



## HISTORIC PRESERVATION COMMISSION

Marc Elrich  
*County Executive*

Robert Sutton  
*Chairman*

Date: May 31, 2023

### MEMORANDUM

TO: Rabbiah Sabbakhan  
Department of Permitting Services

FROM: Michael Kyne  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1028602: Fenestration alterations, construction of new terrace, hardscape and pathway alterations, terrace alterations, installation of cable railings, new rooftop mechanical equipment, tree removal, and lighting alterations

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the May 24, 2023 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Chevy Chase Country Club (DLR Group & EHT Traceries)  
Address: 6100 Connecticut Avenue, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Michael Kyne at 301.563.3403 or [Michael.Kyne@montgomeryplanning.org](mailto:Michael.Kyne@montgomeryplanning.org) to schedule a follow-up site visit.





# CHEVY CHASE CLUB: CLUBHOUSE RENOVATION

6100 CONNECTICUT AVE. CHEVY CHASE, MD 20815

**ISSUED FOR PERMIT**  
HPC REVISIONS

MAY 3, 2023

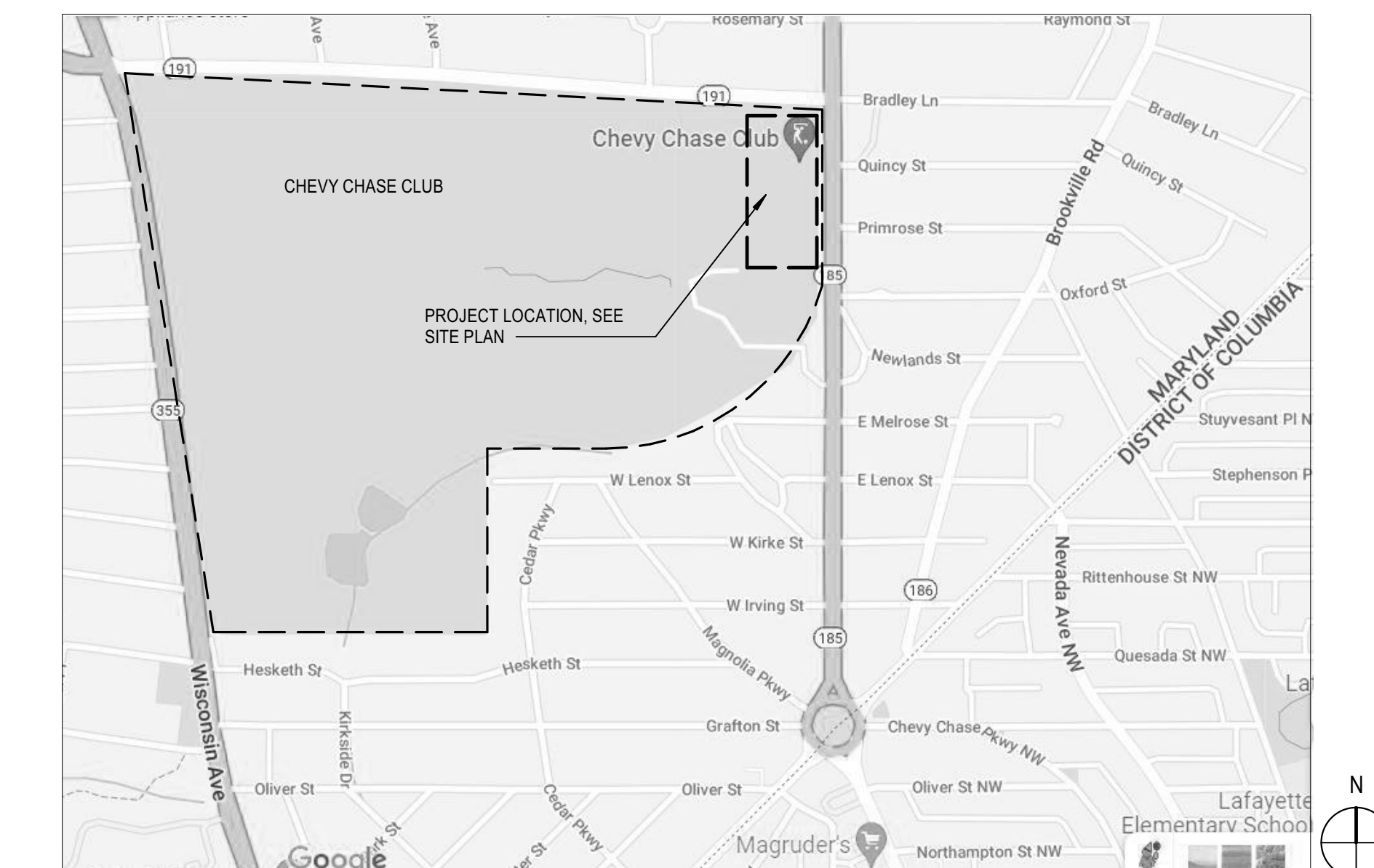
**EXTERIOR WORK ONLY**

**REVIEWED**  
By Michael Kyne at 1:54 pm, May 31, 2023

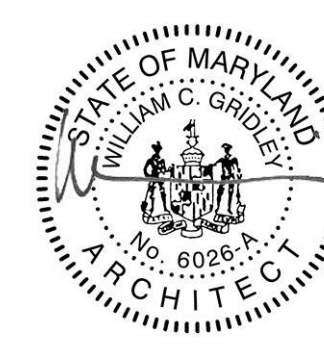
APPROVED  
Montgomery County  
Historic Preservation Commission  
*Robert A. Patton*



VICINITY PLAN



**DLR GROUP | bowie gridley**  
© DLR Group



Professional Certification  
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the State of Maryland.  
License No.: 6026  
Expiration Date: 06/08/2024

**OWNER**  
**CHEVY CHASE CLUB**  
6100 CONNECTICUT AVE.  
CHEVY CHASE, MD 20815

**OWNER REP**  
**JFW, INC.**  
18310 MONTGOMERY VILLAGE AVE.  
SUITE 240  
MONTGOMERY VILLAGE, MD 20879  
301.330.3220

**HISTORIC PRESERVATION**  
**EHT TRACERIES**  
440 MASSACHUSETTS AVEN. NW  
WASHINGTON DC

**INTERIOR DESIGNER**  
**TAMMY CONNOR INTERIOR DESIGN**  
12-A VANDERHORST STREET  
CHARLESTON, SOUTH CAROLINA 29403

**LANDSCAPE**  
**MICHAEL VERGASON LANDSCAPE ARCHITECTS, LTD**  
907 KING STREET,  
SUITE 200  
ALEXANDRIA, VA 22314

**ARCHITECT**  
**DLR GROUP/BOWIE GRIDLEY**  
701 8TH STREET NW,  
SUITE 700  
WASHINGTON, DC 20001  
202. 337.0888

**STRUCTURAL ENGINEER**  
**LINTON ENGINEERING, LLC**  
46090 LAKE CENTER PLAZA,  
SUITE 309  
POTOMAC FALLS, VA 20166

**MEP / FP**  
**DLR GROUP**  
701 8TH STREET NW,  
SUITE 700  
WASHINGTON, DC 20001  
202. 337.0888

**FOOD SERVICE CONSULTANT**  
**SINGER - ASHLAND**  
1565 OAKBRIDGE TERRACE,  
POWHATAN, VA 23139

**ARBORIST**  
**TREESPLEASE**  
P.O. BOX 1025  
HAYMARKET, VA 20169  
703.927.2048

**CHEVY CHASE CLUB**  
CLUBHOUSE RENOVATION  
6100 CONNECTICUT AVE  
CHEVY CHASE, MD 20815

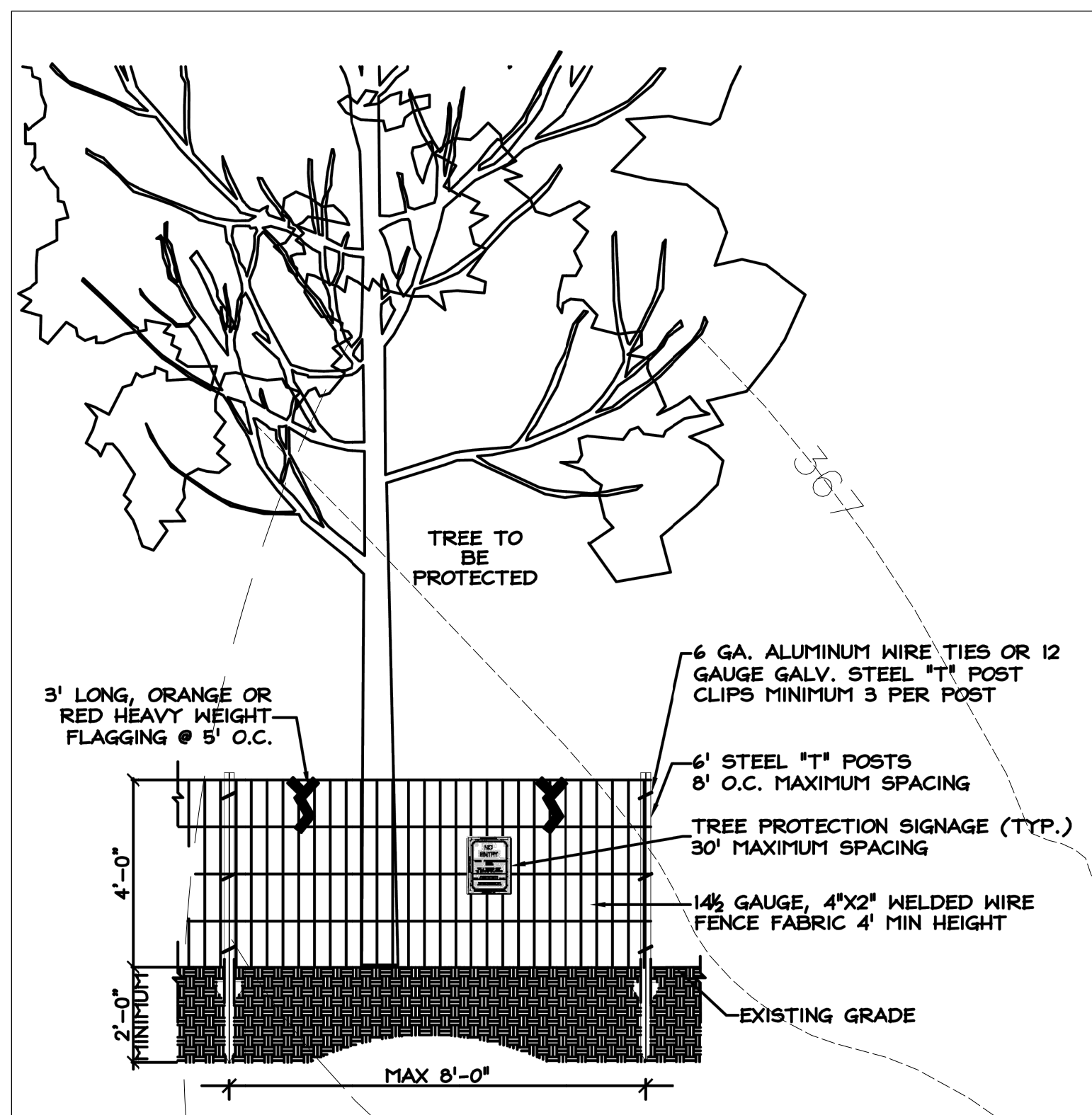
ISSUED FOR PERMIT  
4/12/2023  
REVISIONS

56-22108-00  
COVER SHEET

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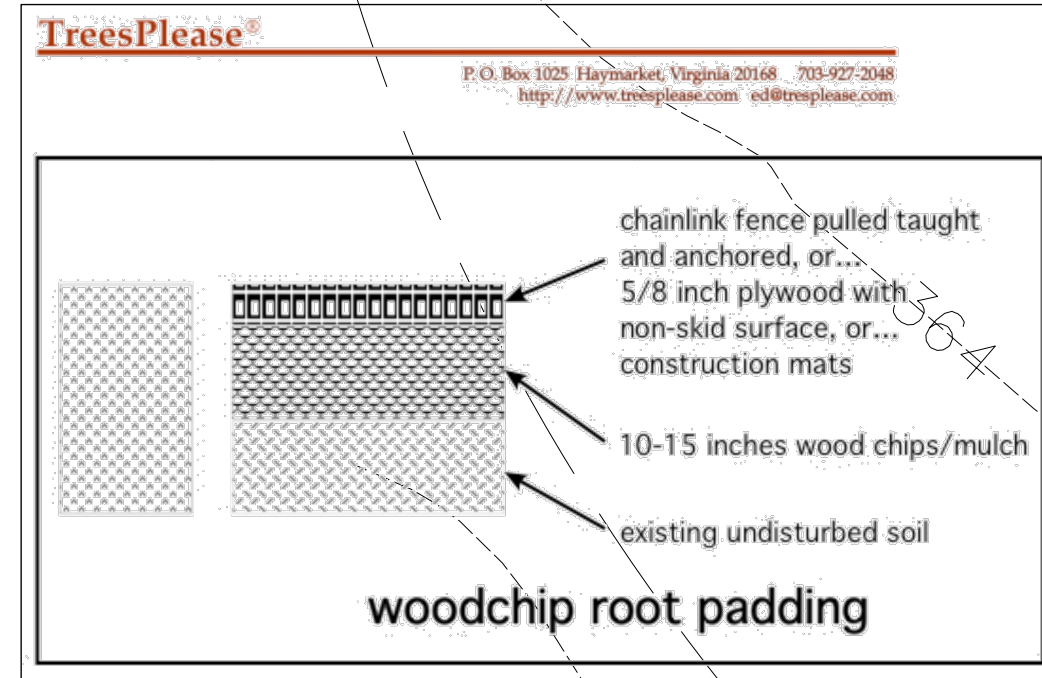
BM\_360766-22108-00\_CCC Main Clubhouse Renovations5622108-00\_CCC Main Clubhouse Reno\_AR\_2023.rvt 14/12/2023 8:04:09 AM





- NOTES:**
1. TREE PROTECTION FENCE SHALL BE INSTALLED PRIOR TO ANY SITE WORK, CLEARING OR DEMOLITION.
  2. WHERE REQUIRED, SUPER SILT FENCE MAY BE USED IN LIEU OF WELDED WIRE FOR TREE PROTECTION PROVIDED IT IS INSTALLED AND MAINTAINED AS A TREE PROTECTION MEASURE AND IS POSTED WITH TREE PROTECTION SIGNS.
  3. TREE PROTECTION FENCE SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. REMOVE FENCE ONLY WITH APPROVAL AND AFTER ALL SITE WORK HAS BEEN COMPLETED.

**WELDED WIRE TREE PROTECTION FENCING - NTS**

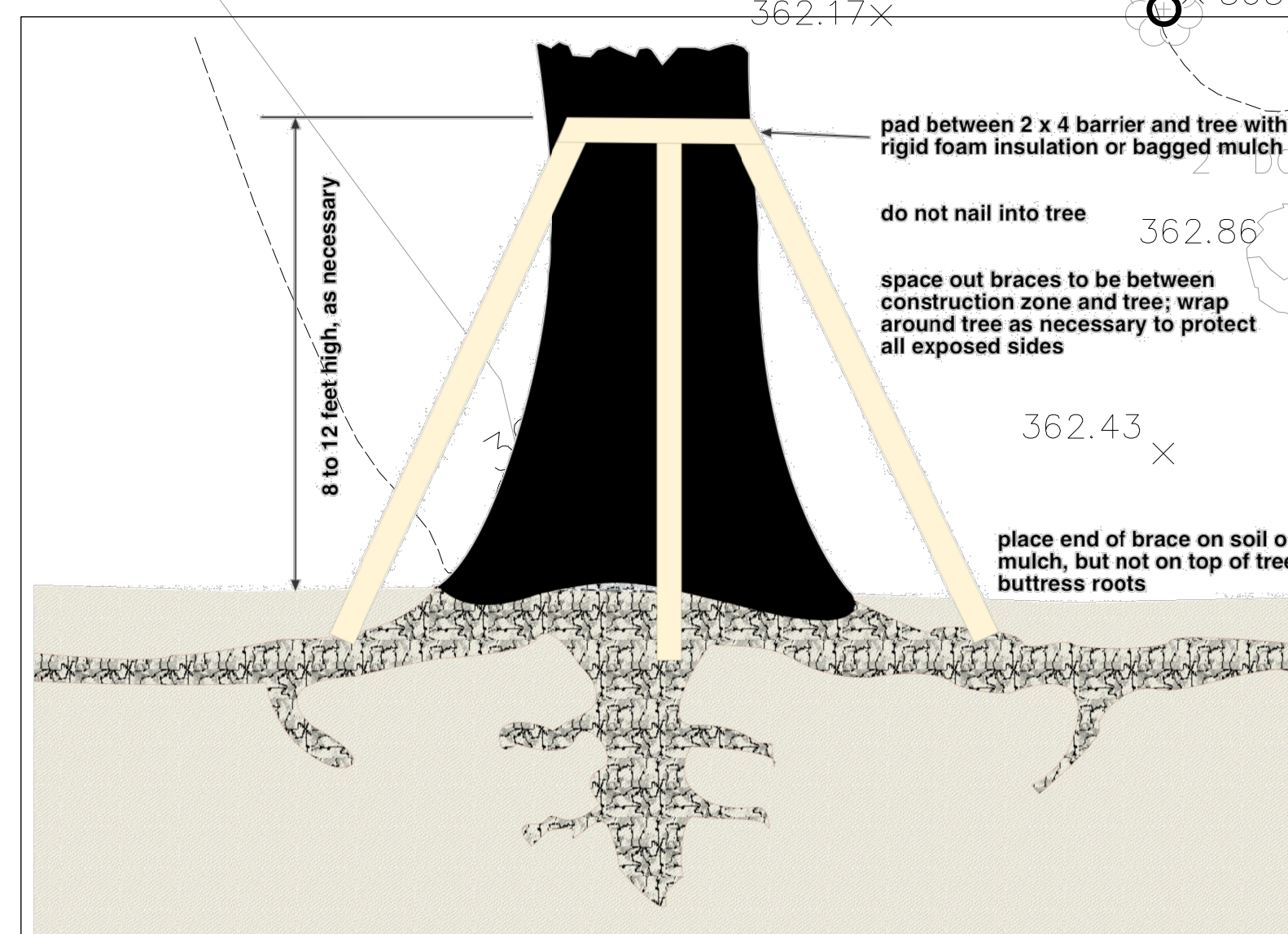


**WOODCHIP ROOT PADDING DETAIL - NTS**

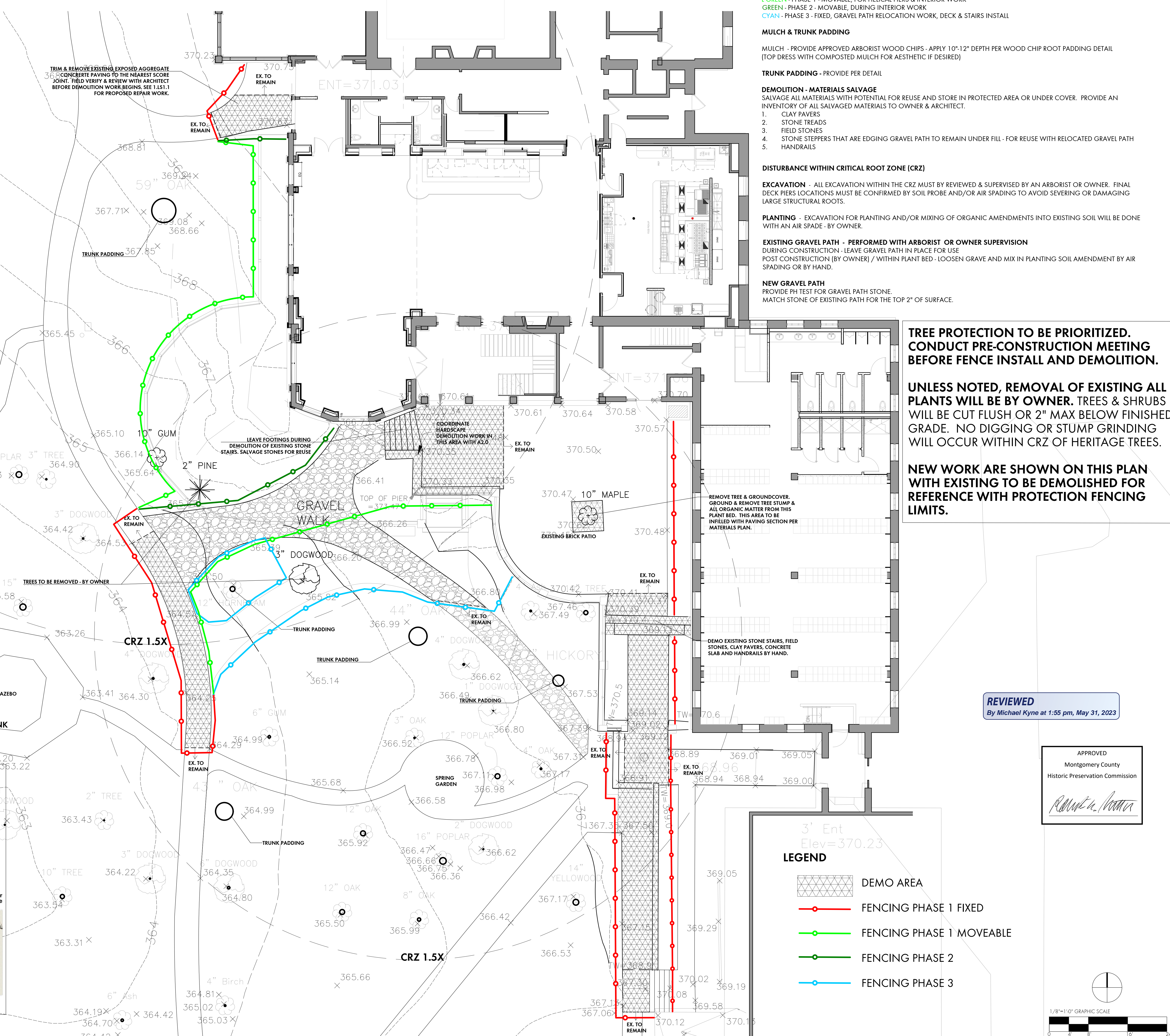
**PADDING MATERIALS**

**ROOT PADDING - WOODCHIPS OR MULCH; PROVIDE A SURFACE SUCH AS CHAINLINK FENCE, PLYWOOD, OR CONSTRUCTION MATS WHERE BOBCATS WILL BE DRIVEN.**

**TRUNK PADDING - 2X4S AND RIGID FOAM INSULATION OR BAGGED MULCH**



**TRUNK PADDING DETAIL PROVIDED BY TREESPLEASE - NTS**



**TREE PROTECTION MEASURES**

- FENCING** - INSTALLATION BY CONTRACTOR. REVIEW FINAL LAYOUT & ANY TREE ROOTS CONFLICT WITH FIXED FENCING POSTS DURING PRE-INSTALLATION MEETING WITH OWNER & LANDSCAPE ARCHITECT.
- PERMANENT FENCING** - 4FT WELDED WIRE FENCE WITH STEEL POSTS - SEE DETAIL - POST LOCATIONS WILL BE MARKED WITH OWNER/LA PRE-INSTALLATION
- MOVABLE FENCING** - 4FT WELDED WIRE FENCE ON CONCRETE BLOCKS
- RED** - PHASE 1 - FIXED FENCING  
**LGREEN** - PHASE 1 - MOVABLE, FOR HELICAL PIERS & INTERIOR WORK  
**GREEN** - PHASE 2 - MOVABLE, DURING INTERIOR WORK  
**CYAN** - PHASE 3 - FIXED, GRAVEL PATH RELOCATION WORK, DECK & STAIRS INSTALL

**MULCH & TRUNK PADDING**

**MULCH** - PROVIDE APPROVED ARBORIST WOOD CHIPS - APPLY 10"-12" DEPTH PER WOOD CHIP ROOT PADDING DETAIL (TOP DRESS WITH COMPOSTED MULCH FOR AESTHETIC IF DESIRED)

**TRUNK PADDING** - PROVIDE PER DETAIL

**DEMOLITION - MATERIALS SALVAGE**

- SALVAGE ALL MATERIALS WITH POTENTIAL FOR REUSE AND STORE IN PROTECTED AREA OR UNDER COVER. PROVIDE AN INVENTORY OF ALL SALVAGED MATERIALS TO OWNER & ARCHITECT.
1. CLAY PAVERS
  2. STONE TREADS
  3. FIELD STONES
  4. STONE STEPPERS THAT ARE EDGING GRAVEL PATH TO REMAIN UNDER FILL - FOR REUSE WITH RELOCATED GRAVEL PATH
  5. HANDRAILS

**DISTURBANCE WITHIN CRITICAL ROOT ZONE (CRZ)**

**EXCAVATION** - ALL EXCAVATION WITHIN THE CRZ MUST BE REVIEWED & SUPERVISED BY AN ARBORIST OR OWNER. FINAL DECK PIERS LOCATIONS MUST BE CONFIRMED BY SOIL PROBE AND/OR AIR SPADING TO AVOID SEVERING OR DAMAGING LARGE STRUCTURAL ROOTS.

**PLANTING** - EXCAVATION FOR PLANTING AND/OR MIXING OF ORGANIC AMENDMENTS INTO EXISTING SOIL WILL BE DONE WITH AN AIR SPADE - BY OWNER.

**EXISTING GRAVEL PATH - PERFORMED WITH ARBORIST OR OWNER SUPERVISION**

DURING CONSTRUCTION - LEAVE GRAVEL PATH IN PLACE FOR USE POST CONSTRUCTION (BY OWNER) / WITHIN PLANT BED - LOOSEN GRAVE AND MIX IN PLANTING SOIL AMENDMENT BY AIR SPADING OR BY HAND.

**NEW GRAVEL PATH**

PROVIDE PH TEST FOR GRAVEL PATH STONE. MATCH STONE OF EXISTING PATH FOR THE TOP 2" OF SURFACE.

**TREE PROTECTION TO BE PRIORITIZED. CONDUCT PRE-CONSTRUCTION MEETING BEFORE FENCE INSTALL AND DEMOLITION.**

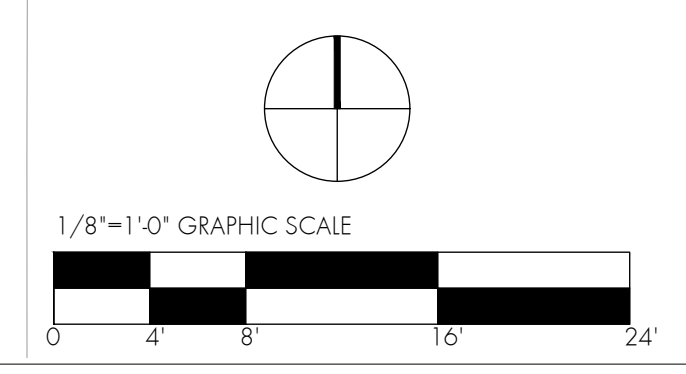
**UNLESS NOTED, REMOVAL OF EXISTING ALL PLANTS WILL BE BY OWNER. TREES & SHRUBS WILL BE CUT FLUSH OR 2" MAX BELOW FINISHED GRADE. NO DIGGING OR STUMP GRINDING WILL OCCUR WITHIN CRZ OF HERITAGE TREES.**

**NEW WORK ARE SHOWN ON THIS PLAN WITH EXISTING TO BE DEMOLISHED FOR REFERENCE WITH PROTECTION FENCING LIMITS.**

**REVIEWED**  
By Michael Kyne at 1:55 pm, May 31, 2023

APPROVED  
Montgomery County  
Historic Preservation Commission

- LEGEND**
- DEMO AREA
  - FENCING PHASE 1 FIXED
  - FENCING PHASE 1 MOVEABLE
  - FENCING PHASE 2
  - FENCING PHASE 3



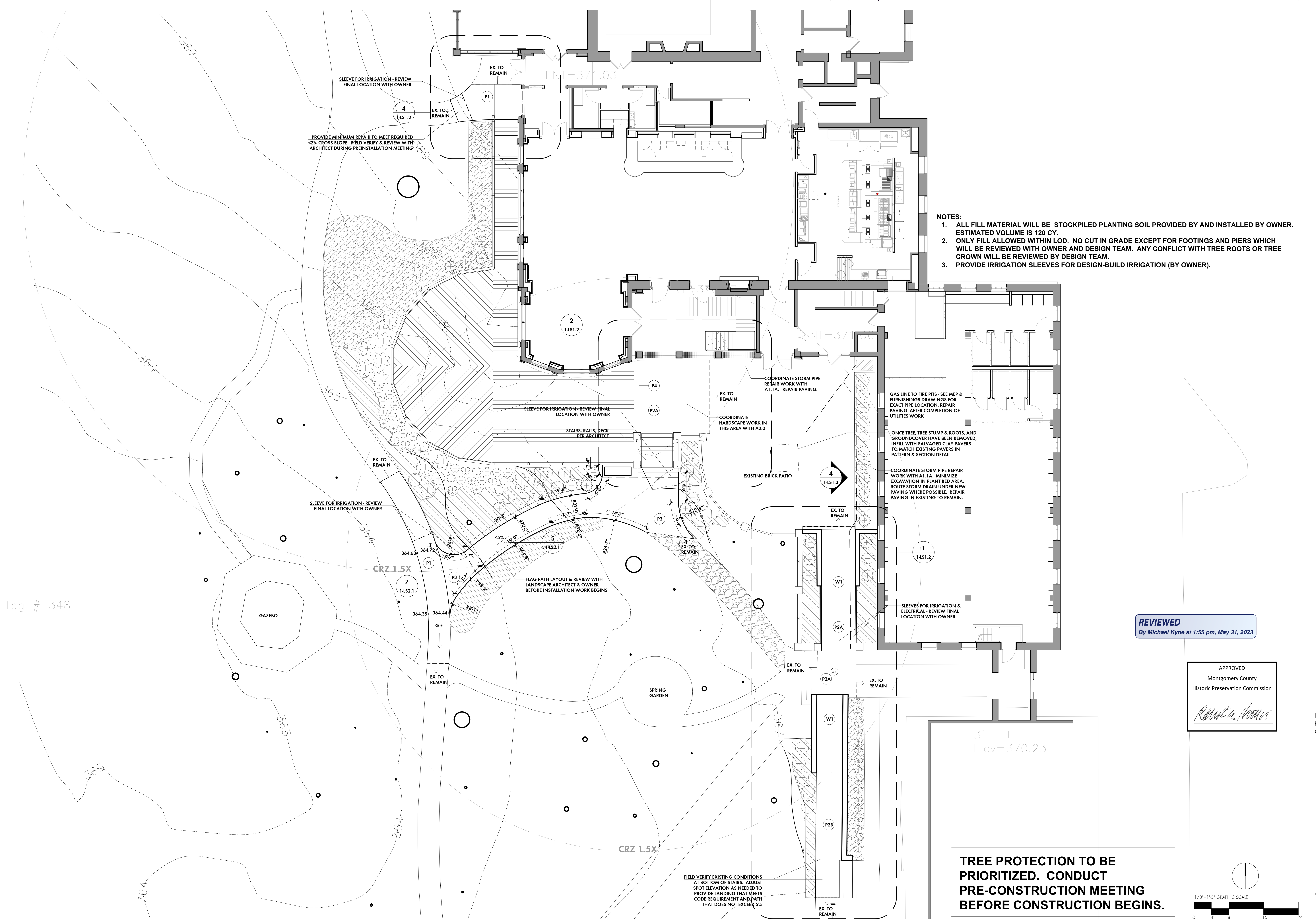


LEGEND

- P1 EXPOSED AGGREGATE CONCRETE (MATCH EXISTING IN COLOR, TEXTURE, FINISH), SAW-CUT JOINTS, LIGHT VEHICULAR USE
- P2A BRICK PAVERS (SALVAGED TO MATCH EXISTING PATIO BRICK), HERRINGBONE PATTERN TO MATCH EXISTING, AGGREGATE BASE, SAND SETTING BED
- P2B BRICK PAVERS (NEW TO MATCH SPRING GARDEN BRICK), HERRINGBONE PATTERN TO MATCH EXISTING, AGGREGATE BASE, SAND SETTING BED
- P3 GRAVEL PATH WITH STONE EDGING, TO MATCH EXISTING, USE SALVAGED STONES FOR EDGING
- P4 BLUESTONE PAVER - SELECT BLUE, 18" X 36" X 1.75" ON CONCRETE BASE, MORTAR SETTING BED & JOINTS
- W1 FIELDSTONE WALL WITH FIELDSTONE COPING, WIDTH VARIES 12" OR 14", DEEPLY RAKED MORTAR JOINTS, CMU CORE, RETAINS MAX. 24" - WIDTH VARIES, SEE PLAN, SECTIONS & DETAILS

NOTES:

1. ALL FILL MATERIAL WILL BE STOCKPILED PLANTING SOIL PROVIDED BY AND INSTALLED BY OWNER. ESTIMATED VOLUME IS 120 CY.
2. ONLY FILL ALLOWED WITHIN LOD. NO CUT IN GRADE EXCEPT FOR FOOTINGS AND PIERS WHICH WILL BE REVIEWED WITH OWNER AND DESIGN TEAM. ANY CONFLICT WITH TREE ROOTS OR TREE CROWN WILL BE REVIEWED BY DESIGN TEAM.
3. PROVIDE IRRIGATION SLEEVES FOR DESIGN-BUILD IRRIGATION (BY OWNER).



**REVIEWED**  
By Michael Kyre at 1:55 pm, May 31, 2023

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]*

CHEY CHASE CLUB RENOVATION  
CLUBHOUSE - TAP ROOM/CARD ROOM, MEN'S LOCKER ROOM, TERRACE

ISSUED FOR PERMIT  
04/12/2023

56-22108-00  
Materials, Layout & Grading Plan

1-LS1.1

**TREE PROTECTION TO BE PRIORITIZED. CONDUCT PRE-CONSTRUCTION MEETING BEFORE CONSTRUCTION BEGINS.**







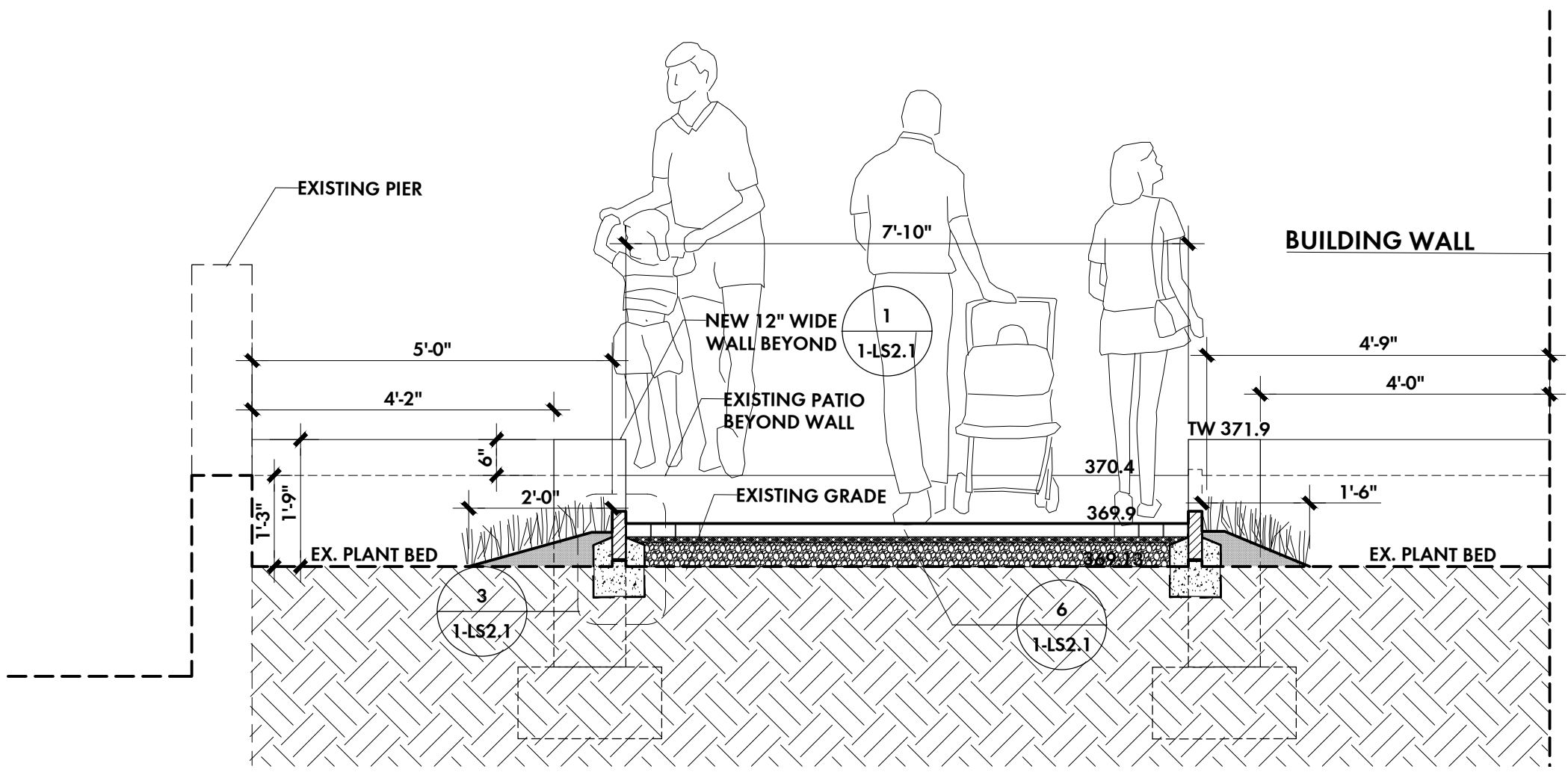
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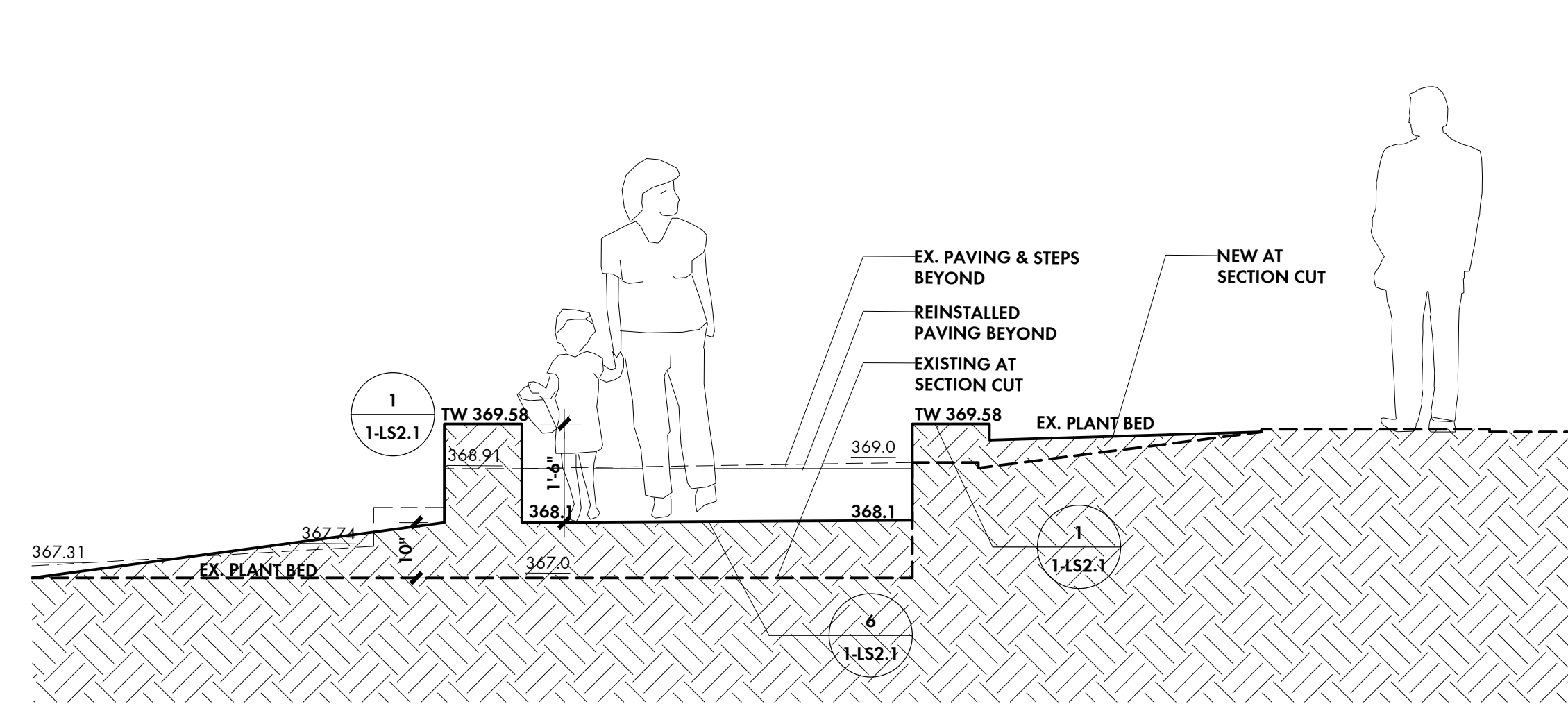
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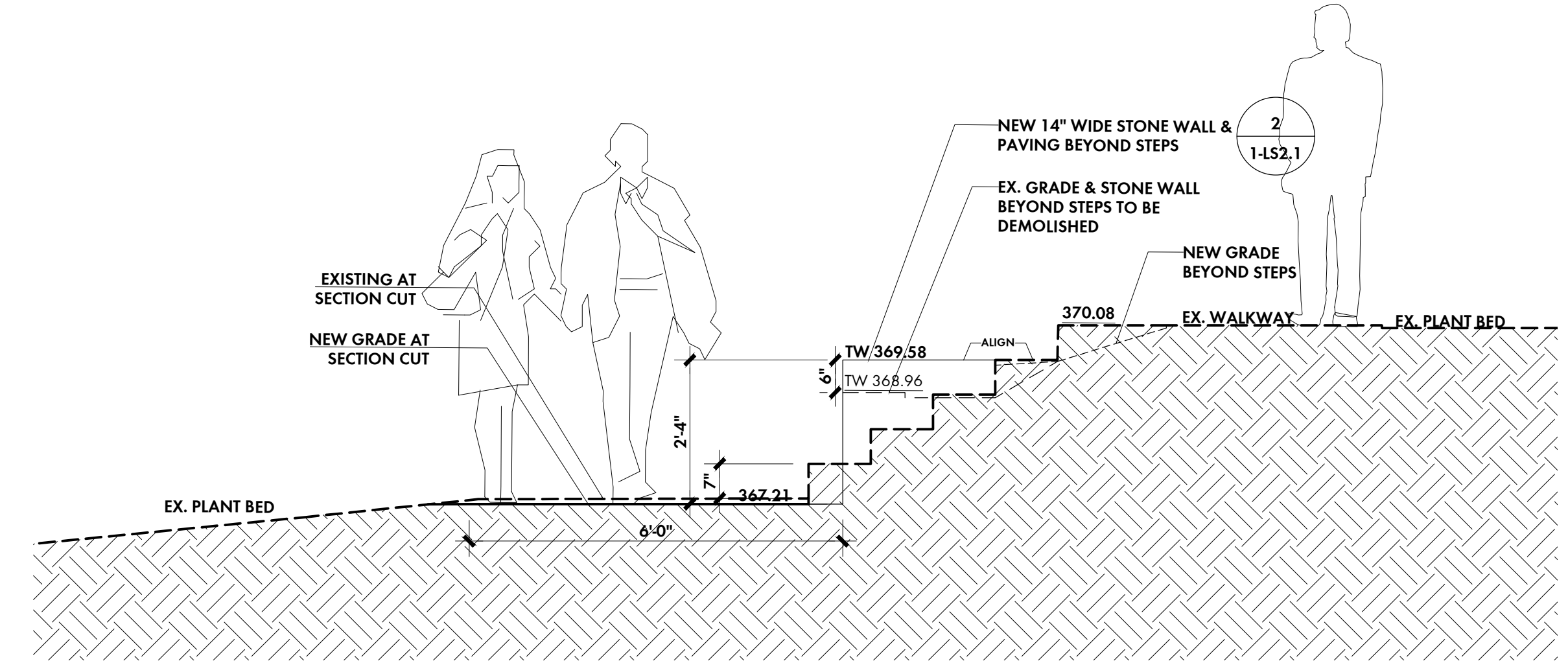
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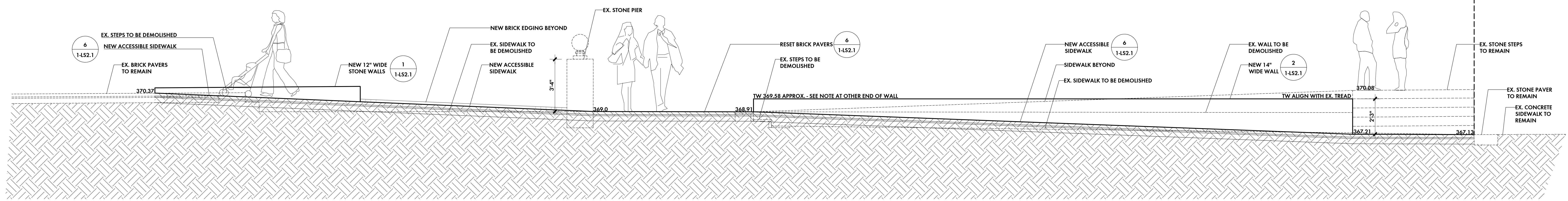
**1 SECTION - PATIO ACCESSIBLE WALKWAY**  
SCALE: 1/2" = 1'-0"



**2 SECTION WALKWAY AT BRADLEY HOUSE MIDWAY**  
SCALE: 1/2" = 1'-0"



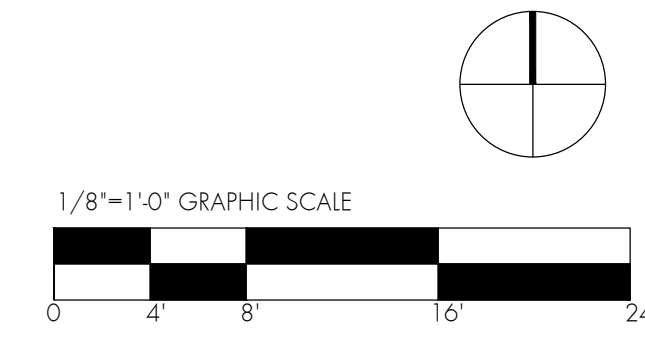
**3 SECTION - WALKWAY AT BRADLEY HOUSE STEPS**  
SCALE: 1/2" = 1'-0"



**4 SECTION - EAST PATIO ACCESSIBLE WALKWAYS**  
SCALE: 3/8" = 1'-0"

**REVIEWED**  
By Michael Kyne at 1:55 pm, May 31, 2023

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Robert A. ...*





1

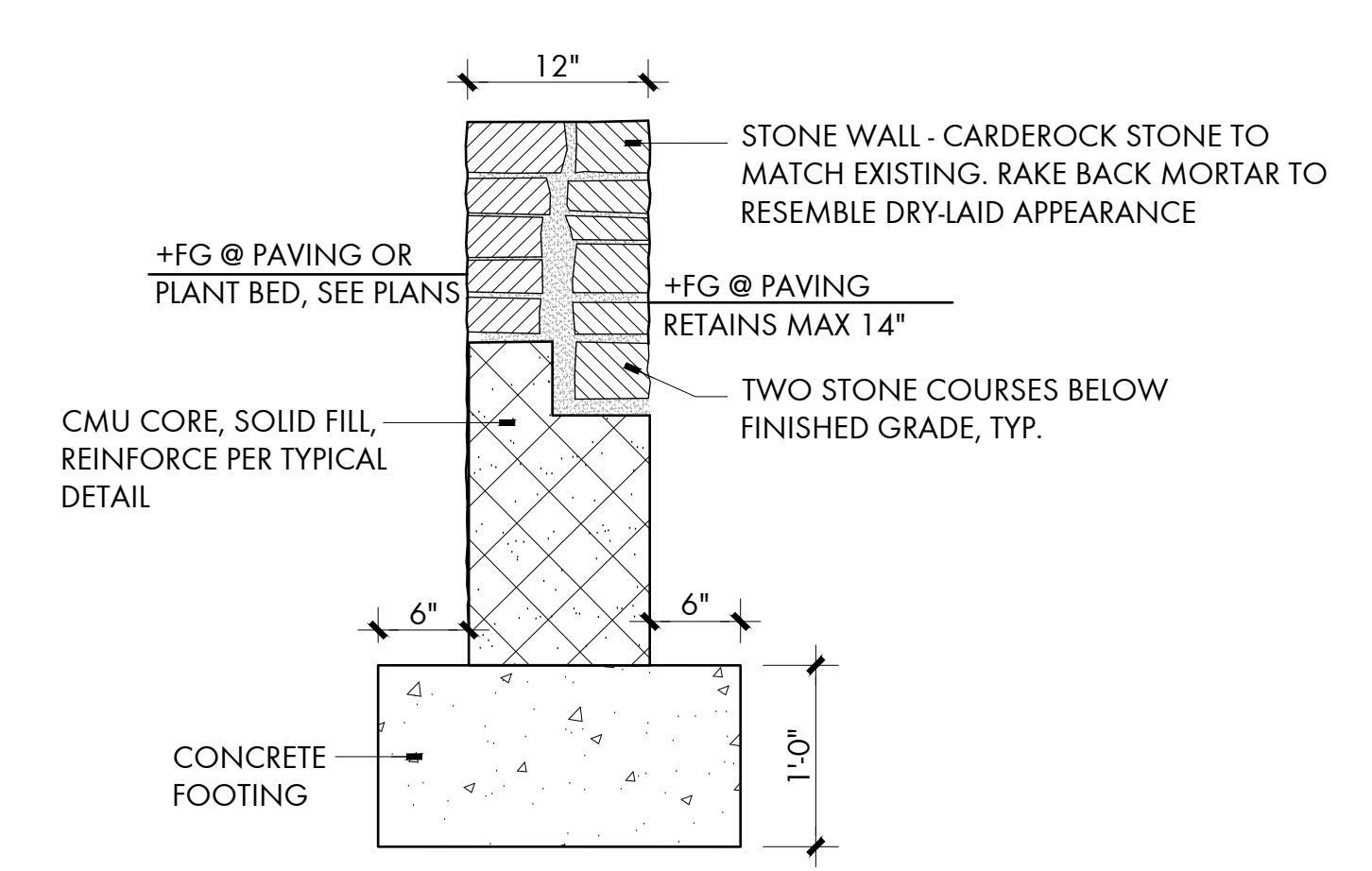
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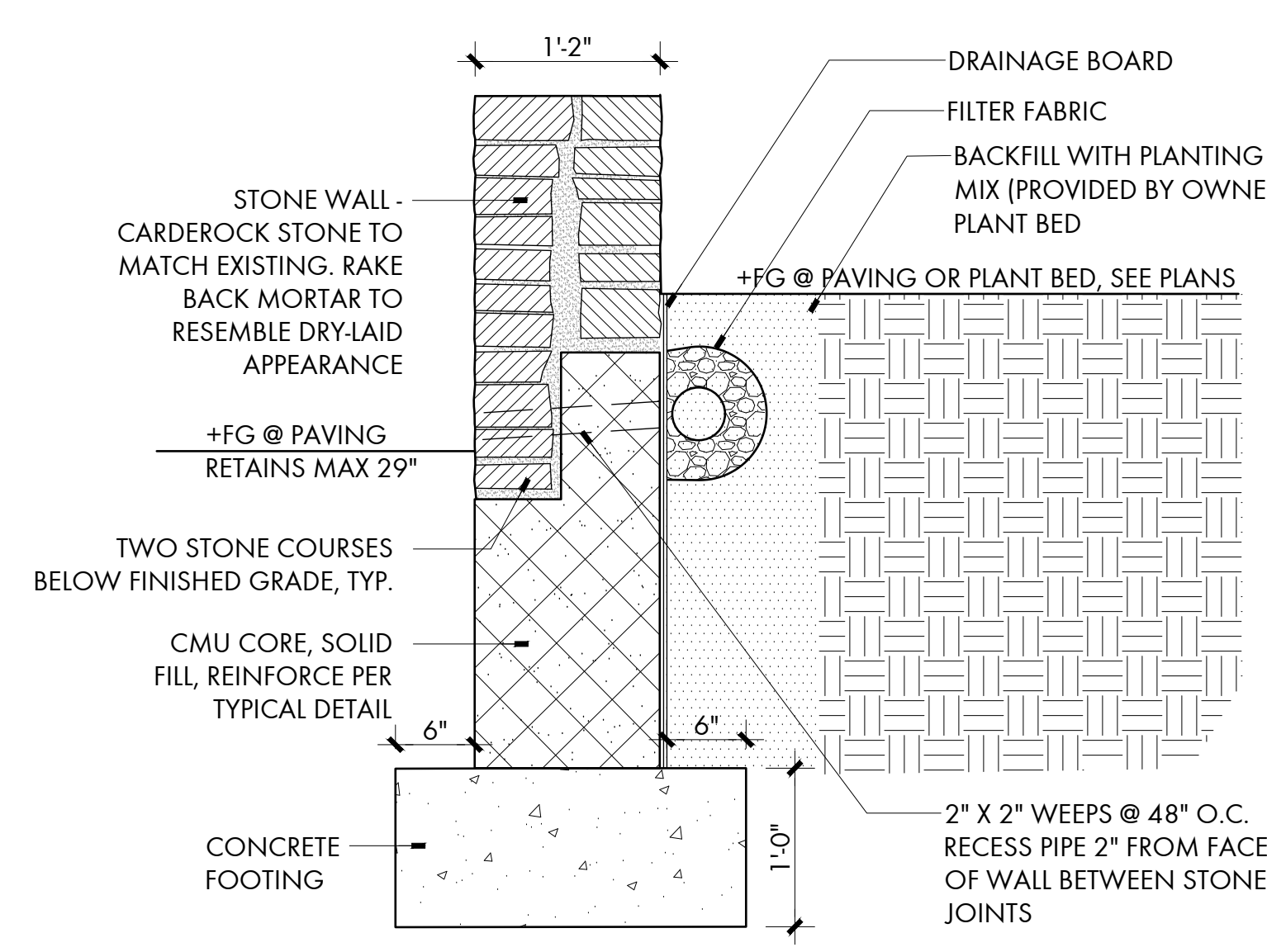
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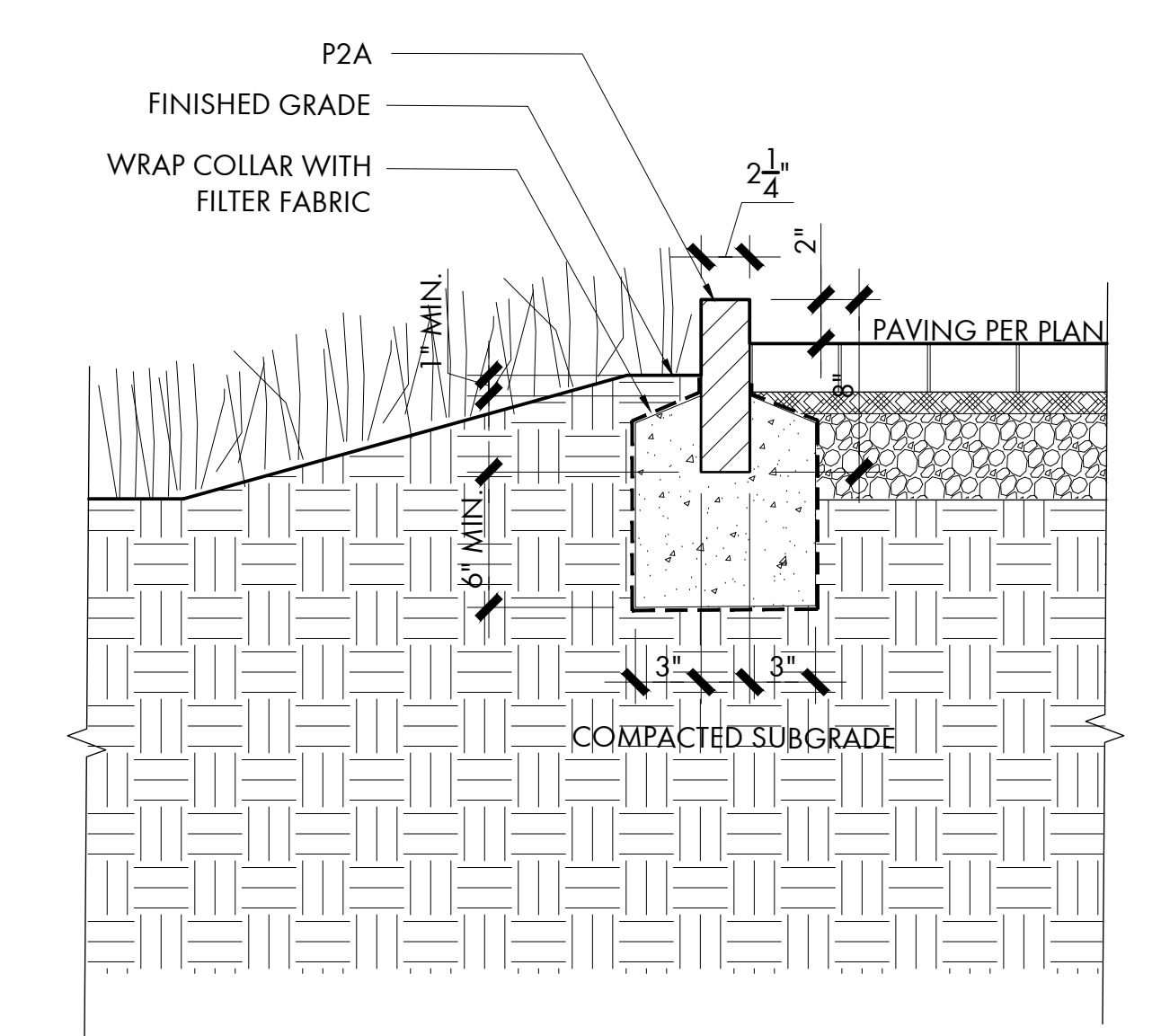
**1 12 INCH WIDE STONE WALL DETAIL**  
SCALE: 1" = 1'-0"



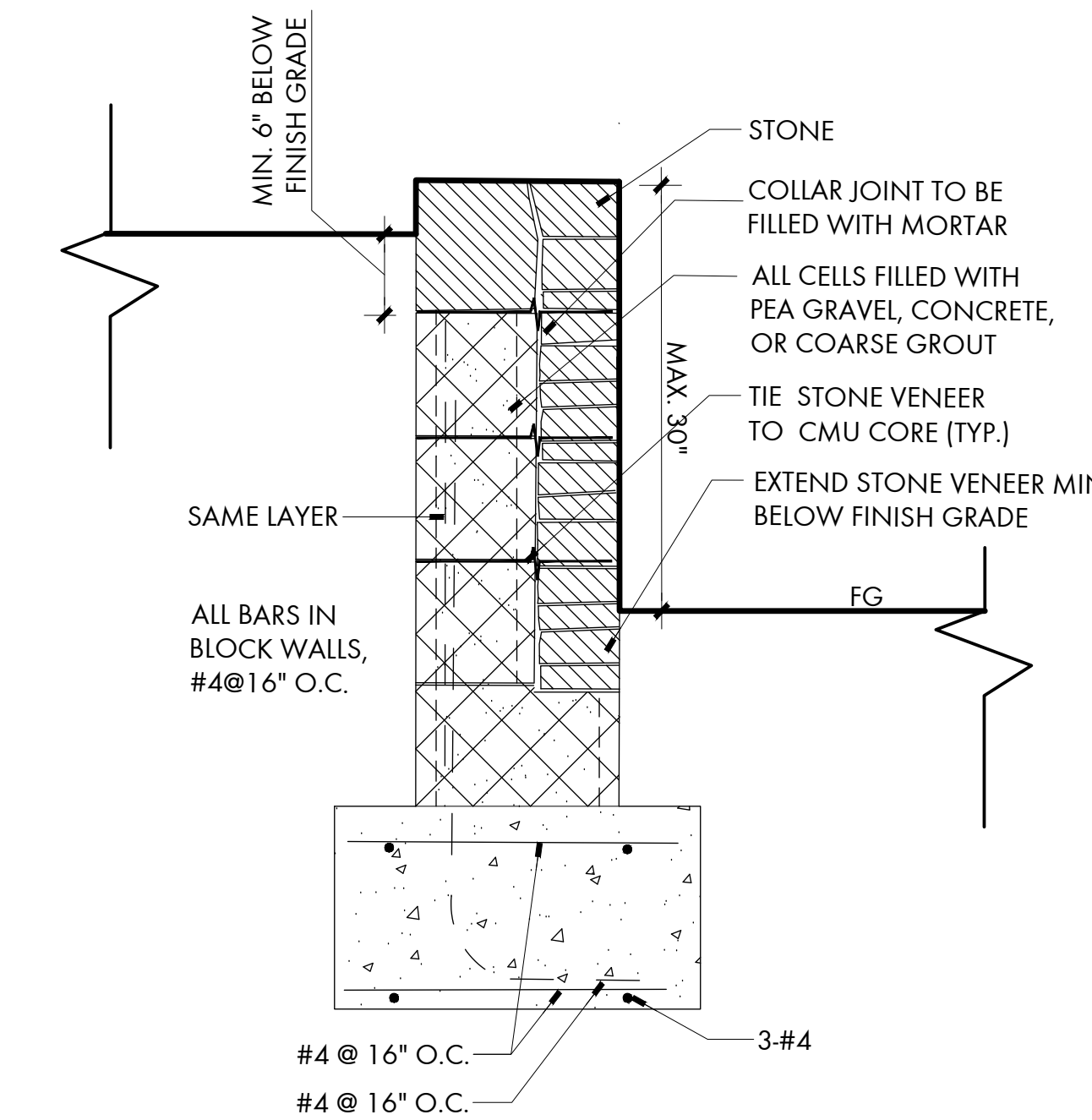
**2 14 INCH WIDE STONE WALL DETAIL**  
SCALE: 1" = 1'-0"



