



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert Sutton
Chairman

Date: June 9, 2023

MEMORANDUM

TO: Rabbiah Sabbakhan
Department of Permitting Services

FROM: Michael Kyne
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1028877: Hardscape and pergola construction

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved with one (1) condition** at the May 24, 2023 HPC meeting.

- 1. The applicant shall submit specifications for each outdoor light type and transformer, and a site plan (or annotated photograph, drawing, etc.) that shows their proposed locations in the rear yard.**

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Jennifer Emmett & Lee Bodner (Justin Kelly, Agent)
Address: 26 Quincy Street, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Michael Kyne at 301.563.3403 or Michael.Kyne@montgomeryplanning.org to schedule a follow-up site visit.





FOR STAFF ONLY:
HAWP# 1028877
DATE ASSIGNED _____

APPLICATION FOR HISTORIC AREA WORK PERMIT

HISTORIC PRESERVATION COMMISSION
301.563.3400

APPLICANT:

Name: _____ E-mail: _____
Address: _____ City: _____ Zip: _____
Daytime Phone: _____ Tax Account No.: _____

AGENT/CONTACT (if applicable):

Name: _____ E-mail: _____
Address: _____ City: _____ Zip: _____
Daytime Phone: _____ Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

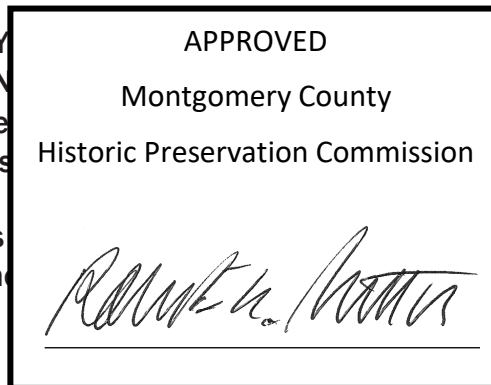
Is the Property Located within an Historic District? Y

Is the Property within a Historic Preservation/Land Trust/Environmental map of the easement, and documentation from the East

REVIEWED

By Michael Kyne at 12:32 pm, Jun 09, 2023

Are other Planning and/or Hearing Examiner Approvals (Conditional Use, Variance, Record Plat, etc.?) If YES, include supplemental information.



Building Number: _____ Street: _____

Town/City: _____ Nearest Cross Street: _____

Lot: _____ Block: _____ Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|---|--|--|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

Owner's Agent's mailing address

Adjacent and confronting Property Owners mailing addresses

23 Primrose Street, Chevy Chase 20815

21 Primrose Street, Chevy Chase 208154

21 Quincy Street, Chevy Chase 20815

REVIEWED

By Michael Kyne at 12:33 pm, Jun 09, 2023

APPROVED

Montgomery County

Historic Preservation Commission



Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

REVIEWED

By Michael Kyne at 12:33 pm, Jun 09, 2023

APPROVED

Montgomery County

Historic Preservation Commission

A handwritten signature in dark ink, appearing to read "Robert H. Patton", is written over a horizontal line.

Work Item 1: _____

Description of Current Condition:

Proposed Work:

Work Item 2: _____

Description of Current Condition:

Proposed Work:

REVIEWED

By Michael Kyne at 12:33 pm, Jun 09, 2023

APPROVED

Montgomery County

Historic Preservation Commission



Work Item 3: _____

Description of Current Condition:

Proposed Work:

HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

REVIEWED

By Michael Kyne at 12:33 pm, Jun 09, 2023

APPROVED

Montgomery County

Historic Preservation Commission





PROPOSAL

MHIC #107535

Office : (410) 679-1683

SBC LANDSCAPING & OUTDOOR SERVICES, LLC

P.O. Box 420
Fallston, M.D. 21047Justin Kelly, Landscape Designer and Sales
justin.kelly@sbclandscaping.com (202) 255-4839

BILL TO:	Jennifer Emmett and Lee Bodner 26 Quincy St. Chevy Chase, MD 20815	SITE ADDRESS:	Jennifer Emmett and Lee Bodner 26 Quincy St. Chevy Chase, MD 20815
PHONE:	(301) 379-4200	PHONE:	
CELL:		CELL:	
EMAIL:	lee@bodner.net	EMAIL:	

FLAGSTONE PATIO, STEPS, RETAINING WALL, ALUMINUM
PERGOLA, OUTDOOR LIGHTING, FOUNTAIN TILES

Estimate based on design dated March 24, 2023

New Flagstone Patio: Install New 1" Select Blue PA Flagstone over new 3" compacted RC-6 sub base and 6" 3,500 psi concrete slab (Approx. 377 sq.ft.).**New Masonry Retaining Wall:** Install New Masonry Retaining Wall with buried concrete footer, CMU block wall and parge finish (Approx. 27 linear ft. X 1' high). Wall estimate includes construction of the footer, CMU block and parge finish. Retaining wall will underpin and support new flagstone patio.**Install Masonry Steps:** Install masonry steps with thermal bluestone treads (Approx. 38 linear ft.).**Outdoor Lighting:** Install Alliance Outdoor Lighting (6) GL-160 In Ground lights, (2) BL-200 Flood lights and (2) UL-100 Pond Lights. Install (1) XF-300 Transformer.**Install Pergola:** Install (1) 10'Wx20'Lx8.2'H pergola. Install concrete footers for the vertical pergola posts. **Customer will purchase pergola for SBC to install (Labor only).****Tile Existing Fountain:** Install Ceramic Tile on the inside of the existing fountain.

Scope of Work Total	\$ -
Energy & Fuel Surcharge	\$ -

Payments	Date	Check#
Deposit Payment		
1st Day of Construction		
2nd Progress Payment		
3rd Progress Payment		
Project Completion		

REVIEWED

By Michael Kyne at 12:33 pm, Jun 09, 2023

All credit card charges will incur a 3.25% surcharge

All financed charges are subject to credit approval, fees, and interest

SPECIAL NOTES & COMMENTS

Disturbed areas of the lawn will be fine graded and seed and straw applied. Area necessary.

Payment Agreement: Homeowner agrees to pay SBC Outdoor Services the amount scheduled above for material delivered and installed and services rendered.

APPROVED

Montgomery County

Historic Preservation Commission

Justin Kelly, SBC Landscaping & Outdoor Services	May 11, 2023
Homeowner's Signature	
TERMS AND CONDITIONS	

ESTIMATED DATE OF COMMENCEMENT AND COMPLETION OF WORK:

Commencement Date: _____

Project Duration: _____

DELAYS:

Contractor shall not be responsible for delays caused by any of the following: failure of the issuance of all necessary building permits within a reasonable length of time; funding of loans; acts of neglect or omission by Purchaser; acts of God; stormy or inclement weather or other forces of nature; extra work ordered by Purchaser; acts of public enemy; riots or civil commotion; inability to secure material through regular recognized channels; Purchaser's failure to make payments when due; delays caused by inspection or changes ordered by the inspectors of authorized governmental bodies; acts of independent contractors or sub-contractor; holidays; or any other circumstances beyond Contractor's control.

PAYMENT SCHEDULE, INSURANCE & INDEMNITY:

All payments must be received on final day of project completion. After 10 days without payment a 10% delayed payment charge will be added. In the event an invoice remains unpaid for 30 days, the owner/client agrees to pay all costs of collection, judgment, or possible lien, including reasonable attorney's fees, if any. If you do not pay your invoice in full within 10 days of completion, your warranty from SBC Landscaping will be VOID.

Contractor shall maintain appropriate insurance coverage throughout the term of this Agreement. This shall include comprehensive general liability covering bodily injury and property damage, Worker's Compensation at statutory limits, and automobile liability covering all vehicles, equipment and their operators.

The Customer understands that the Contractor assumes no liability for natural or unseen occurring conditions during and after construction. These natural occurrences include freezing/thawing, water damage etc.

During operations and after completion of operations, Customer agrees to defend, indemnify and hold harmless the Contractor, and its employees, against any and all claims by the Customer, its employees or third parties, their heirs, executors, administrators, successors, surrogates, or assignees, arising on account of death or injuries to persons or damage to property, arising out of use of, or traveling at, or onto, the Property, whether or not such claim, damage, injury or death results from the negligence of Customer, Contractor or others. Customer shall defend all suits and claims arising from or incidental to the work under the Agreement, without expense or annoyance to the Contractor or its employees.

REVIEWED

By Michael Kyne at 12:33 pm, Jun 09, 2023

APPROVED

Montgomery County

Historic Preservation Commission



CONTRACT/DESIGN CHANGES & ADDENDUMS:

All changes to this agreement and/or design are required to be stated in a “Contract Addendum” facilitated through the Project Design Specialist or SBC Landscaping Manager. Under no circumstances are agreement/design changes are to be executed through the “Installation Crew Members”.

PERMITS:

SBC Outdoor Services will be liable to furnish all building permits associated with the contracted construction. If project requires a permit,\$250.00 will be included on the proposal for application, drawings, and fees for the permit. Homeowner will be liable for obtaining Home Owner Association approval unless otherwise agreed upon with SBC Outdoor Services.

DEFAMATION:

Customer agrees not to defame SBC during or after any work has been completed. If customer does, the customer agrees to pay all legal fees associated with removing and replenishing said defamation.

ARBITRATION:

The customer and SBC agree to dispute any disagreements using Fair Claims Arbitration. Fees associated with the arbitration will be equally split between SBC and the customer. Fees are \$1,875 per party for a 1 day Arbitration. Arbitration will be binding and foreclose any other legal proceedings, online defamation posts and MHIC complaints

LIMITATION OF LIABILITY: In no event shall either party be liable to the other party with respect to this agreement, or any act or omission occurring in connection with this agreement, for lost profit, loss of business or any other indirect, incidental, consequential, special or punitive damages of any nature, even if advised. In the event of direct damages, the parties agree to a liability cap of 1/10th of the contract amount, provided that such limitations show not apply to gross negligence, willfull misconduct or non payment of a party.

ESTIMATE:

Prepared estimate is valid for 30 days from proposal date. SBC Outdoor Services reserves the right to revise the estimated costs after the 30 days.

Initials_____

ADDITIONAL PROJECT NOTES

CONTINUED FROM PAGE 1

REVIEWED

By Michael Kyne at 12:33 pm, Jun 09, 2023

APPROVED

Montgomery County

Historic Preservation Commission



[illegible]**REVIEWED**

By Michael Kyne at 12:33 pm, Jun 09, 2023

APPROVED

Montgomery County

Historic Preservation Commission

Randy Porter

REVIEWED
By Michael Kyne at 12:34 pm, Jun 09, 2023

APPROVED
Montgomery County
Historic Preservation Commission
Robert A. Norton





REVIEWED
By Michael Kyre at 12:34 pm, Jun 09, 2023

APPROVED
Montgomery County
Historic Preservation Commission
Robert A. Kottner

REVIEWED
By Michael Kyne at 12:34 pm, Jun 09, 2023

APPROVED
Montgomery County
Historic Preservation Commission
Robert A. Nutter





11119 Pulaski Highway
White Marsh, MD 21162
Office: (410) 679-1683
www.sbclandscaping.com
sbclandscaping@gmail.com

SBC Outdoor Services LLC's designs, thoughts, and details, are the properties of SBC and may not be used, reproduced, copied or manipulated in any manner without the prior written consent of the owners.

The designed images shown are for illustration purposes only and may not be an exact representation of the product.

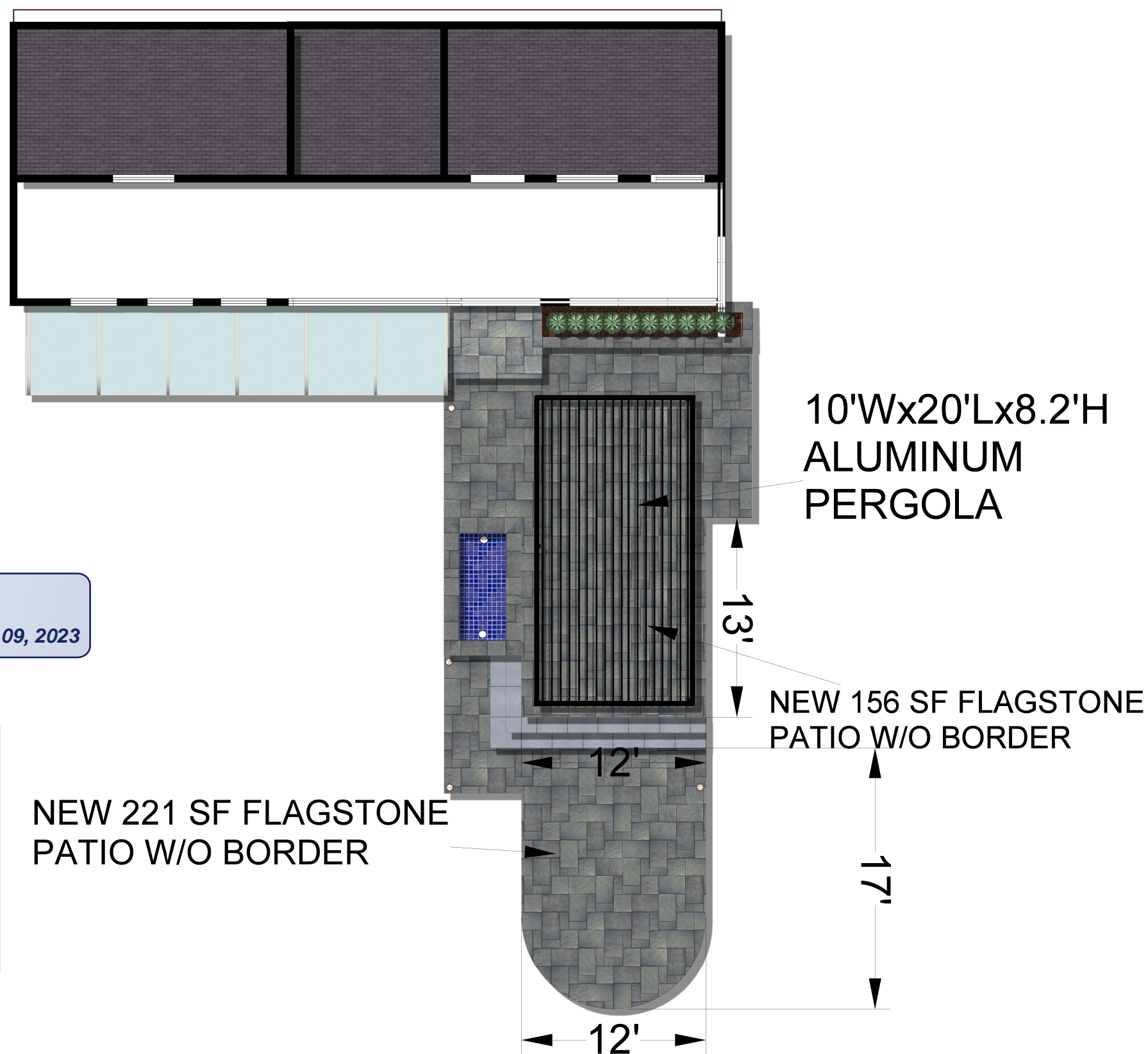
BODNER/EMMETT RESIDENCE

26 Quincy St.
Chevy Chase, MD 20815
phone: (301) 379-4200
email: lee@bodner.net

Revision / Issue	Date
Initial Plan	12/22/22
Revised Plan	5/9/23

HARDSCAPE DESIGN

Drawn By: Justin Kelly	
Date: May 9, 2023	
Scale: 0 4 8 16	1" = 8ft



REVIEWED

By Michael Kyne at 12:34 pm, Jun 09, 2023

APPROVED
Montgomery County
Historic Preservation Commission



11119 Pulaski Highway
White Marsh, MD 21162
Office: (410) 679-1683
www.sbclandscaping.com
sbclandscaping@gmail.com

SBC Outdoor Services LLC's designs, thoughts, and details, are the properties of SBC and may not be used, reproduced, copied or manipulated in any manner without the prior written consent of the owners.

The designed images shown are for illustration purposes only and may not be an exact representation of the product.

