



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert K. Sutton
Chairman

Date: June 13, 2023

MEMORANDUM

TO: Rabbiah Sabbakhan
Department of Permitting Services

FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1030121 - Building Addition and Skylights

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HA WP). This application was **Approved** At the May 24, 2023 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Justin Root
Address: 5 Montgomery Ave., Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



Rood Residence

Alterations + Addition - Permit Submission

5 Montgomery Avenue Takoma Park, Maryland 20912

BUILDING INFO:

OWNERS: Curry Rood Leah Revocable Trust
 ADDRESS: 5 Montgomery Avenue Takoma Park Maryland 20912-4614

BLOCK: 17 LOT: 3
 LEGAL DESCRIPTION: LT 4 B F G
 TOWN: Takoma Park
 HISTORIC DESIGNATION: Contributing Resource
 ZONE: R-60 CONSTRUCTION TYPE: SB

PRESENT USE OF PROPERTY: Single Family Residential
 PROPOSED USE OF PROPERTY: Single Family Residential
 YEAR BUILT: 1923

LOT AREA: 15,000 SF
 LOT WIDTH: 100'-0"

	EXISTING	ALLOWED	PROPOSED
LOT COVERAGE	12.6%	35%	18.1%
BUILDING AREA	1,896 SF	5,250 SF	2,719 SF
BASEMENT AREA	1,264 SF	+200 SF	1,464 SF
FIRST FLOOR AREA	1,662 SF	+823 SF	2,485 SF
SECOND FLOOR AREA	1,305 SF	+350 SF	1,655 SF
ATTIC	670 SF	+200 SF	870 SF
GROSS FLOOR AREA	4,901 SF ^C	NA	6,474 SF ^C
FRONT SETBACK	40'-0"	25'-0"	No Change
LEFT SIDE YARD	32'-6"	8'-0" ^A	No Change
RIGHT SIDE YARD	32'-9"	8'-0" ^A	No Change
REAR YARD	65'-0"	20'-0"	47'-6"
BUILDING HEIGHT	+/- 33'-0"	35'-0"	No Change
STORIES	2-Story	NA	3-Story

Footnotes:

A-Total Side Yard Required to be 18'-0" with Minimum 8'-0" on one side
 B- According to Tax records, probably does not include Basement or Attic
 C- Includes Basement, Porches and Attic

PROJECT NARRATIVE:

Addition and Alterations to existing single family residence including: New 2-1/2 story Rear Extension, Rear and Side Porches and two new attic dormers.

Updates to the exterior will include restoring siding and trim, new roof material, and detailing to be in harmony with the homes historic designation.

On the interior a new connecting stair to the basement will be incorporated along with layout changes on all 3 levels and associated mechanical electrical and plumbing systems updates.

APPLICABLE CODES:

ALL WORK SHALL CONFORM TO THOSE CODES AND STANDARDS LISTED IN THESE NOTES AND SPECIFICATIONS INCLUDING THE FOLLOWING:
 2018 Edition of the International Residential Code as amended by Montgomery County, Maryland
 2018 International Energy Conservation Code

Montgomery County, Maryland - Zoning Regulations

ENERGY CODE REQUIREMENTS:

2018 International Energy Conservation Code including Energy Efficiency Certificate of Compliance

ARCHITECTURAL

A-00	Cover Sheet
A-0.1	Site Plans
A-01.0	Proposed Plans
A-01.1	Proposed Plans
A-02.0	Proposed Elevations
A-03.0	Proposed Sections
A-03.1	Details
A-04.0	Enlarged Plans
A-04.1	Enlarged Plans
A-07.0	RCP
A-07.1	RCP
A-08.0	Rear Yard SW View
A-08.1	Rear Yard SE View
A-9.0	Existing Photos

ARCHITECTURAL DEMO

AD-01.0	Demolition Plans
AD-01.1	Demolition Plans
AD-02.0	Existing Elevations
AD-07.0	Demolition RCP
AD-07.1	Demolition RCP

CIVIL DRAINAGE

C-100	Drainage Plan
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STRUCTURAL

S-001.1	Foundation Plan
S-002.1	1st Floor Framing Plan
S-003.1	2nd Floor Framing Plan
S-004.1	Attic Framing Plan
S-005.1	Roof Framing Plan
S-100.1	Wind Bracing Plans
S-101.1	Wind Bracing Plans
S-200.1	Structural Notes and Details
S-201.1	Structural Details
S-202.2	Structural Details

GENERAL NOTES AND CONDITIONS

1. THIS SET IS NOT FOR CONSTRUCTION THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK. WILLIAM JELEN ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ALL DISCREPANCIES.

2. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALES SHOWN ON THE DRAWINGS. TYPICAL DETAILS AND GENERAL NOTES ARE MINIMUM REQUIREMENTS TO BE USED WHEN CONDITIONS ARE NOT SHOWN OTHERWISE.

3. NOTES AND DETAILS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON PROJECT.

4. ALL WORK SHALL CONFORM TO THOSE CODES AND STANDARDS LISTED IN THESE NOTES.

5. APPROVAL BY THE INSPECTOR DOES NOT MEAN APPROVAL OR FAILURE TO COMPLY WITH THE PLANS AND SPECIFICATIONS. ANY DESIGN WHICH FAILS TO BE CLEAR OR IS AMBIGUOUS MUST BE REFERRED TO WILLIAM JELEN ARCHITECT OR THE ENGINEER FOR INTERPRETATION OR CLARIFICATIONS.

6. THE DESIGN ADEQUACY AND SAFETY OF THE ERECTION, BRACING, SHORING, TEMPORARY SUPPORTS, ETC. SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF ALL SHEAR WALLS, ROOF AND FLOOR DIAPHRAGMS AND FINISH MATERIALS. THE CONTRACTOR SHALL PROVIDE THE NECESSARY BRACING TO PROVIDE STABILITY PRIOR TO THE APPLICATION OF THE AFOREMENTIONED MATERIALS. OBSERVATION VISITS TO THE SITE BY WILLIAM JELEN ARCHITECT SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEMS.

7. THE CONTRACTOR SHALL TAKE ALL MEANS NECESSARY TO PROTECT HIS PORTION OF THE WORK BEFORE, DURING, AND AFTER INSTALLATION, AND TO PROTECT THE INSTALLED WORK AND MATERIALS OF OTHER TRADES. IN THE EVENT OF DAMAGE, THE CONTRACTOR SHALL MAKE ALL REPAIRS AND REPLACEMENTS NECESSARY TO THE APPROVAL OF WILLIAM JELEN ARCHITECT AND AT NO ADDITIONAL COST TO THE OWNER.

8. WORKMANSHIP SHALL CONFORM TO THE BEST STANDARDS AND ACCEPTED PRACTICES OF THE TRADES INVOLVED, AND SHALL INCLUDE ALL ITEMS OF FABRICATION, CONSTRUCTION AND INSTALLATION REGULARLY FURNISHED OR REQUIRED FOR COMPLETION, INCLUDING ANY FINISH REQUIRED FOR SUCCESSFUL OPERATION AS INTENDED. WORK SHALL BE EXECUTED BY MECHANICS SKILLED IN THEIR RESPECTIVE LINES OF WORK.

9. NOTWITHSTANDING ITEM 8, IN THE ABSENCE OF SPECIFICATIONS COVERING INSTALLATION OF A PRODUCT, THE LATEST EDITION OF THE MANUFACTURERS SPECIFICATIONS SHALL BE CONFORMED TO.

10. WILLIAM JELEN ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

11. WILLIAM JELEN ARCHITECT DOES NOT GUARANTEE THE CONTRACTOR'S PERFORMANCE, AND NO PROVISIONS OF THE CONTRACT DOCUMENTS SHALL RELIEVE THE CONTRACTOR FROM ANY LIABILITY DUE TO NEGLIGENCE, INCOMPETENCE, OR ERRORS OF OMISSIONS OR COMMISSIONS OF THE CONTRACTOR.

12. PARKING, STORAGE OF MATERIALS AND LOADING MAY BE COORDINATE WITH THE OWNER.

13. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, WHETHER OR NOT THEY ARE SHOWN ON THE DRAWINGS, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ANY AND ALL EXPENSES FOR REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY THEIR OPERATIONS IN PERFORMANCE OF THE WORK.

14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY WATER, POWER, AND TOILET FACILITIES AS REQUIRED.

15. GYPSUM WALLBOARD AND SUSPENDED CEILINGS SHALL COMPLY WITH REQUIREMENTS OF UBC CHAPTER 25. SUSPENDED CEILINGS SHALL BE INSTALLED IN COMPLIANCE WITH IRC CHAPTER 7.

16. ALL GLASS AND GLAZING SHALL COMPLY WITH IRC CHAPTER 3, AND THE U.S. CONSUMER PRODUCTS SAFETY COMMISSION, SAFETY STANDARDS FOR ARCHITECTURAL GLAZING MATERIALS.

17. ALL INTERIOR WALLS AND PARTITIONS SHALL BE DESIGNED AND CONSTRUCTED TO RESIST ALL LOADS TO WHICH THEY ARE SUBJECTED TO, BUT NOT LESS THAN A FORCE OF FIVE (5) POUNDS PER SQUARE FOOT APPLIED PERPENDICULAR TO THE WALLS.

18. EXTERIOR DOORS, WINDOWS AND OPENINGS SHALL COMPLY WITH THE CURRENT LOCAL SECURITY ORDINANCES.

19. CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BACKUP PLATES AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF ALL CASEWORK, STAIR RAILINGS, TOILET ROOM ACCESSORIES, PARTITIONS AND FOR ALL WALL-MOUNTED OR SUSPENDED MECHANICAL, ELECTRICAL OR MISCELLANEOUS EQUIPMENT.

20. METAL FRAMING SHALL BE I.C.B.O. APPROVED AND INSTALLED PER I.C.B.O. REPORT RECOMMENDATIONS.

21. ALL GYPSUM BOARD ON WALLS IN TOILET ROOMS SHALL BE MOISTURE AND WATER RESISTANT TYPE (VERTICAL SURFACES ONLY).

22. THE OWNER WILL PAY FOR THE BUILDING PERMIT AND ANY SEWER, WATER, OR OTHER LOCAL JURISDICTIONAL FEES OR ASSESSMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION WITH HIS SUB-CONTRACTORS WITH REGARD TO PERMITS, FEES AND TEMPORARY AS WELL AS PERMANENT UTILITIES. THE SUB-CONTRACTORS SHALL OBTAIN LICENSES AND SUBMIT SAME TO THE JOB SUPERINTENDENT BEFORE STARTING WORK. EACH SUB-CONTRACTOR SHALL PAY FOR ALL FEES AND PERMITS REQUIRED FOR THEIR PORTION OF THE WORK.

23. ALL EXITS TO BE OPENABLE FROM INSIDE WITHOUT THE USE OF THE KEY.

24. THE AIA DOCUMENT A101-1997, STANDARD FORM OF AGREEMENT BETWEEN OWNER AND CONTRACTOR WHERE THE BASIS OF PAYMENT IS A STIPULATED SUM IS TO BE UTILIZED BETWEEN THE OWNER AND THE CONTRACTOR.

25. ALL ITEMS DRAWN, NOTED, SCHEDULED, OR SPECIFIED WILL BE SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR UNLESS SPECIFICALLY NOTED OTHERWISE.

26. SHOULD INCONSISTENCIES OR DISCREPANCIES OCCUR WITHIN THE CONTRACT DOCUMENTS, THE BETTER QUALITY, GREATER QUANTITY, AND MOST EXPENSIVE PRODUCT OR TASK SHALL BE FURNISHED OR PERFORMED, UNLESS INSTRUCTED OTHERWISE BY WILLIAM JELEN ARCHITECT. DISCREPANCIES BETWEEN SPECIFIED ITEMS OR INSTALLATION METHODS SHALL NOT BE CAUSE FOR MODIFICATION TO THE CONTRACT SUM.

27. SUBSTITUTIONS WILL ONLY BE CONSIDERED WITHIN THE BID PERIOD. SUBSTITUTIONS WILL BE SUBMITTED WITHIN FINAL BIDS AND MUST INCLUDE SPEC SHEETS AND CLEARLY STATED DEDUCTS.

28. UNDER NO CIRCUMSTANCES SHOULD THE DRAWINGS BE SCALED FOR DIMENSIONAL INFORMATION. WILLIAM JELEN ARCHITECT SHOULD BE CONTACTED TO DETERMINE, VERIFY, AND/OR CONFIRM ANY AND ALL MISSING OR CONFLICTING DIMENSIONS.



PROPOSED REAR YARD VIEW



VICINITY AND ZONING MAP



REVIEWED
 By Dan.Bruechert at 4:36 pm, Jun 13, 2023



William Jelen Architect Inc.

PROJECT TEAM:

Architect: William Jelen Architect Inc.
Contact: William Jelen RA
Address: 11401 Nairn Rd
 Silver Spring, MD 20902
Phone: 202-344-5513

Structural: APAC Engineering
Contact: Robert Wixon PE
Address: 8555 16th Street #200
 Silver Spring, MD 20910
Phone: 301-565-0543

Owner: Curry Rood Leah Revocable Trust

Contact: Justin Rood
Address: 5 Montgomery Avenue
 Takoma Park, MD 20912-4614
Phone: 202-281-4055

General Contractor: DSP Contractors

Contact: Marcelo Palma
Address: 1400 Rising Wind Court
 Silver Spring, MD 20905
Phone: 202-699-0839



No.	Description	Date

Rood Residence

5 MONTGOMERY AVENUE TAKOMA PARK, MD 20912

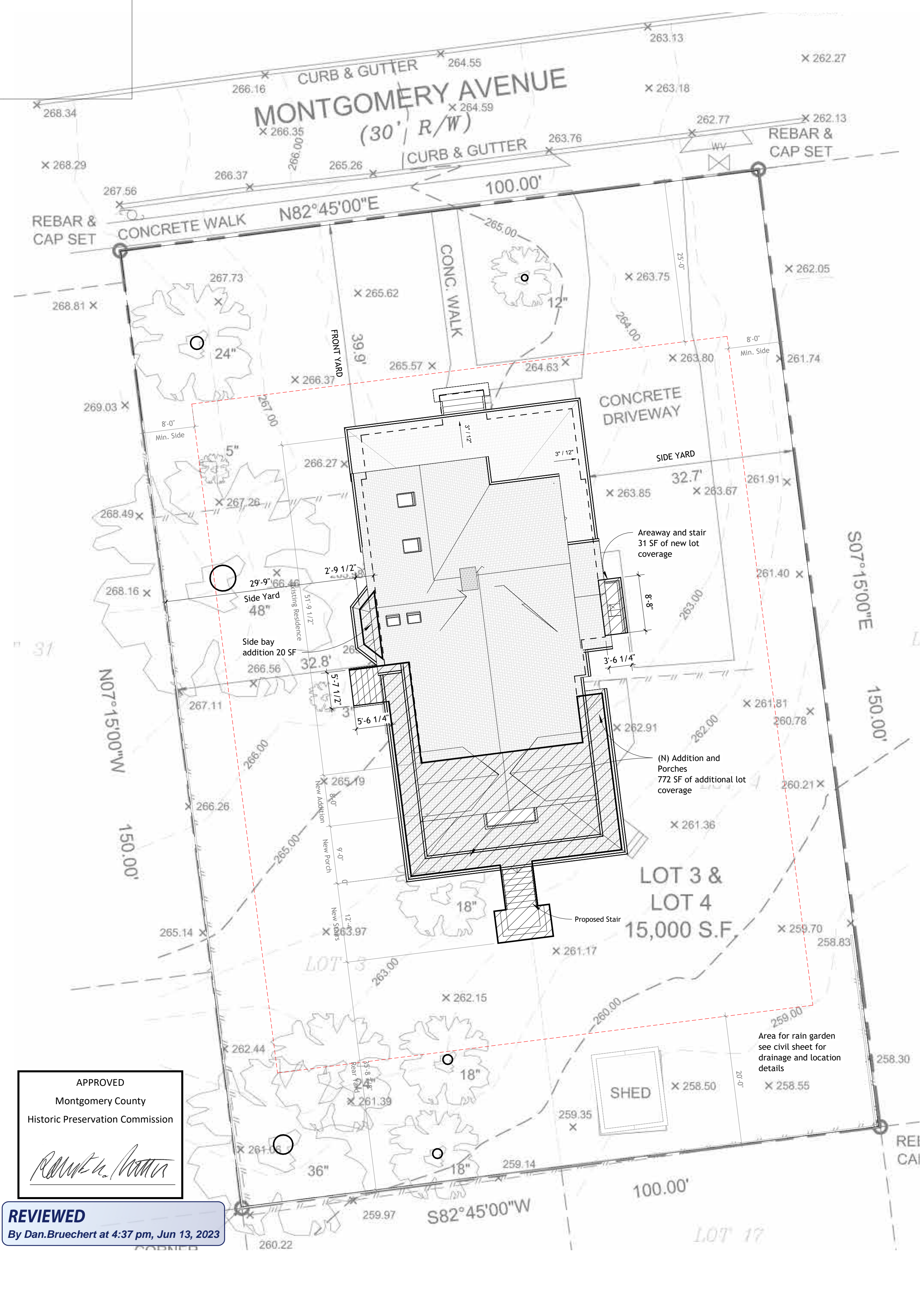
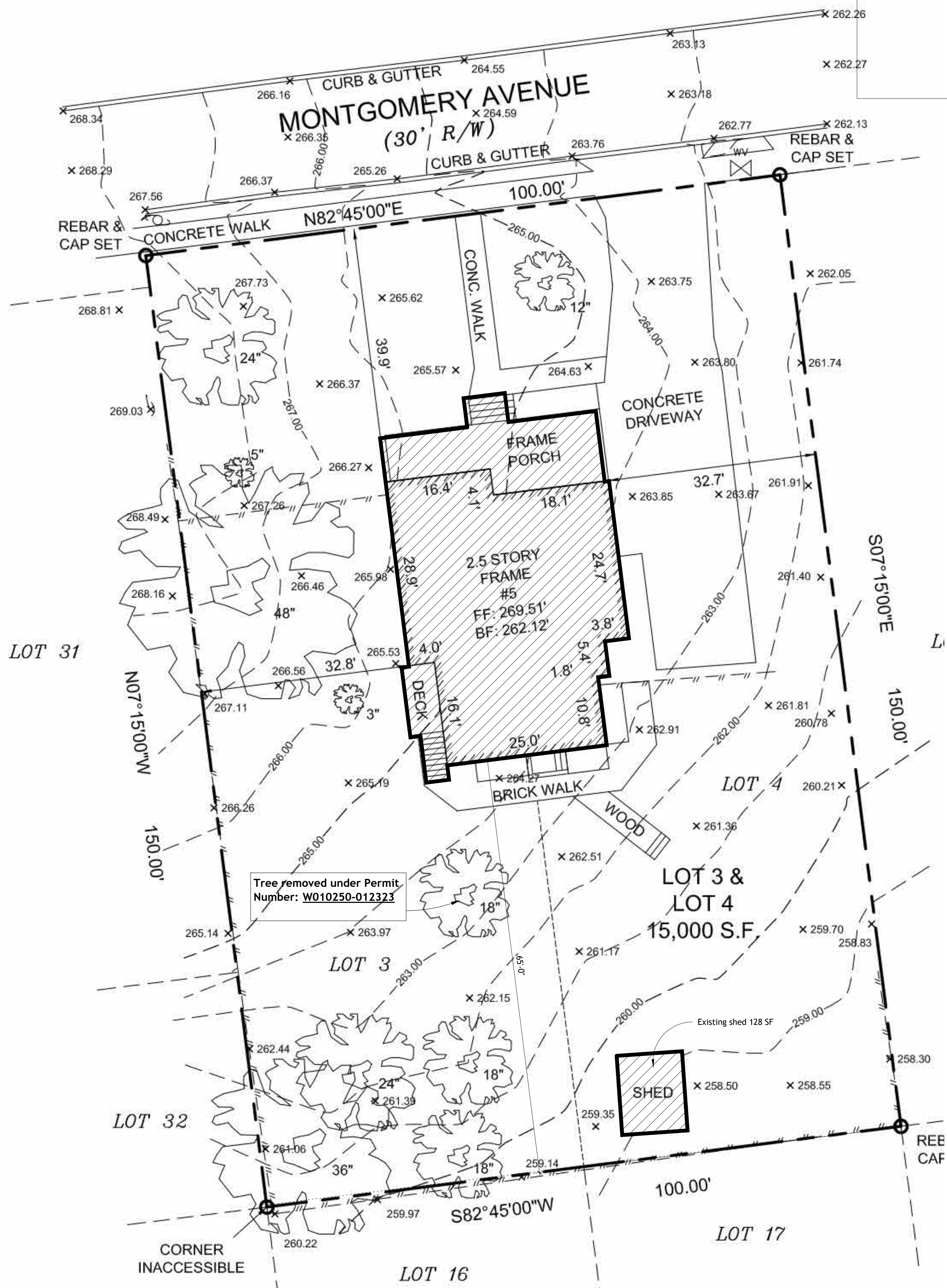
Permit Submission

Cover Sheet

PROJECT NUMBER	2023-02
DATE	4.6.2023
DRAWN BY	WJA
CHECKED BY	WJ

A-00

SCALE



APPROVED
Montgomery County
Historic Preservation Commission

Robert H. ...