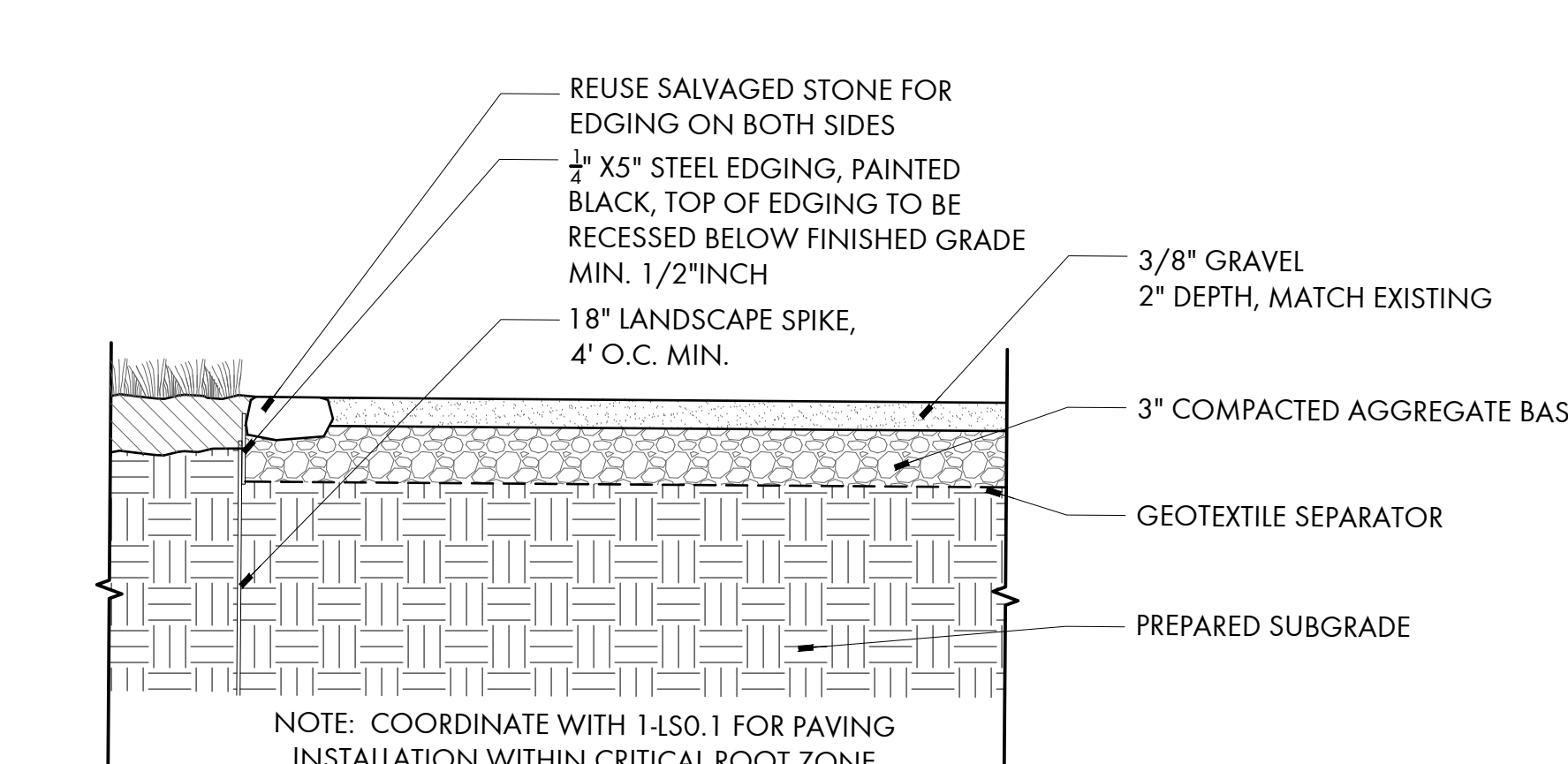
**3 BRICK EDGING DETAIL**  
SCALE: 1 1/2" = 1'-0"



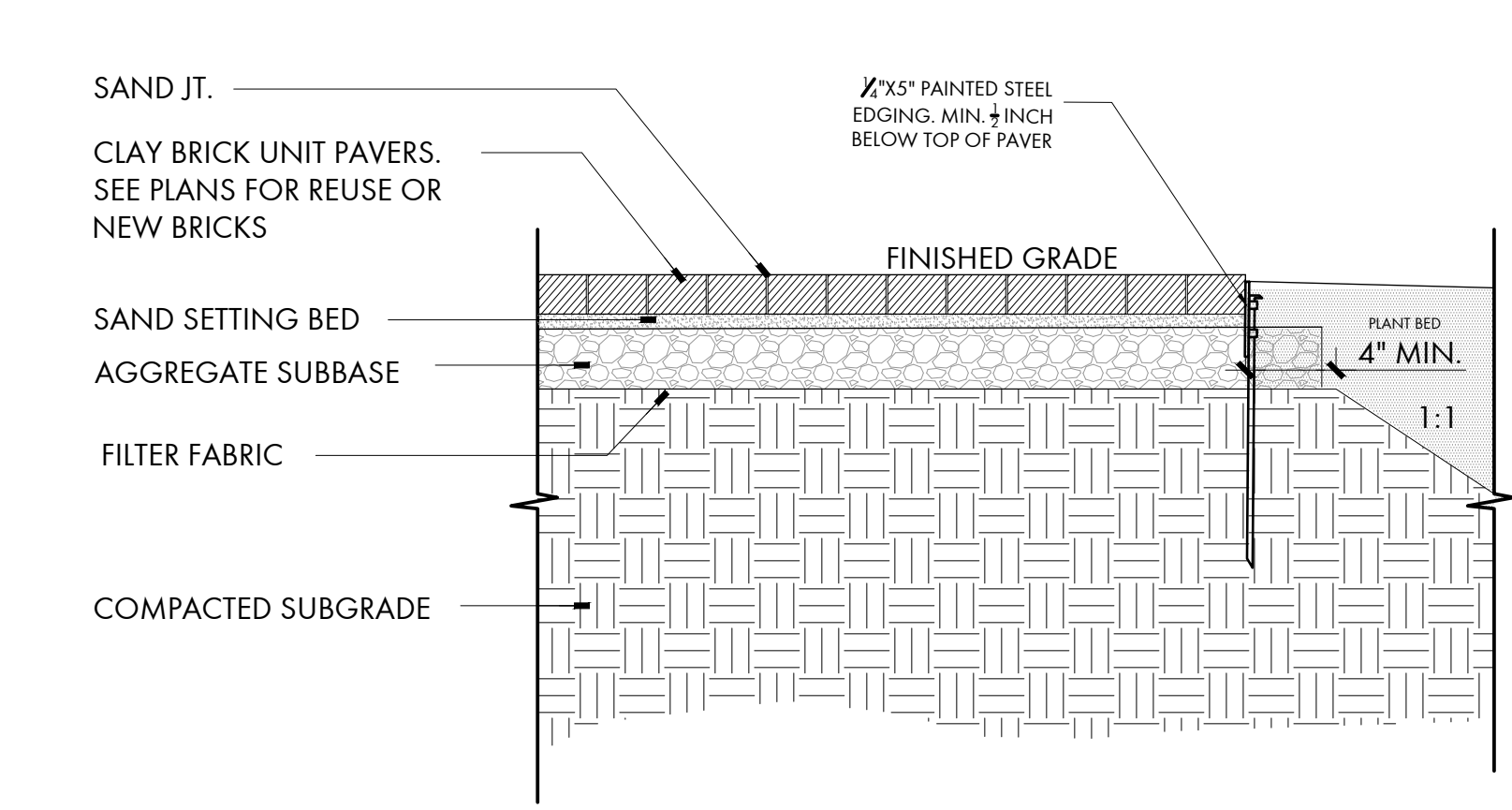
**4 TYPICAL REINFORCED WALL DETAIL**  
SCALE: 1" = 1'-0"



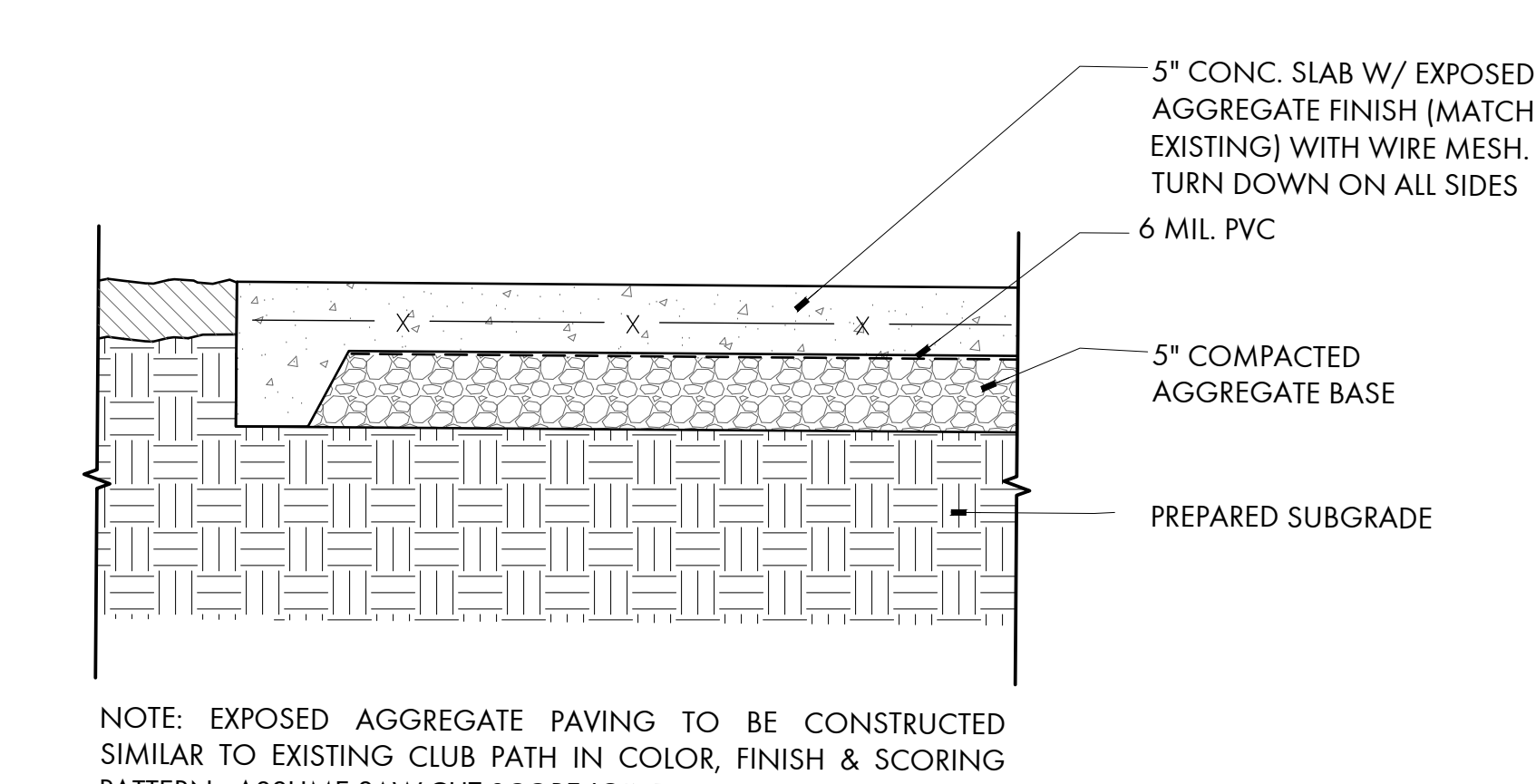
**5 GRAVEL PAVING DETAIL**  
SCALE: 1" = 1'-0"



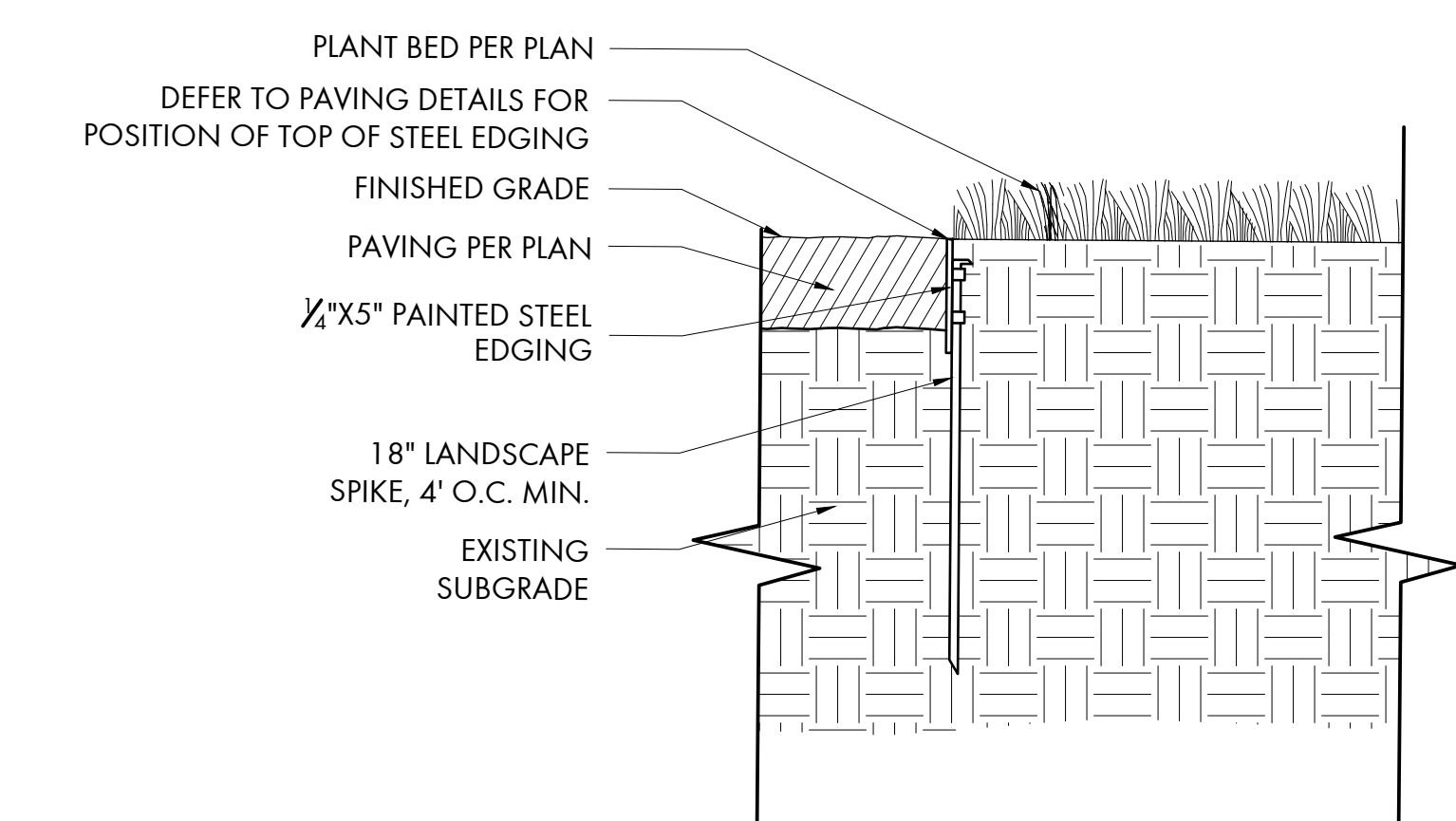
**6 CLAY PAVERS DETAIL**  
SCALE: 1" = 1'-0"



**7 EXPOSED AGGREGATE CONCRETE PAVING**  
SCALE: 1" = 1'-0"

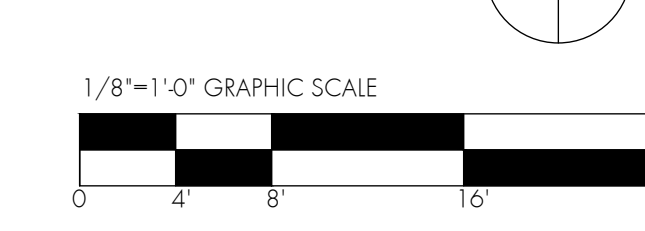


**8 STEEL EDGING DETAIL**  
SCALE: 1 1/2" = 1'-0"



**REVIEWED**  
By Michael Kyne at 1:55 pm, May 31, 2023

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Robert A. ...*



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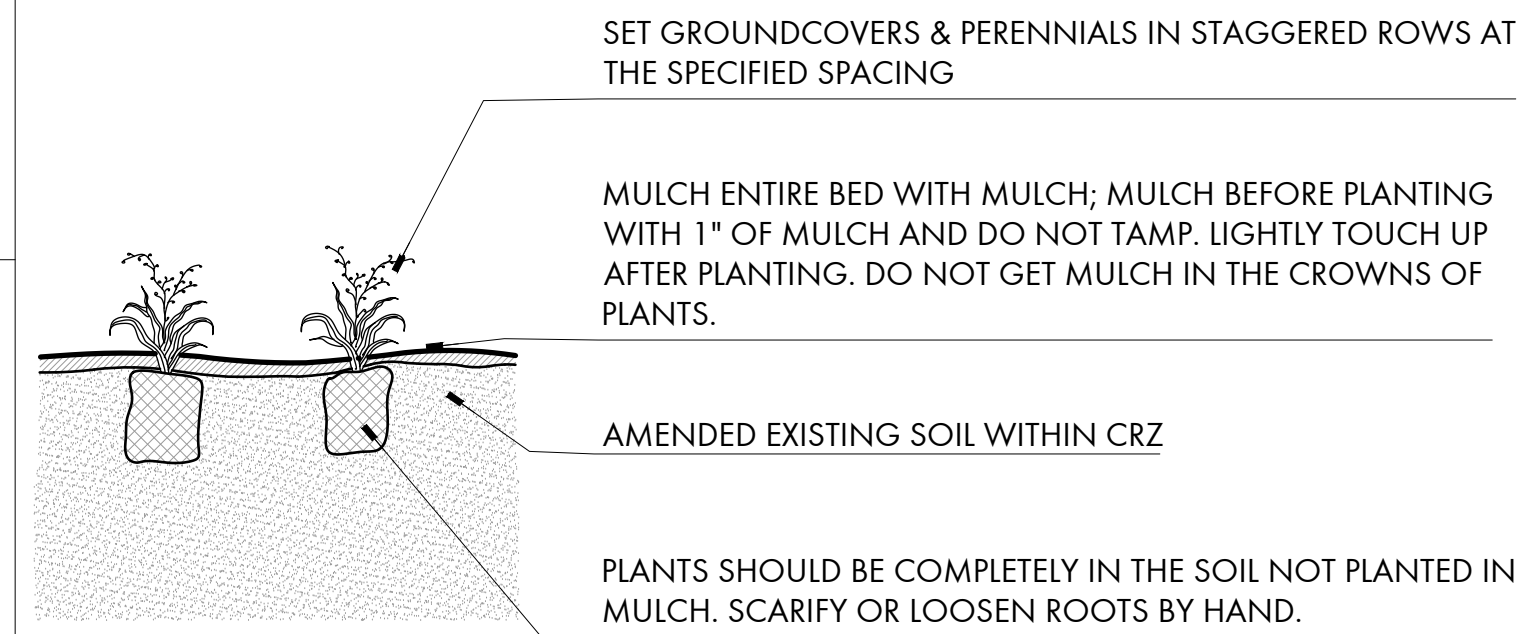
**NOTE:**  
**PLANT MATERIALS WILL BE SOURCED AND PLANTED BY OWNER.**  
**ALL FILL & PLANTING SOIL WILL BE PROVIDED & INSTALLED BY OWNER.**

**SHRUBS SCHEDULE**

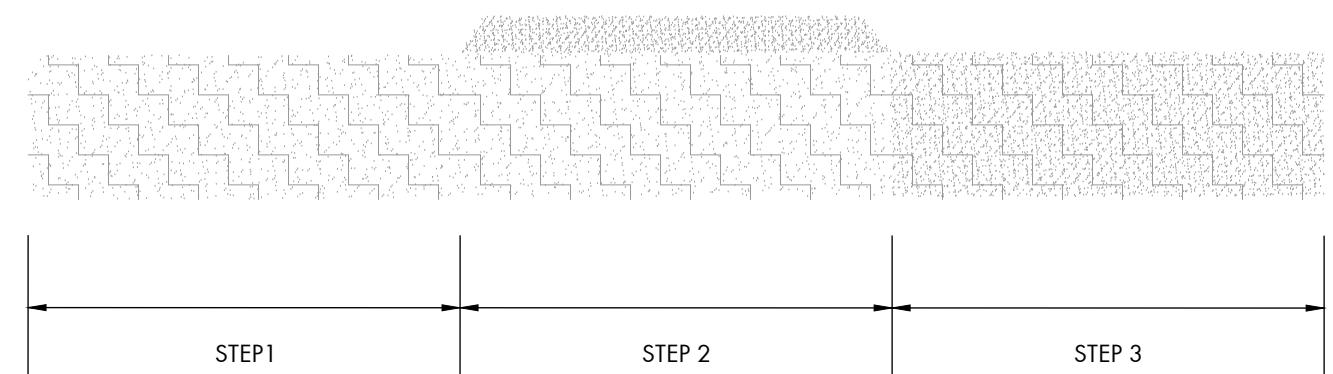
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING	REMARKS
CD3	6	CEPHALOTAXUS HARRINGTONIA 'DUKE GARDENS'	DUKE GARDENS PLUM YEWE	24-30"	B&B	36" o.c.	
CP	28	CEPHALOTAXUS HARRINGTONIA 'PROSTRATA'	PROSTRATE PLUM YEWE	24-30"	POT	36" o.c.	
ES	1	EDGEWORTHIA CHRYSANTHA 'SNOW CREAM'	SNOW CREAM PAPERBUSH	24-30"	POT	60" o.c.	
FM3	7	FOTHERGILLA MAJOR 'MOUNT AIRY'	MOUNT AIRY FOTHERGILLA	5 GAL.	POT	36" o.c.	
RS	11	RHODODENDRON X 'SNOWBIRD'	SNOWBIRD AZALEA	3 GAL.	POT	36" o.c.	
RY	12	RHODODENDRON X 'YAKU PRINCESS'	YAKU PRINCESS RHODODENDRON	3 GAL.	POT	48" o.c.	
VA	47	VACCINIUM ANGUSTIFOLIUM	LOWBUSH BLUEBERRY	5 GAL.	POT	24" o.c.	

**GROUNDCOVER SCHEDULE**

GC - SHADE MIX - 1,087 SF							
AQUILEGIA X HYBRID COLUMBINE	1 GAL.	POT	5" @ 18" oc				
ASARUM SPLENDENS / WILD GINGER	1 GAL.	POT	15" @ 18" oc				
BRUNNERA MACROPHYLLA 'JACK FROST' TM / JACK FROST SIBERIAN BUGLOSS	1 GAL.	POT	5" @ 18" oc				
CAREX PLANTAGINEA / PLANTAIN-LEAVED SEDGE	1 GAL.	POT	10" @ 18" oc				
CAREX SCAPOSA / CHERRY BLOSSOM SEDGE	1 GAL.	POT	10" @ 18" oc				
CHELONE GLABRA / WHITE TURTLEHEAD	1 GAL.	POT	15" @ 18" oc				
HELLEBORUS ORIENTALIS 'DOUBLE PEACH BLUSH' / DOUBLE PEACH BLUSH HELLEBORE	2 GAL.	POT	5" @ 18" oc				
HELLEBORUS ORIENTALIS 'GOLDEN DISCOVERY' / GOLDEN DISCOVERY LENTEN ROSE	2 GAL.	POT	5" @ 18" oc				
HELLEBORUS ORIENTALIS 'GREAT WHITE' / GREAT WHITE LENTEN ROSE	2 GAL.	POT	5" @ 18" oc				
HEUCHERA VILLOSA 'AUTUMN BRIDE' / AUTUMN BRIDE HEUCHERA	2 GAL.	POT	5" @ 18" oc				
MERTENSIA VIRGINICA / VIRGINIA BLUEBELLS	2 GAL.	POT	10" @ 18" oc				
SPIGELIA MARILANDICA 'LITTLE REDHEAD' / LITTLE REDHEAD INDIAN PINK	2 GAL.	POT	10" @ 18" oc				
GC - PARTIAL MIX - 741 SF							
ALLIUM ATROPURPUREUM / DARK PURPLE ALLIUM	BULB		5" @ 12" oc				
ALLIUM CRISTOPHII / STAR OF PERSIA	BULB		10" @ 12" oc				
ANEMONE X HYBRIDA 'HONORINE JOBERT' / HONORINE JOBERT JAPANESE ANEMONE	1 GAL.	POT	10" @ 18" oc				
ANEMONE X HYBRIDA 'MAX VOGEL' / MAX VOGEL JAPANESE ANEMONE	1 GAL.	POT	10" @ 18" oc				
CAREX APPALACHICA / APPALACHIAN SEDGE	1 GAL.	POT	10" @ 18" oc				
HELLEBORUS FOETIDUS / BEARSFOOT HELLEBORE	2 GAL.	POT	5" @ 18" oc				
HEUCHERA AMERICANA 'DALES STRAIN' / AMERICAN ALUMROOT	2 GAL.	POT	5" @ 18" oc				
HEUCHERA VILLOSA 'AUTUMN BRIDE' / AUTUMN BRIDE HEUCHERA	2 GAL.	POT	10" @ 18" oc				
HOSTA SIEBOLDIANA 'ELEGANS' / SIEBOLDIANA ELEGANS HOSTA	2 GAL.	POT	10" @ 18" oc				
LILIUM ASIATIC 'APRICOT FUDGE' / APRICOT FUDGE DOUBLE ASIATIC LILY	1 GAL.	POT	5" @ 12" oc				
LILIUM ASIATIC 'LANDINI' / LANDINI ASIATIC LILY	1 GAL.	POT	5" @ 12" oc				
LILIUM MARTAGON 'SUNNY MORNING' / SUNNY MORNING MARTAGON LILY	1 GAL.	POT	5" @ 12" oc				
SISYRINCHIUM ANGUSTIFOLIUM 'LUCERNE' / LUCERNE BLUE-EYED GRASS	1 GAL.	POT	10" @ 12" oc				

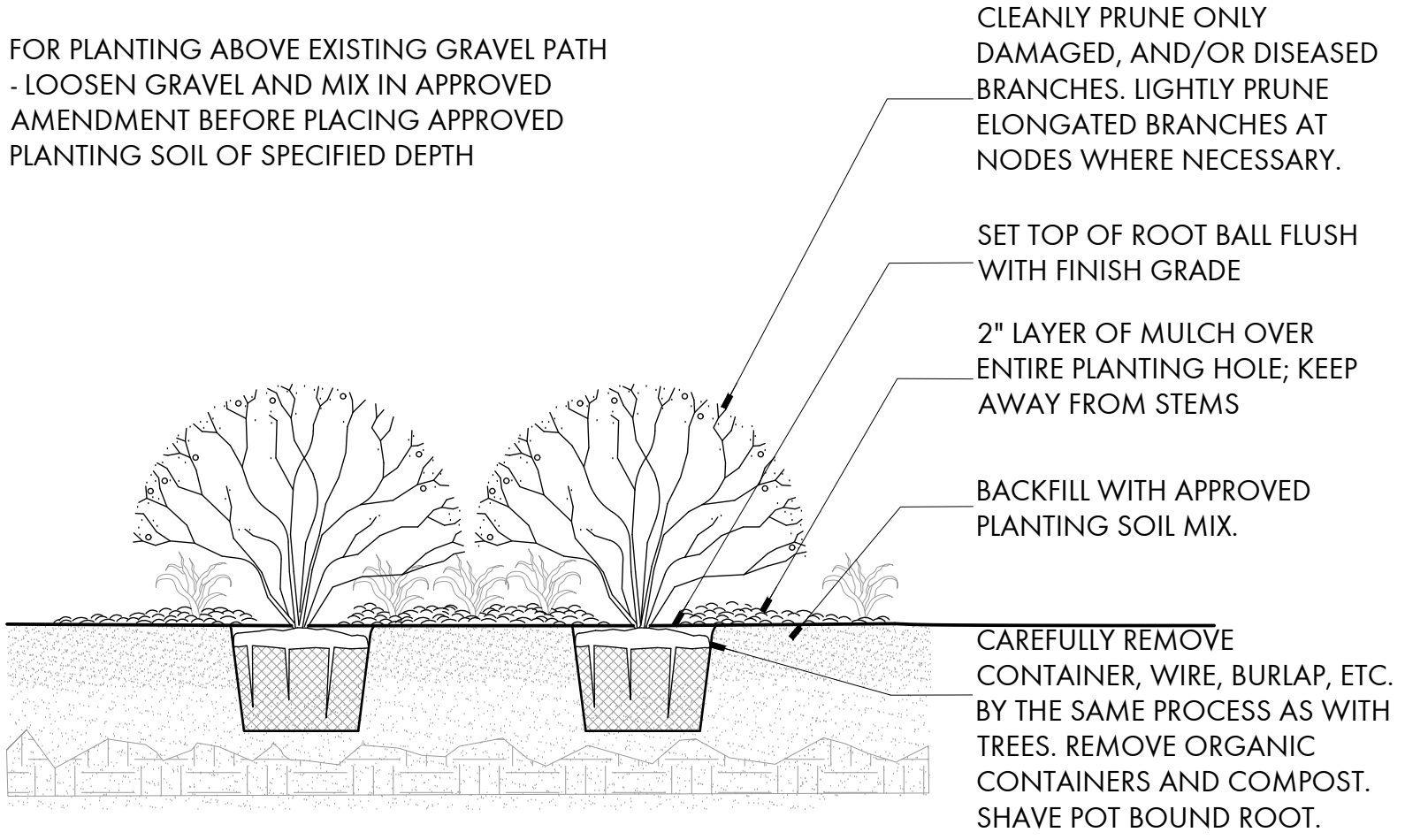


**1 GROUNDCOVER PLANTING DETAIL**  
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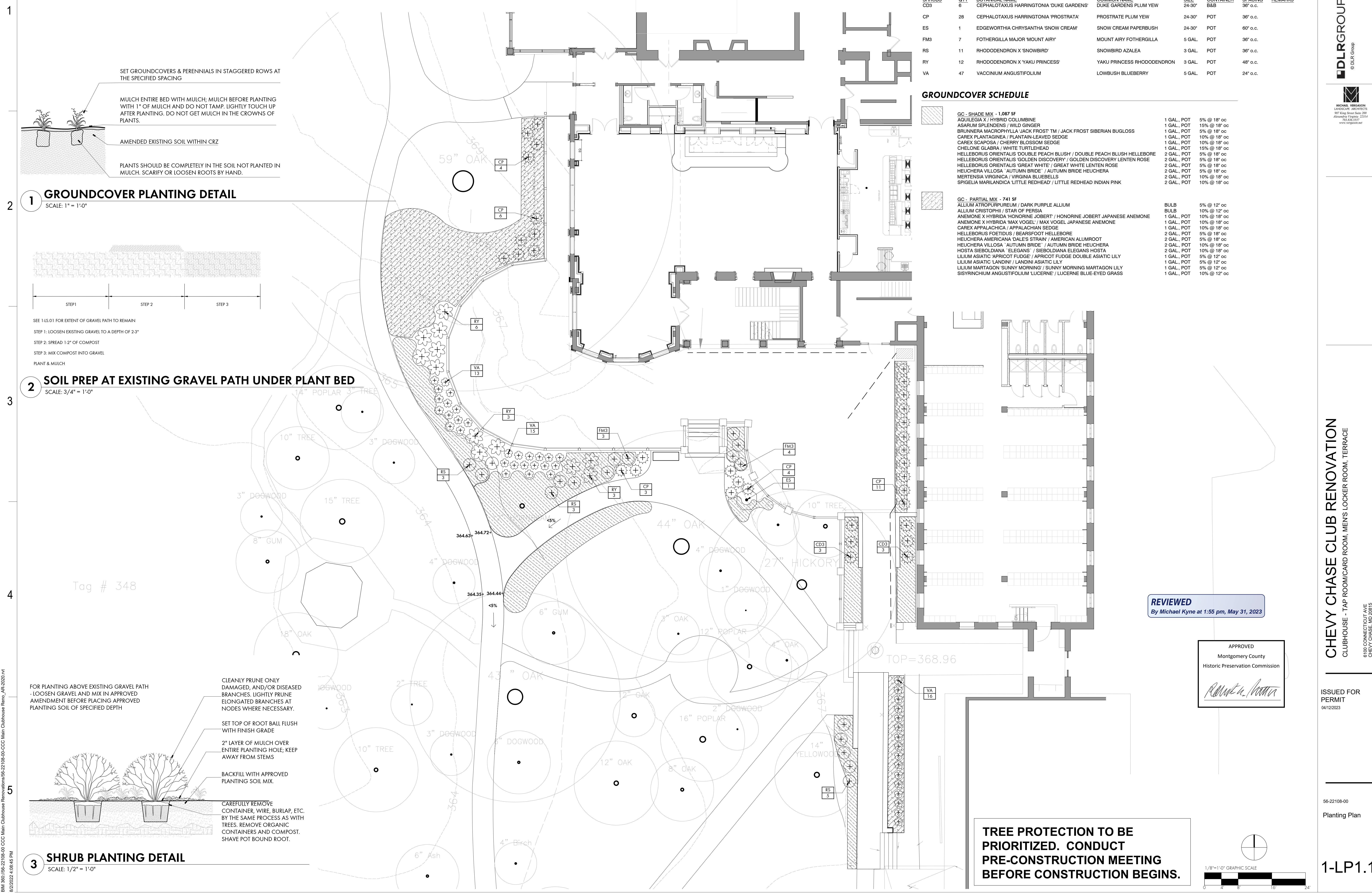


SEE 1-4.5.01 FOR EXTENT OF GRAVEL PATH TO REMAIN  
 STEP 1: LOOSEN EXISTING GRAVEL TO A DEPTH OF 2.3"  
 STEP 2: SPREAD 1.2" OF COMPOST  
 STEP 3: MIX COMPOST INTO GRAVEL  
 PLANT & MULCH

**2 SOIL PREP AT EXISTING GRAVEL PATH UNDER PLANT BED**  
 SCALE: 3/4" = 1'-0"



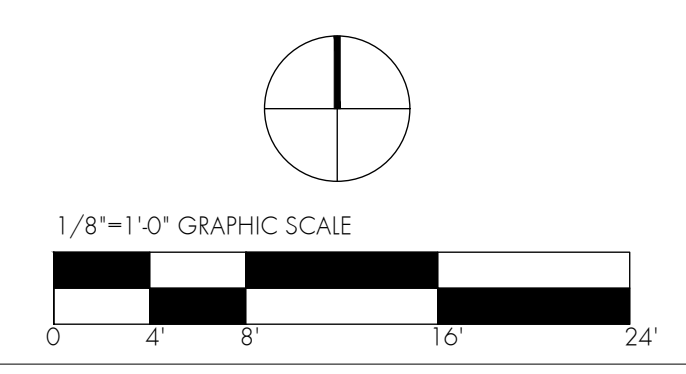
**3 SHRUB PLANTING DETAIL**  
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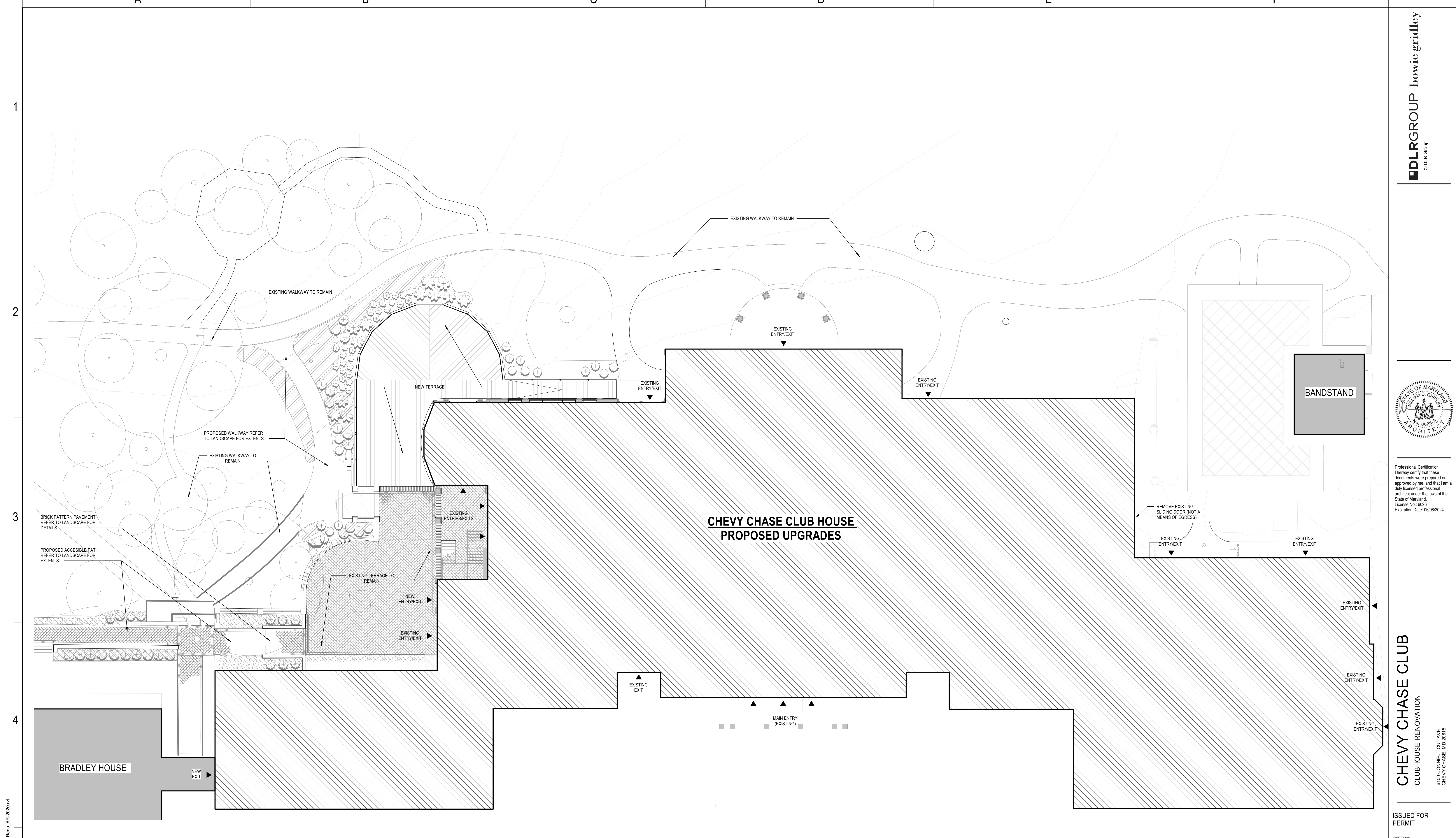
**REVIEWED**  
 By Michael Kyne at 1:55 pm, May 31, 2023

APPROVED  
 Montgomery County  
 Historic Preservation Commission

**TREE PROTECTION TO BE  
 PRIORITIZED. CONDUCT  
 PRE-CONSTRUCTION MEETING  
 BEFORE CONSTRUCTION BEGINS.**







**CHEVY CHASE CLUB HOUSE  
PROPOSED UPGRADES**

**SITE PLAN NOTES**

1. NO CHANGE TO BUILDING FOOTPRINT.
2. NO REDUCTION TO MEANS OF EGRESS.
3. NO CHANGE IN OCCUPANCY TYPE OR BUILDING FUNCTION.
4. NO INCREASE IN OCCUPANT LOAD.
5. NO CHANGE TO EXISTING SITE ACCESS.

**REVIEWED**  
By Michael Kyne at 1:55 pm, May 31, 2023

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Robert A. ...*

ARCHITECTURAL SITE PLAN  
SCALE: 3/32" = 1'-0"

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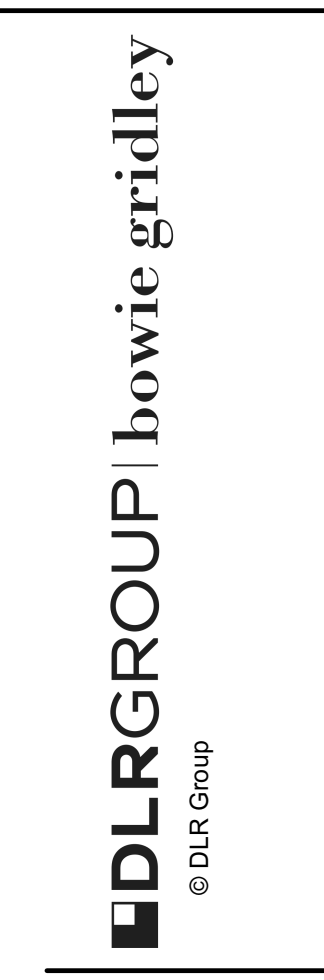


Professional Certification  
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the law of the State of Maryland.  
License No. 6036  
Expiration Date: 06/08/2024

ISSUED FOR PERMIT  
4/12/2023  
REVISIONS



- ### DEMOLITION PLAN NOTES
- D.001 REMOVE ALL BATHROOM FIXTURES, ACCESSORIES, PARTITIONS, MIRRORS, COUNTERTOPS, AND TILE FINISHES TO SUBSTRATE
  - D.002 REMOVE EXISTING STUD WALL PARTITION COMPLETELY, INCLUDING BASE, CROWN MOLDING, AND ALL ASSOCIATED FINISHES AND CLADDING (TYP.)
  - D.003 REMOVE WINDOW, FRAME, AND INTERIOR SURROUND, EXISTING EXTERIOR SURROUND TO REMAIN (TYP.)
  - D.004 REMOVE ALL BAR EQUIPMENT, SINKS, FIXTURES, MILLWORK, FINISHES, AND EXISTING FLOORING TO SUBSTRATE
  - D.005 REMOVE SHOWER PLUMBING EQUIPMENT, TILE FINISHES, AND STUD WALL PARTITIONS
  - D.006 REMOVE STRUCTURAL COLUMN, CONTRACTOR TO TEMPORARILY SUPPORT BUILDING STRUCTURE AS REQUIRED UNTIL RE-SUPPORTED BY NEW CONSTRUCTION
  - D.007 REMOVE AND SALVAGE ELECTRICAL PANEL; REFER TO ELECTRICAL DRAWINGS FOR NEW LOCATION
  - D.008 REMOVE EXISTING DOOR, FRAME, AND HARDWARE
  - D.009 REMOVE PARTIAL HEIGHT PARTITION AND FINISH
  - D.010 REMOVE STRUCTURAL MASONRY WALL COMPLETELY, INCLUDING BASE, CROWN MOLDING, AND ALL ASSOCIATED FINISHES AND CLADDING. CONTRACTOR TO TEMPORARILY SUPPORT OVERHEAD BUILDING STRUCTURE AS REQUIRED UNTIL RE-SUPPORTED BY NEW CONSTRUCTION.
  - D.011 REMOVE ALL EXISTING FLOOR, WALL, AND CEILING FINISHES IN TAP ROOM AND CARD ROOM UNLESS NOTED OTHERWISE. SALVAGE FOR OWNER ALL WALL APPURTENANCES INCLUDING SCONCES, PLAQUES, TROPHIES, AND SIMILAR ITEMS.
  - D.012 REMOVE EXISTING STONE WALL/PILLAR DOWN TO 3'-0"; REMAINDER OF WALL AND FOOTINGS TO REMAIN. SALVAGE STONE FOR OWNER.
  - D.014 REMOVE BRICK PAVERS AND SUBGRADE, RE: LANDSCAPE. SALVAGE BRICK PAVERS
  - D.015 REMOVE EXISTING CONCRETE SLAB AND SUBGRADE AT OVERHANG
  - D.016 REMOVE EXISTING EXTERIOR DOOR, FRAME, AND INTERIOR SURROUND; EXISTING EXTERIOR SURROUND TO REMAIN
  - D.017 REMOVE EXISTING STONE WALL/PILLAR DOWN TO 1'-0"; REMAINDER OF WALL AND FOOTINGS TO REMAIN. SALVAGE STONE FOR OWNER.
  - D.018 REMOVE EXISTING WOOD GUARD RAIL, POSTS, AND HARDWARE; SALVAGE FOR OWNER.
  - D.019 REMOVE EXISTING STONE STEPS, SALVAGE STONE FOR OWNER.
  - D.020 REMOVE CARPET IN HALLWAY TO EXTENTS SHOWN; SALVAGE FOR OWNER.
  - D.021 REMOVE LOCKER, SALVAGE FOR RE-INSTALLATION (TYP.)
  - D.022 REMOVE EXISTING SINK AND ALL RELATED PIPING AND ACCESSORIES AS REQ'D.
  - D.023 REMOVE EXISTING CARPET AND UNDERLAYMENT
  - D.024 REMOVE EXISTING DRINKING FOUNTAIN AND ALL RELATED PIPING AND ACCESSORIES AS REQ'D.
  - D.024 REMOVE EXISTING CASEWORK AND SHELVING, PROTECT AND SALVAGE FOR OWNER
  - D.041 REMOVE COLUMN FINISH & FURRING, STRUCTURE & MEP TO REMAIN
  - D.043 REMOVE PLUMBING, GAS, ELECTRIC, RE: MEP
  - D.045 SAWCUT AND REMOVE EXISTING SLAB AND SUBGRADE AS REQ'D FOR CONSTRUCTION OF NEW SLAB-ON-GRADE STAIR
  - D.053 REMOVE WINDOW APRON, LEAVE EXISTING WINDOW AND SILL IN PLACE. COORDINATE WITH NEW WALL FINISH, SEE NEW WORK DWGS
  - D.056 REMOVE BRICK PAVERS, SALVAGE FOR RE-INSTALLATION
  - D.057 REMOVE EXISTING TREE, RE: LANDSCAPE
  - D.059 EXCAVATE AND REMOVE EXISTING 6" STORM DRAIN; SALVAGE ALL PAVERS DISRUPTED FOR REINSTALLATION
  - D.060 REMOVE EXISTING COPPER ROOF LEADER
  - D.061 REMOVE EXISTING SCREEN PARTITION AND ASSOCIATED MOUNTING HARDWARE
  - D.062 REMOVE EXISTING STONE STEPS, RE: LANDSCAPE. SALVAGE STONE FOR OWNER
  - D.063 REMOVE EXISTING WALL AS SHOWN FOR NEW DOOR
  - D.064 REMOVE EXISTING WOOD PANELING AND FURRING FROM FLOOR TO CEILING
  - D.072 REMOVE EXISTING STONE WALL/PILLAR ENTIRELY
  - D.073 REMOVE EXISTING WOOD TRIM FROM END OF LOCKER ROW, TYP.



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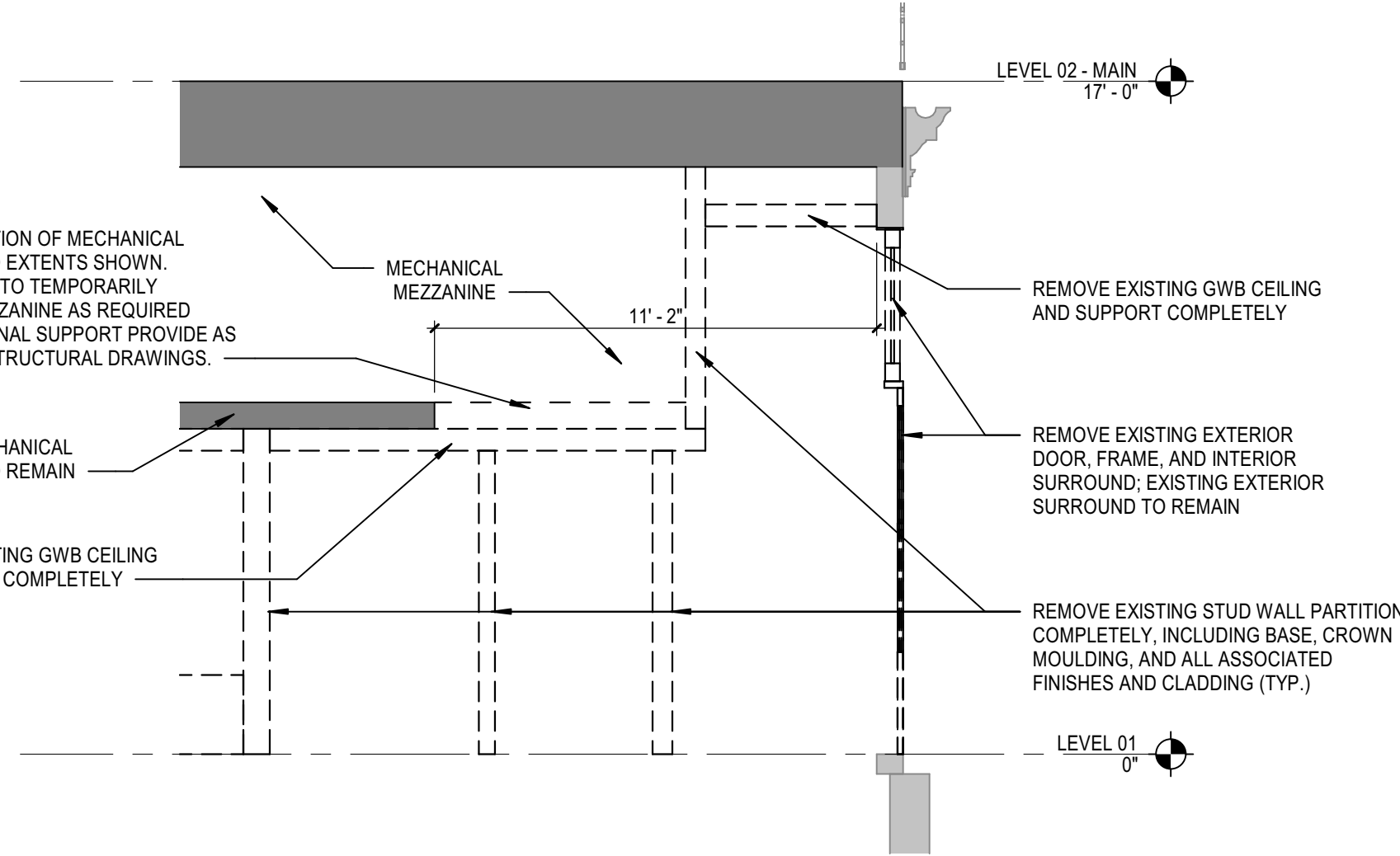
**CHEVY CHASE CLUB**  
CLUBHOUSE RENOVATION  
6100 CONNECTICUT AVE  
CHEVY CHASE, MD 20815

ISSUED FOR PERMIT  
4/12/2023  
REVISIONS

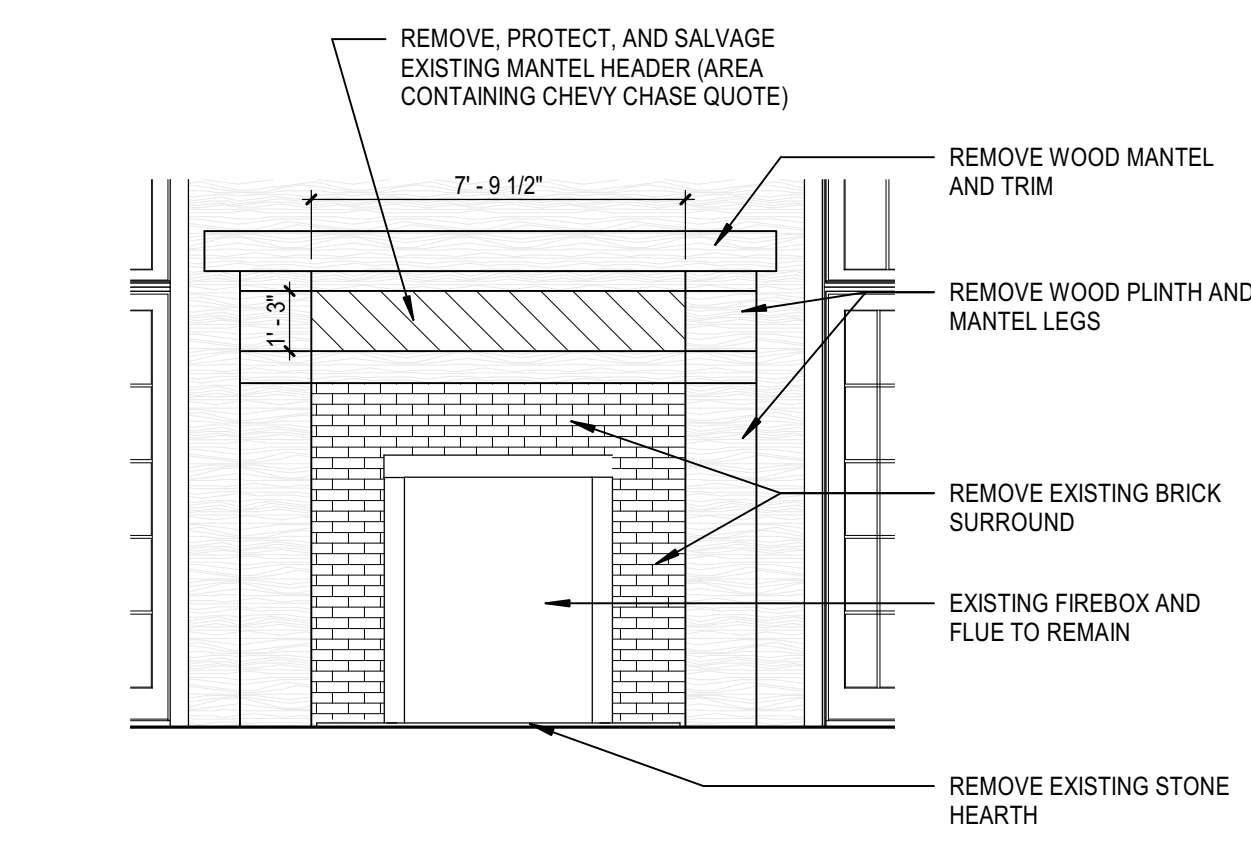
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LEVEL 01  
DEMOLITION  
PLAN - SOUTH

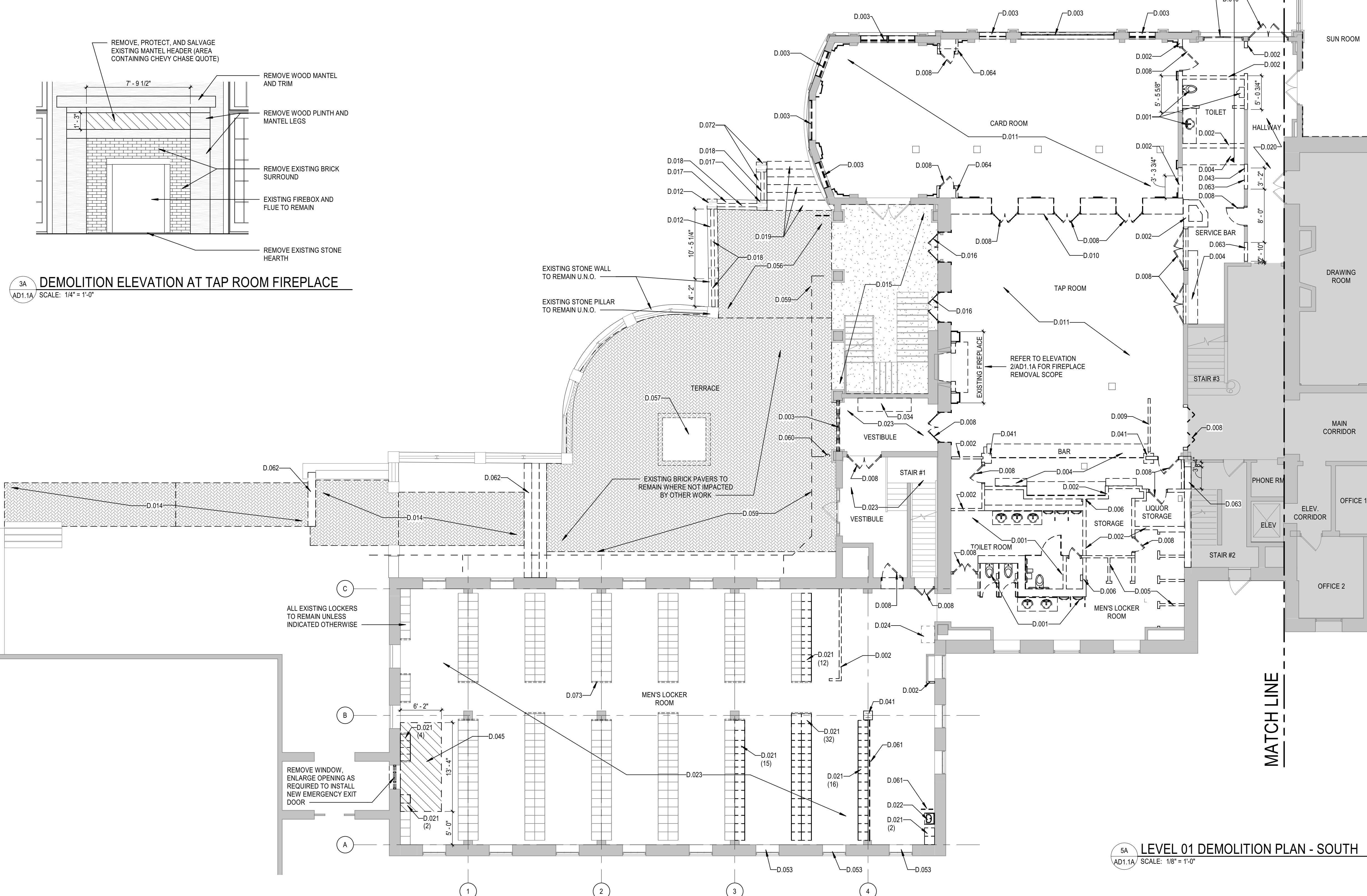
AD1.1A



1A DEMOLITION SECTION AT MECHANICAL MEZZANINE  
AD1.1A SCALE: 1/4" = 1'-0"



3A DEMOLITION ELEVATION AT TAP ROOM FIREPLACE  
AD1.1A SCALE: 1/4" = 1'-0"



5A LEVEL 01 DEMOLITION PLAN - SOUTH  
AD1.1A SCALE: 1/8" = 1'-0"

**DEMOLITION GENERAL NOTES**

- THE CONTRACTOR SHALL:
- A. COORDINATE ALL DEMOLITION AND PHASING EFFORTS WITH THE ARCHITECT AND OWNER'S REPRESENTATIVE. EVERY EFFORT SHALL BE MADE TO MINIMIZE DISRUPTION OF OWNER'S OPERATIONS, EXCESSIVE NOISE OR VIBRATION SHALL BE PRE-APPROVED AND COORDINATED WITH THE OWNER'S REPRESENTATIVE. IN ALL CASES, PROVISIONS SHALL BE MADE FOR USER'S SAFETY.
  - B. COORDINATE ANY DISRUPTION OF UTILITY SERVICES WITH THE OWNER AND AS SPECIFIED.
  - C. CONSTRUCT TEMPORARY CONSTRUCTION PARTITIONS WITHIN THE EXISTING BUILDING WHICH OFFER A ONE-HOUR ENCLOSURE TO ISOLATE ANY DEMOLITION/CONSTRUCTION WORK FROM THE GENERAL PUBLIC AND AS DEEMED NECESSARY BY THE OWNER AND CODE OFFICIAL, HAVING JURISDICTION. COORDINATE LOCATIONS WITH THE OWNER AND MAINTAIN MEANS OF EGRESS THROUGHOUT THE WORK.
  - D. MAINTAIN A SECURE, WEATHER-TIGHT ENCLOSURE AT ALL TIMES.
  - E. VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND ELEVATIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
  - F. REMOVE IN THEIR ENTIRETY ALL EXISTING WALLS, DOORS, MILLWORK, PLUMBING FIXTURES, CEILING, SOFFITS, MARKERBOARDS, AND OTHER ITEMS, AS REQUIRED TO EXECUTE THE DEMOLITION/CONSTRUCTION WORK DESCRIBED BY THE DRAWINGS.
  - G. THE OWNER SHALL RESERVE THE RIGHT TO SALVAGE ANY MATERIALS.
  - H. PROVIDE PROTECTION FOR ALL EXISTING BUILDING MATERIALS AND EQUIPMENT FROM DAMAGE DUE TO ANY DEMOLITION OR CONSTRUCTION-RELATED INCIDENT PERFORMED UNDER THIS CONTRACT.
  - I. REPAIR OR REPLACE ITEMS THAT ARE DAMAGED AS A RESULT OF DEMOLITION OR CONSTRUCTION TO MATCH EXISTING FINISH AND/OR CONDITION.
  - J. EXISTING MATERIALS SHALL NOT BE REUSED UNLESS NOTED OTHERWISE OR AS AUTHORIZED BY ARCHITECT.
  - K. VERIFY AND MAINTAIN THE LOCATION OF EXISTING POWER, COMMUNICATION AND DATA CABLES TO PREVENT INTERRUPTION OF THEIR SERVICE.
  - L. PATCH FLOOR, WALL AND CEILING PENETRATIONS RESULTING FROM REMOVAL OR RE-ROUTING OF NEW OR EXISTING PIPING, DUCTWORK, CONDUIT, AND OTHER ITEMS, AS REQUIRED TO MAINTAIN FIRE-RESISTANCE-RATED SEPARATIONS. FINISH AS REQUIRED FOR NEW OR EXISTING ADJACENT SURFACES.
  - M. CAP ALL DISCONNECTED MECHANICAL PIPING LINES WITHIN THE WALL OR FLOOR. PATCH AND FINISH AS REQUIRED TO MATCH NEW OR EXISTING ADJACENT SURFACES.
  - N. SEE MECHANICAL AND ELECTRICAL DRAWINGS AND NOTES FOR FURTHER SEQUENCING AND SCOPE OF WORK.
  - O. AVOID ANY DISTURBANCE OF SOILS WITHIN THE ZONE OF INFLUENCE AROUND EXISTING FOOTINGS AND FLOOR SLABS AS DIRECTED BY GEOTECHNICAL ENGINEER.
  - P. WHERE CMU WALLS ARE INDICATED TO BE REMOVED, PREPARE ADJACENT WALLS TO RECEIVE NEW PATCH/FINISH BY REMOVING CMU IN TOOTH-IN PATTERN BOTH SIDES OF DEMOLITION FOR CONTRACTOR TO TOOTH-IN NEW CMU PATCHES.
  - Q. WHERE PLASTER/STUD WALLS ARE INDICATED TO BE REMOVED, PREPARE ADJACENT WALLS TO RECEIVE NEW PATCH/FINISH BY SAWCUTTING ADJACENT PLASTER FINISH A MINIMUM OF 1'-0" BEYOND DEMOLITION.
  - R. NO HAZARDOUS MATERIALS ARE ANTICIPATED IN EXISTING CLUBHOUSE. IF SUSPECTED HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB; IMMEDIATELY NOTIFY ARCHITECT AND OWNER. HAZARDOUS MATERIALS WILL BE REMOVED BY OWNER UNDER A SEPARATE CONTRACT.