BODNER/EMMETT
RESIDENCE

26 Quincy St.
Chevy Chase, MD 20815

phone: (301) 379-4200
email: lee@bodner.net

Revision / Issue	Date
Initial Plan	12/22/22
Revised Plan	5/9/23

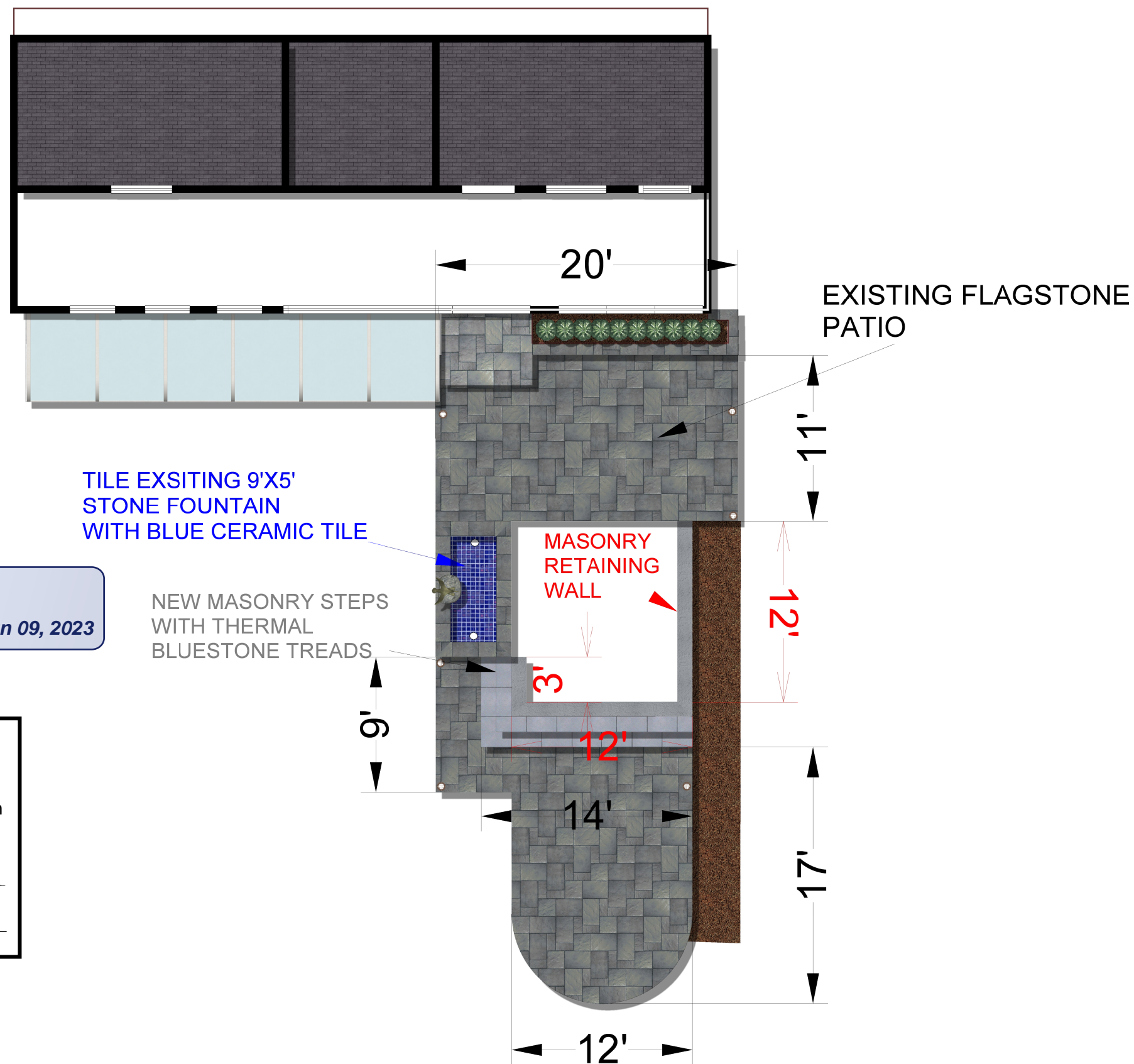
HARDSCAPE DESIGN

Drawn By:
Justin Kelly

Date: March 24, 2023

Scale: 1" = 8ft

0 4 8 16



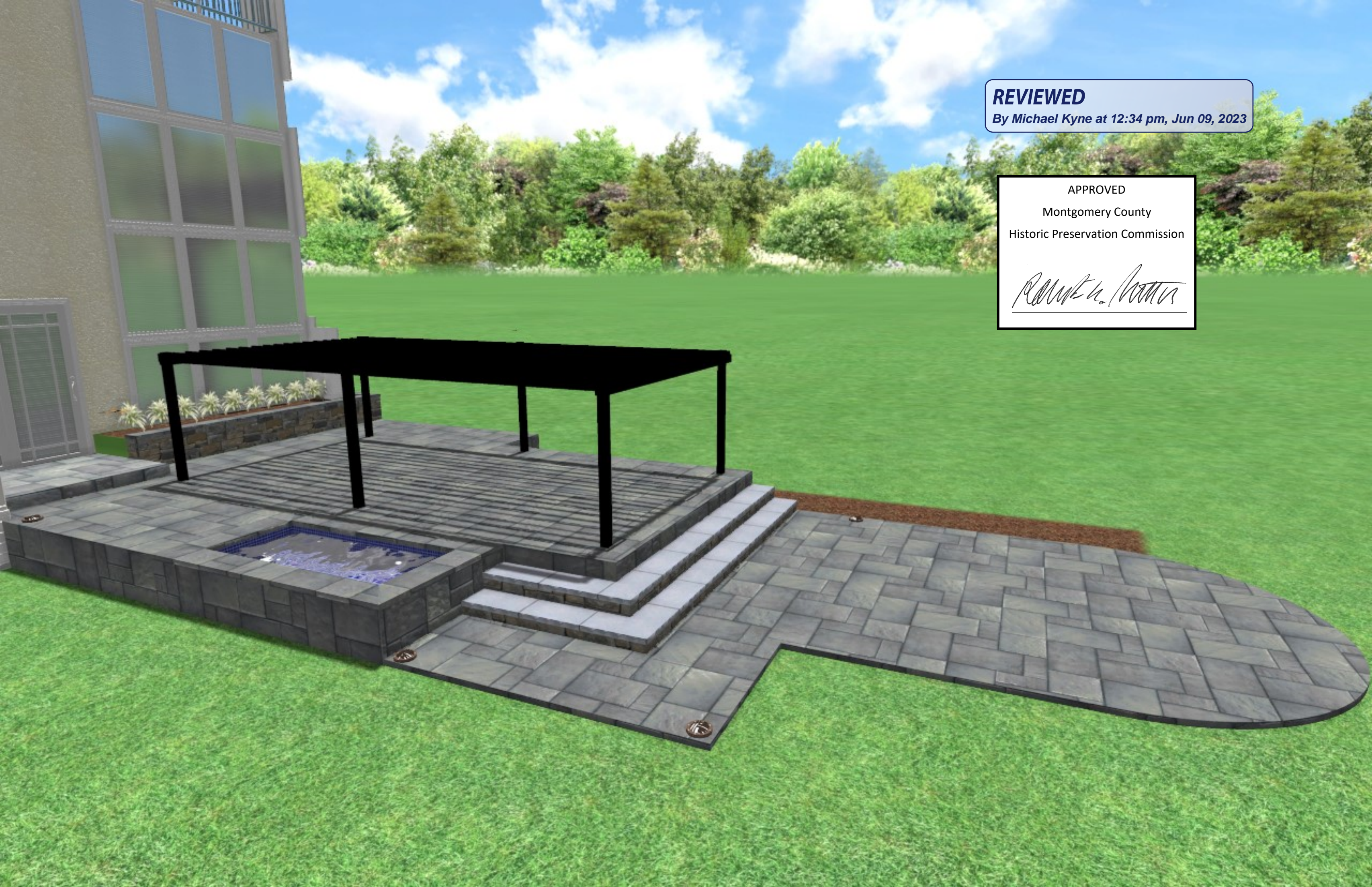
REVIEWED

By Michael Kyne at 12:34 pm, Jun 09, 2023

APPROVED

Montgomery County
Historic Preservation Commission

Randy Butler



REVIEWED

By Michael Kyne at 12:34 pm, Jun 09, 2023

APPROVED

Montgomery County

Historic Preservation Commission

Ramona Mott



REVIEWED

By Michael Kyne at 12:34 pm, Jun 09, 2023

APPROVED

Montgomery County
Historic Preservation Commission

Ronald A. Norton

REVIEWED
By Michael Kyne at 12:34 pm, Jun 09, 2023

APPROVED
Montgomery County
Historic Preservation Commission





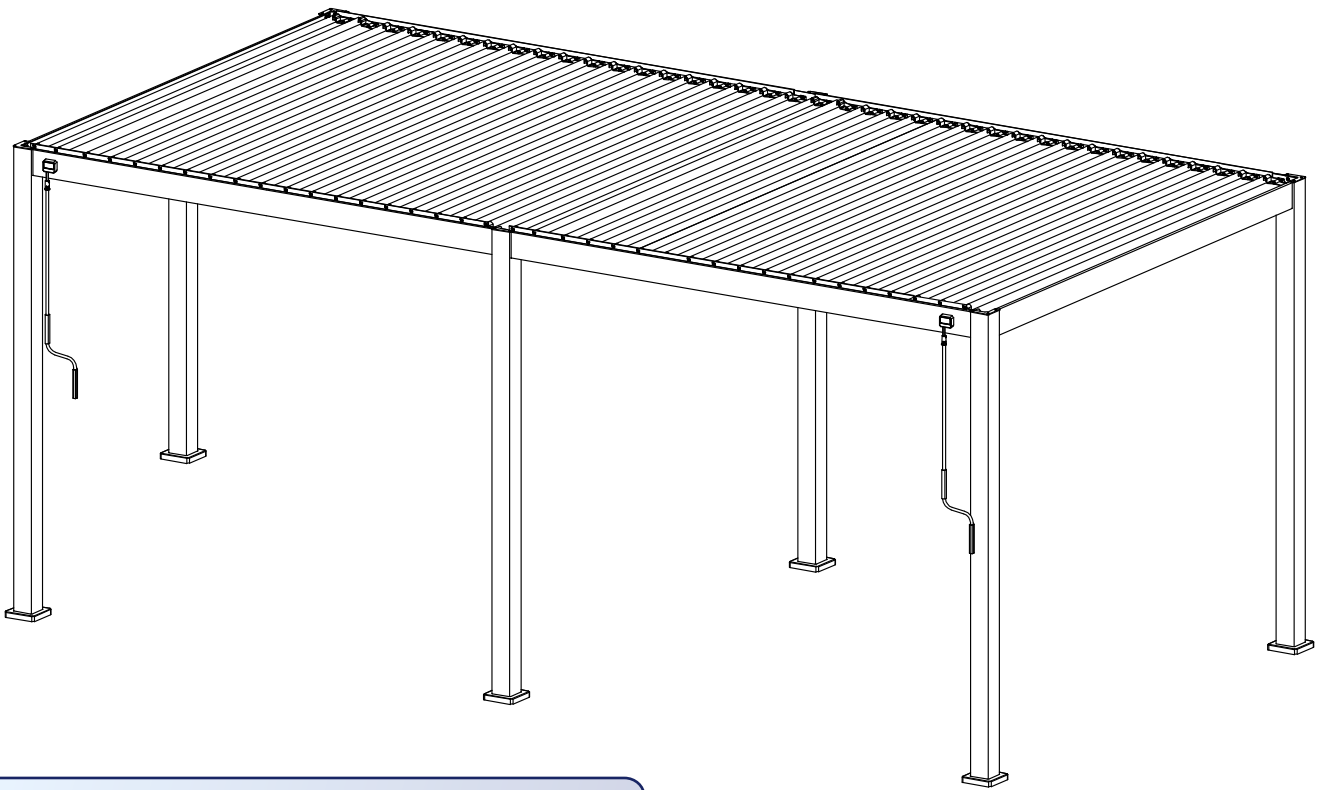
REVIEWED
By Michael Kyne at 12:35 pm, Jun 09, 2023

APPROVED
Montgomery County
Historic Preservation Commission
R. Kyne

PERGOLA

10'x20'(3x6m)

User Manual



REVIEWED

By Michael Kyne at 12:34 pm, Jun 09, 2023

APPROVED

Montgomery County

Historic Preservation Commission

A handwritten signature in cursive script, appearing to read "Robert H. Hutter".

	REF	QTY		REF	QTY		REF	QTY
Carton 1/5	(A)	4PCS		(A1)	2PCS		(B)	1PC
	(B1)	1PC		(B2)	1PC		(B3)	1PC
	(C)	2PCS		(G)	4PCS		(H)	2PCS
	(I)	6PCS		(J)	6PCS		(K)	74+3PCS
	(L)	2PCS		(M)	76+3PCS		(N)	4PCS
	(N1)	2PCS		(O)	36PCS		(P)	152+6PCS
	(Q)	152+6PCS		(R)	16PCS		(S)	76+6PCS
				(T1)	4PCS			
	(U1)	4PCS		(V)	2PCS		(W)	24PCS
	(X)	1PC		(Y)	2PCS			
	User Manual	1SET						
Carton 2/5	(D)	9PCS						
Carton 3/5	(D)	9PCS						
Carton 4/5	(D)	9PCS						
Carton 5/5	(D)	11PCS						




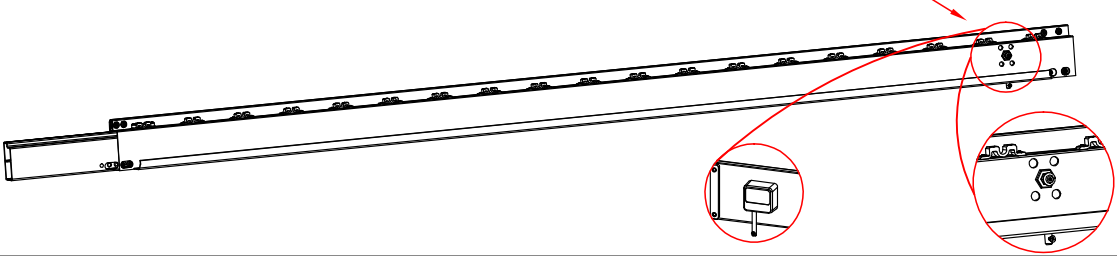
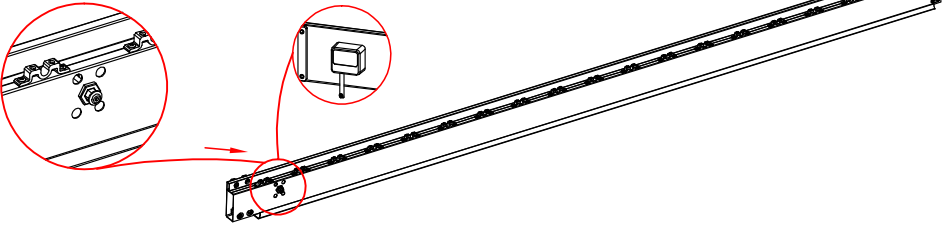
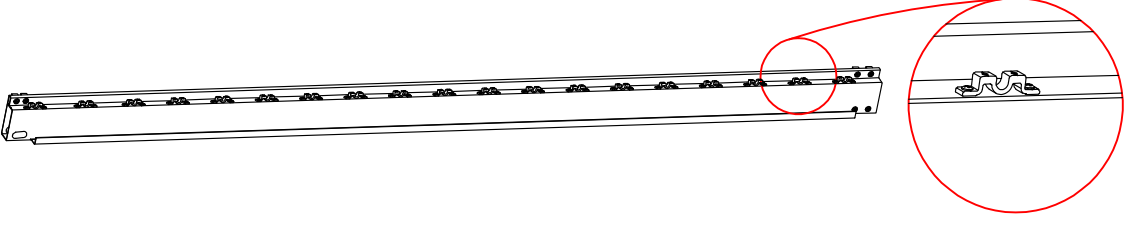
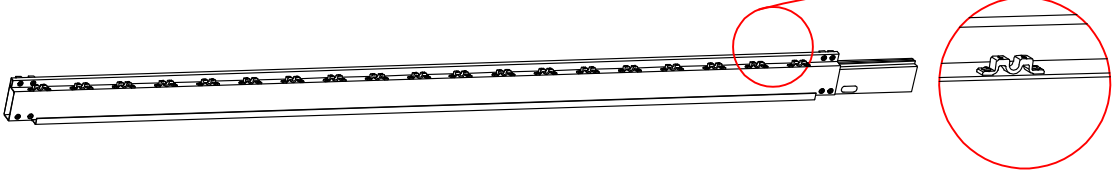
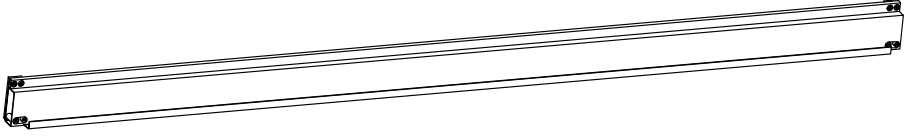
REVIEWED

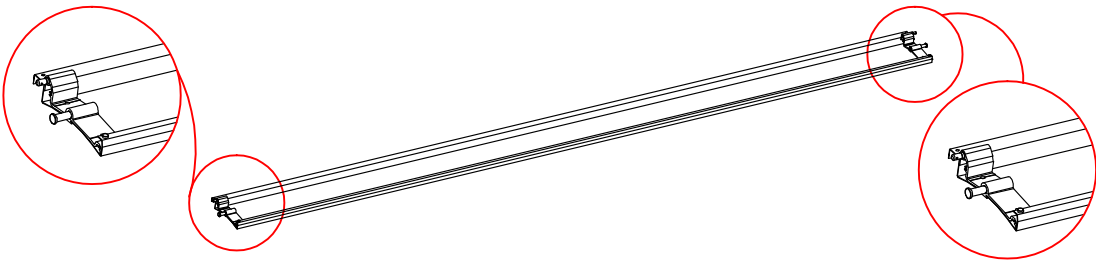
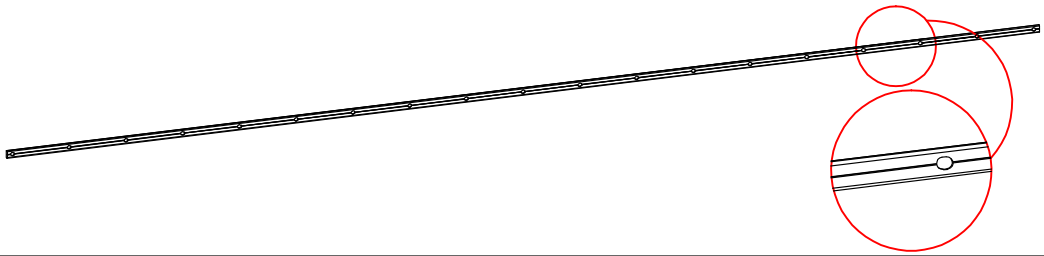

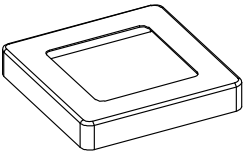
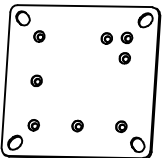
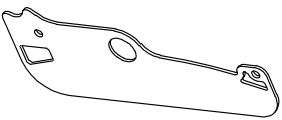

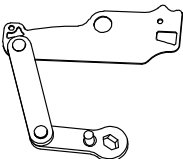
By Michael Kyne at 12:34 pm, Jun 09, 2023

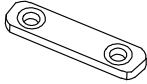
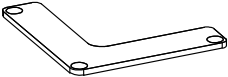

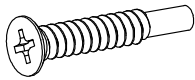
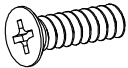
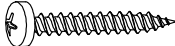

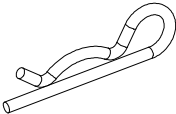
APPROVED

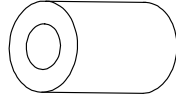
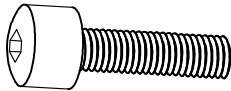
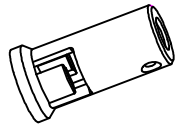
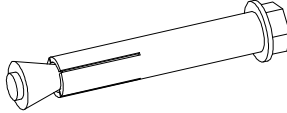

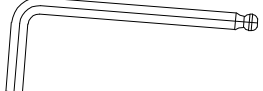

Montgomery County
Historic Preservation Commission

Robert L. Kyne

REF	<div> <div> REVIEWED </div> <div> PICTURE </div> </div> <div> By Michael Kyne at 12:34 pm, Jun 09, 2023 </div>	QTY
A	 <div> APPROVED Montgomery County Historic Preservation Commission  </div>	4PCS
A1		2PCS
B		1PC
B1		1PC
B2		1PC
B3		1PC
C		2PCS

REF	PICTURE	QTY
D		38PCS
G		4PCS
H		2PCS
I		6PCS
J	 <div data-bbox="858 1370 1535 1505" data-label="Text"> <p>REVIEWED By Michael Kyne at 12:34 pm, Jun 09, 2023</p> </div>	6PCS
K	 <div data-bbox="890 1612 1391 1998" data-label="Text"> <p>APPROVED Montgomery County Historic Preservation Commission </p> </div>	3PCS
L		CS

REF	PICTURE	QTY
(M)		76+3PCS
(N)		4PCS
(N1)		2PCS
(O)		36PCS
(P)	 M5x12mm	152+6PCS
(Q)	 4.2x25mm	152+6PCS
(R)	 5.5x19mm	16PCS
(S)		76+6PCS

REF	PICTURE	QTY
(T1)		4PCS
(U1)	 M8x45mm	4PCS
(V)		2PCS
(W)		24PCS
(X)		1PC
(Y)		2PCS
<div> REVIEWED <i>By Michael Kyne at 12:34 pm, Jun 09, 2023</i> </div>		
<div> APPROVED Montgomery County Historic Preservation Commission  </div>		

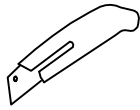
Warning

Do not allow snow to accumulate on the louver roof. If moderate to heavy snow is expected, open the louvers. In the case of high winds or other extreme weather conditions, open the louvers and raise or remove any shade screen accessories that have been installed to avoid potential damage to your pergola.

What you need?



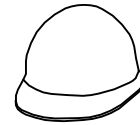
Glove



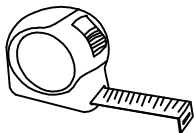
Knife



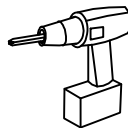
Hammer



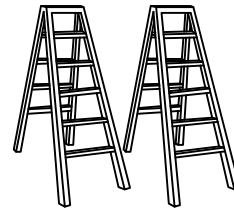
Safety hat



Tapeline

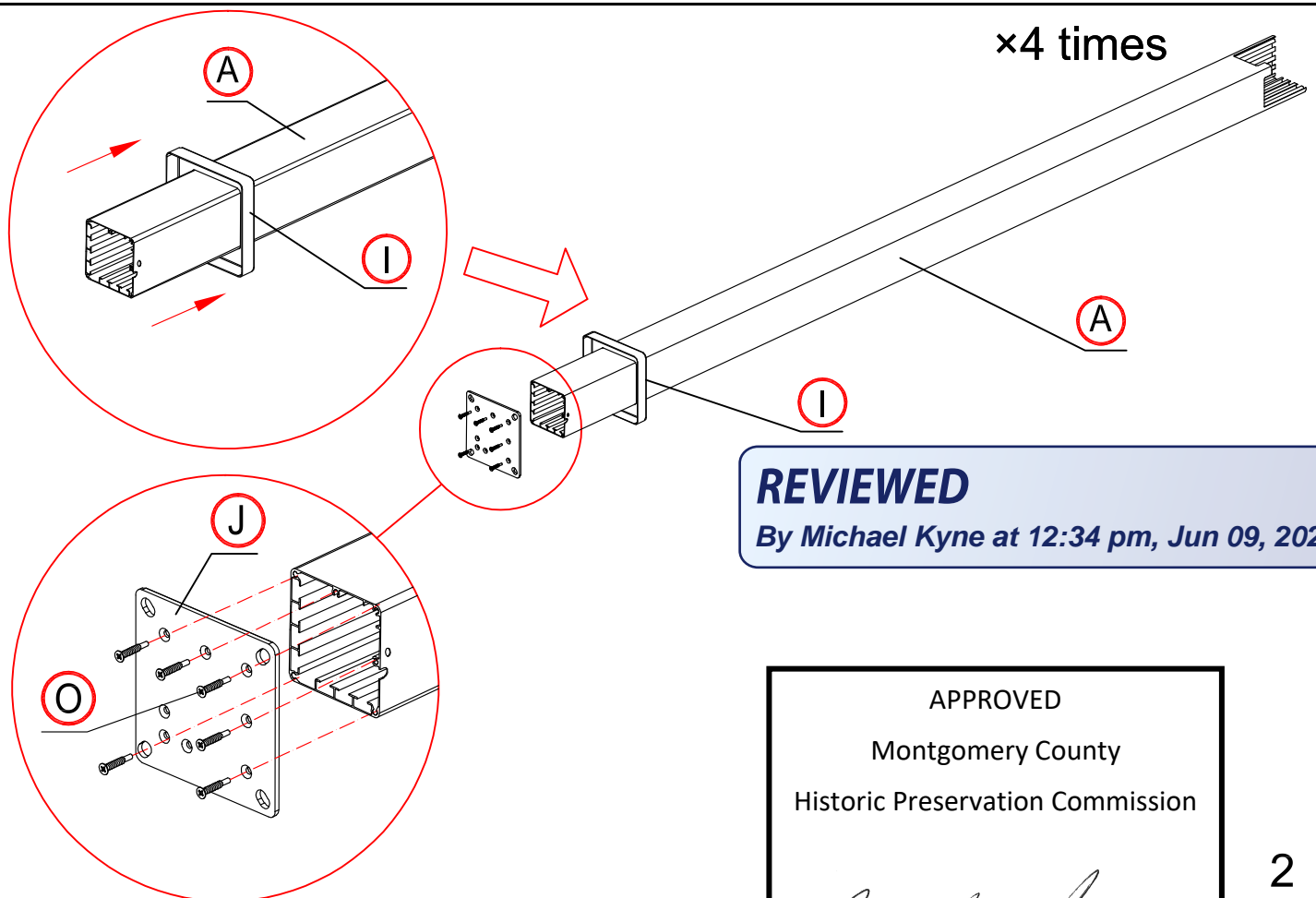


Electric screw driver



Ladder

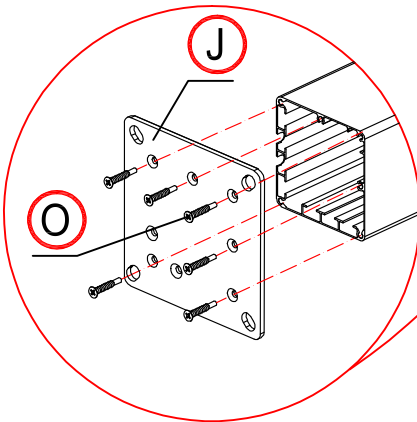
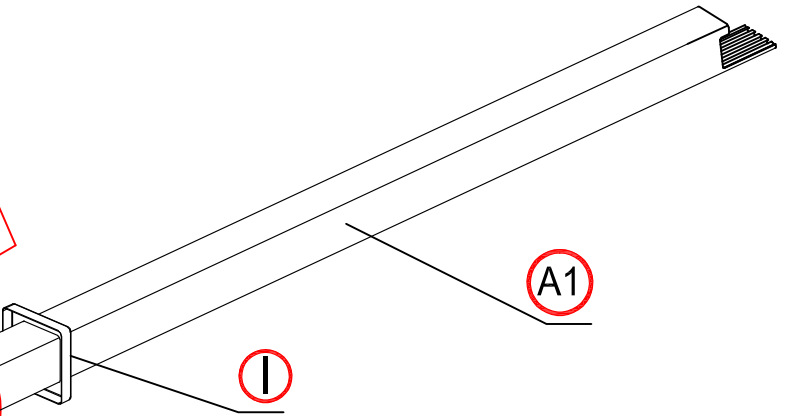
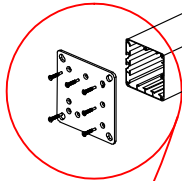
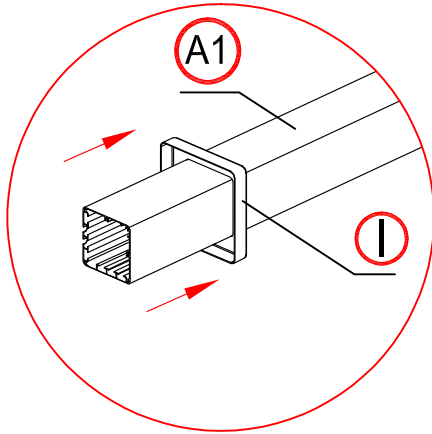
1