REVIEWED
By Dan.Bruechert at 4:37 pm, Jun 13, 2023



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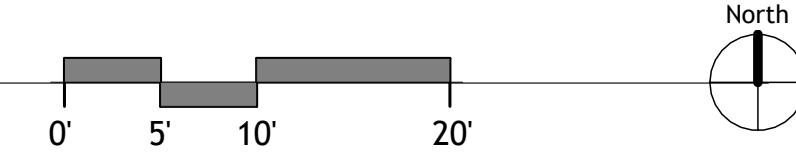
Site Plans

PROJECT NUMBER	2023-02
DATE	4.6.2023
DRAWN BY	Author
CHECKED BY	Checker

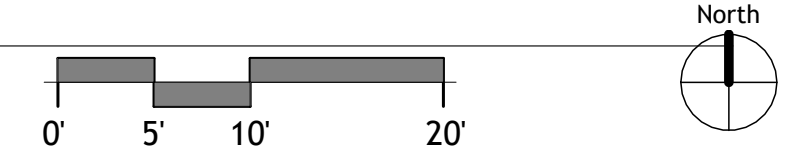
A-0.1

SCALE 1" = 10'-0"
© COPYRIGHT - 2023 William Jelen Architect Inc.

1 EXIST 000 Site Plan
1" = 10'-0"



2 PROPOSED 000 Site Plan
1" = 10'-0"



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PROFESSIONAL CERTIFICATION:
I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 16893, expiration date March 30, 2024.

No.	Description	Date

Rood Residence

5 MONTGOMERY AVENUE TAKOMA PARK, MD 20912

Permit Submission
Proposed Plans

PROJECT NUMBER	2023-02
DATE	4.6.2023
DRAWN BY	WJA
CHECKED BY	WJ

A-01.0

SCALE As indicated

Floor Plan Legend

- Partition Tag refers to partition types on sheet A-5.0
- Door Tag (refers to door schedule) A-1.0
- Window Tag (refers to window schedule) A-2.0
- New building elements shown in black with poche
- Existing building elements shown grey
- Demolished building elements shown dashed
- Provide insulation as scheduled

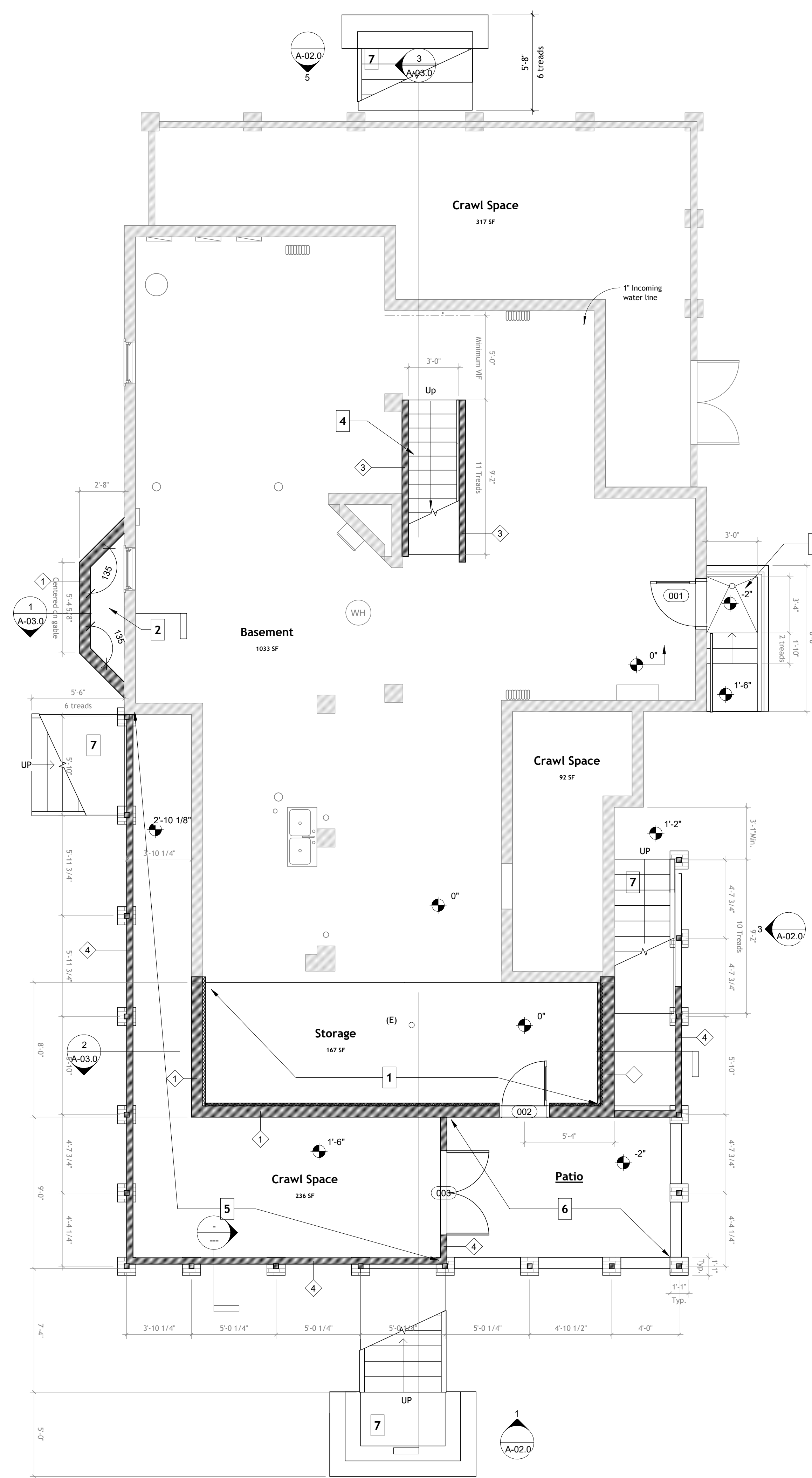
- 1 Concrete slab floor to match existing basement slab elevation, provide insulation below slab as required
- 2 Conditioned crawl space vented to basement, great floor
- 3 New areaway and stairs with drain, max rise 7 1/2"
- 4 New interior wood stair verify Min. tread 10", max rise 7 3/4"
- 5 Under porch storage area, graded away from house, crushed stone floor
- 6 New patio area stone or concrete slab floor
- 7 Exterior Wood Stair Min. Tread 11" Max Rise 7 1/2", see typical detail on sheet A5.0
- 8 New floor to match adjacent spaces per owner
- 9 Tongue and groove wood porch flooring per owner
- 10 New flush beam above to open up stair side to Living Room
- 11 New asphalt shingle roof with continuous underlayment, CertainTeed Landmark Architectural Series or Equivalent
- 12 Waterproof decking membrane on plywood, slope to drain away from door

Proposed Door Schedule

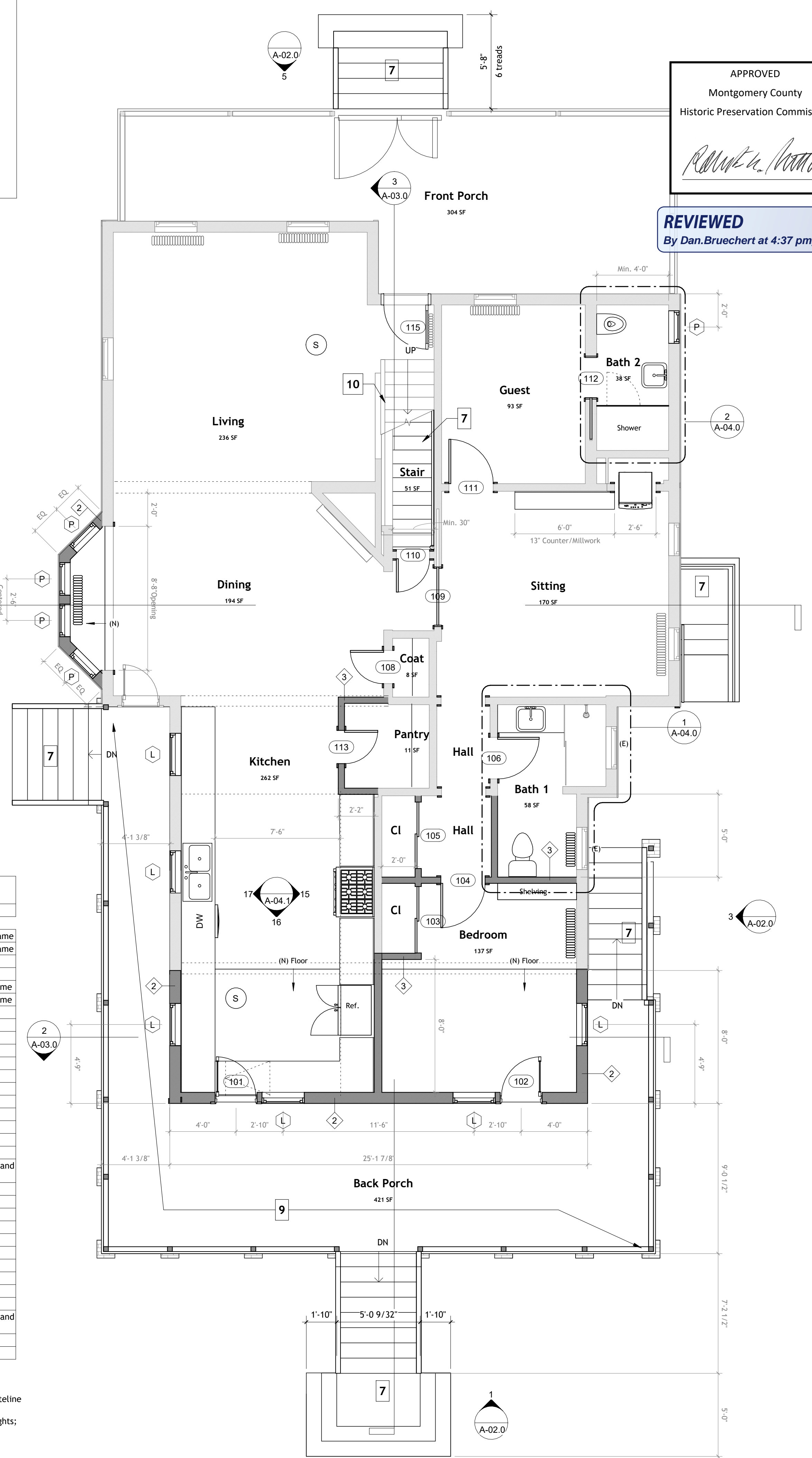
Mark	Width	Height	Comments
001	2'-8"	6'-2"	Exterior Half Lite Metal Clad Wood Door and Frame
002	2'-8"	6'-2"	Exterior Half Lite Metal Clad Wood Door and Frame
003	5'-0"	5'-0"	Custom access door in lattice wall
100	8'-8"	8'-0"	Cased Opening
101	2'-6 5/16"	7'-2"	Exterior Full Lite Metal Clad Wood Door and Frame
102	2'-6 5/16"	7'-2"	Exterior Full Lite Metal Clad Wood Door and Frame
103	4'-0"	6'-8"	Double sliding solid wood door
104	2'-8"	6'-8"	Interior Solid Wood Door
105	4'-0"	6'-8"	Double sliding solid wood door
106	2'-6"	6'-8"	Interior Solid Wood Door
108	2'-0"	6'-8"	Interior Solid Wood Door
109	3'-6"	7'-6"	Interior Solid Wood Pocket Door
110	2'-0"	6'-8"	Interior Solid Wood Door
111	2'-8"	6'-8"	Interior Solid Wood Door
112	2'-6"	6'-8"	Interior Solid Wood Pocket Door
113	2'-0"	6'-8"	Interior Solid Wood Door
114	2'-6"	6'-8"	Cased Opening
115	2'-8"	6'-2"	Exterior Full Lite Metal Clad Wood Double Door and Frame
200	5'-0"	6'-8"	Exterior Full Lite Metal Clad Wood Double Door and Frame
201	2'-8"	6'-8"	Cased Opening
202	2'-6"	6'-8"	Interior Solid Wood Door
203	2'-6"	6'-8"	Interior Solid Wood Pocket Door
204	5'-6"	6'-8"	Double sliding solid wood door
205	2'-6"	6'-8"	Cased Opening
206	2'-0"	6'-8"	Interior Solid Wood Pocket Door
207	2'-6"	6'-8"	Interior Solid Wood Door
208	2'-8"	6'-8"	Cased Opening
209	2'-8"	6'-8"	Interior Solid Wood Door
210	2'-8"	6'-8"	Cased Opening
300	5'-0"	6'-8"	Exterior Full Lite Metal Clad Wood Double Door and Frame
301	2'-0"	6'-8"	Interior Solid Wood Door (louver)
303	2'-0"	6'-8"	Interior Solid Wood Door

Window and Door Notes

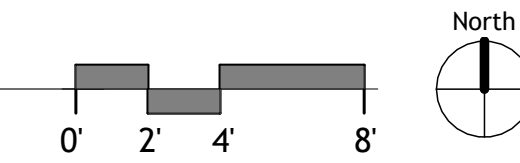
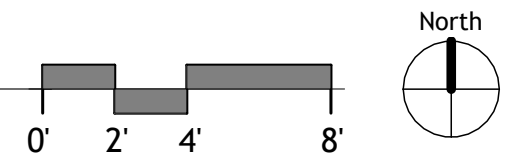
- All new windows and doors to be metal clad wood windows Jeld-Wen Sitelene Series or Equivalent
- All new skylights to be low profile Velux deck mounted metal clad skylights; finish in black or brown to match roof
- All windows and doors to meet IECC energy code requirements
- Builder to provide insect screens for all new windows
- Exterior doors to have coordinating keyed locksets,
- Interior and Exterior door hardware to be selected by owner
- All Bedroom and Bathroom Doors to have privacy locksets including pocket doors.