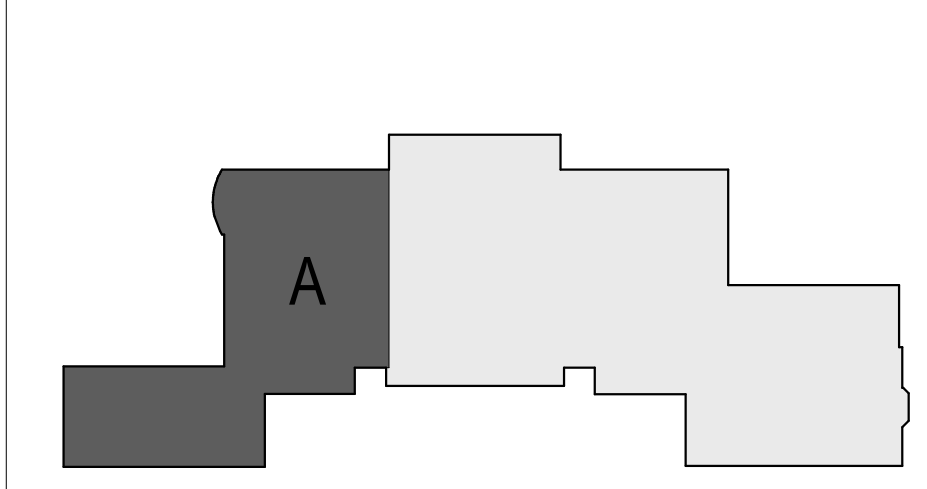
**REVIEWED**  
By Michael Kyne at 1:55 pm, May 31, 2023

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Robert A. ...*

**DEMOLITION LEGEND**

- EXISTING WALL TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED
- EXISTING DOOR, FRAME, HARDWARE, AND TRIM TO BE REMOVED (UNO)
- AREA OF EXISTING MATERIAL TO BE REMOVED
- EXISTING WINDOW, FRAME, AND INTERIOR SURROUND TO BE REMOVED (UNO)
- NOT IN SCOPE

**KEY PLAN**

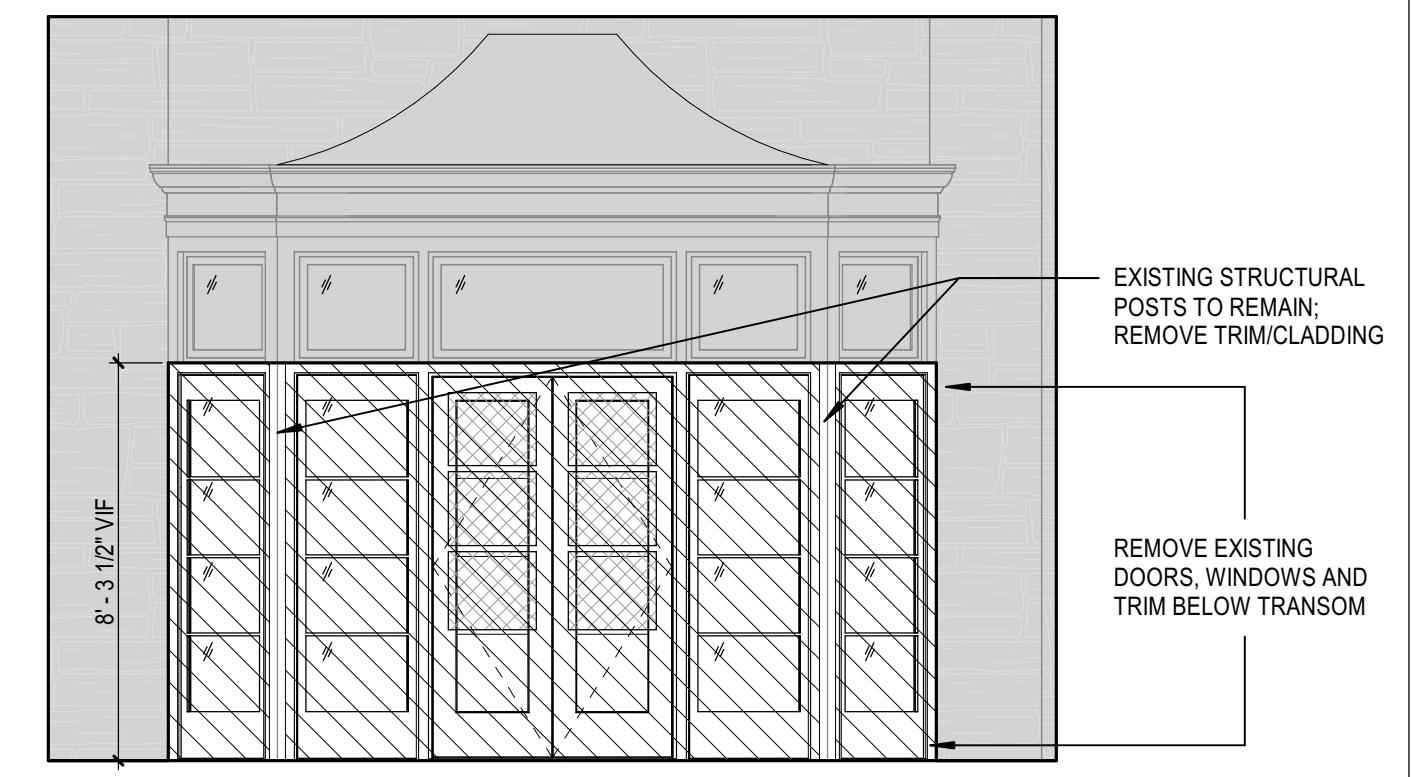
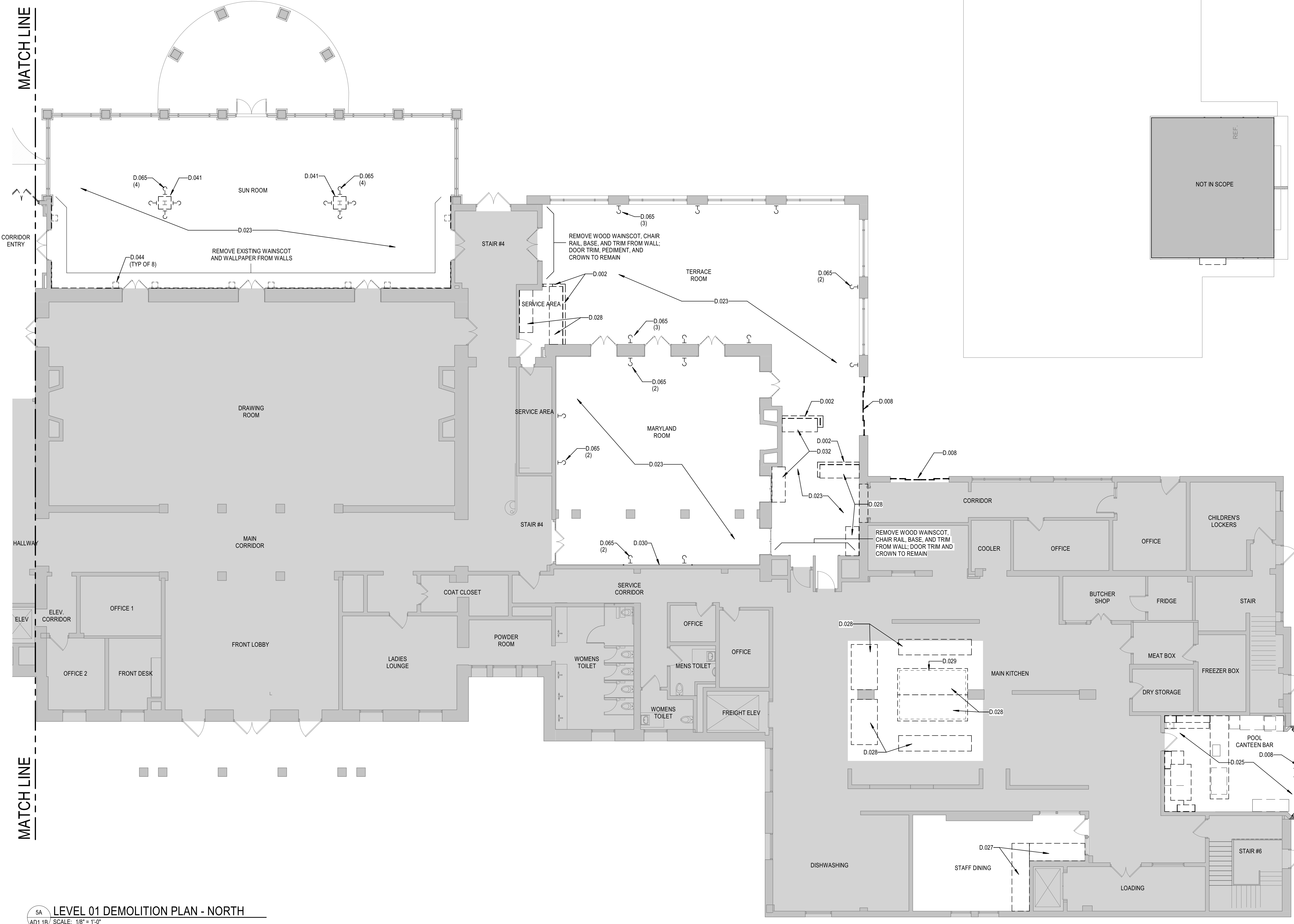




- ### DEMOLITION PLAN NOTES
- D.002 REMOVE EXISTING STUD WALL PARTITION COMPLETELY, INCLUDING BASE, CROWN MOULDING, AND ALL ASSOCIATED FINISHES AND CLADDING (TYP.)
  - D.008 REMOVE EXISTING DOOR, FRAME, AND HARDWARE
  - D.023 REMOVE EXISTING CARPET AND UNDERLAYMENT
  - D.025 REMOVE ALL EXISTING WALL TILE, FLOOR TILE, CASEWORK, BASE TRIM, CROWN MOLDING, CHAIR RAIL, AND EQUIPMENT THROUGHOUT POOL CANTEEN. SALVAGE ALL EQUIPMENT FOR OWNER.
  - D.027 REMOVE EXISTING MILLWORK AND EQUIPMENT IN STAFF DINING ROOM. SALVAGE EQUIPMENT FOR OWNER.
  - D.028 REMOVE EXISTING COUNTER AND EQUIPMENT; SALVAGE FOR OWNER
  - D.029 REMOVE EXISTING CURB, FLOOR TILE, AND UNDERLAYMENT UNDER EXISTING COUNTER
  - D.030 REMOVE EXISTING MIRROR, SALVAGE FOR OWNER
  - D.032 REMOVE EXISTING WINE STORAGE CABINET, SALVAGE FOR OWNER
  - D.041 REMOVE COLUMN FINISH & FURRING STRUCTURE & MEP TO REMAIN
  - D.044 REMOVE EXISTING SHELF/FIXTURE FROM WALL
  - D.065 REMOVE EXISTING WALL SCONCE; SALVAGE FOR OWNER
  - D.066 REMOVE WINDOW, FRAME, TRIM, AND HARDWARE



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5A LEVEL 01 DEMOLITION PLAN - NORTH  
AD1.1B SCALE: 1/8" = 1'-0"

### DEMOLITION GENERAL NOTES

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  - Q. WHERE PLASTER/STUD WALLS ARE INDICATED TO BE REMOVED, PREPARE ADJACENT WALLS TO RECEIVE NEW PATCH/FINISH BY SAWCUTTING ADJACENT PLASTER FINISH A MINIMUM OF 1'-0" BEYOND DEMOLITION.
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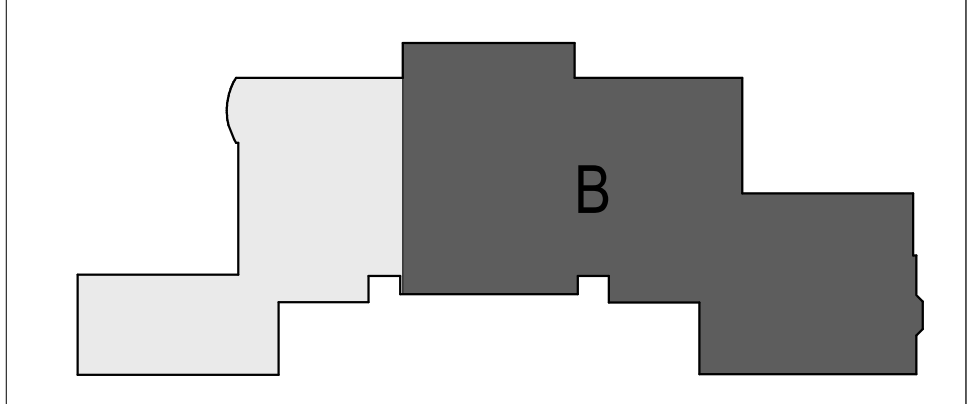
**REVIEWED**  
By Michael Kyne at 1:55 pm, May 31, 2023

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Robert H. ...*

### DEMOLITION LEGEND

- EXISTING WALL TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED
- EXISTING DOOR, FRAME, HARDWARE, AND TRIM TO BE REMOVED (UNO)
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### KEY PLAN



56-22108-00  
LEVEL 01  
DEMOLITION  
PLAN - NORTH

AD1.1B

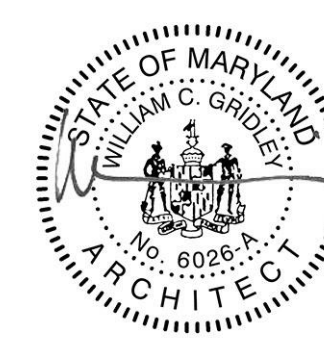
ISSUED FOR PERMIT  
4/12/2023  
REVISIONS

CHEVY CHASE CLUB  
CLUBHOUSE RENOVATION  
6100 CONNECTICUT AVE  
CHEVY CHASE, MD 20815



**DEMOLITION PLAN NOTES**

- D.008 REMOVE EXISTING DOOR, FRAME, AND HARDWARE
- D.009 REMOVE PARTIAL HEIGHT PARTITION AND FINISH
- D.023 REMOVE EXISTING CARPET AND UNDERLAYMENT
- D.035 REMOVE EXISTING FLOOR AND CEILING SLAB AND FINISH AS REQ'D FOR NEW EXHAUST MAKE UP AIR DUCTS
- D.039 REMOVE EXISTING ROOFTOP MECHANICAL ENCLOSURE
- D.054 REMOVE EXISTING TILE FINISH TO SUBSTRATE FROM FLOOR AND ALL WALLS



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1 5/3/2023 HPC Revisions

56-22108-00

LEVEL 02  
DEMOLITION  
PLAN - SOUTH

AD1.2A

1  
2  
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5

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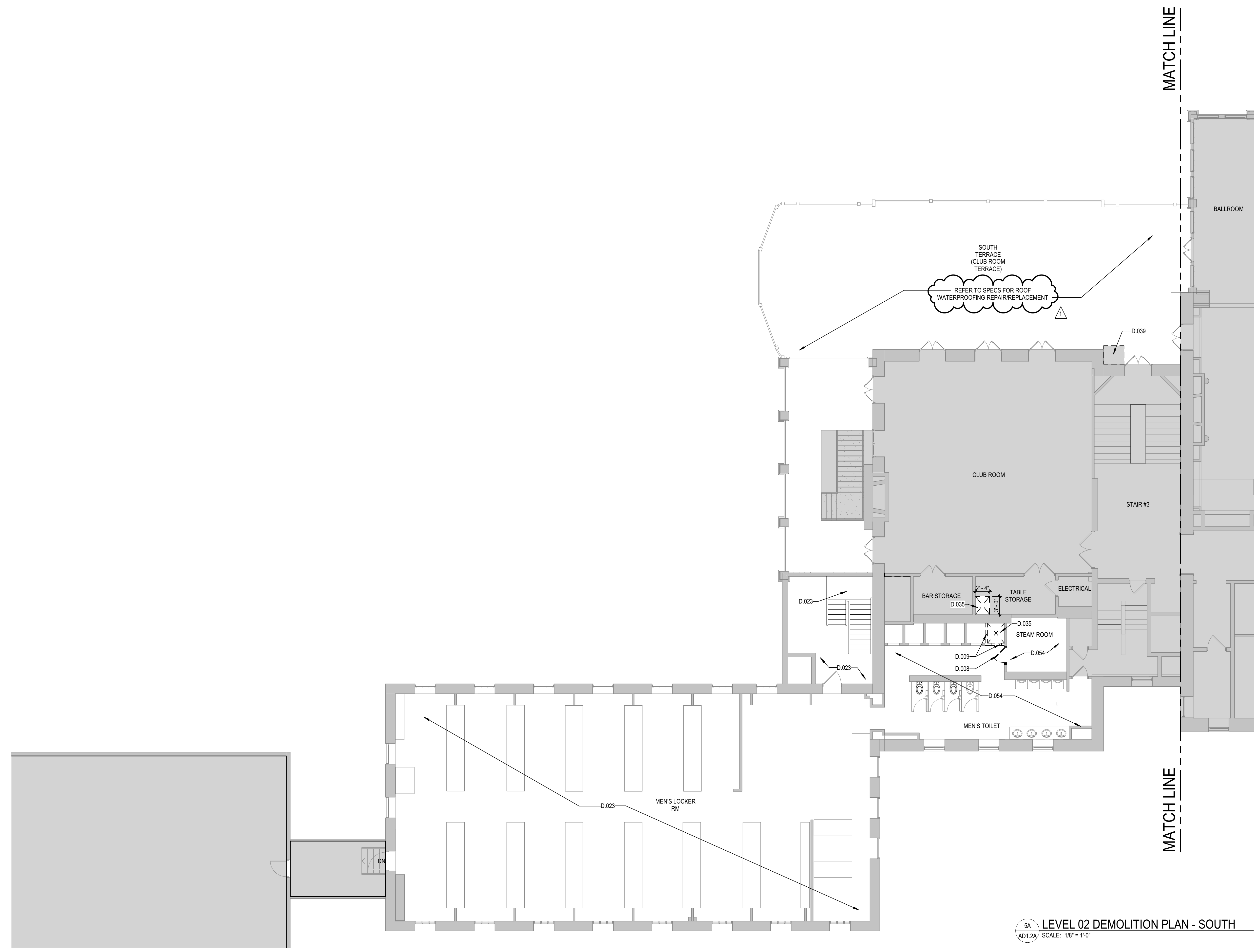
B

C

D

E

F



5A LEVEL 02 DEMOLITION PLAN - SOUTH  
AD1.2A SCALE: 1/8" = 1'-0"

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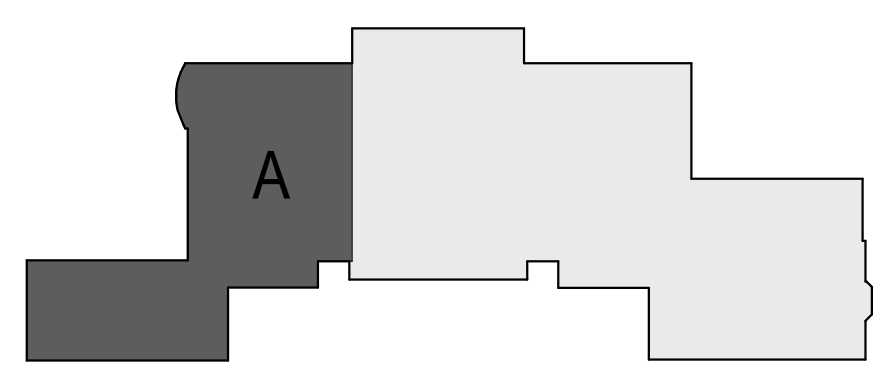
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APPROVED  
Montgomery County  
Historic Preservation Commission  
*Robert H. ...*

**DEMOLITION LEGEND**

- EXISTING WALL TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED
- EXISTING DOOR, FRAME, HARDWARE, AND TRIM TO BE REMOVED (UNO)
- AREA OF EXISTING MATERIAL TO BE REMOVED
- EXISTING WINDOW, FRAME, AND INTERIOR SURROUND TO BE REMOVED (UNO)
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**KEY PLAN**







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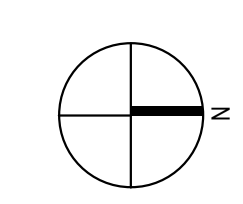
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1 5/3/2023 HPC Revisions

56-22108-00  
LEVEL 02  
DEMOLITION  
PLAN - NORTH

AD1.2B



5A LEVEL 02 DEMOLITION PLAN - NORTH  
AD1.2B SCALE: 1/8" = 1'-0"



**DEMOLITION GENERAL NOTES**

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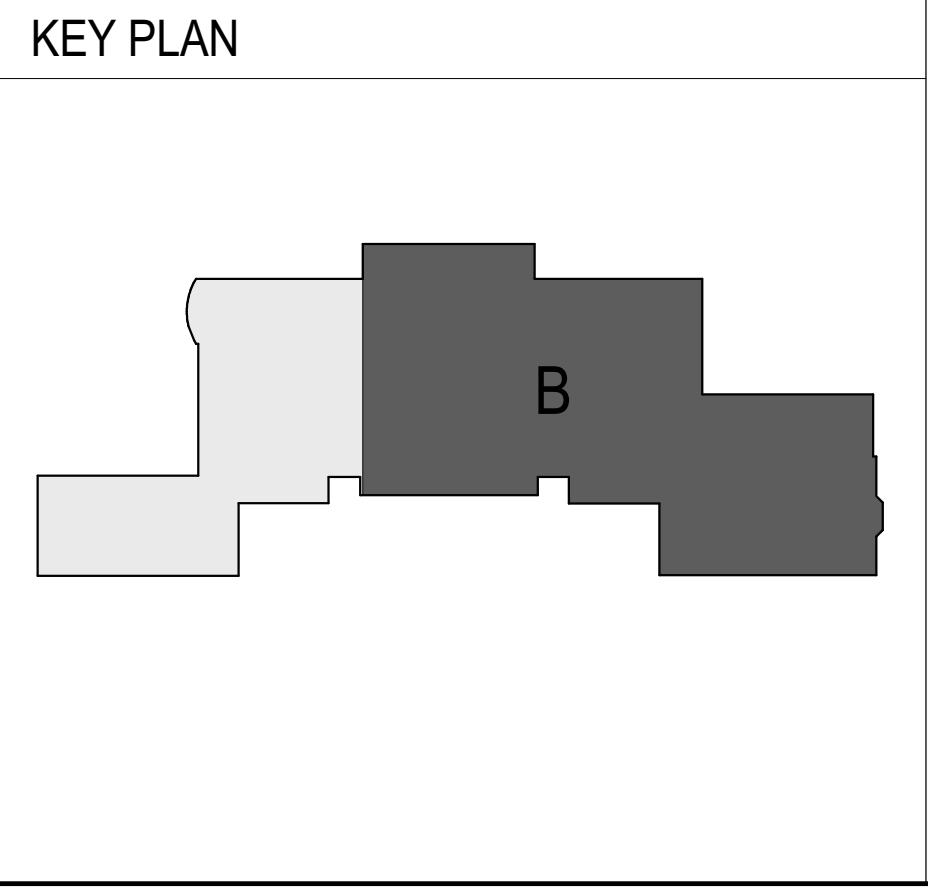
- COORDINATE ALL DEMOLITION AND PHASING EFFORTS WITH THE ARCHITECT AND OWNER'S REPRESENTATIVE. EVERY EFFORT SHALL BE MADE TO MINIMIZE DISRUPTION OF OWNER'S OPERATIONS, EXCESSIVE NOISE OR VIBRATION SHALL BE PRE-APPROVED AND COORDINATED WITH THE OWNER'S REPRESENTATIVE. IN ALL CASES, PROVISIONS SHALL BE MADE FOR USER'S SAFETY.
- COORDINATE ANY DISRUPTION OF UTILITY SERVICES WITH THE OWNER AND AS SPECIFIED.
- CONSTRUCT TEMPORARY CONSTRUCTION PARTITIONS WITHIN THE EXISTING BUILDING WHICH OFFER A ONE-HOUR ENCLOSURE TO ISOLATE ANY DEMOLITION/CONSTRUCTION WORK FROM THE GENERAL PUBLIC AND AS DEEMED NECESSARY BY THE OWNER AND CODE OFFICIAL, HAVING JURISDICTION. COORDINATE LOCATIONS WITH THE OWNER AND MAINTAIN MEANS OF EGRESS THROUGHOUT THE WORK.
- MAINTAIN A SECURE, WEATHER-TIGHT ENCLOSURE AT ALL TIMES.
- VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND ELEVATIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- REMOVE IN THEIR ENTIRETY ALL EXISTING WALLS, DOORS, MILLWORK, PLUMBING FIXTURES, CEILING, SOFFITS, MARKERBOARDS, AND OTHER ITEMS, AS REQUIRED TO EXECUTE THE DEMOLITION/CONSTRUCTION WORK DESCRIBED BY THE DRAWINGS.
- THE OWNER SHALL RESERVE THE RIGHT TO SALVAGE ANY MATERIALS.
- PROVIDE PROTECTION FOR ALL EXISTING BUILDING MATERIALS AND EQUIPMENT FROM DAMAGE DUE TO ANY DEMOLITION OR CONSTRUCTION-RELATED INCIDENT PERFORMED UNDER THIS CONTRACT.
- REPAIR OR REPLACE ITEMS THAT ARE DAMAGED AS A RESULT OF DEMOLITION OR CONSTRUCTION TO MATCH EXISTING FINISH AND/OR CONDITION.
- EXISTING MATERIALS SHALL NOT BE REUSED UNLESS NOTED OTHERWISE OR AS AUTHORIZED BY ARCHITECT.
- VERIFY AND MAINTAIN THE LOCATION OF EXISTING POWER, COMMUNICATION AND DATA CABLES TO PREVENT INTERRUPTION OF THEIR SERVICE.
- PATCH FLOOR, WALL AND CEILING PENETRATIONS RESULTING FROM REMOVAL OR RE-ROUTING OF NEW OR EXISTING PIPING, DUCTWORK, CONDUIT, AND OTHER ITEMS, AS REQUIRED TO MAINTAIN FIRE-RESISTANCE-RATED SEPARATIONS. FINISH AS REQUIRED FOR NEW OR EXISTING ADJACENT SURFACES.
- CAP ALL DISCONNECTED MECHANICAL PIPING LINES WITHIN THE WALL OR FLOOR. PATCH AND FINISH AS REQUIRED TO MATCH NEW OR EXISTING ADJACENT SURFACES.
- SEE MECHANICAL AND ELECTRICAL DRAWINGS AND NOTES FOR FURTHER SEQUENCING AND SCOPE OF WORK.
- AVOID ANY DISTURBANCE OF SOILS WITHIN THE ZONE OF INFLUENCE AROUND EXISTING FOOTINGS AND FLOOR SLABS AS DIRECTED BY GEOTECHNICAL ENGINEER.
- WHERE CMU WALLS ARE INDICATED TO BE REMOVED, PREPARE ADJACENT WALLS TO RECEIVE NEW PATCH/FINISH BY REMOVING CMU IN TOOTH-IN PATTERN BOTH SIDES OF DEMOLITION FOR CONTRACTOR TO TOOTH-IN NEW CMU PATCHES.
- WHERE PLASTER/STUD WALLS ARE INDICATED TO BE REMOVED, PREPARE ADJACENT WALLS TO RECEIVE NEW PATCH/FINISH BY SAWCUTTING ADJACENT PLASTER FINISH A MINIMUM OF 1'-0" BEYOND DEMOLITION.
- NO HAZARDOUS MATERIALS ARE ANTICIPATED IN EXISTING CLUBHOUSE. IF SUSPECTED HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB; IMMEDIATELY NOTIFY ARCHITECT AND OWNER. HAZARDOUS MATERIALS WILL BE REMOVED BY OWNER UNDER A SEPARATE CONTRACT.

**REVIEWED**  
By Michael Kyne at 1:55 pm, May 31, 2023

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Robert H. ...*

**DEMOLITION LEGEND**

	EXISTING WALL TO REMAIN
	EXISTING CONSTRUCTION TO BE REMOVED
	EXISTING DOOR, FRAME, HARDWARE, AND TRIM TO BE REMOVED (UNO)
	AREA OF EXISTING MATERIAL TO BE REMOVED
	EXISTING WINDOW, FRAME, AND INTERIOR SURROUND TO BE REMOVED (UNO)
	NOT IN SCOPE

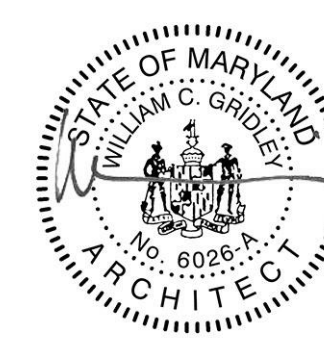


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DEMOLITION PLAN NOTES

D.038 REMOVE EXISTING EXHAUST FAN AND CURBS



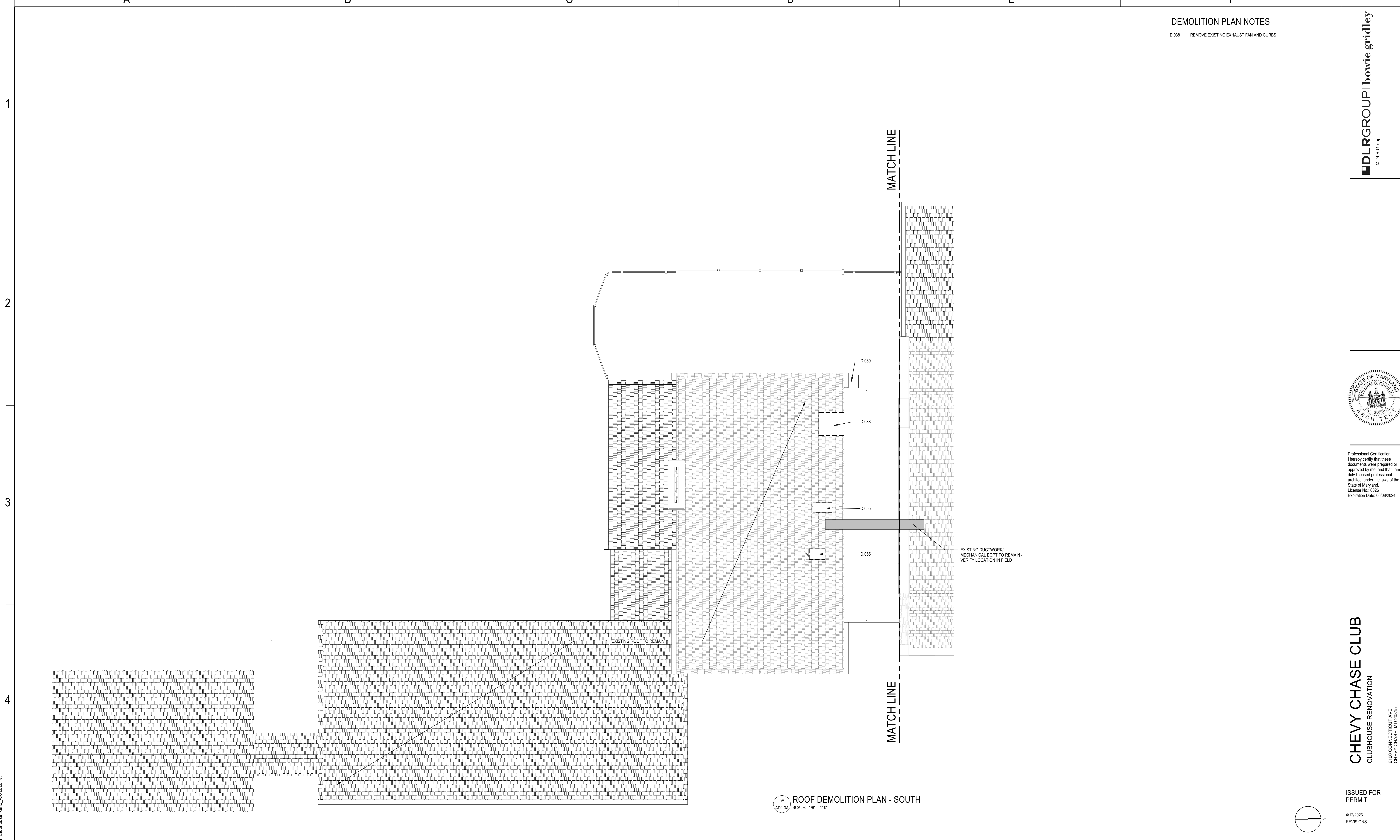
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REVISIONS

56-22108-00

ROOF DEMOLITION PLAN - SOUTH

AD1.3A



5A ROOF DEMOLITION PLAN - SOUTH  
AD1.3A SCALE: 1/8" = 1'-0"

DEMOLITION GENERAL NOTES

- THE CONTRACTOR SHALL:
- A. COORDINATE ALL DEMOLITION AND PHASING EFFORTS WITH THE ARCHITECT AND OWNER'S REPRESENTATIVE. EVERY EFFORT SHALL BE MADE TO MINIMIZE DISRUPTION OF OWNER'S OPERATIONS. EXCESSIVE NOISE OR VIBRATION SHALL BE PRE-APPROVED AND COORDINATED WITH THE OWNER'S REPRESENTATIVE. IN ALL CASES, PROVISIONS SHALL BE MADE FOR USER'S SAFETY.
  - B. COORDINATE ANY DISRUPTION OF UTILITY SERVICES WITH THE OWNER AND AS SPECIFIED.
  - C. CONSTRUCT TEMPORARY CONSTRUCTION PARTITIONS WITHIN THE EXISTING BUILDING WHICH OFFER A ONE-HOUR ENCLOSURE TO ISOLATE ANY DEMOLITION/CONSTRUCTION WORK FROM THE GENERAL PUBLIC AND AS DEEMED NECESSARY BY THE OWNER AND CODE OFFICIAL HAVING JURISDICTION. COORDINATE LOCATIONS WITH THE OWNER AND MAINTAIN MEANS OF EGRESS THROUGHOUT THE WORK.
  - D. MAINTAIN A SECURE, WEATHER-TIGHT ENCLOSURE AT ALL TIMES.
  - E. VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND ELEVATIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
  - F. REMOVE IN THEIR ENTIRETY ALL EXISTING WALLS, DOORS, MILLWORK, PLUMBING FIXTURES, CEILING, SOFFITS, MARKERBOARDS, AND OTHER ITEMS, AS REQUIRED TO EXECUTE THE DEMOLITION/CONSTRUCTION WORK DESCRIBED BY THE DRAWINGS.
  - G. THE OWNER SHALL RESERVE THE RIGHT TO SALVAGE ANY MATERIALS.
  - H. PROVIDE PROTECTION FOR ALL EXISTING BUILDING MATERIALS AND EQUIPMENT FROM DAMAGE DUE TO ANY DEMOLITION OR CONSTRUCTION-RELATED INCIDENT PERFORMED UNDER THIS CONTRACT.
  - I. REPAIR OR REPLACE ITEMS THAT ARE DAMAGED AS A RESULT OF DEMOLITION OR CONSTRUCTION TO MATCH EXISTING FINISH AND/OR CONDITION.
  - J. EXISTING MATERIALS SHALL NOT BE REUSED UNLESS NOTED OTHERWISE OR AS AUTHORIZED BY ARCHITECT.
  - K. VERIFY AND MAINTAIN THE LOCATION OF EXISTING POWER, COMMUNICATION AND DATA CABLES TO PREVENT INTERRUPTION OF THEIR SERVICE.
  - L. PATCH FLOOR, WALL AND CEILING PENETRATIONS RESULTING FROM REMOVAL OR RE-ROUTING OF NEW OR EXISTING PIPING, DUCTWORK, CONDUIT, AND OTHER ITEMS, AS REQUIRED TO MAINTAIN FIRE-RESISTANCE-RATED SEPARATIONS. FINISH AS REQUIRED FOR NEW OR EXISTING ADJACENT SURFACES.
  - M. CAP ALL DISCONNECTED MECHANICAL PIPING LINES WITHIN THE WALL OR FLOOR. PATCH AND FINISH AS REQUIRED TO MATCH NEW OR EXISTING ADJACENT SURFACES.
  - N. SEE MECHANICAL AND ELECTRICAL DRAWINGS AND NOTES FOR FURTHER SEQUENCING AND SCOPE OF WORK.
  - O. AVOID ANY DISTURBANCE OF SOILS WITHIN THE ZONE OF INFLUENCE AROUND EXISTING FOOTINGS AND FLOOR SLABS AS DIRECTED BY GEOTECHNICAL ENGINEER.
  - P. WHERE CMU WALLS ARE INDICATED TO BE REMOVED, PREPARE ADJACENT WALLS TO RECEIVE NEW PATCH/FINISH BY REMOVING CMU IN TOOTH-IN PATTERN BOTH SIDES OF DEMOLITION FOR CONTRACTOR TO TOOTH-IN NEW CMU PATCHES.
  - Q. WHERE PLASTER/STUD WALLS ARE INDICATED TO BE REMOVED, PREPARE ADJACENT WALLS TO RECEIVE NEW PATCH/FINISH BY SAWCUTTING ADJACENT PLASTER FINISH A MINIMUM OF 1'-0" BEYOND DEMOLITION.
  - R. NO HAZARDOUS MATERIALS ARE ANTICIPATED IN EXISTING CLUBHOUSE. IF SUSPECTED HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB; IMMEDIATELY NOTIFY ARCHITECT AND OWNER. HAZARDOUS MATERIALS WILL BE REMOVED BY OWNER UNDER A SEPARATE CONTRACT.

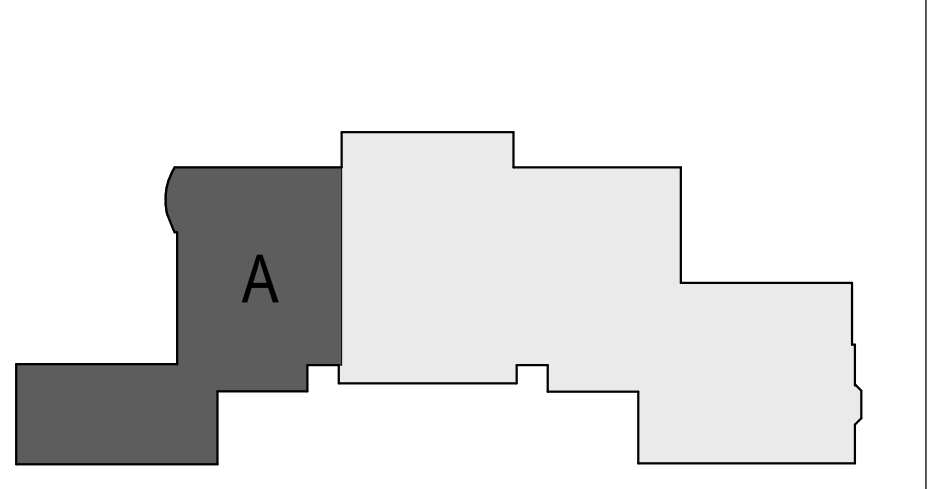
REVIEWED  
By Michael Kyne at 1:55 pm, May 31, 2023

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Robert H. ...*

DEMOLITION LEGEND

- EXISTING WALL TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED
- EXISTING DOOR, FRAME, HARDWARE, AND TRIM TO BE REMOVED (UNO)
- AREA OF EXISTING MATERIAL TO BE REMOVED
- EXISTING WINDOW, FRAME, AND INTERIOR SURROUND TO BE REMOVED (UNO)
- NOT IN SCOPE

KEY PLAN



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FLOOR PLAN NOTES

- 07.007 COPPER RAIN LEADER
- 32.001 REFER TO LANDSCAPE DRAWINGS FOR WALKWAY WORK
- 32.003 RE-LAY SALVAGED BRICK PAVERS (BR-1) ON NEW SAND BED
- 32.004 BRICK PAVERS (BR-2) ON CONCRETE SLAB ON GRADE
- 32.005 POWER WASH ALL BRICK PAVERS AT COMPLETION OF TERRACE WORK
- 32.006 6" PVC STORM DRAIN IN EXISTING EXCAVATION
- 32.007 6" PVC STORM DRAIN, JOG EXCAVATION AROUND NEW WALL FOOTINGS - COORDINATE WITH LANDSCAPE



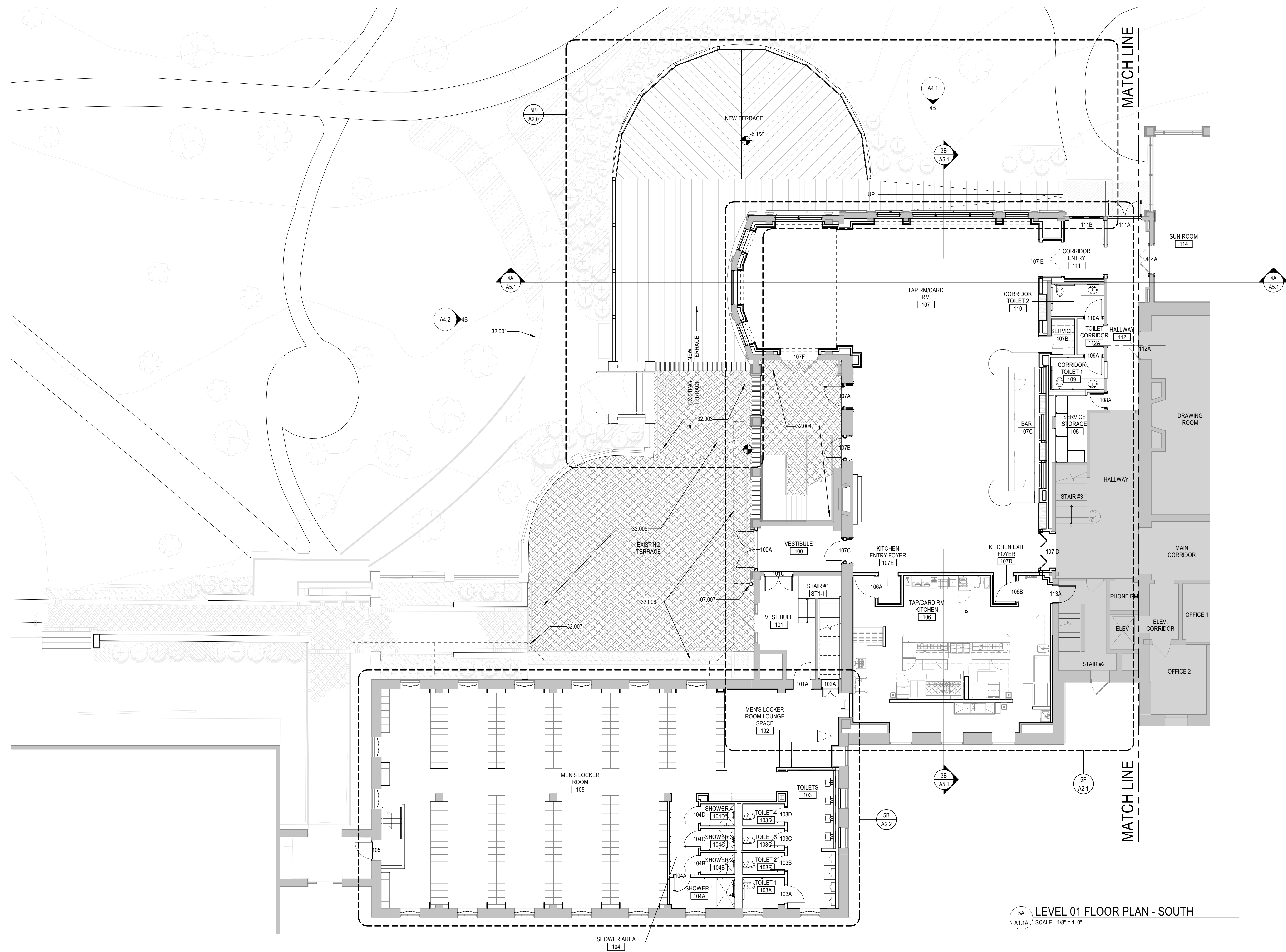
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License No.: 6026  
Expiration Date: 06/08/2024

**CHEY CHASE CLUB**  
CLUBHOUSE RENOVATION

ISSUED FOR PERMIT  
4/12/2023  
REVISIONS

56-22108-00  
LEVEL 01 FLOOR PLAN - SOUTH

A1.1A



5A LEVEL 01 FLOOR PLAN - SOUTH  
A1.1A SCALE: 1/8" = 1'-0"

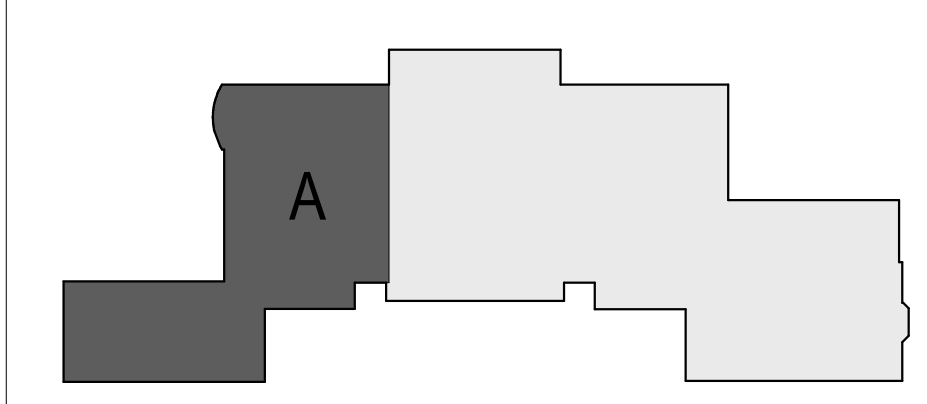
**REVIEWED**  
By Michael Kyne at 1:55 pm, May 31, 2023

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Robert C. Gridley*

FLOOR PLAN LEGEND

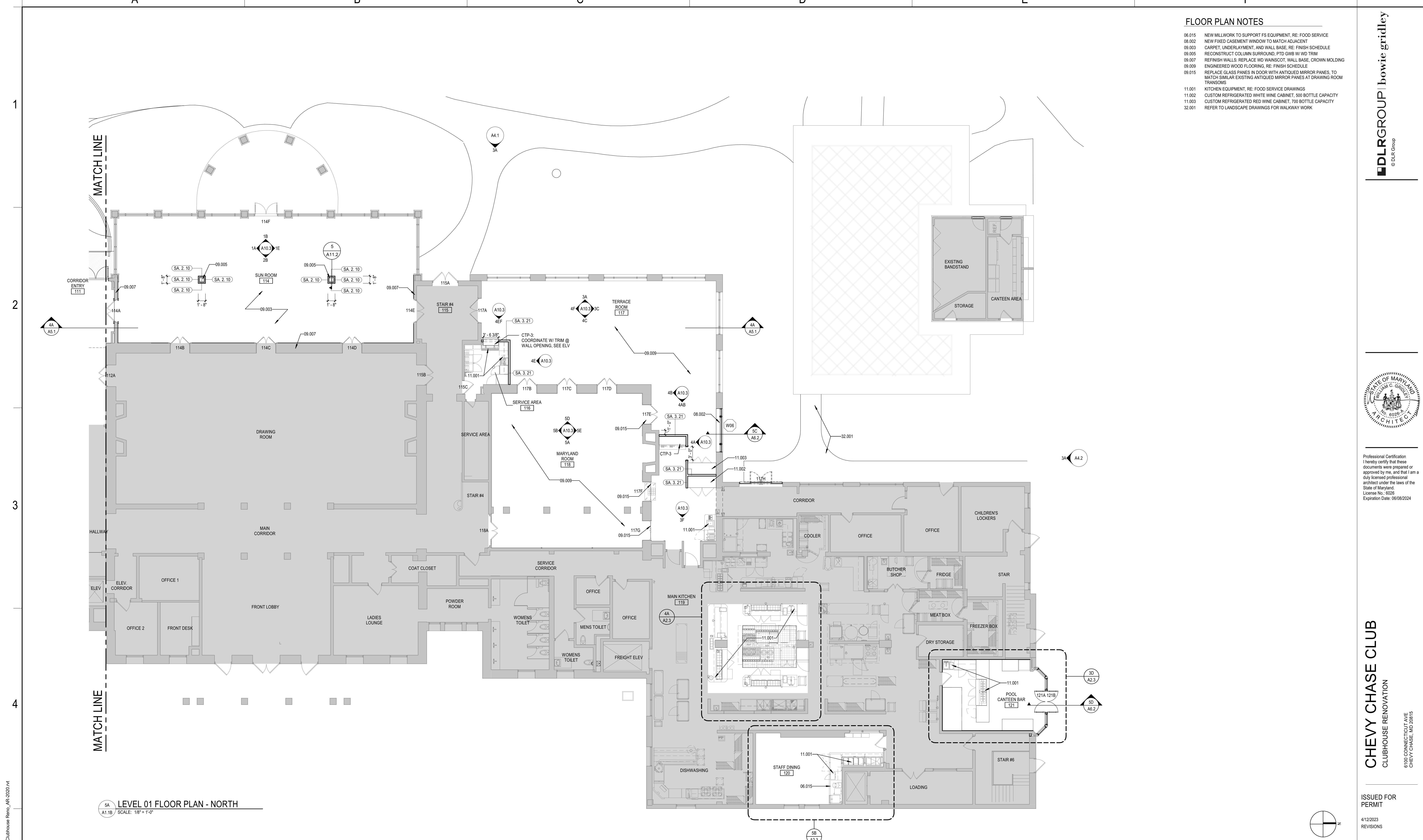
- EXISTING WALLS TO REMAIN
- NEW CONSTRUCTION
- NOT IN SCOPE

KEY PLAN



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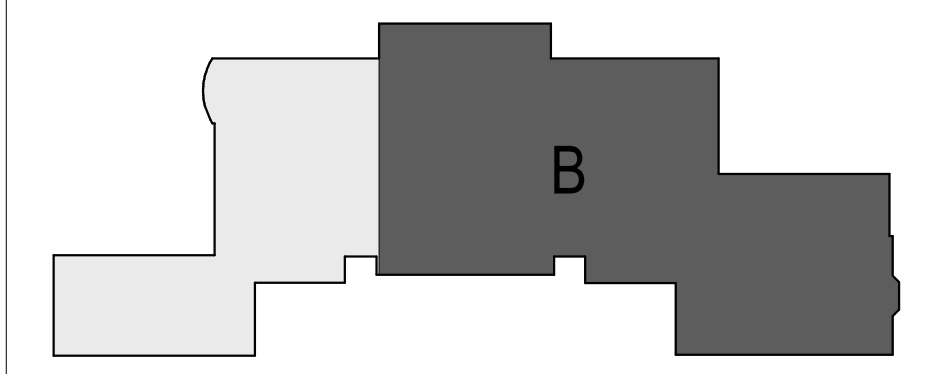
- FLOOR PLAN NOTES**
- 06.015 NEW MILLWORK TO SUPPORT FS EQUIPMENT, RE: FOOD SERVICE
  - 08.002 NEW FIXED CASEMENT WINDOW TO MATCH ADJACENT
  - 09.003 CARPET, UNDERLAYMENT, AND WALL BASE, RE: FINISH SCHEDULE
  - 09.005 RECONSTRUCT COLUMN SURROUND, PTD GWB W/ WD TRIM
  - 09.007 REFINISH WALLS, REPLACE WD WANSLOT, WALL BASE, CROWN MOLDING
  - 09.009 ENGINEERED WOOD FLOORING, RE: FINISH SCHEDULE
  - 09.015 REPLACE GLASS PANES IN DOOR WITH ANTIQUED MIRROR PANES, TO MATCH SIMILAR EXISTING ANTIQUED MIRROR PANES AT DRAWING ROOM TRANSOMS
  - 11.001 KITCHEN EQUIPMENT, RE: FOOD SERVICE DRAWINGS
  - 11.002 CUSTOM REFRIGERATED WHITE WINE CABINET, 500 BOTTLE CAPACITY
  - 11.003 CUSTOM REFRIGERATED RED WINE CABINET, 700 BOTTLE CAPACITY
  - 32.001 REFER TO LANDSCAPE DRAWINGS FOR WALKWAY WORK

5A LEVEL 01 FLOOR PLAN - NORTH  
 A1.1B SCALE: 1/8" = 1'-0"

**FLOOR PLAN LEGEND**

- EXISTING WALLS TO REMAIN
- NEW CONSTRUCTION
- NOT IN SCOPE

**KEY PLAN**



**REVIEWED**  
 By Michael Kyne at 1:55 pm, May 31, 2023

APPROVED  
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 14/19/2023 7:55:11 AM



- FLOOR PLAN NOTES**
- 04.001 CLEAN AND REPAIR STONE WALL AS NEEDED WHERE MECHANICAL ENCLOSURE WAS REMOVED
  - 05.003 METAL CABLE RAILINGS @ 4" O.C
  - 07.002 PROVIDE CASPISEAL WHERE EXISTING ROOF CURB AND MECHANICAL EQUIPMENT WAS REMOVED - INFILL & MATCH EXISTING CONSTRUCTION AND FINISH
  - 07.003 EXISTING COPPER GUTTER TO BE REPLACED IN KIND - NOT IN CONTRACT
  - 09.001 TILE FINISH ON ALL EXISTING WALLS, RE: FINISH SCHEDULE
  - 09.002 PARTIAL HEIGHT PARTITION TO MATCH EXISTING WALL (7'-6" TALL, VIF), TILE FINISH
  - 09.003 CARPET, UNDERLAYMENT, AND WALL BASE, RE: FINISH SCHEDULE
  - 22.001 EXISTING FIXTURES AND PARTITIONS TO REMAIN, TYP.



