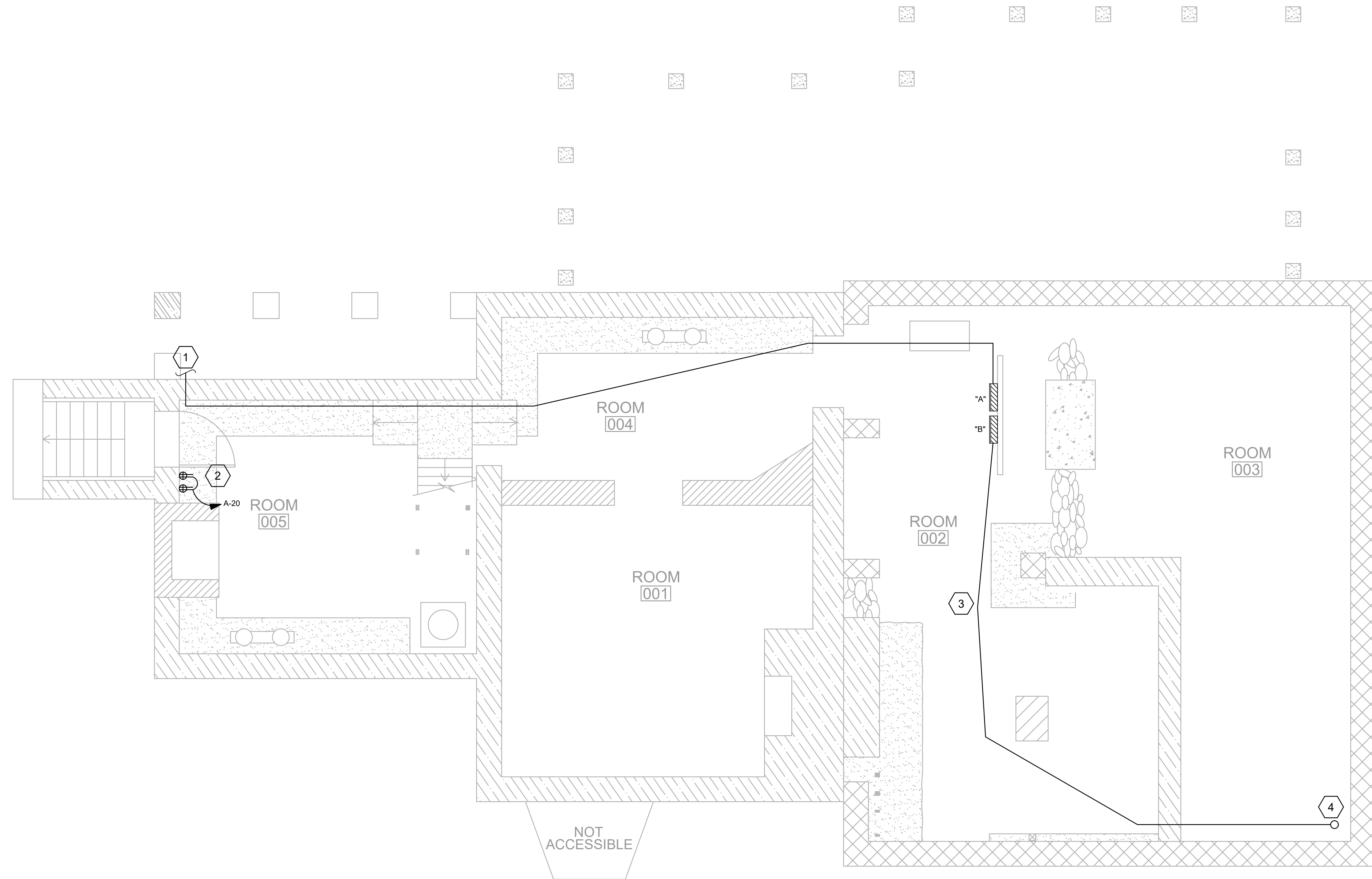
ELECTRICAL SCHEDULES

BUILDING ENVELOPE REPAIRS

HISTORIC WATERS HOUSE
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SCALE: AS SHOWN

DWG. #
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GENERAL SHEET NOTES

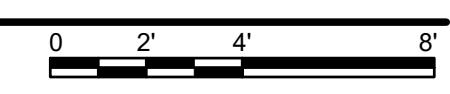
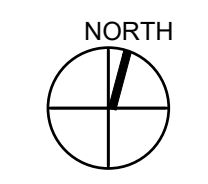
- TURN ALL CIRCUIT BREAKERS MADE SPARE DURING DEMOLITION TO THE "OFF" POSITION. PROVIDE UPDATED TYPEWRITTEN PANEL SCHEDULE IN EACH ELECTRICAL PANEL.

SHEET KEYNOTES

- EXISTING FEEDER TO ADJACENT STRUCTURES. TRACE EXISTING FEEDER TO DETERMINE EXACT ROUTE AND FINAL TERMINATION POINT. PROVIDE NEW IDENTIFICATION LABEL IN BASEMENT TO IDENTIFY PATHWAY AND TERMINATION POINT.
- REMOVE EXISTING DUPLEX AND SIMPLEX RECEPTACLES SERVING EXISTING SUMP PUMP. MAINTAIN EXISTING BRANCH CIRCUITING. PROVIDE (2) NEW DUPLEX GFCI RECEPTACLES IN EXISTING LOCATIONS AND RECONNECT TO EXISTING RESPECTIVE BRANCH CIRCUITS.
- PROVIDE (1) 3/4" CONDUIT AND PULL STRING IN CEILING TO ELECTRICAL PANEL.
- PROVIDE (1) 3/4" CONDUIT AND PULL STRING TO FIRST FLOOR CEILING.