4

2

×2 times



REVIEWED

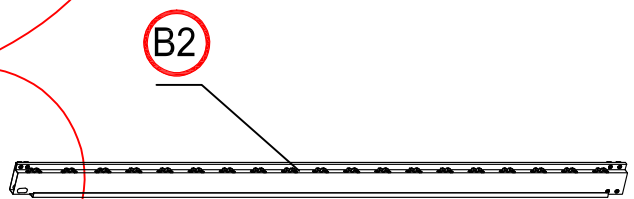
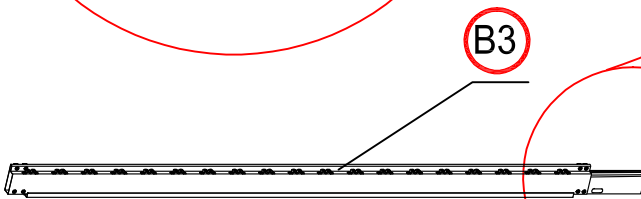
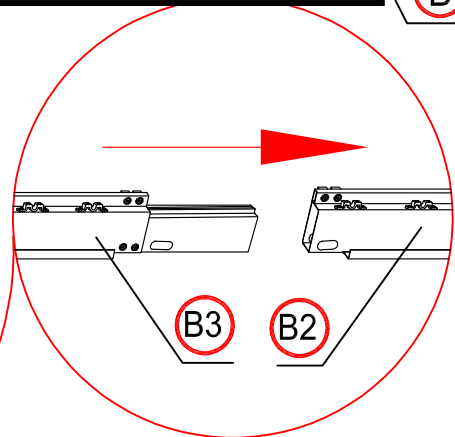
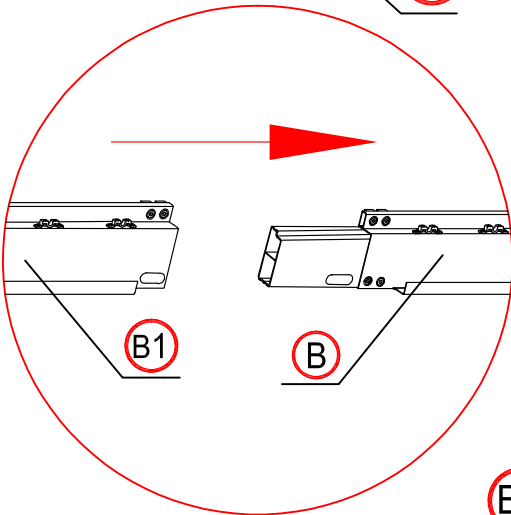
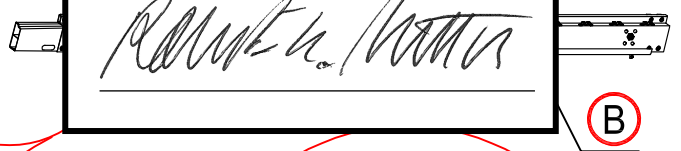
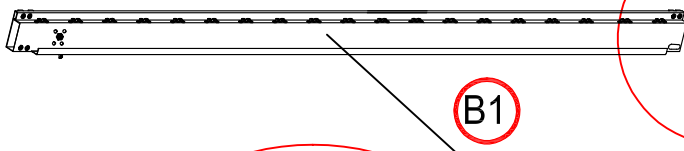
By Michael Kyne at 12:34 pm, Jun 09, 2023

APPROVED

Montgomery County

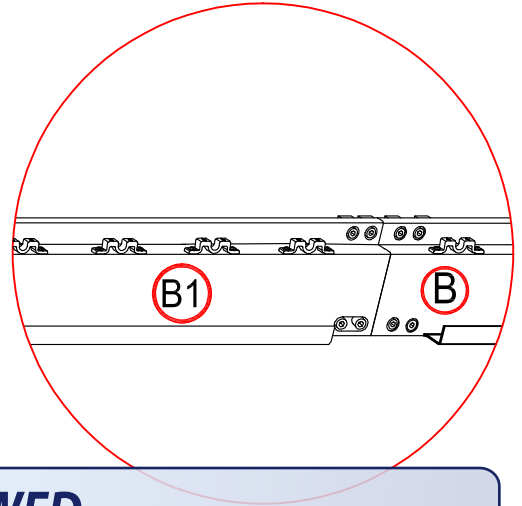
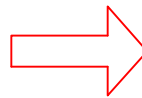
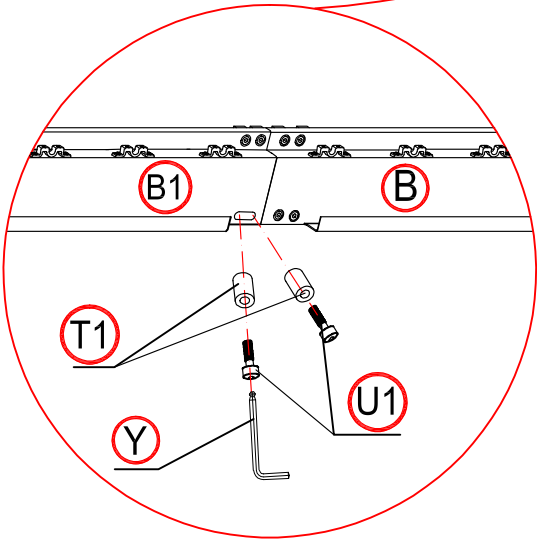
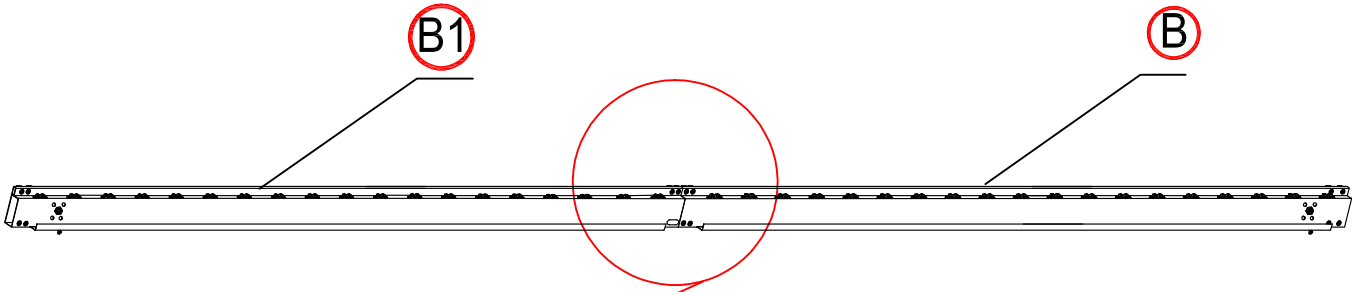
Historic Preservation Commission

3



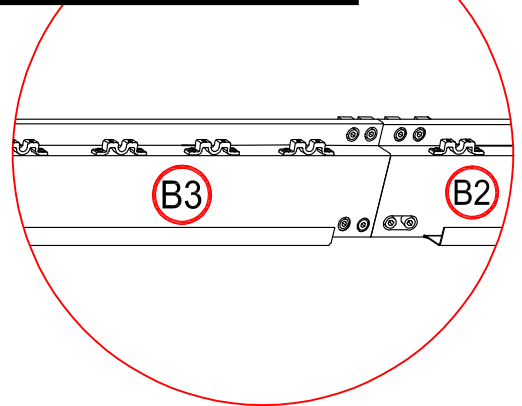
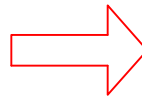
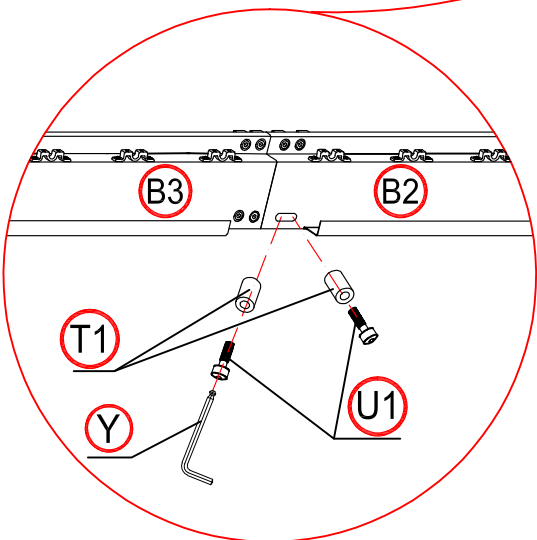
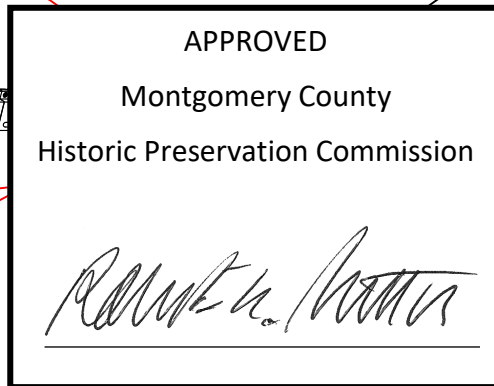
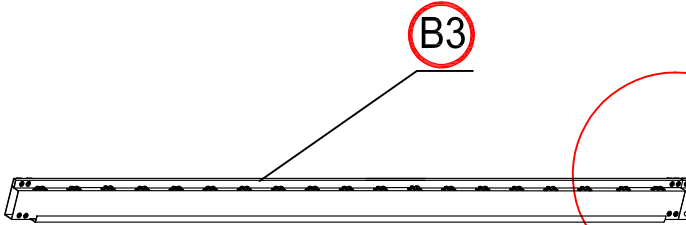
4