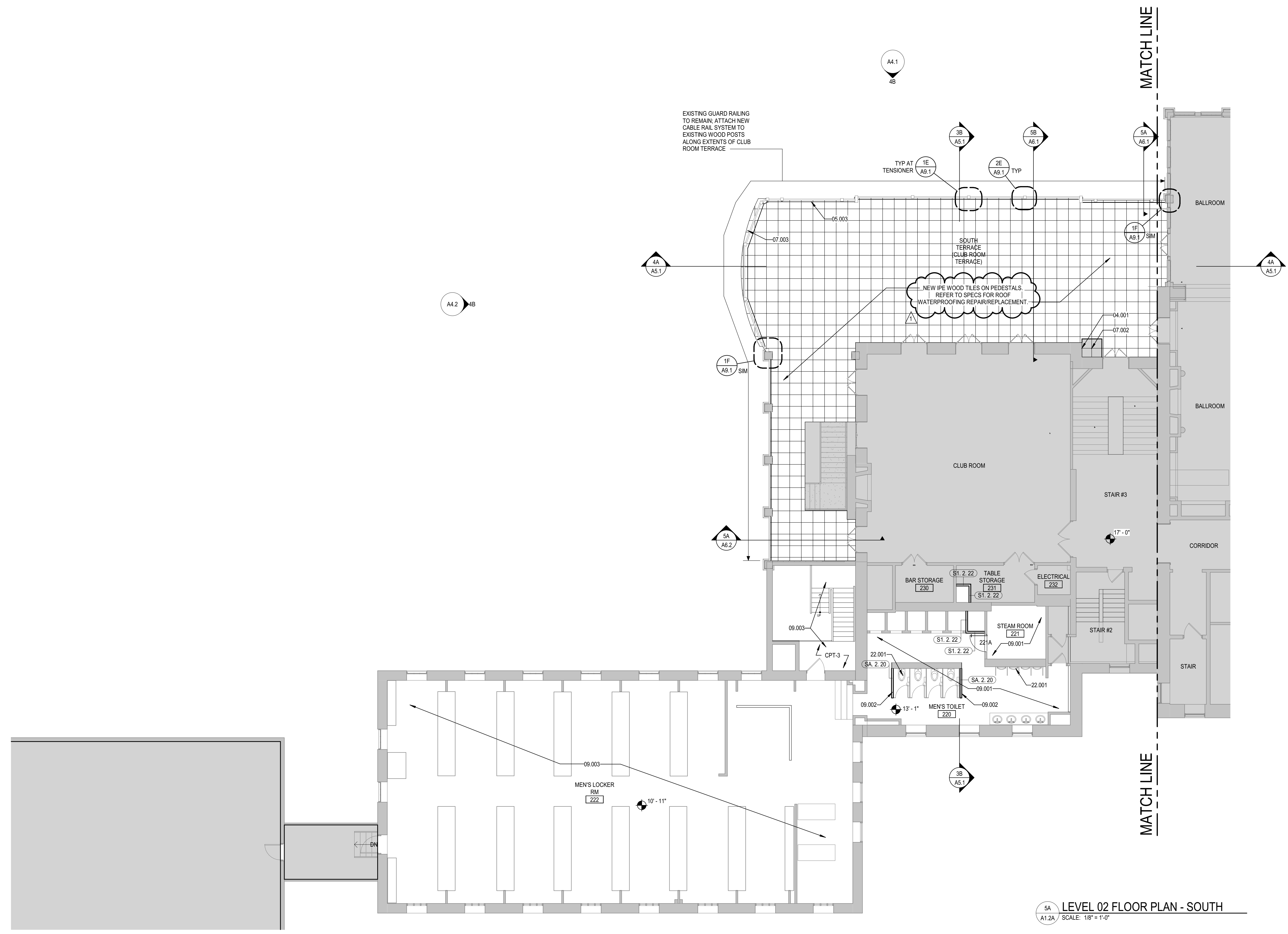
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**CHEVY CHASE CLUB**  
CLUBHOUSE RENOVATION  
6100 CONNECTICUT AVE  
CHEVY CHASE, MD 20815

ISSUED FOR PERMIT  
4/12/2023  
REVISIONS  
1 5/3/2023 HPC Revisions

56-22108-00  
LEVEL 02 FLOOR PLAN - SOUTH

A1.2A

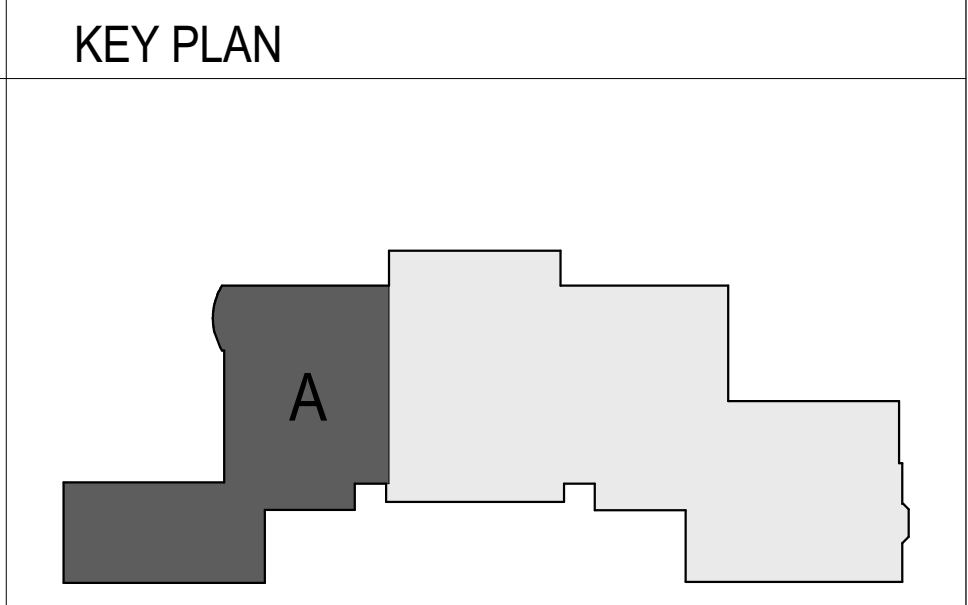


5A LEVEL 02 FLOOR PLAN - SOUTH  
SCALE: 1/8" = 1'-0"

**REVIEWED**  
By Michael Kyne at 1:55 pm, May 31, 2023

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Montgomery County  
Historic Preservation Commission  
*Robert H. ...*

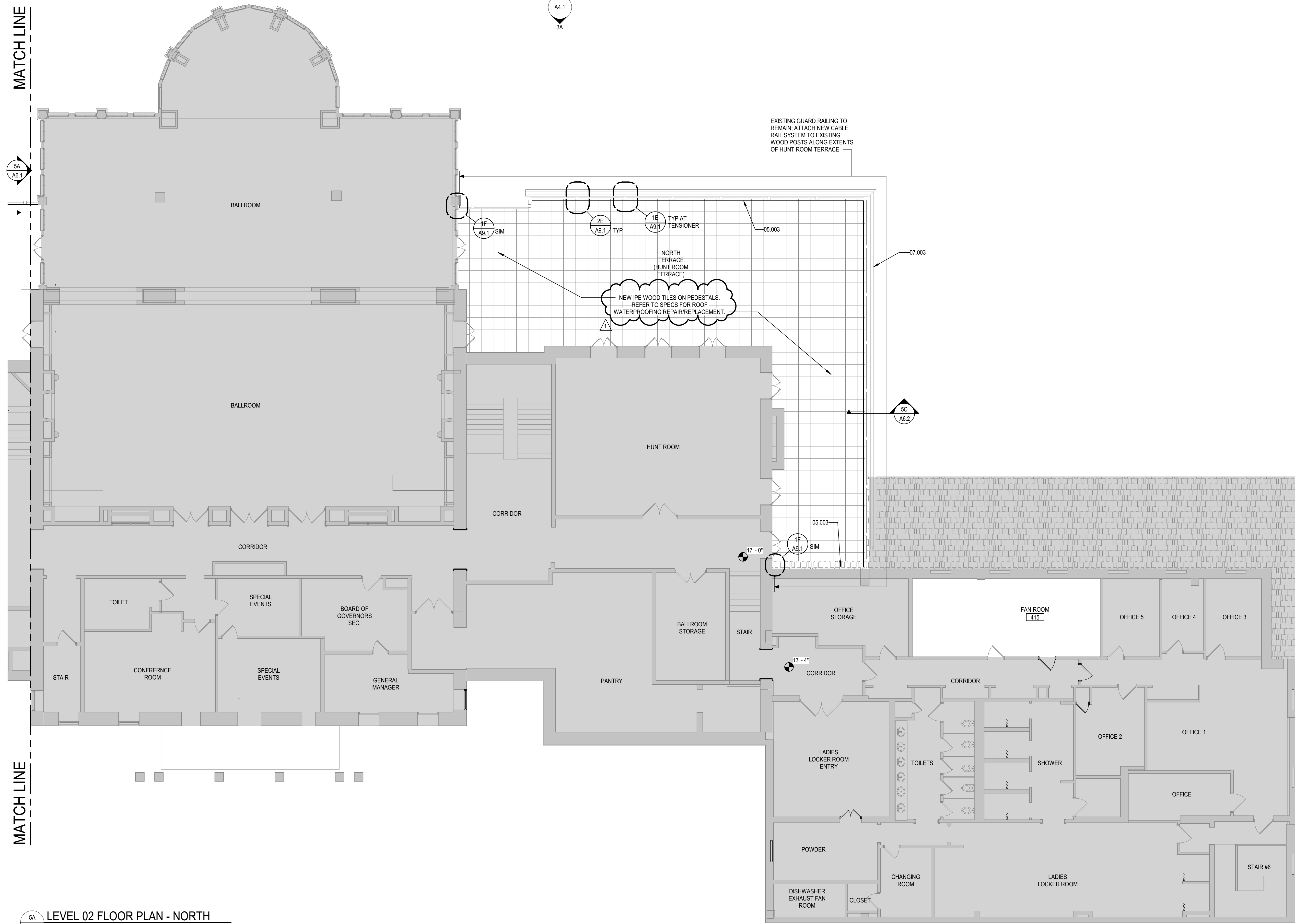
- FLOOR PLAN LEGEND**
- EXISTING WALLS TO REMAIN
  - NEW CONSTRUCTION
  - NOT IN SCOPE



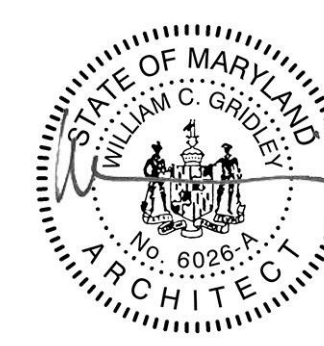


FLOOR PLAN NOTES

- 05.003 METAL CABLE RAILINGS @ 4" O.C.
- 07.003 EXISTING COPPER GUTTER TO BE REPLACED IN KIND - NOT IN CONTRACT



5A LEVEL 02 FLOOR PLAN - NORTH  
SCALE: 1/8" = 1'-0"



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1 5/3/2023 HPC Revisions

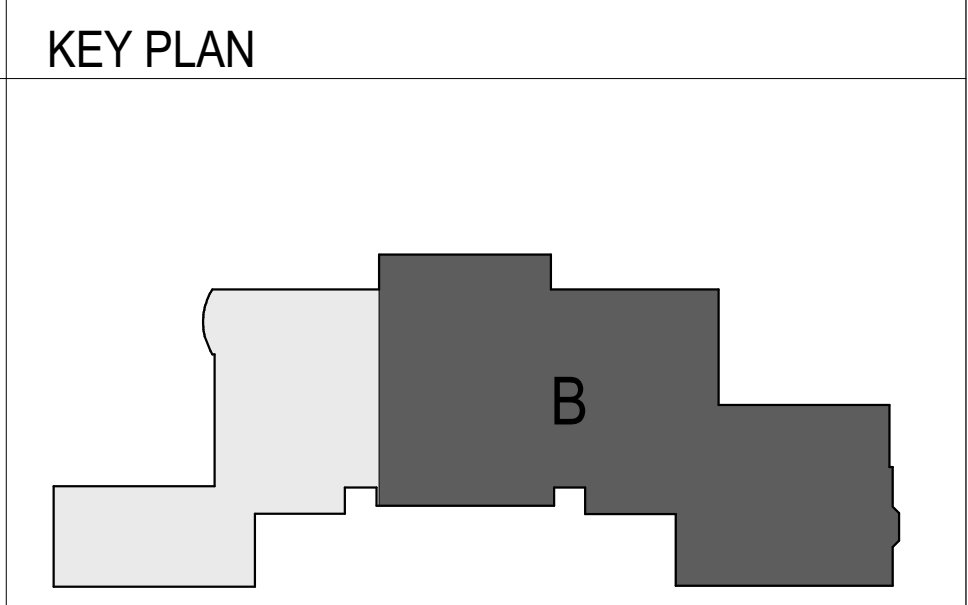
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LEVEL 02 FLOOR PLAN - NORTH

A1.2B

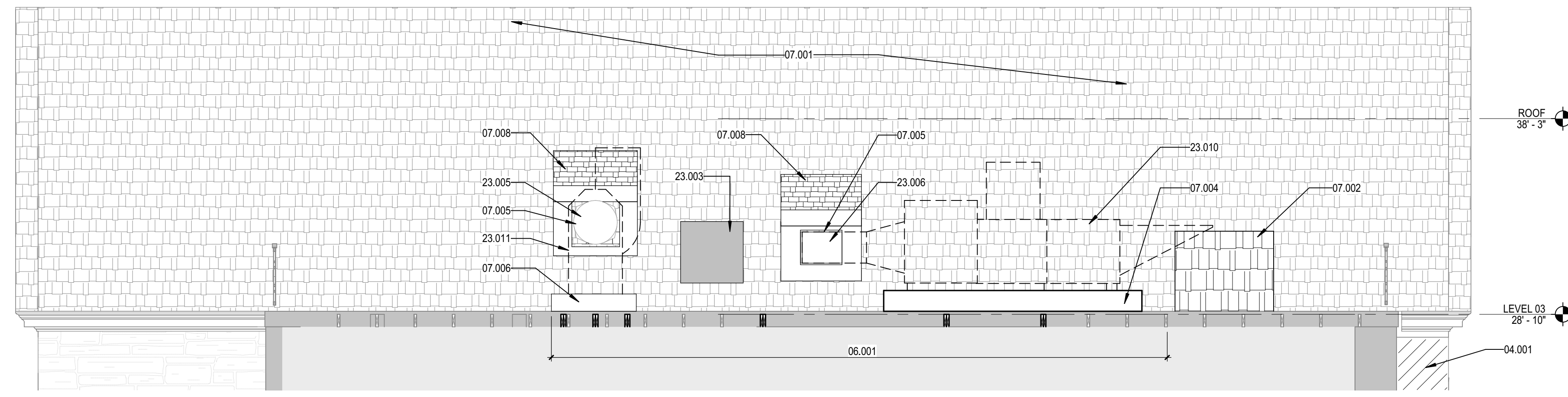
**REVIEWED**  
By Michael Kyne at 1:55 pm, May 31, 2023

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Historic Preservation Commission  
*Robert H. ...*

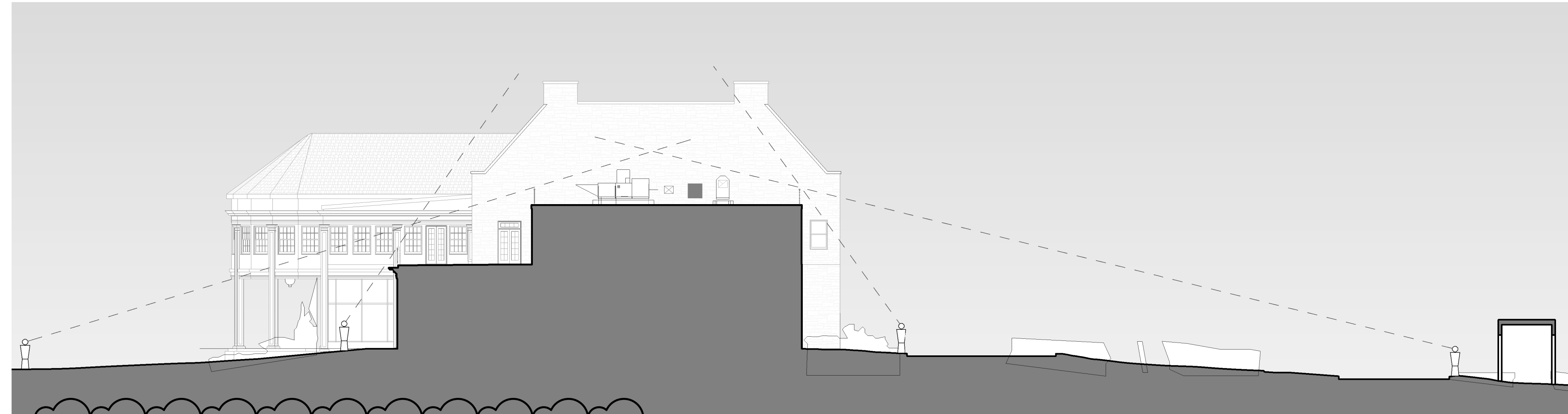
FLOOR PLAN LEGEND	
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	NOT IN SCOPE



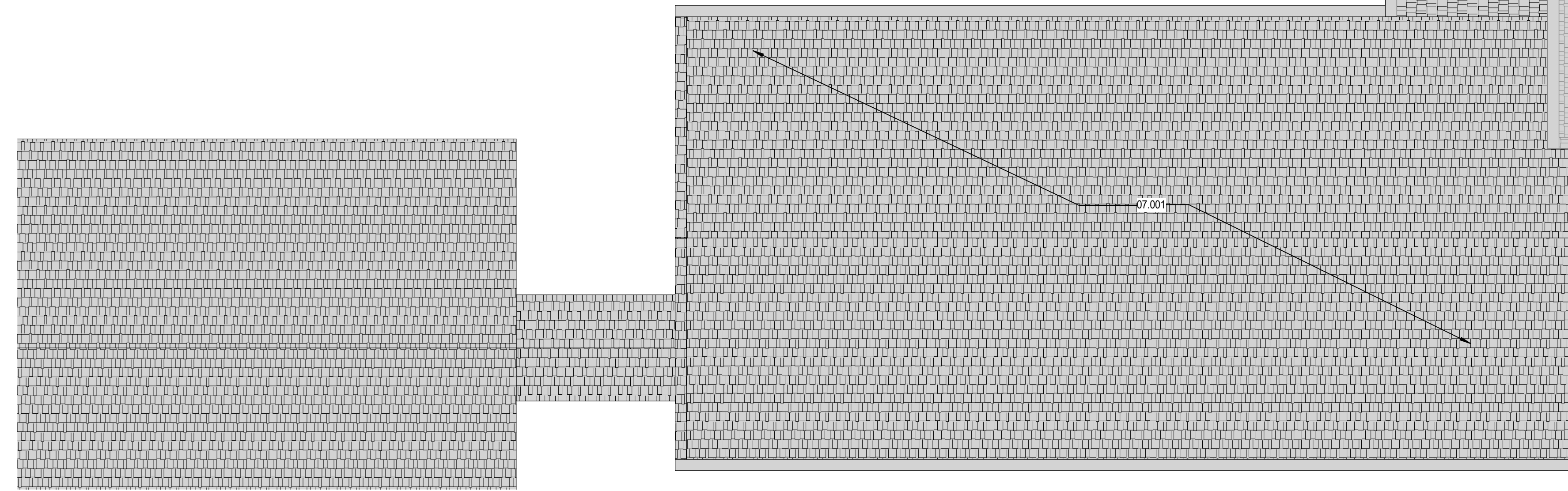




2A PARTIAL ROOF ELEVATION - TAP RM/CARD RM  
A1.4A SCALE: 1/4" = 1'-0"



3A VIEW STUDY THROUGH ROOFTOP - FOR INFORMATION ONLY  
A1.4A SCALE: 1/16" = 1'-0"



5A ROOF PLAN - SOUTH  
A1.4A SCALE: 1/8" = 1'-0"

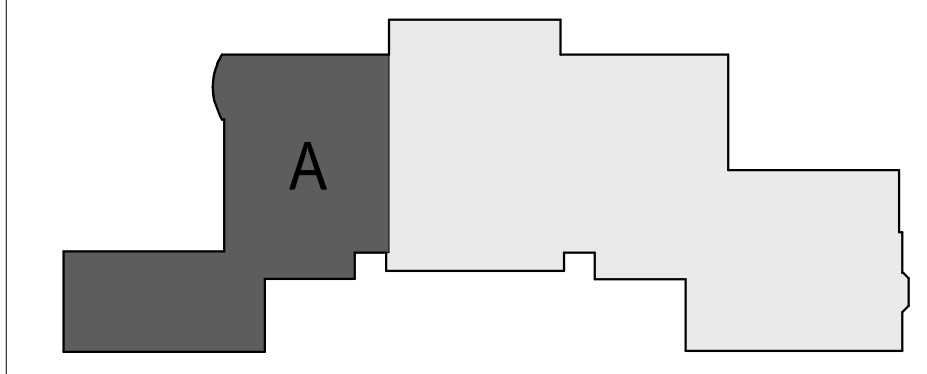
FLOOR PLAN NOTES

- 04.001 CLEAN AND REPAIR STONE WALL AS NEEDED WHERE MECHANICAL ENCLOSURE WAS REMOVED
- 06.001 REINFORCE ROOF FRAMING TO SUPPORT NEW MECHANICAL EQUIPMENT, RE: STRUCTURE
- 07.001 EXISTING ROOF TO REMAIN
- 07.002 PROVIDE CAP/SEAL WHERE EXISTING ROOF CURB AND MECHANICAL EQUIPMENT WAS REMOVED - INFILL & MATCH EXISTING CONSTRUCTION AND FINISH
- 07.004 INSULATED CURB AND RAIL SYSTEM, RE: MECHANICAL
- 07.005 WALL OPENING FOR DUCT PENETRATION, FLASH AND SEAL COMPLETELY
- 07.006 PROVIDE CURB/ ISOLATORS FOR NEW EXHAUST FAN PER MANUFACTURER'S REQUIREMENTS, RE: MECHANICAL
- 07.008 DOGHOUSE TO PROTECT NEW ROOF DUCT PENETRATIONS, SLATE FINISH ON WOOD FRAMING TO MATCH EXISTING ROOF
- 23.003 EXISTING DUCTWORK/ MECHANICAL EQPT TO REMAIN - VERIFY LOCATION IN FIELD
- 23.005 KITCHEN EXHAUST DUCTWORK, RE: MECHANICAL
- 23.006 MAKE-UP AIR DUCTWORK, RE: MECHANICAL
- 23.010 MAKE-UP AIR UNIT, RE: MECHANICAL
- 23.011 KITCHEN EXHAUST FAN, RE: MECHANICAL

FLOOR PLAN LEGEND

- EXISTING WALLS TO REMAIN
- NEW CONSTRUCTION
- NOT IN SCOPE

KEY PLAN



**REVIEWED**  
By Michael Kyne at 1:55 pm, May 31, 2023

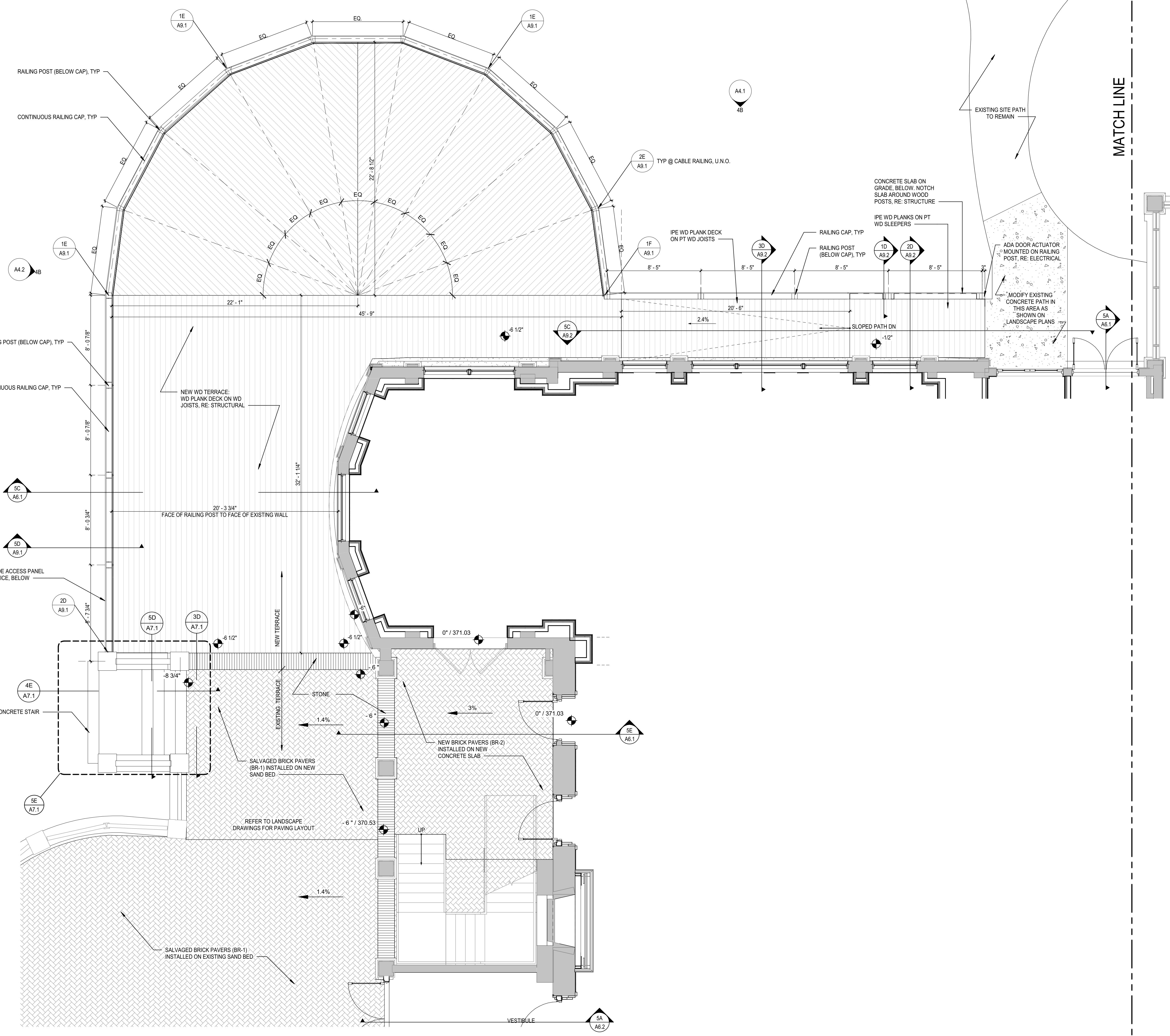
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*Robert H. Patton*



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58 ENLARGED LEVEL 01 TERRACE PLAN  
A2.0 SCALE: 1/4" = 1'-0"

**REVIEWED**  
By Michael Kyne at 1:55 pm, May 31, 2023

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Robert A. Norton*



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4/12/2023  
REVISIONS

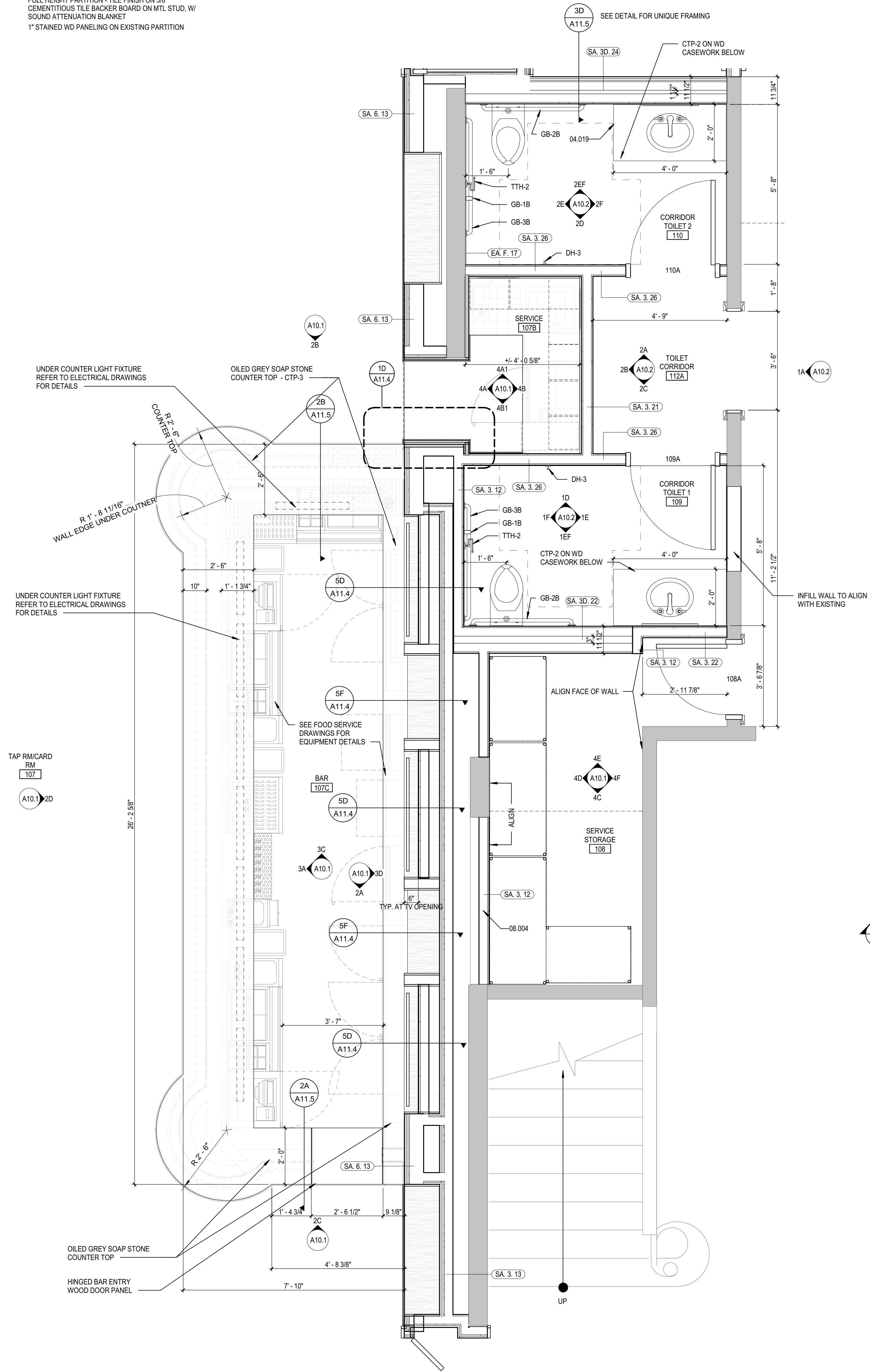
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ENLARGED PLANS - LEVEL 01  
TERRACE



REFERENCE KEYNOTES

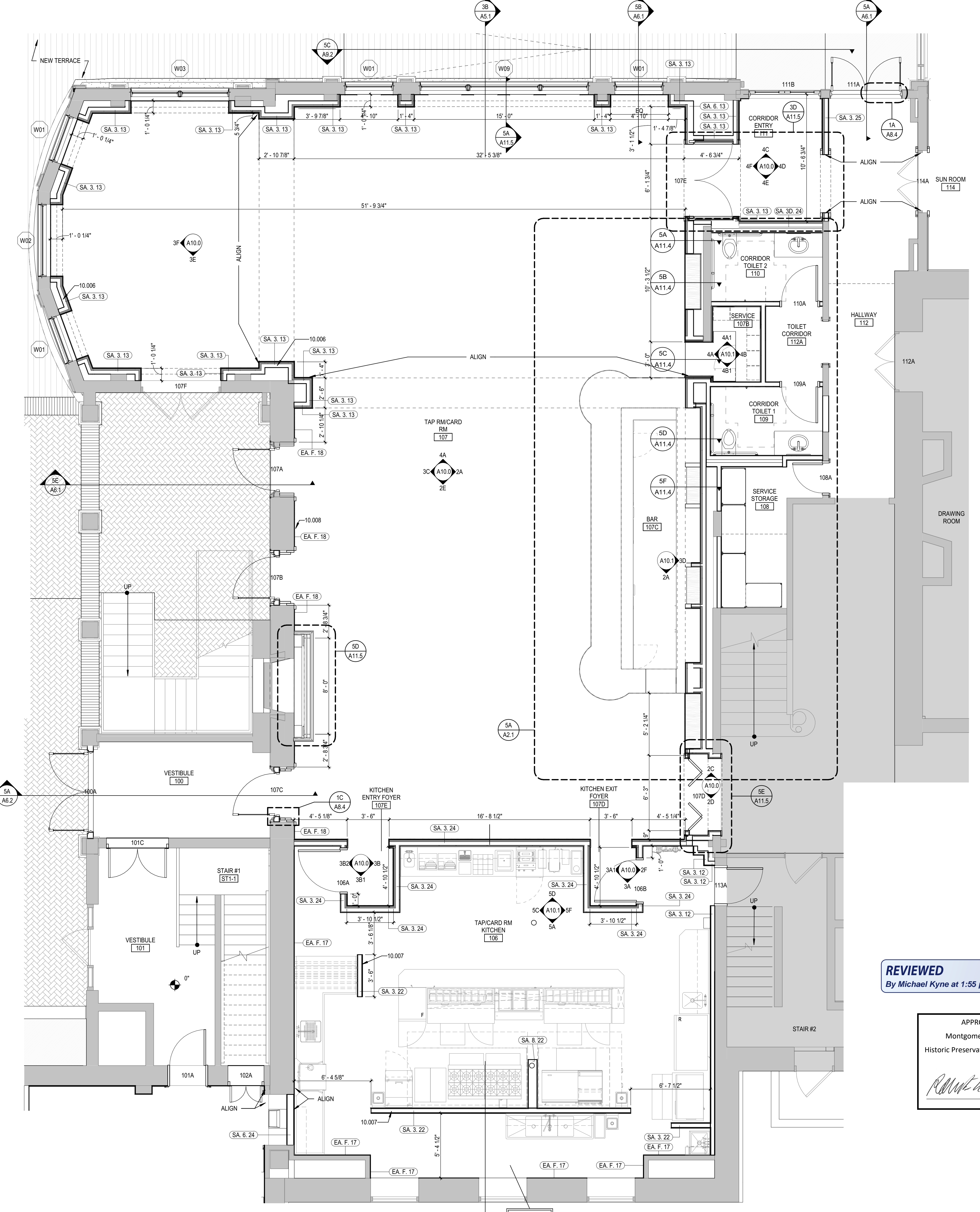
- 04.019 MARBLE COUNTERTOP ON WD CASEWORK BELOW
- 08.004 INFILL INTERIOR WINDOW OPENING, REMOVE FACE TRIM AND ACCESSORIES AS APPLICABLE
- 10.006 FULL HEIGHT PARTITION - 1" STAINED WD PANELING ON 5/8" PLYWOOD ON MTL STUDS, W/ SOUND ATTENUATION BLANKET
- 10.007 FULL HEIGHT PARTITION - TILE FINISH ON 5/8" CEMENTITIOUS TILE BACKER BOARD ON MTL STUD, W/ SOUND ATTENUATION BLANKET
- 10.008 1" STAINED WD PANELING ON EXISTING PARTITION

1  
2  
3  
4  
5



NOTE: FOR ALL EQUIPMENT, SEE FOOD SERVICE DWGS

SA A2.1 ENLARGED BAR, SERVING AREA, & CORRIDOR TOILETS PLAN SCALE: 1/2" = 1'-0"



NOTE: FOR ALL EQUIPMENT, SEE FOOD SERVICE DWGS

SF A2.1 ENLARGED TAP RM/CARD RM PLAN SCALE: 1/4" = 1'-0"

**REVIEWED**  
By Michael Kyne at 1:55 pm, May 31, 2023

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Robert A. Norton*



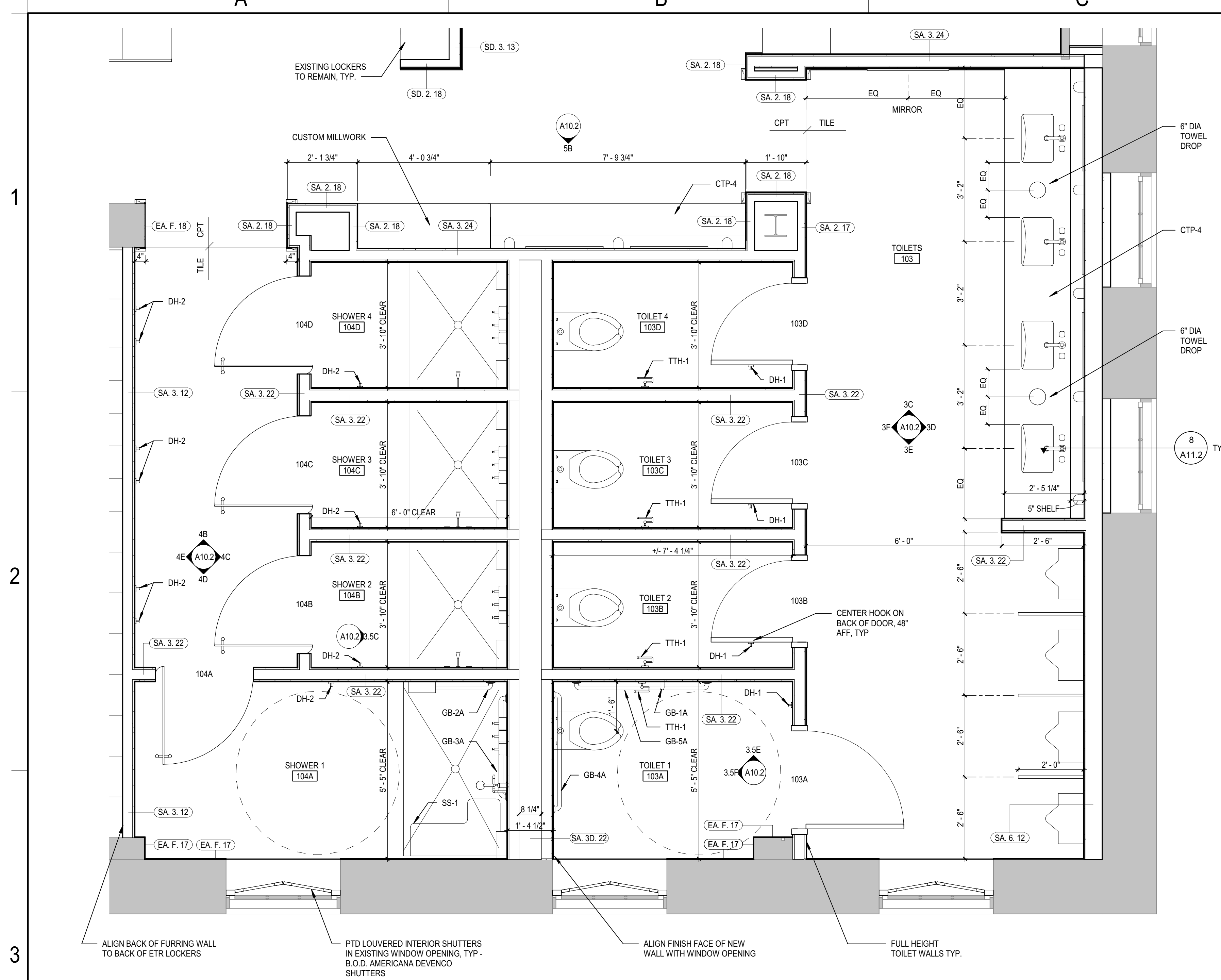
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4/12/2023  
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56-22108-00  
ENLARGED PLANS - TAP RM/CARD RM

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TOILET ACCESSORY SCHEDULE			
Eqpt Tag	Function	Manufacturer	Model Number
DH-1	HOOKS	BRANDINO BRASS	TBD
DH-2	HOOKS	BRANDINO BRASS	TBD
DH-3	HOOKS	WATERWORKS	EARH46 22-77161-14072 POLISHED NICKEL
GB-1A	18" GRAB BAR	NEWPORT BRASS	POLISHED NICKEL
GB-2A	24" GRAB BAR	NEWPORT BRASS	POLISHED NICKEL
GB-3A	36" GRAB BAR	NEWPORT BRASS	POLISHED NICKEL
GB-4A	40" GRAB BAR	NEWPORT BRASS	POLISHED NICKEL
GB-5A	48" GRAB BAR	NEWPORT BRASS	POLISHED NICKEL
GB-1B	18" GRAB BAR	WATERWORKS	EGBI 48 22-34933-30512 POLISHED NICKEL
GB-2B	40" GRAB BAR	WATERWORKS	EGBI 48 22-34933-30512 POLISHED NICKEL
GB-3B	48" GRAB BAR	WATERWORKS	EGBI 48 22-34933-30512 POLISHED NICKEL
LAV	LAVATORY	RE: PLUMBING SPECS	RE: PLUMBING SPECS
SS-1	SHOWER SEAT	WATERWORKS	TEBE10, POLISHED NICKEL
TTH-1	TOILET TISSUE HOLDER	NEWPORT BRASS	890-1510-POLISHED NICKEL 15
TTH-2	TOILET TISSUE HOLDER	WATERWORKS	EAPH 36 22-16529-48434 POLISHED NICKEL
WC	WATER CLOSET	RE: PLUMBING SPECS	RE: PLUMBING SPECS

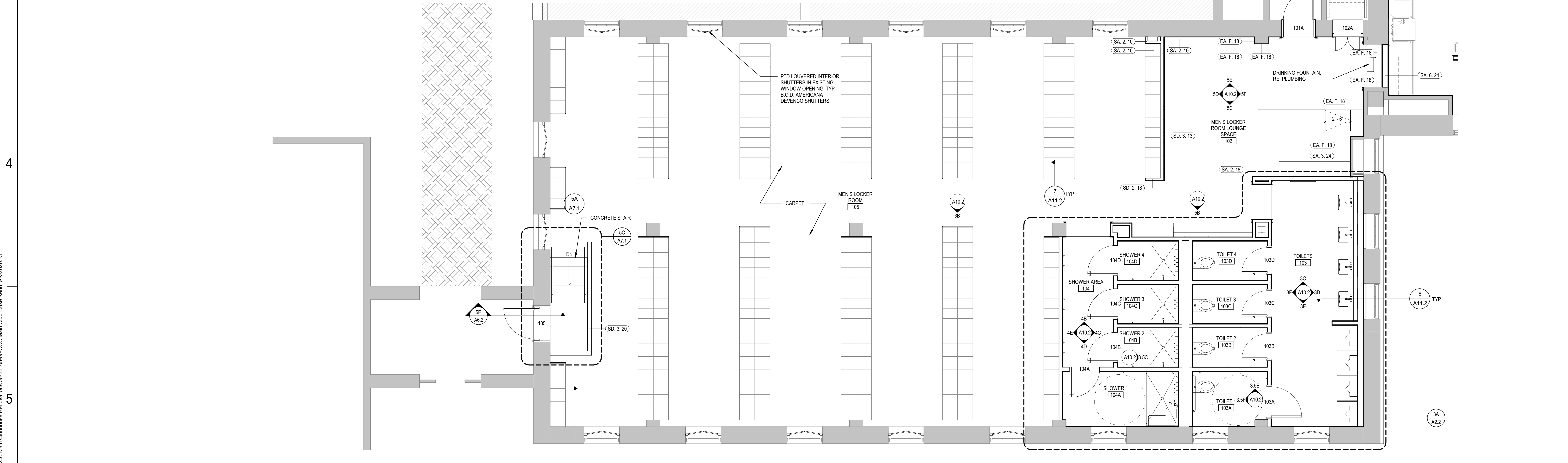
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3A MEN'S LOCKER RM - TOILETS & SHOWERS  
SCALE: 1/2" = 1'-0"



5B ENLARGED MEN'S LOCKER RM PLAN  
SCALE: 1/4" = 1'-0"

CHEY CHASE CLUB  
CLUBHOUSE RENOVATION  
6100 CONNECTICUT AVE  
CHEY CHASE, MD 20815

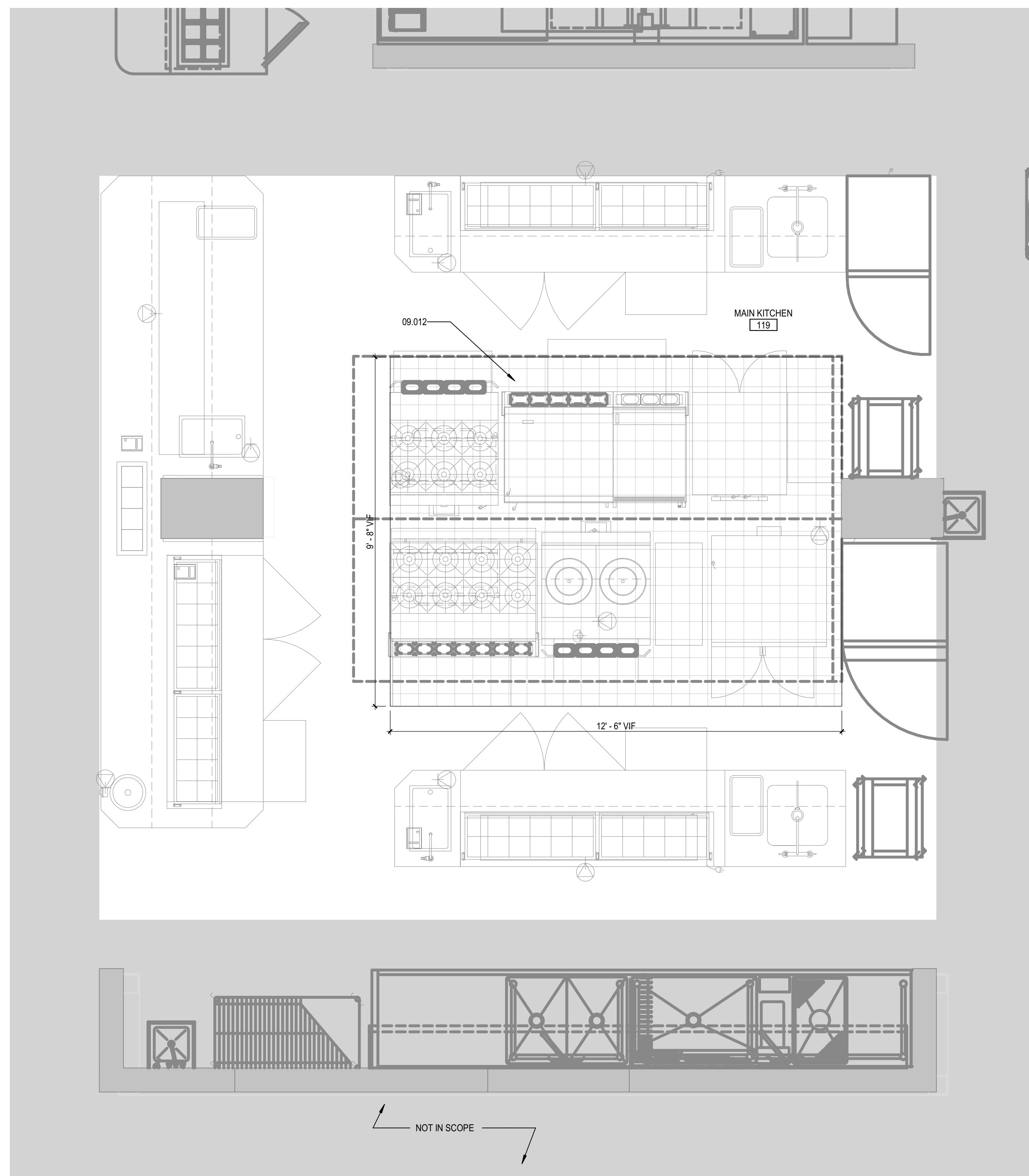
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56-22108-00  
ENLARGED PLANS - MEN'S LOCKER RM

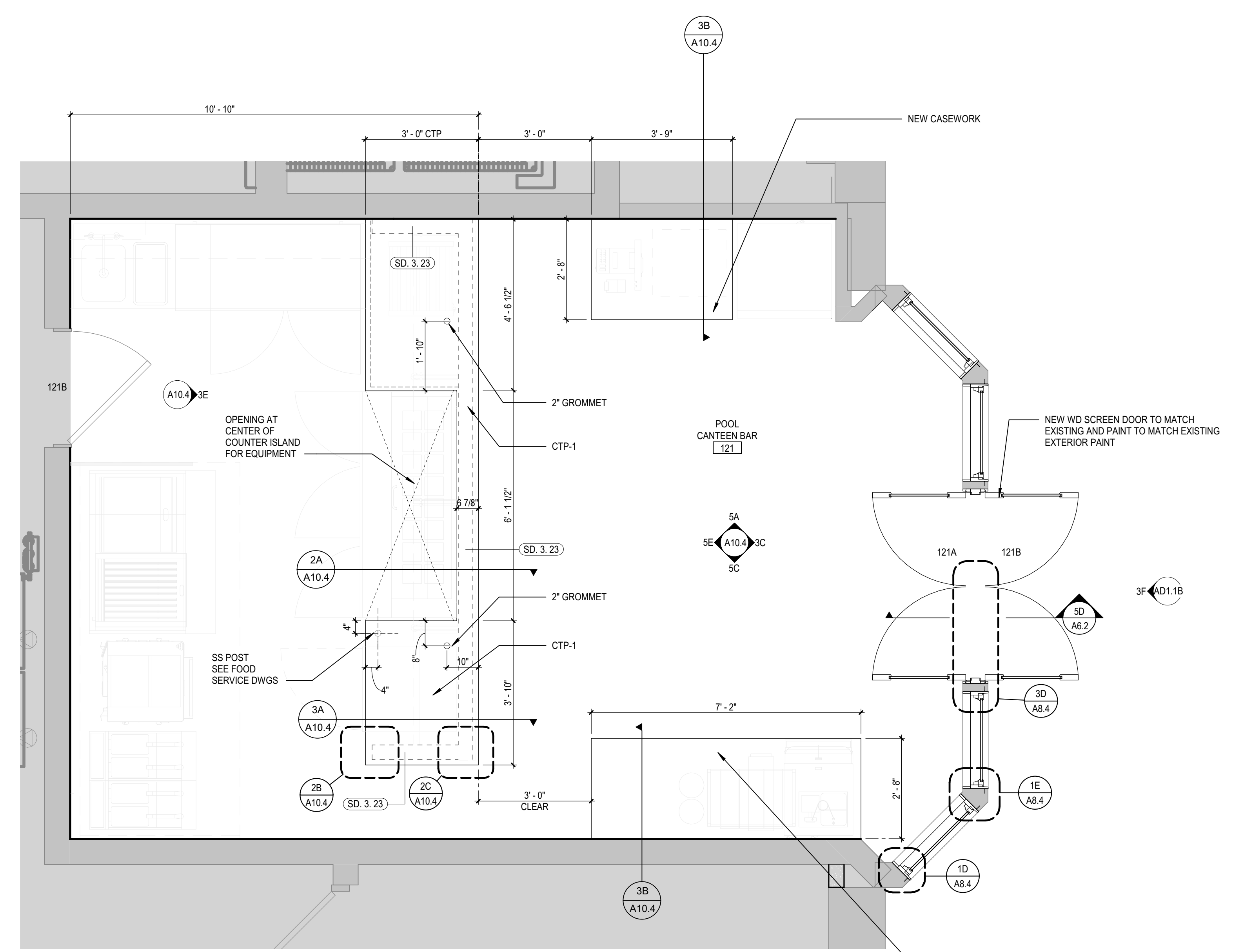
A2.2

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**4A**  
A2.3 **ENLARGED MAIN KITCHEN PLAN**  
SCALE: 1/2" = 1'-0"

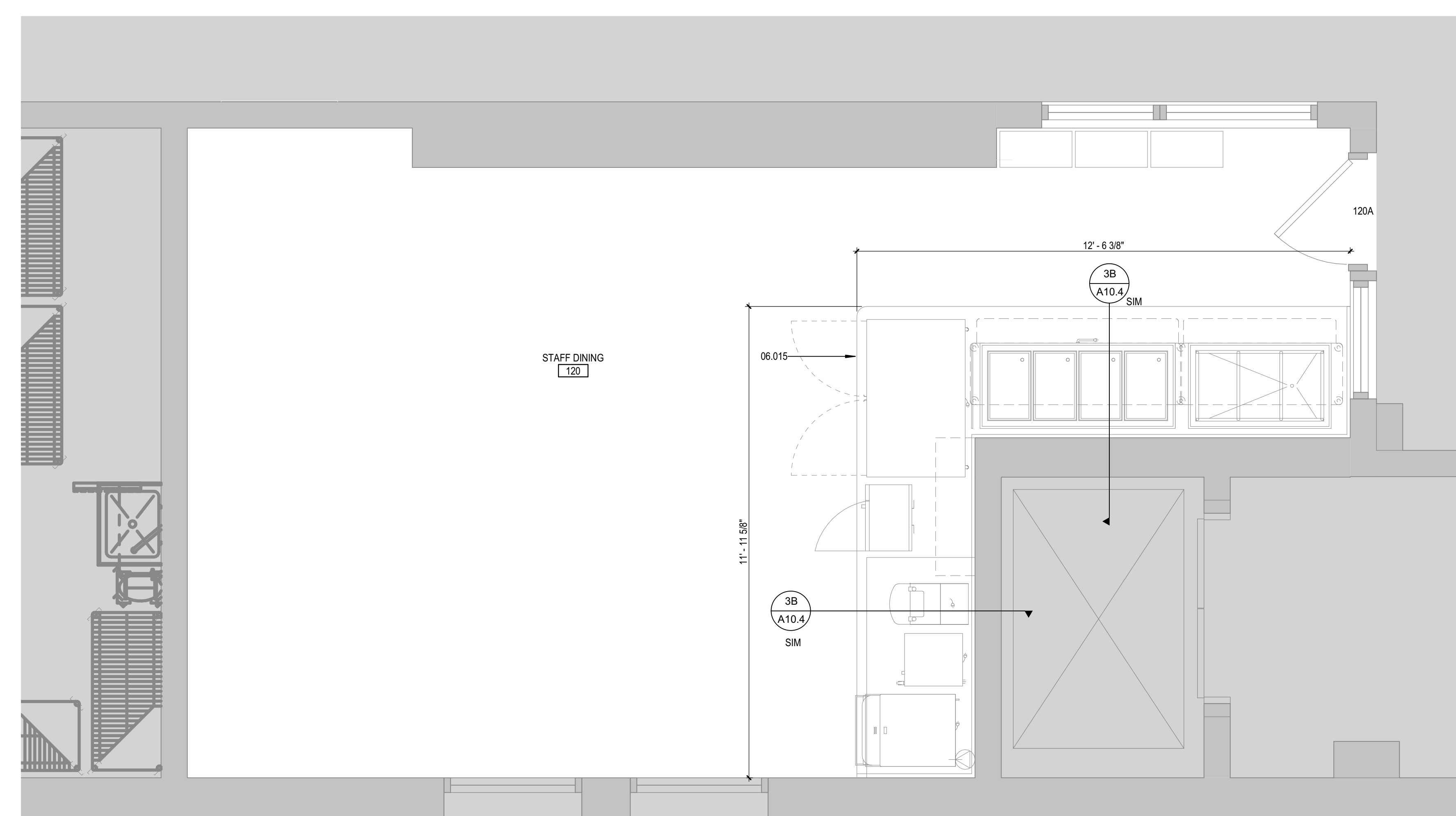


**3D**  
A2.3 **ENLARGED POOL CANTEEN PLAN**  
SCALE: 1/2" = 1'-0"

GENERAL NOTE: SEE FOOD SERVICE DWGS FOR ALL EQUIPMENT

**REFERENCE KEYNOTES**

06.015	NEW MILLWORK TO SUPPORT FS EQUIPMENT, RE: FOOD SERVICE
09.012	TILE FLOOR TO MATCH EXISTING



**5B**  
A2.3 **ENLARGED STAFF DINING PLAN**  
SCALE: 1/2" = 1'-0"

GENERAL NOTE: SEE FOOD SERVICE DWGS FOR ALL EQUIPMENT

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ENLARGED PLANS - MAIN KITCHEN & POOL CANTEEN

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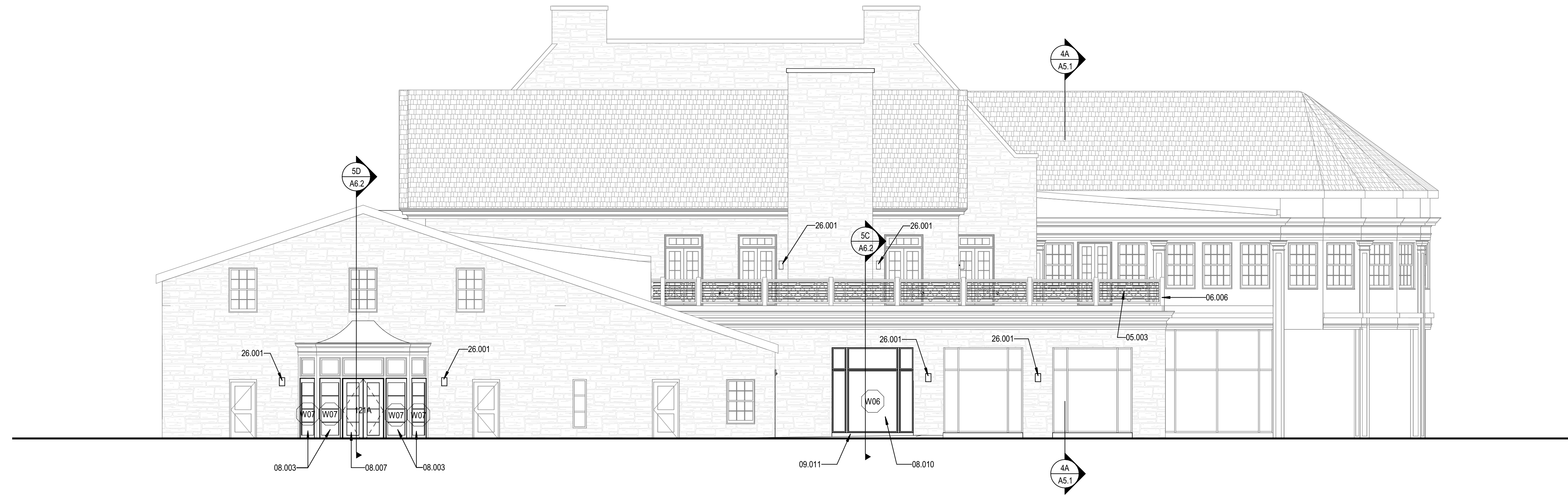






ELEVATION NOTES

- 05.003 METAL CABLE RAILINGS @ 4" O.C.
- 06.006 EXISTING GUARD RAILING TO REMAIN
- 06.009 WOOD GUARDRAIL
- 06.011 WOOD LATTICE
- 06.012 NEW ACCESSORY WOOD LATTICE
- 07.007 COPPER RAIN LEADER
- 08.003 NEW WOOD WINDOW TO MATCH EXISTING
- 08.007 NEW CUSTOM WOOD PTD DOOR AND SCREEN DOOR TO MATCH EXISTING
- 08.010 NEW WOOD WINDOW TO MATCH EXISTING ADJACENT
- 08.011 NEW WOOD PTD DOOR
- 09.011 CEILING PLASTER ON METAL STUD TO MATCH EXISTING ADJACENT ASSURANCE
- 22.002 GAS FIRED LIGHT FIXTURE, RE. PLUMBING & ELECTRICAL
- 26.001 NEW LIGHT FIXTURE ON EXISTING BACKBOX, RE. LIGHTING

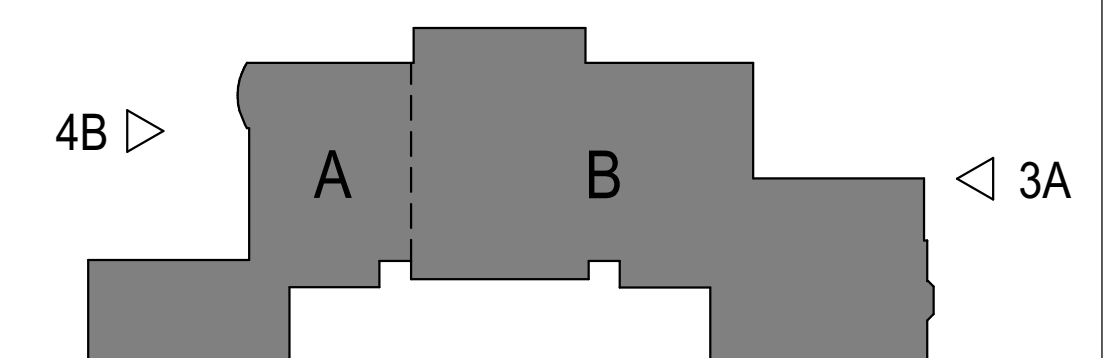


3A NORTH ELEVATION  
A4.2 SCALE: 1/8" = 1'-0"



4B SOUTH ELEVATION  
A4.2 SCALE: 1/8" = 1'-0"