1 PROPOSED 0 Basement
1/4" = 1'-0"



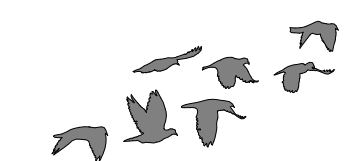
2 PROPOSED 1 First Floor
1/4" = 1'-0"



APPROVED
Montgomery County
Historic Preservation Commission



REVIEWED
By Dan.Bruechert at 4:37 pm, Jun 13, 2023



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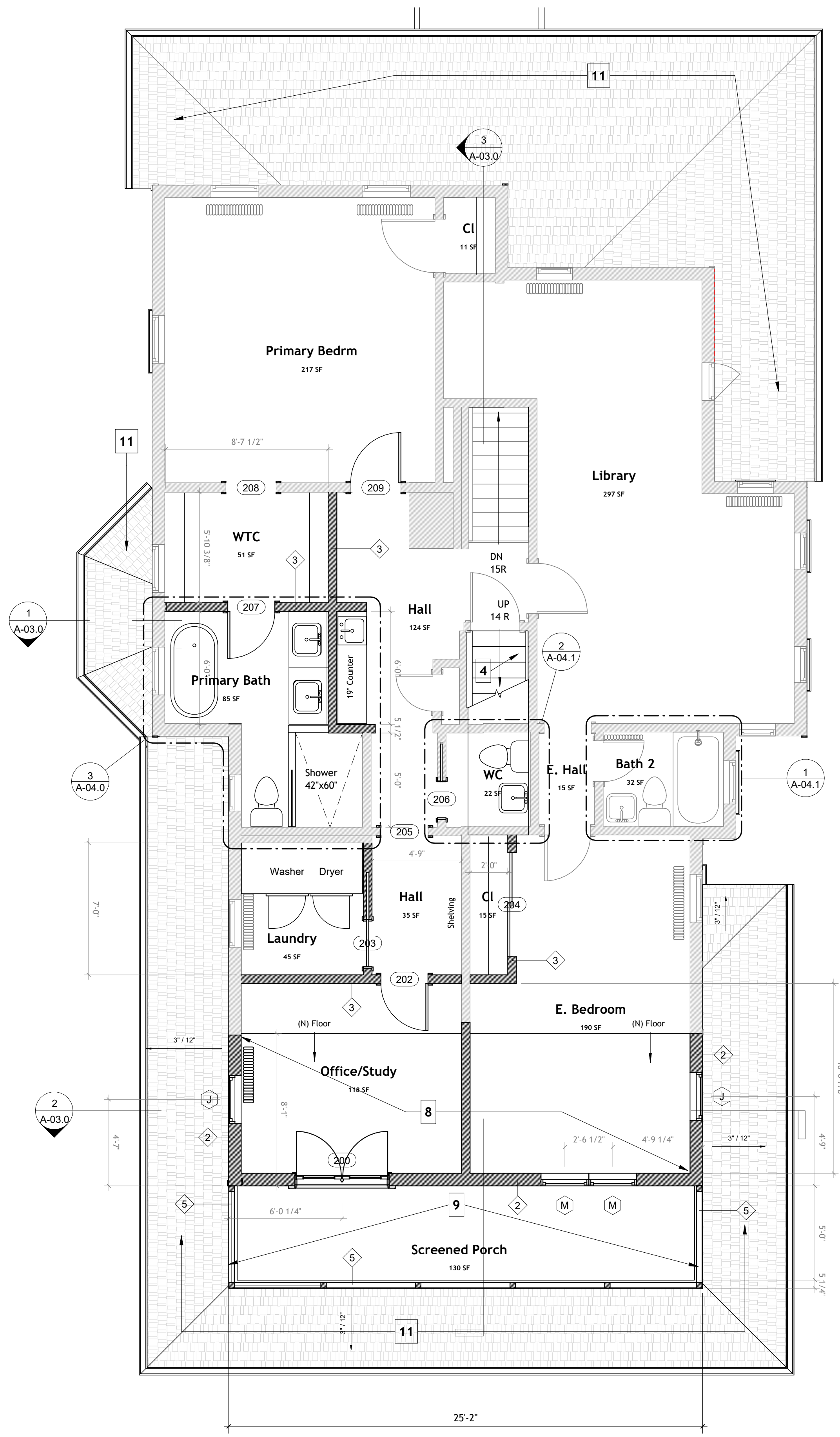
5 MONTGOMERY AVENUE TAKOMA PARK, MD 20912

**Permit Submission
Proposed Plans**

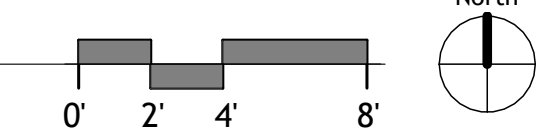
PROJECT NUMBER	2023-02
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DRAWN BY	WJA
CHECKED BY	WJ

A-01.1

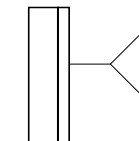
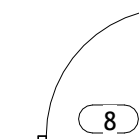
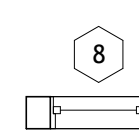

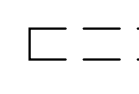

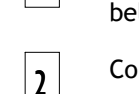
SCALE: As indicated



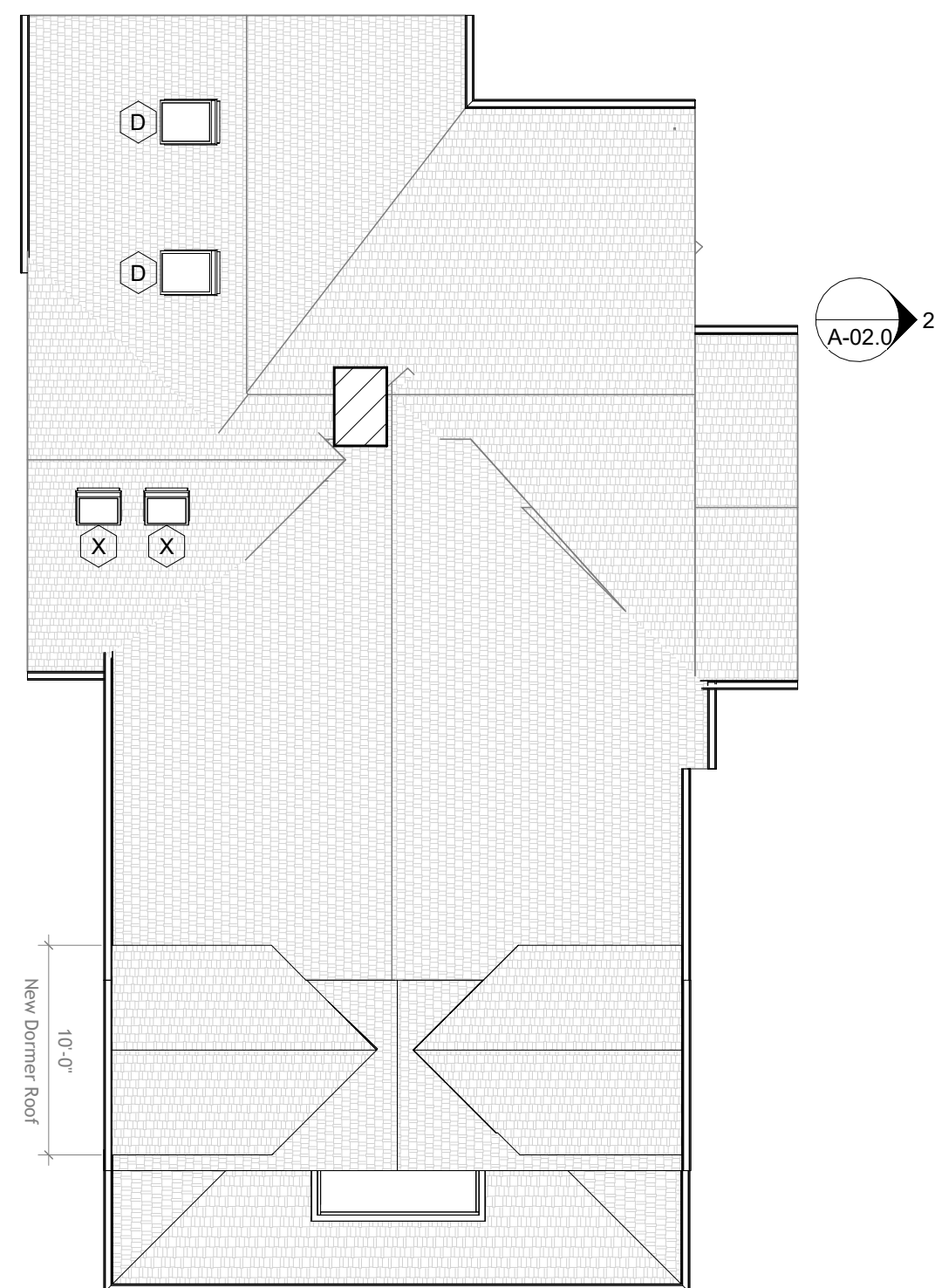
1 PROPOSED 2 Second Floor
1/4" = 1'-0"



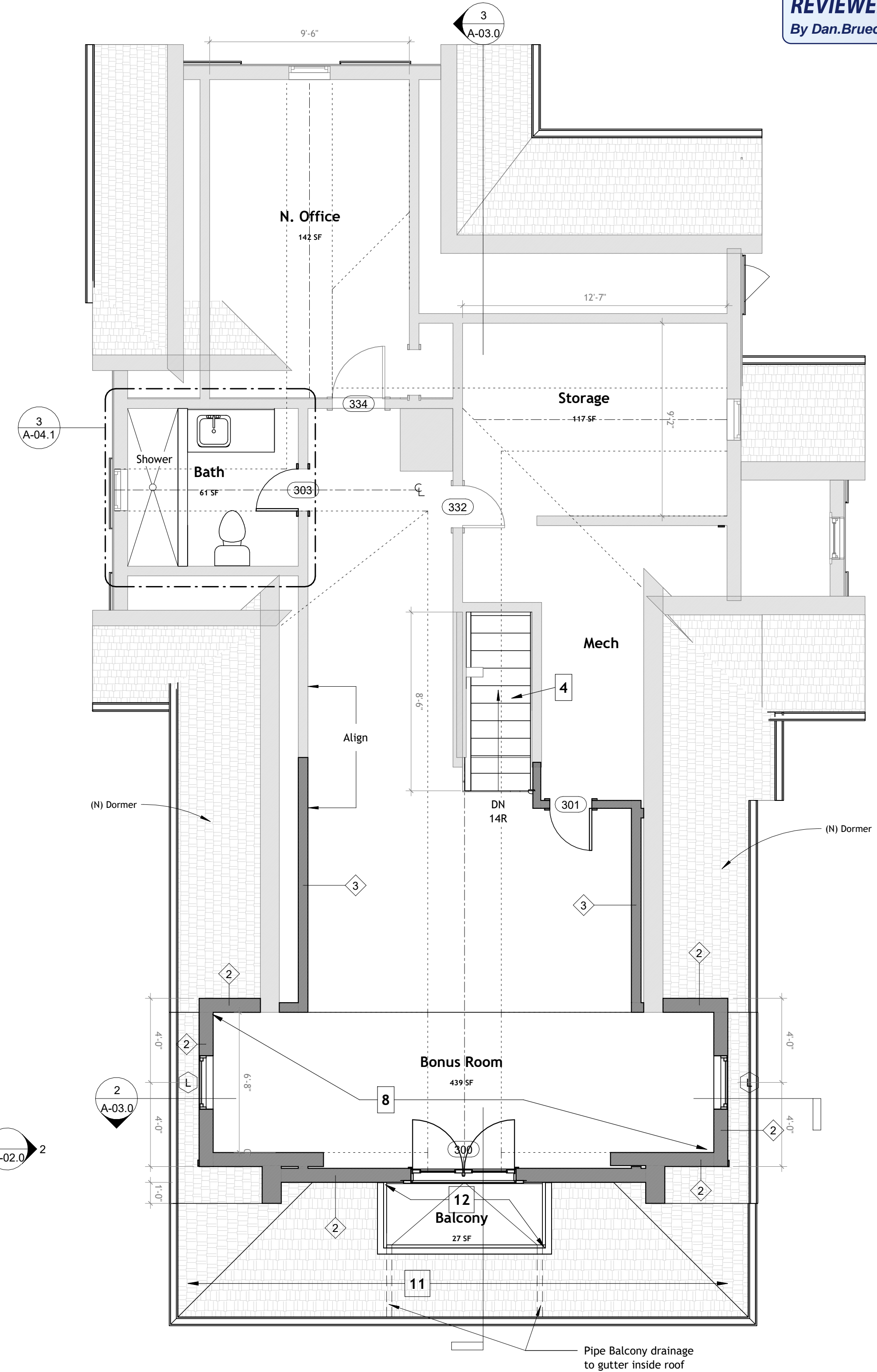
Floor Plan Legend

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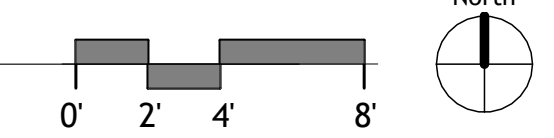
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- 2** Conditioned crawl space vented to basement, grcal floor
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- 4** New interior wood stair verify Min. tread 10", max rise 7 3/4"
- 5** Under porch storage area, graded away from house, crushed stone floor
- 6** New patio area stone or concrete slab floor
- 7** Exterior Wood Stair Min. Tread 11" Max Rise 7 1/2", see typical detail on sheet A5.0
- 8** New floor to match adjacent spaces per owner
- 9** Tongue and groove wood porch flooring per owner
- 10** New flush beam above to open up stair side to Living Room
- 11** New asphalt shingle roof with continuous underlayment, Certainteed Landmark Architectural Series or Equivalent
- 12** Waterproof decking membrane on plywood, slope to drain away from door



3 PROPOSED 4 Roof Plan
1/8" = 1'-0"



2 PROPOSED 3 Attic Floor
1/4" = 1'-0"



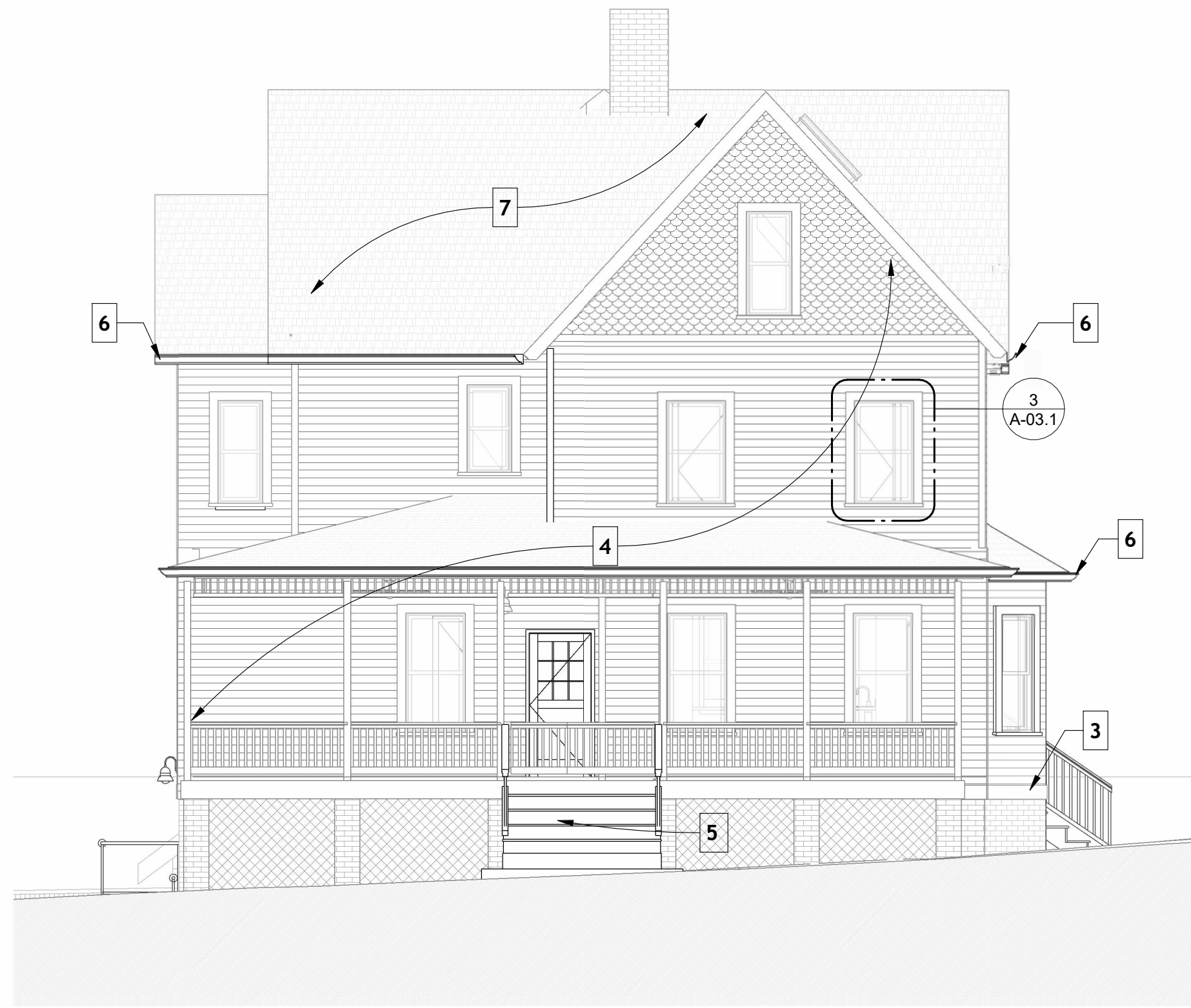
New Window Schedule				
Type Mark	Description	Width	Height	Comments
D		2'-0"	3'-6"	
J		2'-6 1/2"	4'-5"	
L		2'-6 1/2"	4'-2 1/2"	
M		2'-6 1/2"	5'-1 1/2"	
P		1'-11 1/2"	5'-1"	
X		2'-0"	2'-0"	

Window and Door Notes

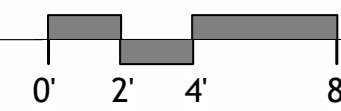
1. All new windows and doors to be metal clad wood windows Jeld-Wen Silestone Series or Equivalent.
2. All new skylights to be low profile Velux deck mounted metal clad skylights; finish in black or brown to match roof.
3. All windows and doors to meet IECC energy code requirements.
4. Builder to provide insect screens for all new windows.
5. Exterior doors to have coordinating keyed locksets.
6. Interior and Exterior door hardware to be selected by owner.
7. All Bedroom and Bathroom Doors to have privacy locksets including pocket doors.