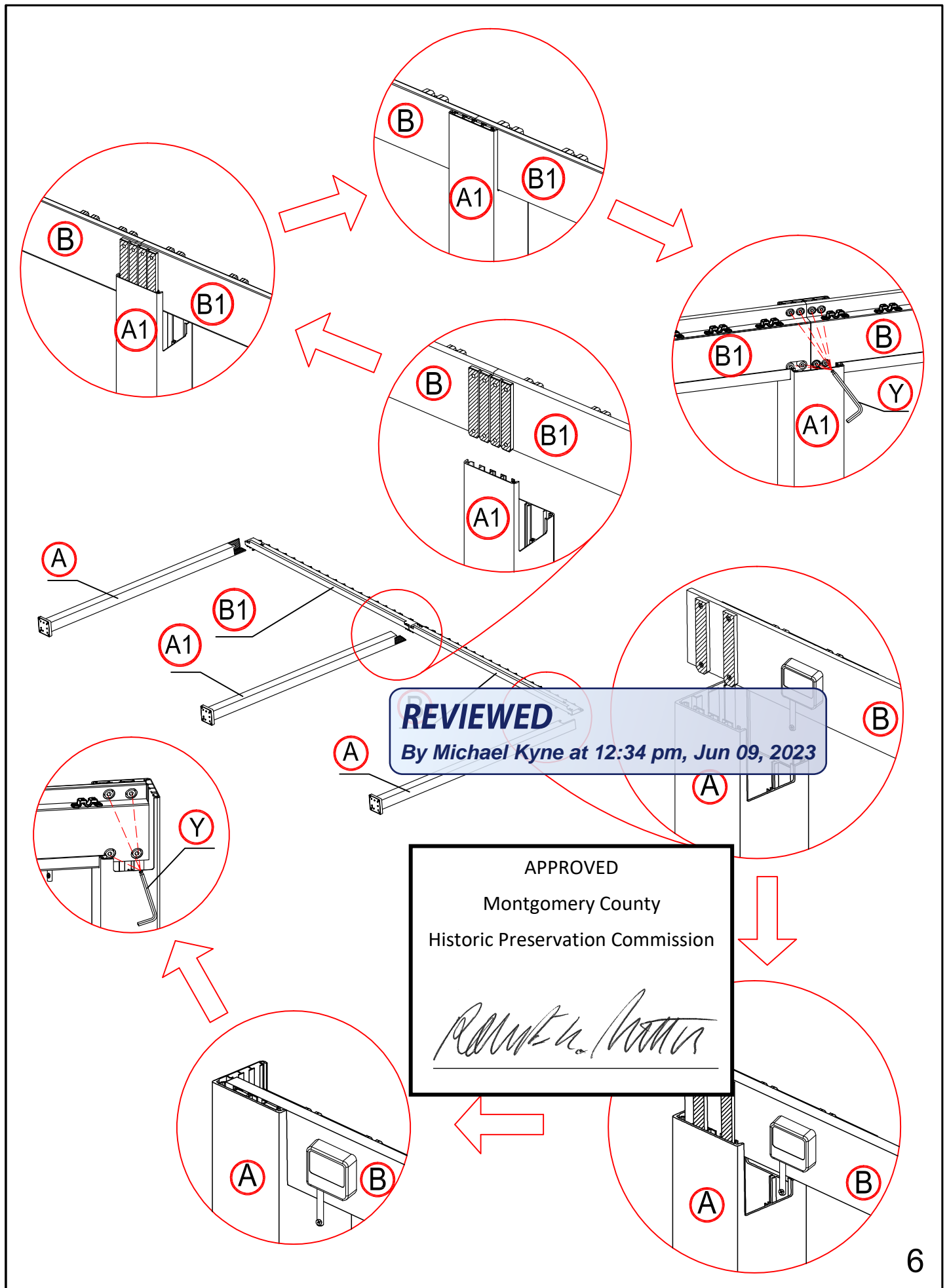
5

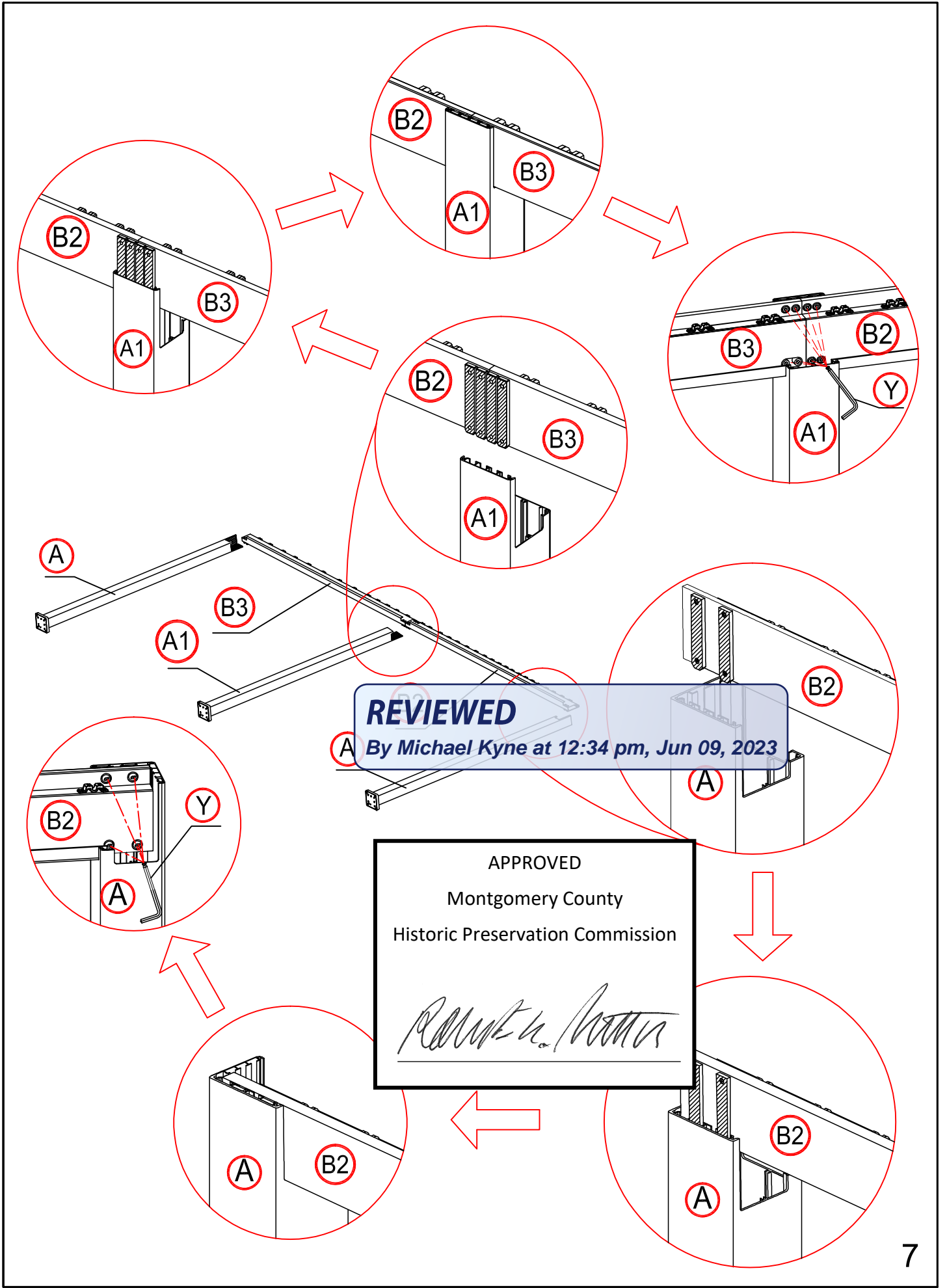


REVIEWED

By Michael Kyne at 12:34 pm, Jun 09, 2023

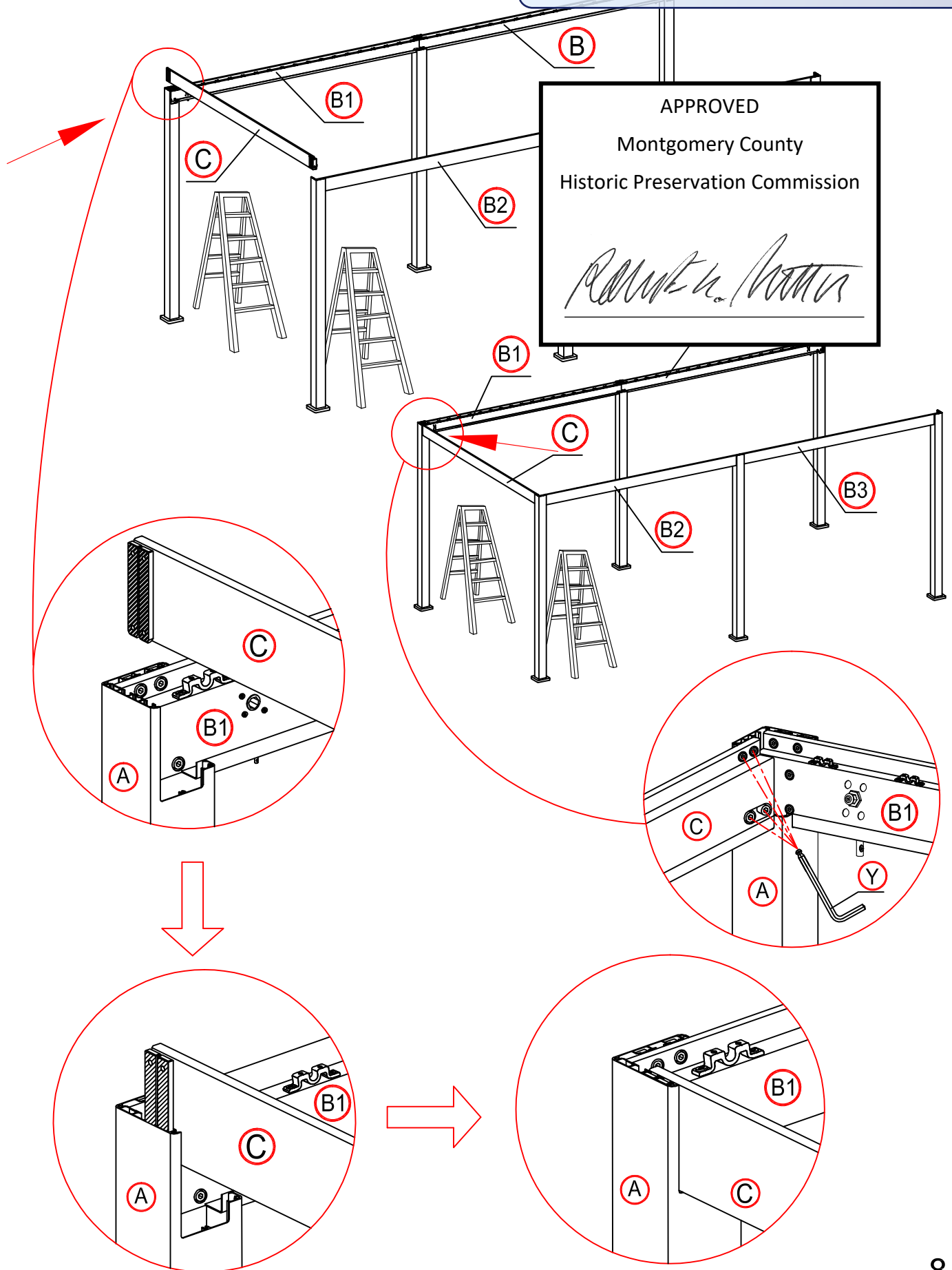


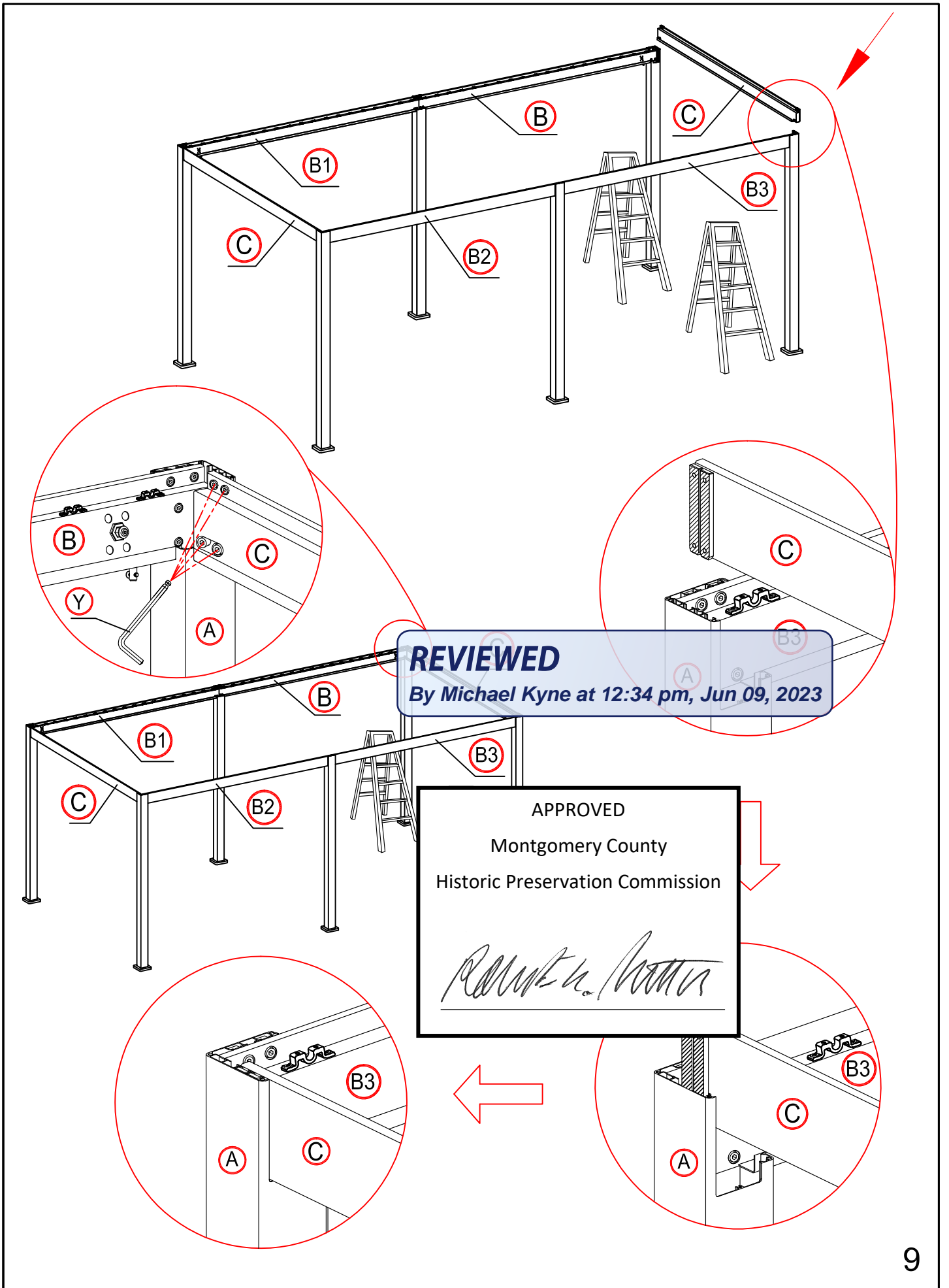


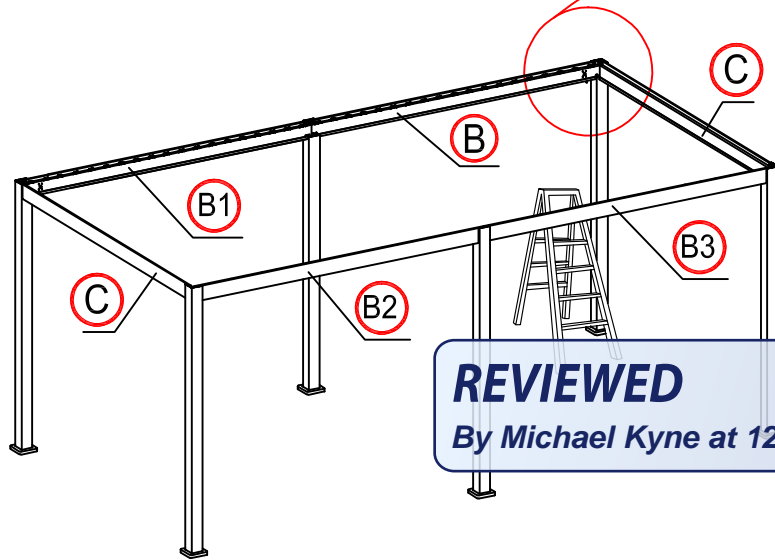


REVIEWED

By Michael Kyne at 12:34 pm, Jun 09, 2023

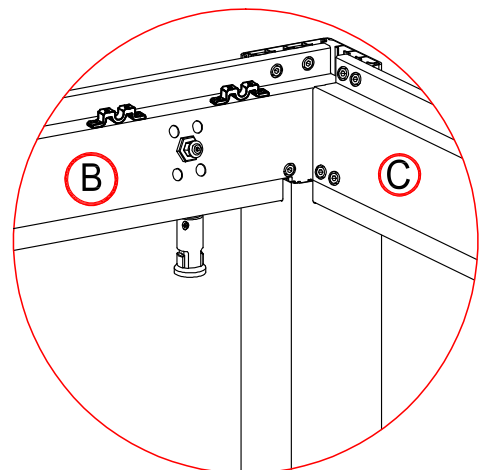
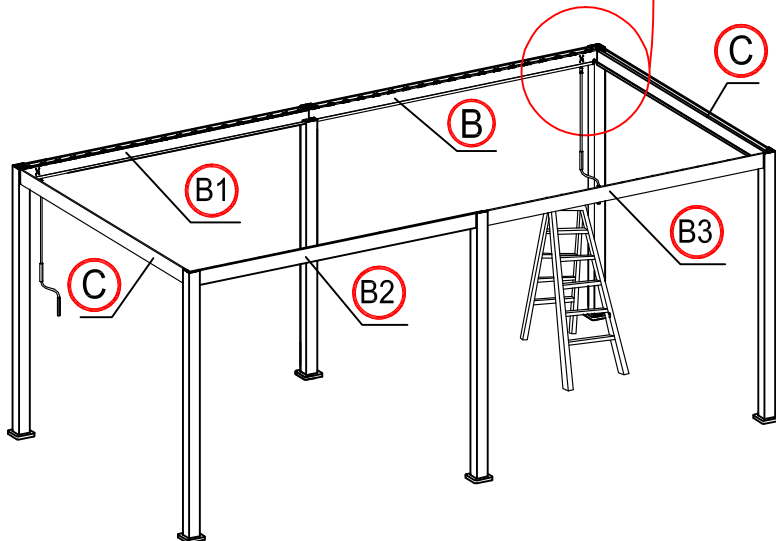
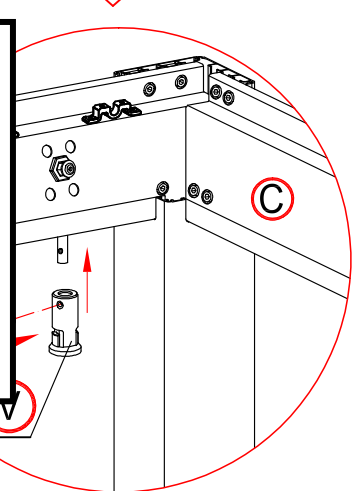
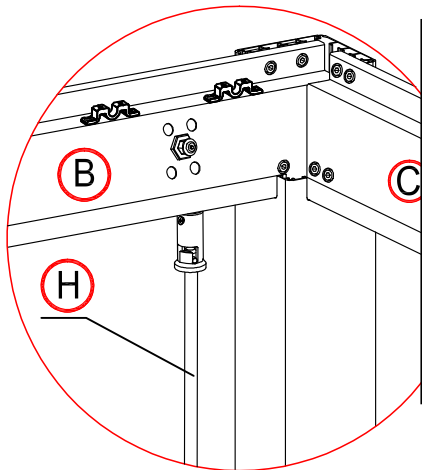
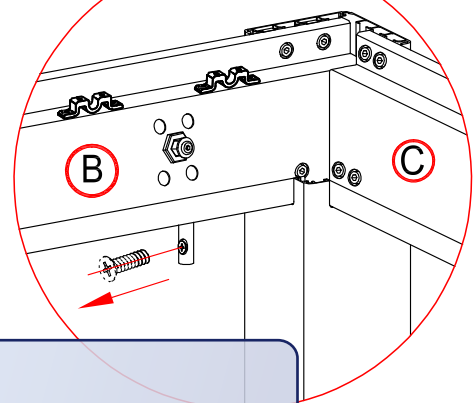






REVIEWED

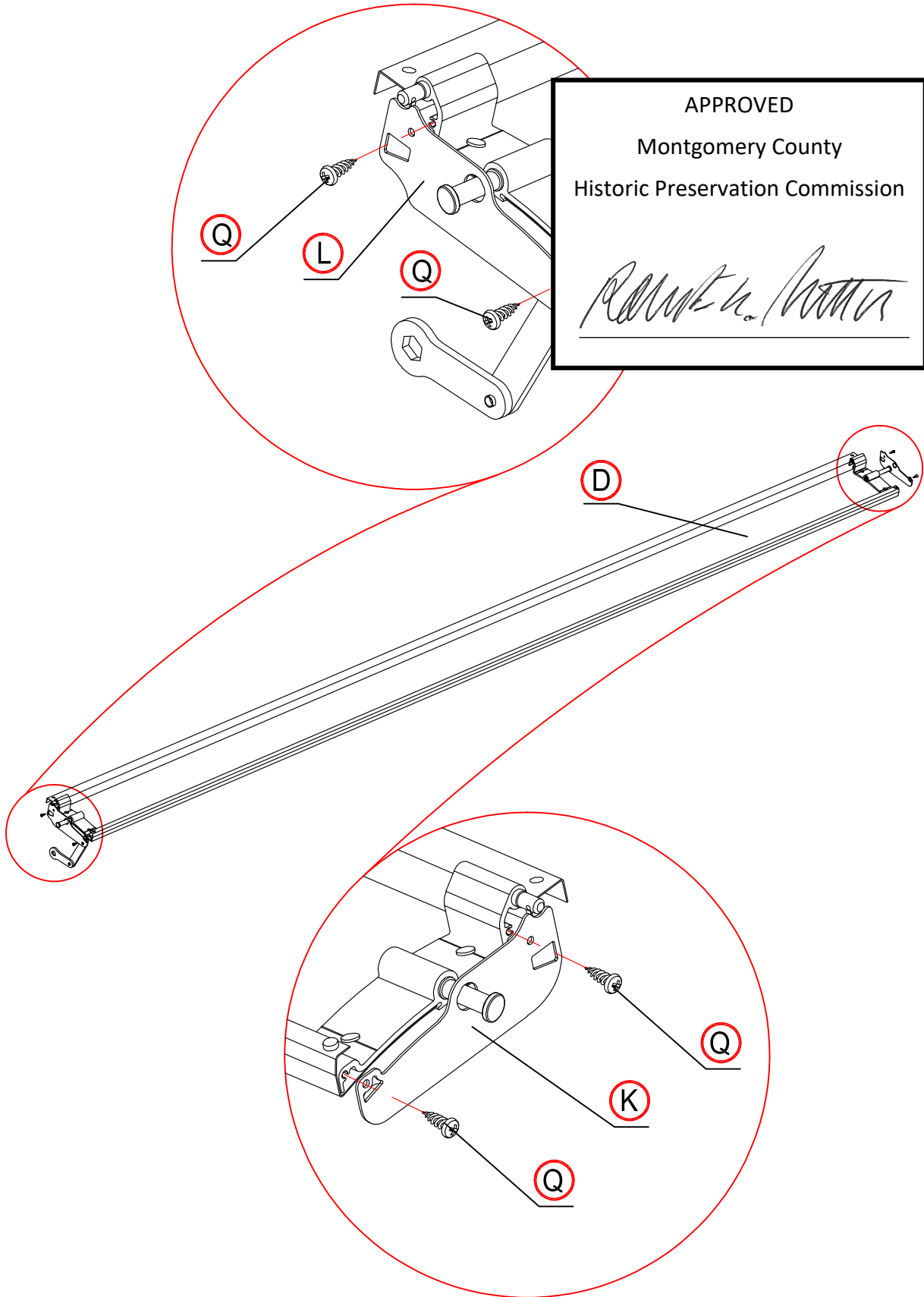
By Michael Kyne at 12:34 pm, Jun 09, 2023



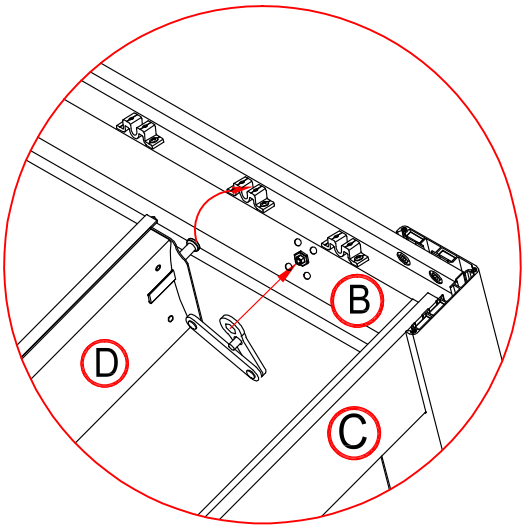
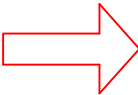
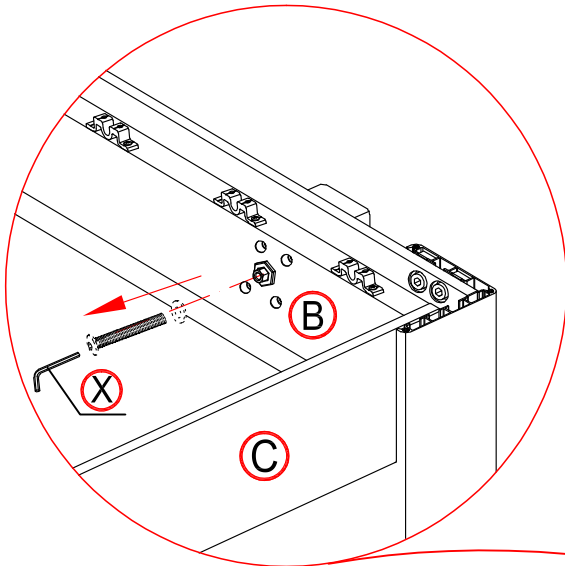
×2 times

REVIEWED

By Michael Kyne at 12:34 pm, Jun 09, 2023

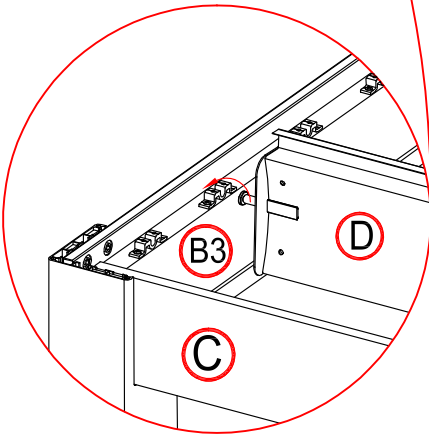
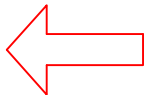
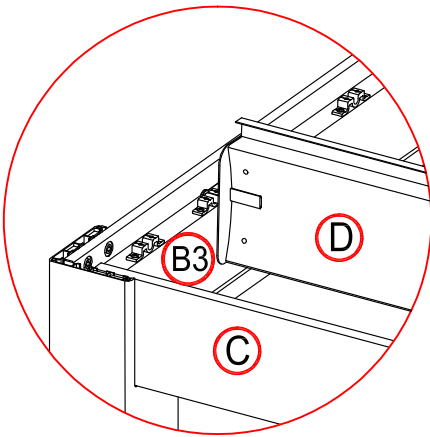
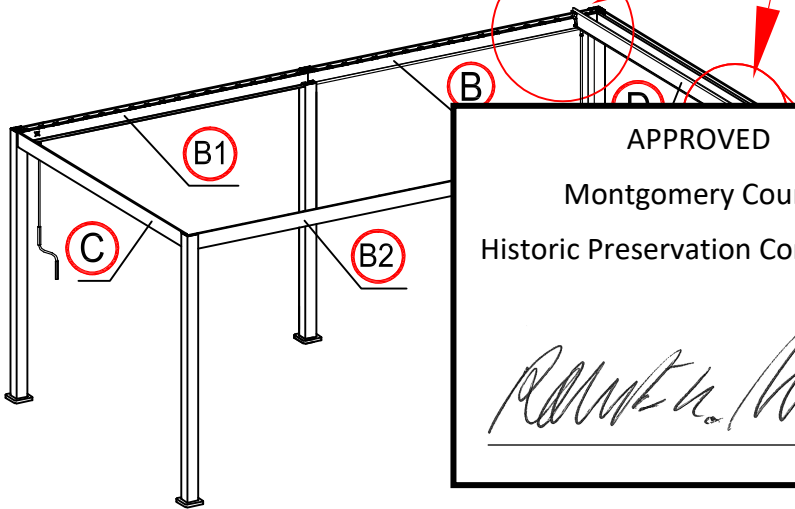


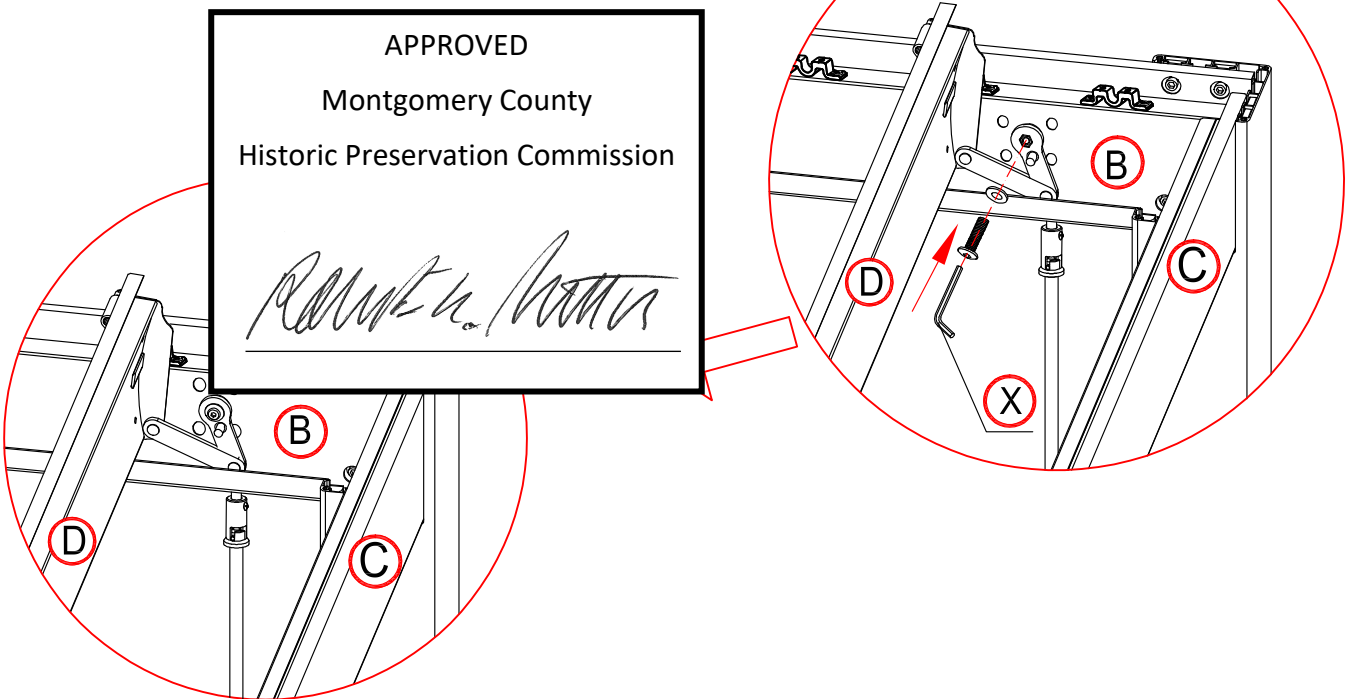
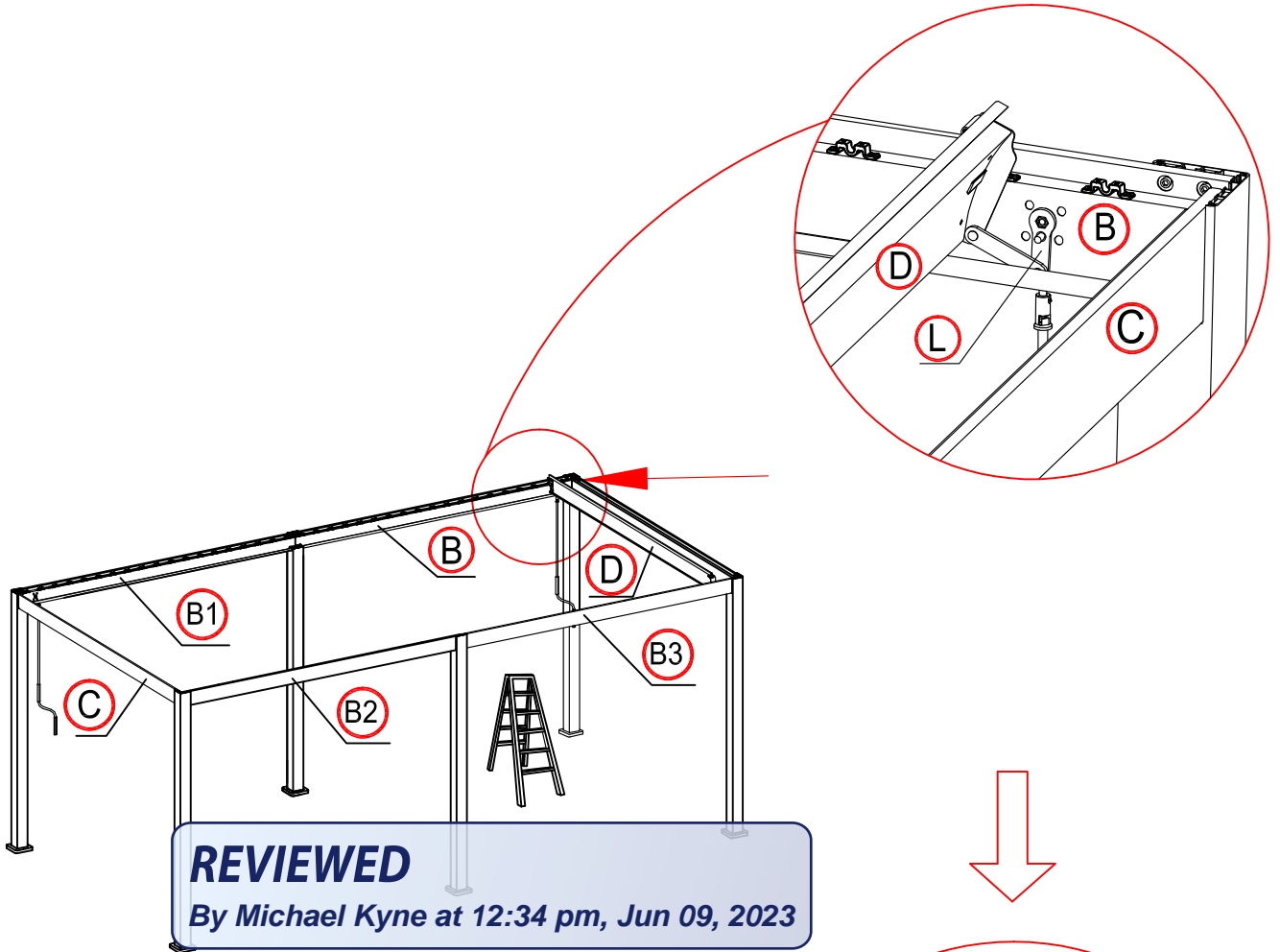
Assemble the second slice to the right.