REVIEWED
By Michael Kyne at 12:52 pm, May 31, 2023

APPROVED
Montgomery County
Historic Preservation Commission
Robert A. Porter



1 BASEMENT POWER PLAN

SCALE: 1/4" = 1'-0"

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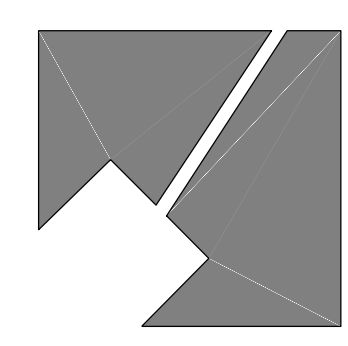
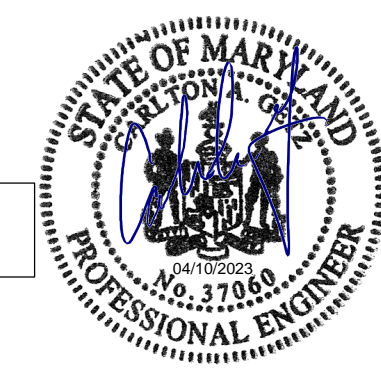
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LICENSE NO. 37060

EXPIRATION DATE: 2025-04-20



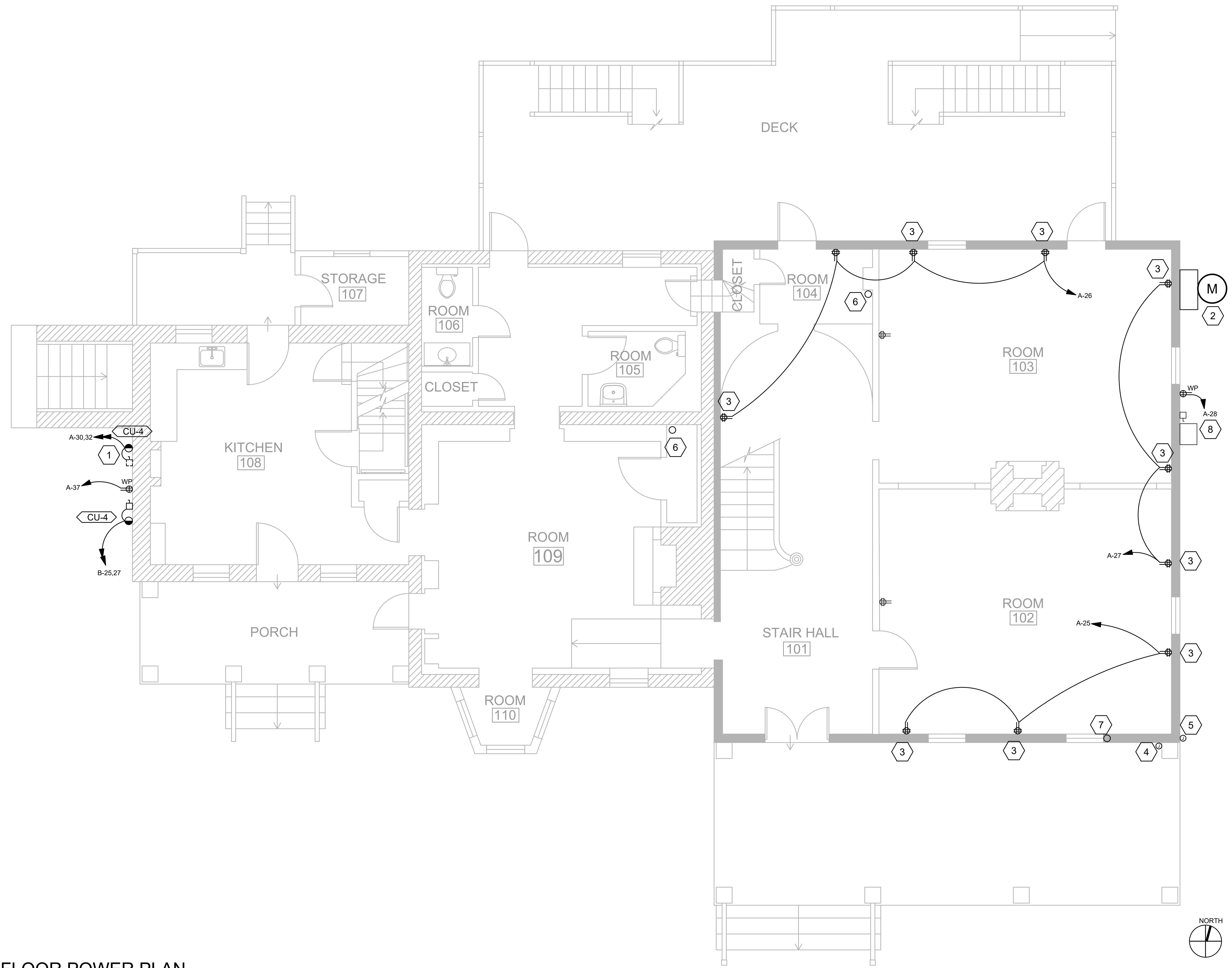
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Montgomery County Department of Parks
9500 Brunett Avenue
Silver Spring, Maryland 20901
(301) 495-2535

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| | 04.10.2023 | MHT SUBMISSION |
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BASEMENT POWER PLAN
BUILDING ENVELOPE REPAIRS
HISTORIC WATERS HOUSE
12535 MILSTONE MANOR LANE
GERMANTOWN, MD 20876
SCALE: AS SHOWN

DWG. #
EP101

FINAL SCANNED PLAN SHEET MARK CODE



- ### GENERAL SHEET NOTES
- TURN ALL CIRCUIT BREAKERS MADE SPARE DURING DEMOLITION TO THE "OFF" POSITION. PROVIDE UPDATED TYPEWRITTEN PANEL SCHEDULE IN EACH ELECTRICAL PANEL.
 - AFTER STAFF MOVE-OUT AND BEFORE CONSTRUCTION BEGINS, DOOR CONTACT SENSORS WILL BE REMOVED BY M-NCPPC.