Proposed Elevation Legend

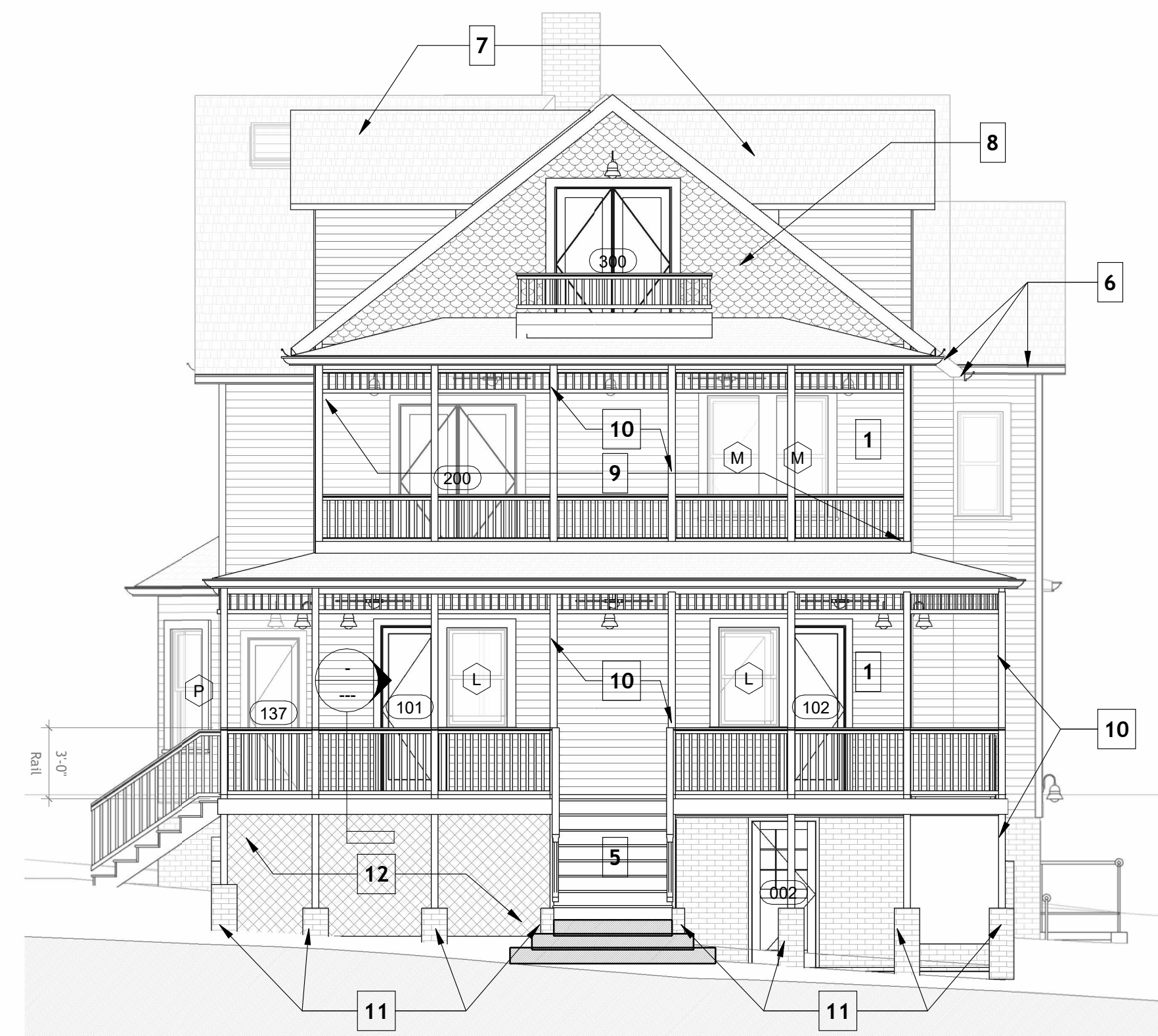
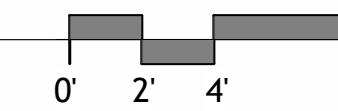
- Proposed building elements shown black
- 1 New 4 1/2" Pine lap siding with +/- 4" left exposed toothed in to existing, paint TBD
 - 2 New Trim board +/- 4 1/2" (To match existing Verify dims. in Field)
 - 3 Watertable board and drip edge +/- 7" (Match existing)
 - 4 Paint Existing wood siding, trim, posts and lattice work color TBD
 - 5 New wood porch stairs
 - 6 New Half round gutters and round downspouts paint to match trim
 - 7 New Certainteed Landmark architectural asphalt roofing shingles color TBD, with rounded gutters and round downspouts
 - 8 Scalloped accent shingles reclaimed from demo or to match existing
 - 9 Porch with insect screen, continuous
 - 10 New painted wood columns, bevel to match front porch posts
 - 11 Brick pilaster, per structural
 - 12 Wooden lattice to match existing



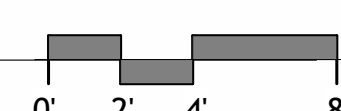
5 PROPOSED North Elevation
3/16" = 1'-0"



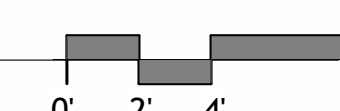
3 PROPOSED East Elevation
3/16" = 1'-0"



1 PROPOSED South Elevation
3/16" = 1'-0"



2 PROPOSED West Elevation
3/16" = 1'-0"



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Montgomery County
Historic Preservation Commission



REVIEWED
By Dan.Bruechert at 4:37 pm, Jun 13, 2023



William Jelen Architect Inc.

PROJECT TEAM:

Architect: William Jelen Architect Inc.
Contact: William Jelen RA
Address: 11401 Nairn Rd
 Silver Spring, MD 20902
Phone: 202-344-5513

Structural: APAC Engineering
Contact: Robert Wixon PE
Address: 8555 16th Street #200
 Silver Spring, MD 20910
Phone: 301-565-0543

Owner: Curry Road Leah Revocable Trust

Contact: Justin Road
Address: 5 Montgomery Avenue
 Takoma Park, MD 20912-4614
Phone: 202-281-4055

General Contractor: DSP Contractors

Contact: Marcelo Palma
Address: 1400 Rising Wind Court
 Silver Spring, MD 20905
Phone: 202-699-0839



PROFESSIONAL CERTIFICATION:
I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 16893, expiration date March 30, 2024.

No.	Description	Date

Rood Residence

5 MONTGOMERY AVENUE TAKOMA PARK, MD
20912

Permit Submission
Proposed Elevations

PROJECT NUMBER	2023-02
DATE	4.6.2023
DRAWN BY	Author
CHECKED BY	Checker

A-02.0

SCALE As indicated

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Montgomery County
Historic Preservation Commission

Robert W. Wilson

REVIEWED
By Dan.Bruechert at 4:37 pm, Jun 13, 2023



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No.	Description	Date

Rood Residence

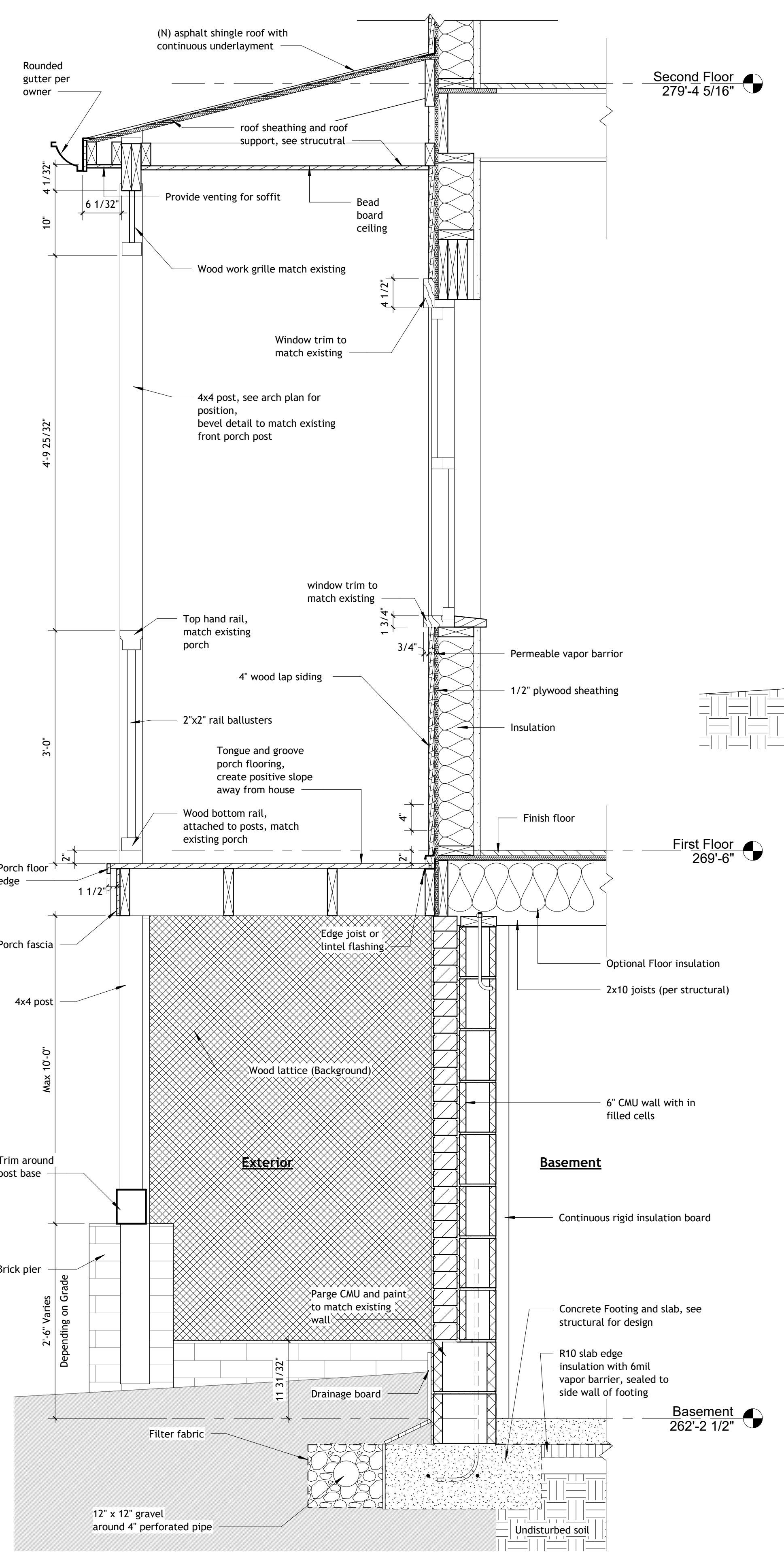
5 MONTGOMERY AVENUE TAKOMA PARK, MD
20912

Permit Submission
Proposed Sections

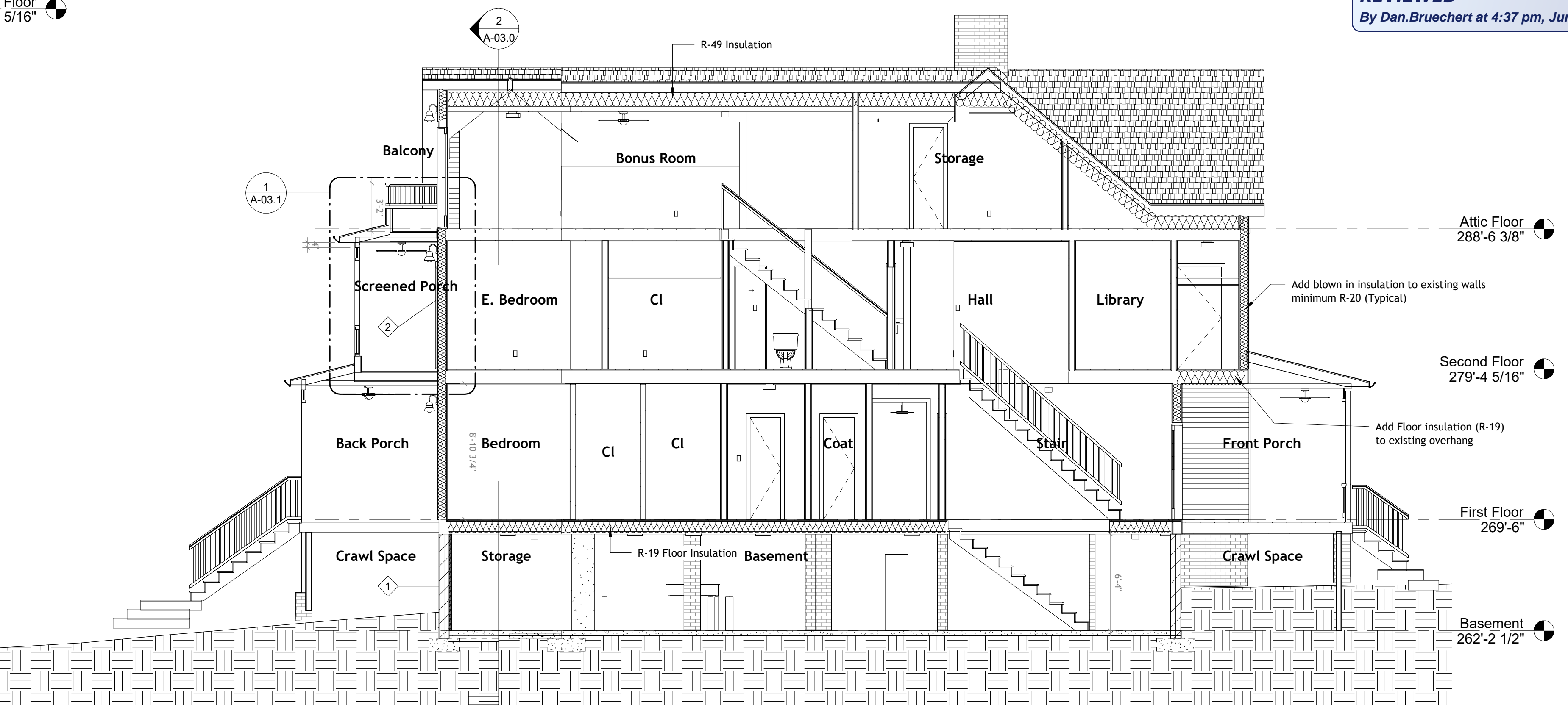
PROJECT NUMBER	2023-02
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A-03.0

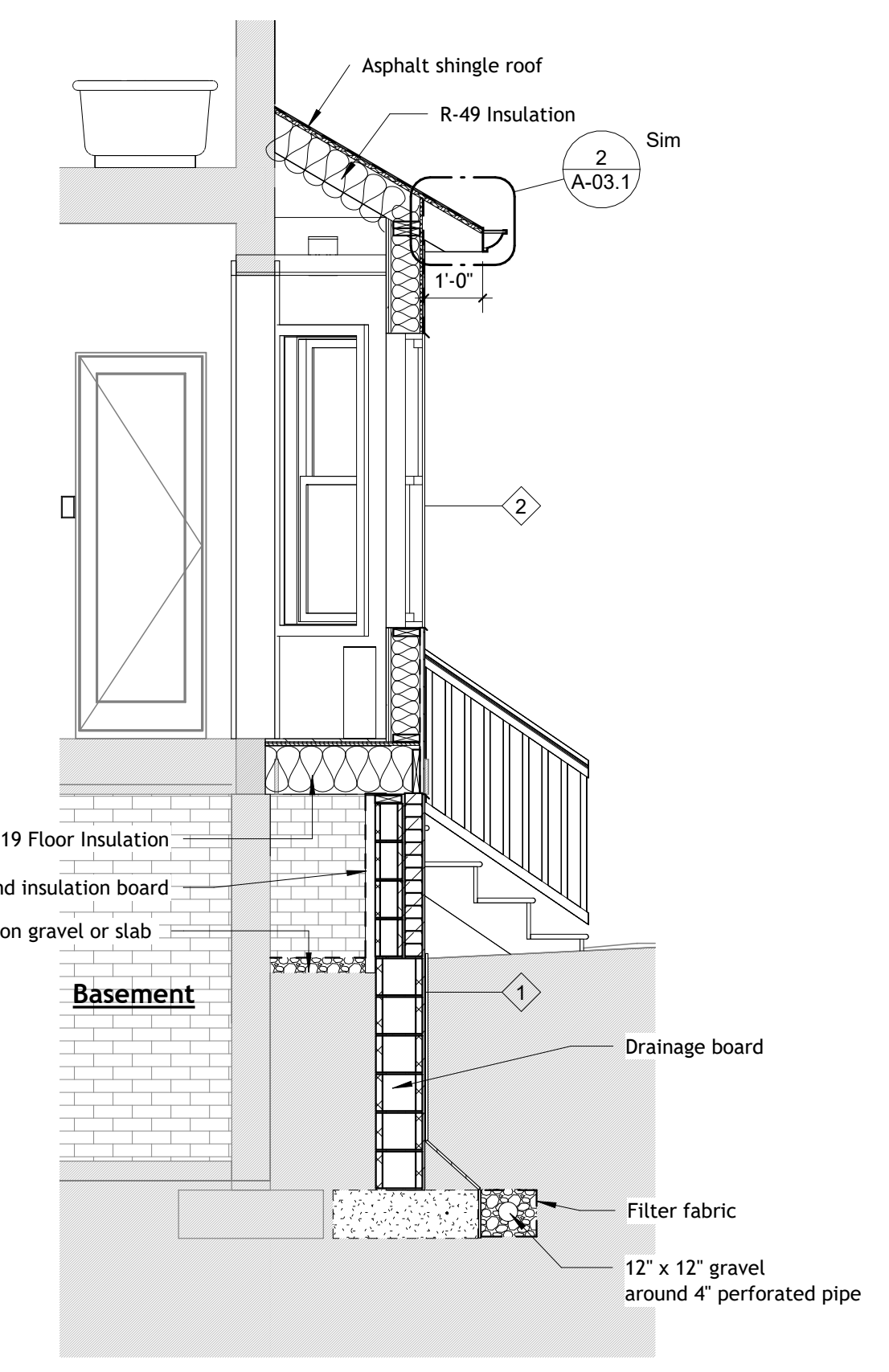
SCALE: As indicated



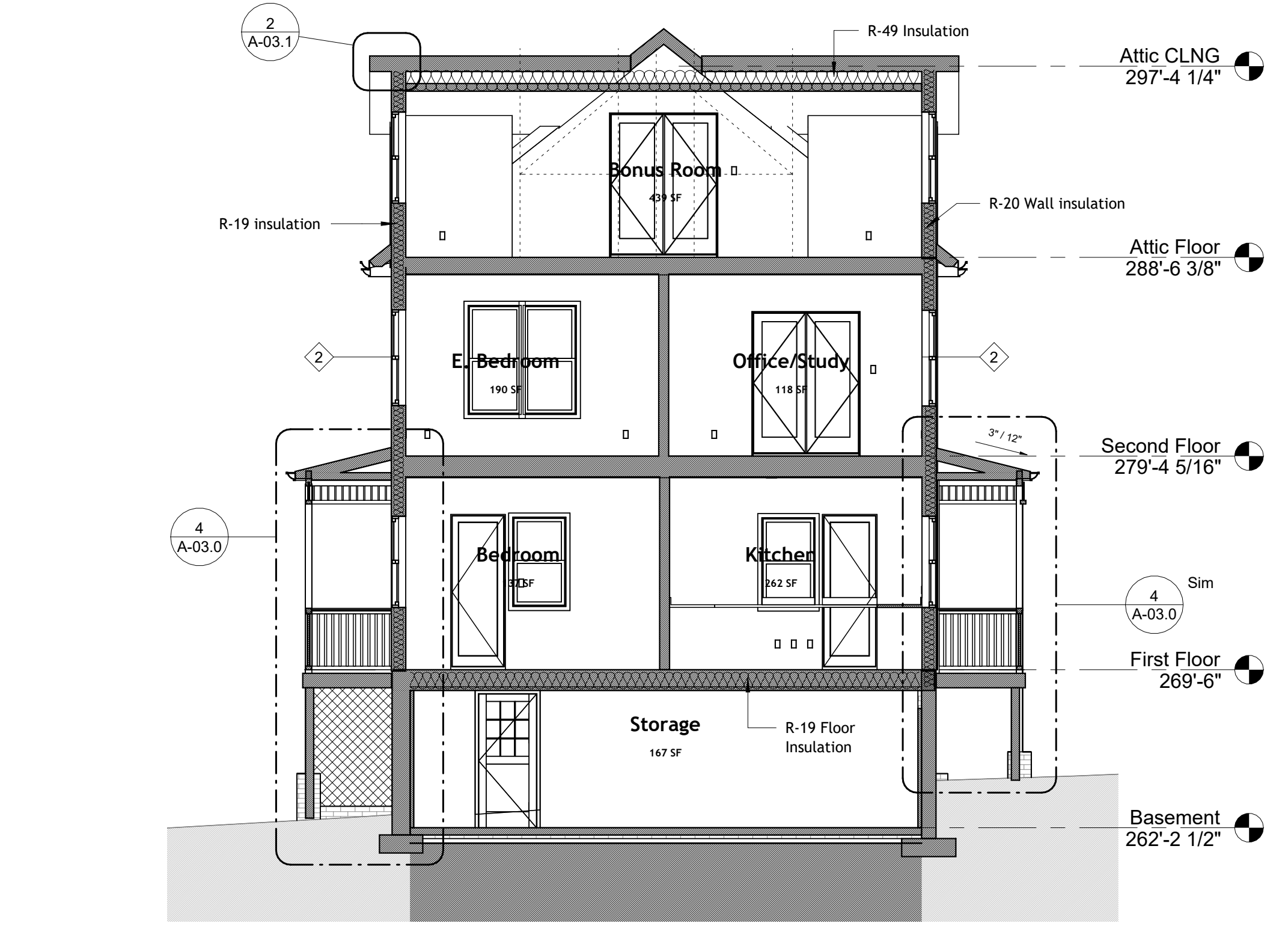
1 Proposed Porch Detail
1" = 1'-0"