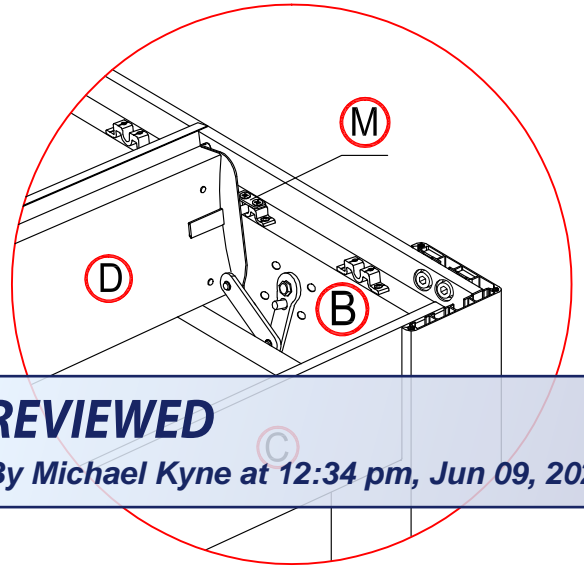
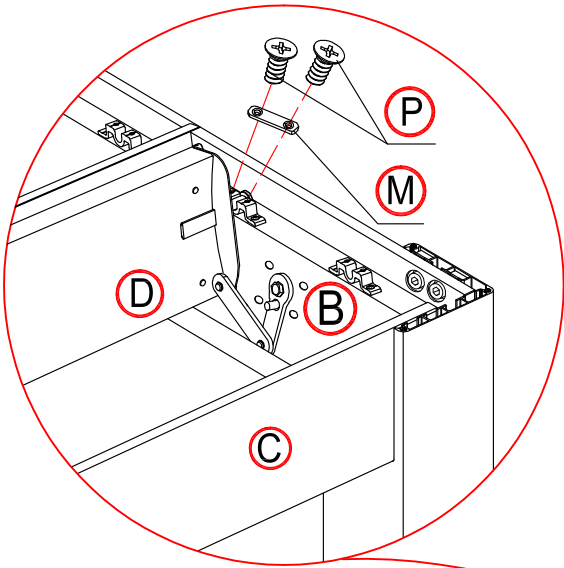


REVIEWED

By Michael Kyne at 12:34 pm, Jun 09, 2023

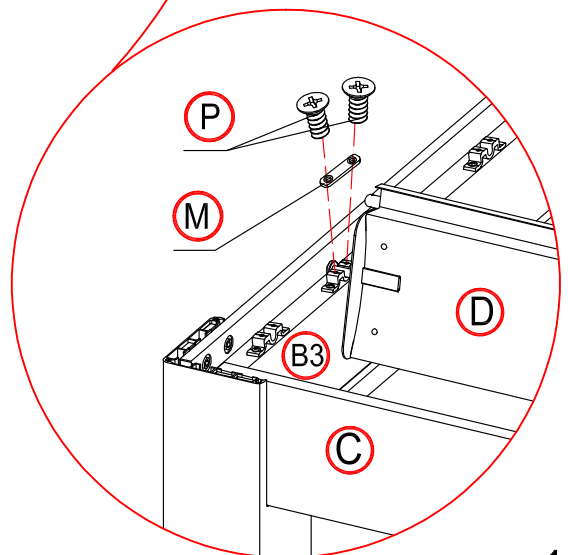
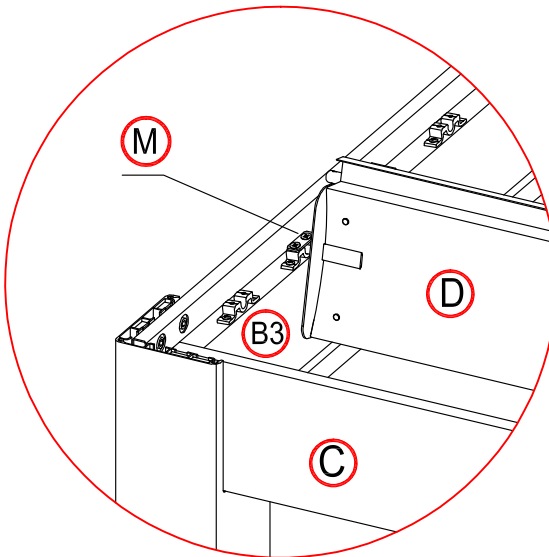
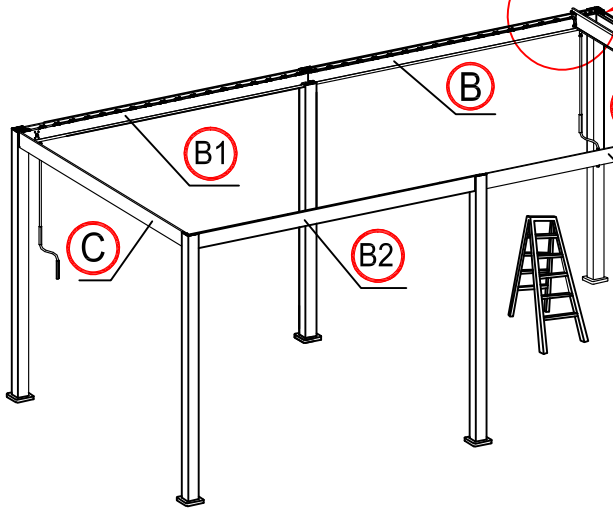




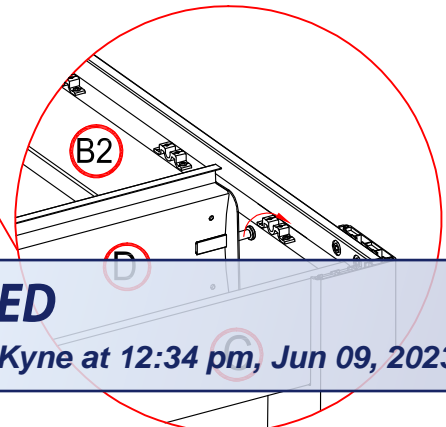
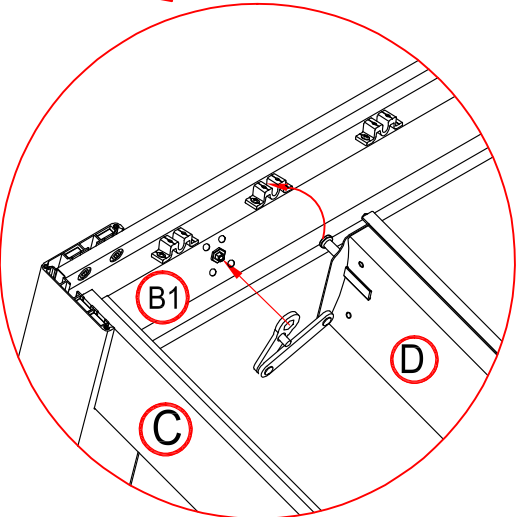
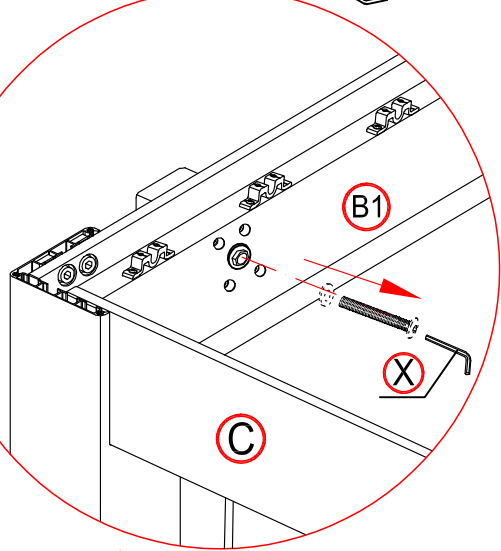
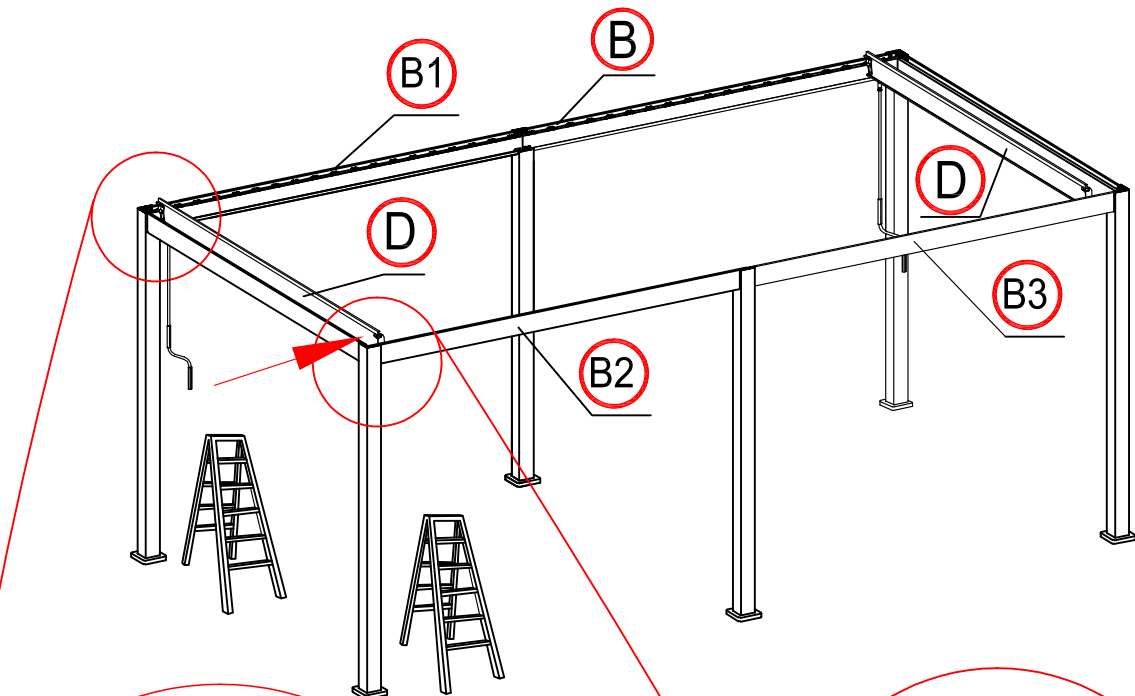


REVIEWED

By Michael Kyne at 12:34 pm, Jun 09, 2023

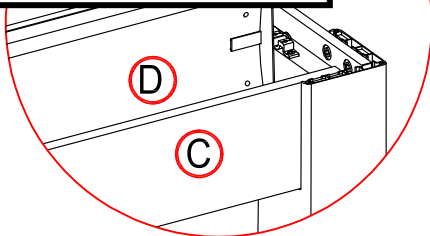


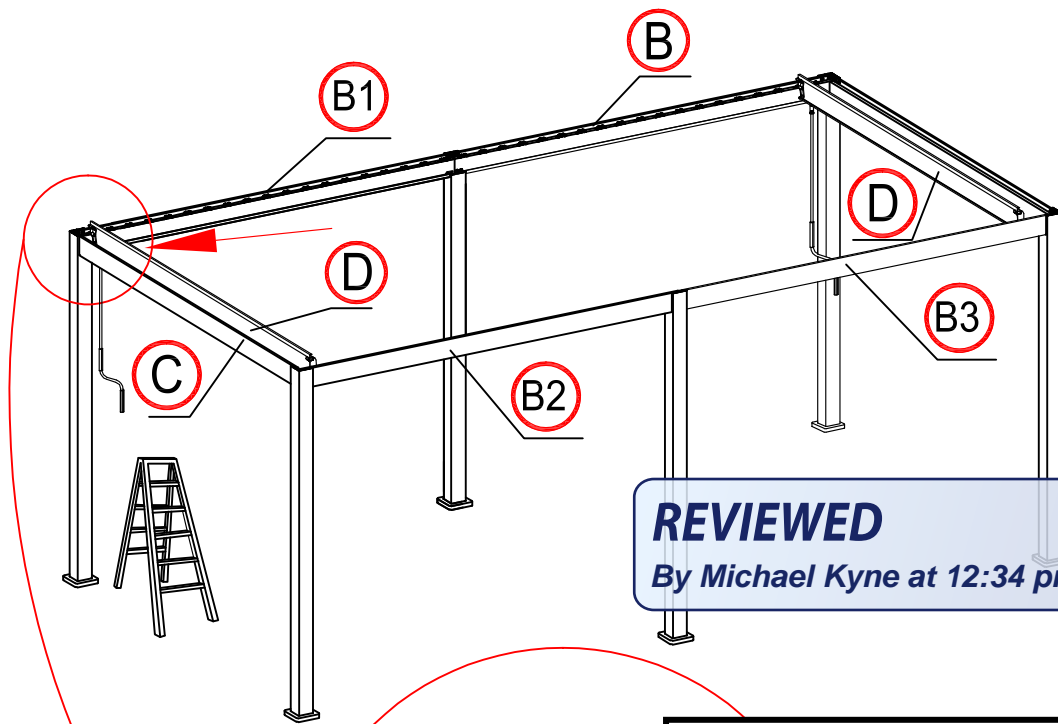
Assemble the first slice to the left.



REVIEWED
By Michael Kyne at 12:34 pm, Jun 09, 2023

APPROVED
Montgomery County
Historic Preservation Commission



REVIEWED

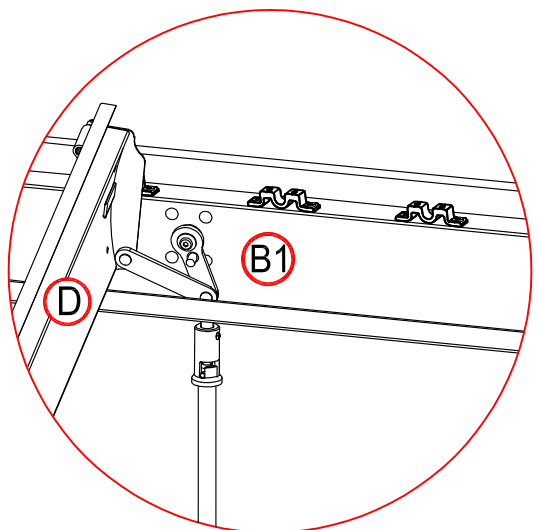
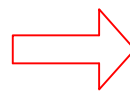
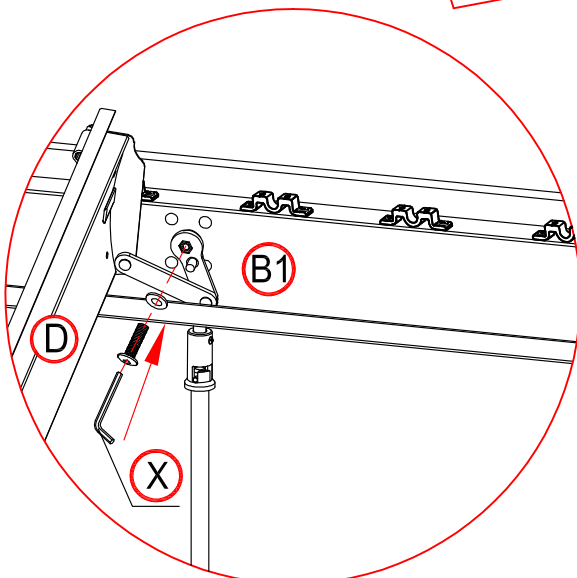
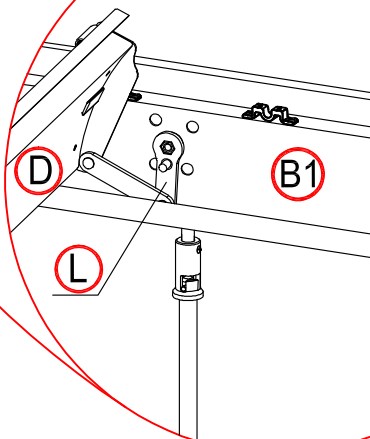
By Michael Kyne at 12:34 pm, Jun 09, 2023

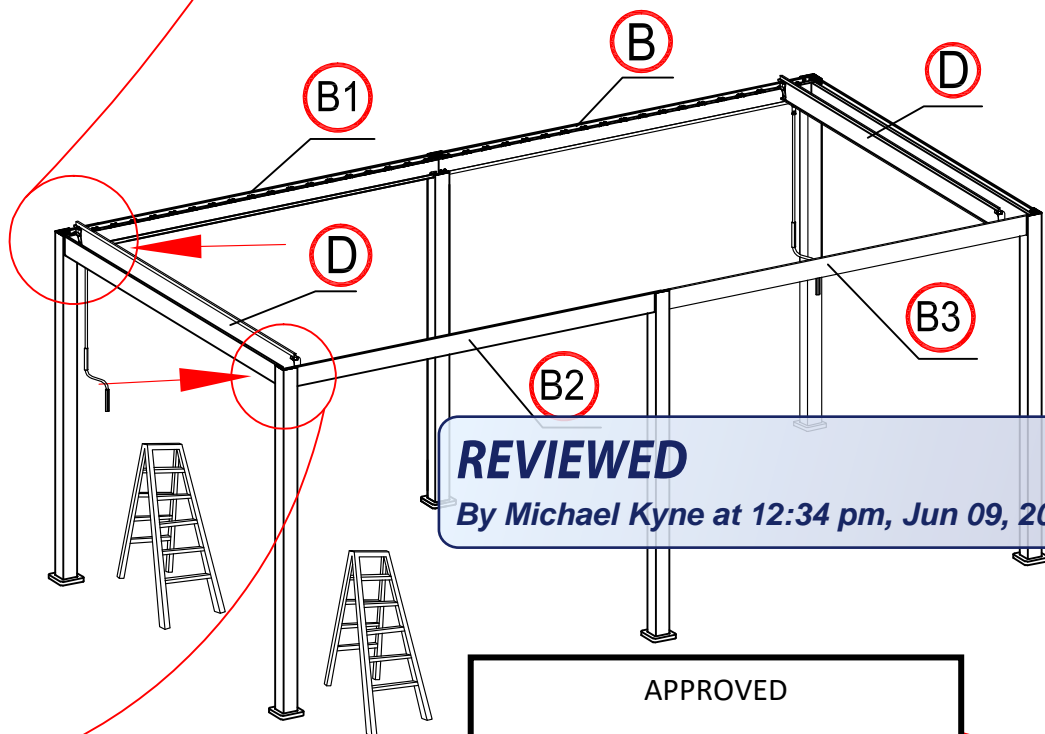
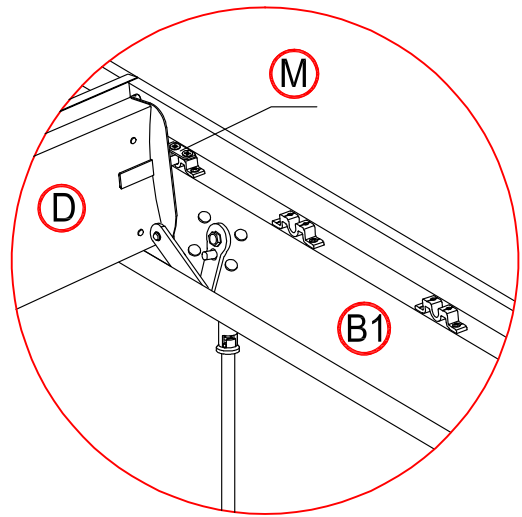
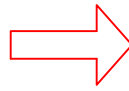
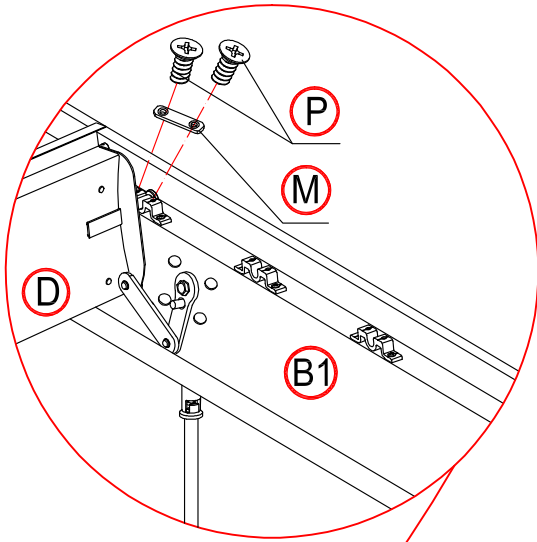
APPROVED