KEY PLAN



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1 5/3/2023 HPC Revisions

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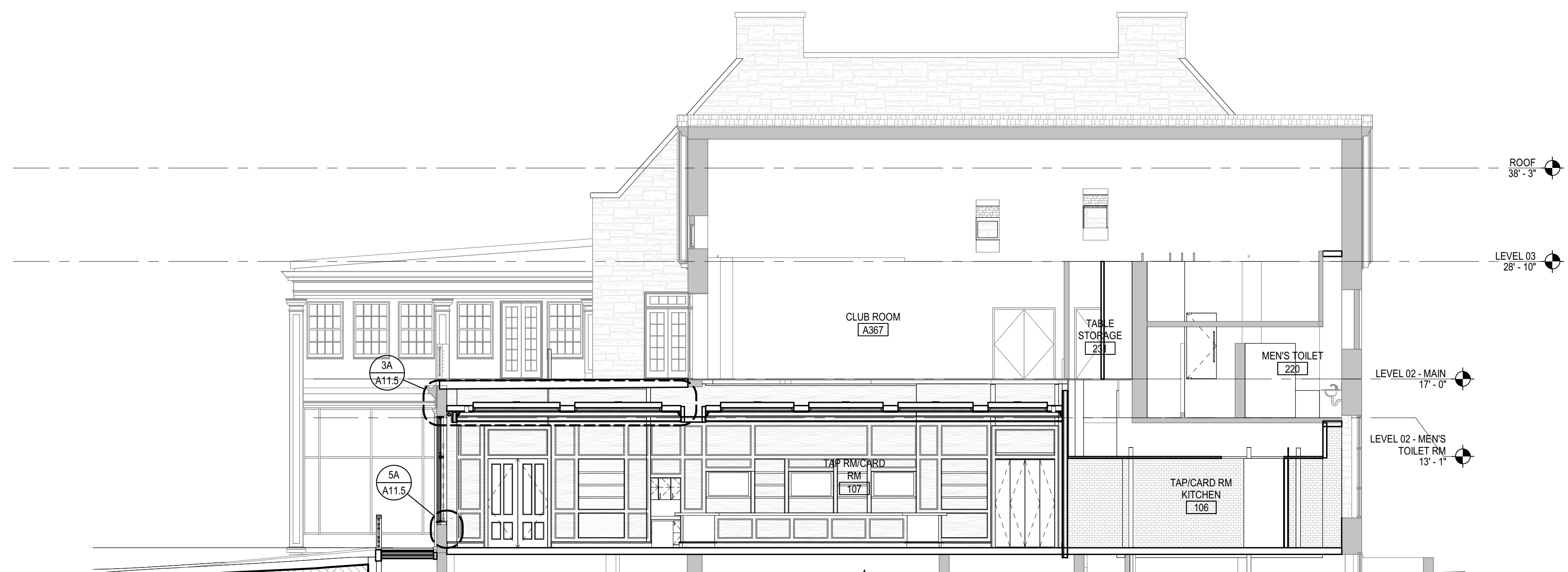
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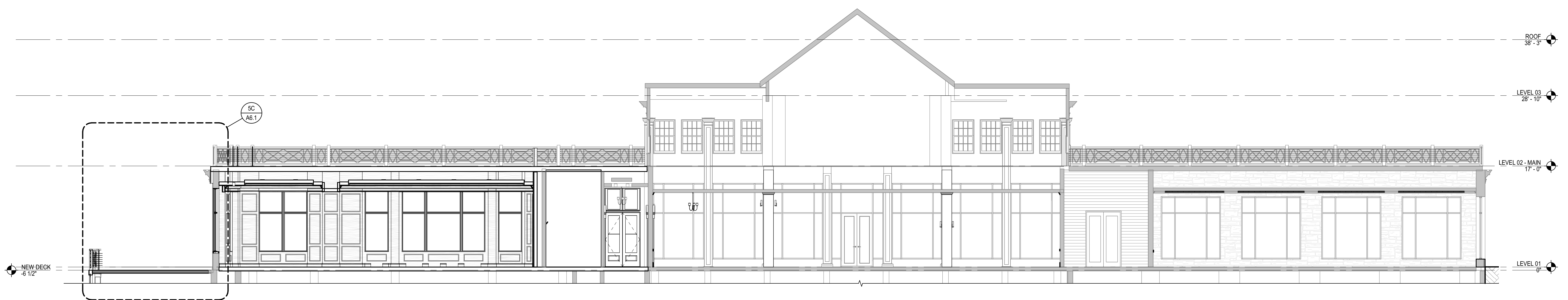
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4

5



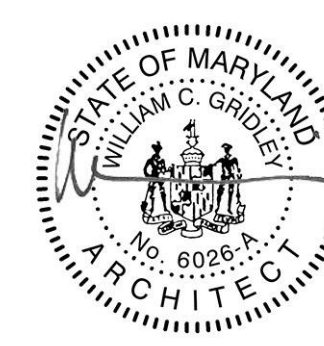
3B BUILDING SECTION - EAST-WEST  
 A5.1 SCALE: 1/8" = 1'-0"



4A BUILDING SECTION - NORTH-SOUTH  
 A5.1 SCALE: 1/8" = 1'-0"

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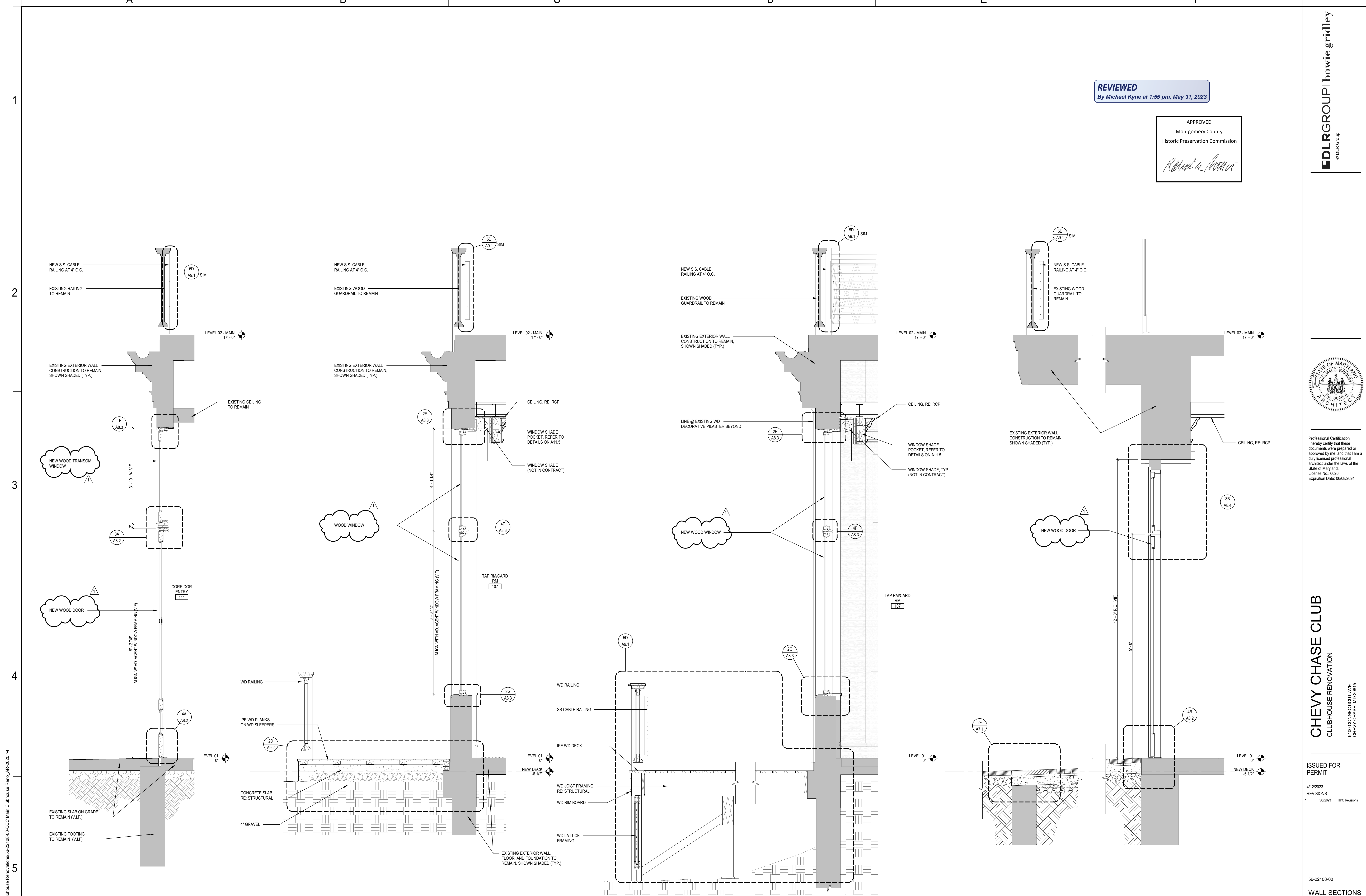


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 5/5/2023 12:05:57 PM

5A WALL SECTION - ENTRY CORRIDOR WEST  
SCALE: 3/4" = 1'-0"

5B WALL SECTION - TAP RM WEST  
SCALE: 3/4" = 1'-0"

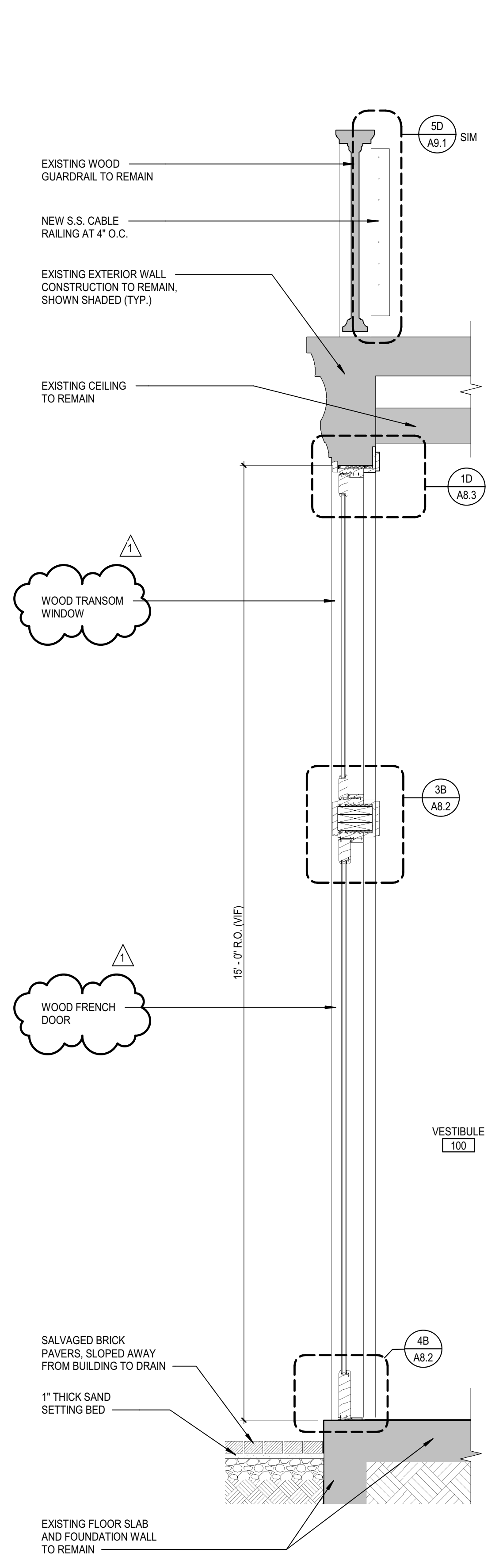
5C WALL SECTION - TAP RM SOUTH  
SCALE: 3/4" = 1'-0"

5E WALL SECTION - EXISTING OVERHANG  
SCALE: 3/4" = 1'-0"

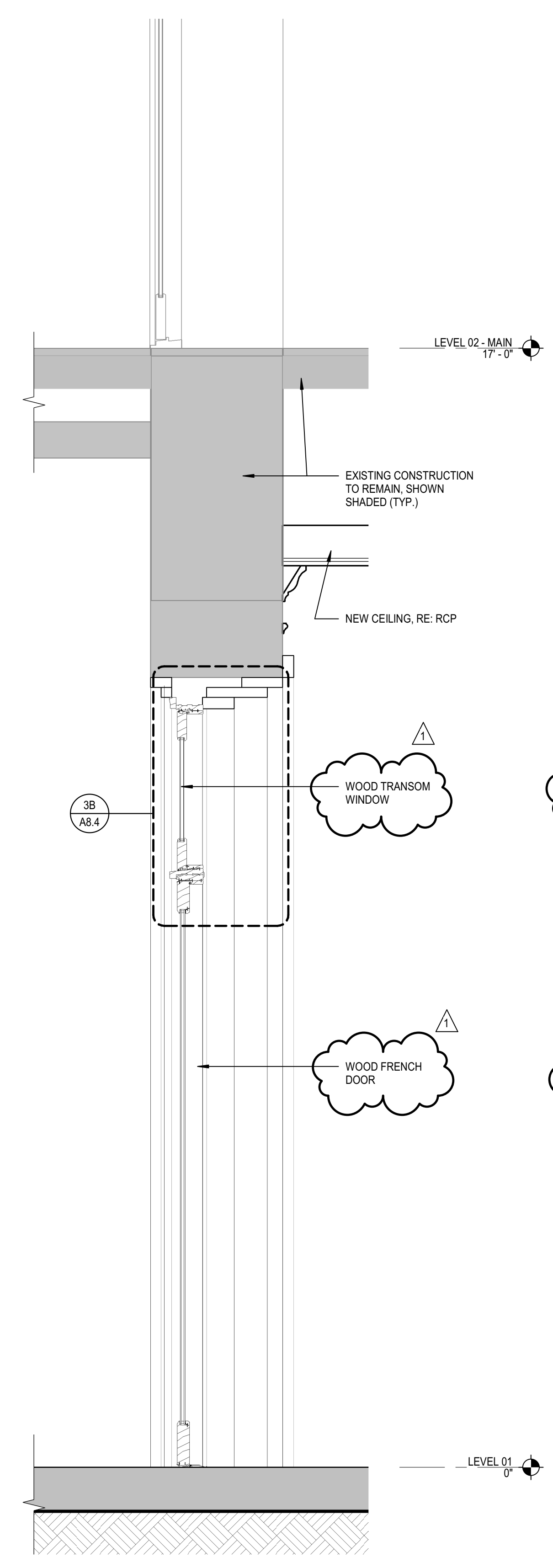


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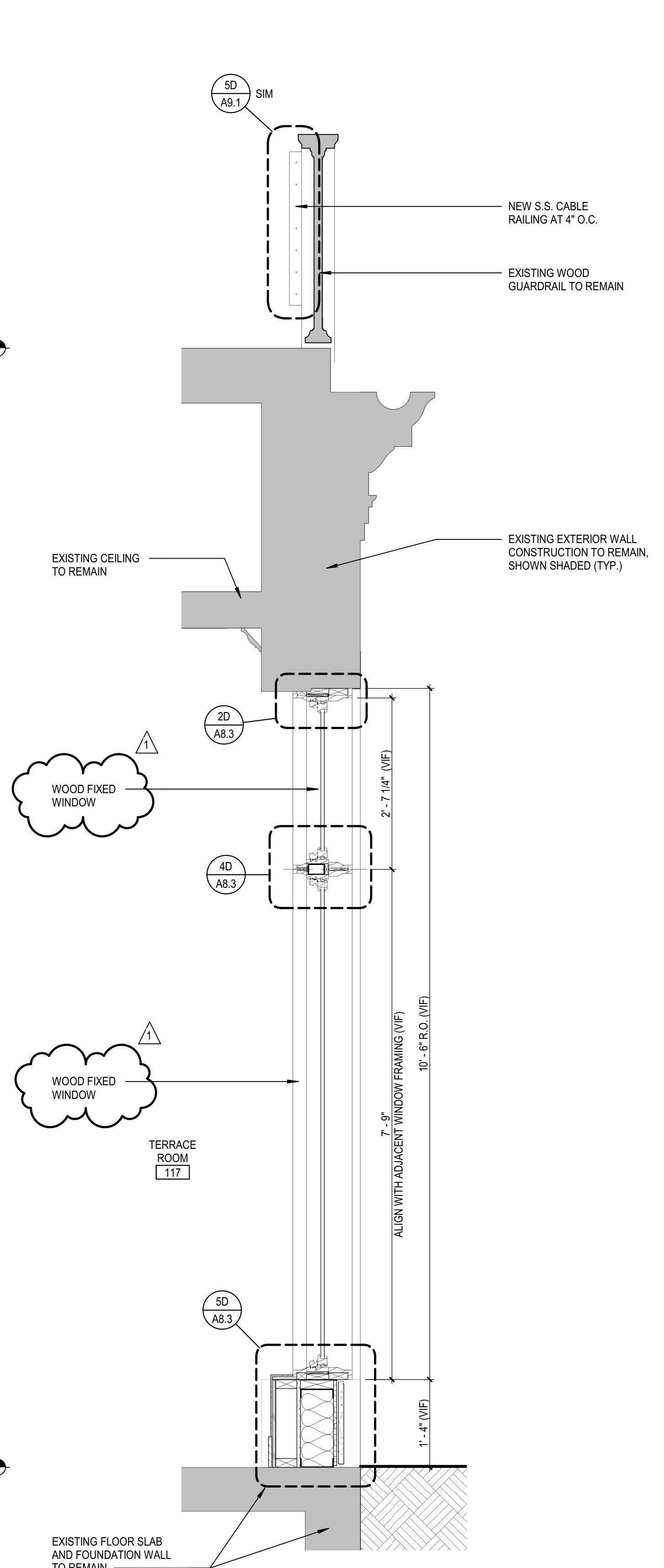
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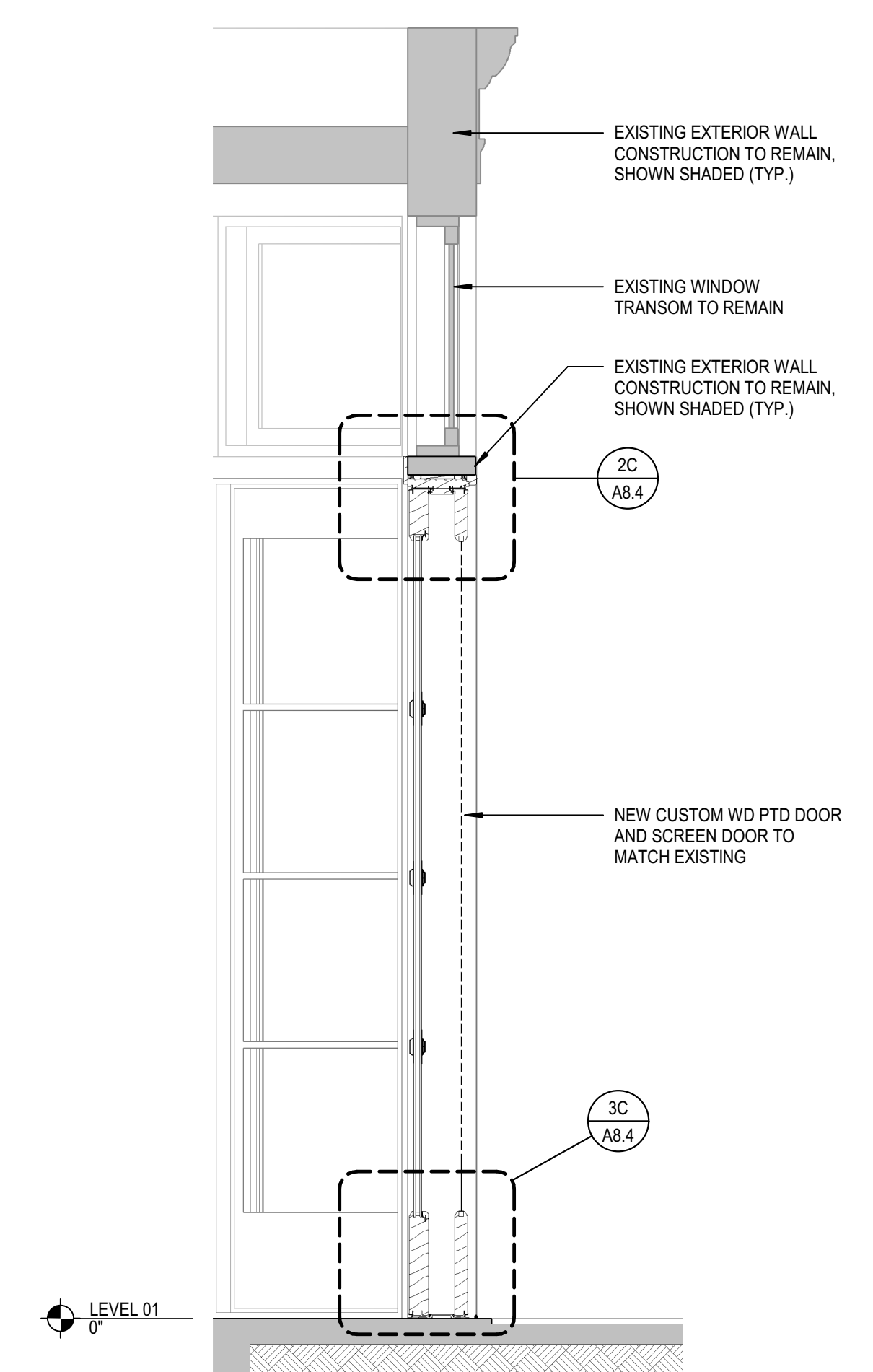
5A WALL SECTION - TAP RM VESTIBULE SOUTH  
SCALE: 3/4" = 1'-0"



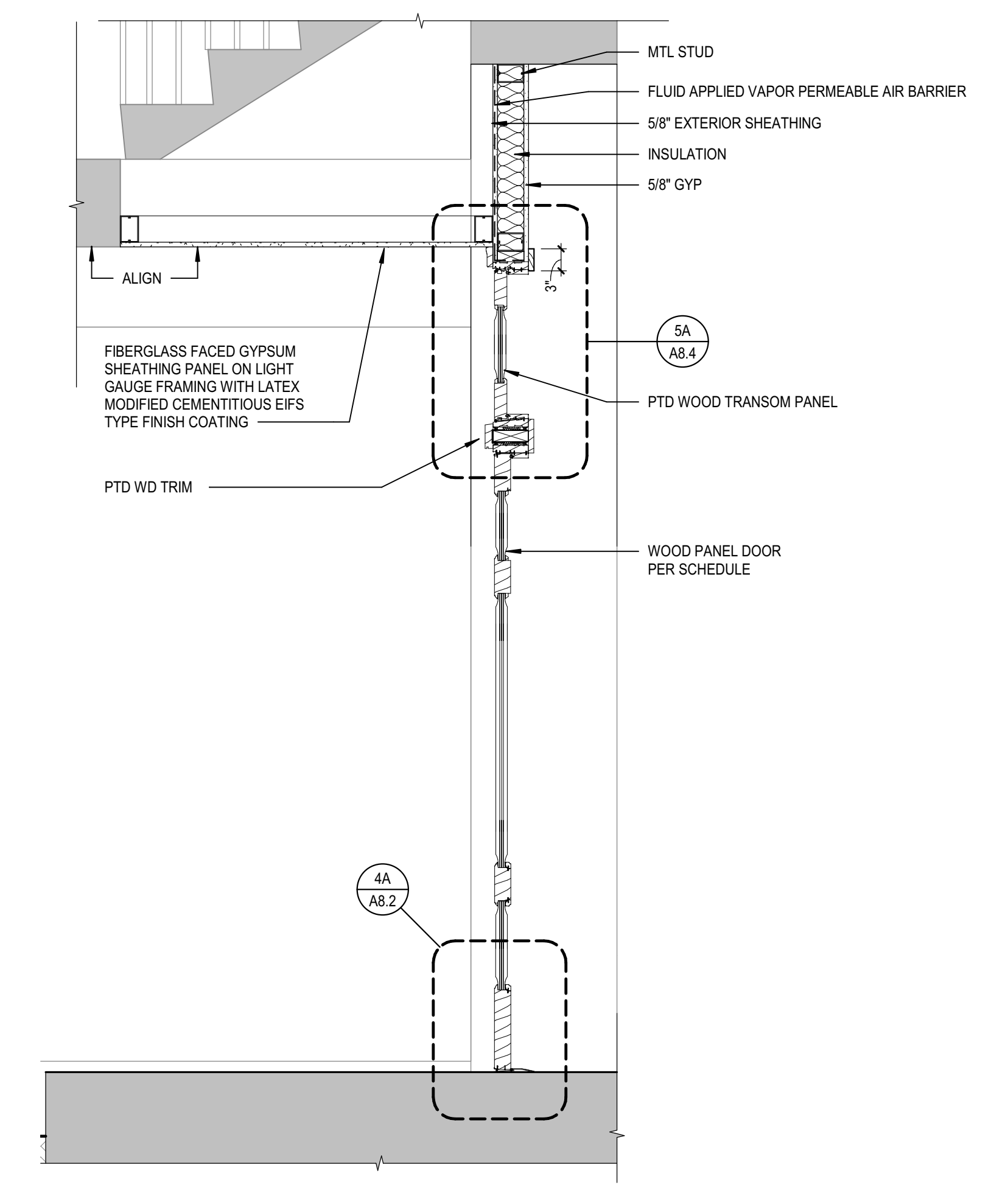
5C WALL SECTION - TERRACE RM NORTH  
SCALE: 3/4" = 1'-0"



5D WALL SECTION - CANTEEN NORTH (DOOR 121A)  
SCALE: 3/4" = 1'-0"



5E WALL SECTION - NEW LOCKER ROOM DOOR  
SCALE: 3/4" = 1'-0"



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CLUBHOUSE RENOVATION  
6100 CONNECTICUT AVE  
CHEY CHASE, MD 20815

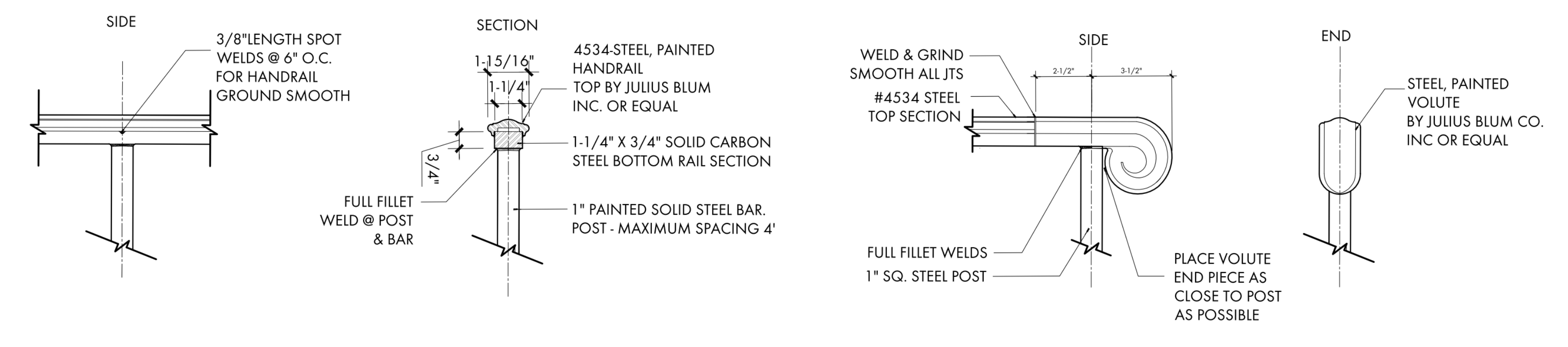
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56-22108-00  
WALL SECTIONS

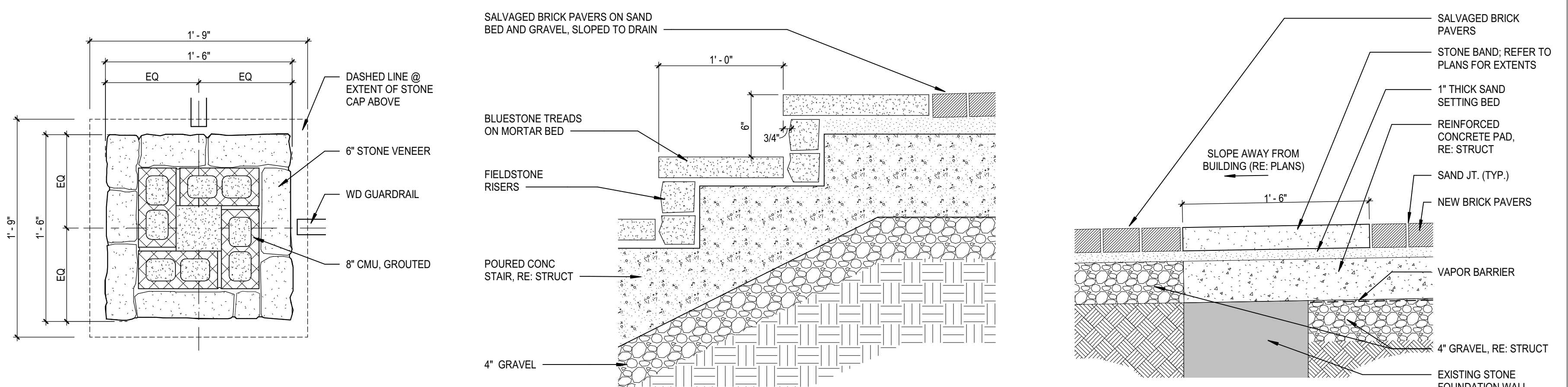


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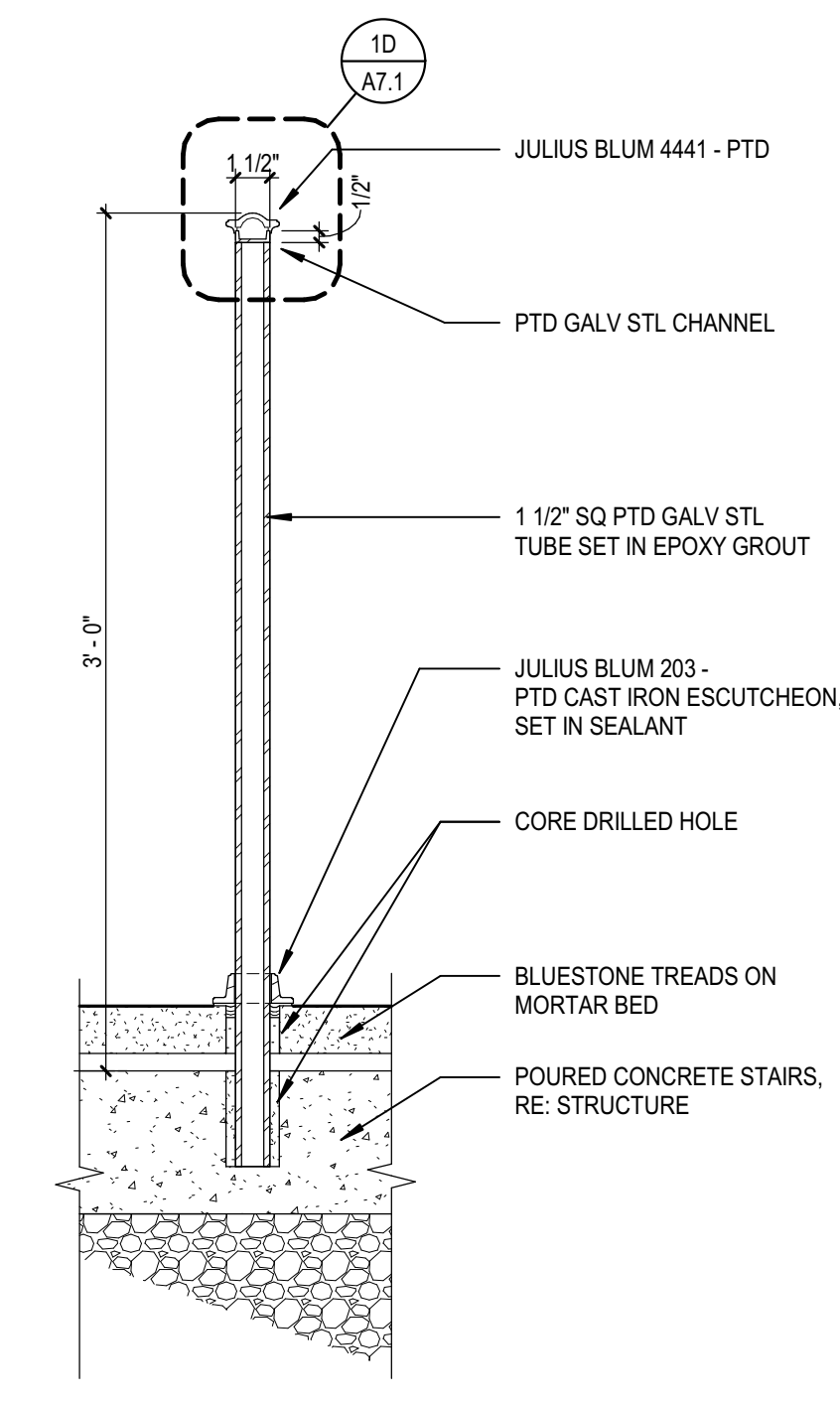
1D HANDRAIL DETAILS  
SCALE: 3" = 1'-0"



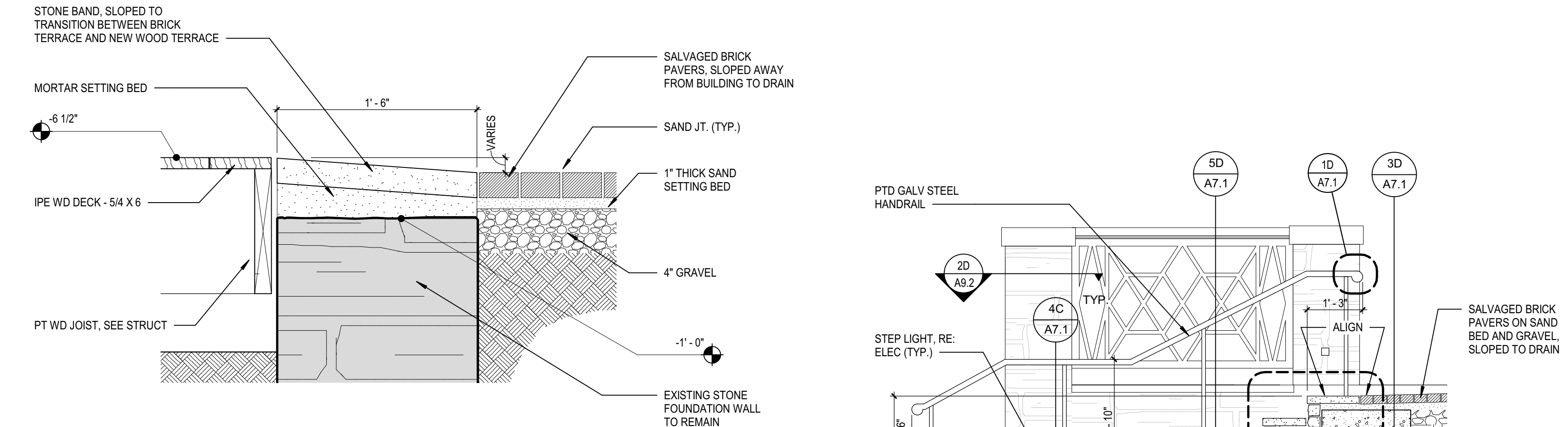
2D PLAN DETAIL @ STONE PIER  
SCALE: 1 1/2" = 1'-0"

2E SECTION DETAIL @ STONE STEPS  
SCALE: 1 1/2" = 1'-0"

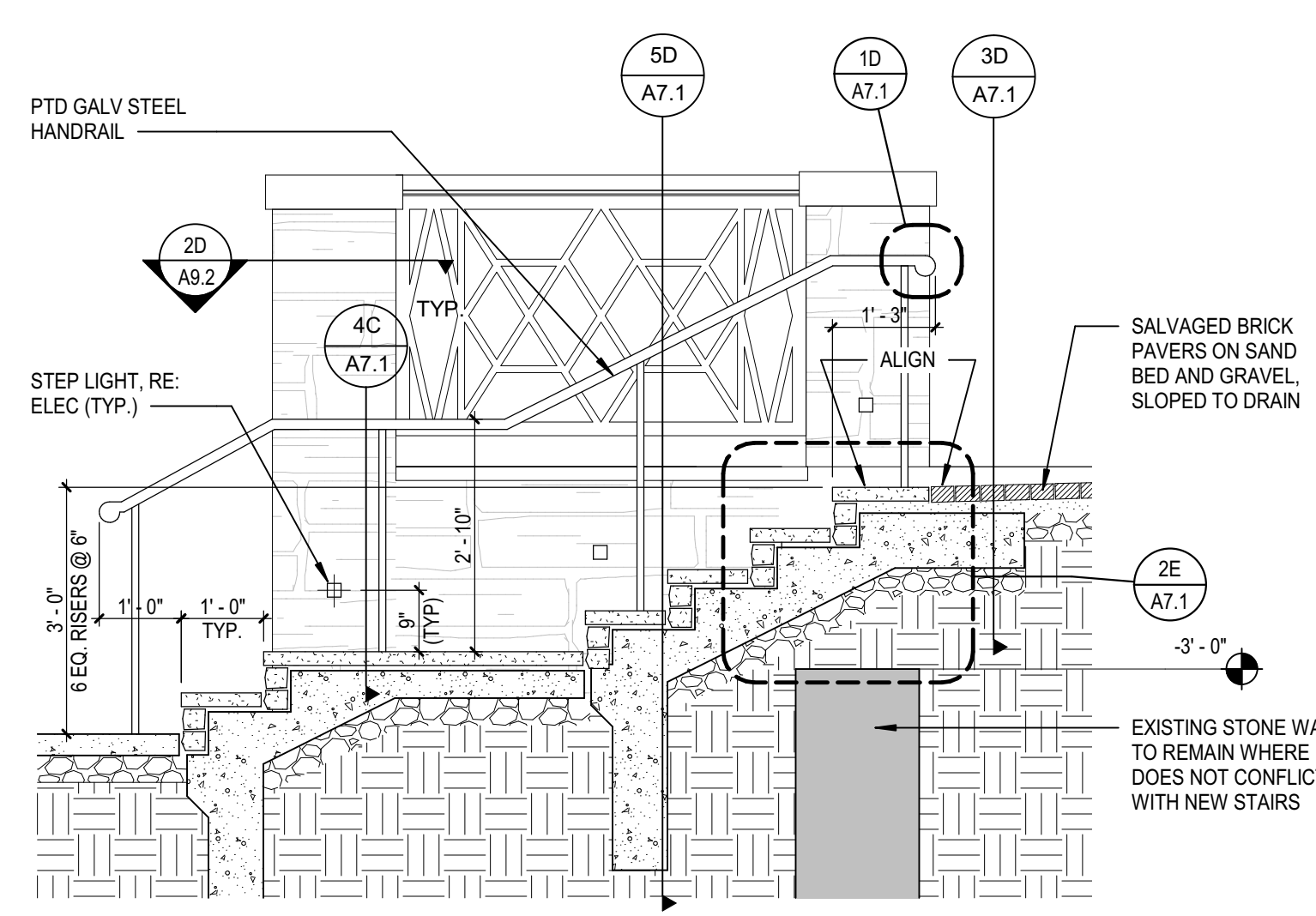
2F TRANSITION @ TERRACE PORCH  
SCALE: 1 1/2" = 1'-0"



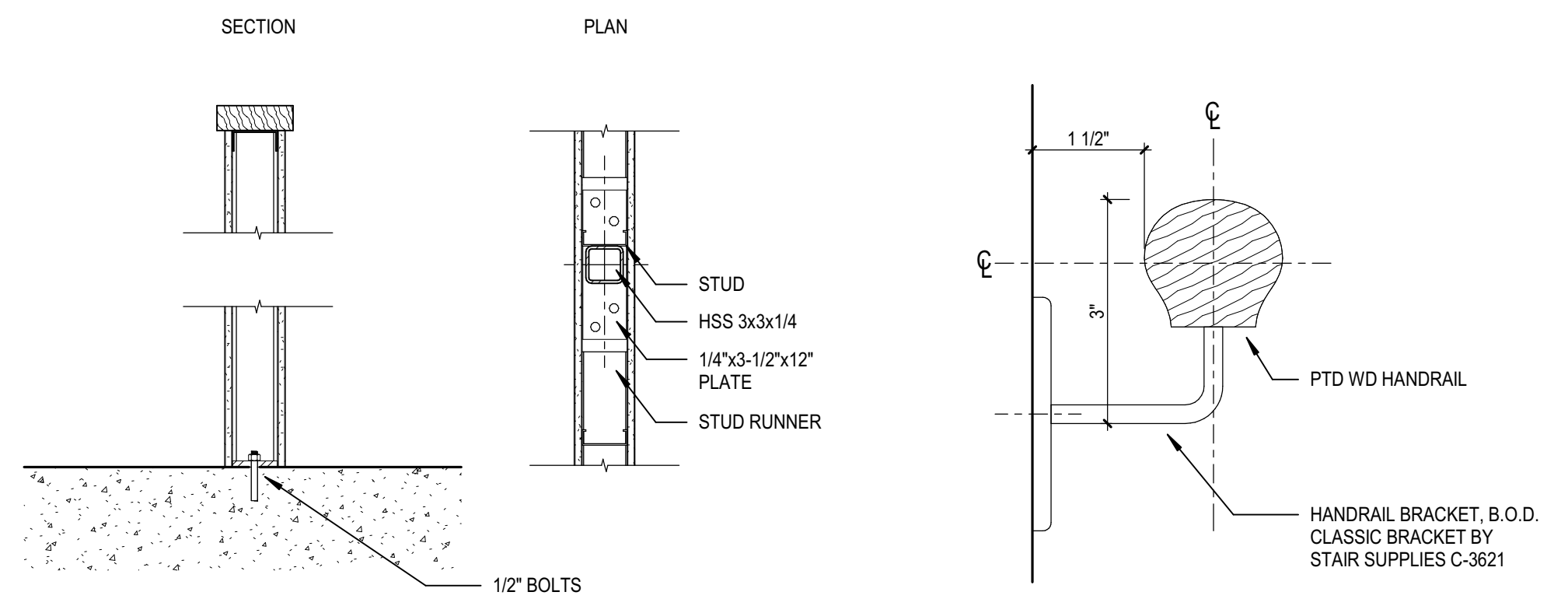
4C TYP POST @ STAIR GUARDRAIL  
SCALE: 1 1/2" = 1'-0"



3D SECTION DETAIL AT TERRACE TO DECK TRANSITION  
SCALE: 1 1/2" = 1'-0"

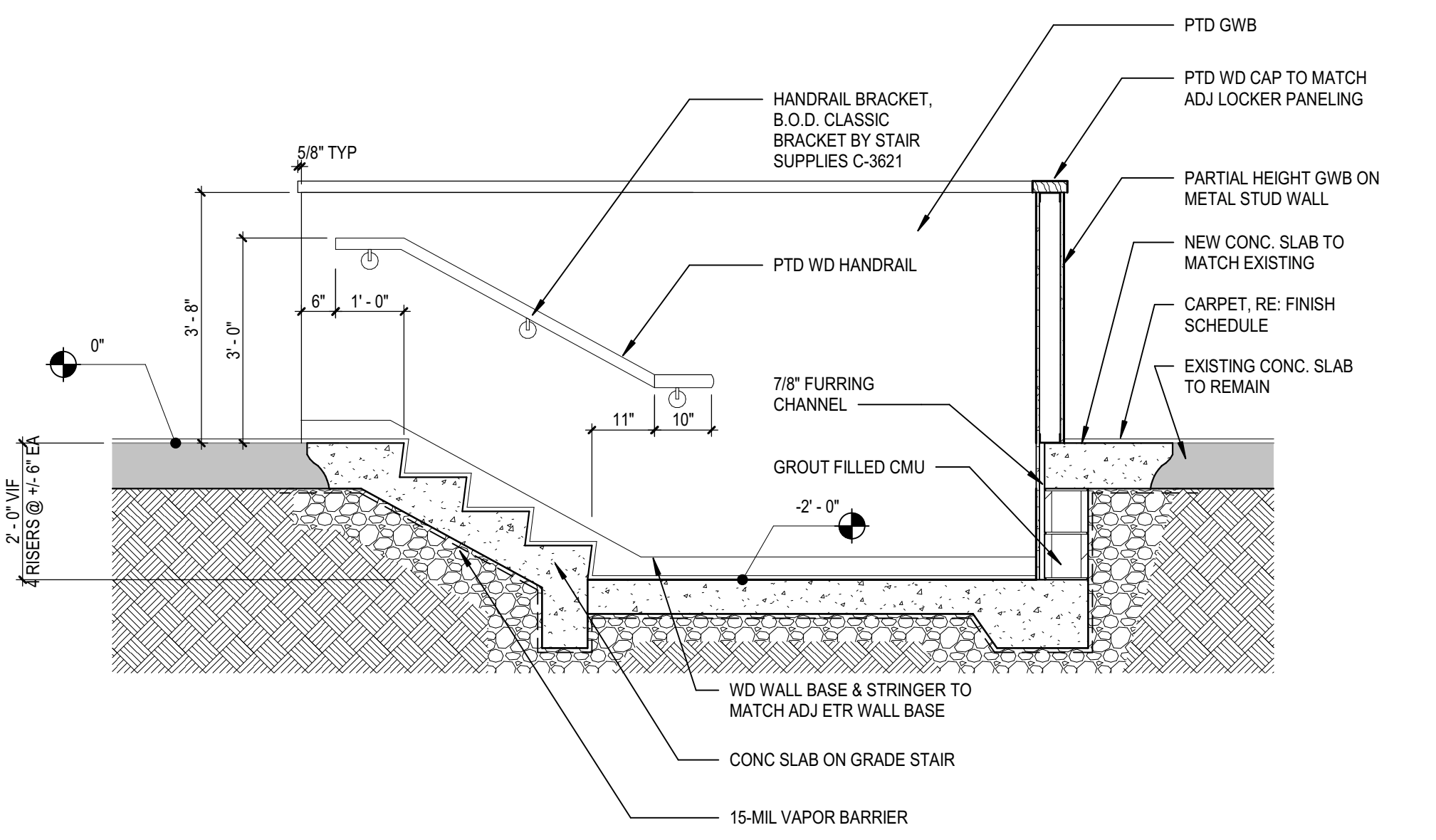


4E STAIR TREADS AND RAIL DETAIL  
SCALE: 1/2" = 1'-0"

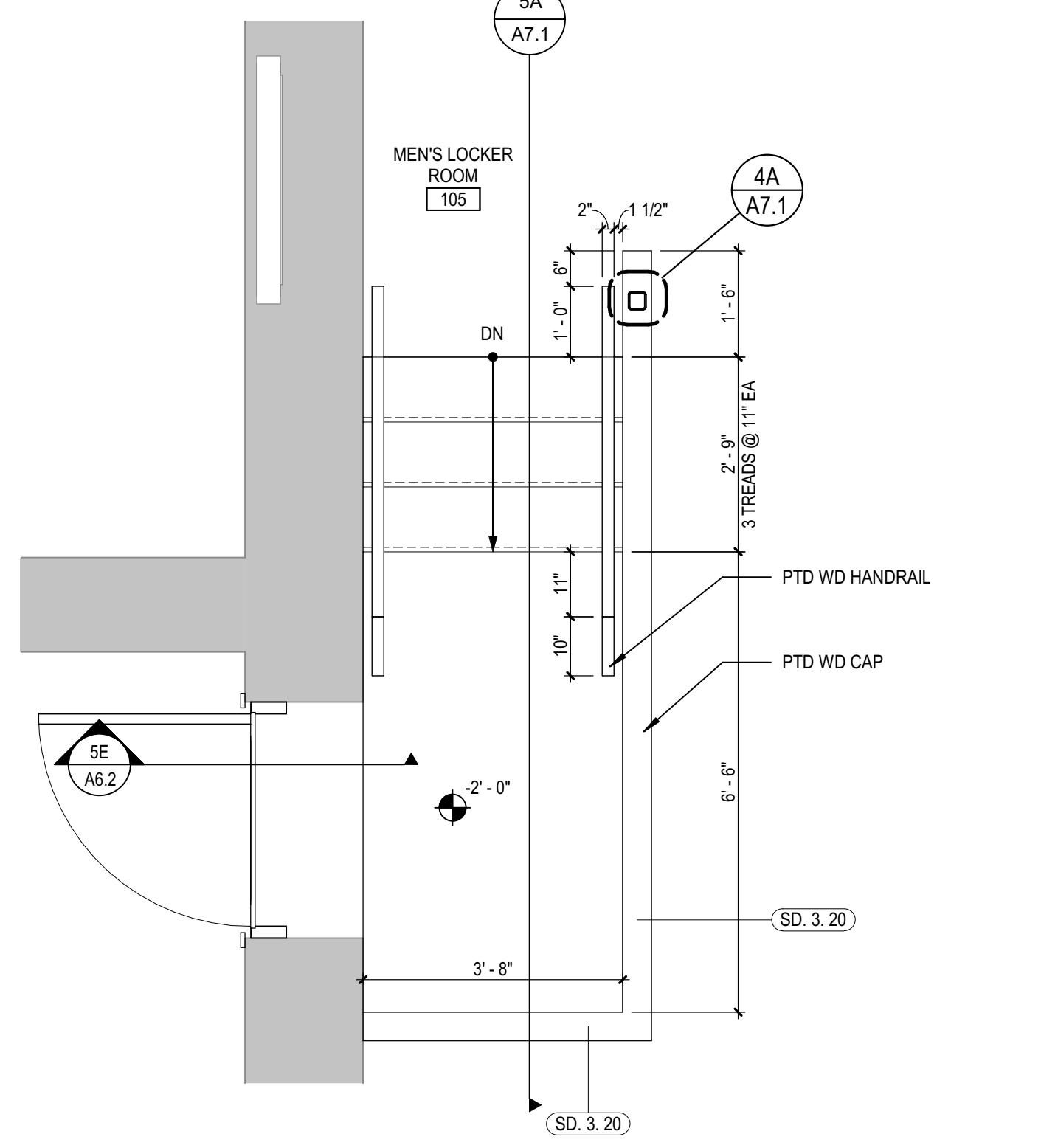


4A KNEE WALL SUPPORT  
SCALE: 1" = 1'-0"

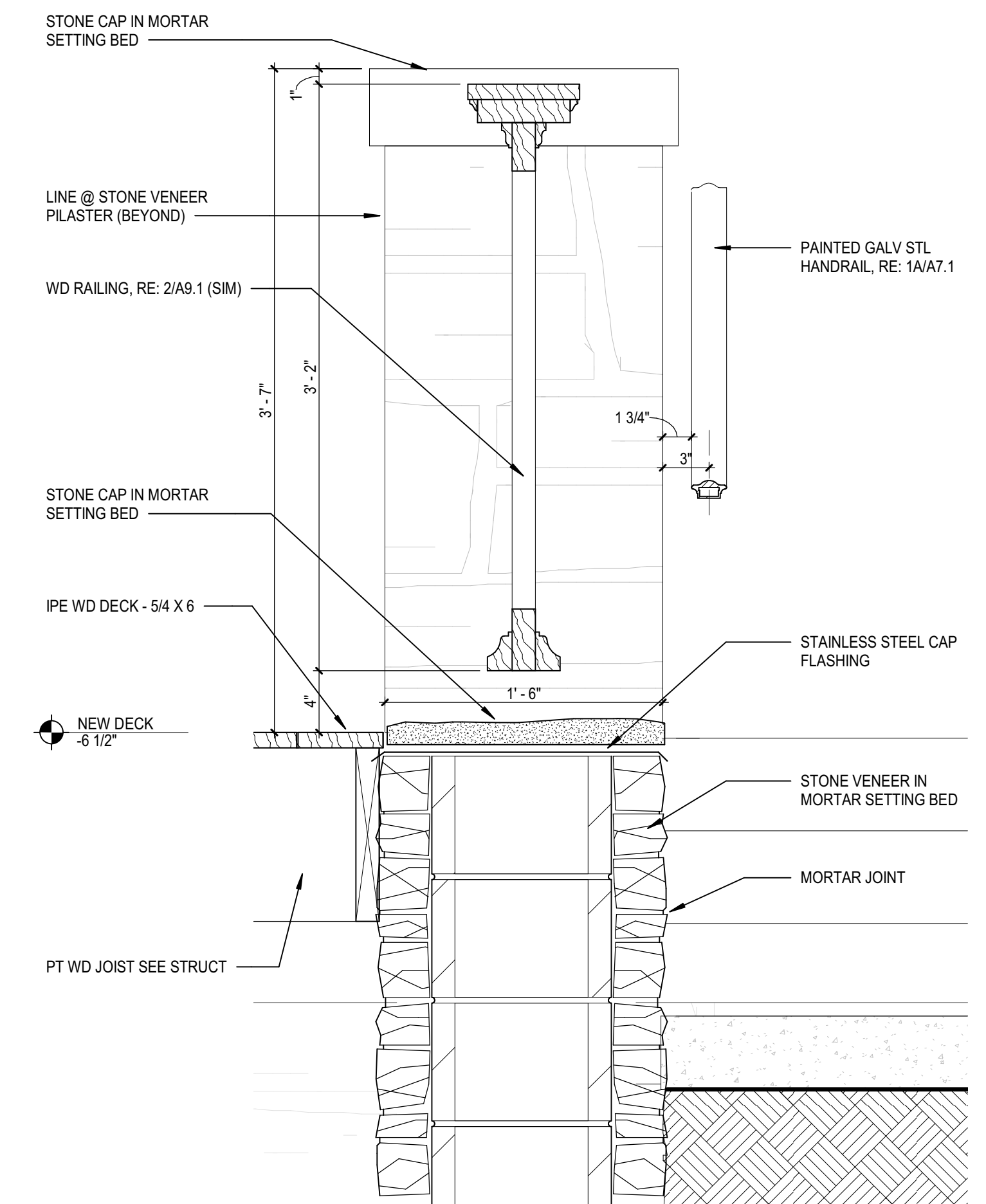
1 HANDRAIL DETAIL @ LOCKER RM  
SCALE: 6" = 1'-0"



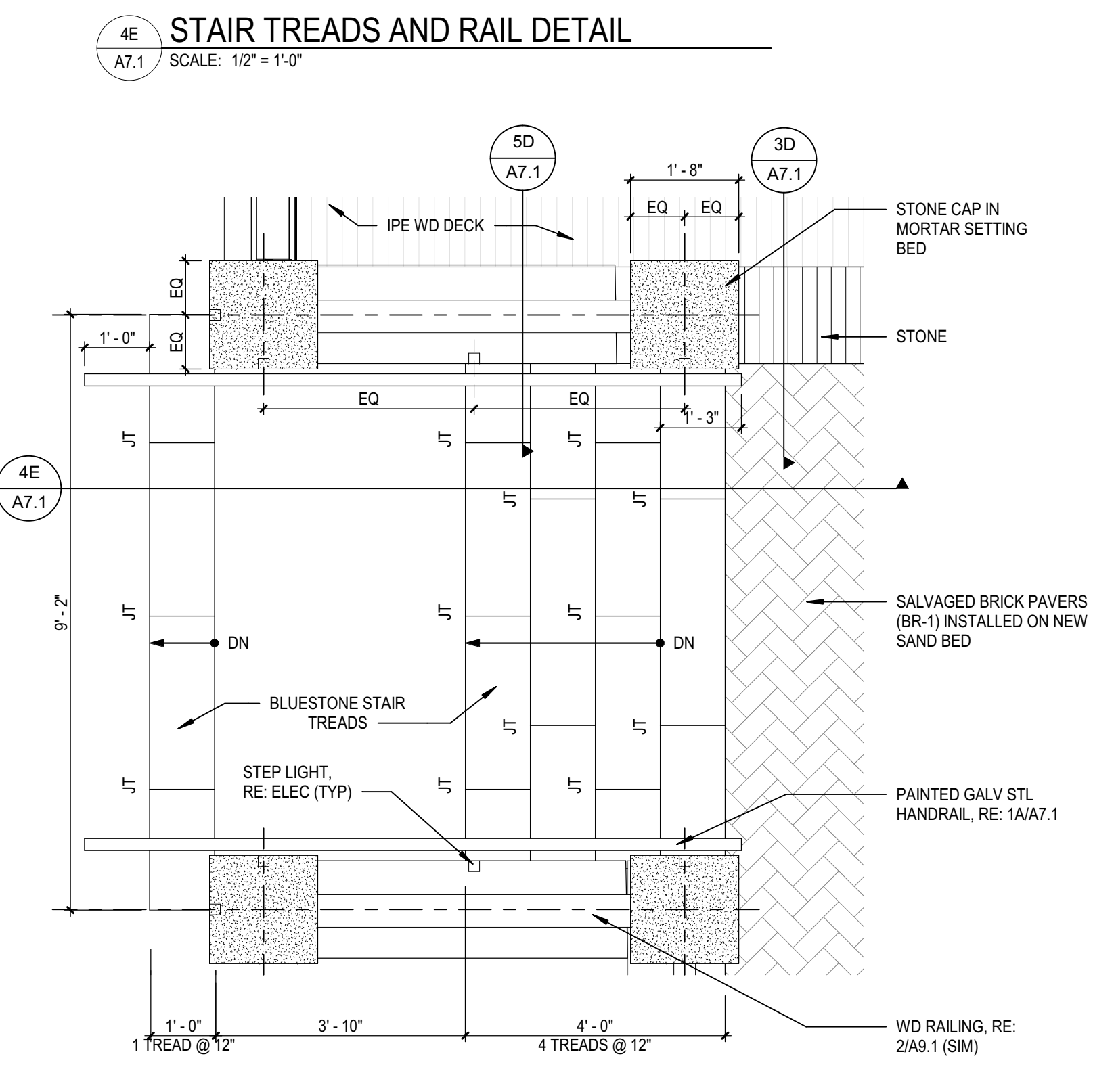
5A MENS LOCKER RM EGRESS STAIR  
SCALE: 1/2" = 1'-0"



5C MENS LOCKER RM EGRESS STAIR PLAN  
SCALE: 1/2" = 1'-0"



5D SECTION DETAIL @ NEW STAIR SOUTH  
SCALE: 1 1/2" = 1'-0"



5E DECK STAIR & PORCH - PLAN  
SCALE: 1/2" = 1'-0"



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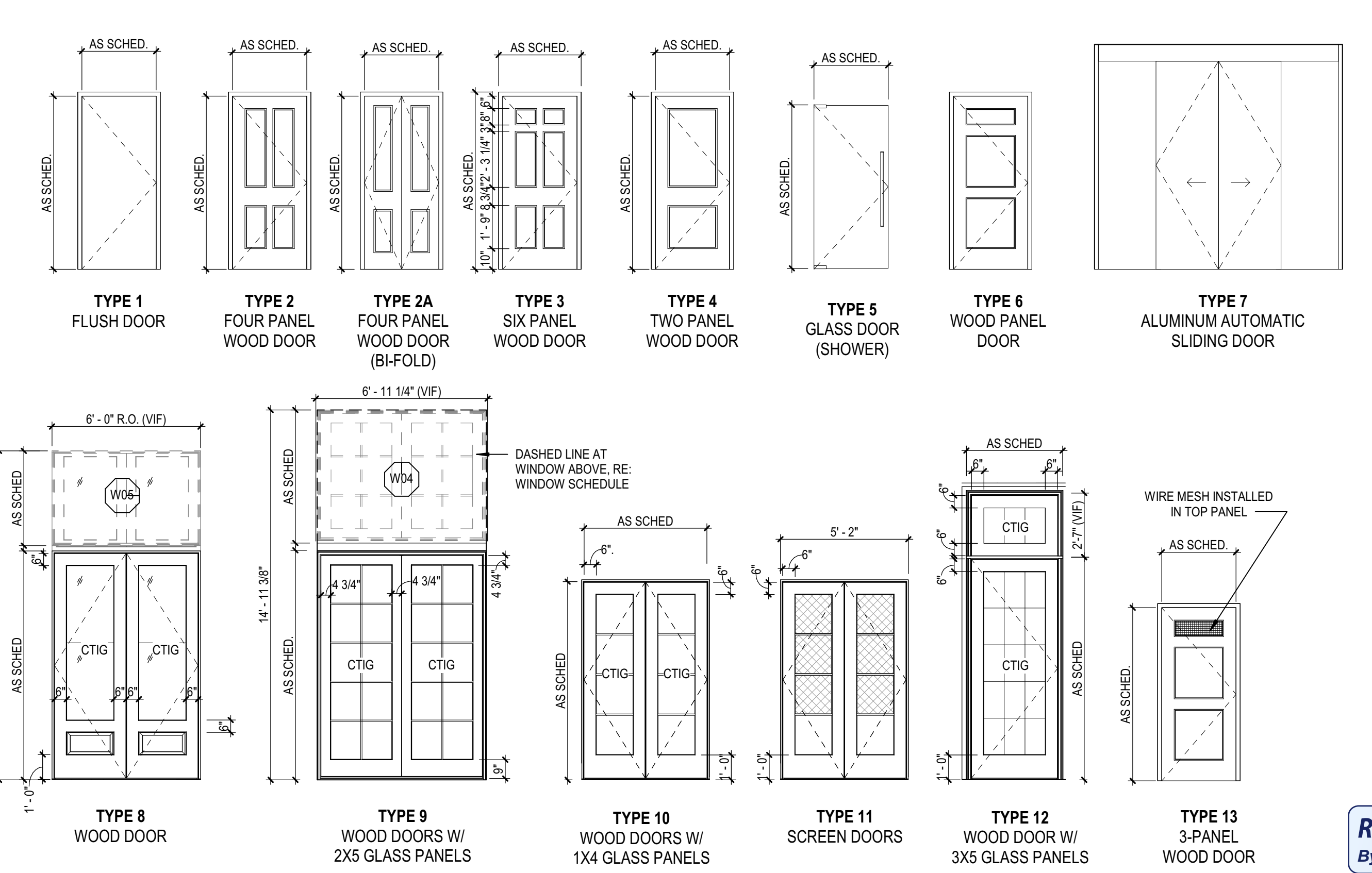
56-22108-00