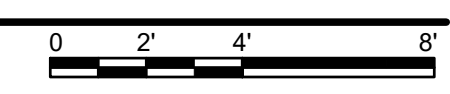
- ### SHEET KEYNOTES
- REMOVE EXISTING UNIT AND DISCONNECT AND BRANCH CIRCUIT AND PROVIDE NEW UNIT AND DISCONNECT AND NEW BRANCH CIRCUIT.
 - EXISTING UTILITY METER.
 - REPLACE EXISTING DUPLEX RECEPTACLE WITH QUAD RECEPTACLE.
 - PROVIDE SURFACE MOUNTED JUNCTION BOX (BELL OUTDOOR WET LOCATION 4" ROUND OR EQUIVALENT) WITH WET LISTED BLANK COVER PLATE MOUNTED TO UNDERSIDE OF FRONT PORCH CEILING FOR FUTURE SECURITY CAMERA. PROVIDE (1) 3/4" EMPTY CONDUIT WITH PULL STRING FROM JUNCTION BOX STUBBED TO FUTURE DVR LOCATION. COORDINATE EXACT LOCATION WITH M-NCPPC IN FILED. PROVIDE FIREPROOF CAP ON CONDUIT STUB.
 - STUB CONDUITS FOR FUTURE SECURITY CAMERA CABLING TO THIS LOCATION AT CEILING. PROVIDE SURFACE MOUNTED JUNCTION BOX (BELL OUTDOOR WET LOCATION 4" ROUND OR EQUIVALENT) WITH WET LISTED BLANK COVER PLATE MOUNTED TO EXTERIOR WALL AT 16" ABOVE GRADE LEVEL FOR FUTURE SECURITY CAMERA. PROVIDE (1) 3/4" EMPTY CONDUIT WITH PULL STRING FROM JUNCTION BOX STUBBED TO FUTURE DVR LOCATION. COORDINATE EXACT LOCATION WITH M-NCPPC IN FILED. PROVIDE FIREPROOF CAP ON CONDUIT STUB.
 - PROVIDE (1) 3" CONDUIT STUBBED FROM BASEMENT CEILING TO FIRST FLOOR. COORDINATE EXACT LOCATION WITH M-NCPPC IN FILED.
 - PROVIDE (1) 3/4" CONDUIT AND PULL STRING IN WALL.
 - HEAT PUMP UNIT AND DISCONNECT ARE EXISTING TO REMAIN.

REVIEWED
By Michael Kyne at 12:52 pm, May 31, 2023

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]

1 FIRST FLOOR POWER PLAN

SCALE: 1/4" = 1'-0"



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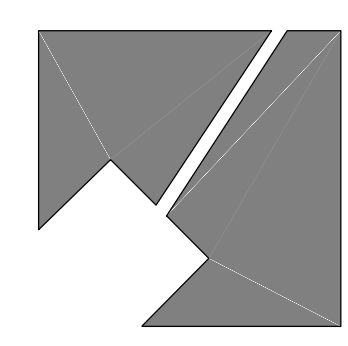
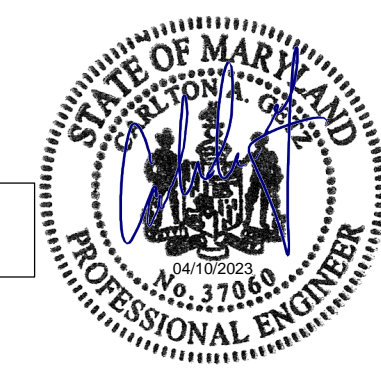
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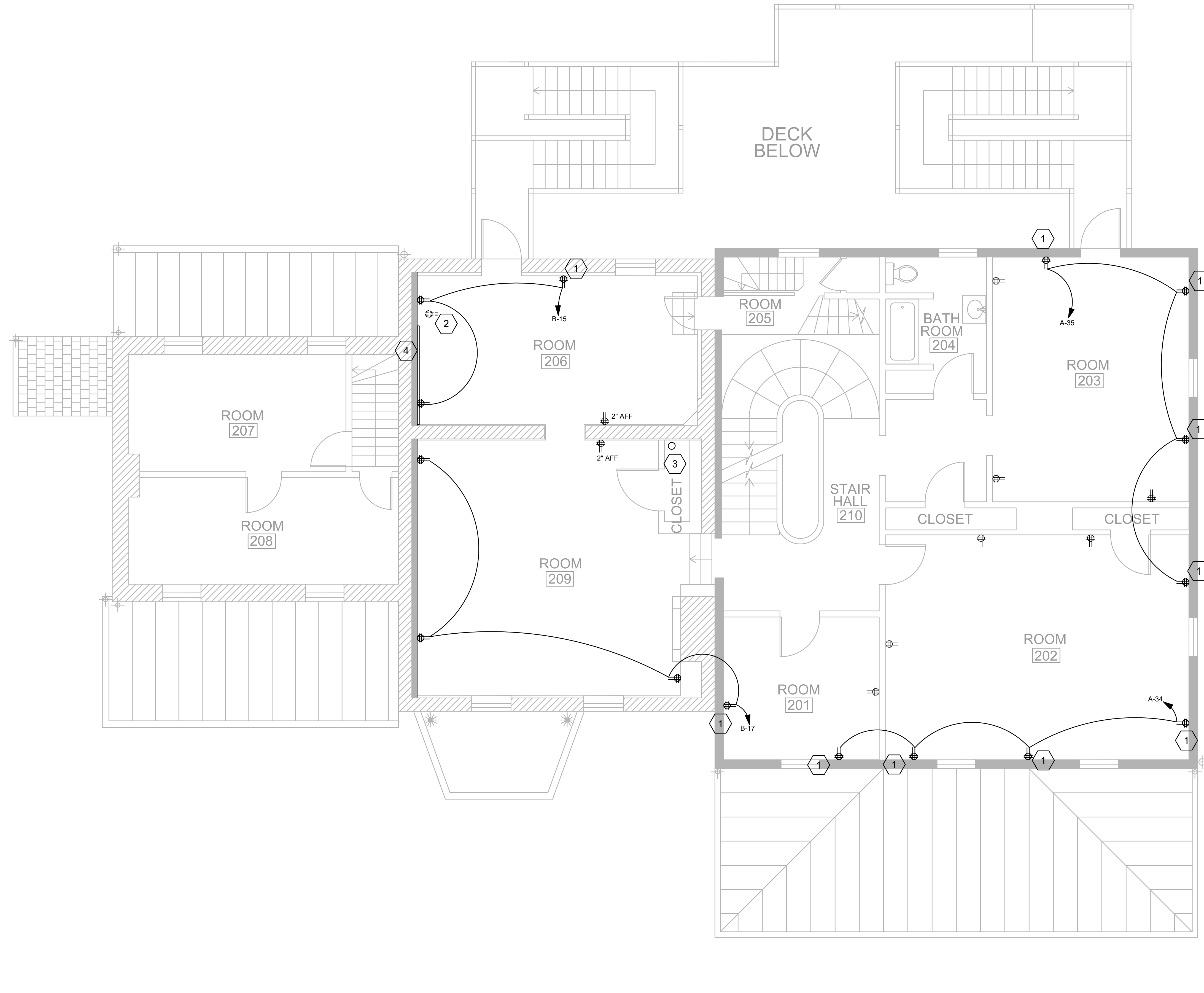
The Maryland-National Capital Park and Planning Commission
Montgomery County Department of Parks
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Silver Spring, Maryland 20901
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1ST FLOOR POWER PLAN
BUILDING ENVELOPE REPAIRS
HISTORIC WATERS HOUSE
12535 MIL ESTONE MANOR LANE
GERMANTOWN, MD 20876
SCALE: AS SHOWN