Montgomery County

Historic Preservation Commission

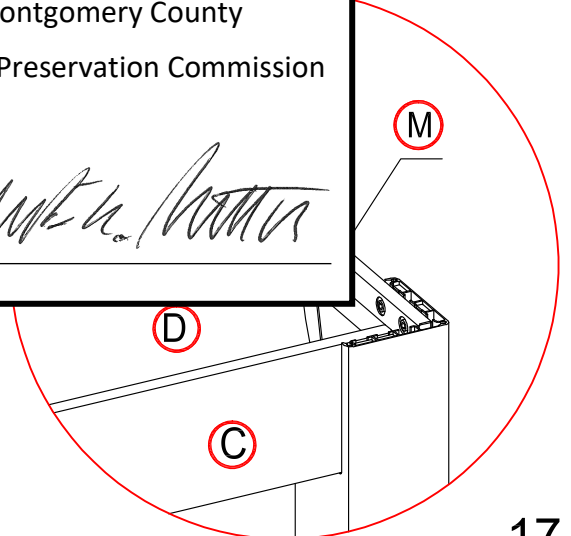
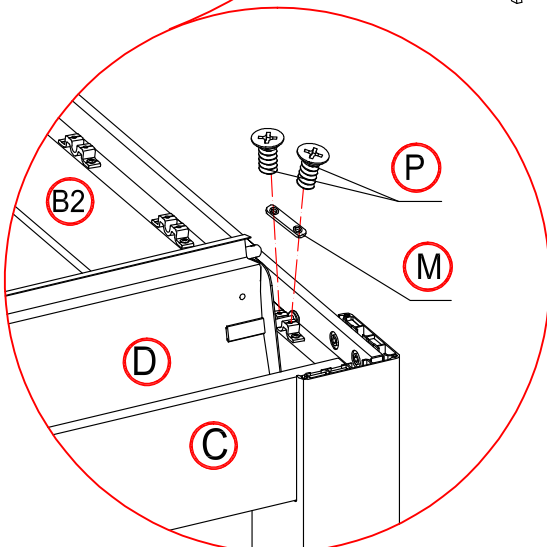
Ronald L. Patton



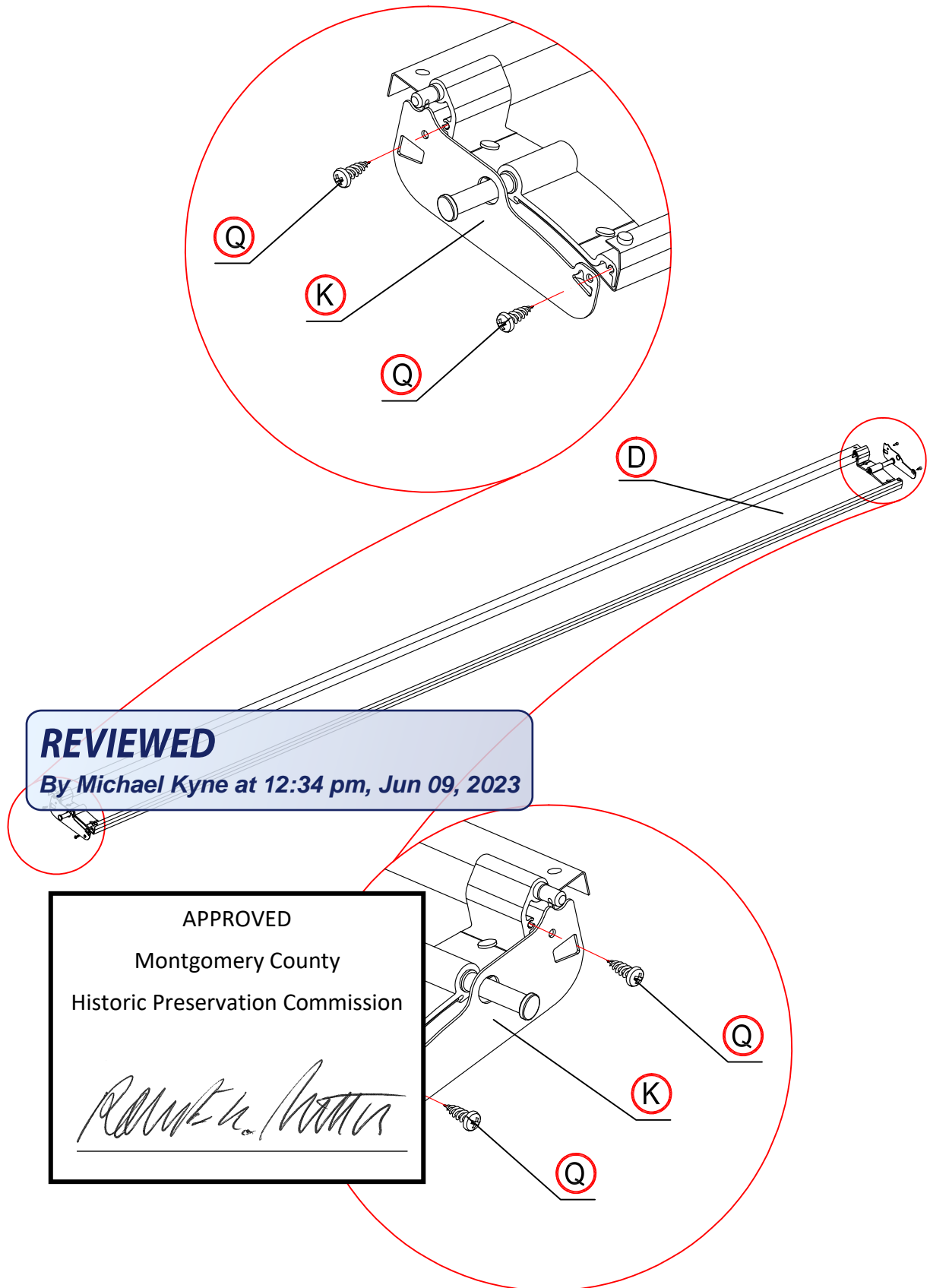


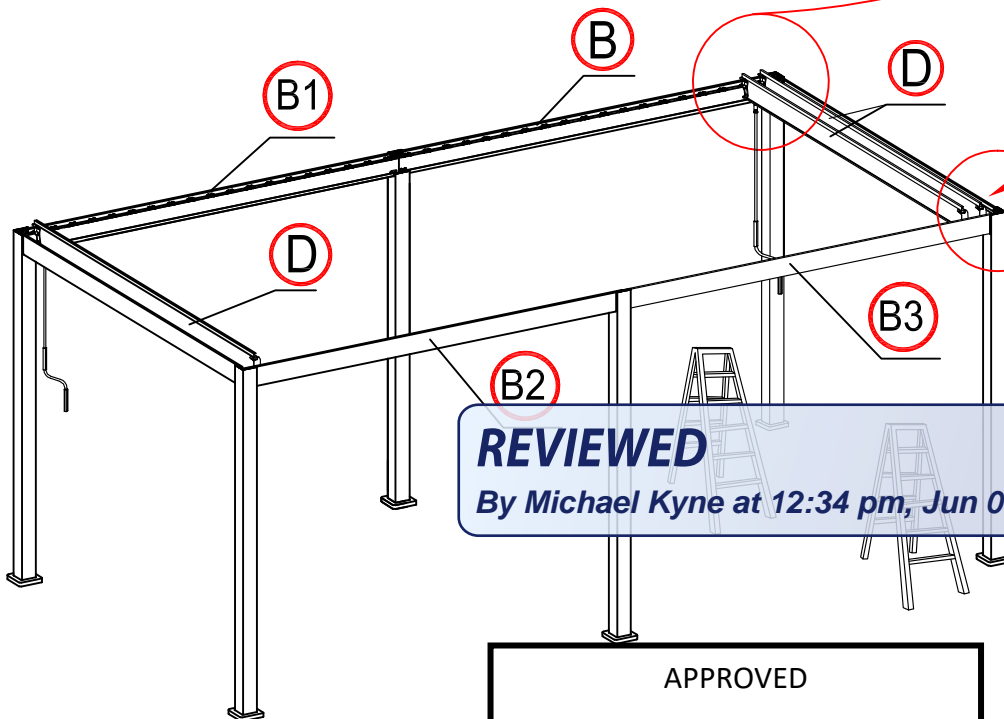
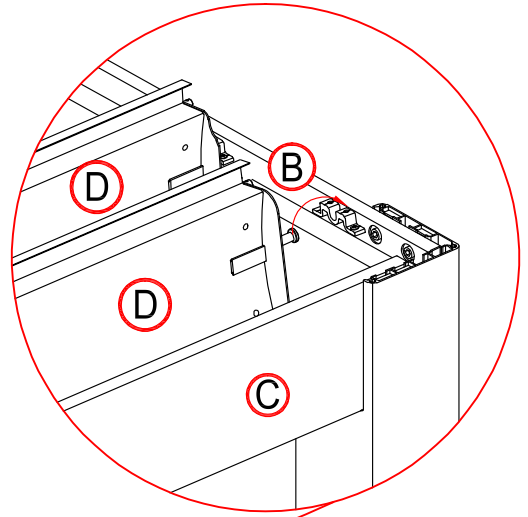
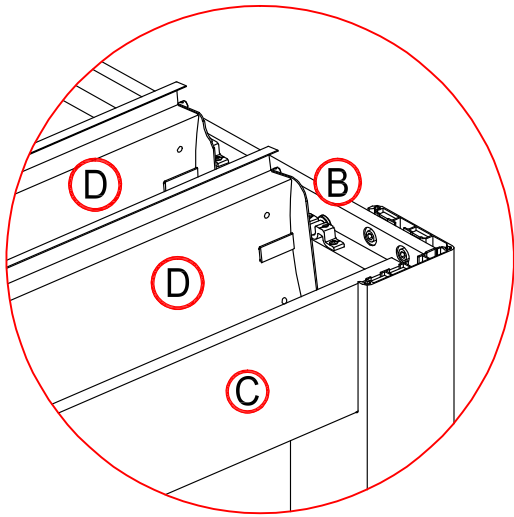
REVIEWED

By Michael Kyne at 12:34 pm, Jun 09, 2023



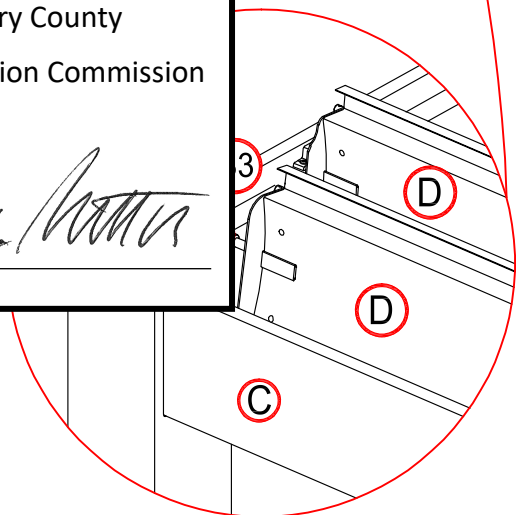
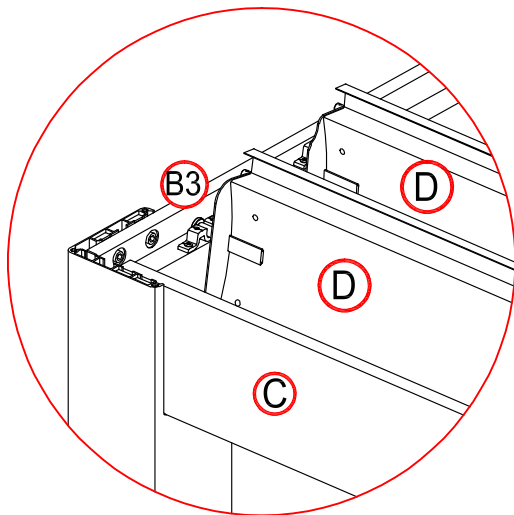
×36 times

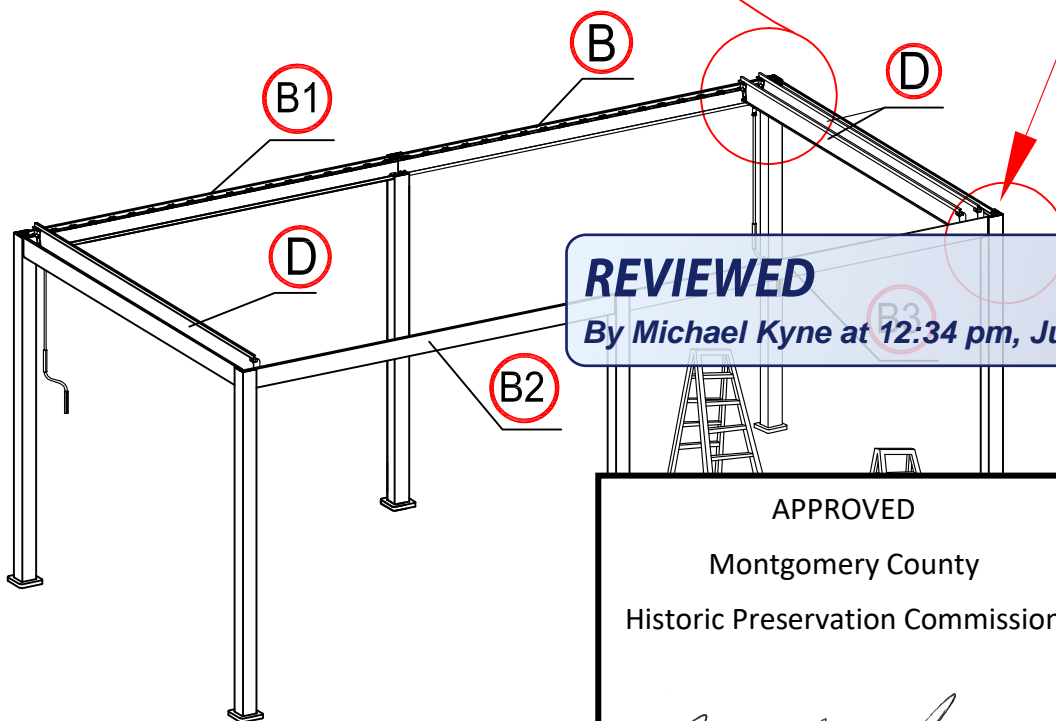
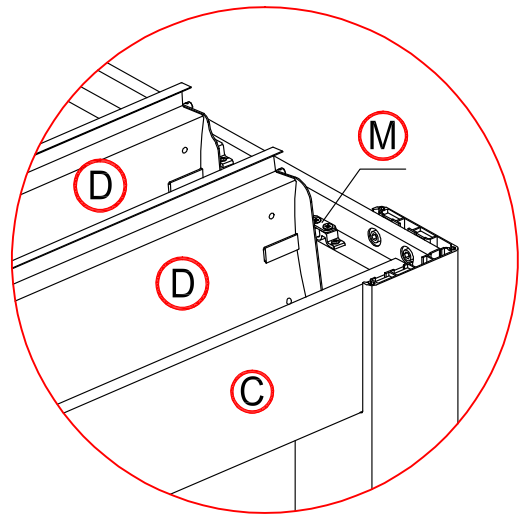
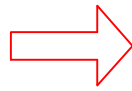
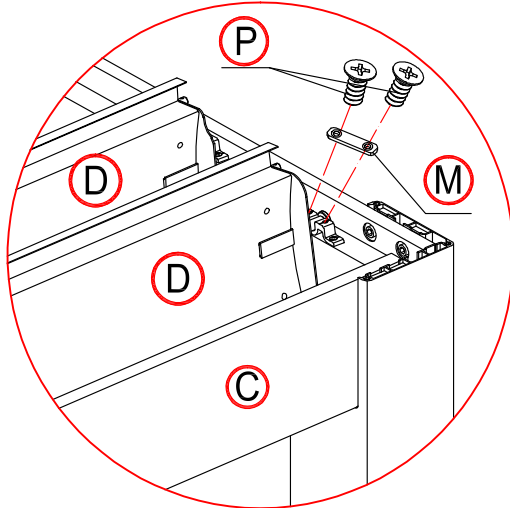




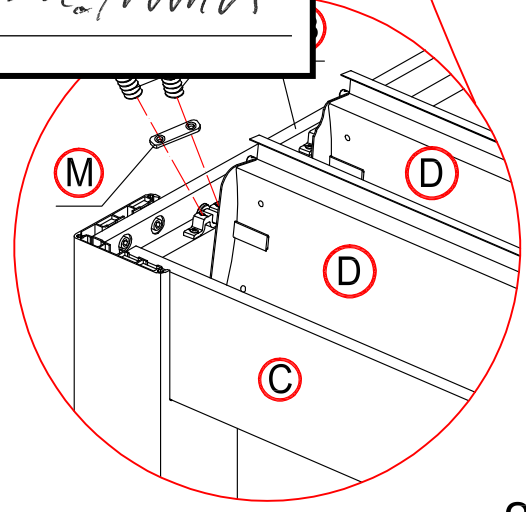
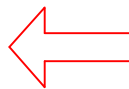
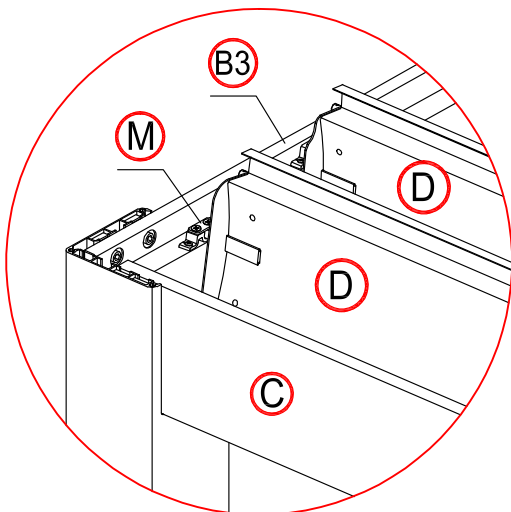
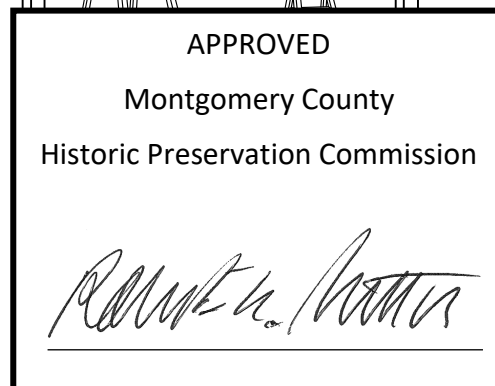
REVIEWED
By Michael Kyne at 12:34 pm, Jun 09, 2023