STAIRS - PLANS, SECTIONS, & DETAILS

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 5/6/2023 12:01:10 PM



DOOR AND FRAME SCHEDULE																		
NEW	NO. OF PANELS	TYPE	WIDTH	HEIGHT	THICKNESS	MATERIAL	GLAZING	FRAME			HARDWARE SET	DETAILS			COMMENTS			
								MATERIAL	TYPE	HEAD		JAMB LEFT	JAMB RIGHT	THOLD				
100A	NEW	2	9'-3"	7'-0"	2 1/4"	WD	CTIG	WD	1	3BA.2	3AA.4	3AA.4	4BA.2 (SIM)					
101A	NEW	1	3'-0"	7'-0"	1 3/4"	WD	NIA	NM	1	3EA.2 (SIM)	3EA.2 (SIM)	3EA.2 (SIM)	3CA.2	45 MIN. RATED DOOR				
101C	NEW	2	3'-0"	7'-0"	1 3/4"	WD	NIA	NM	1	4FA.2	4FA.2	4FA.2	5BA.2	45 MIN. RATED DOORS				
102A	NEW	2	1'-4"	7'-0"	1 3/4"	WD	NIA	NM	1	3EA.2	3EA.2	3EA.2	4CA.2	CONCEALED FLUSH DOOR W/ APPLIED BEAD BOARD. RE: A10.0				
103A	NEW	1	13'-0"	6'-8"	1 3/4"	WD	NIA	NM	1	3FA.2	3FA.2	3FA.2	4DA.2	WIRED MESH INSTALLED IN TOP PANEL, B.O.D. KENT MODEL 332, 3/4" UNDERCUT.				
103B	NEW	1	13'-0"	6'-8"	1 3/4"	WD	NIA	NM	1	3FA.2	3FA.2	3FA.2	4DA.2	WIRED MESH INSTALLED IN TOP PANEL, B.O.D. KENT MODEL 332, 3/4" UNDERCUT.				
103C	NEW	1	13'-0"	6'-8"	1 3/4"	WD	NIA	NM	1	3FA.2	3FA.2	3FA.2	4DA.2	WIRED MESH INSTALLED IN TOP PANEL, B.O.D. KENT MODEL 332, 3/4" UNDERCUT.				
103D	NEW	1	13'-0"	6'-8"	1 3/4"	WD	NIA	NM	1	3FA.2	3FA.2	3FA.2	4DA.2	WIRED MESH INSTALLED IN TOP PANEL, B.O.D. KENT MODEL 332, 3/4" UNDERCUT.				
104A	NEW	1	5'-0"	6'-8"	1 1/2"	GL	TTG	NIA	1									
104B	NEW	1	5'-0"	6'-8"	1 1/2"	GL	TTG	NIA	1									
104C	NEW	1	5'-0"	6'-8"	1 1/2"	GL	TTG	NIA	1									
104D	NEW	1	5'-0"	6'-8"	1 1/2"	GL	TTG	NIA	1									
105	NEW	1	3'-0"	7'-0"	2 1/4"	WD	NIA	WD	3	5AA.4	2EA.4	2EA.4	4AA.2 (SIM)	NEW EGRESS DOOR IN EXISTING WINDOW OPENING (EXPANDED TO LOCATE SILL AT GRADE)				
106A	NEW	1	3'-6"	7'-0"	1 3/4"	WD	NIA	NM	1	5EA.2	5EA.2	5EA.2	5DA.2	KITCHEN DOOR				
106B	NEW	1	3'-6"	7'-0"	1 3/4"	WD	NIA	NM	1	5EA.2	5EA.2	5EA.2	5DA.2	KITCHEN DOOR				
107A	NEW	1	12'-3"	9'-0"	2 1/4"	WD	CTIG	WD	2	3BA.2	1CA.4	1CA.4	4BA.2					
107B	NEW	1	12'-3"	9'-0"	2 1/4"	WD	CTIG	WD	2	3BA.2	1CA.4	1CA.4	4BA.2					
107C	NEW	1	12'-3"	9'-0"	2 1/4"	WD	CTIG	WD	2	3BA.2	1CA.4	1CA.4	4BA.2					
107D	NEW	4	2A'-11 1/2"	8'-11 1/2"	1 3/4"	WD	NIA	WD	1	5EA.11.5	5EA.11.5	5EA.11.5	5BA.2 (SIM)	BI-FOLD DOORS				
107E	NEW	2	2'-0"	8'-11 1/2"	1 3/4"	WD	NIA	WD	1	3DA.11.5	3DA.11.5	3DA.11.5	NIA					
108A	NEW	1	6'-2"	7'-0"	1 3/4"	WD	NIA	WD	1	4FA.2	4FA.2	4FA.2	5CA.2					
109A	NEW	1	6'-2"	7'-0"	1 3/4"	WD	NIA	WD	1	5EA.2	5EA.2	5EA.2	5AA.2	INTERIOR FACE: MOUNT FULL LENGTH MIRROR IN DOOR PANEL RE: A10.0				
110A	NEW	1	6'-2"	7'-0"	1 3/4"	WD	NIA	WD	1	5EA.2	5EA.2	5EA.2	5AA.2	INTERIOR FACE: MOUNT FULL LENGTH MIRROR IN DOOR PANEL RE: A10.0				
111A	NEW	2	8'-2"	9'-3"	2 1/4"	WD	CTIG	WD	1	1AA.4	1AA.4	1AA.4	4AA.2	PROVIDE ADA DOOR OPENER				
111B	NEW	2	8'-2"	9'-3"	2 1/4"	WD	CTIG	WD	1	3AA.2 (SIM)	1AA.4 (SIM)	1AA.4 (SIM)	4AA.2 (SIM)	DOOR NOT OPERABLE. INSTALL IN FIXED POSITION				
113A	NEW	1	3'-0"	7'-0"	1 3/4"	WD	NIA	NM	1	4FA.2	4FA.2	4FA.2	5CA.2					
117H	NEW	2	7'-0"	8'-5"	1 1/2"	AL	CTIG	AL	1	1FA.4	3EA.4	2FA.4		AUTOMATIC ALUMINUM SLIDING DOOR FOR EGRESS. 10'-0" R.O. (V.F). BOD: STANLEY DURAGLIDE 2000.				
121A	NEW	2	10'-2"	8'-1"	2 1/4"	WD	CTIG	WD	1	2CA.4	3DA.4	3DA.4	4CA.4	WOOD SCREEN DOOR				
121B	NEW	2	11'-2"	8'-1"	2 1/4"	WD	SCREEN	WD	1	2CA.4	3DA.4	3DA.4	4CA.4	WOOD SCREEN DOOR				
121A	NEW	1	5'-0"	6'-8"	1 1/2"	GL	TTG	NIA	1					SHOWER DOOR, FROSTED GLASS				
107F	ETR	2	ETR	3'-2"	8'-11 1/2"	1 3/4"	ETR	ETR	ETR	ETR	ETR	ETR	ETR	PAINT EXISTING DOOR. PROVIDE NEW HARDWARE PER SCHEDULE				
112A	ETR	2	ETR	2'-4"	8'-10"	1 3/4"	ETR	ETR	ETR	ETR	ETR	ETR	ETR	PAINT EXISTING DOOR. PROVIDE NEW HARDWARE PER SCHEDULE				
114A	ETR	2	ETR	2'-5"	8'-0"	1 3/4"	ETR	ETR	ETR	ETR	ETR	ETR	ETR	PAINT EXISTING DOOR. PROVIDE NEW HARDWARE PER SCHEDULE				
114B	ETR	2	ETR	2'-2"	9'-1"	1 3/4"	ETR	ETR	ETR	ETR	ETR	ETR	5BA.2 (SIM)	PAINT EXISTING DOOR. PROVIDE NEW HARDWARE PER SCHEDULE				
114C	ETR	2	ETR	2'-2"	9'-1"	1 3/4"	ETR	ETR	ETR	ETR	ETR	ETR	5BA.2 (SIM)	PAINT EXISTING DOOR. PROVIDE NEW HARDWARE PER SCHEDULE				
114D	ETR	2	ETR	2'-2"	9'-1"	1 3/4"	ETR	ETR	ETR	ETR	ETR	ETR	5BA.2 (SIM)	PAINT EXISTING DOOR. PROVIDE NEW HARDWARE PER SCHEDULE				
114E	ETR	2	ETR	2'-5"	8'-0"	1 3/4"	ETR	ETR	ETR	ETR	ETR	ETR	ETR	PAINT EXISTING DOOR. PROVIDE NEW HARDWARE PER SCHEDULE				
114F	ETR	2	ETR	2'-7"	8'-10"	1 3/4"	ETR	ETR	ETR	ETR	ETR	ETR	ETR	PAINT EXISTING DOOR. PROVIDE NEW HARDWARE PER SCHEDULE				
115A	ETR	2	ETR	2'-10"	9'-3"	1 3/4"	ETR	ETR	ETR	ETR	ETR	ETR	ETR	PAINT EXISTING DOOR. PROVIDE NEW HARDWARE PER SCHEDULE. PROVIDE ADA DOOR OPENER.				
115B	ETR	2	ETR	2'-2"	7'-0"	1 3/4"	ETR	ETR	ETR	ETR	ETR	ETR	ETR	PAINT EXISTING DOOR. PROVIDE NEW HARDWARE PER SCHEDULE				
115C	ETR	1	ETR	3'-0"	8'-6"	1 3/4"	ETR	ETR	ETR	ETR	ETR	ETR	ETR	PAINT EXISTING DOOR. PROVIDE NEW HARDWARE PER SCHEDULE				
117A	ETR	2	ETR	2'-7"	7'-9 1/2"	1 3/4"	ETR	ETR	ETR	ETR	ETR	ETR	ETR	PAINT EXISTING DOOR. PROVIDE NEW HARDWARE PER SCHEDULE				
117B	ETR	2	ETR	4'-6"	9'-0"	1 3/4"	ETR	ETR	ETR	ETR	ETR	ETR	ETR	PAINT EXISTING DOOR. PROVIDE NEW HARDWARE PER SCHEDULE				
117C	ETR	2	ETR	4'-6"	9'-0"	1 3/4"	ETR	ETR	ETR	ETR	ETR	ETR	ETR	PAINT EXISTING DOOR. PROVIDE NEW HARDWARE PER SCHEDULE				
117D	ETR	2	ETR	4'-6"	9'-0"	1 3/4"	ETR	ETR	ETR	ETR	ETR	ETR	ETR	PAINT EXISTING DOOR. PROVIDE NEW HARDWARE PER SCHEDULE				
117E	ETR	2	ETR	4'-6"	9'-0"	1 3/4"	ETR	TTG	ETR	ETR	ETR	ETR	ETR	PAINT EXISTING DOOR. PROVIDE NEW HARDWARE PER SCHEDULE. REPLACE GLASS PANE IN DOOR WITH ANTIQUE MIRROR PANE. (MATCH DRAWING ROOM TRANSOMS)				
117F	ETR	2	ETR	4'-6"	9'-0"	1 3/4"	ETR	TTG	ETR	ETR	ETR	ETR	ETR	PAINT EXISTING DOOR. PROVIDE NEW HARDWARE PER SCHEDULE. REPLACE GLASS PANE IN DOOR WITH ANTIQUE MIRROR PANE. (MATCH DRAWING ROOM TRANSOMS)				
117G	ETR	2	ETR	4'-6"	9'-0"	1 3/4"	ETR	TTG	ETR	ETR	ETR	ETR	ETR	PAINT EXISTING DOOR. PROVIDE NEW HARDWARE PER SCHEDULE. REPLACE GLASS PANE IN DOOR WITH ANTIQUE MIRROR PANE. (MATCH DRAWING ROOM TRANSOMS)				
118A	ETR	2	ETR	2'-0"	9'-0"	1 3/4"	ETR	ETR	ETR	ETR	ETR	ETR	ETR	PAINT EXISTING DOOR. PROVIDE NEW HARDWARE PER SCHEDULE				



**DOOR AND FRAME SCHEDULE GENERAL NOTES**

- ALL EXTERIOR HOLLOW METAL FRAMES SHALL BE FILLED WITH INSULATION.
- ALL HOLLOW METAL FRAMES SET IN METAL STUD WALLS SHALL BE FILLED WITH MINERAL WOOL BLANKET INSULATION.
- ALL EXTERIOR FRAMES SHALL BE INSTALLED WITH 1/4" SHIM AND SEALANT AROUND PERIMETER OF FRAME.
- GLASS TYPES FOR DOORS ARE INDICATED IN THE DOOR GLAZING COLUMN OF THE DOOR AND FRAME SCHEDULE. GLASS TYPES FOR FRAMES ARE INDICATED ON THE FRAME ELEVATIONS.
- FOR COILING DOORS, GRILLES AND SECTIONAL DOORS, WIDTH AND HEIGHT DIMENSIONS SHOWN IN DOOR AND FRAME SCHEDULE REPRESENT FINISHED OPENING SIZE. CONTRACTOR TO COORDINATE EXACT SIZE OF DOOR WITH MANUFACTURER.
- FRAME MANUFACTURER SHALL COORDINATE LOCATIONS OF ALL CONCEALED CONDUIT AND LINES REQUIRED FOR SECURITY SYSTEM HARDWARE PRIOR TO MANUFACTURING OF HOLLOW METAL FRAMES AND COORDINATE WITH SECURITY HARDWARE AND DEVICES.
- PROVIDE HEAD RECEIVERS AT ALUMINUM STOREFRONTS AND CURTAIN WALLS AS REQUIRED FOR STRUCTURAL DEFLECTION ALLOWANCE.
- SEE SPECIFICATIONS HARDWARE SECTION FOR HARDWARE SETS NOTED IN DOOR AND FRAME SCHEDULE.
- FIELD VERIFY OPENING SIZES FOR ALL DOORS & WINDOWS PRIOR TO PRODUCTION OF SHOP DRAWINGS.

**GLAZING TYPE DESCRIPTIONS**

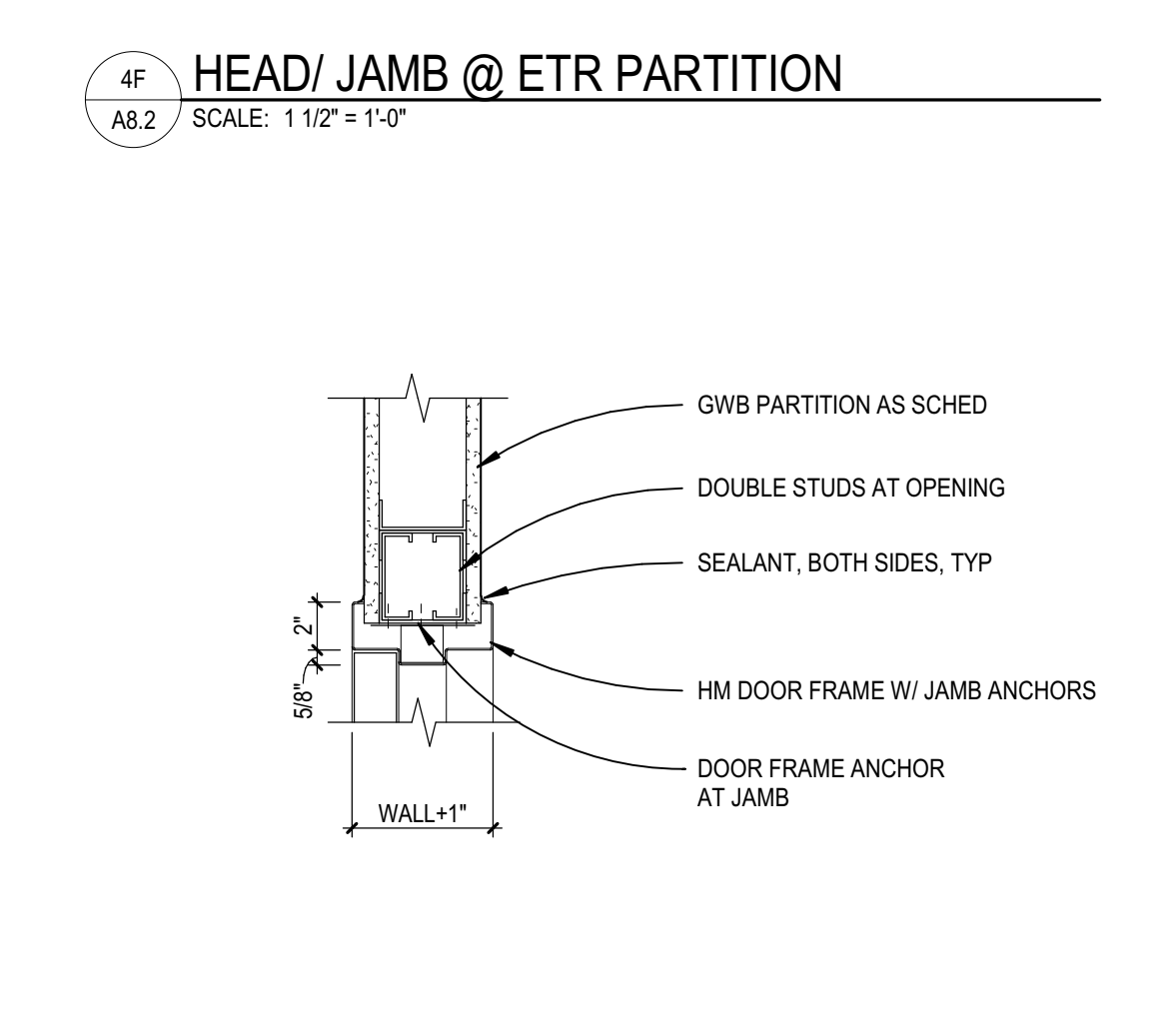
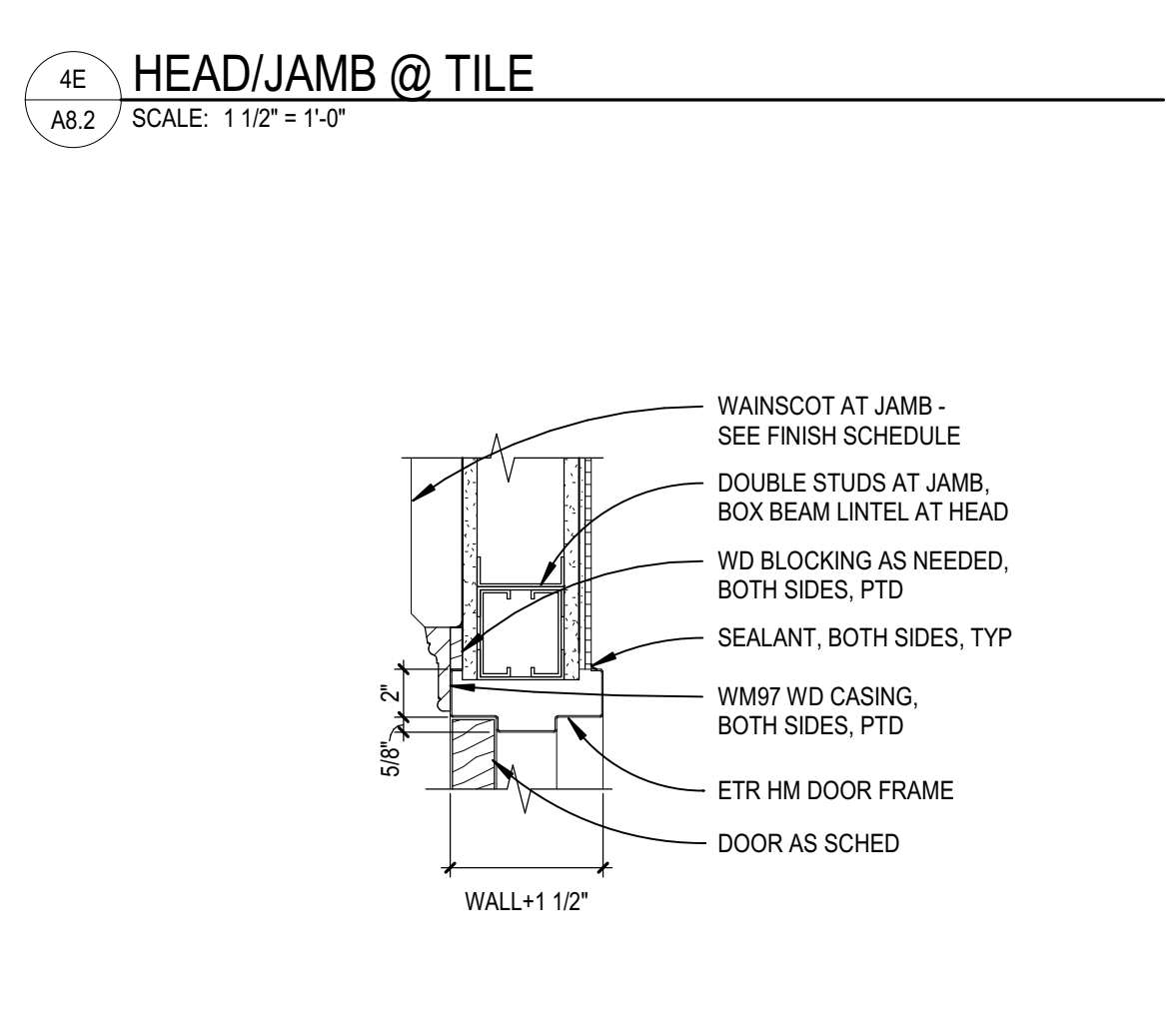
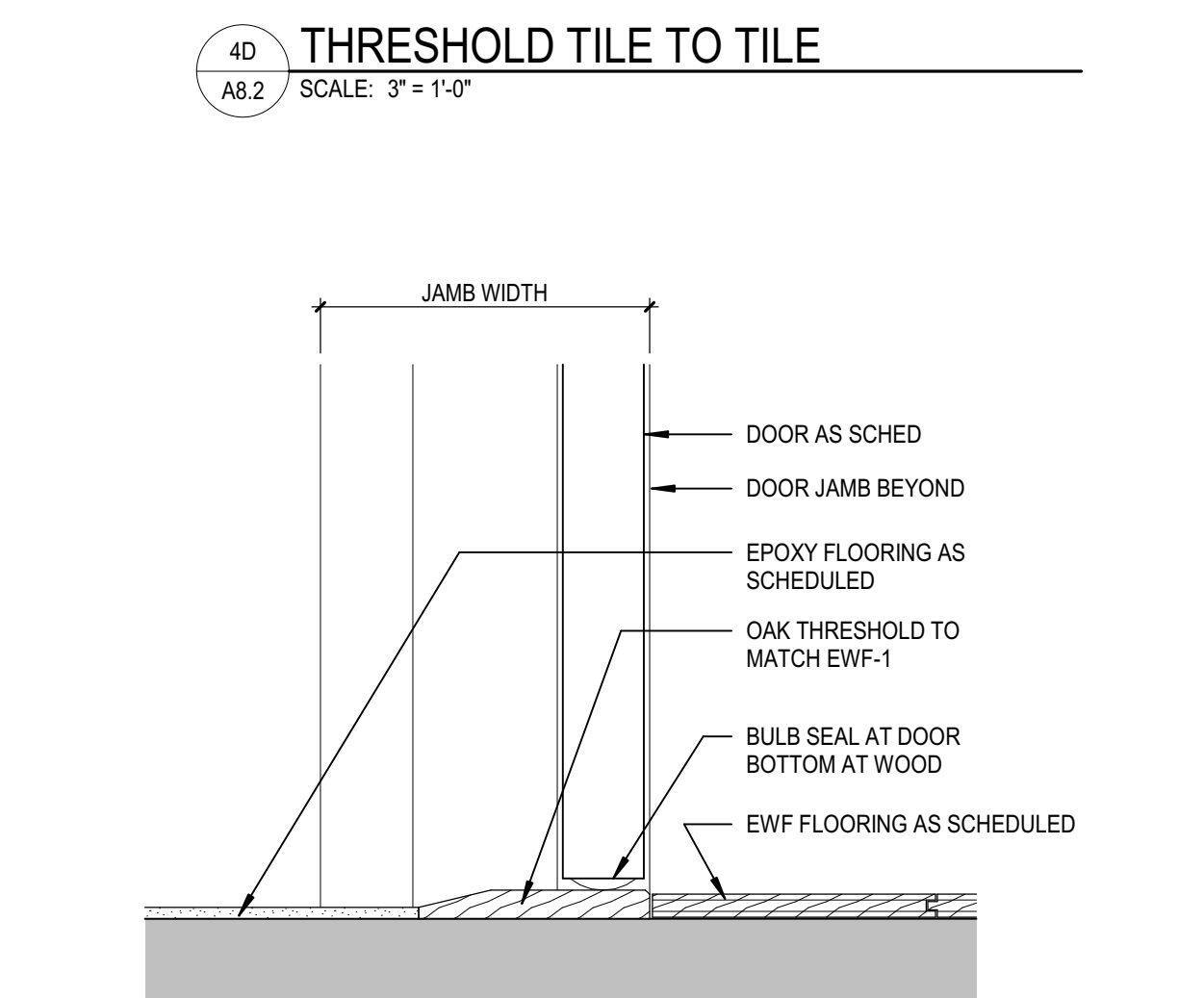
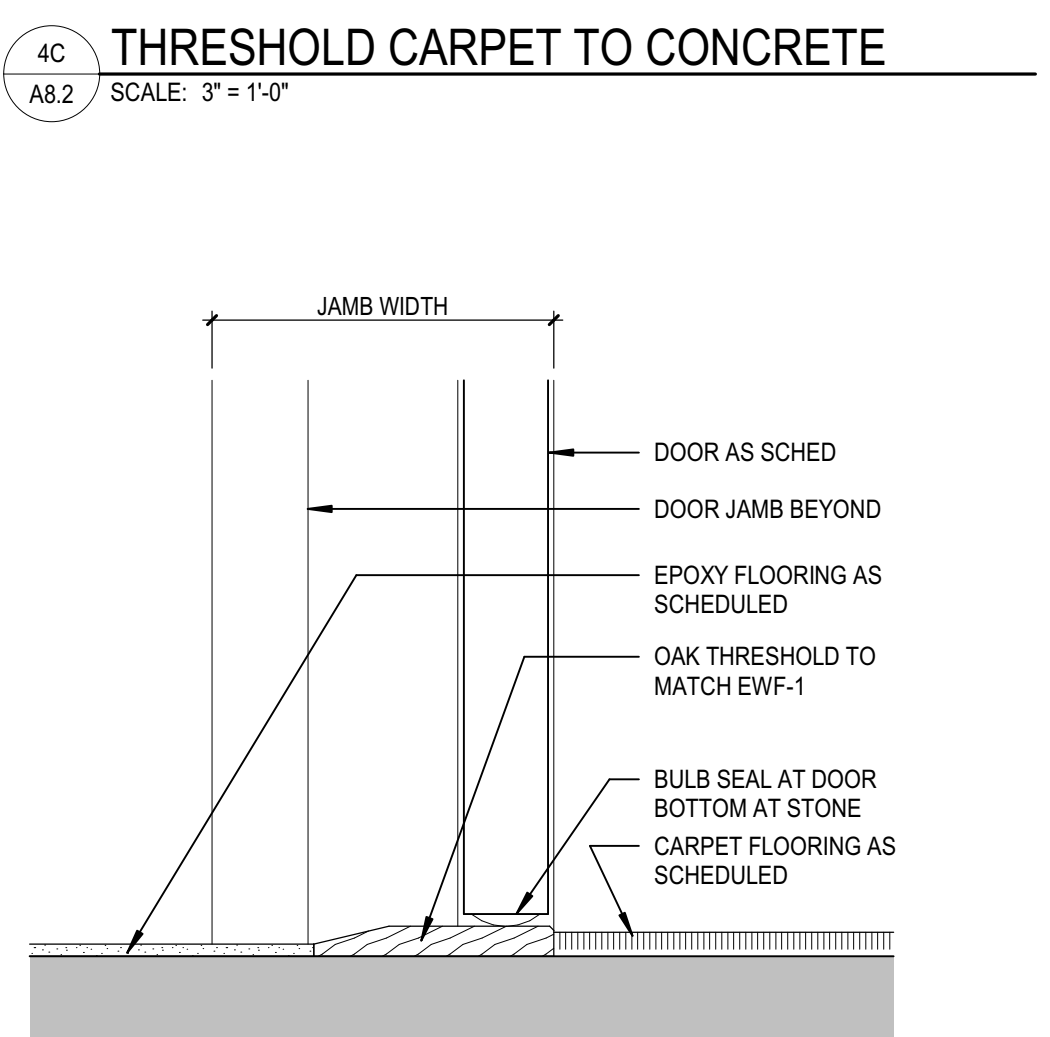
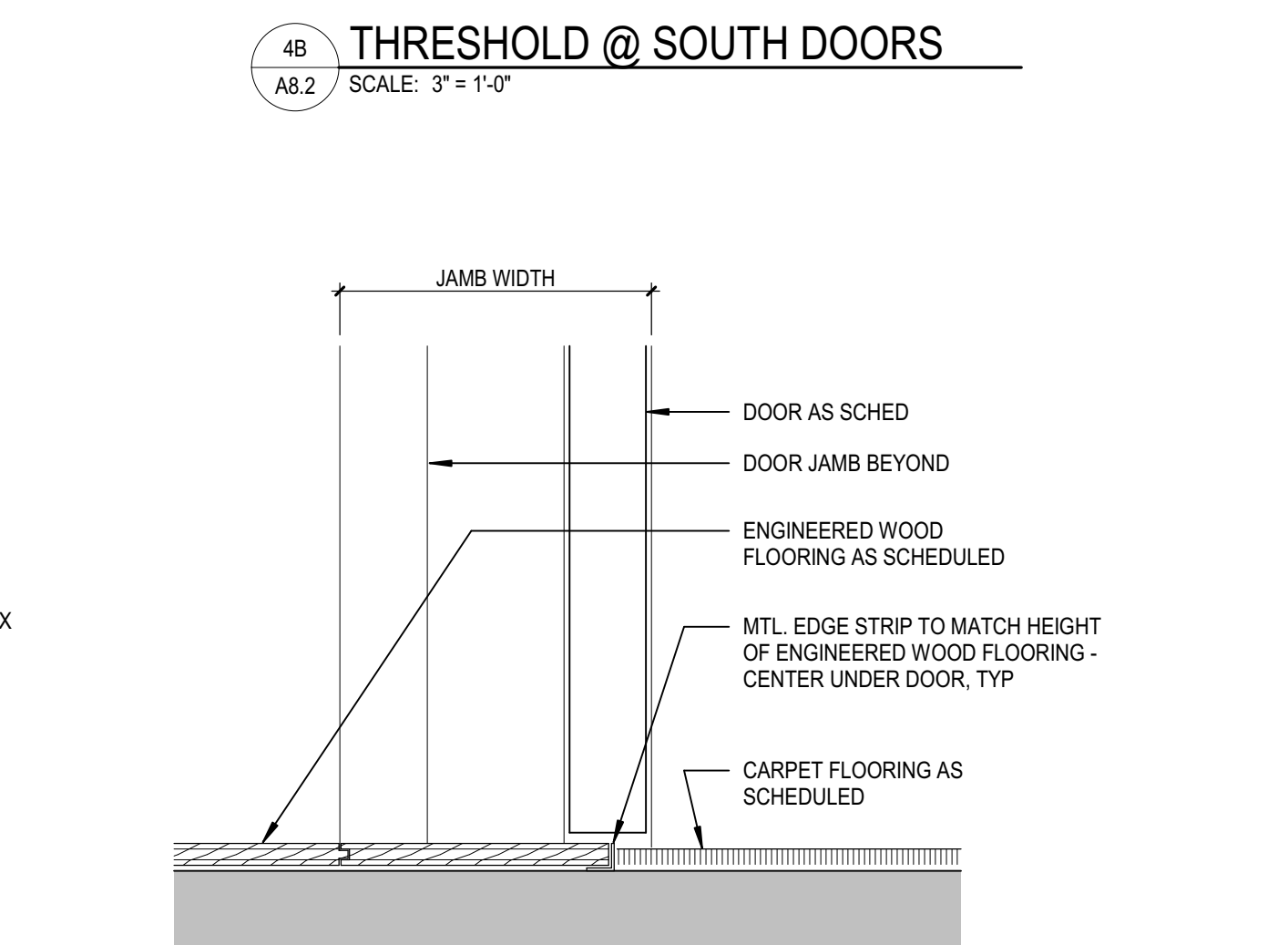
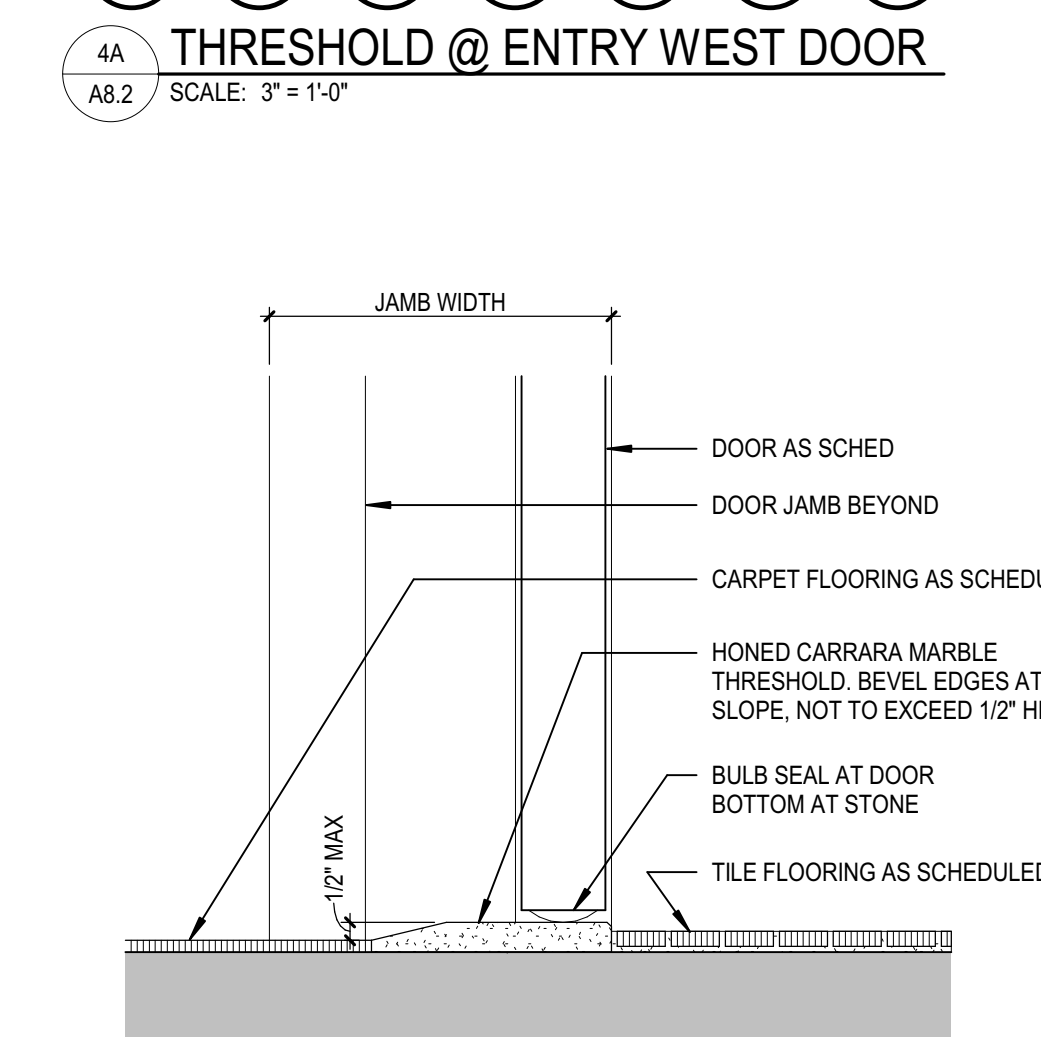
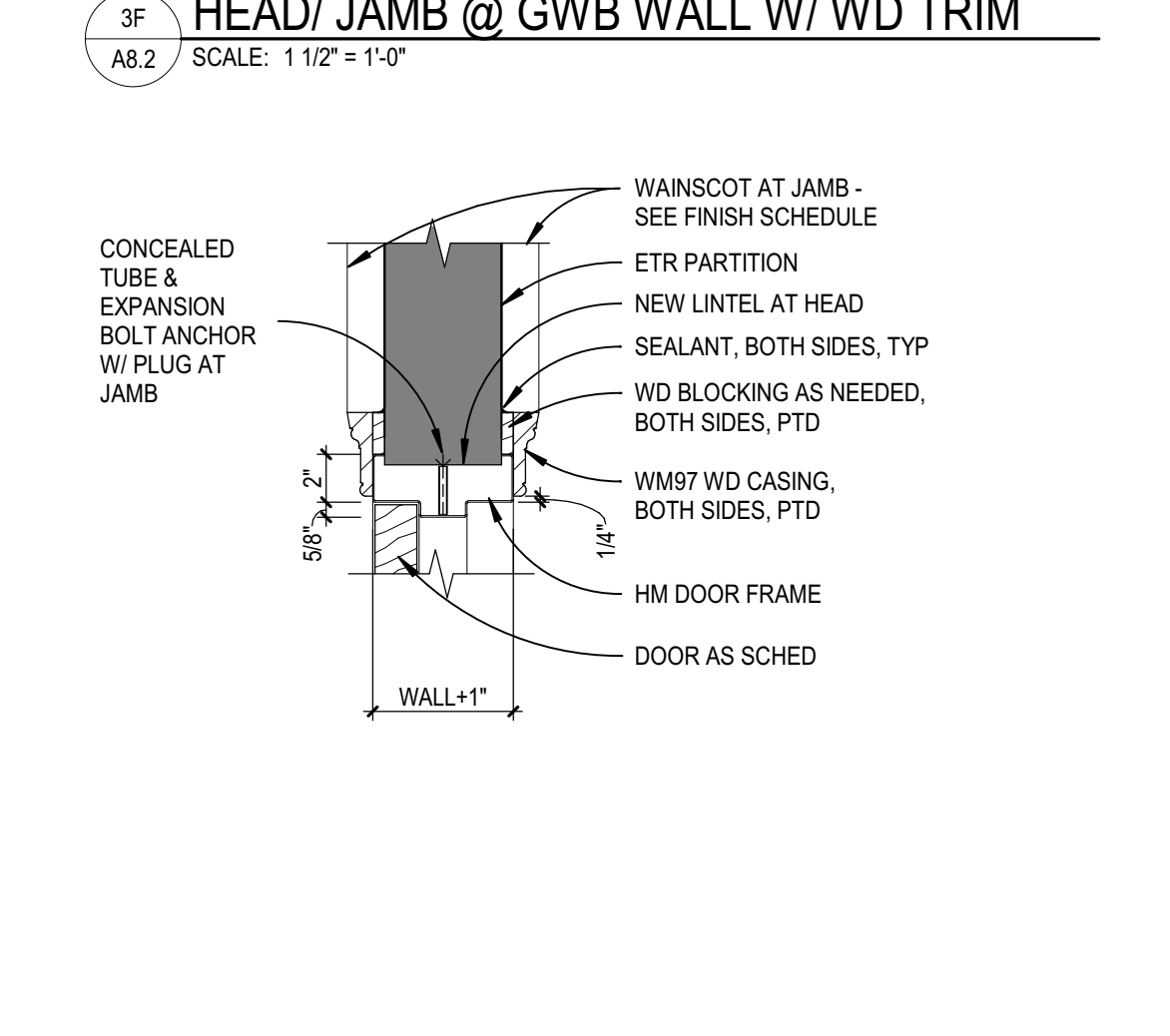
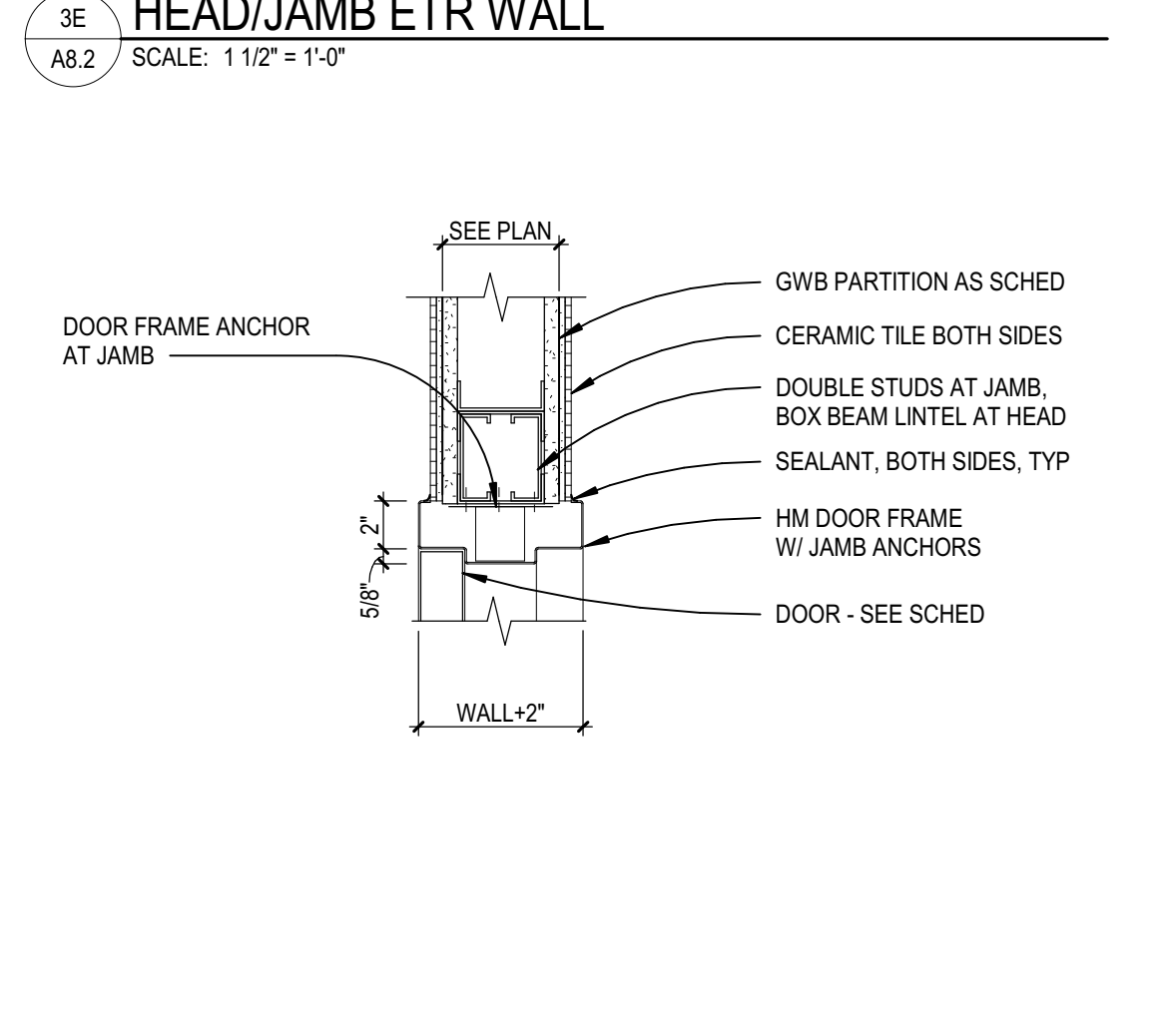
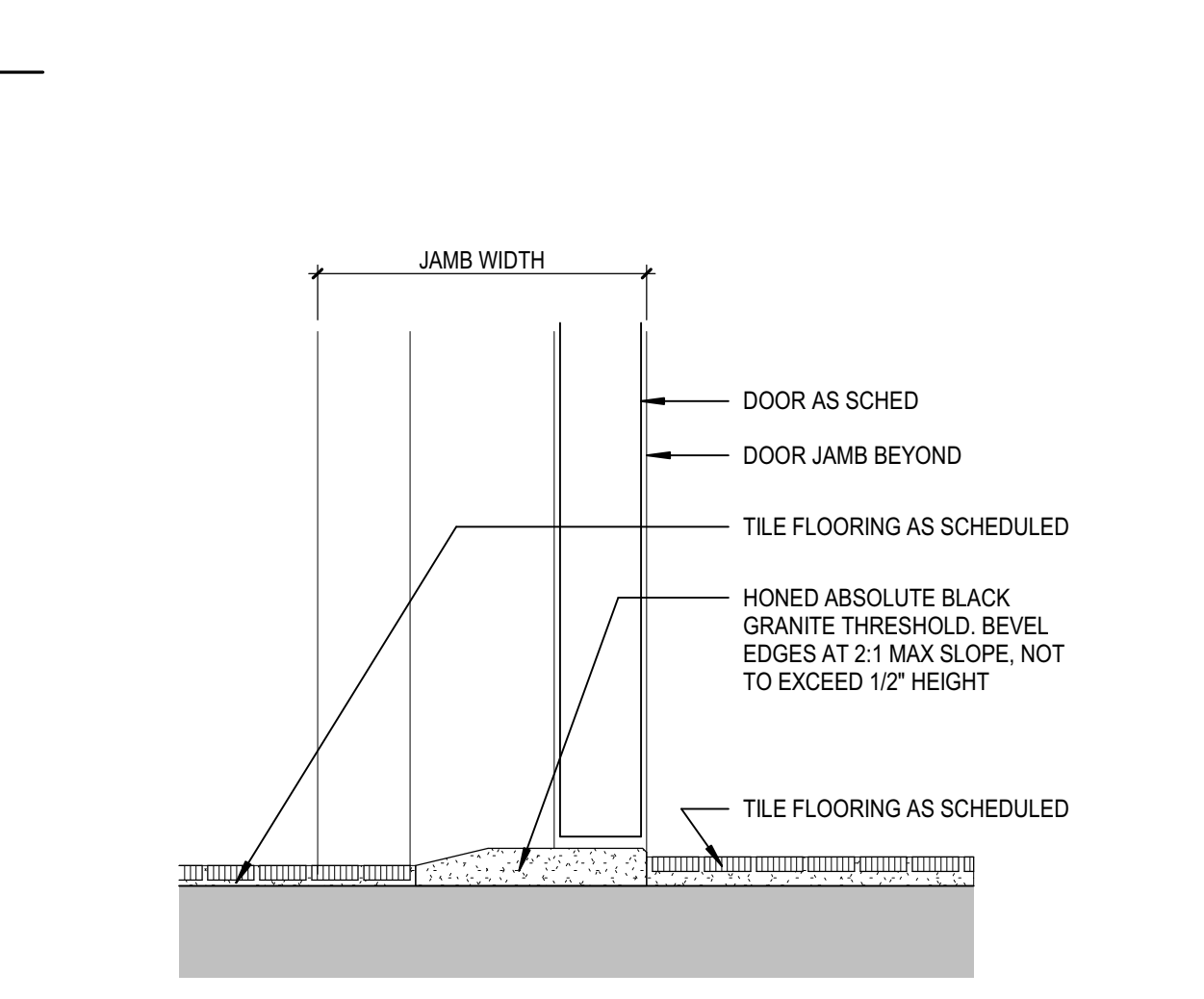
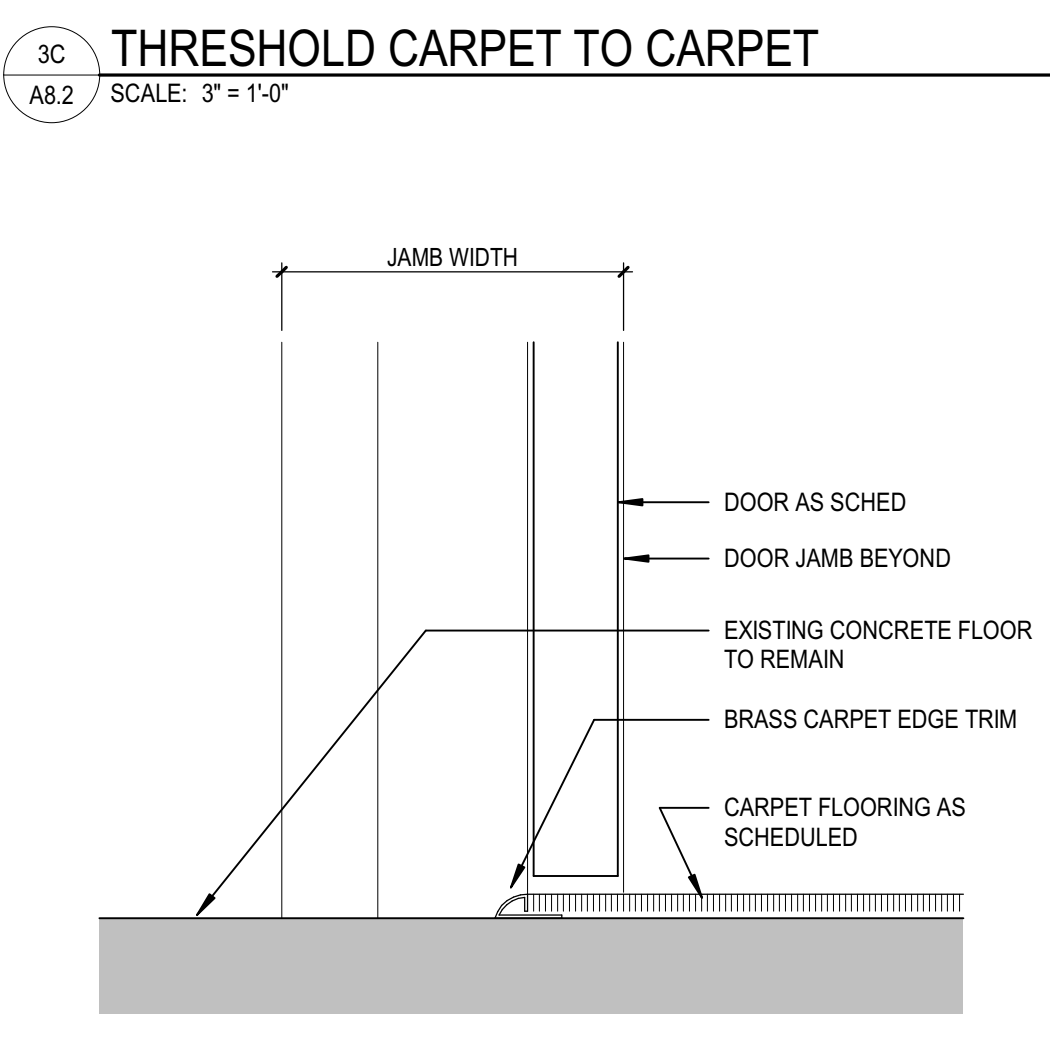
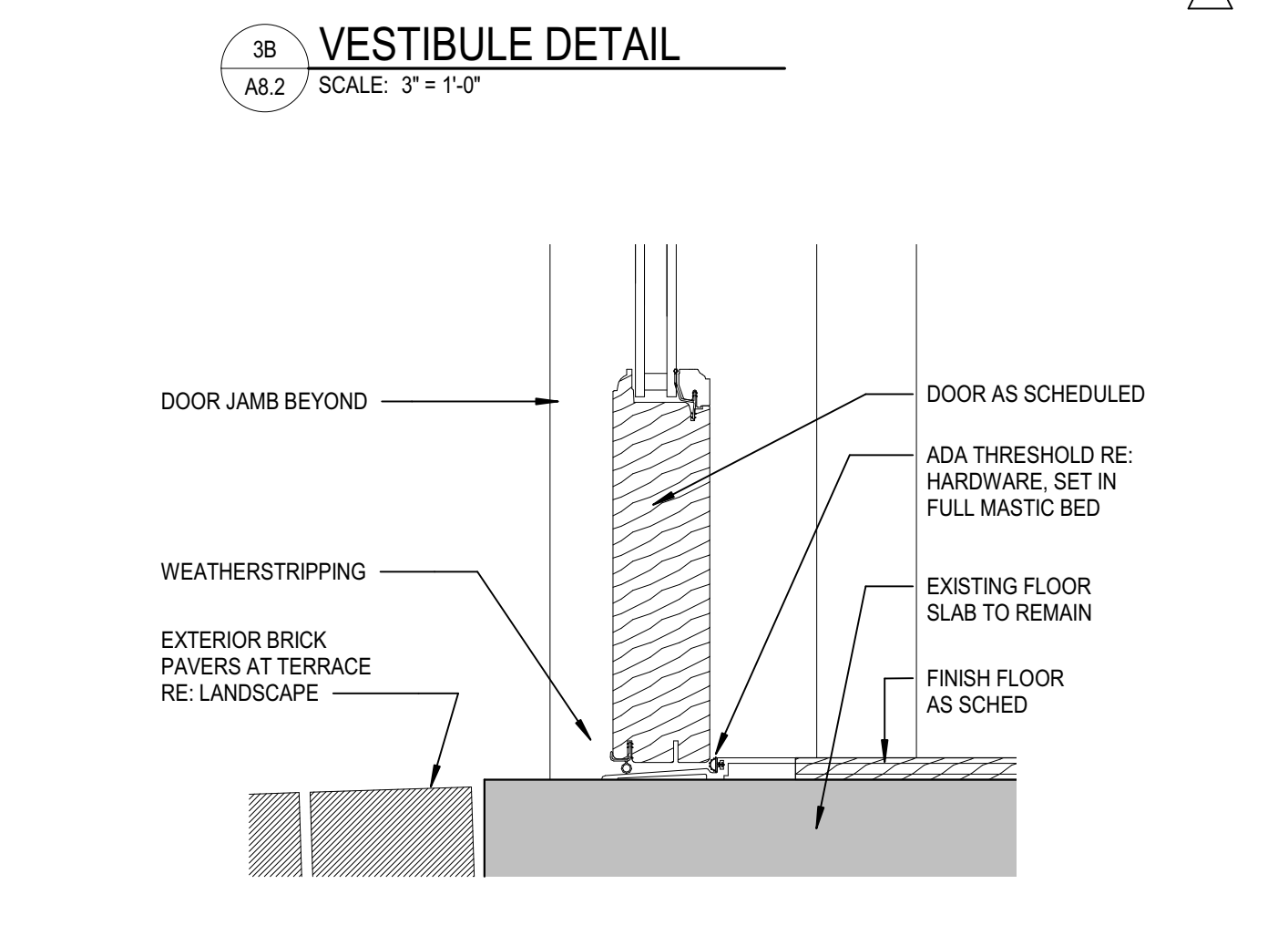
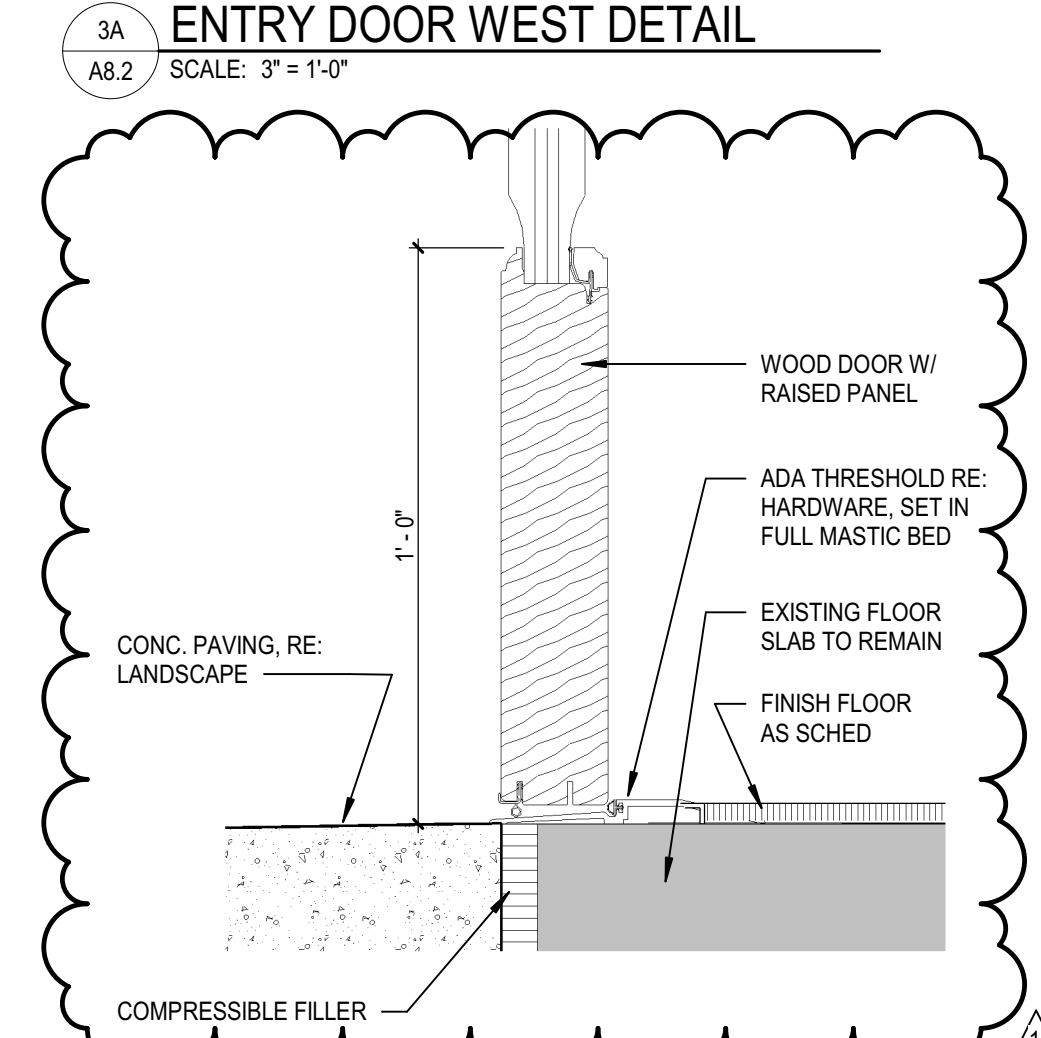
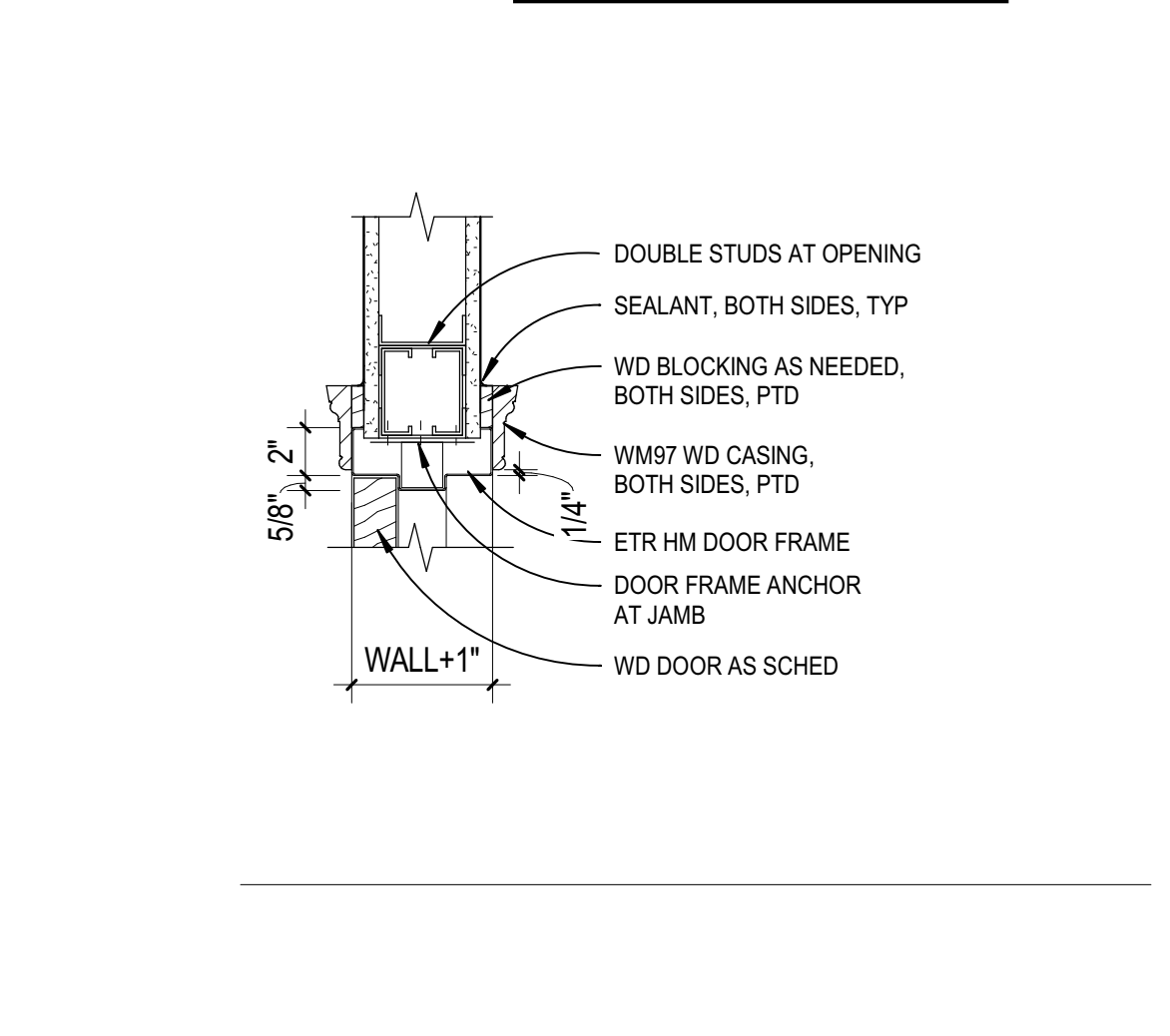
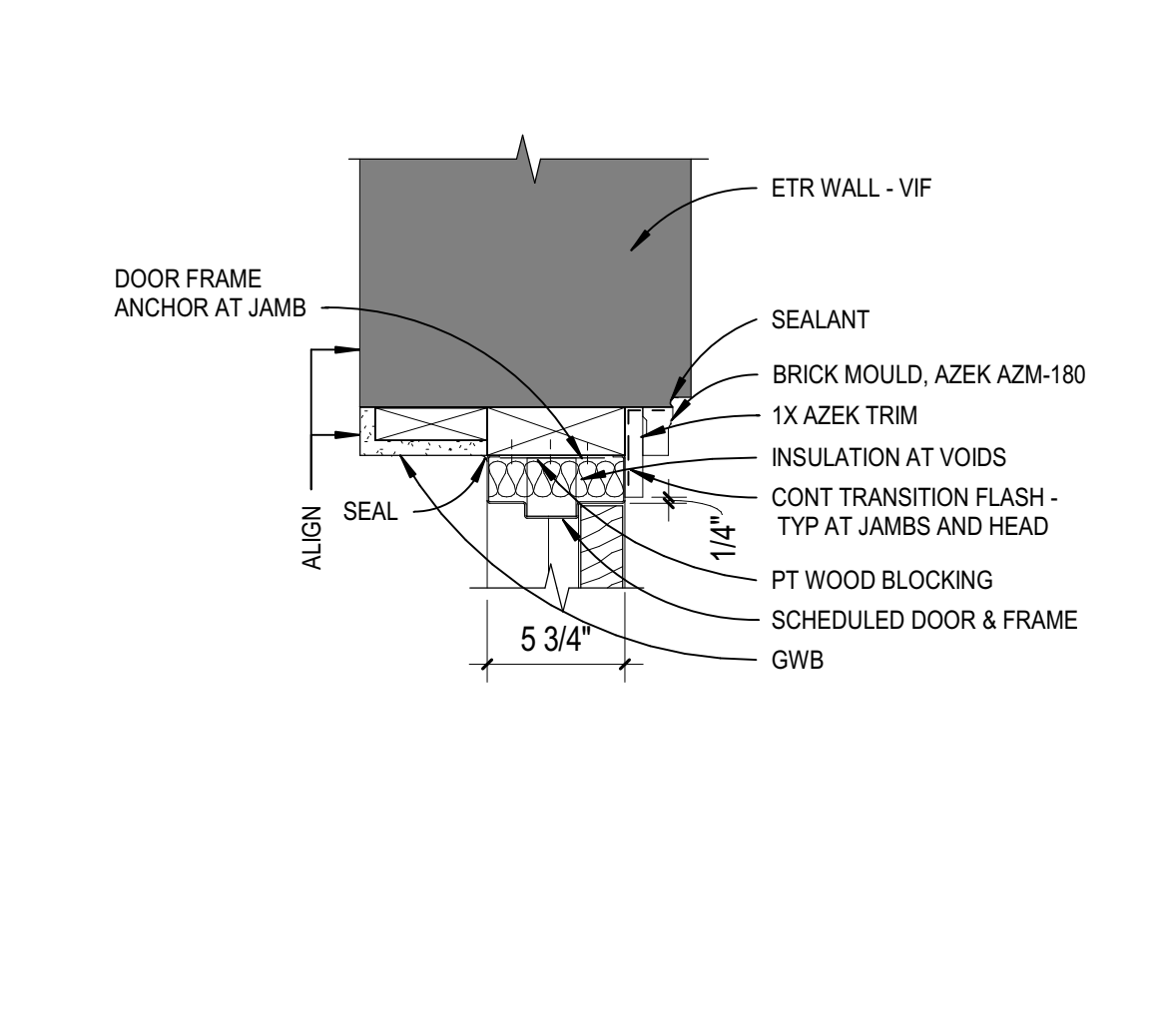
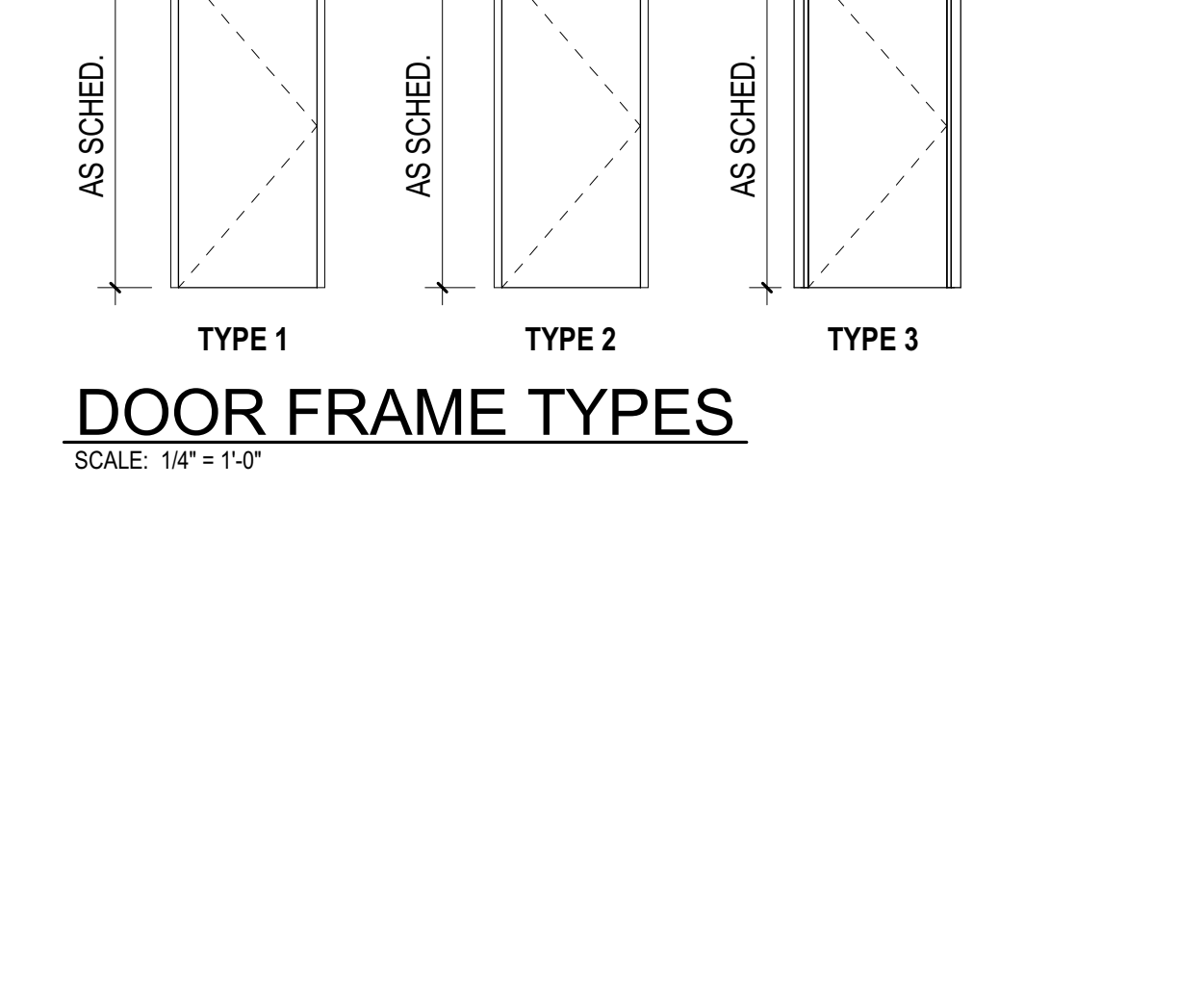
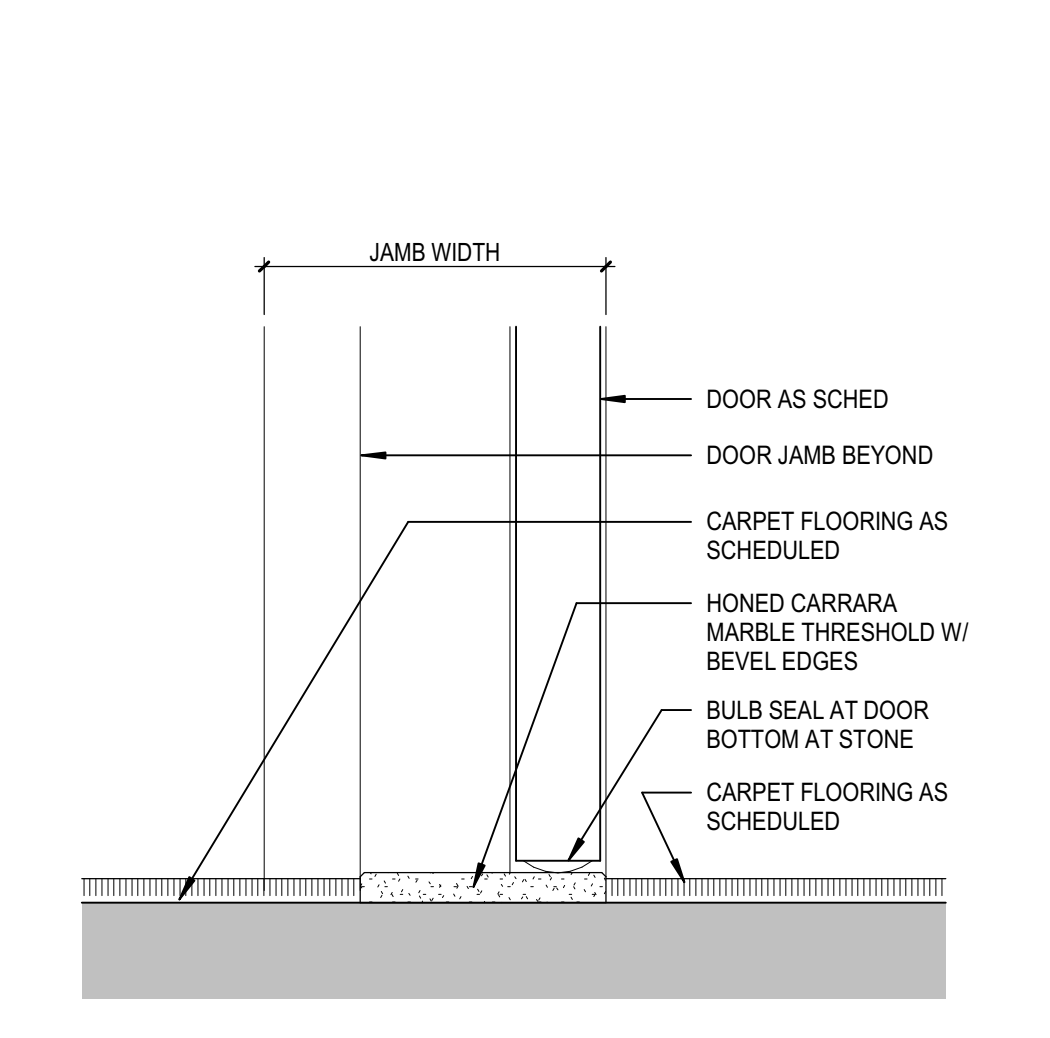
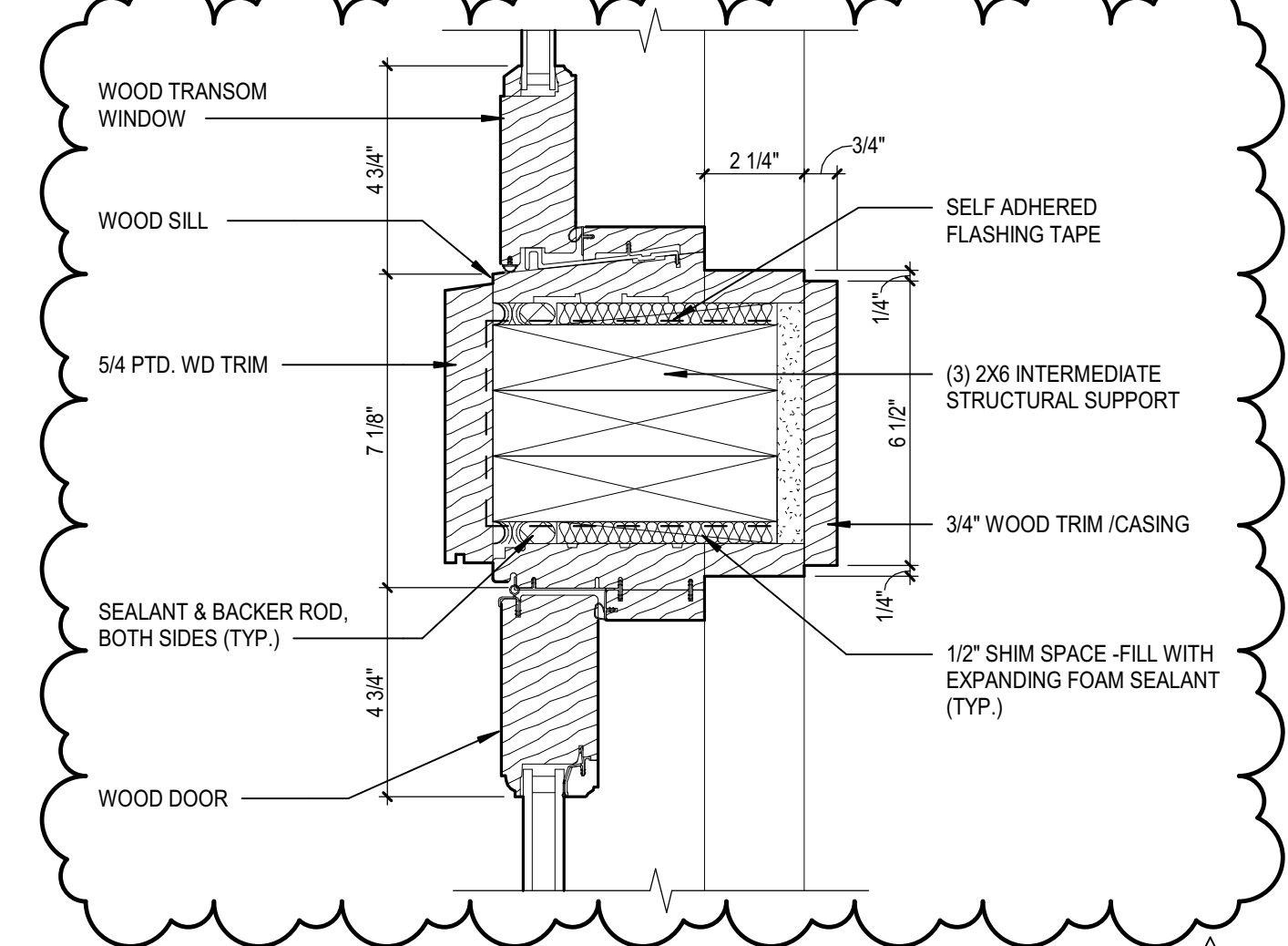
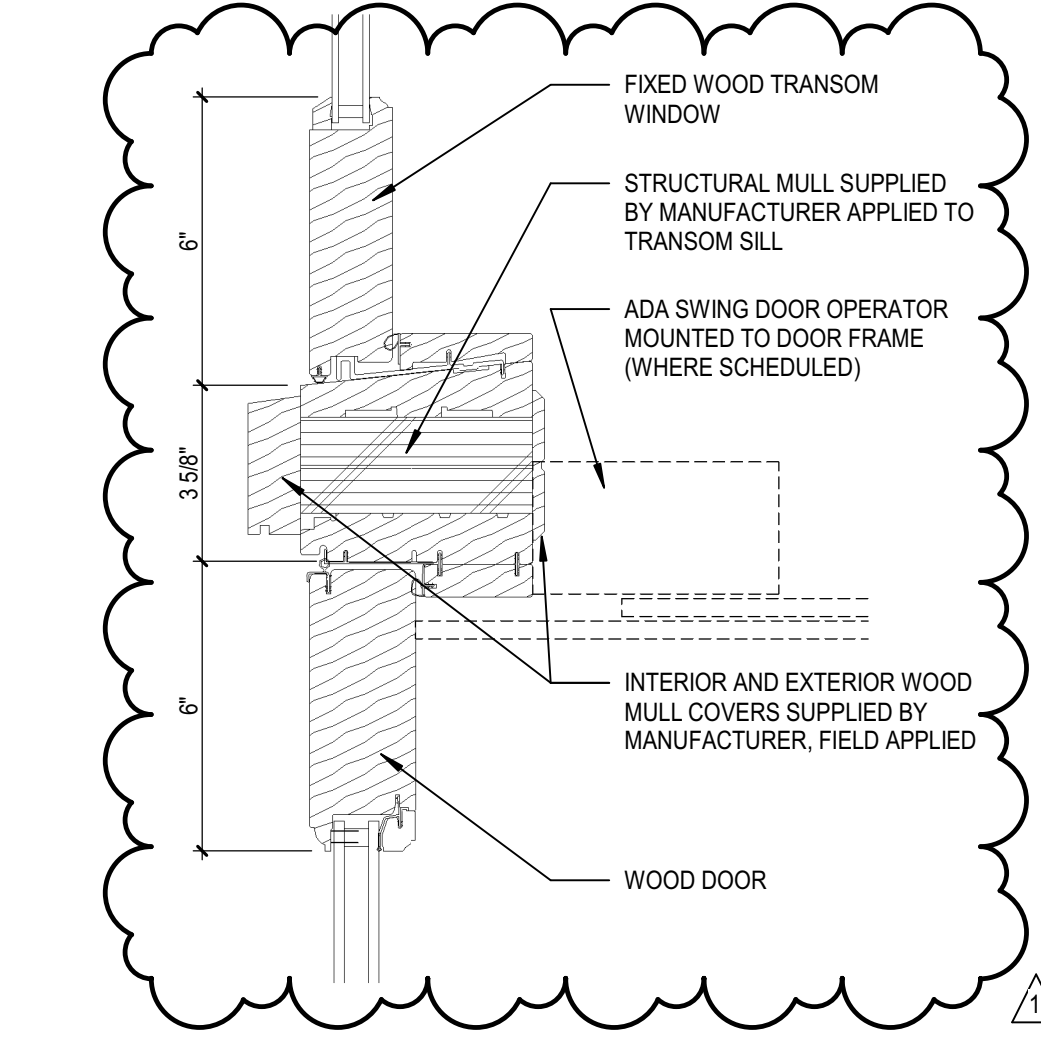
CG CLEAR FLOAT GLASS  
 CTG CLEAR INSULATING GLASS  
 CTG CLEAR TEMPERED FLOAT GLASS  
 CTG CLEAR TEMPERED INSULATING GLASS  
 TTG TINTED TEMPERED FLOAT GLASS