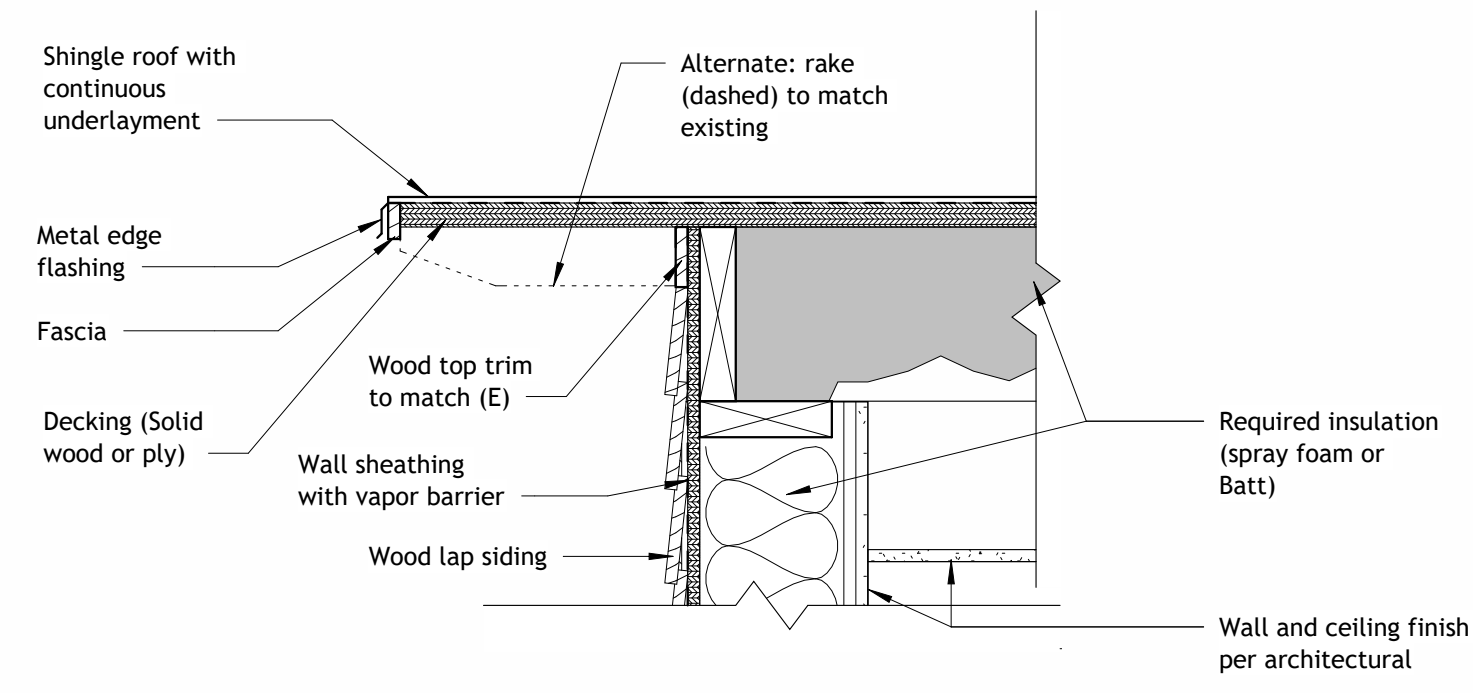
2 Section 2
3/16" = 1'-0"



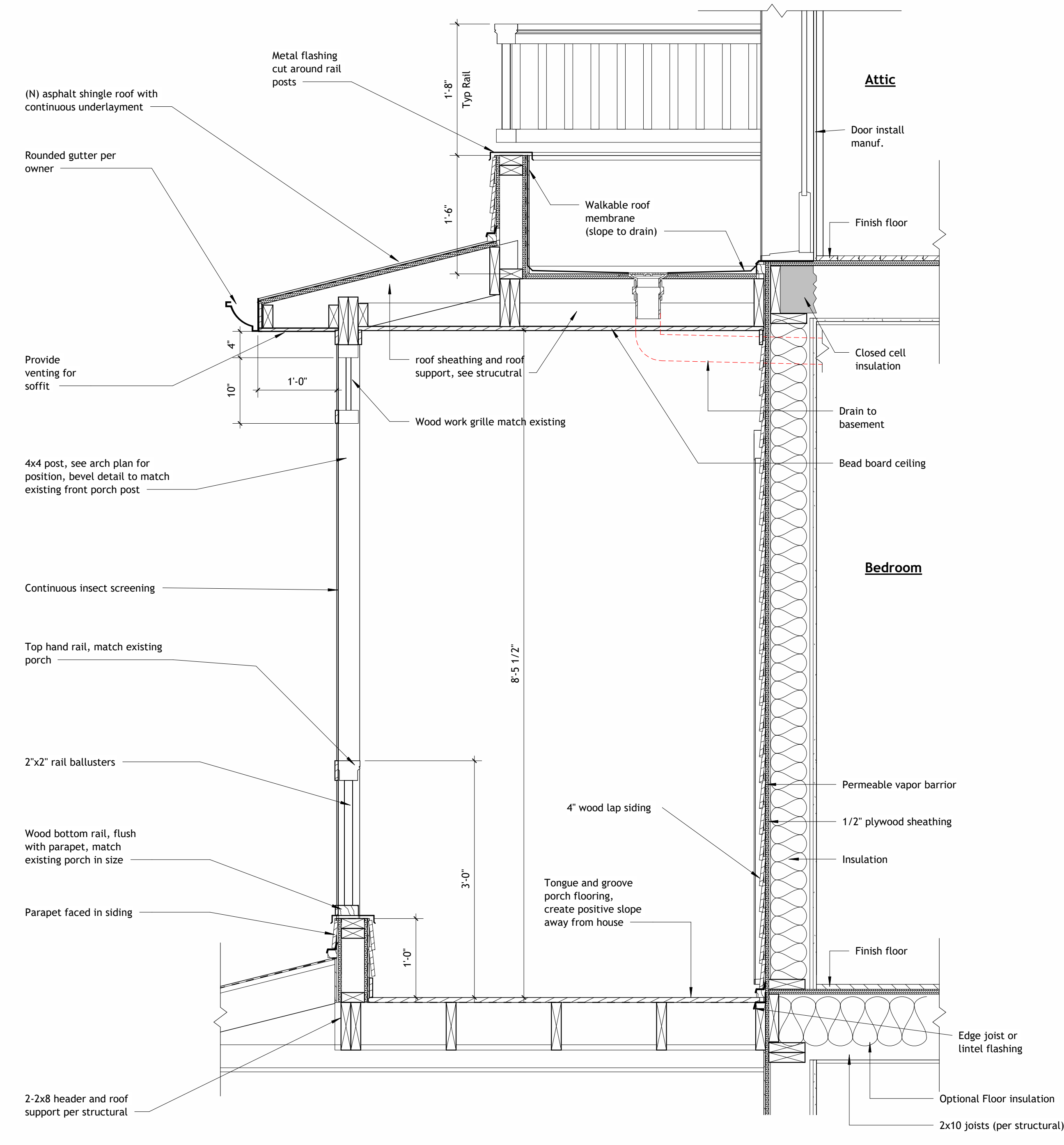
3 PROPOSED Section thru Bay Window
3/8" = 1'-0"



4 PROPOSED Addition Section
3/16" = 1'-0"



2 Typical Soffit
1 1/2" = 1'-0"

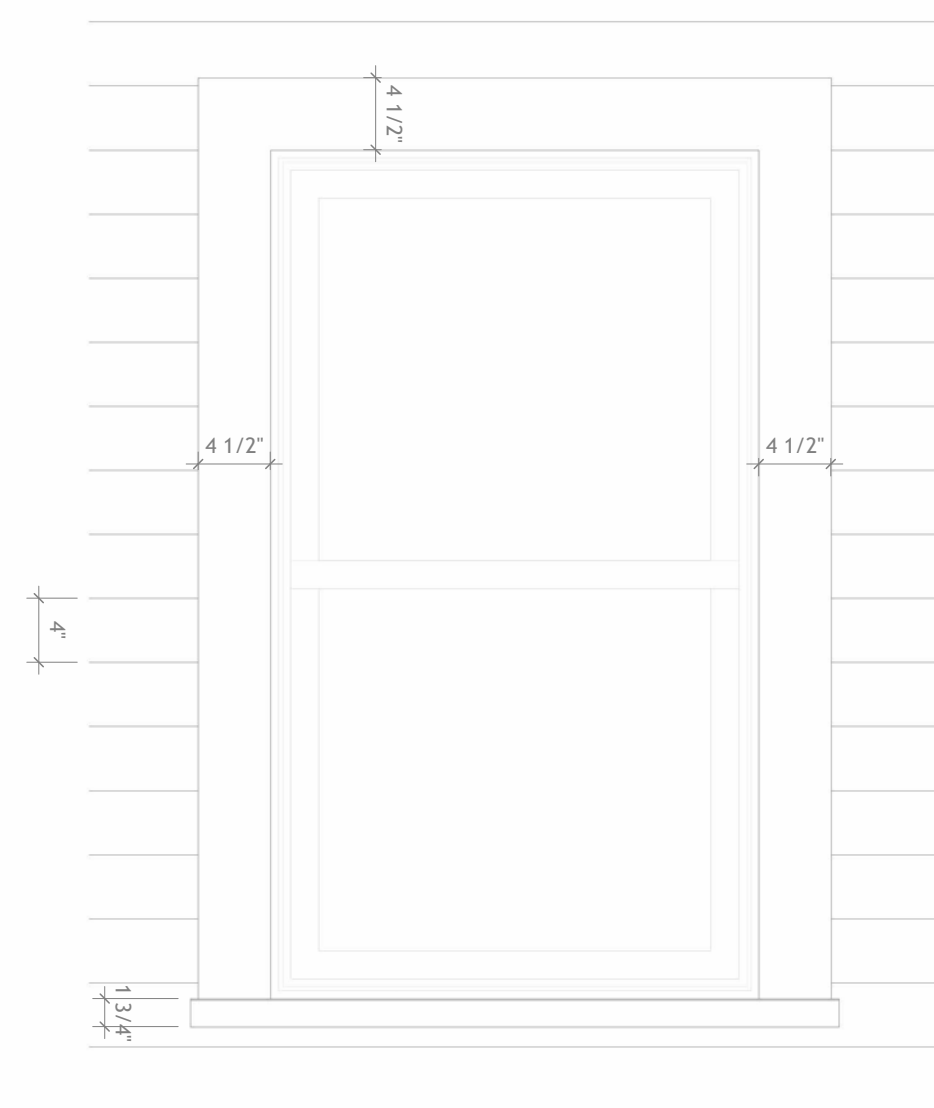


1 Screened Porch - Wall Section
1" = 1'-0"

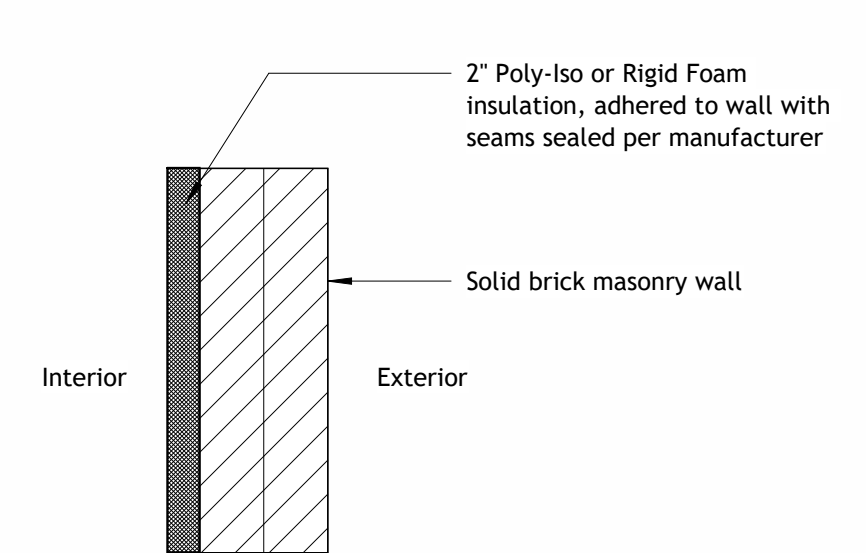
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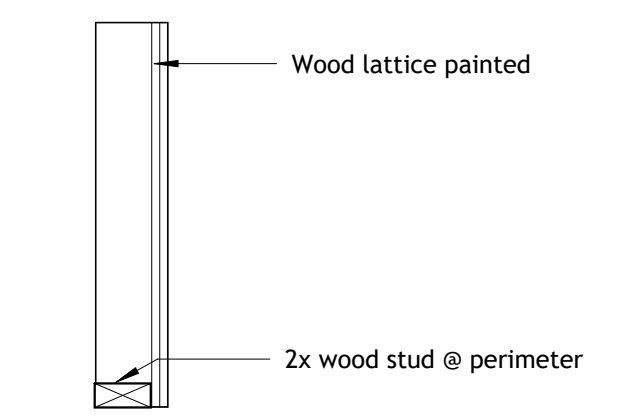
REVIEWED
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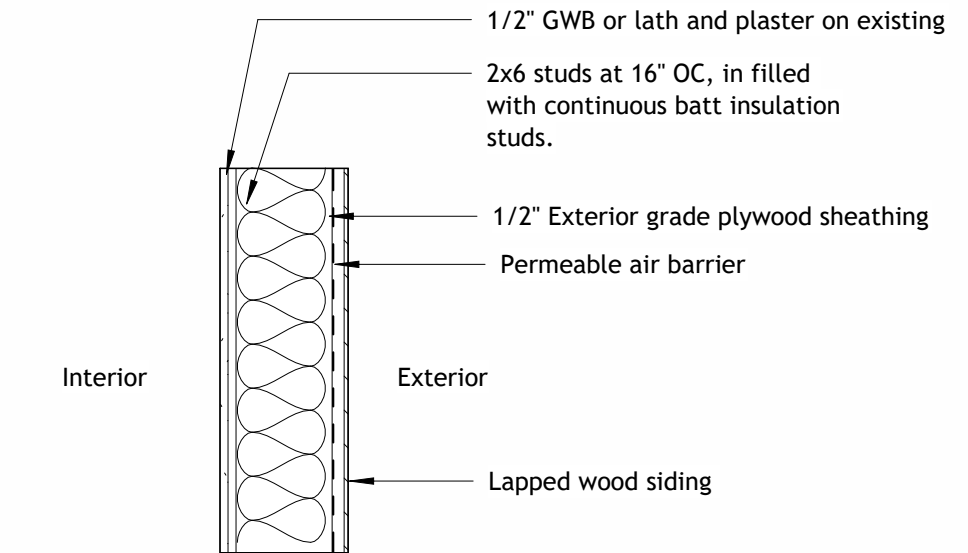
3 Typical Window Trim
1" = 1'-0"



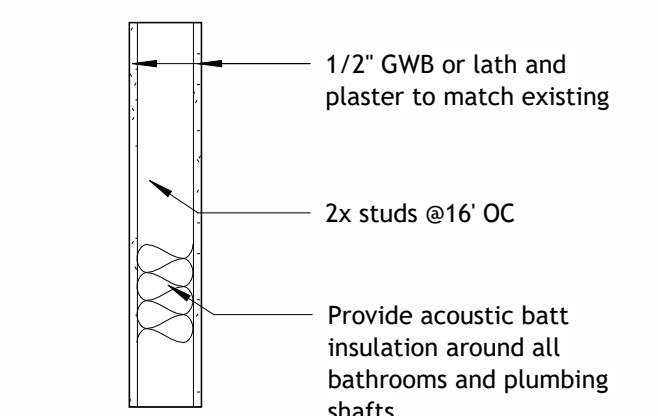
Wall Type 1
Wall assembly ratings:
R value Min. R-13 (R-13 2" Board)



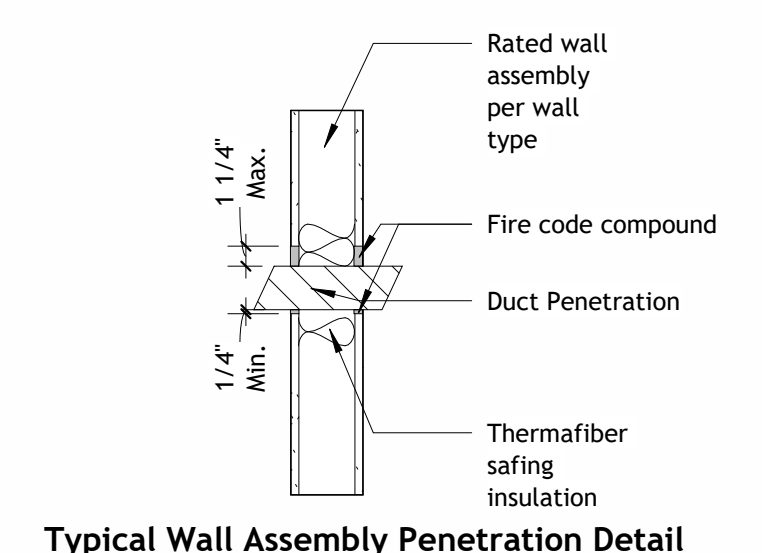
Wall Type 4



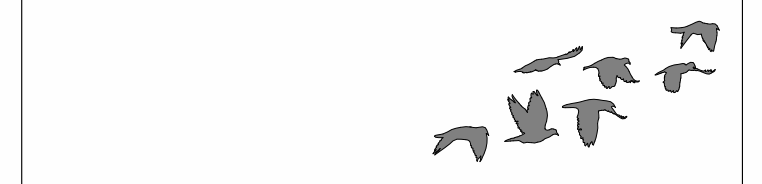
Wall Type 2
Wall assembly ratings:
R value R-20 (R-19 Batt)



Wall Type 3



Typical Wall Assembly Penetration Detail



William Jelen Architect Inc.