APPROVED
Montgomery County
Historic Preservation Commission

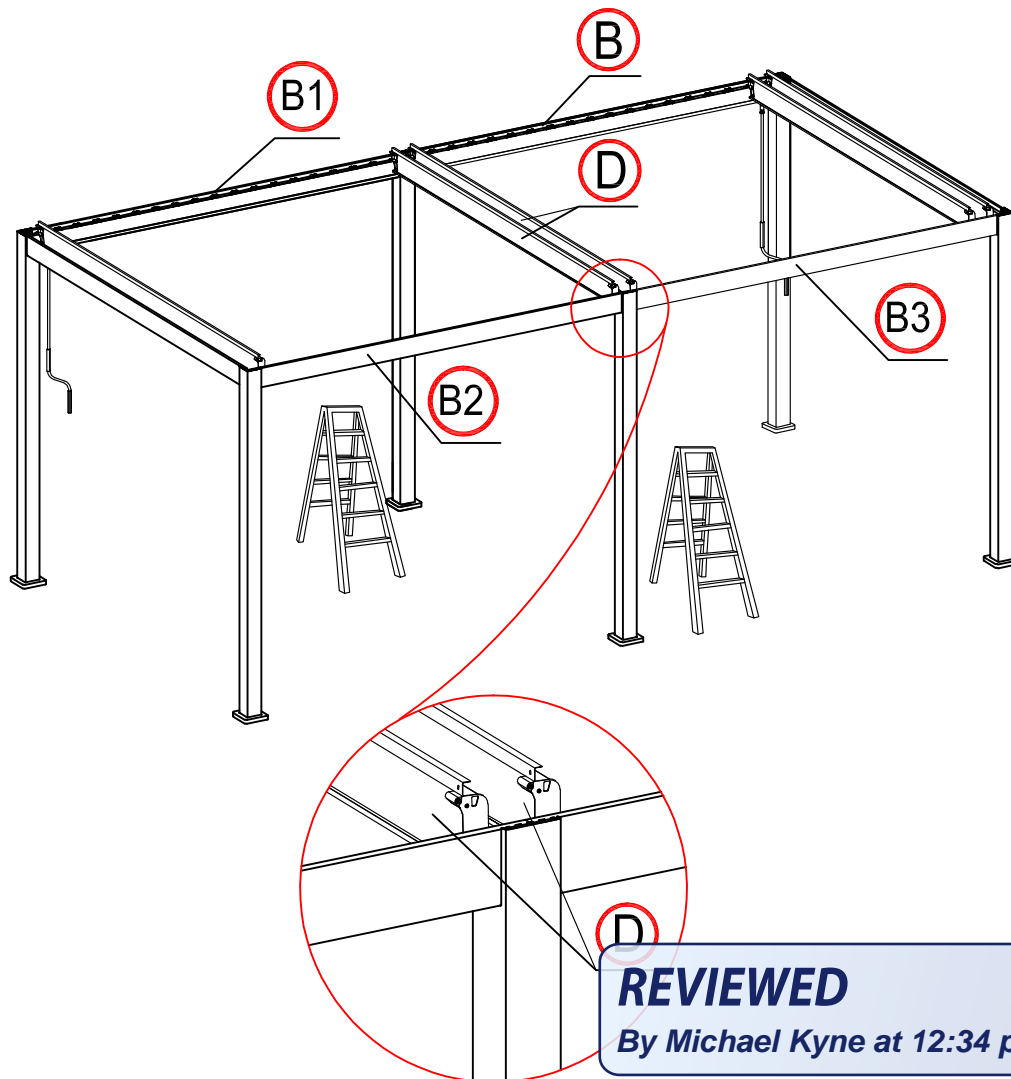




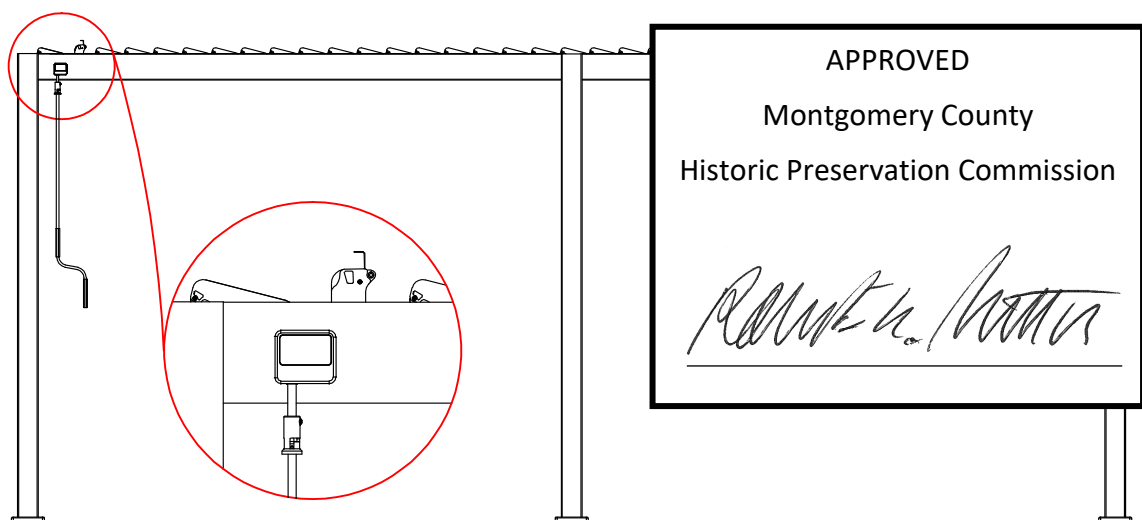
REVIEWED
By Michael Kyne at 12:34 pm, Jun 09, 2023

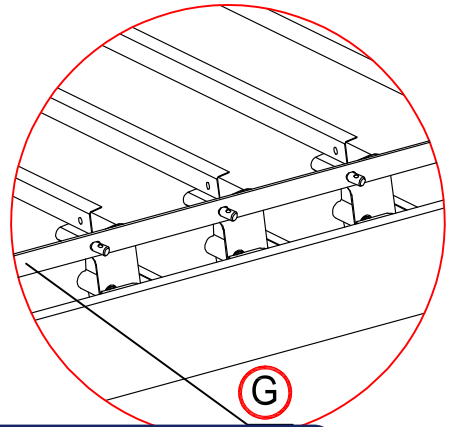
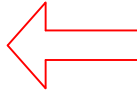
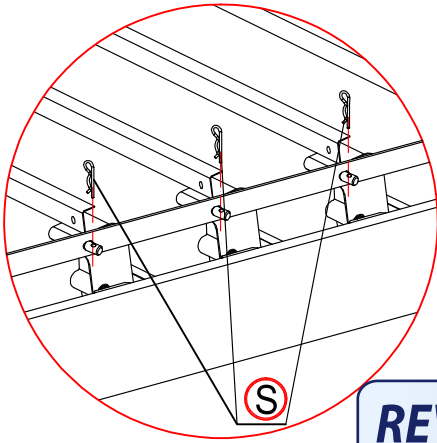


Please install the middle two shutter first.



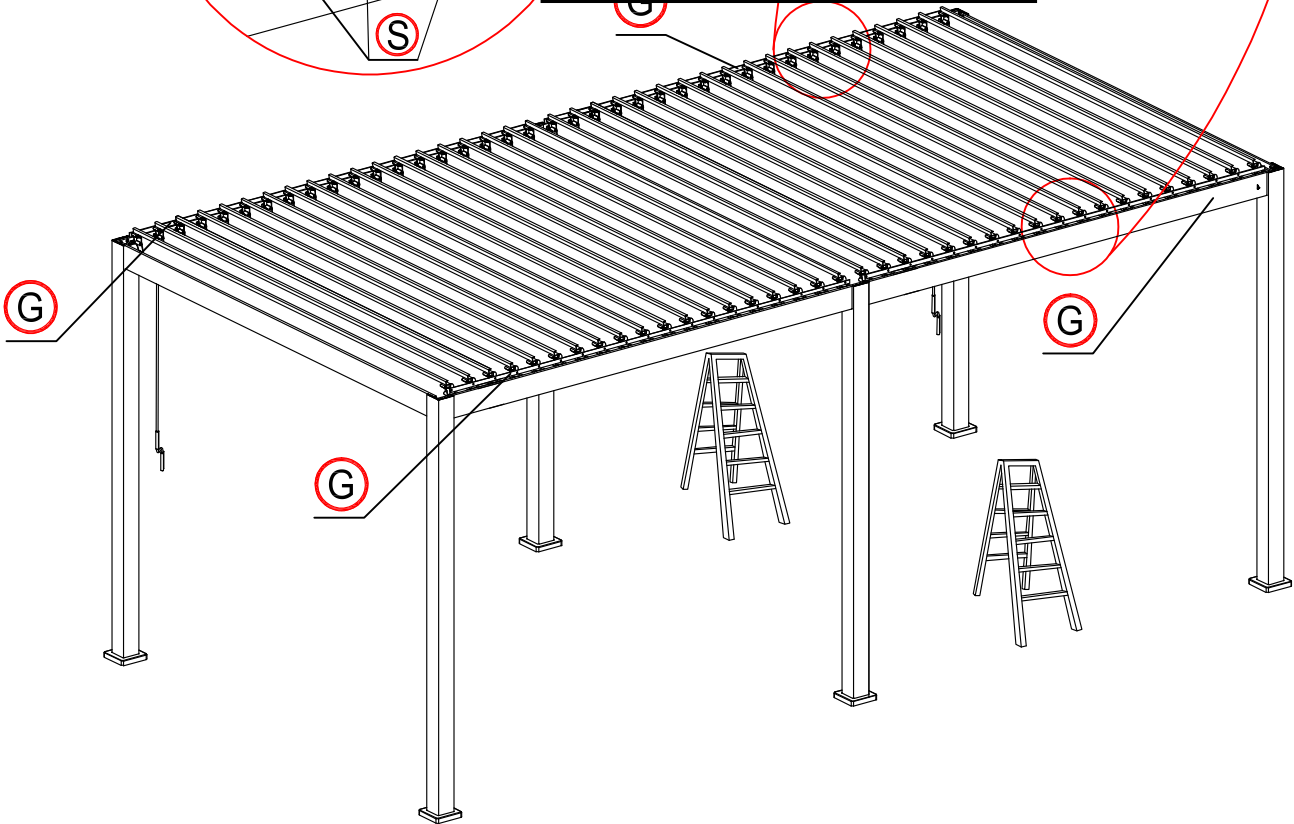
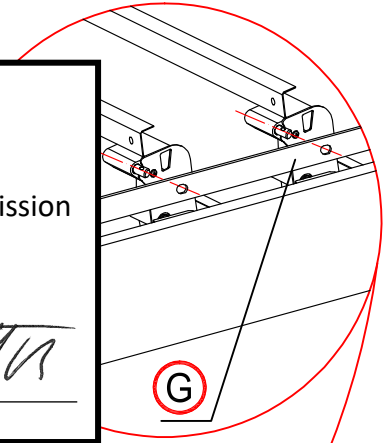
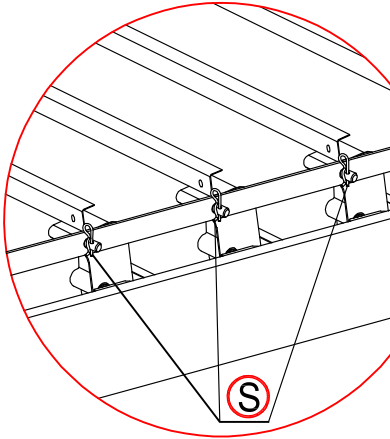
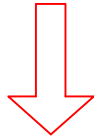
Make the shutter as vertical.



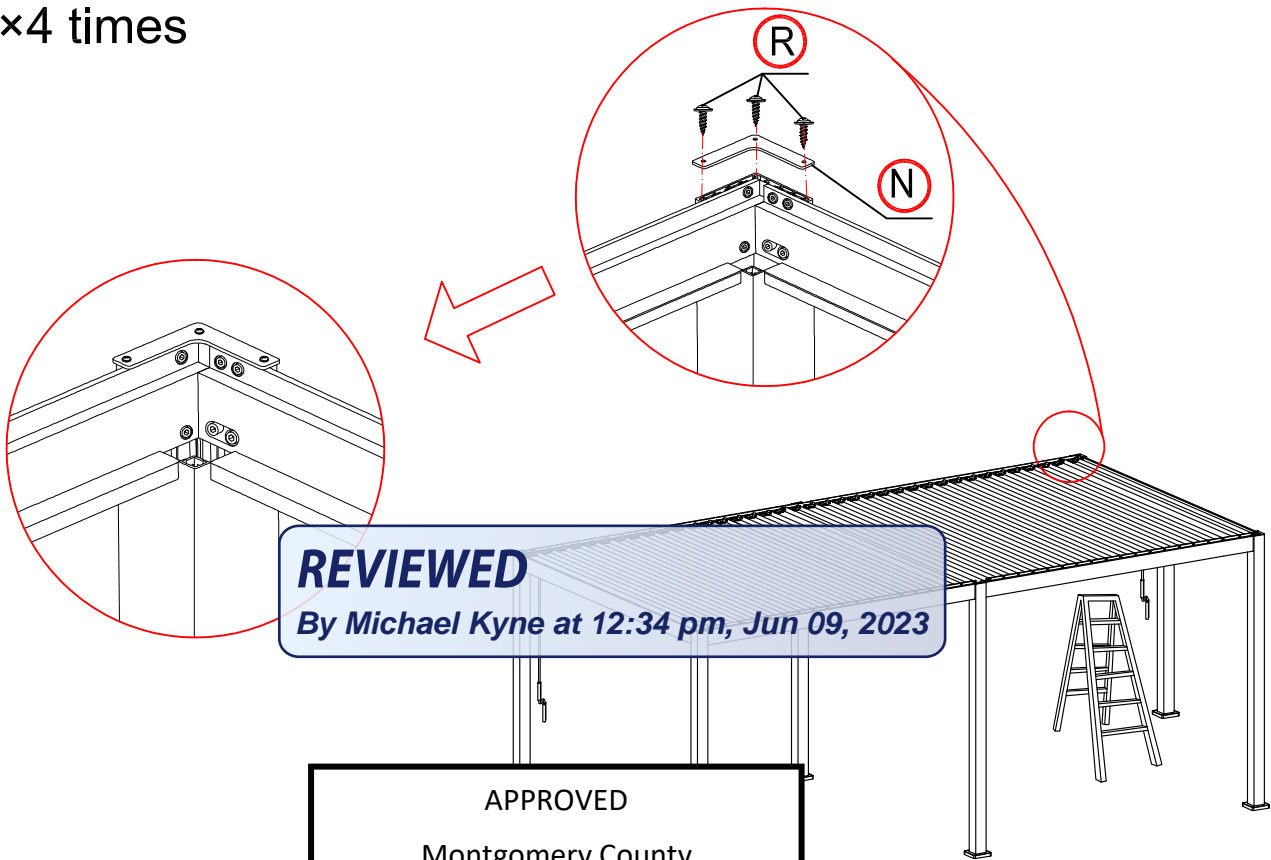


REVIEWED

By Michael Kyne at 12:34 pm, Jun 09, 2023

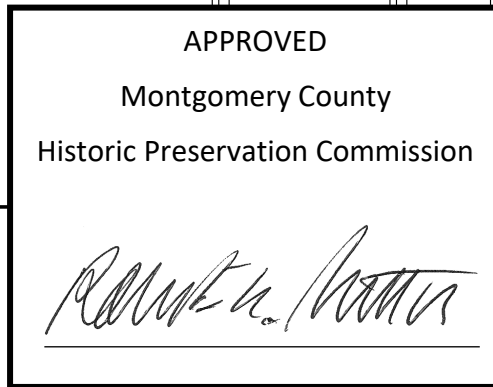


×4 times

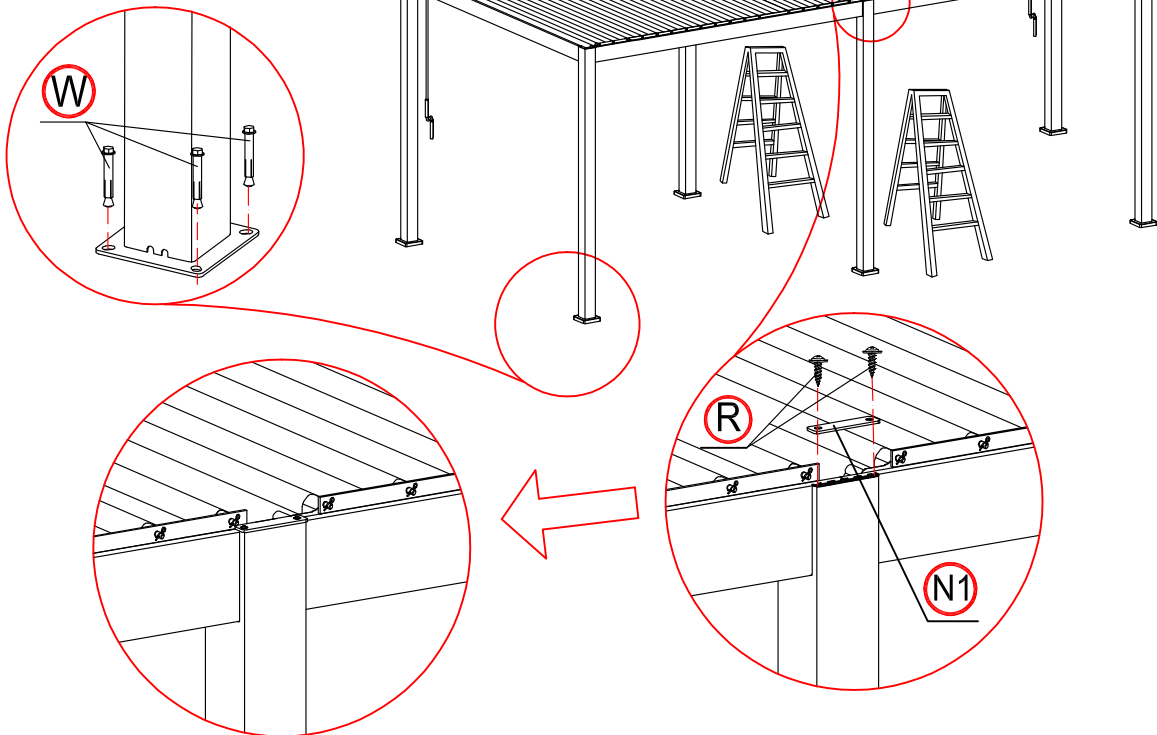


REVIEWED

By Michael Kyne at 12:34 pm, Jun 09, 2023

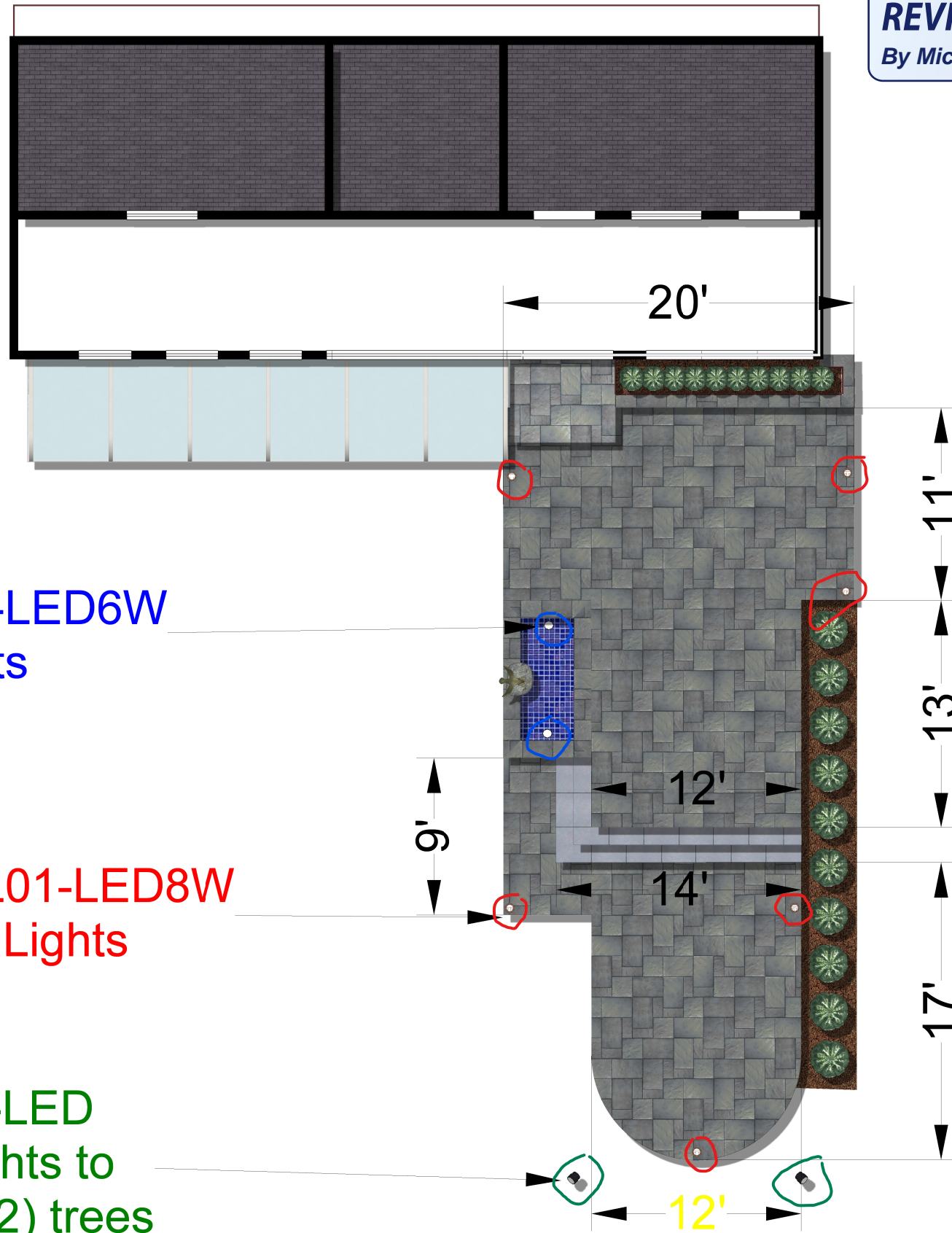


23



24





(2) UL100-LED6W
Pond Lights

(6) CGWL01-LED8W
In-Gound Lights

(2) BL50-LED
Bullet Lights to
Up light (2) trees

REVIEWED
By Michael Kyne at 12:42 pm, Jun 09, 2023

APPROVED
Montgomery County
Historic Preservation Commission




11119 Pulaski Highway
White Marsh, MD 21162
Office: (410) 679-1683
www.sbclandscaping.com
sbclandscaping@gmail.com

SBC Outdoor Services LLC's designs, thoughts, and details, are the properties of SBC and may not be used, reproduced, copied or manipulated in any manner without the prior written consent of the owners.
The designed images shown are for illustration purposes only and may not be an exact representation of the product.