DWG. #
EP102

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PARK CODE



GENERAL SHEET NOTES

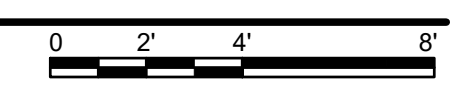
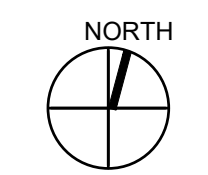
- TURN ALL CIRCUIT BREAKERS MADE SPARE DURING DEMOLITION TO THE "OFF" POSITION. PROVIDE UPDATED TYPEWRITTEN PANEL SCHEDULE IN EACH ELECTRICAL PANEL.
- INSTALL COVER PLATE TYPICAL FOR ALL FLOOR OUTLETS IN CONFLICT WITH NEW FURRED OUT WALLS.

SHEET KEYNOTES

- REPLACE EXISTING DUPLEX RECEPTACLE WITH QUAD RECEPTACLE.
- DUPLEX FLOOR OUTLET TO BE REMOVED.
- PROVIDE (1) 3" CONDUIT STUBBED FROM FIRST FLOOR CEILING TO SECOND FLOOR. COORDINATE EXACT LOCATION WITH M-NCPPC IN FILED.
- CAREFULLY REMOVE AND SALVAGE EXISTING PANDUIT AND JACK FOR REINSTALLATION. REINSTALL BY M-NCPPC. DO NOT CUT.

REVIEWED
By Michael Kyne at 12:52 pm, May 31, 2023

APPROVED
Montgomery County
Historic Preservation Commission
Robert A. ...



1 SECOND FLOOR POWER PLAN

SCALE: 1/4" = 1'-0"

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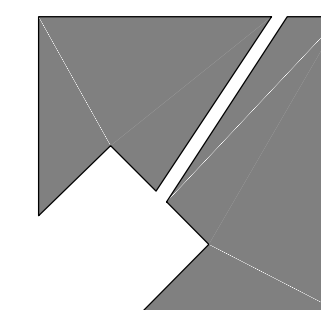
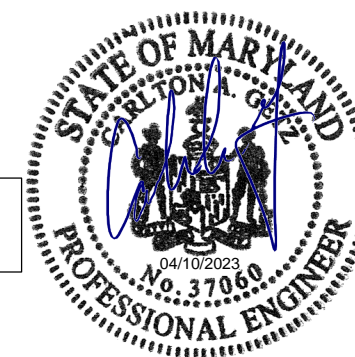
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2ND FLOOR POWER PLAN

BUILDING ENVELOPE REPAIRS

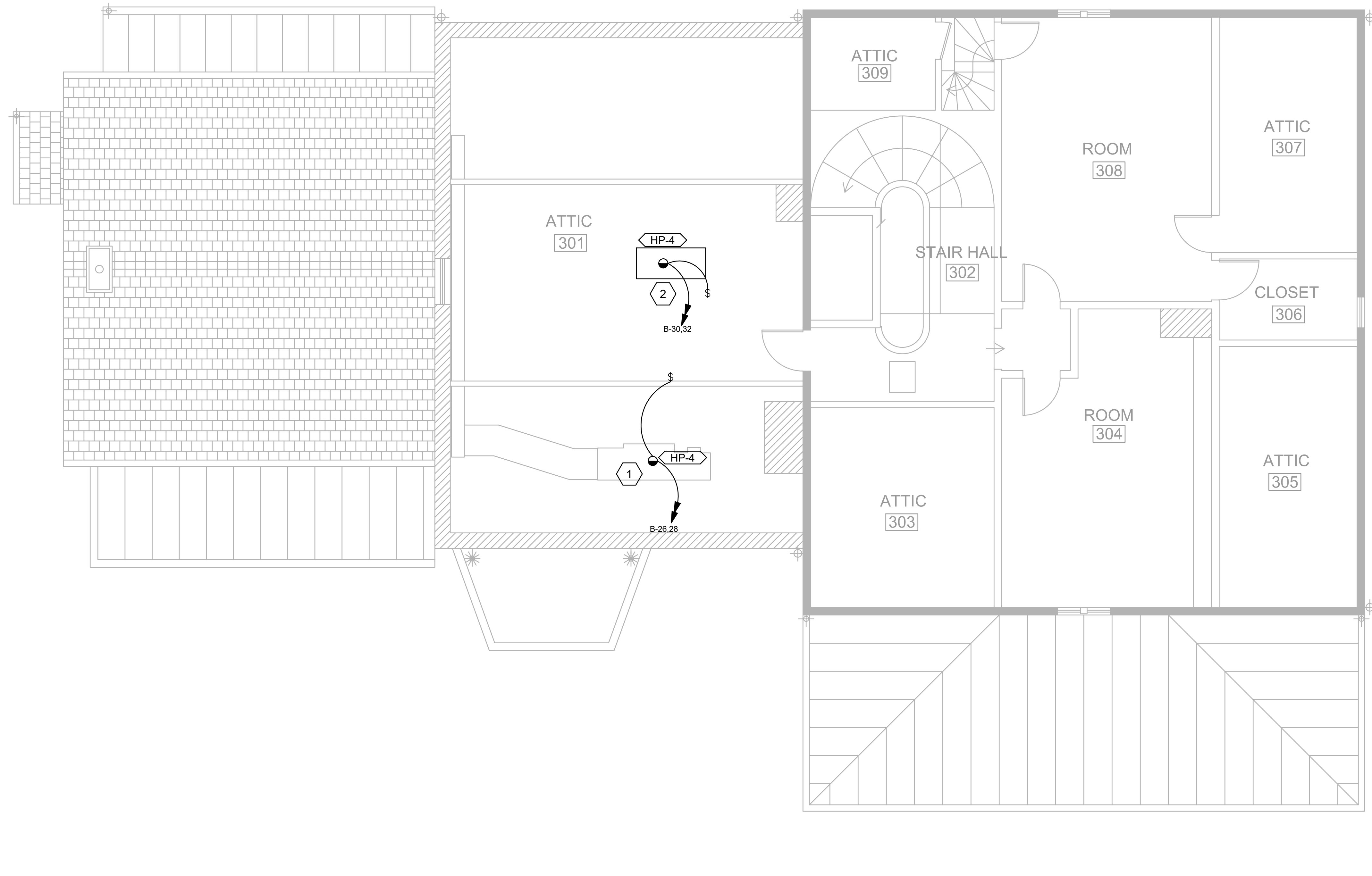
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SCALE: AS SHOWN