**REVIEWED**  
By Michael Kyno at 1:55 pm, May 31, 2023

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*Robert H. Potter*



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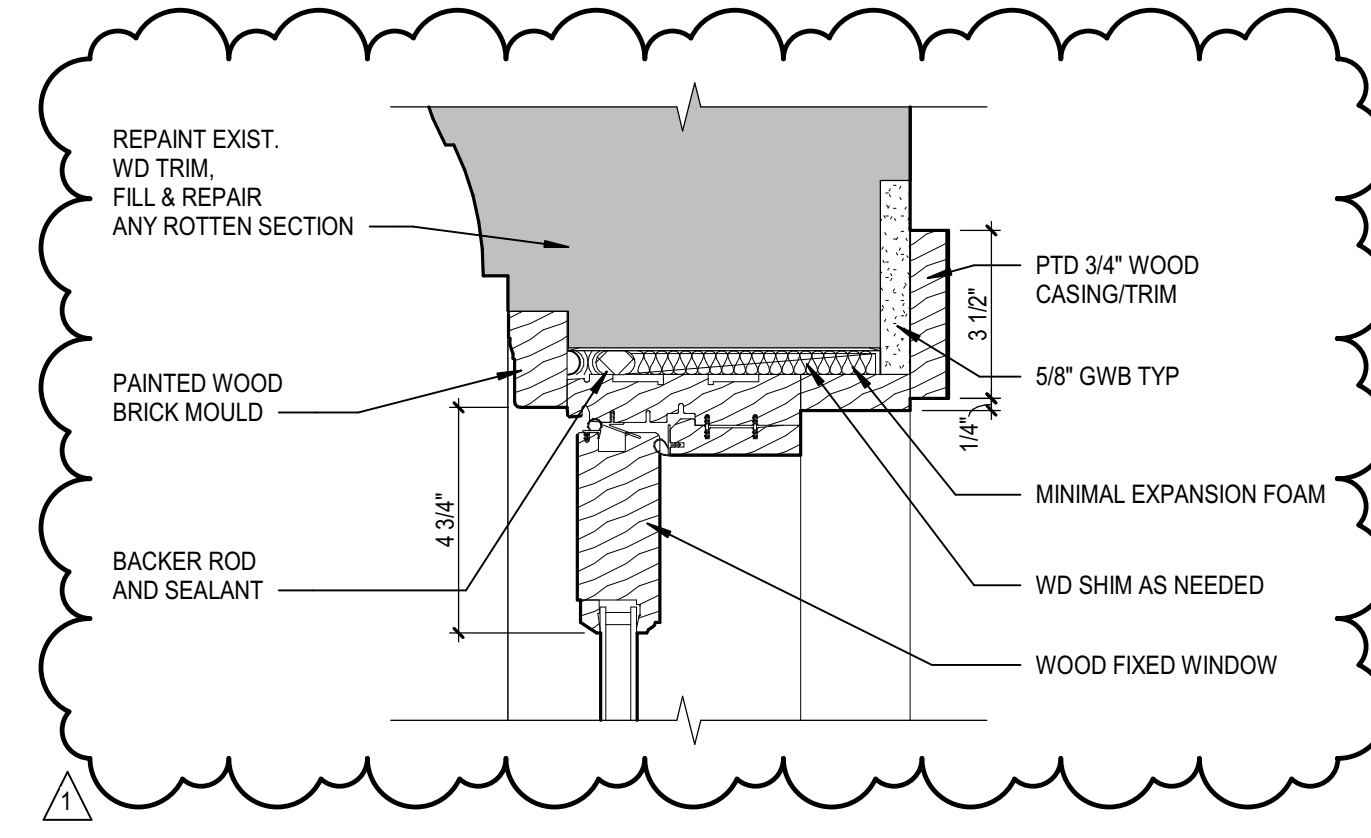
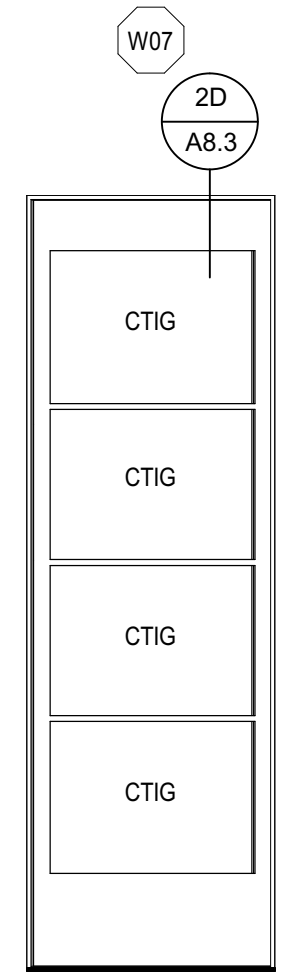
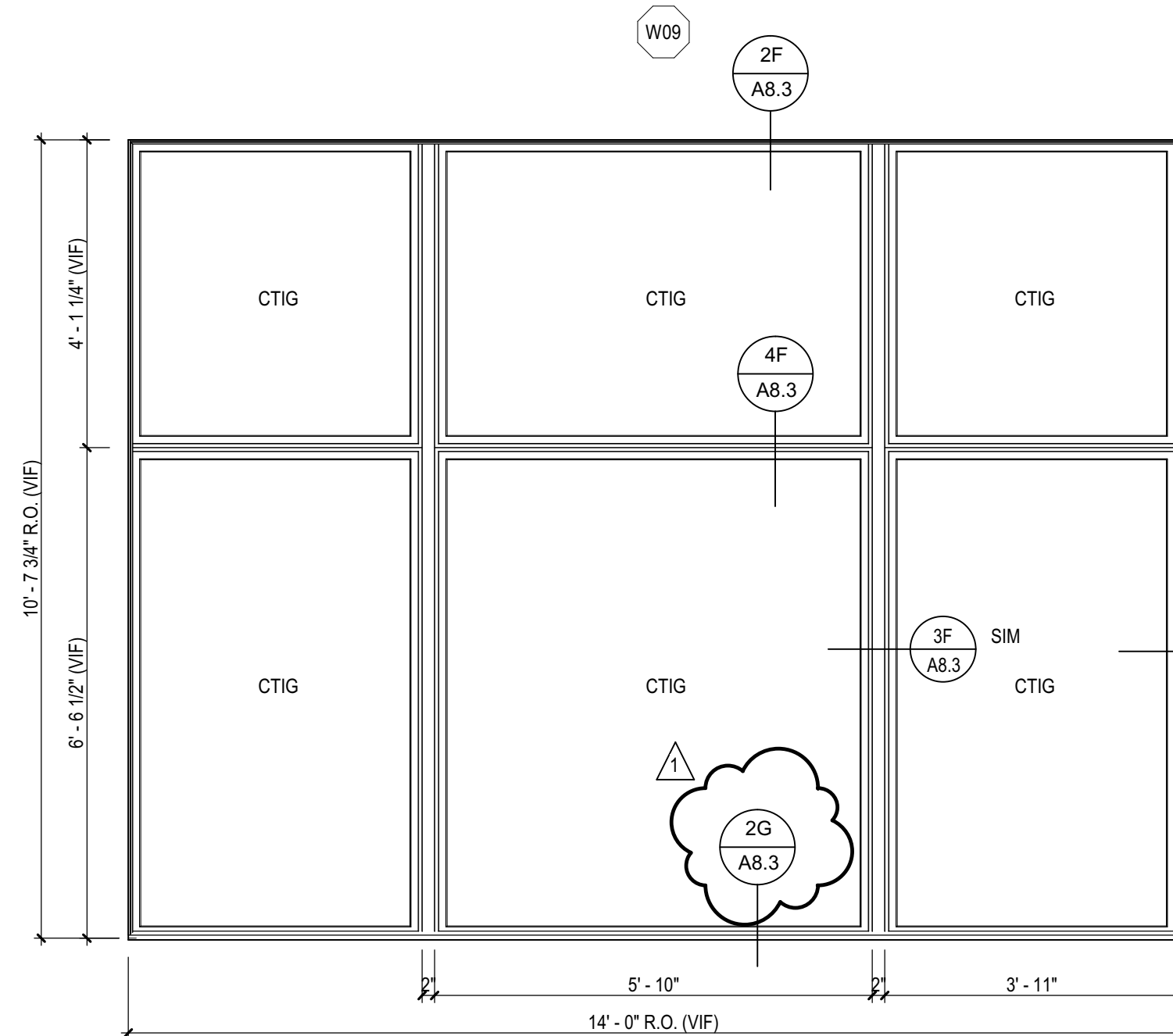
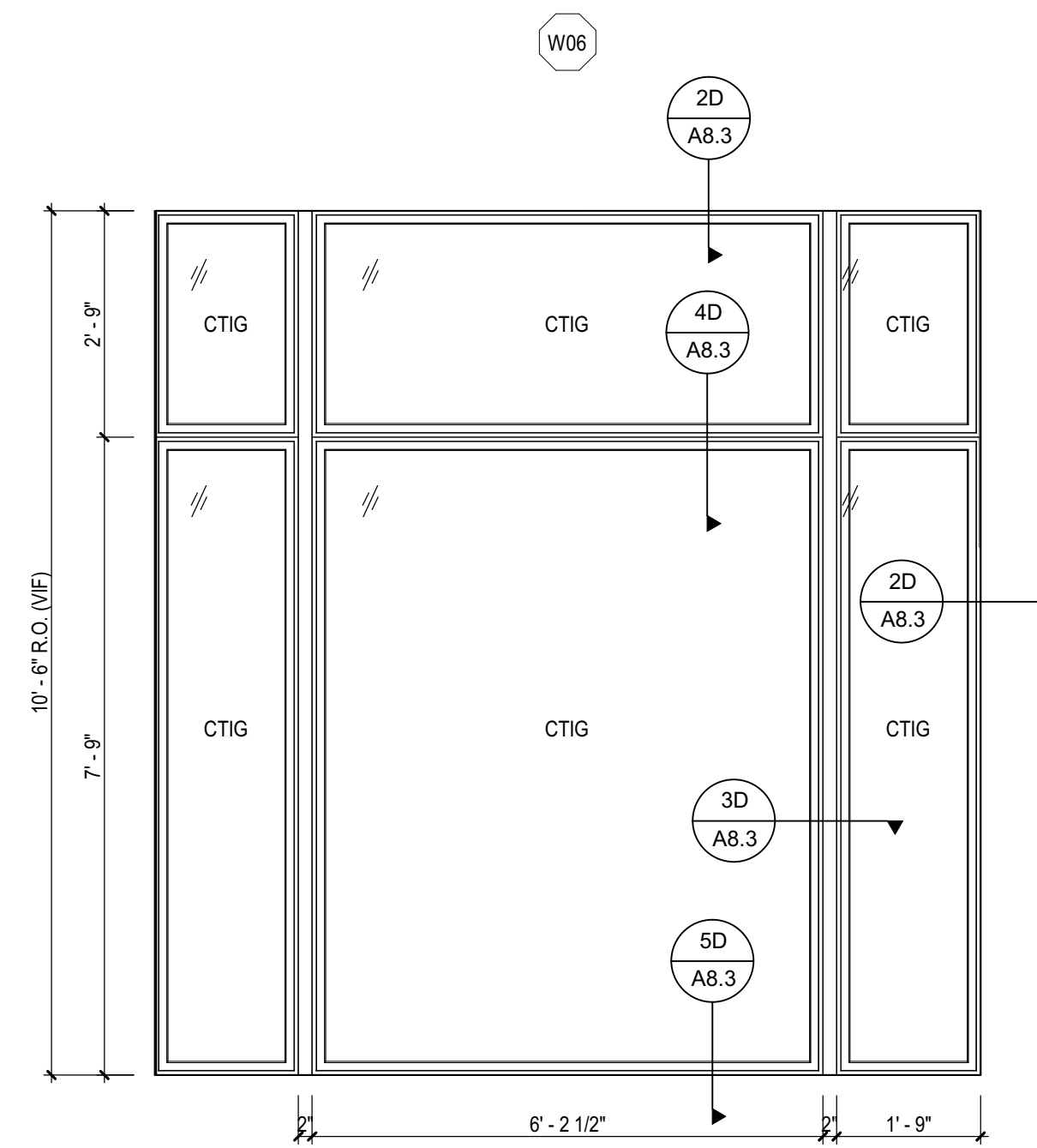
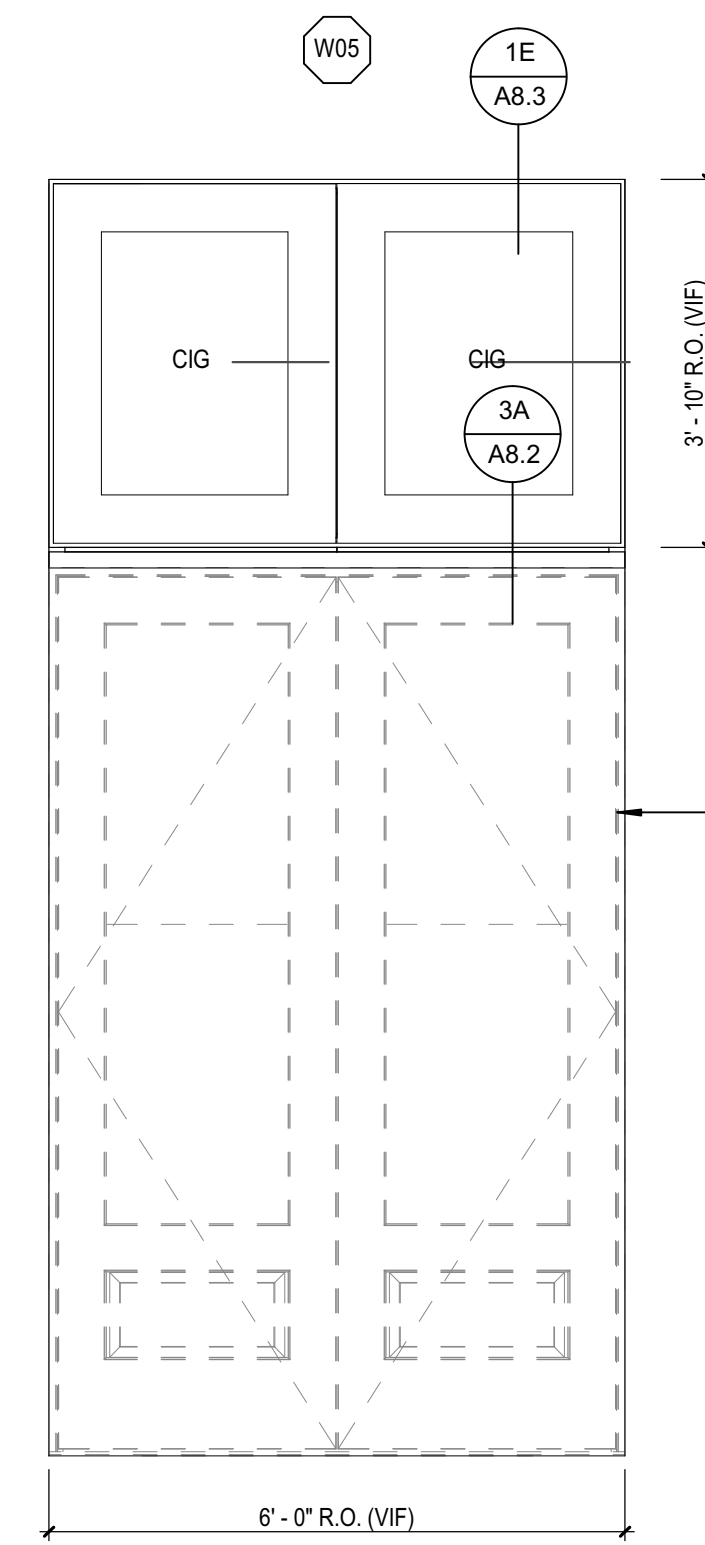
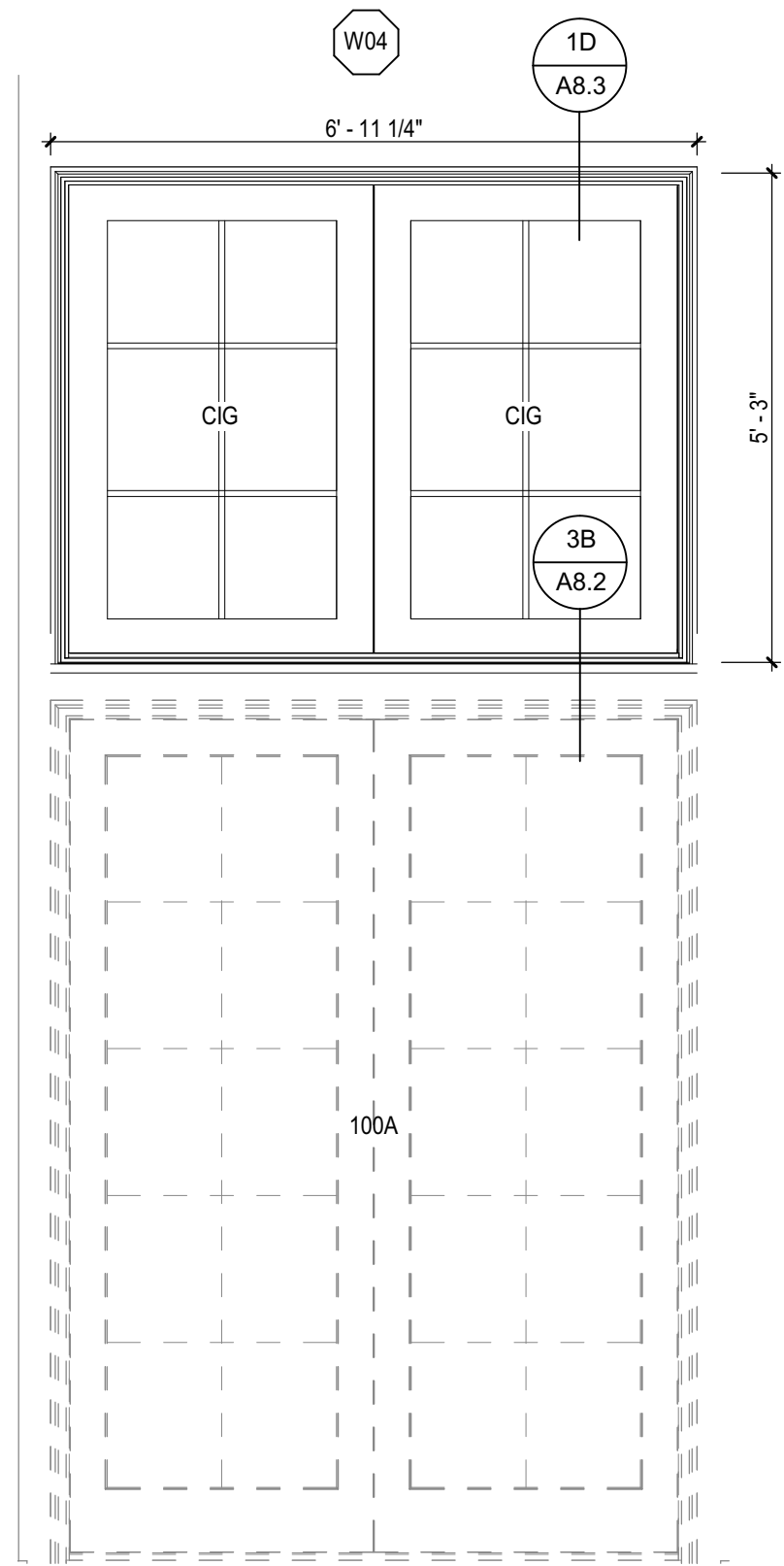
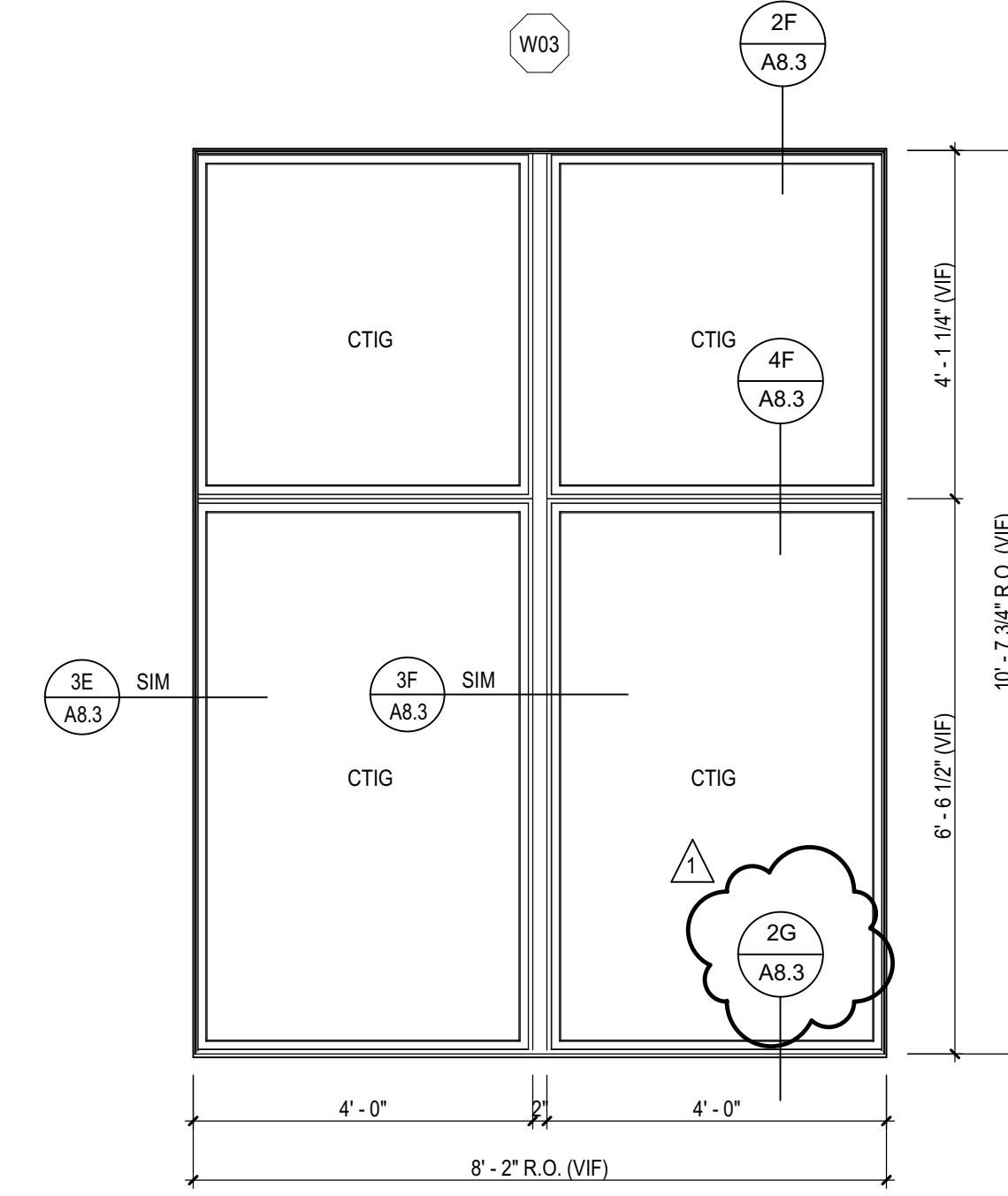
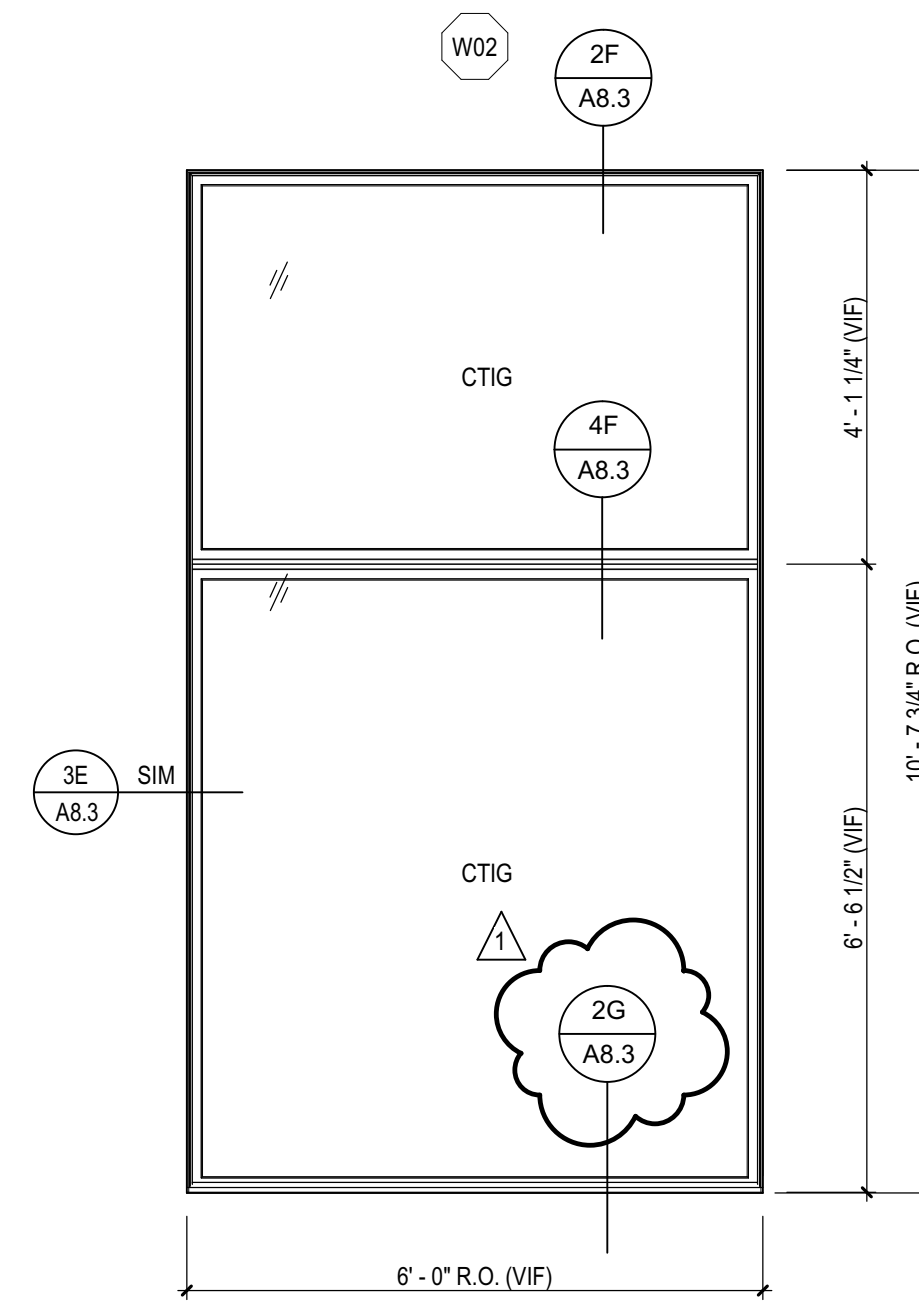
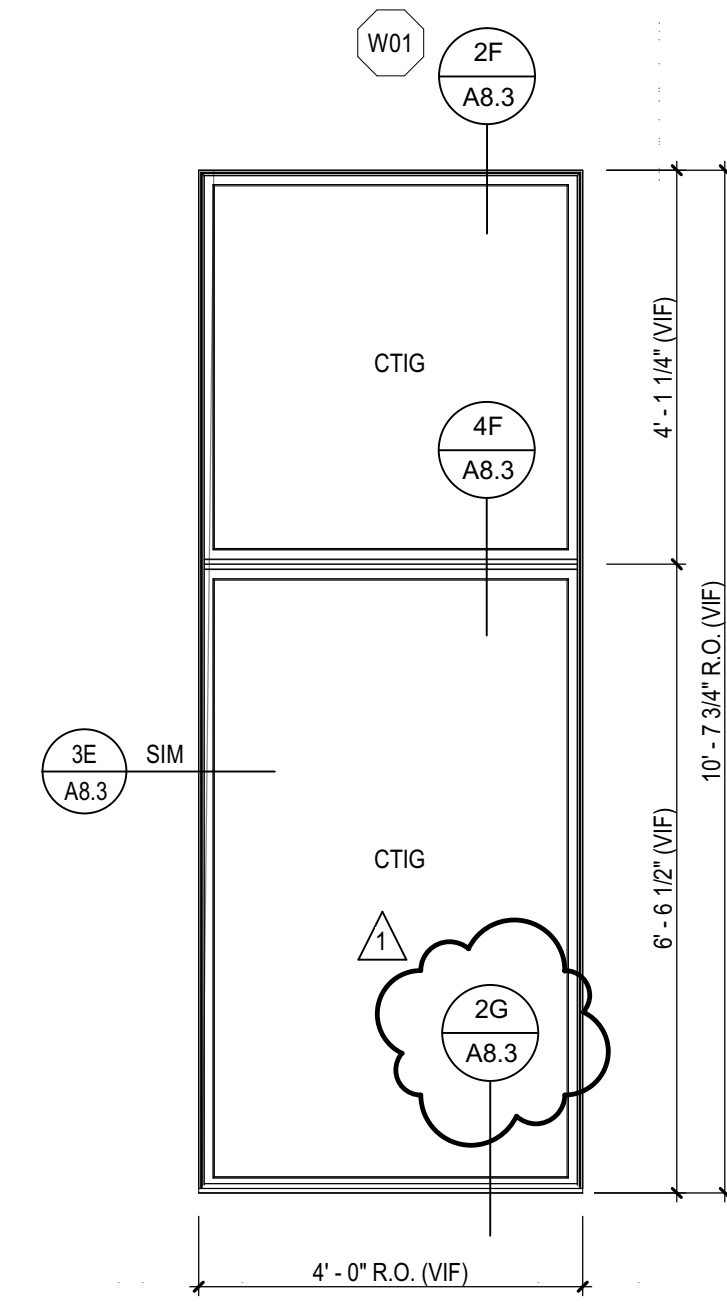
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DOOR SCHEDULE & DETAILS

A8.2

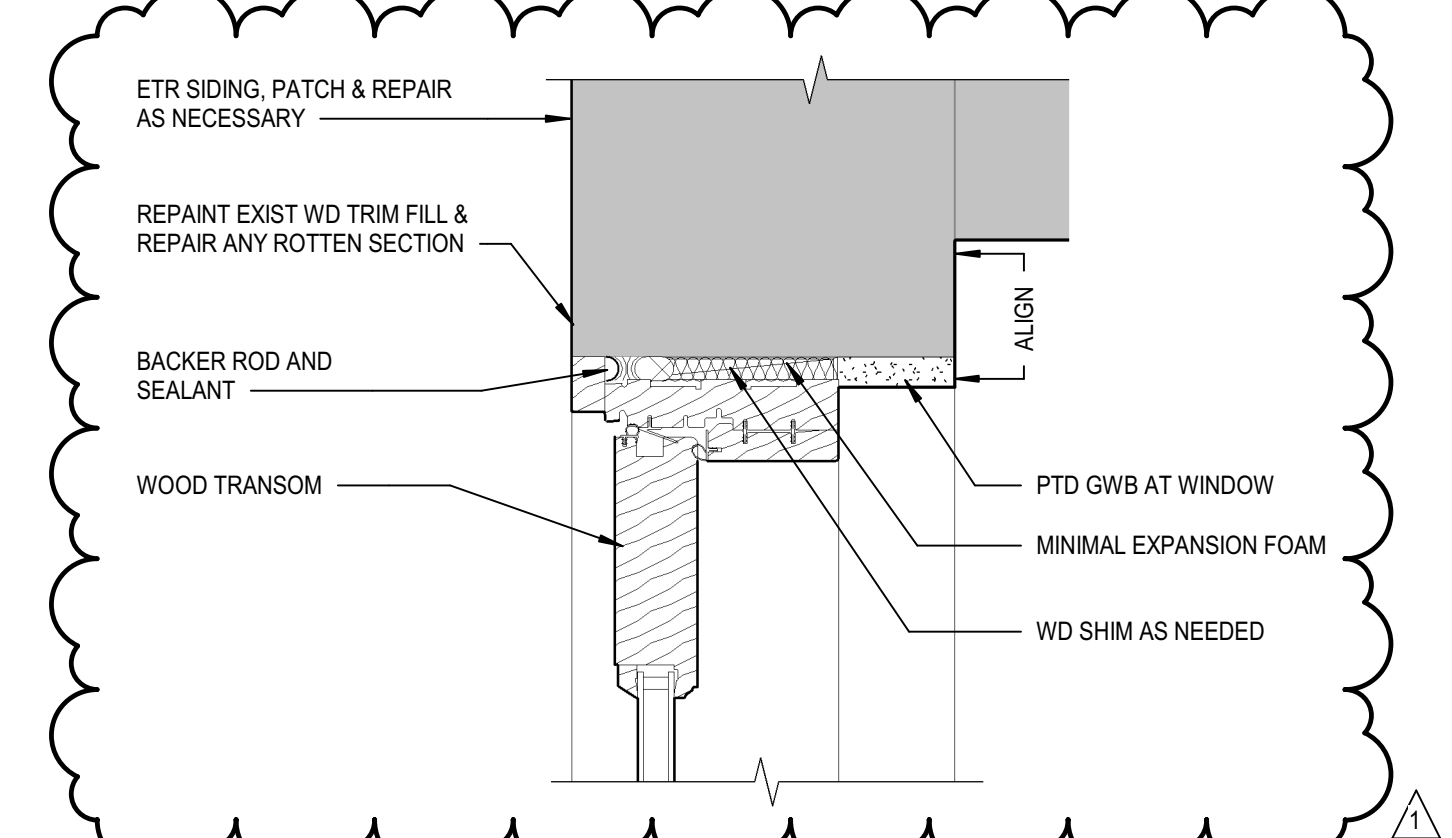


**WINDOW TYPES**

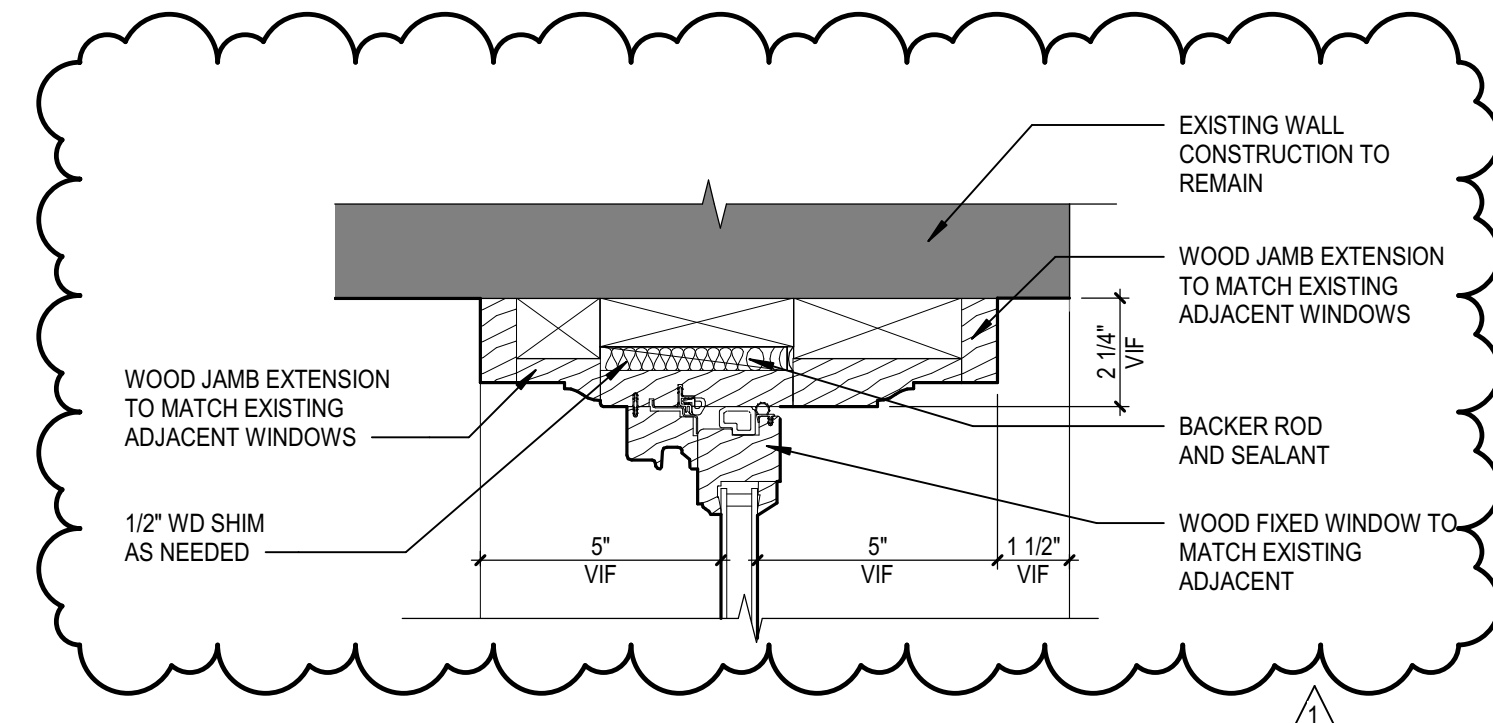
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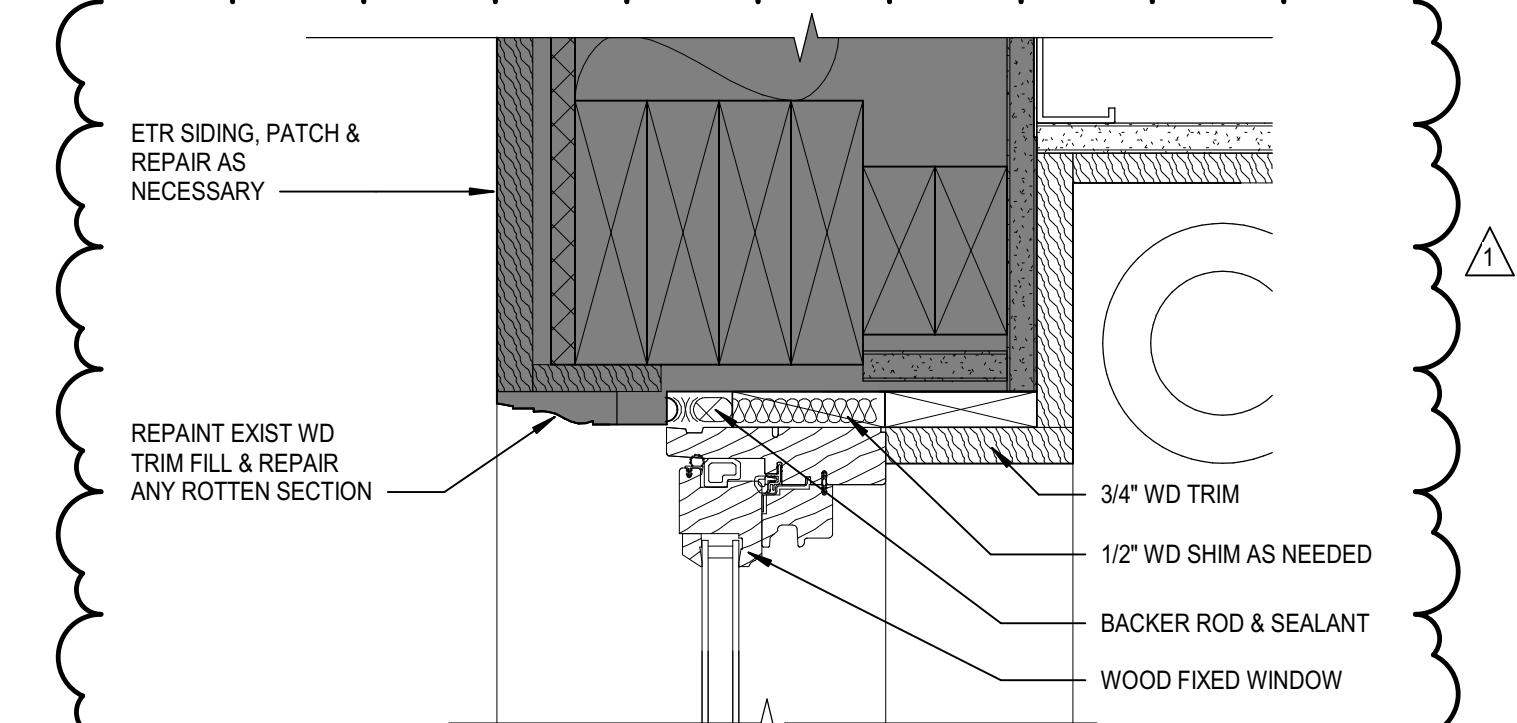
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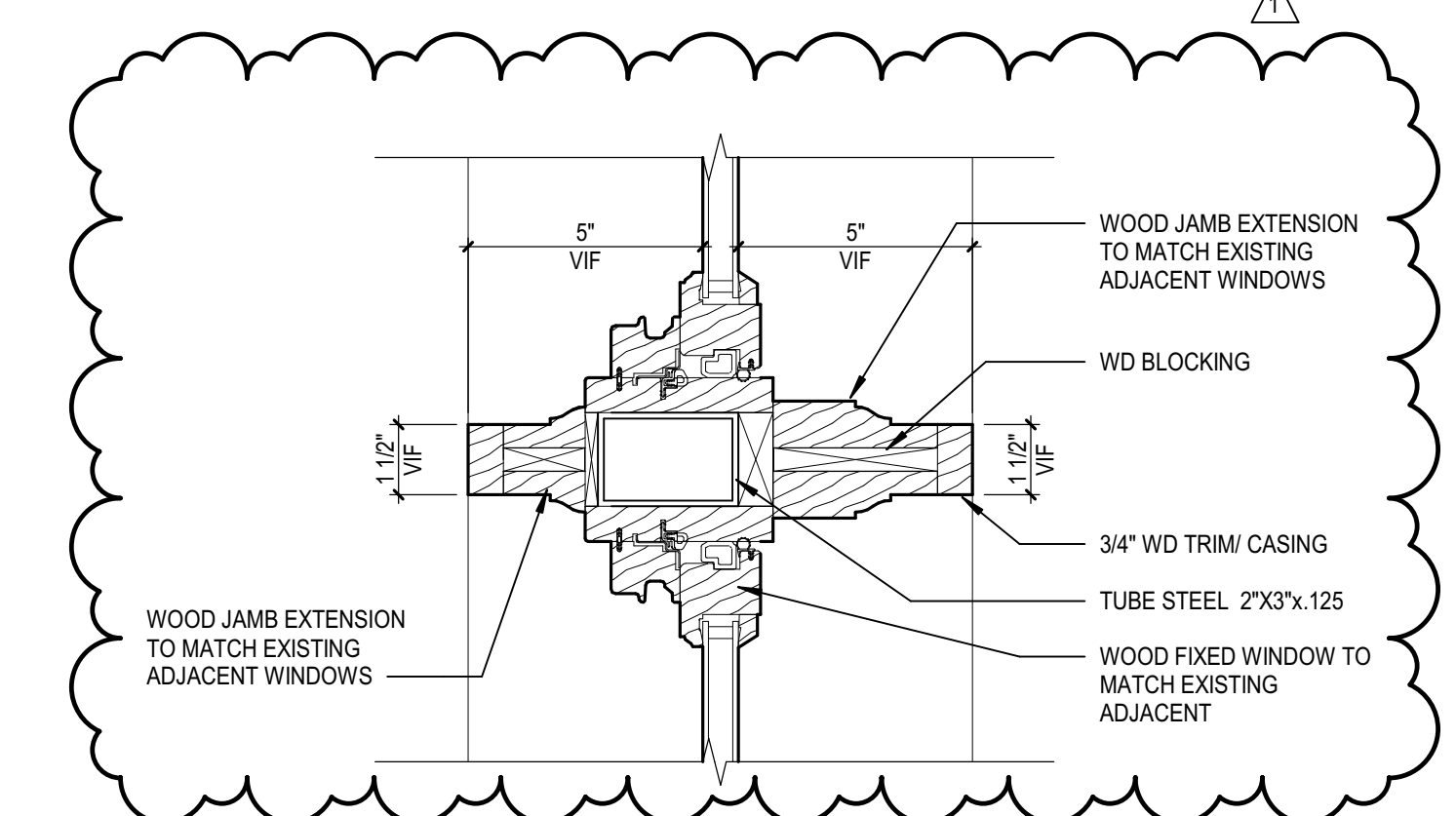
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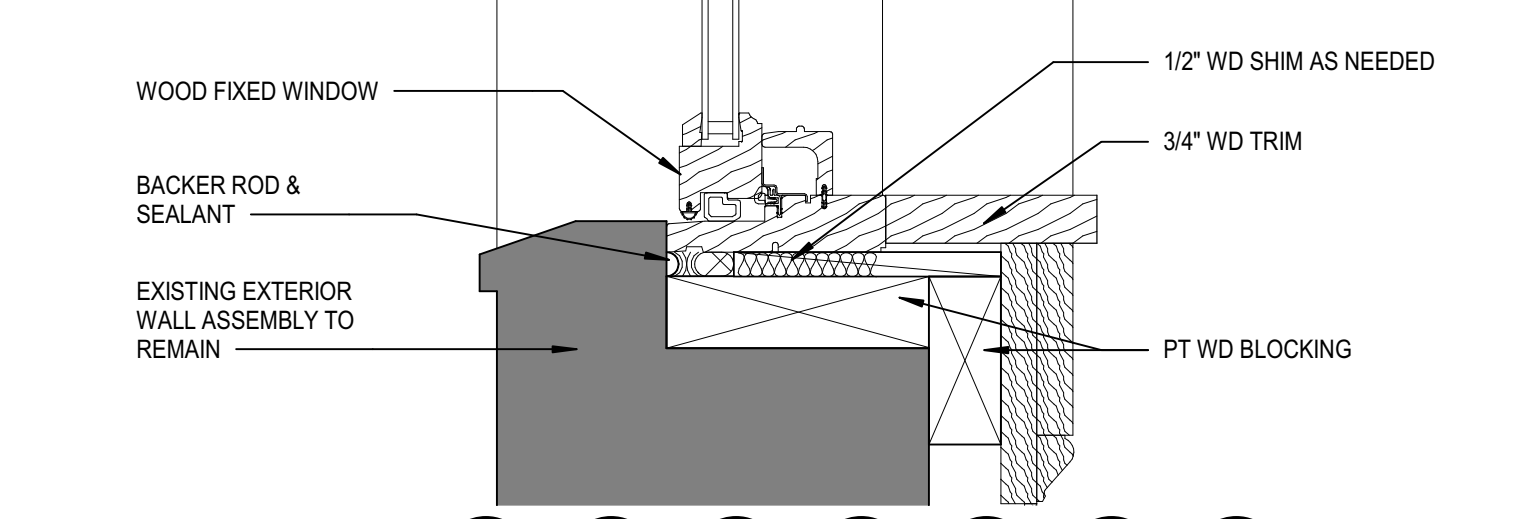
2D WINDOW HEAD/JAMB @ W06  
SCALE: 3" = 1'-0"