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No.	Description	Date

Rood Residence
5 MONTGOMERY AVENUE TAKOMA PARK, MD 20912

Permit Submission
Details

PROJECT NUMBER	2023-02
DATE	4.6.2023
DRAWN BY	Author
CHECKED BY	Checker

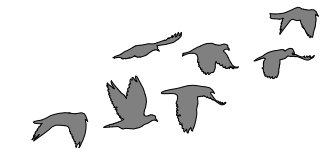
A-03.1
SCALE As indicated



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 Montgomery County
 Historic Preservation Commission



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Rood Residence

5 MONTGOMERY AVENUE TAKOMA PARK, MD
 20912

Permit Submission

Rear Yard SW View

PROJECT NUMBER	2023-02
DATE	4.6.2023
DRAWN BY	Author
CHECKED BY	Checker

A-08.0



William Jelen Architect Inc.

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Rood Residence

5 MONTGOMERY AVENUE TAKOMA PARK, MD
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Permit Submission

Rear Yard SE View

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 By Dan.Bruechert at 4:38 pm, Jun 13, 2023

PROJECT NUMBER	2023-02
DATE	4.6.2023
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A-08.1



Existing conditions looking at North(Front) and West(Side) Facades



Existing conditions looking at North(Front) and East(Side) Facades



Existing conditions looking at South(Back) and West(Side) Facades



Existing conditions looking at South(Back) and East(Side) Facades



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 Historic Preservation Commission

Robert A. Norton

REVIEWED
 By Dan.Bruechert at 4:38 pm, Jun 13, 2023

Rood Residence

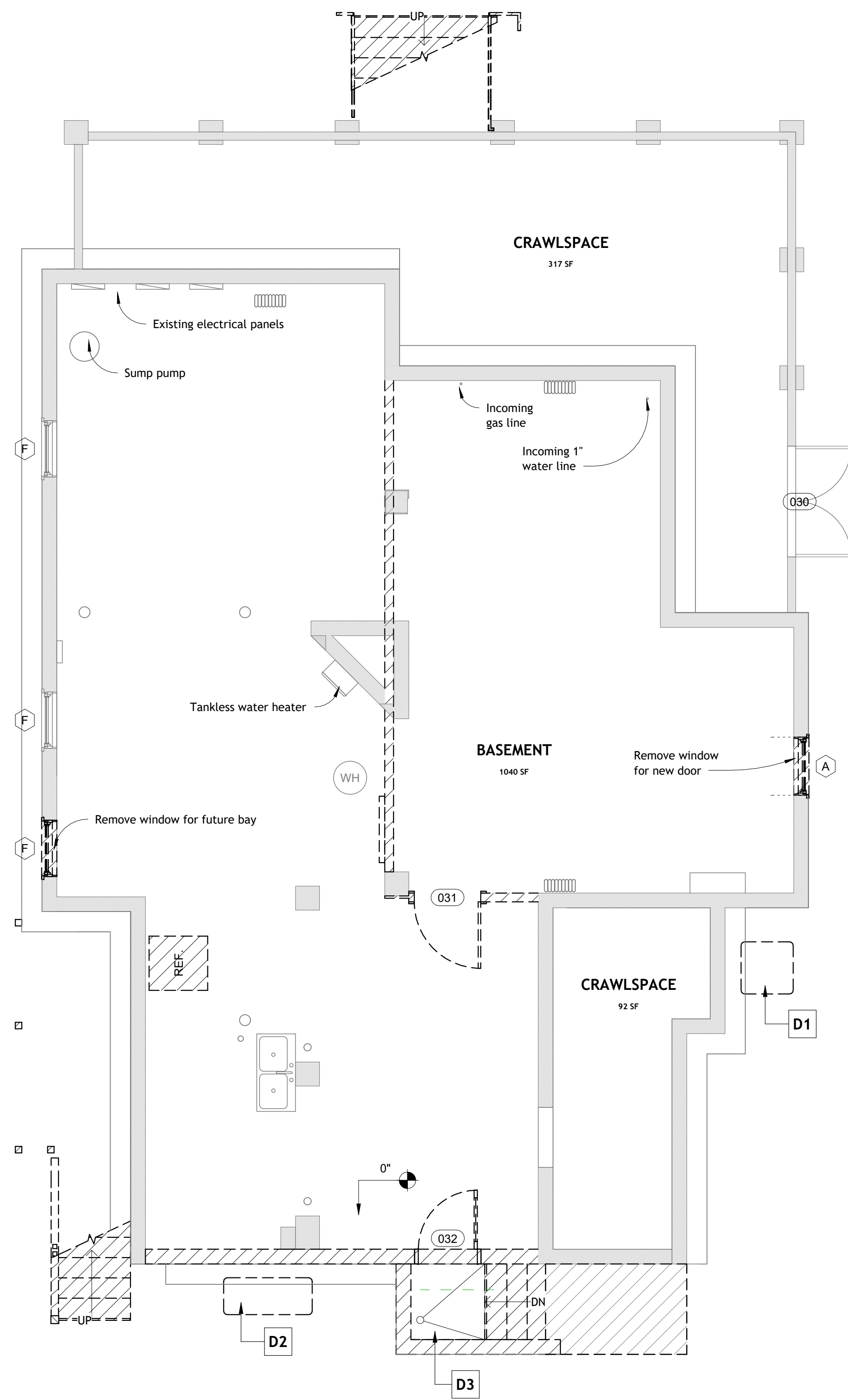
5 MONTGOMERY AVENUE TAKOMA PARK, MD
 20912

Permit Submission

Existing Photos

PROJECT NUMBER	2023-02
DATE	4.6.2023
DRAWN BY	Author
CHECKED BY	Checker

A-9.0

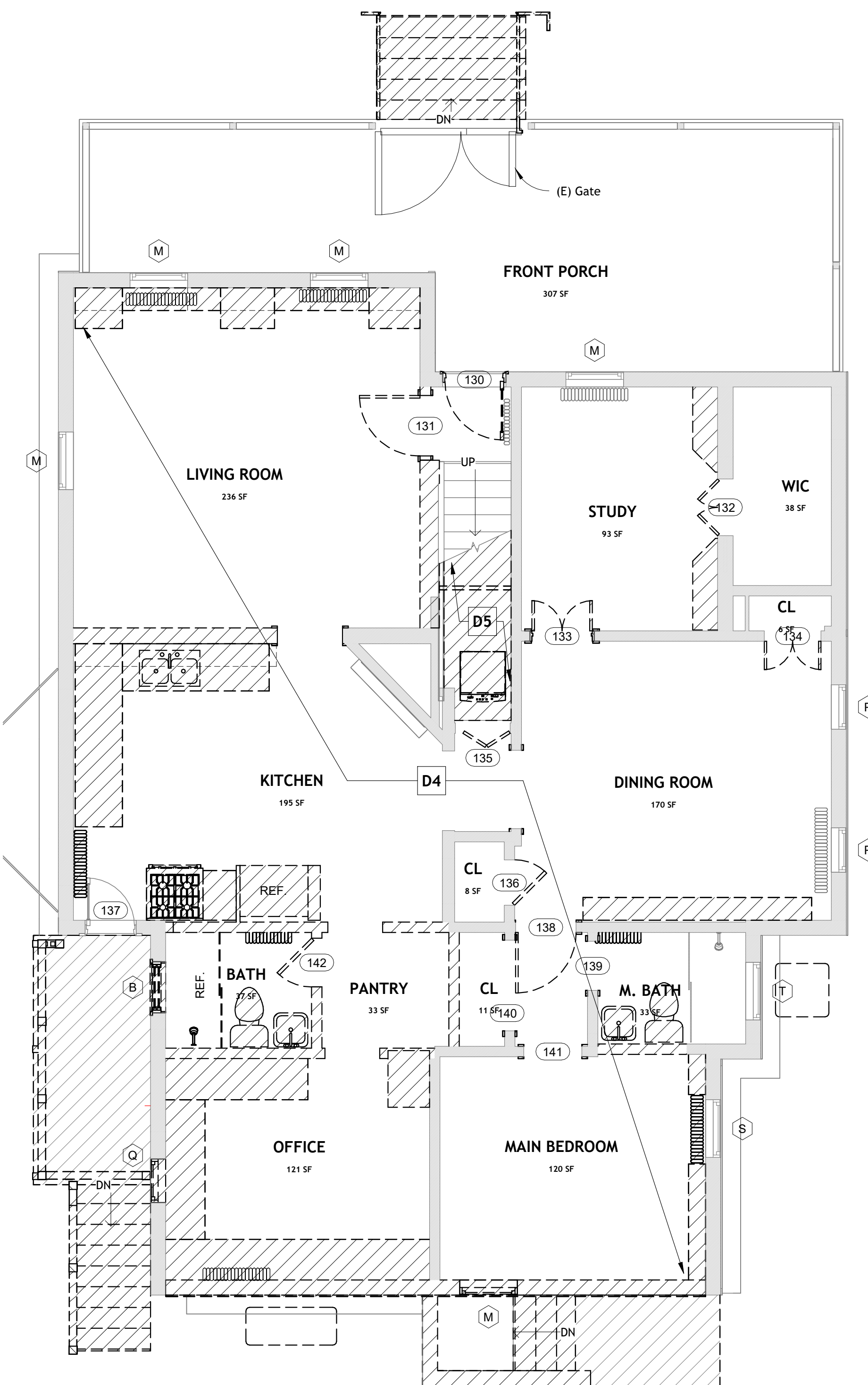


Demolition Plan Legend

- Door Tag (refers to existing door schedule) A-01.0
- Window Tag (refers to existing window schedule) A-03.0
- Existing building elements shown grey
- Demolished building elements shown dashed with hatch

- D1** Relocate outside air unit per owner
- D2** Relocate generator per owner
- D3** Retain existing floor drain
- D4** Remove all interior millwork and floor finishes as necessary to provide new unified finish floor
- D5** Cut floor below stair for new stair, brace existing framing and install new supports per structural
- D6** Remove existing stair
- D7** Cut floor for new stair, brace existing framing and install new supports per structural

Existing Door Schedule				
Mark	Width	Height	Phase Demolished	Comments
030	5'-0"	2'-6"	None	
031	3'-0"	6'-8"	Demo	
032	2'-8"	6'-2"	Demo	
130	2'-9 7/16"	6'-10"	Demo	
131	2'-8"	6'-8"	Demo	
132	2'-6"	6'-8"	Demo	
133	2'-8"	6'-8"	Demo	
134	2'-6"	6'-8"	Demo	
135	2'-5"	6'-8"	Demo	
136	2'-0"	6'-8"	Demo	
137	2'-3"	6'-8"	None	
138	2'-8"	6'-8"	Demo	
139	2'-2"	6'-8"	Demo	
140	4'-0"	6'-8"	Demo	
141	2'-6 3/4"	6'-8"	Demo	
142	2'-1 3/4"	6'-8"	Demo	
229	2'-8"	6'-8"	Demo	
230	2'-2"	6'-8"	Demo	
231	2'-6"	6'-8"	Demo	
232	2'-6"	6'-8"	Demo	
233	2'-0"	6'-8"	Demo	
234	2'-5 1/4"	6'-8"	None	
235	2'-2"	6'-8"	None	
236	4'-0"	6'-8"	Demo	
238	2'-10"	6'-8"	None	
252	2'-7 1/2"	6'-8"	None	
253	2'-8"	6'-8"	None	
254	1'-11 1/2"	6'-8"	None	
311	3'-6 1/8"	7'-8"	None	
312	3'-5 1/2"	7'-8"	Demo	
313	2'-10 1/2"	8'-6"	Demo	
316	2'-5"	6'-6"	Demo	
323	2'-5"	6'-6 1/2"	Demo	
328	2'-6 1/2"	6'-8"	Demo	
332	2'-0"	6'-8"	None	
334	2'-6"	6'-8"	None	
335	6'-0"	4'-0"	Demo	
337	2'-6"	6'-8"	None	
342	2'-0"	6'-8"	Demo	
351	2'-8"	6'-8"	Demo	
357	2'-2"	6'-8"	Demo	
358	2'-2"	6'-8"	None	

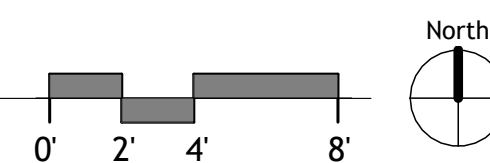


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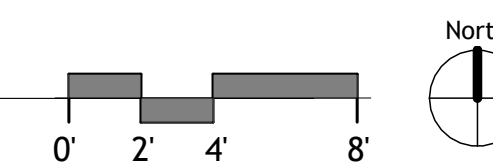
[Signature]

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By Dan.Bruechert at 4:38 pm, Jun 13, 2023

5 DEMO 0 Basement
1/4" = 1'-0"



2 DEMO 1 First Floor
1/4" = 1'-0"



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No.	Description	Date

Rood Residence

5 MONTGOMERY AVENUE TAKOMA PARK, MD 20912

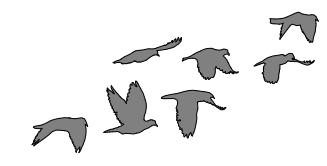
Permit Submission

Demolition Plans

PROJECT NUMBER	2023-02
DATE	4.6.2023
DRAWN BY	Author
CHECKED BY	Checker

AD-01.0

SCALE 1/4" = 1'-0"



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No.	Description	Date

Rood Residence

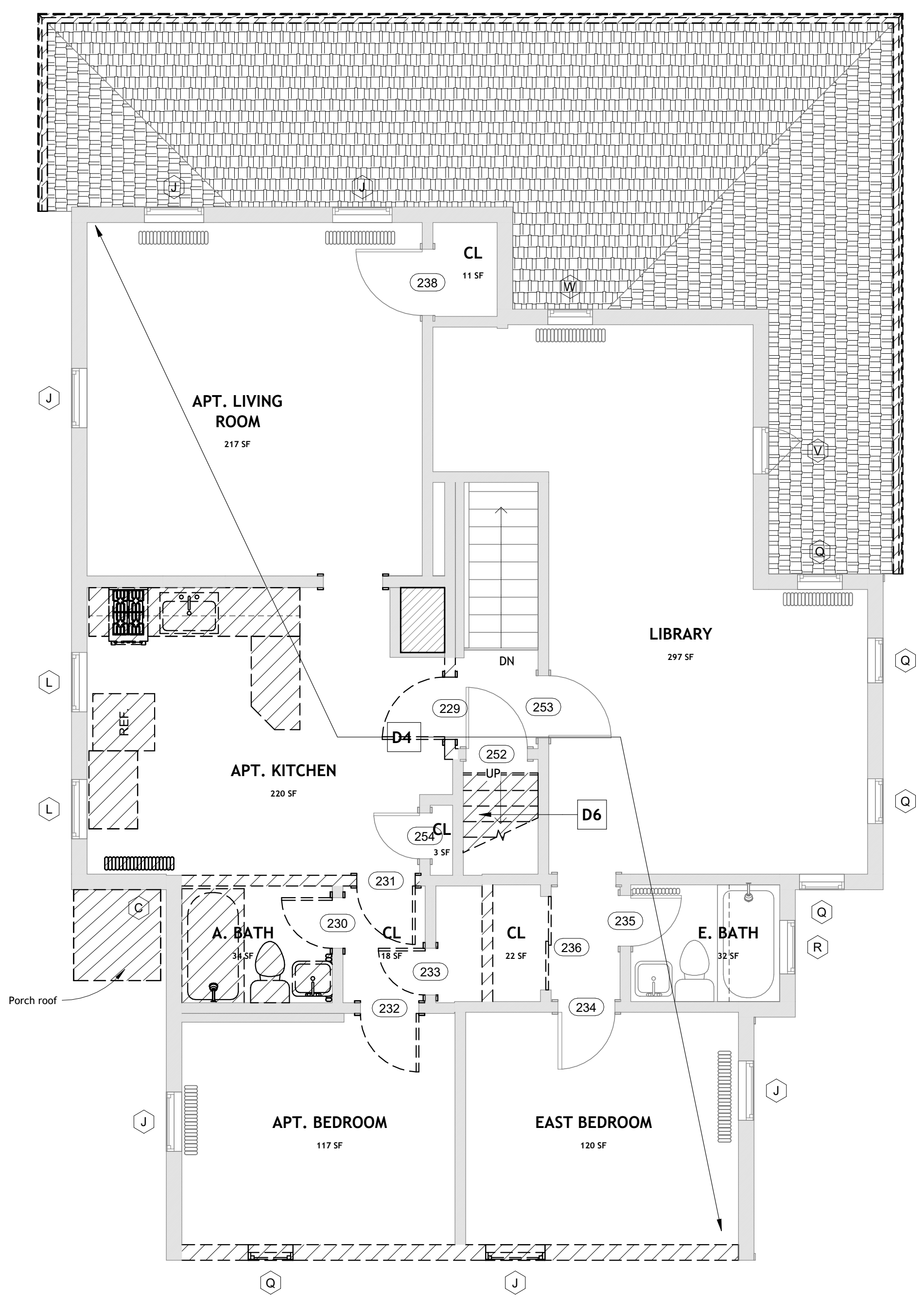
5 MONTGOMERY AVENUE TAKOMA PARK, MD 20912