DWG. #

EP103

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PAPER CODE



GENERAL SHEET NOTES

- TURN ALL CIRCUIT BREAKERS MADE SPARE DURING DEMOLITION TO THE "OFF" POSITION. PROVIDE UPDATED TYPEWRITTEN PANEL SCHEDULE IN EACH ELECTRICAL PANEL.

SHEET KEYNOTES

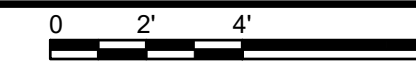
- DISCONNECT EXISTING BRANCH CIRCUIT FROM EXISTING FURNACE TO BE REMOVED DURING DEMOLITION. MAINTAIN EXISTING BRANCH CIRCUIT FOR CONTROL POWER.
- PROVIDE NEW DISCONNECT SWITCH AND BRANCH CIRCUIT FOR NEW INDOOR HEAT PUMP UNIT.

REVIEWED
By Michael Kyne at 12:52 pm, May 31, 2023

APPROVED
Montgomery County
Historic Preservation Commission
Robert G. ...

1 THIRD FLOOR POWER PLAN

SCALE: 1/4" = 1'-0"



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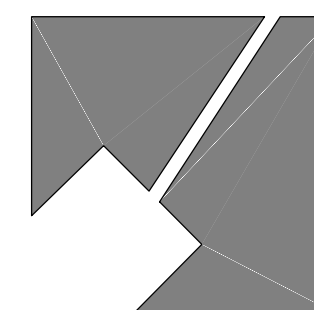
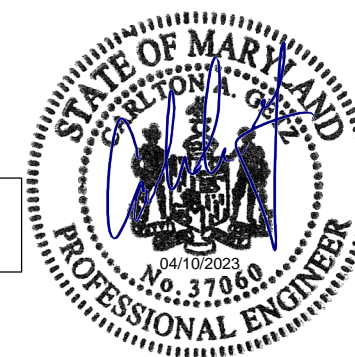
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9520 BERGER ROAD, SUITE 212, COLUMBIA, MD 21046
(410) 381-8010

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| Submission Name | Initials | Date |
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Montgomery County Department of Parks
9500 Brunett Avenue
Silver Spring, Maryland 20901
(301) 495-2535

SUBMISSION / REVISION

| Rev. No. | Date | Description |
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| | 04.10.2023 | MHT SUBMISSION |
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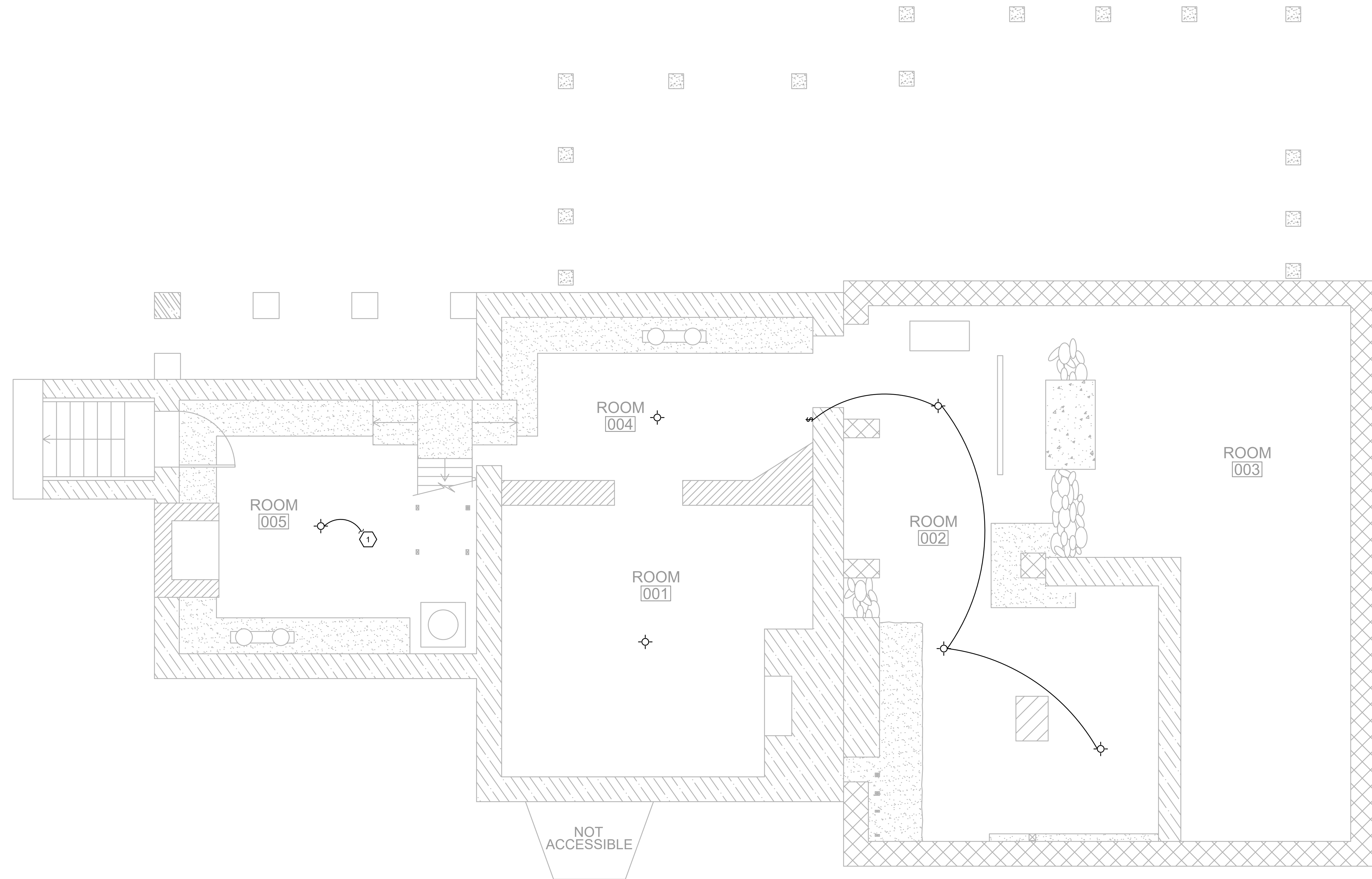
3RD FLOOR POWER PLAN