BODNER/EMMETT RESIDENCE

26 Quincy St.
Chevy Chase, MD 20815
phone: (301) 379-4200
email: lee@bodner.net

Revision / Issue	Date
Initial Plan	3/24/23

HARDSCAPE DESIGN

Drawn By:
Justin Kelly

Date:
March 24, 2023

Scale:
0 4 8 16 1" = 8ft

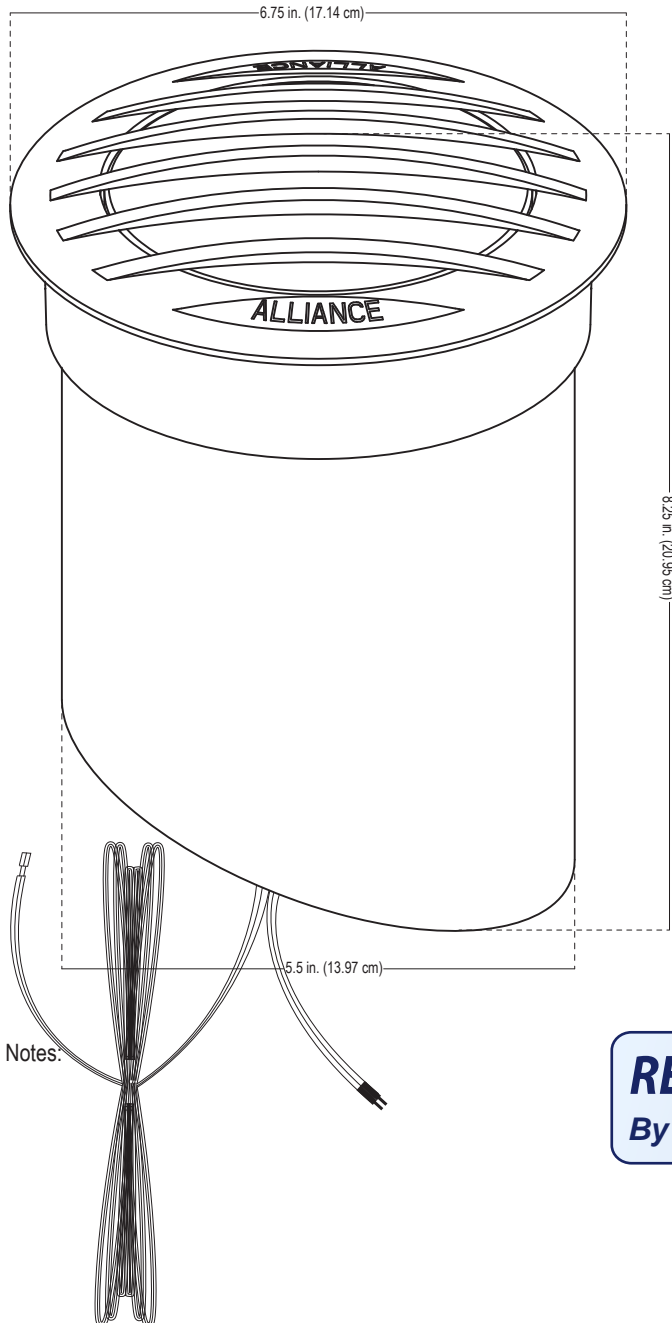


ALLIANCE

Specification Sheet

Model: CGWL01 (PAR36 Commercial Grade Well Light)

Fixture Height: 8.25 in. (20.95 cm)
Can Diameter: 5.5 in. (13.97 cm)
Grate Diameter: 6.75 in. (17.14 cm)



Notes:

Project:

Type:

Specifications and Features:

Grate: Heavy brass grate, aged brass finish, locking hex screws

Lens: Clear glass convex lens, tempered

Socket: Spade connectors for LPAR36 connection

Lamp Ring: Lamp retainer ring, stainless steel

Wire: Double wire lead pre-connected to the fixture, 16 awg (UL listed), brown

-25 foot wire lead, pre-stripped for easy wire connection

-18 inch wire lead, LED connection ready

Can: ABS housing, black

Warranty: Lifetime warranty on fixture housing

Certifications: Complies with the requirements of UL-1838 and CAN/CSA-C22.2 No. 250.7. Identified with the ETL and cETL Listed Mark.



Lamp Options

Model #	Base Type	Angle	Wattage	Lumen Output
LPAR36-LED-4W-F	PAR36	20°	4w	250lm
LPAR36-LED-4W-WF	PAR36	40°	4w	250lm
LPAR36-LED-8W-F	PAR36	20°	8w	300lm
LPAR36-LED-8W-WF	PAR36	40°	8w	300lm
LPAR36-LED-10W-F	PAR36	30°	10w	400lm
LPAR36-LED-10W-WF	PAR36	45°	10w	400lm
LPAR36-35 (Halogen)	PAR36	45°	35w	300lm

LED Ordering Guide: Model-Lamp Wattage-Lamp Angle

Example: CGWL01-LED-8W-WF

Accessories Available:

PAR36 Accessories:

Hex Louver

REVIEWED

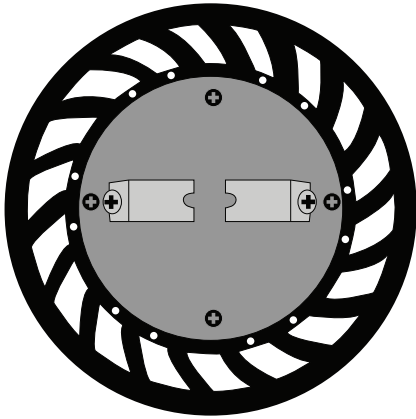
By Michael Kyne at 12:42 pm, Jun 09, 2023

APPROVED

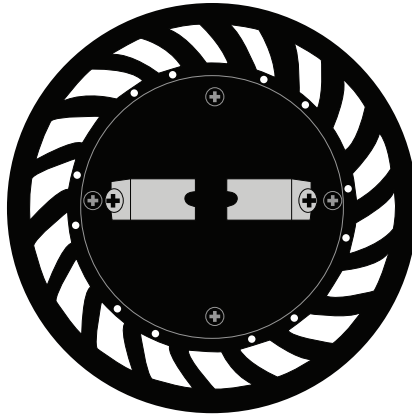
Montgomery County

Historic Preservation Commission

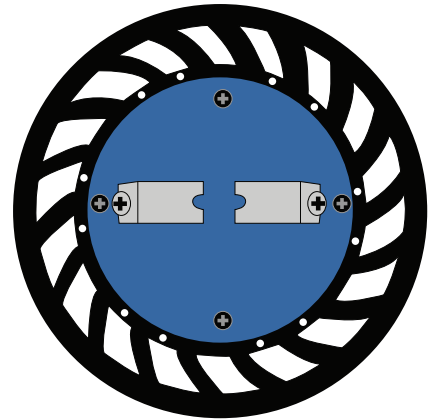
LPAR36 LED Photometric Comparisons



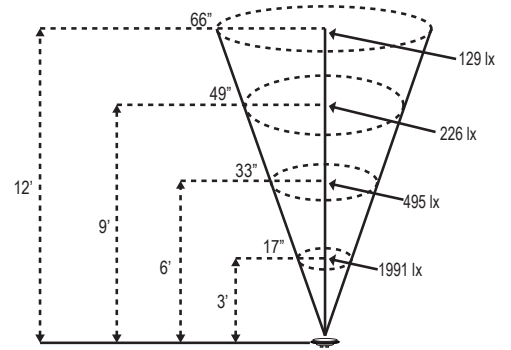
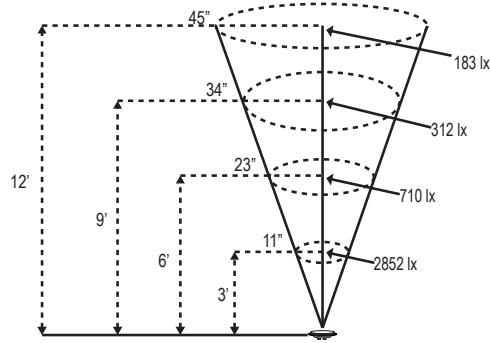
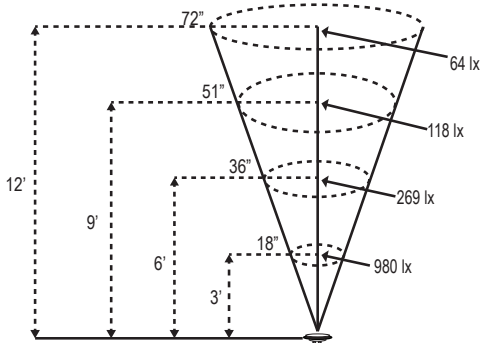
LPAR36-LED-4W-F



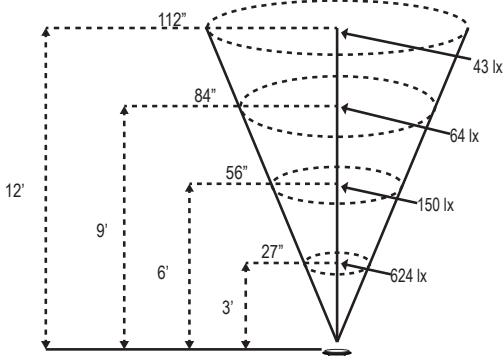
LPAR36-LED-8W-F



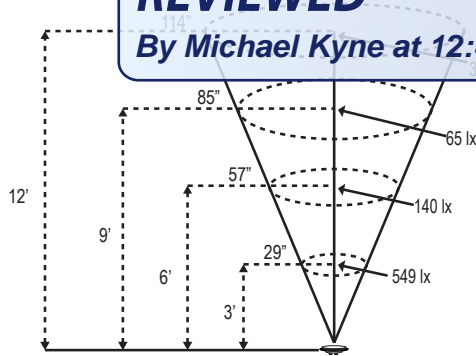
LPAR36-LED-10W-F



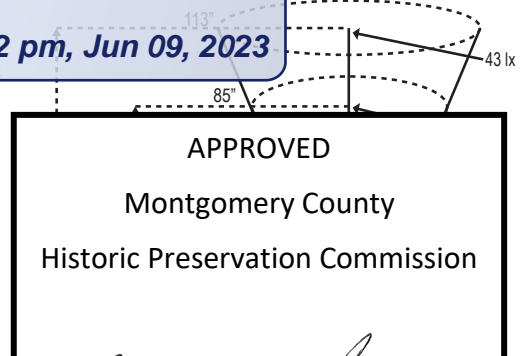
LPAR36-LED-4W-WF



LPAR36-LED-8W-WF



LPAR36-LED-10W-WF



REVIEWED

By Michael Kyne at 12:42 pm, Jun 09, 2023

APPROVED

Montgomery County
Historic Preservation Commission

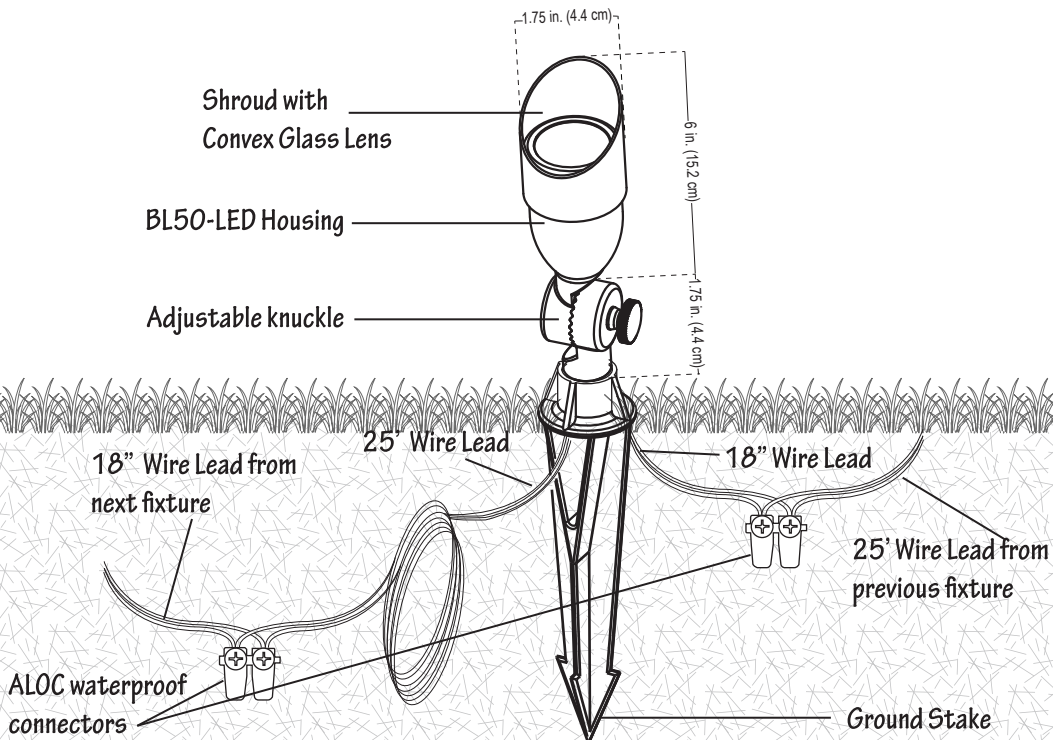
[Signature]

BL50-LED - Ground Stake

Fixture Length: 6 in. (15.2 cm)

Base Height: 1.75 in. (4.4 cm)

Width: 1.75 in. (4.4 cm)



REVIEWED

By Michael Kyne at 12:42 pm, Jun 09, 2023

APPROVED

Montgomery County

Historic Preservation Commission

Robert H. [Signature]

ALLIANCE

BL50-LED - PERMAPOST

Fixture Length: 6 in. (15.2 cm)
Base Height: 1.75 in. (4.4 cm)
Width: 1.75 in. (4.4 cm)

REVIEWED

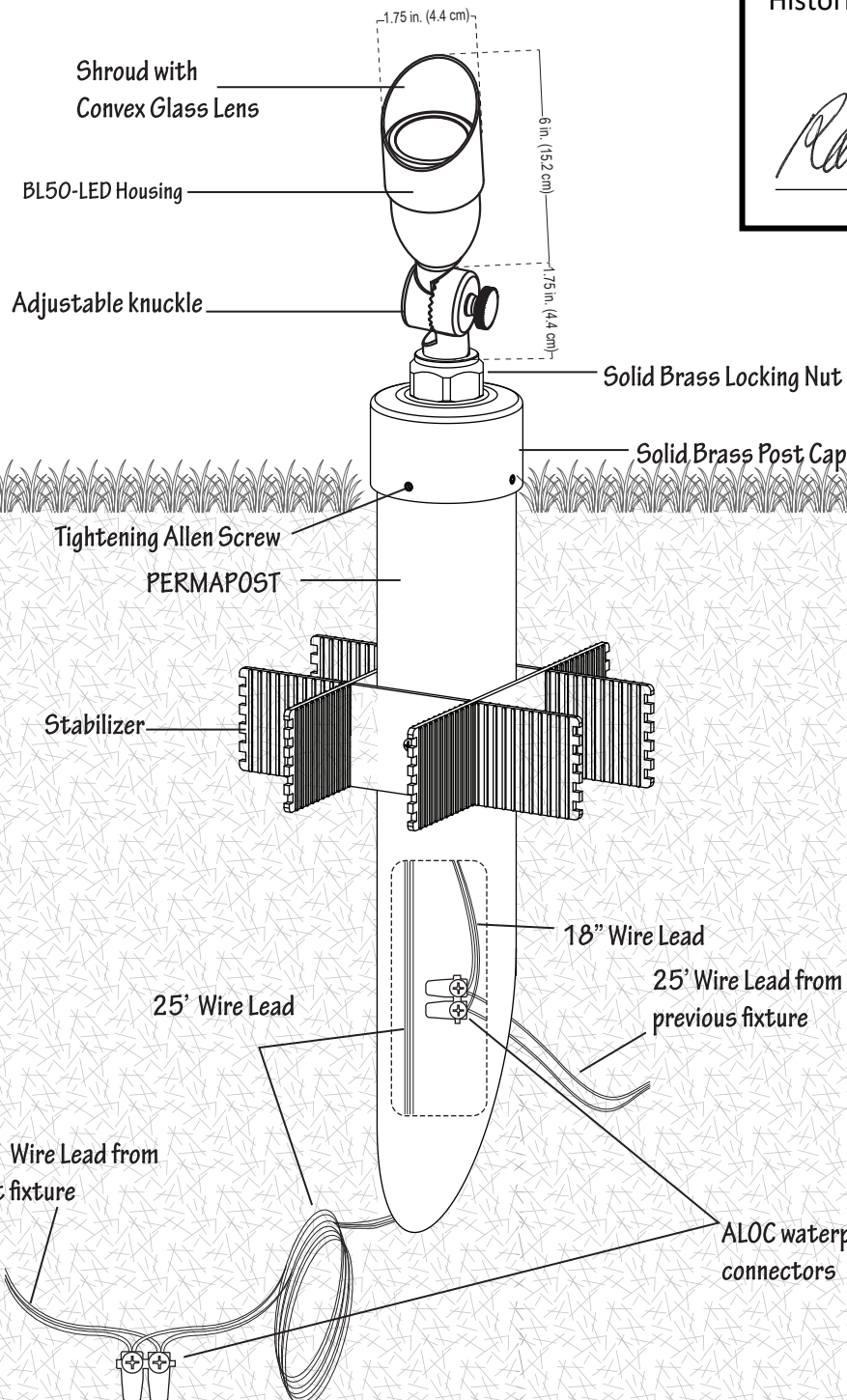
By Michael Kyne at 12:42 pm, Jun 09, 2023

Installation Details

APPROVED

Montgomery County

Historic Preservation Commission

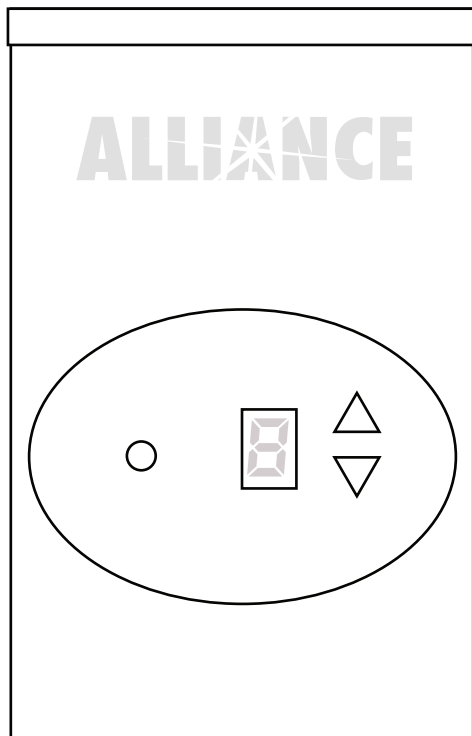


ALLIANCE

Specification Sheet

Model: TF200 (200 Watt Transformer)

Description: Low voltage power supply suitable for indoor or outdoor use



Project:

Type:

Specifications:

Max Amperage (Load): 1 .5 amps

Max Input (Primary Voltage): 120 volts

Secondary Voltage: 12 volts*

Available Voltage Taps: 12v, 12v

Exterior Construction: Stainless Steel

Warranty: 2 years

Certification: UL Listed to U.S. and Canadian safety standards for low voltage landscape lighting.



Features:

- DOE and CEC Compliant
- Torroidal Core
- 12 Volt Only
- Built in Photocell/Timer

Notes:

REVIEWED

By Michael Kyne at 12:42 pm, Jun 09, 2023

APPROVED

Montgomery County

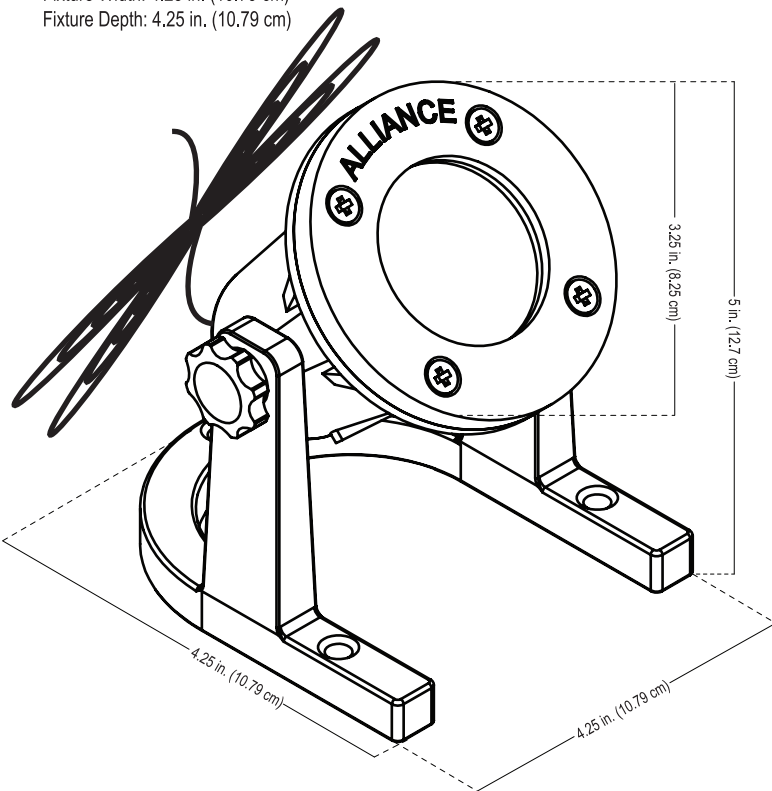
Historic Preservation Commission

ALLIANCE

Specification Sheet

Model: UL100 (Under Water Light)

Fixture Height: 5 in. (12.7 cm)
Fixture Width: 4.25 in. (10.79 cm)
Fixture Depth: 4.25 in. (10.79 cm)



Notes:

Project:

Type:

Specifications and Features:

Body: Brass fixture, aged brass finish

Base: Solid brass fixture base with swivel mount for adjusting the direction of the light beam

Face plate: Solid brass shroud with water tight, sealed clear lens, fixes to base with four stainless steel screws

Socket: Spring loaded ceramic bi-pin socket with dual contact and lamp clips

Wire: 25' Foot underwater wire lead, Pre-connected to the fixture

Warranty: Lifetime warranty on fixture housing

Certifications: Complies with the requirements of UL-1838 and CAN/CSA-C22.2 No. 250.7. Identified with the ETL and cETL Listed Mark.



Lamp Options

Model #	Base Type	Angle	Wattage	Lumen Output
LMR16-LED-4W-NS	MR16	15°	4w	250lm
LMR16-LED-4W-F	MR16	45°	4w	250lm
LMR16-LED-4W-WF	MR16	60°	4w	250lm
LMR16-LED-5W-NS	MR16	15°	5w	310lm
LMR16-LED-5W-F	MR16	45°	5w	310lm
LMR16-LED-5W-WF	MR16	60°	5w	310lm
LMR16-LED-6W-F	MR16	45°	6w	400lm
LMR16-35-36-XH (Halogen)	MR16	45°	35w	310lm

LED Ordering Guide: Model-Lamp Wattage-Lamp Angle
Example: UL100-LED-5W-F

REVIEWED

By Michael Kyne at 12:42 pm, Jun 09, 2023

APPROVED

Montgomery County

Historic Preservation Commission