Permit Submission Demolition Plans

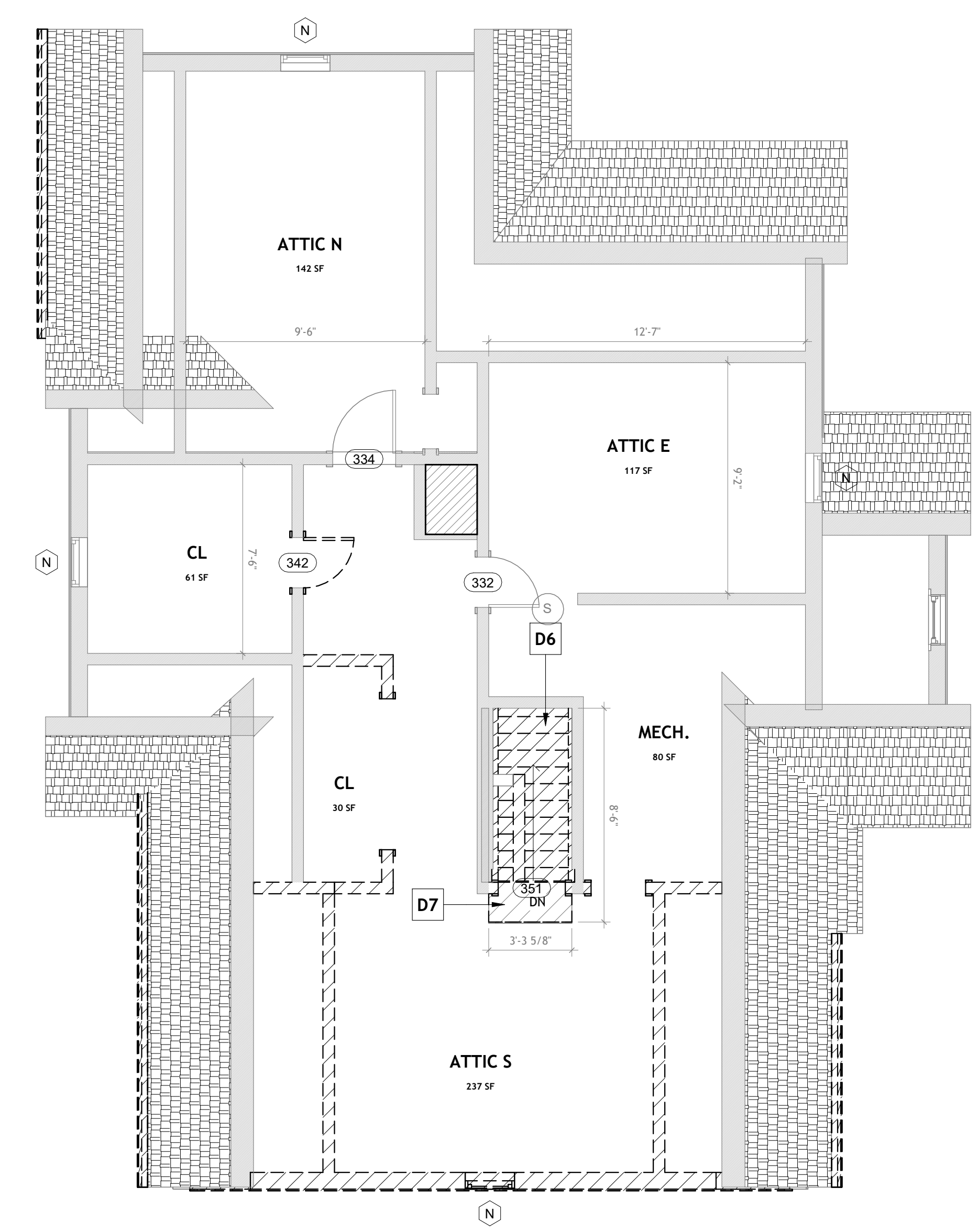
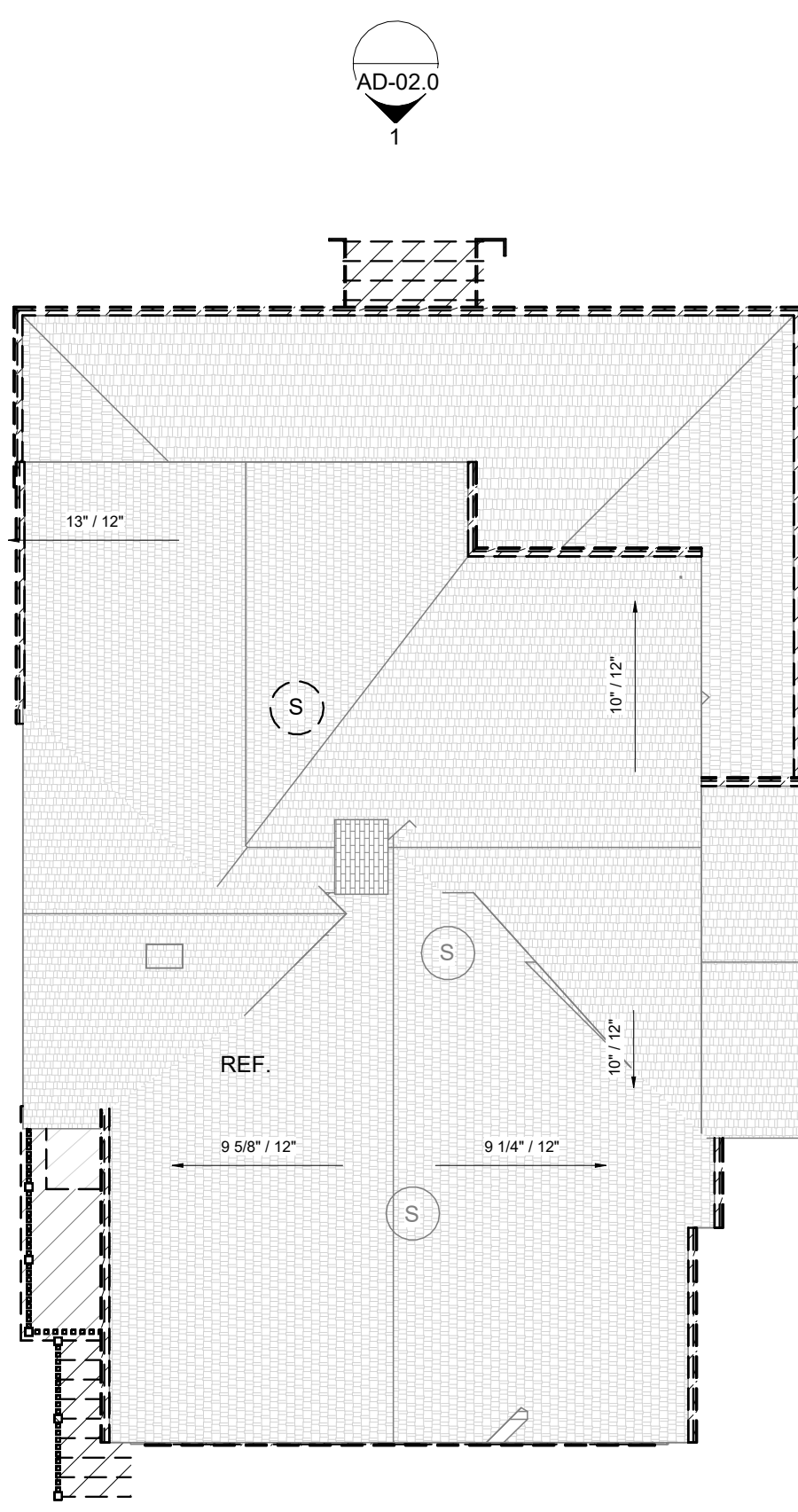
PROJECT NUMBER	2023-02
DATE	4.6.2023
DRAWN BY	WJ
CHECKED BY	WJA

AD-01.1

SCALE: As indicated



- Demolition Plan Legend**
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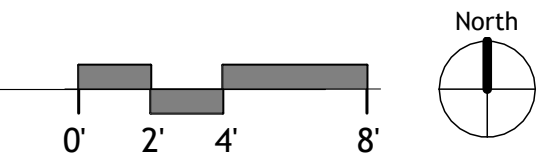


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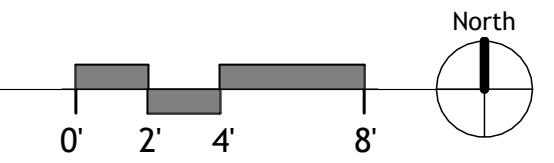
1 DEMO 2 Second Floor
 1/4" = 1'-0"

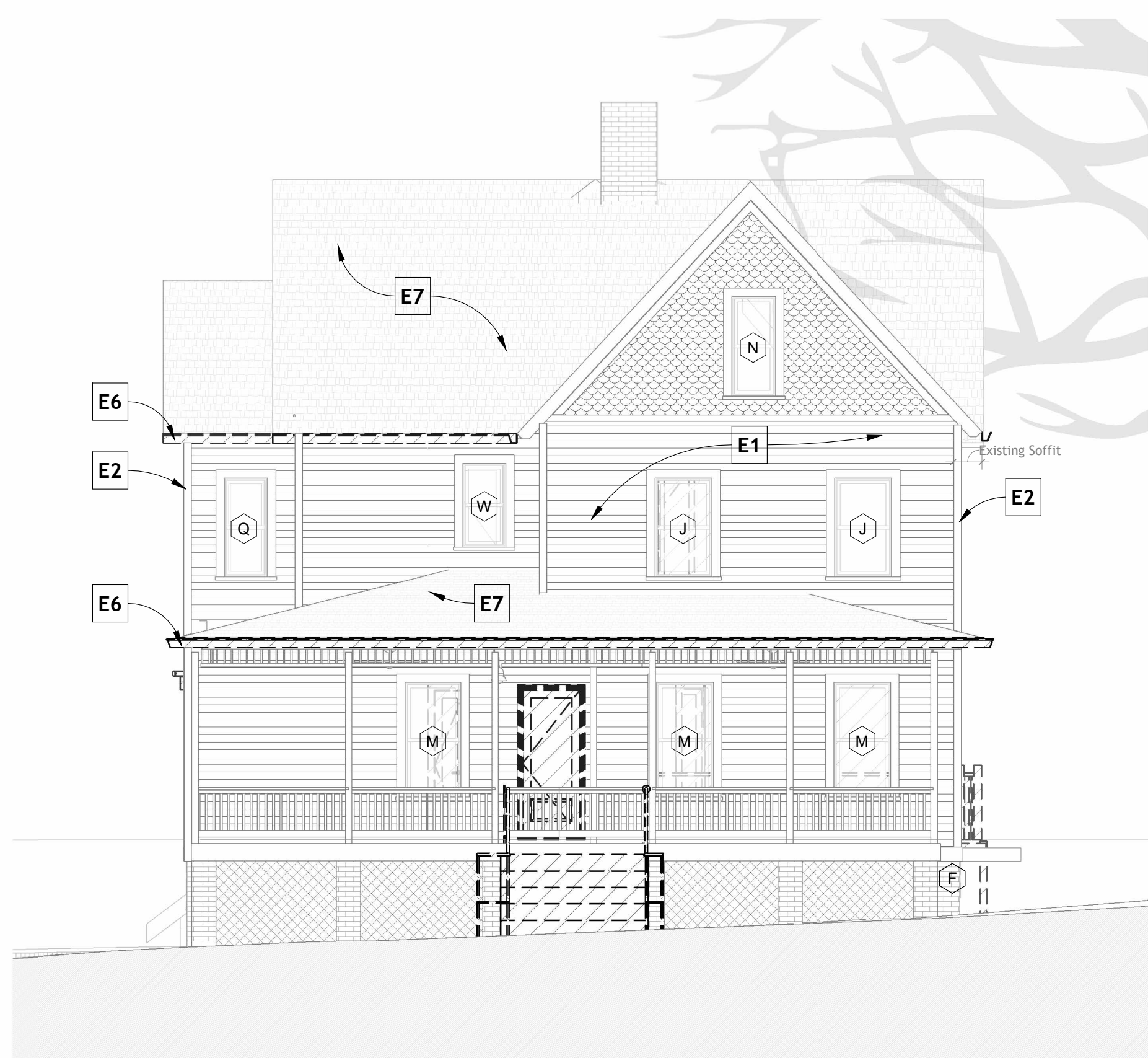


3 DEMO 4 Roof Plan
 1/8" = 1'-0"

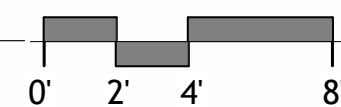


2 DEMO 3 Attic Floor
 1/4" = 1'-0"

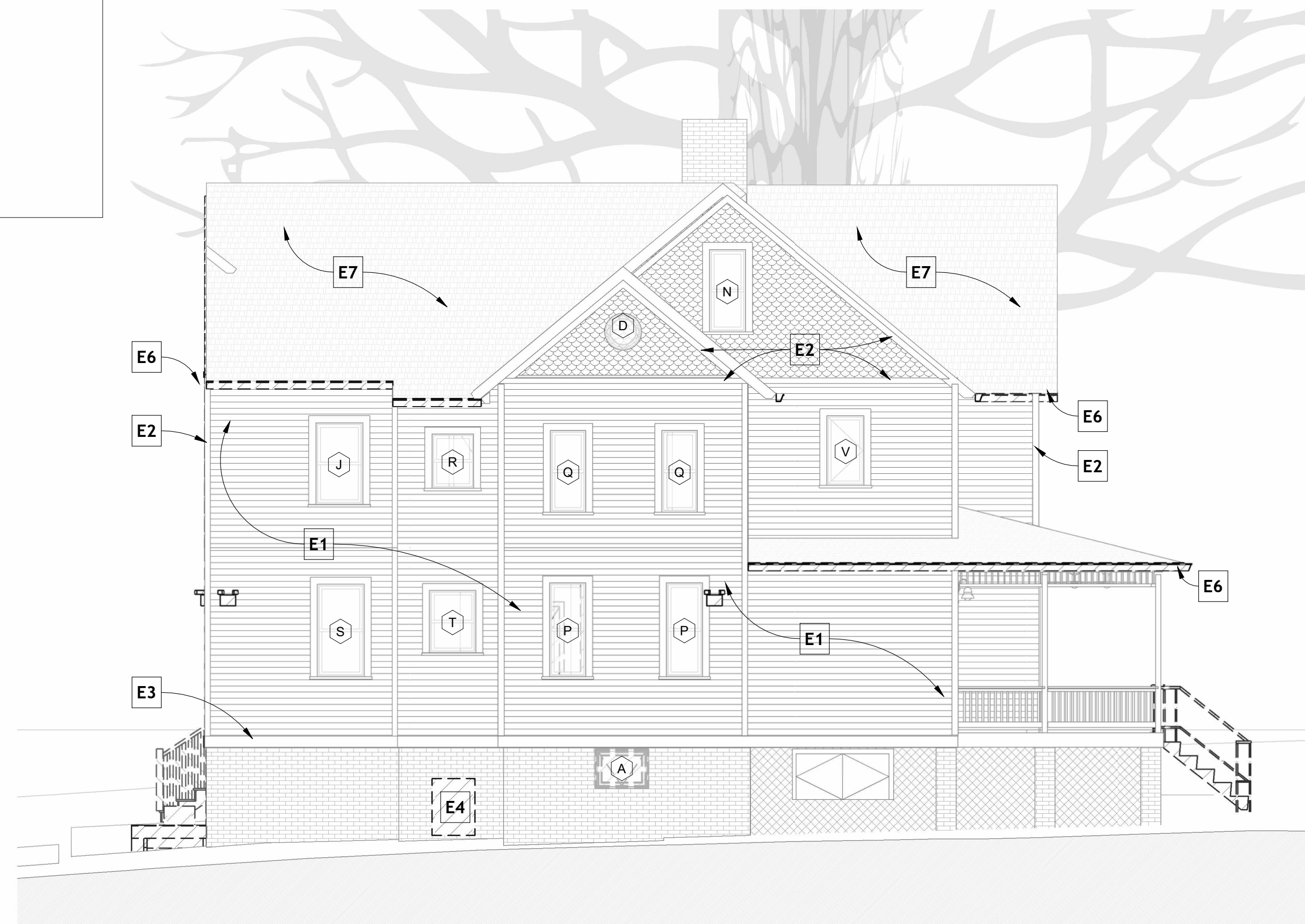




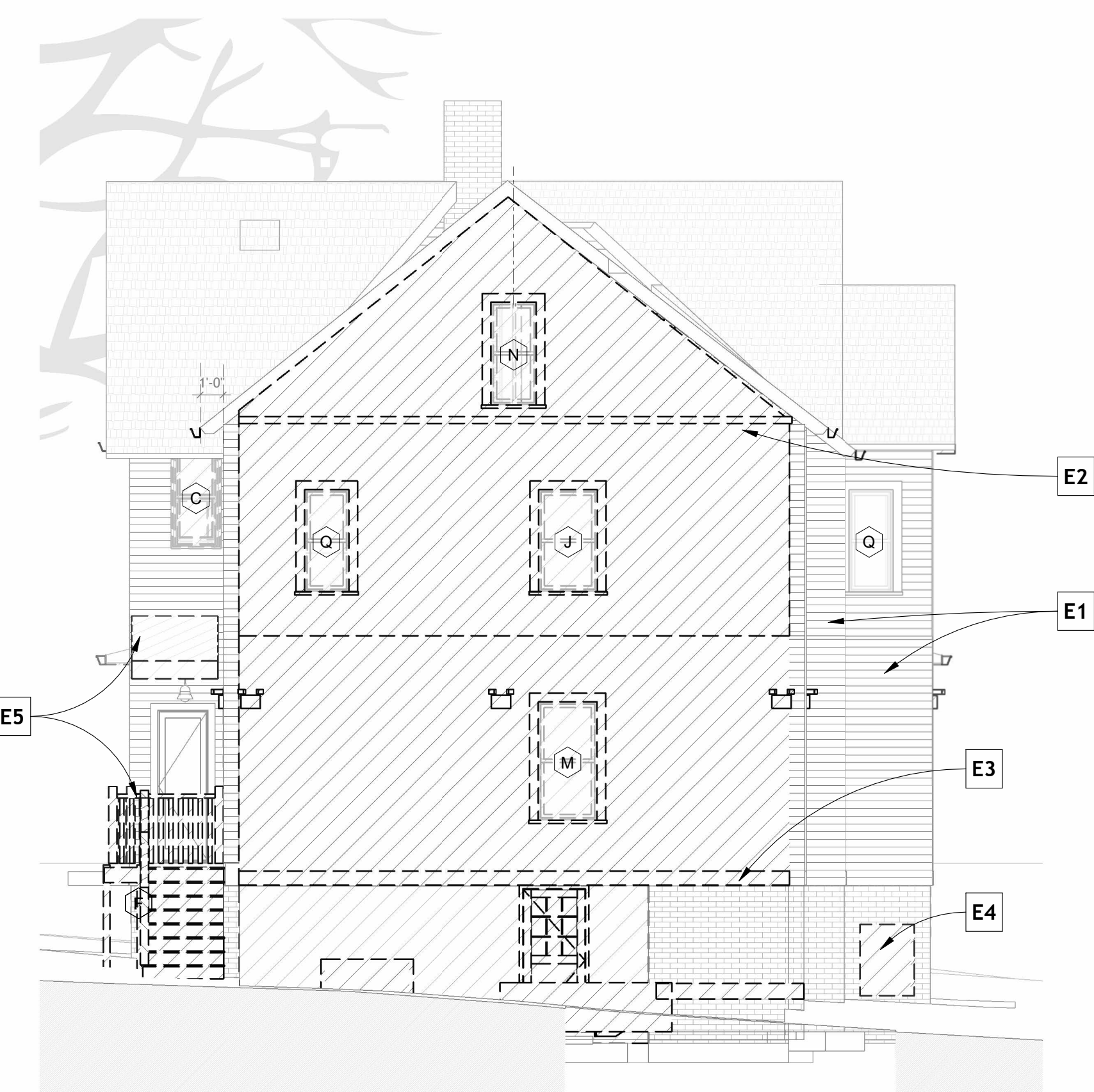
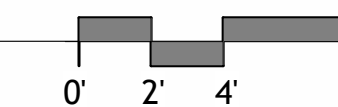
1 EXST North Elevation
3/16" = 1'-0"