BUILDING ENVELOPE REPAIRS
HISTORIC WATERS HOUSE
12535 MIL ESTONE MANOR LANE
GERMANTOWN, MD 20876
SCALE: AS SHOWN

DWG. #

EP104

FINAL SCANNED
PLAN SHOWN
PARK CODE



GENERAL SHEET NOTES

1. LIGHT FIXTURES AND DEVICES INDICATED ON PLAN ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED.

SHEET KEYNOTES

1. UP TO EXISTING SWITCH IN KITCHEN AREA.

REVIEWED
By Michael Kyne at 12:52 pm, May 31, 2023

APPROVED
Montgomery County
Historic Preservation Commission
Robert A. ...

1 BASEMENT LIGHTING PLAN
SCALE: 1/4" = 1'-0"

ENCORE
SUSTAINABLE ARCHITECTS
ARCHITECTURE PRESERVATION
31 LIGHT STREET, SUITE 500, BALTIMORE, MD 21202
(410) 624-5461

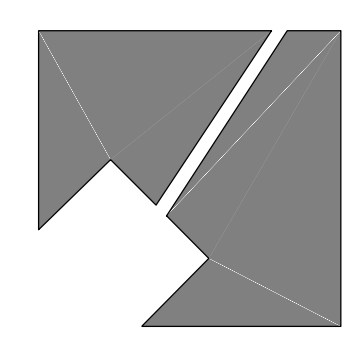
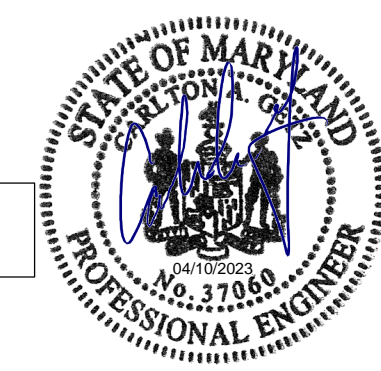
MCC=1200
ARCHITECTURAL ENGINEERS PLLC
1200 ARCHITECTURAL ENGINEERS
210 NORTH LEE ST, SUITE 210
ALEXANDRIA, VA 22314
703-350-4151
SPECTRUM
ENGINEERS
9520 BERGER ROAD, SUITE 212, COLUMBIA, MD 21046
(410) 381-8010

DRAWING CHECKED BY:

| Submission Name | Initials | Date |
|-----------------|----------|-----------|
| MHT SUBMISSION | CG/JH | 4/10/2023 |
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PROFESSIONAL CERTIFICATION:
I certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws under of the State of Maryland.

LICENSE NO. 37060
EXPIRATION DATE: 2025-04-20



**The Maryland-National Capital
Park and Planning Commission**
Montgomery County Department of Parks
9500 Brunett Avenue
Silver Spring, Maryland 20901
(301) 495-2535

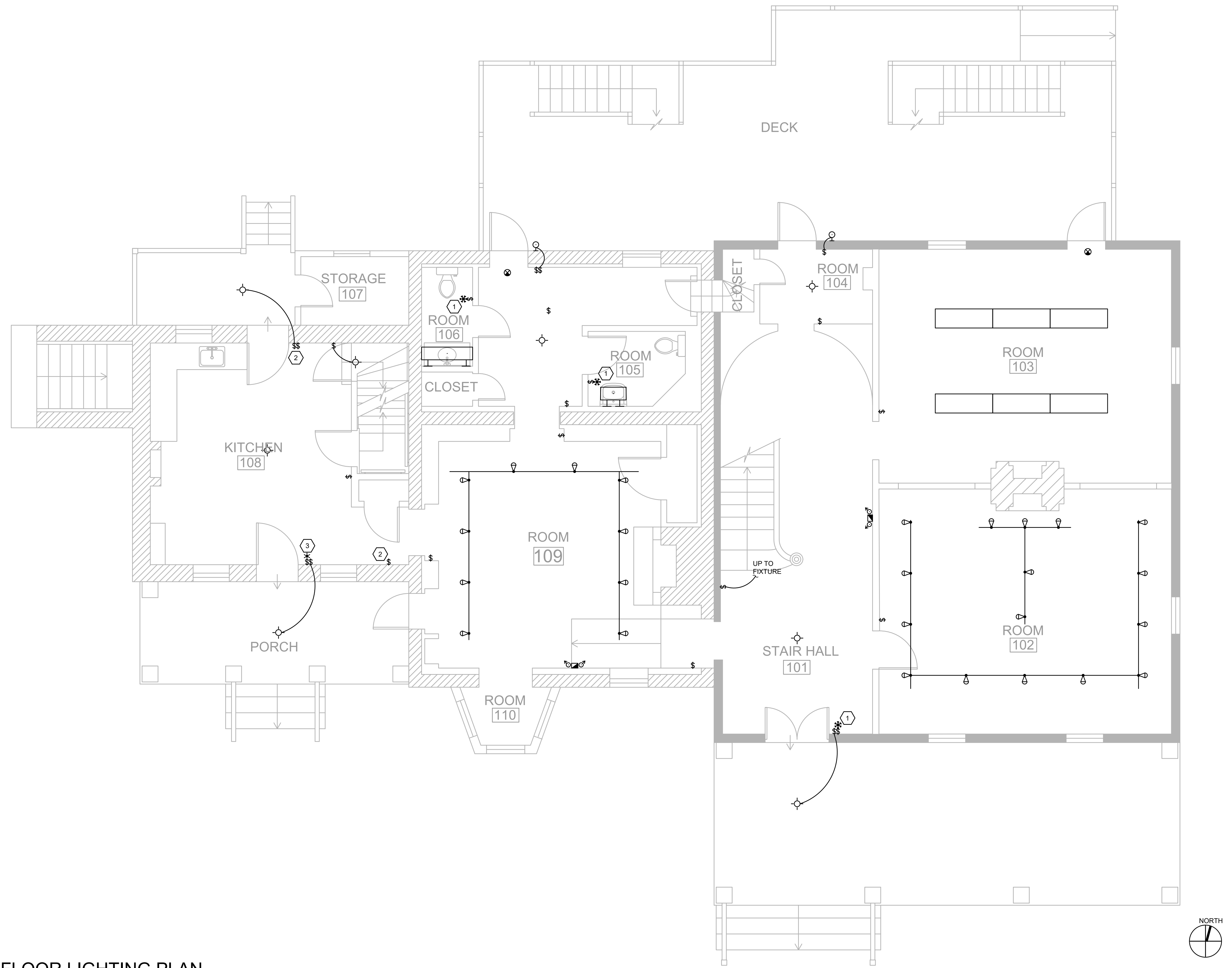
SUBMISSION / REVISION

| Rev. No. | Date | Description |
|----------|------------|----------------|
| | 04.10.2023 | MHT SUBMISSION |
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BASEMENT LIGHTING PLAN
BUILDING ENVELOPE REPAIRS
HISTORIC WATERS HOUSE
12535 MIL ESTONE MANOR LANE
GERMANTOWN, MD 20876
SCALE: AS SHOWN

DWG. #
EL101

FINAL SCANNED
PLAN SHOWN
PARK CODE



GENERAL SHEET NOTES

1. LIGHT FIXTURES AND DEVICES INDICATED ON PLAN ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED.

SHEET KEYNOTES

1. PROVIDE NEW VACANCY SENSOR WALL SWITCH IN EXISTING SWITCH LOCATION. CONNECT TO EXISTING LIGHTING BRANCH CIRCUIT MAINTAINED DURING DEMOLITION.
2. REMOVE SWITCH AND PROVIDE BLANK COVER PLATE. MODIFY EXISTING BRANCH CIRCUITING TO FEED THROUGH FORMER SWITCH LOCATION.
3. REPLACE THIS SWITCH WITH NEW OCCUPANCY SENSOR SWITCH FOR AUTOMATIC CONTROL OF KITCHEN LIGHTING AND UPDATE SYMBOL.

REVIEWED
By Michael Kyne at 12:52 pm, May 31, 2023

APPROVED
Montgomery County
Historic Preservation Commission
Michael Kyne

1 FIRST FLOOR LIGHTING PLAN
SCALE: 1/4" = 1'-0"

ENCORE
SUSTAINABLE ARCHITECTS
ARCHITECTURE PRESERVATION
31 LIGHT STREET, SUITE 500, BALTIMORE, MD 21202
(410) 624-5461

MCC=1200
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1200 ARCHITECTURAL ENGINEERS
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9520 BERGER ROAD, SUITE 212, COLUMBIA, MD 21046
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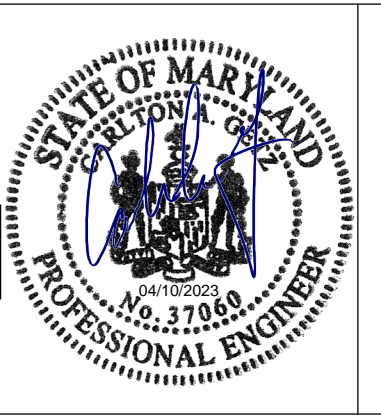
DRAWING CHECKED BY:

| Submission Name | Initials | Date |
|-----------------|----------|-----------|
| MHT SUBMISSION | CG/JH | 4/10/2023 |
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LICENSE NO. 37060
EXPIRATION DATE: 2025-04-20

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The Maryland-National Capital Park and Planning Commission
Montgomery County Department of Parks
9500 Brunett Avenue
Silver Spring, Maryland 20901
(301) 495-2535