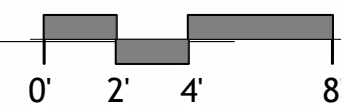
Existing Window Schedule			
Type Mark	Width	Height	Comments
A	2'-7 1/2"	2'-0"	
B	2'-3"	3'-4"	
C	1'-11 1/4"	4'-2 3/4"	
D	2'-0"	2'-0"	
F	2'-6 1/2"	1'-7"	
J	2'-6 1/2"	4'-5"	
L	2'-6 1/2"	4'-2 1/2"	
M	2'-6 1/2"	5'-1 1/2"	
N	1'-11 1/2"	4'-5 1/2"	
O	1'-11"	3'-1 1/4"	
P	1'-11 1/2"	5'-1"	
Q	1'-11"	4'-5"	
R	2'-3 1/2"	2'-11 1/4"	
S	2'-6 1/2"	5'-0"	
T	2'-6 1/2"	3'-4 1/2"	
V	2'-0"	3'-9"	
W	1'-11"	3'-9"	



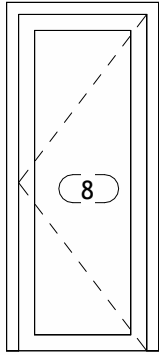
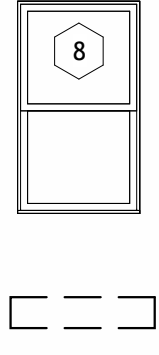
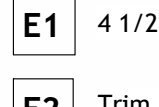
2 EXST East Elevation
3/16" = 1'-0"



3 EXST South Elevation
3/16" = 1'-0"

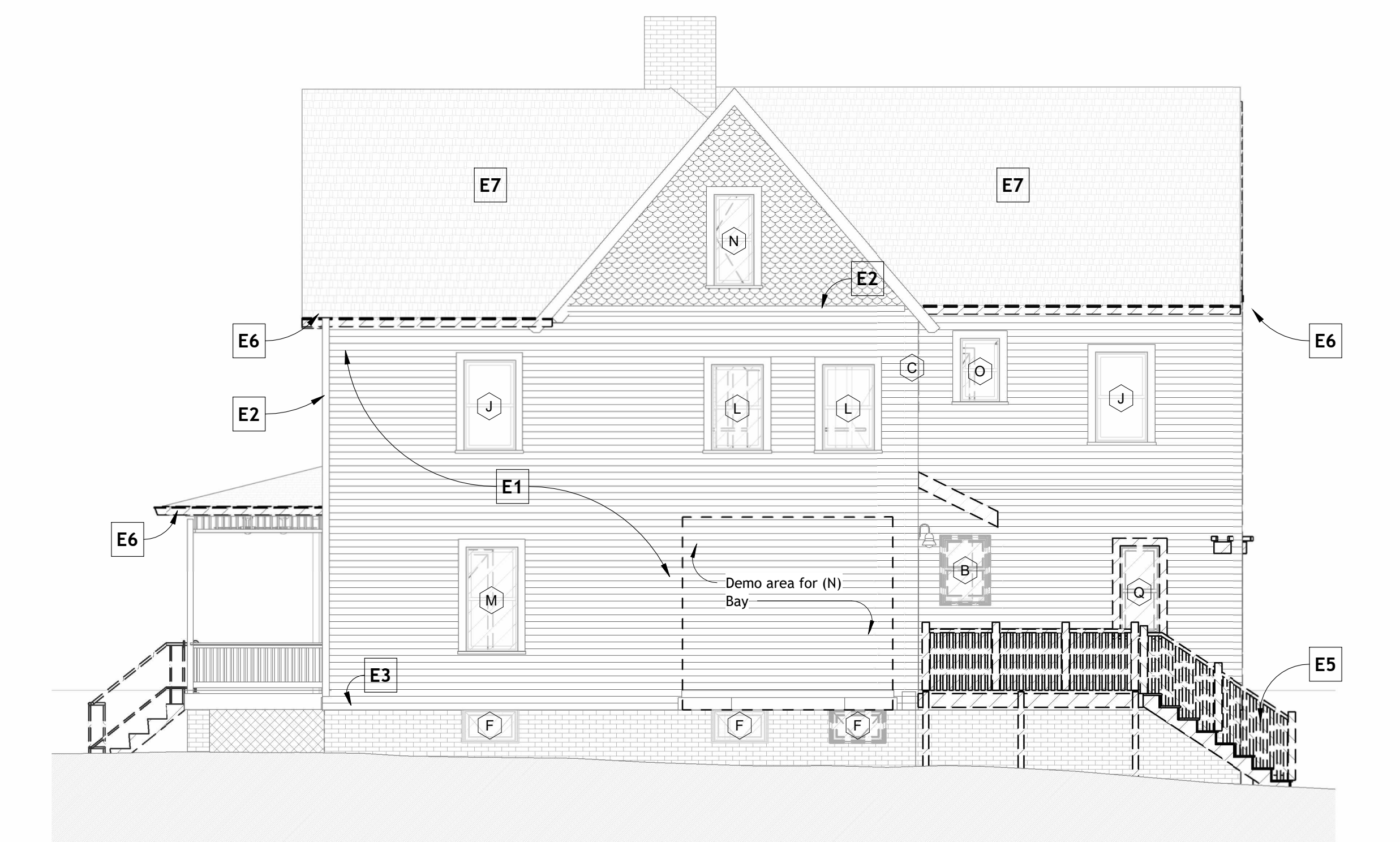


Existing Elevation Legend

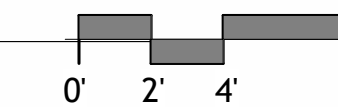
-  Door Tag (refers to door schedule) A-__
-  Window Tag (refers to window schedule) A-__
-  Demolished building elements shown dashed
- E1** 4 1/2" Pine lap siding with +/- 4" left exposed
- E2** Trim board +/- 4 1/2" (Verify in Field)
- E3** Watertable board and drip edge +/- 7" (See detail, Verify in Field)
- E4** Relocate existing mechanical units per owner
- E5** Architectural elements to be removed
- E6** Existing "K" type aluminum gutter and downspouts to be removed
- E7** Existing roofing shingles to be removed

Elevation Legend
1/4" = 1'-0"

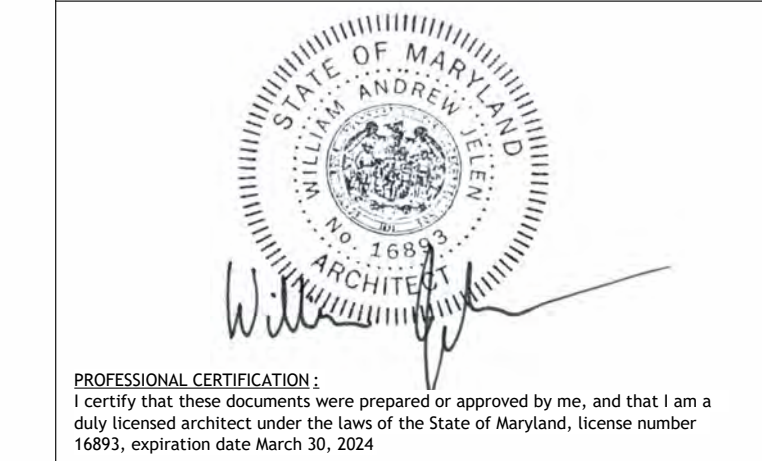
APPROVED
Montgomery County
Historic Preservation Commission
Robert H. [Signature]



4 EXST West Elevation
3/16" = 1'-0"



PROJECT TEAM:
 Architect: William Jelen Architect Inc.
 Contact: William Jelen RA
 Address: 11401 Nairn Rd
 Silver Spring, MD 20902
 Phone: 202-344-5513
 Structural: APAC Engineering
 Contact: Robert Wixon PE
 Address: 8555 16th Street #200
 Silver Spring, MD 20910
 Phone: 301-565-0543
 Owner: Curry Road Leah Revocable Trust
 Contact: Justin Road
 Address: 5 Montgomery Avenue
 Takoma Park, MD 20912-4614
 Phone: 202-281-4055
 General Contractor: DSP Contractors
 Contact: Marcelo Palma
 Address: 1400 Rising Wind Court
 Silver Spring, MD 20905
 Phone: 202-699-0839

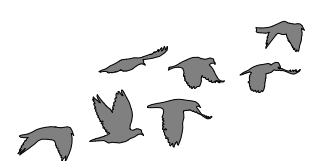


No.	Description	Date

Rood Residence
 5 MONTGOMERY AVENUE TAKOMA PARK, MD
 20912
 Permit Submission
 Existing Elevations

PROJECT NUMBER	2023-02
DATE	4.6.2023
DRAWN BY	Author
CHECKED BY	Checker
AD-02.0	
SCALE	As indicated

REVIEWED
 By Dan.Bruechert at 4:38 pm, Jun 13, 2023



William Jelen Architect Inc.

PROJECT TEAM:

Architect: William Jelen Architect Inc.
 Contact: William Jelen RA
 Address: 11401 Nairn Rd
 Silver Spring, MD 20902
 Phone: 202-344-5513

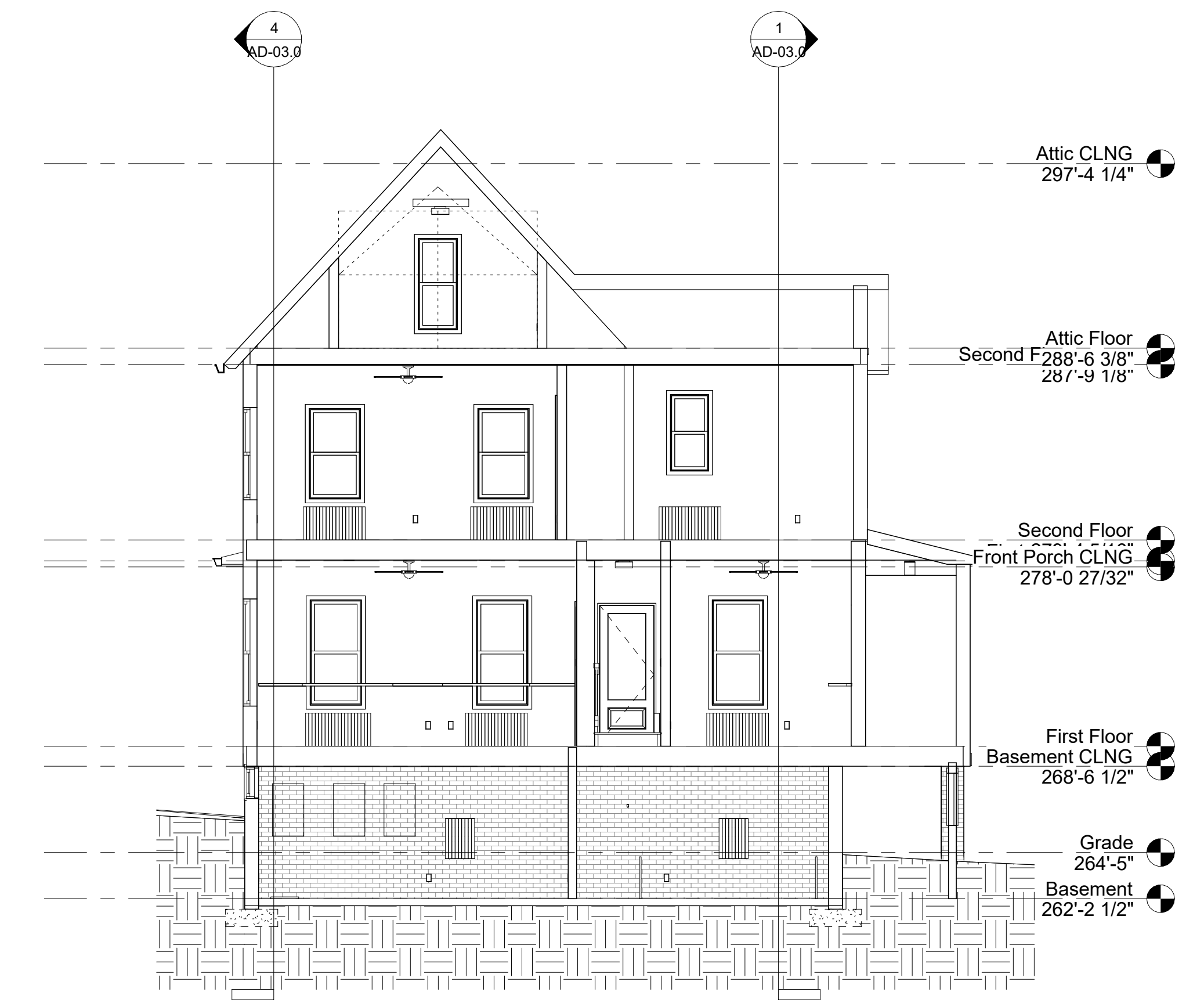
Structural: APAC Engineering
 Contact: Robert Wixon PE
 Address: 8555 16th Street #200
 Silver Spring, MD 20910
 Phone: 301-565-0543

Owner: Curry Road Leah Revocable Trust

Contractor: Justin Road
 Address: 5 Montgomery Avenue
 Takoma Park, MD 20912-4614
 Phone: 202-281-4055

General Contractor: DSP Contractors

Consultant: Marcelo Palma
 Address: 1400 Rising Wind Court
 Silver Spring, MD 20905
 Phone: 202-699-0839



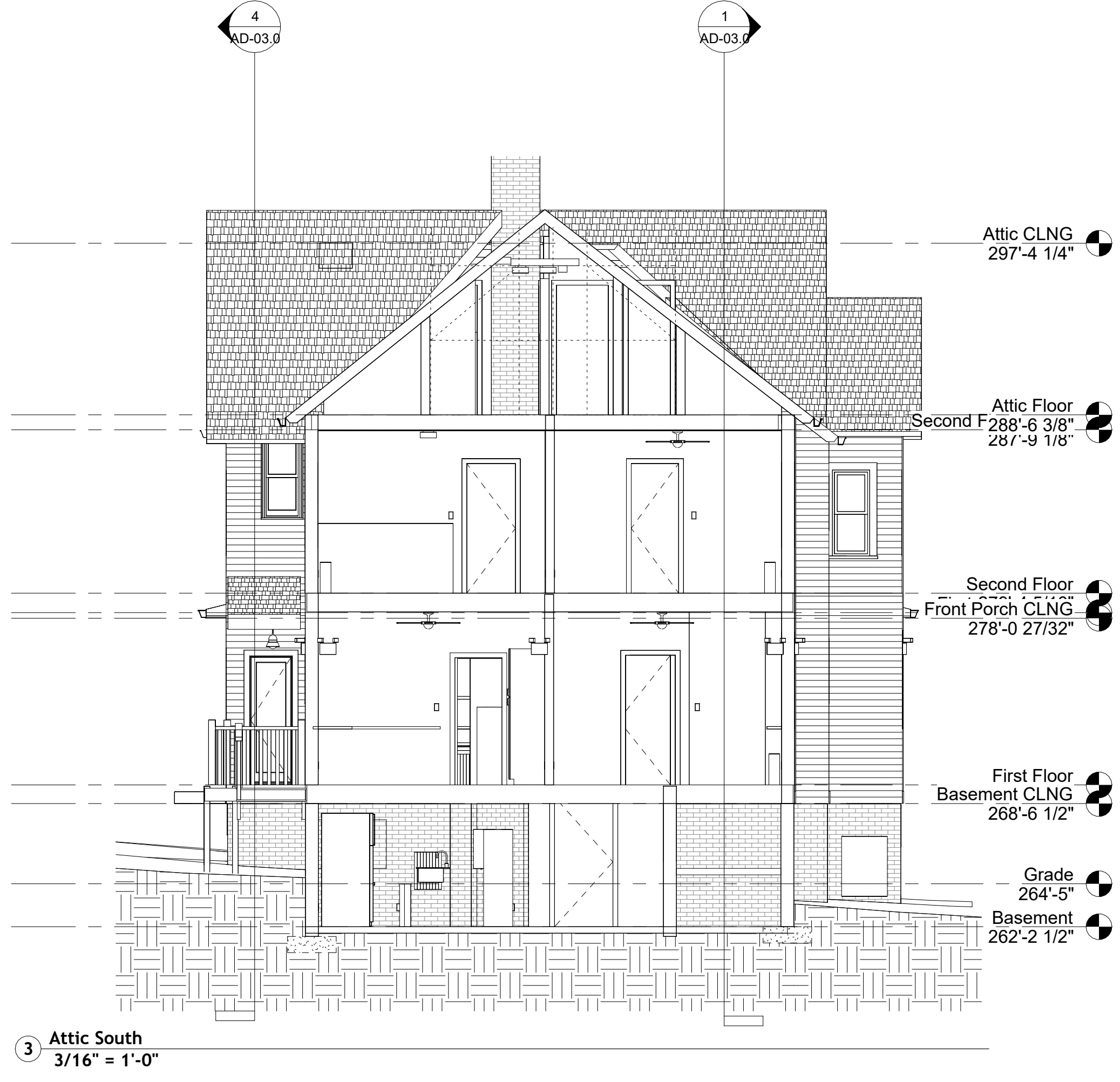
1 Attic East
3/16" = 1'-0"

2 Attic North
3/16" = 1'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission

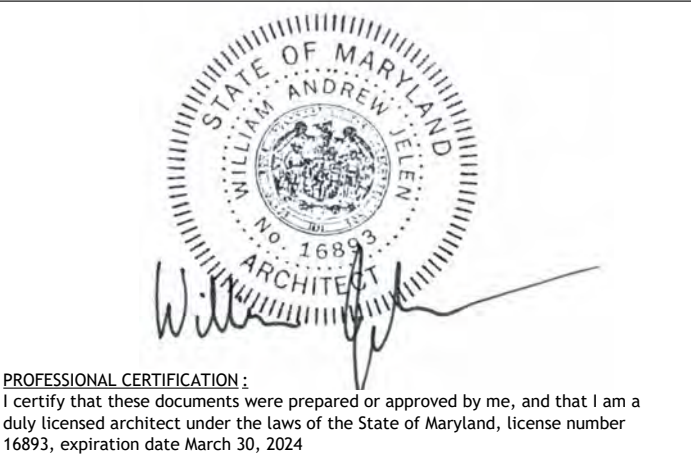
Robert W. Wixon

REVIEWED
 By Dan.Bruechert at 4:38 pm, Jun 13, 2023



4 Attic West
3/16" = 1'-0"

3 Attic South
3/16" = 1'-0"



No.	Description	Date

Road Residence

5 MONTGOMERY AVENUE TAKOMA PARK, MD
20912

Permit Submission

Existing Sections

PROJECT NUMBER	2023-02
DATE	4.6.2023
DRAWN BY	Author
CHECKED BY	Checker

AD-03.0

SCALE 3/16" = 1'-0"