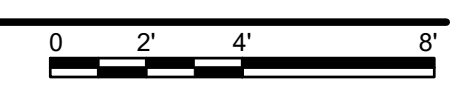
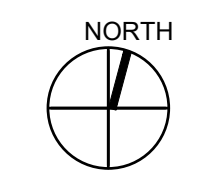
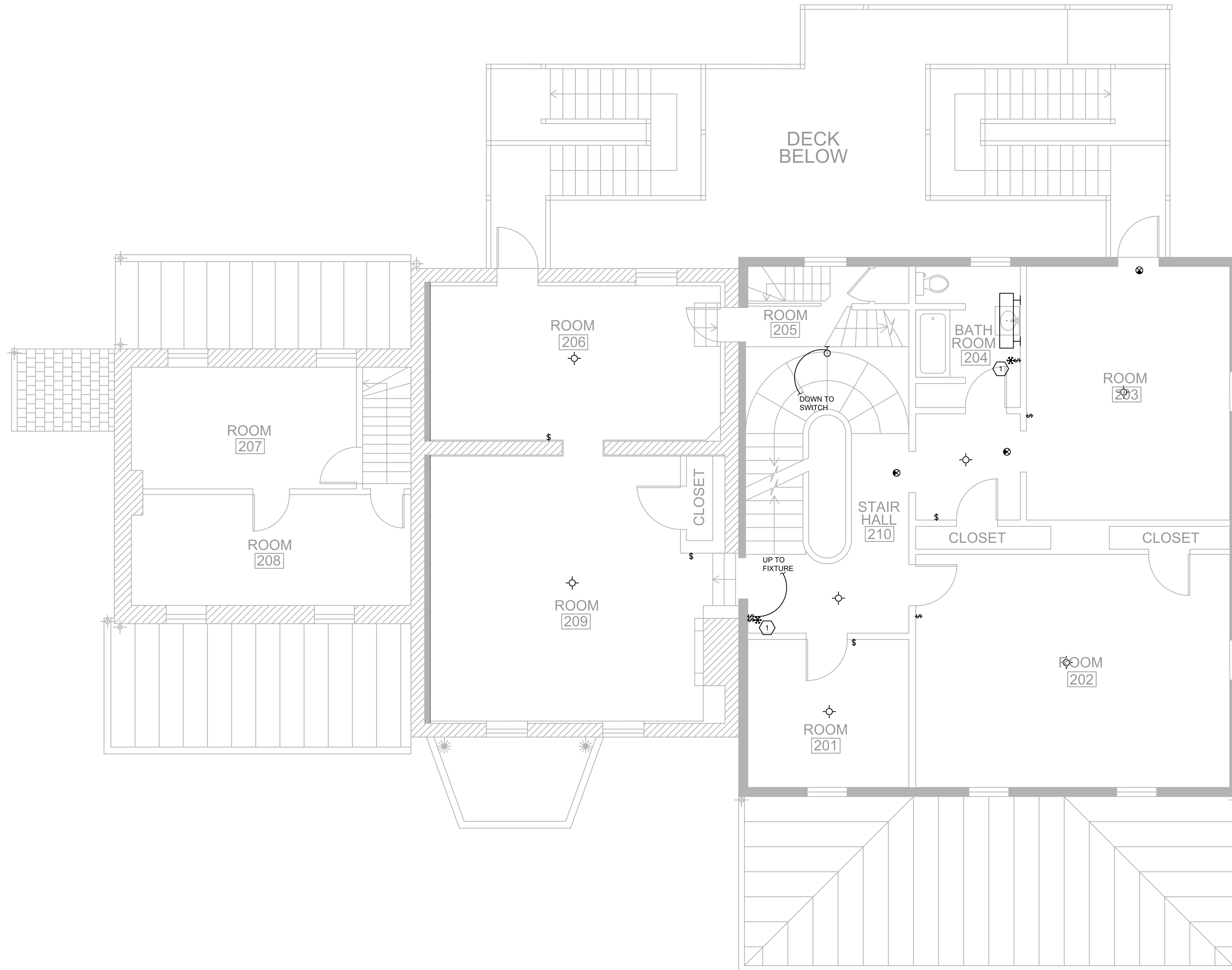
SUBMISSION / REVISION

| Rev. No. | Date | Description |
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| | 04.10.2023 | MHT SUBMISSION |
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1ST FLOOR LIGHTING PLAN
BUILDING ENVELOPE REPAIRS
HISTORIC WATERS HOUSE
12535 MIL ESTONE MANOR LANE
GERMANTOWN, MD 20876
SCALE: AS SHOWN

DWG. #
EL102

FINAL SCANNED
PLAN REVISIONS
PARK CODE



GENERAL SHEET NOTES

1. LIGHT FIXTURES AND DEVICES INDICATED ON PLAN ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED.

SHEET KEYNOTES

1. PROVIDE NEW VACANCY SENSOR WALL SWITCH IN EXISTING SWITCH LOCATION. CONNECT TO EXISTING LIGHTING BRANCH CIRCUIT MAINTAINED DURING DEMOLITION.

REVIEWED
By Michael Kyne at 12:52 pm, May 31, 2023

APPROVED
Montgomery County
Historic Preservation Commission
Michael Kyne

1 SECOND FLOOR LIGHTING PLAN

SCALE: 1/4" = 1'-0"

ENCORE
SUSTAINABLE ARCHITECTS
ARCHITECTURE PRESERVATION
31 LIGHT STREET, SUITE 500, BALTIMORE, MD 21202
(410) 624-5461

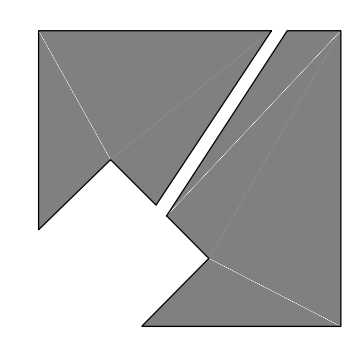
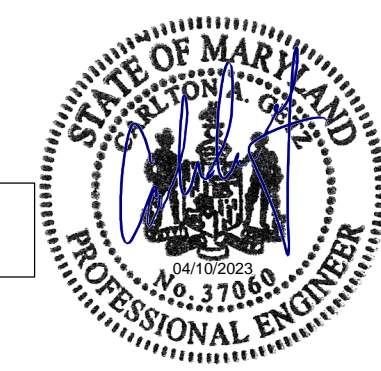
MCC=1200
ARCHITECTURAL ENGINEERS PLLC
1200 ARCHITECTURAL ENGINEERS
210 NORTH LEE ST, SUITE 210
ALEXANDRIA, VA 22314
703-350-4151
SPECTRUM
ENGINEERS
9520 BERGER ROAD, SUITE 212, COLUMBIA, MD 21046
(410) 381-8010

| DRAWING CHECKED BY: | | |
|---------------------|----------|-----------|
| Submission Name | Initials | Date |
| MHT SUBMISSION | CG/JH | 4/10/2023 |
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PROFESSIONAL CERTIFICATION:
I certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws under of the State of Maryland.

LICENSE NO. 37060

EXPIRATION DATE: 2025-04-20



The Maryland-National Capital Park and Planning Commission
Montgomery County Department of Parks
9500 Brunett Avenue
Silver Spring, Maryland 20901
(301) 495-2535

| SUBMISSION / REVISION | | |
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| Rev. No. | Date | Description |
| | 04.10.2023 | MHT SUBMISSION |
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2ND FLOOR LIGHTING PLAN
BUILDING ENVELOPE REPAIRS
HISTORIC WATERS HOUSE
12535 MIL ESTONE MANOR LANE
GERMANTOWN, MD 20876
SCALE: AS SHOWN

DWG. #
EL103