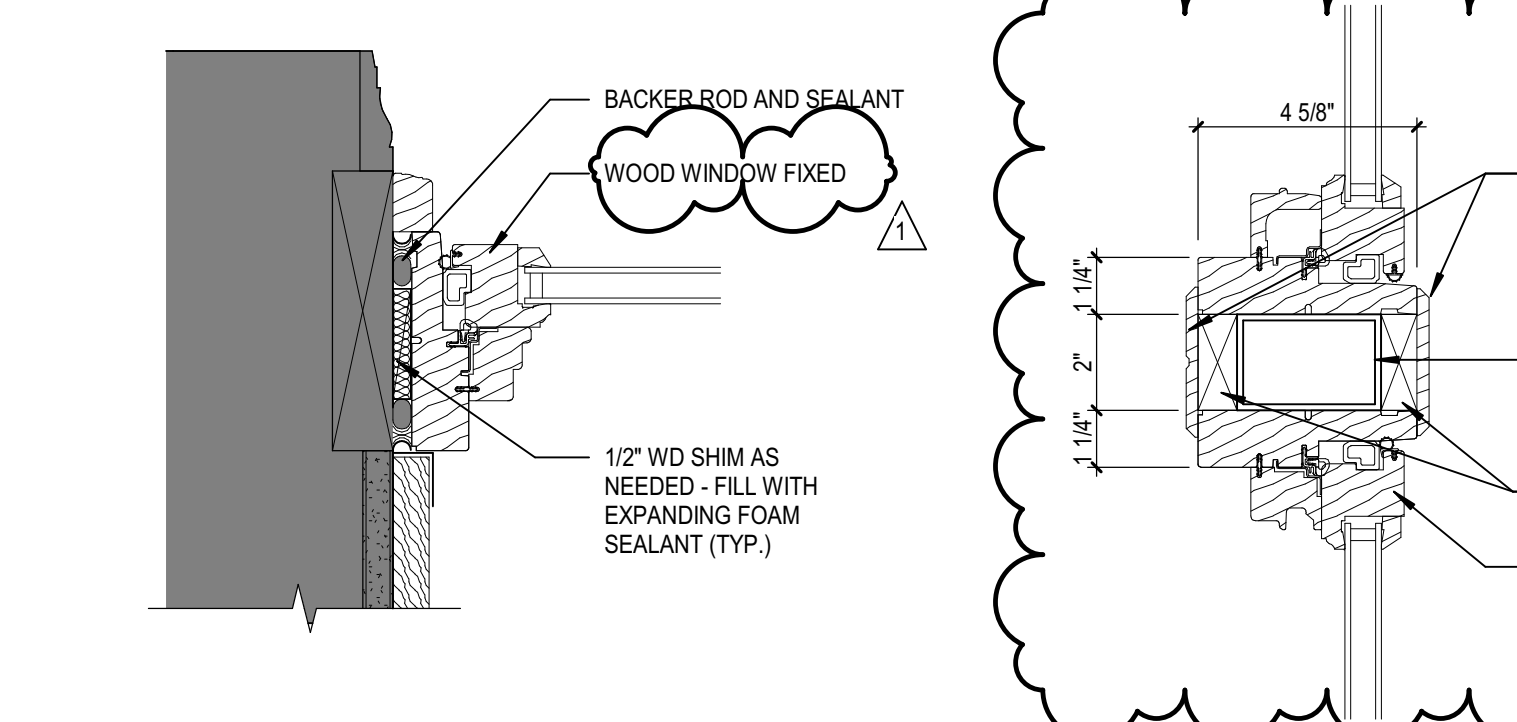
2E WINDOW HEAD @ CARD/TAP RM  
SCALE: 3" = 1'-0"



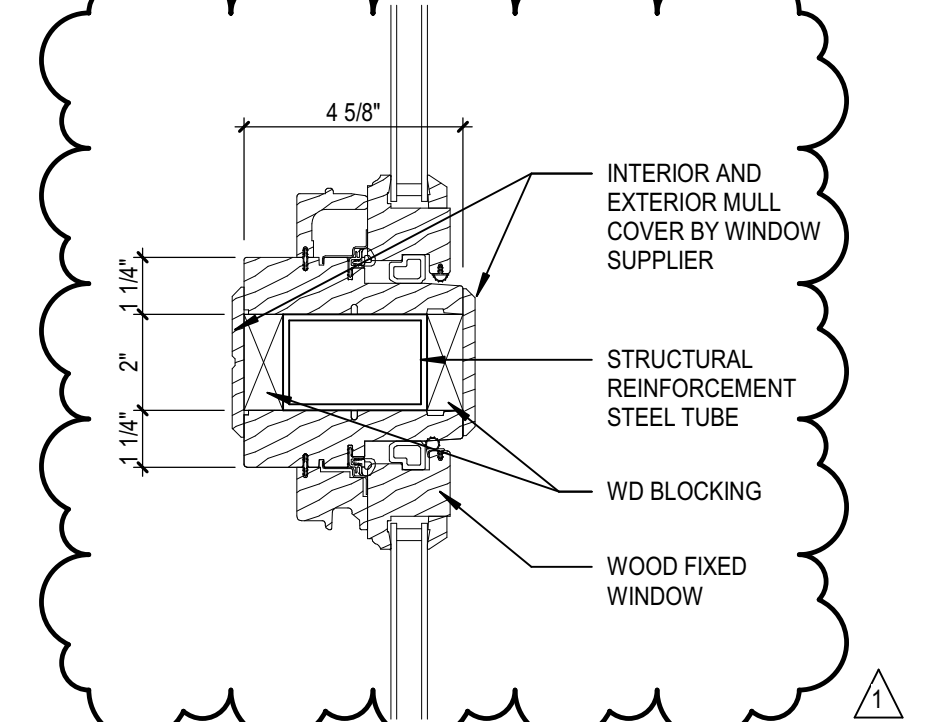
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SCALE: 3" = 1'-0"



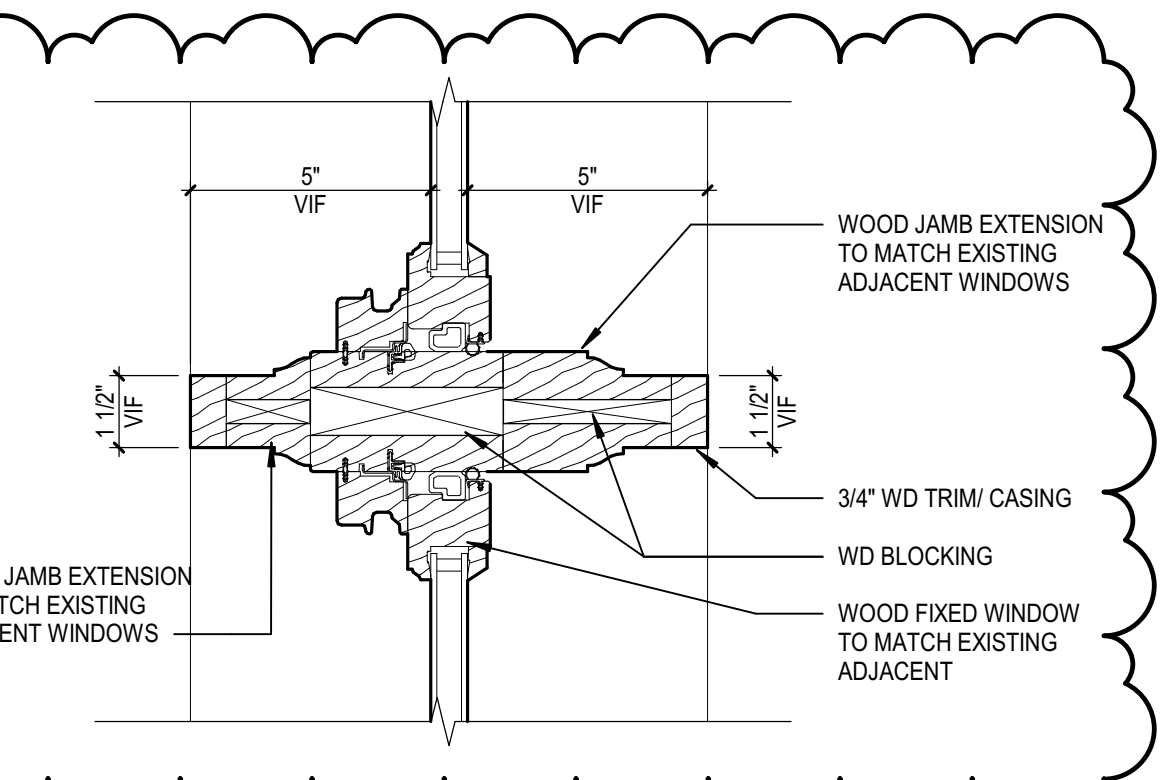
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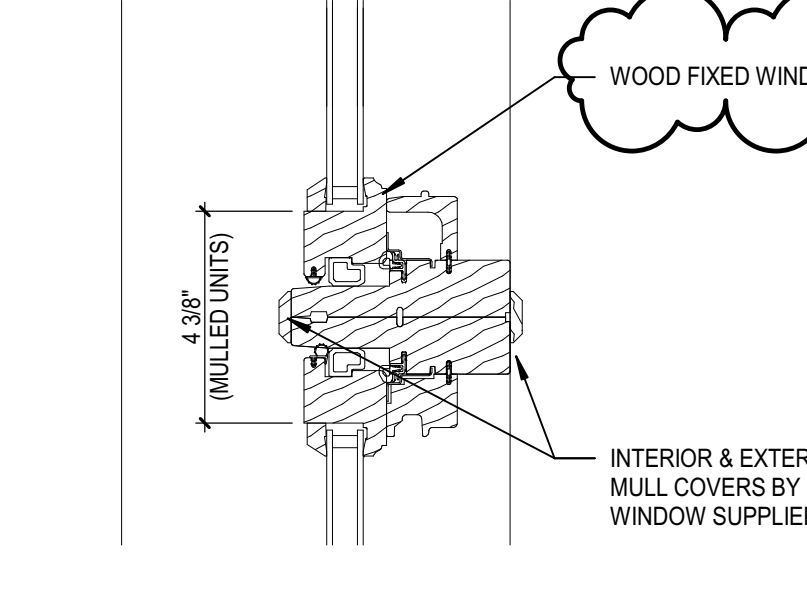
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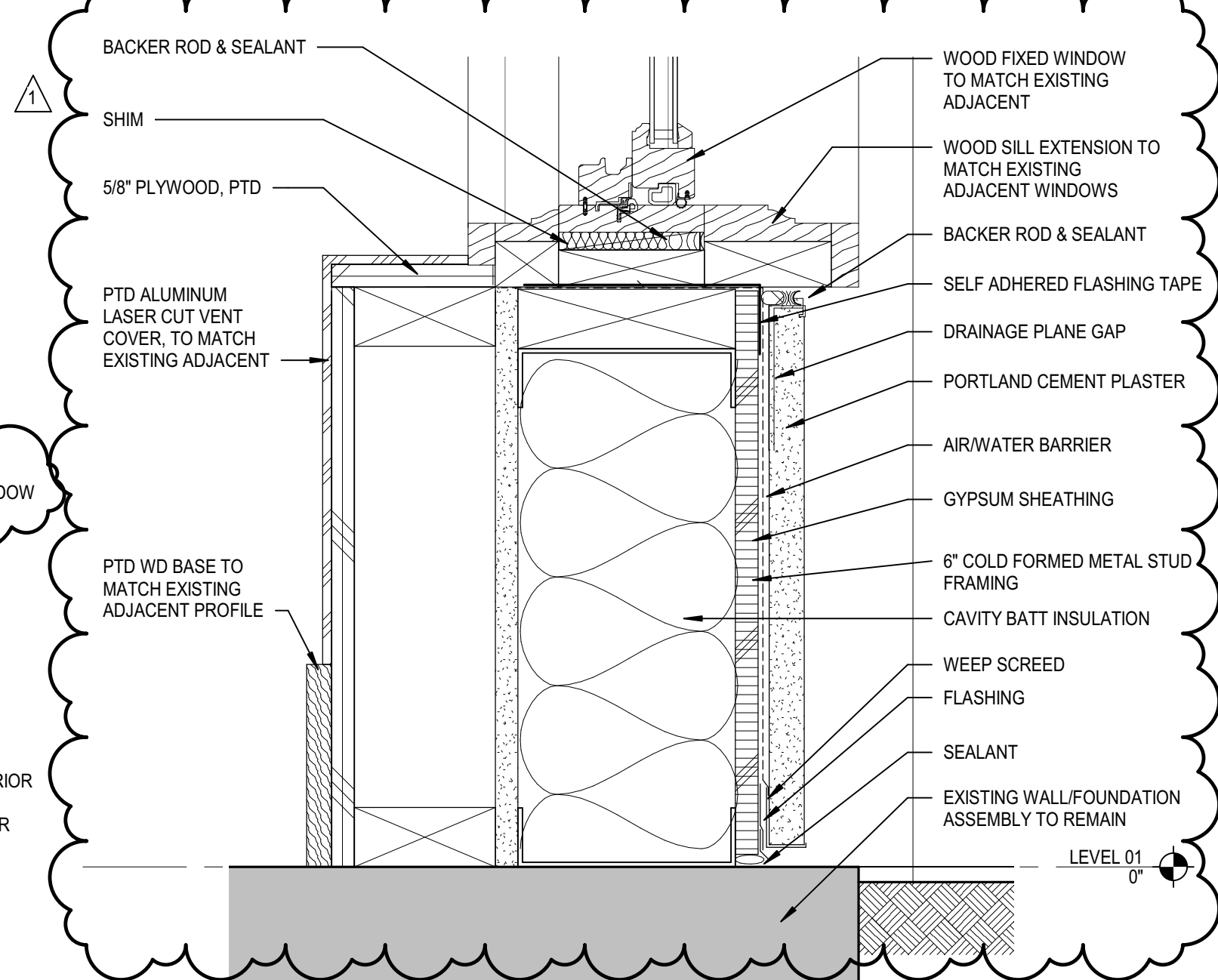
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4D HORIZ. MULL @ W06  
SCALE: 3" = 1'-0"



4F HORIZ. MULL @ CARD/TAP RM  
SCALE: 3" = 1'-0"



5D WINDOW SILL @ W06  
SCALE: 3" = 1'-0"

**REVIEWED**  
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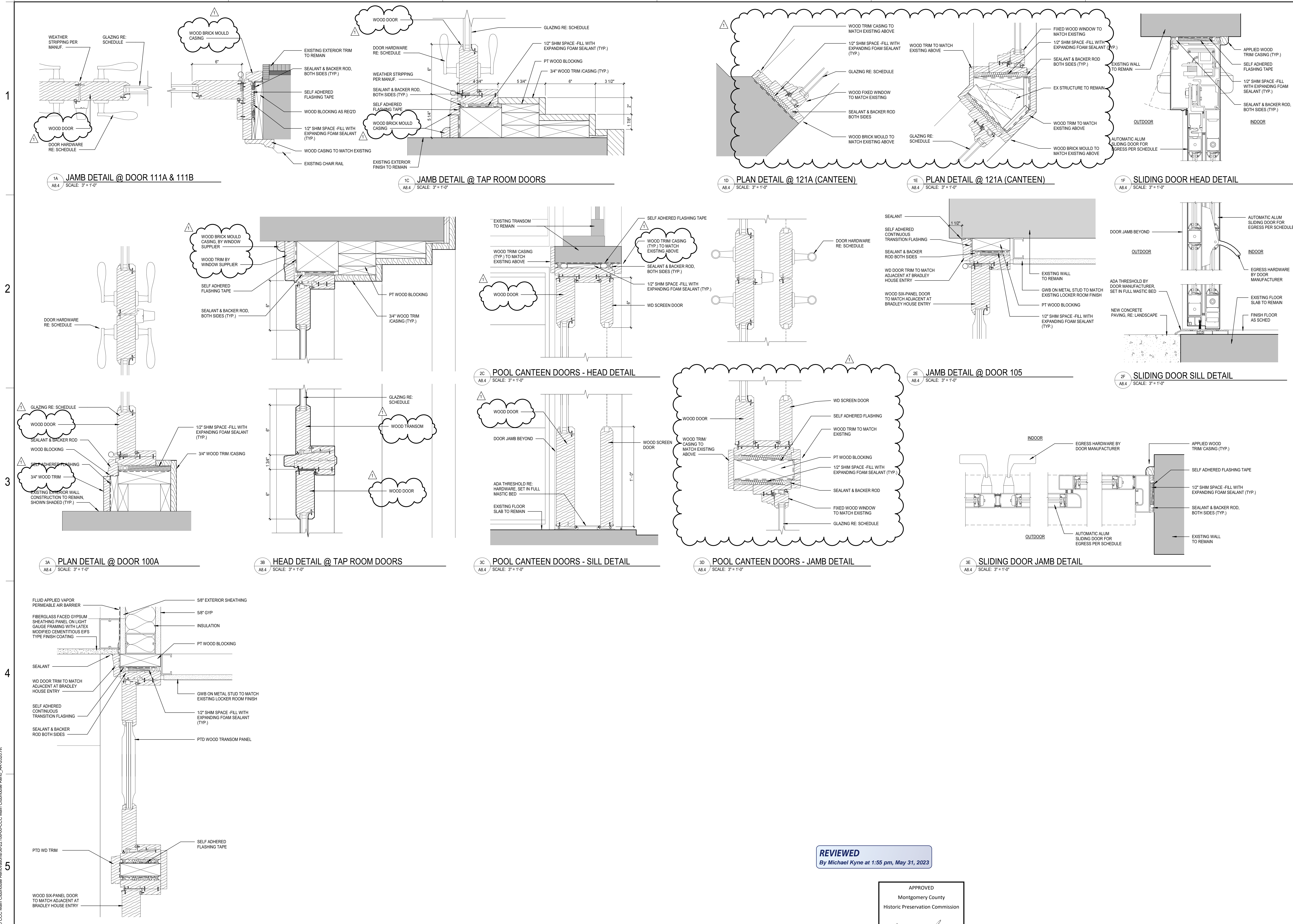
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CLUBHOUSE RENOVATION  
6100 CONNECTICUT AVE  
CHEVY CHASE, MD 20815

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REVISIONS  
1 5/3/2023 HPC Revisions

56-22108-00  
WINDOW SCHEDULE & DETAILS

**A8.3**

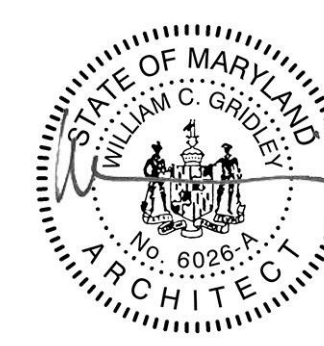




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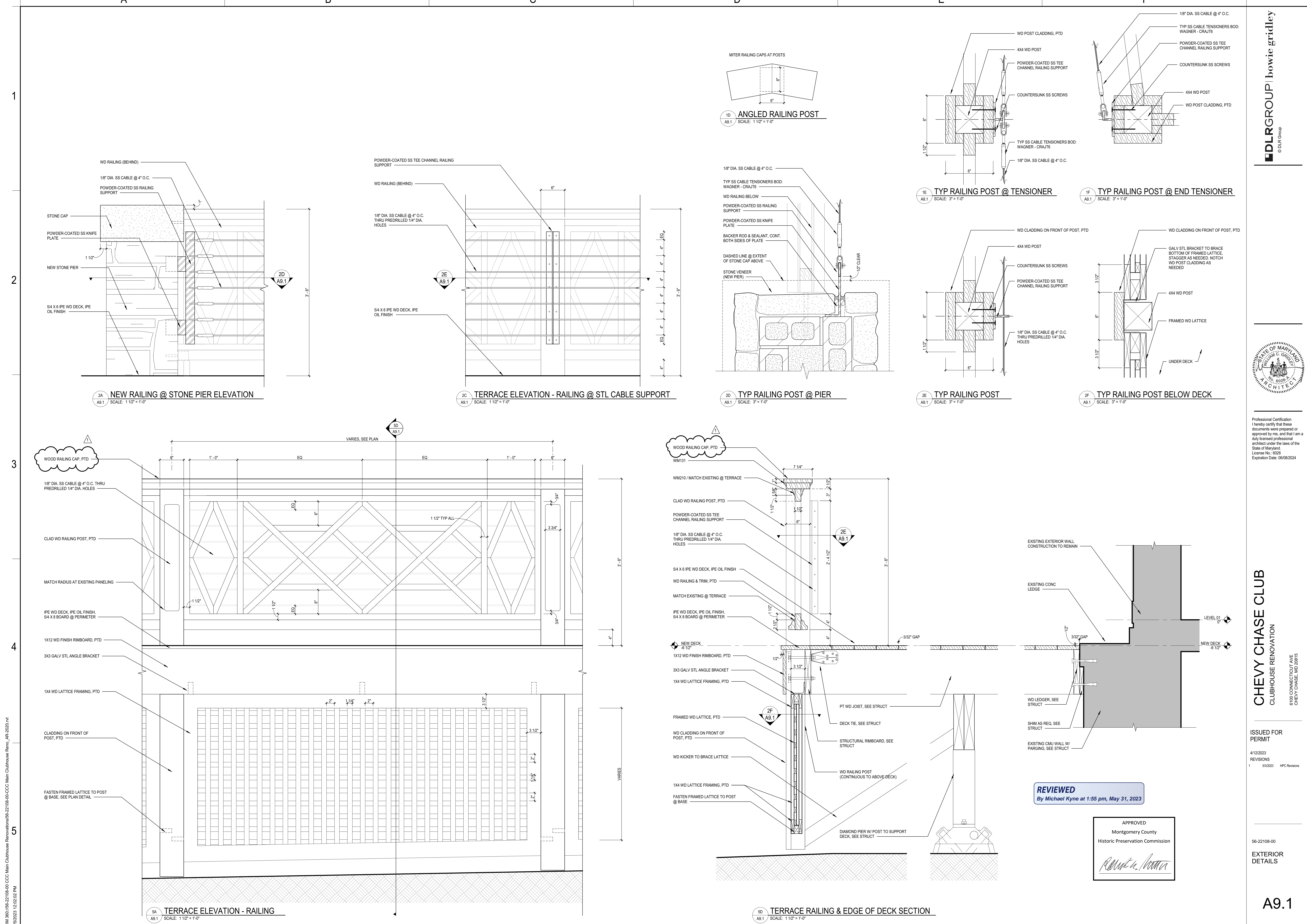
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A

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D

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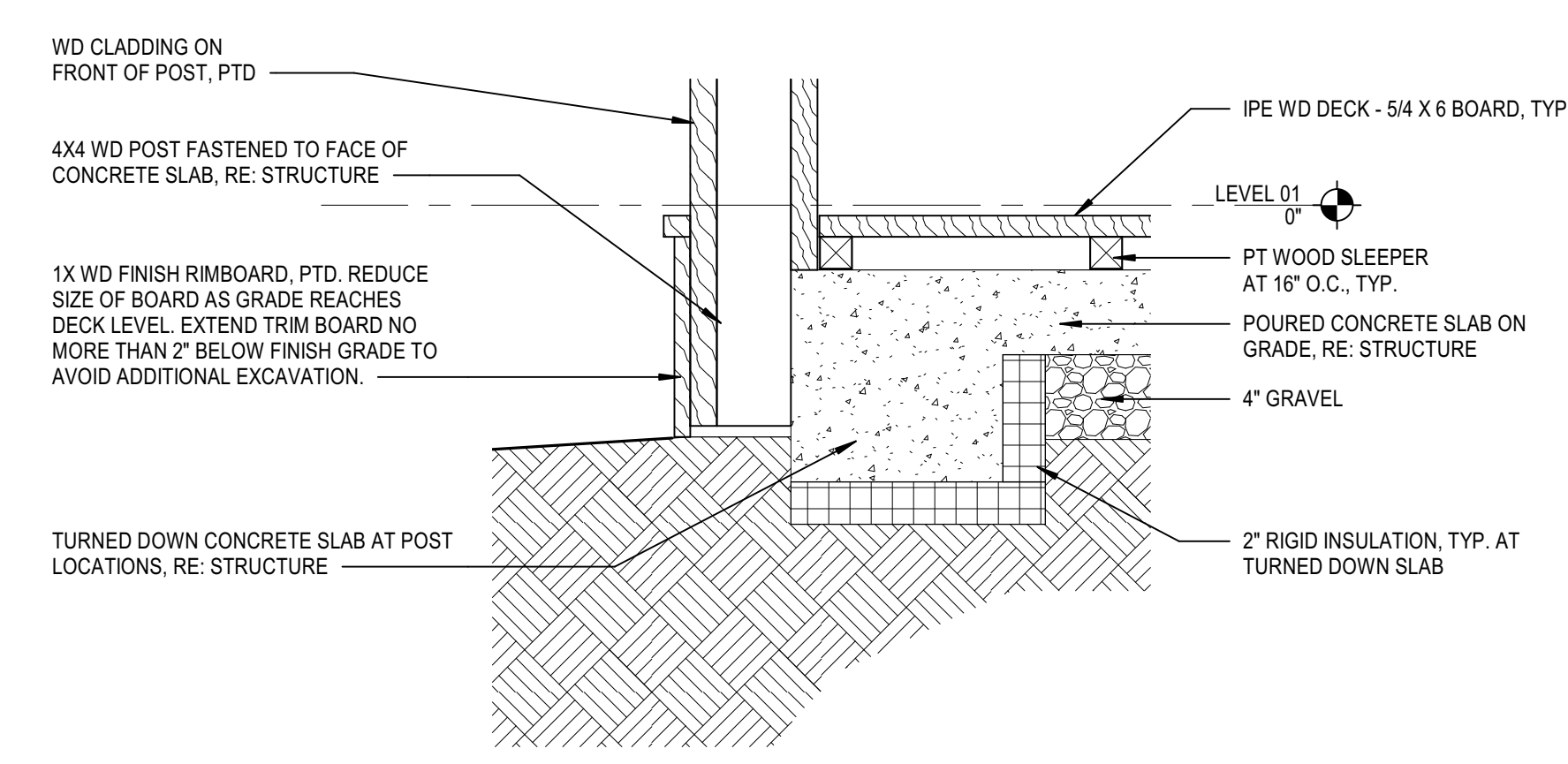
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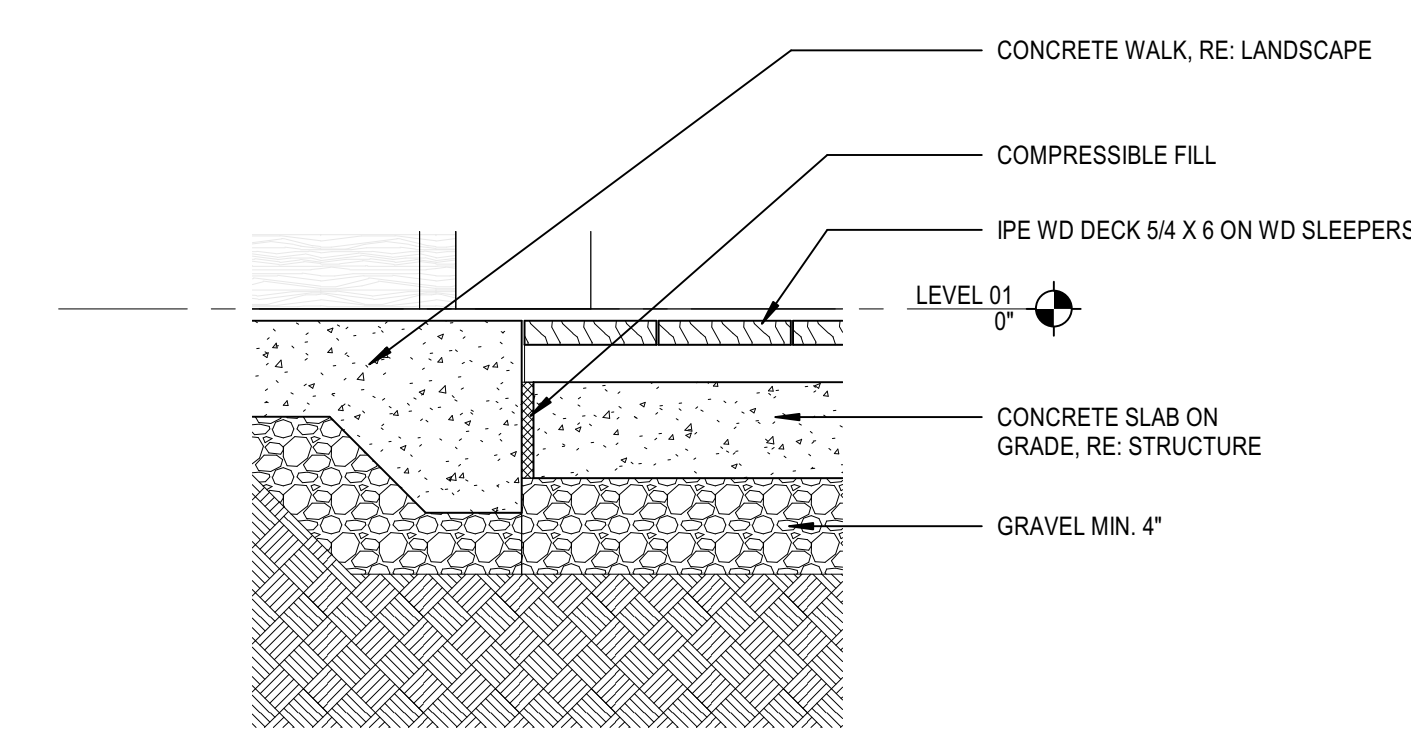
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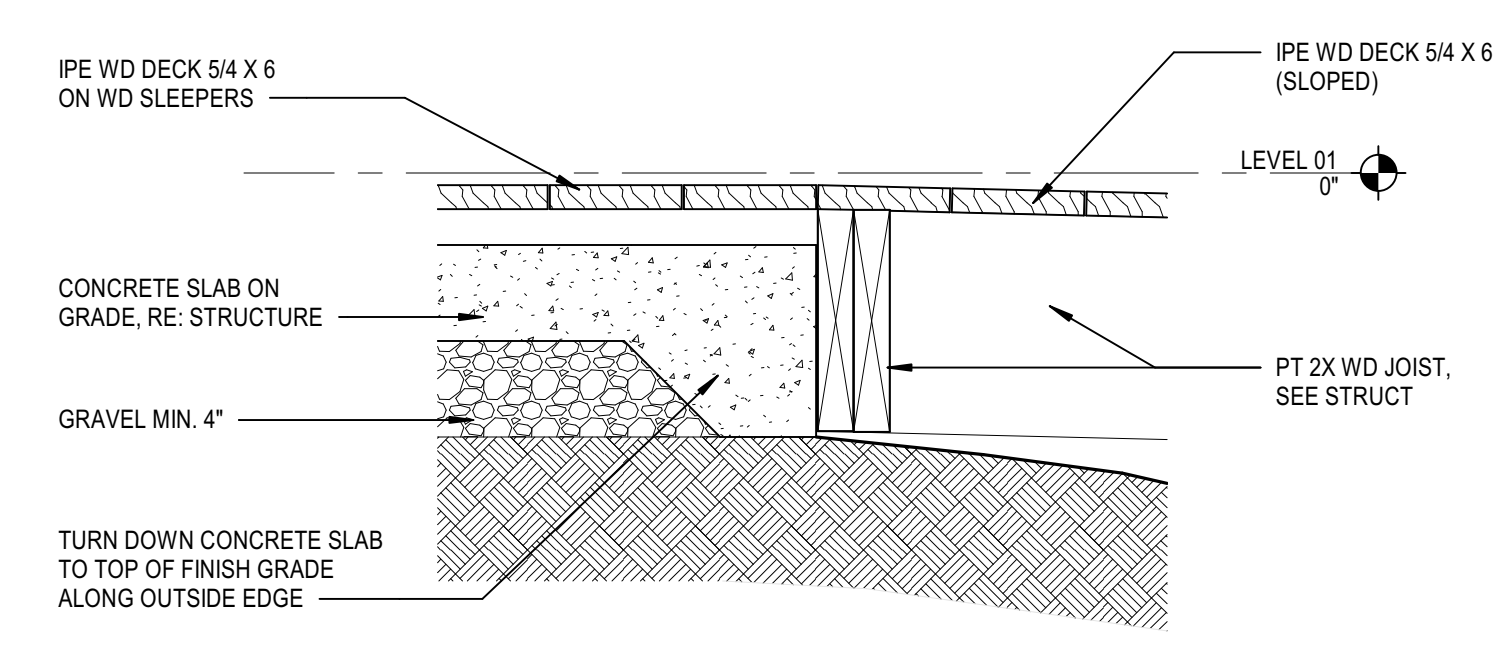
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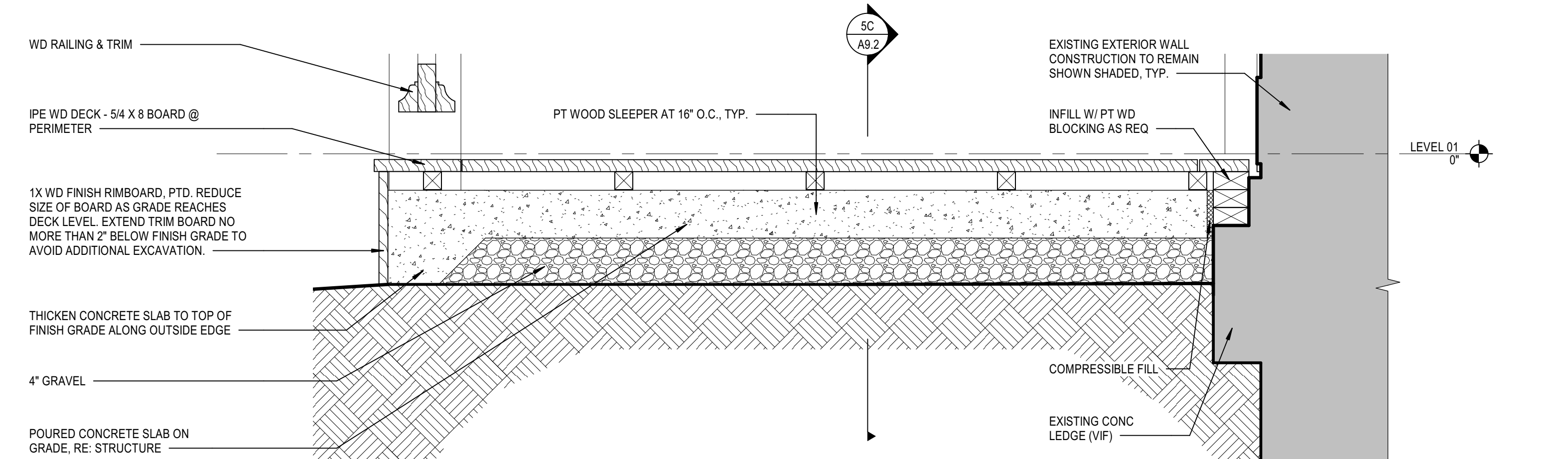
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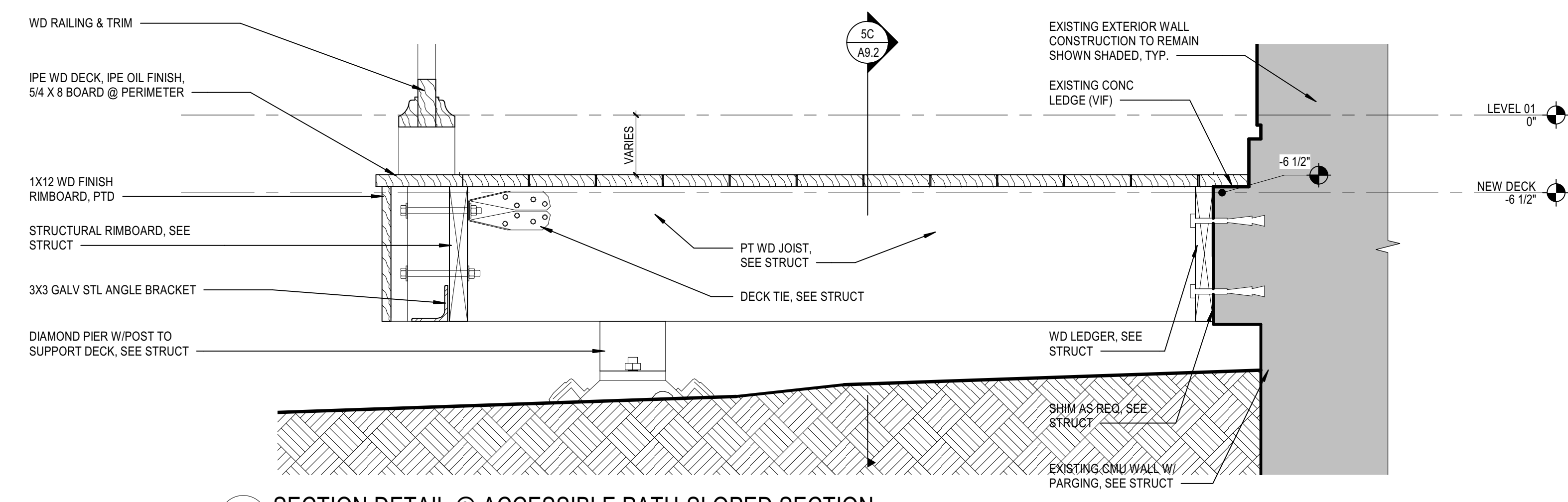
2C SECTION DETAIL @ NEW SIDEWALK  
SCALE: 1 1/2" = 1'-0"



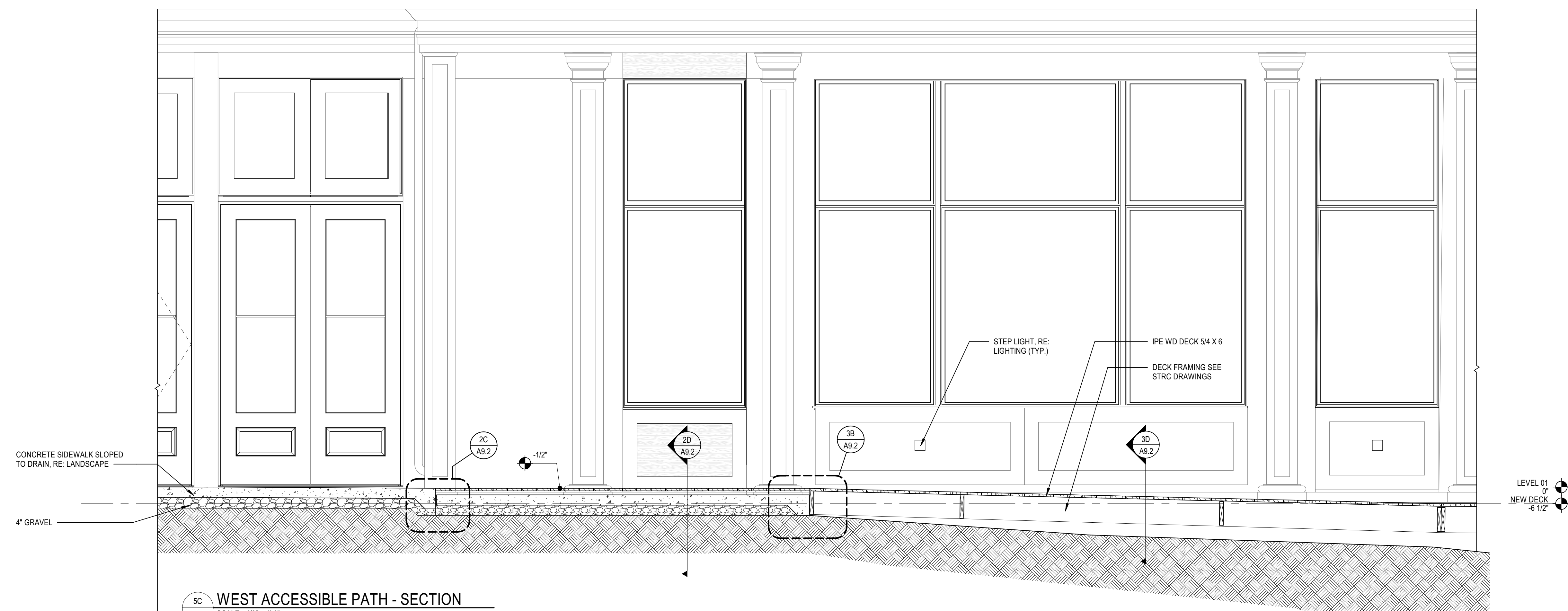
3B SECTION DETAIL @ SIDEWALK / DECK  
SCALE: 1 1/2" = 1'-0"



2D SECTION DETAIL @ ACCESSIBLE PATH-SLAB ON GRADE  
SCALE: 1 1/2" = 1'-0"



3D SECTION DETAIL @ ACCESSIBLE PATH-SLOPED SECTION  
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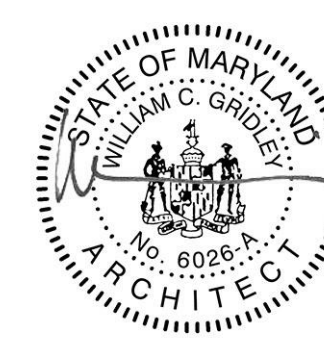


5C WEST ACCESSIBLE PATH - SECTION  
SCALE: 1/2" = 1'-0"

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56-22108-00  
EXTERIOR DETAILS

A9.2

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Suite 200  
Potomac Falls, VA 20165  
(703) 523-0200  
LE Project # 22-051 LE Project Engineer: DT  
Professional Certification:  
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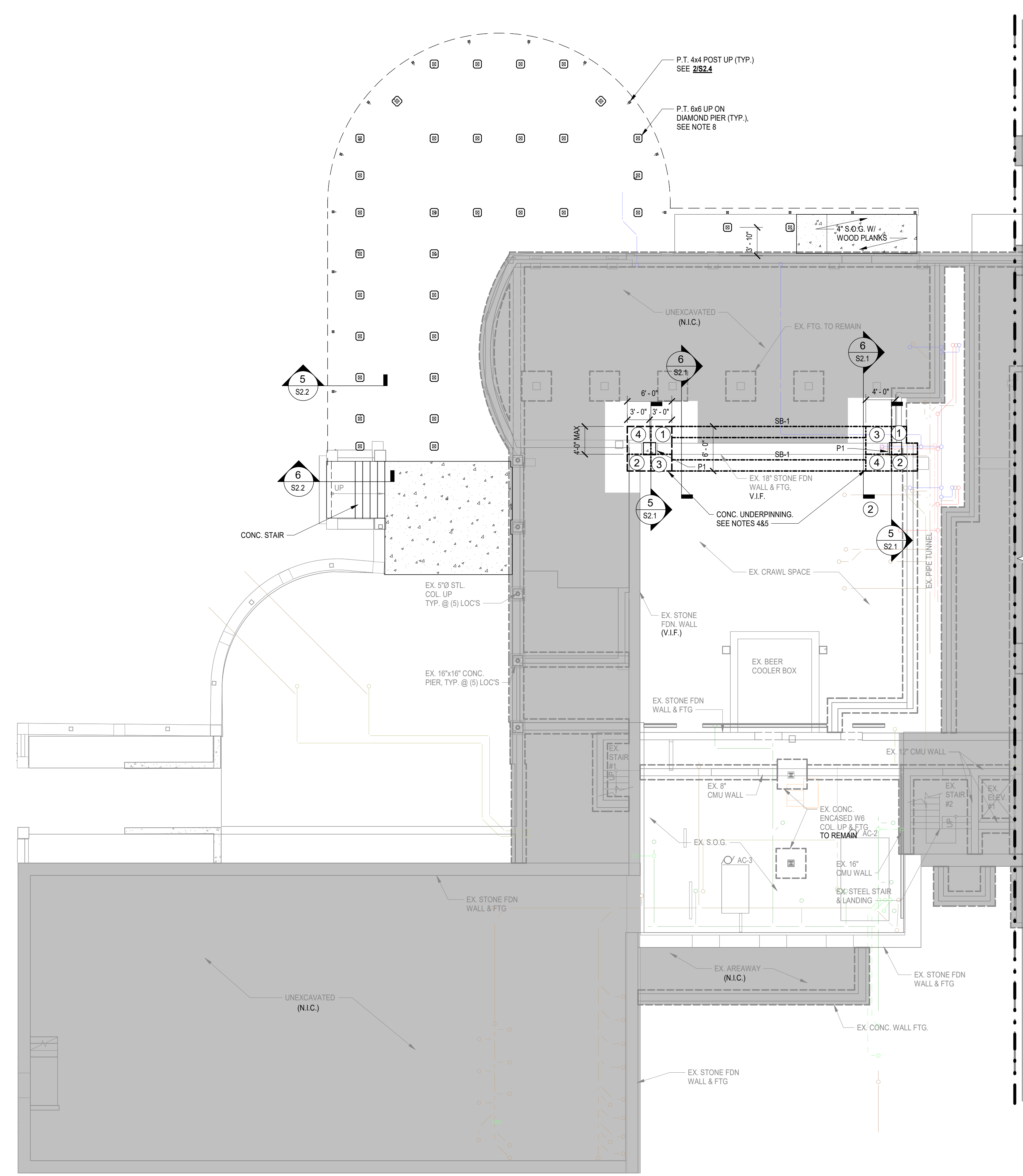
CHEVY CHASE CLUB  
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56-22108-00  
BASEMENT / FOUNDATION PLAN AND LEVEL 01 FLOOR FRAMING PLAN - SOUTH  
S1.0A

1  
2  
3  
4  
5

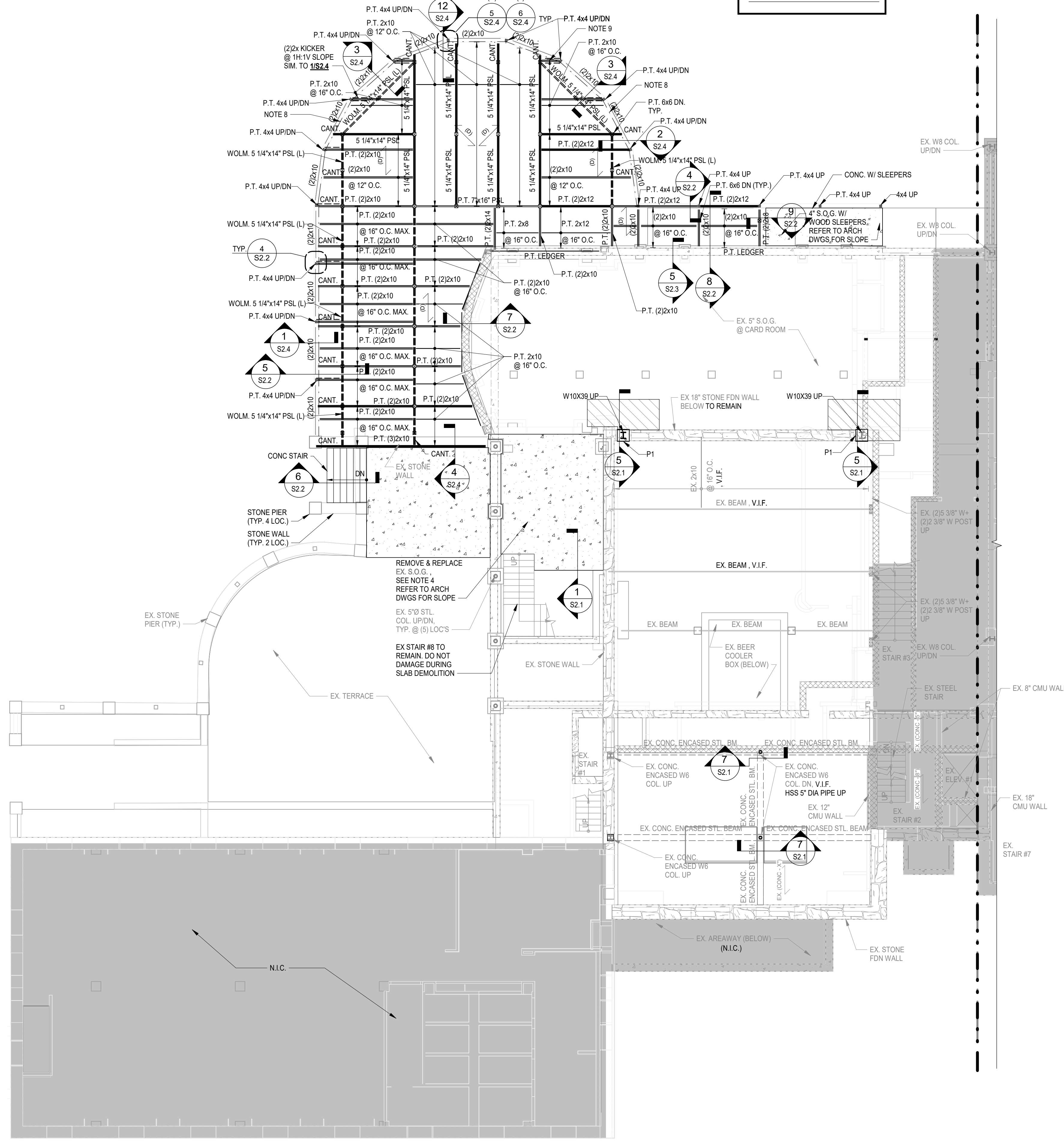
A B C D E F



1 BASEMENT / FOUNDATION PLAN SOUTH  
S1.0A SCALE: 1/8" = 1'-0"

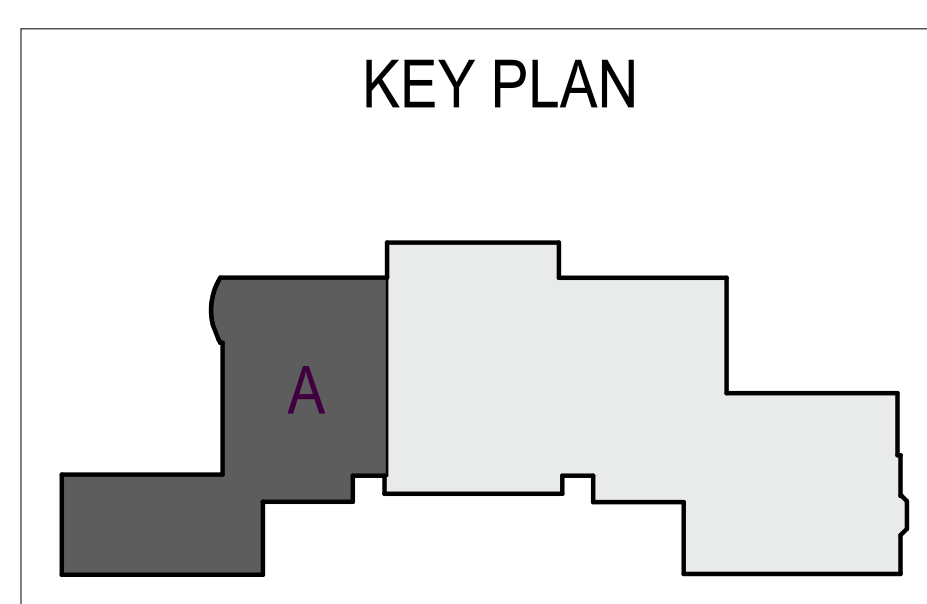
- FOUNDATION NOTES:**
1. ASSUMED ALLOWABLE SOIL BEARING PRESSURE = 4,000 PSF.
  2. P1 DESIGNATES 20"x20" CONCRETE PILASTER
  3. EXISTING CONDITIONS SHOWN ARE ASSUMED AND SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR.
  4. EXISTING WALL TO BE UNDERPINNED. UNDERPINNING OF EXISTING WALLS SHALL BE DONE SEQUENTIALLY WITH EXTREME CARE TO AVOID DAMAGING ANY EXISTING CONSTRUCTION OR DISTRIBUTING ANY EXISTING UTILITIES. (CIRCLED NUMBERS) DENOTE TYPICAL INSTALLATION SEQUENCE. UNDERPINNING SHALL BE A DELEGATED DESIGN PREPARED BY CONTRACTORS UNDERPINNING ENGINEER. UNDERPINNING SHOWN ON THE STRUCTURAL DRAWINGS IS CONCEPTUAL. FINAL UNDERPINNING DESIGN SHALL BE DETERMINED BY THE CONTRACTOR'S UNDERPINNING ENGINEER. REFERENCE DESIGN NOTES FOR MORE INFORMATION.
  5. PROVIDE TEMPORARY SHORING OF EXISTING STRUCTURE AS NEEDED FOR NEW CONSTRUCTION AS DESIGNATED ON PLAN.
  6. NON-LOAD BEARING WALLS ARE SHOWN ONLY FOR CLARITY OF NEW STRUCTURAL ELEMENTS. REFER TO ARCHITECTURAL DRAWINGS FOR WALL TYPE, THICKNESS, AND LOCATIONS.
  7. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN.
  8. DIAMOND PIERS ARE TO BE DESIGNED BY A SPECIALTY ENGINEER AND SHALL PROVIDE A MINIMUM WORKING COMPRESSIVE CAPACITY OF 8 KIPS USING A MINIMUM 2.0 FACTOR OF SAFETY AND A MINIMUM WORKING UPLIFT CAPACITY OF 1 KIPS USING A MINIMUM 1.5 FACTOR OF SAFETY. REFERENCE DESIGN NOTES FOR ADDITIONAL INFORMATION.
  9. SB-1 DESIGNATES 18"Wx24"D CONCRETE STRAP BEAM REINFORCED WITH (3)#8 T&B w/ #4 TIES @ 10" O.C. BEAM SHALL BE CONSTRUCTED CONCURRENTLY WITH CONCRETE UNDERPINNING AND SHALL BE COMPLETED PRIOR TO INSTALLATION OF THE WALL OPENING.

**TREE PROTECTION TO BE PRIORITIZED. CONDUCT PRE-CONSTRUCTION MEETING BEFORE CONSTRUCTION BEGINS.**



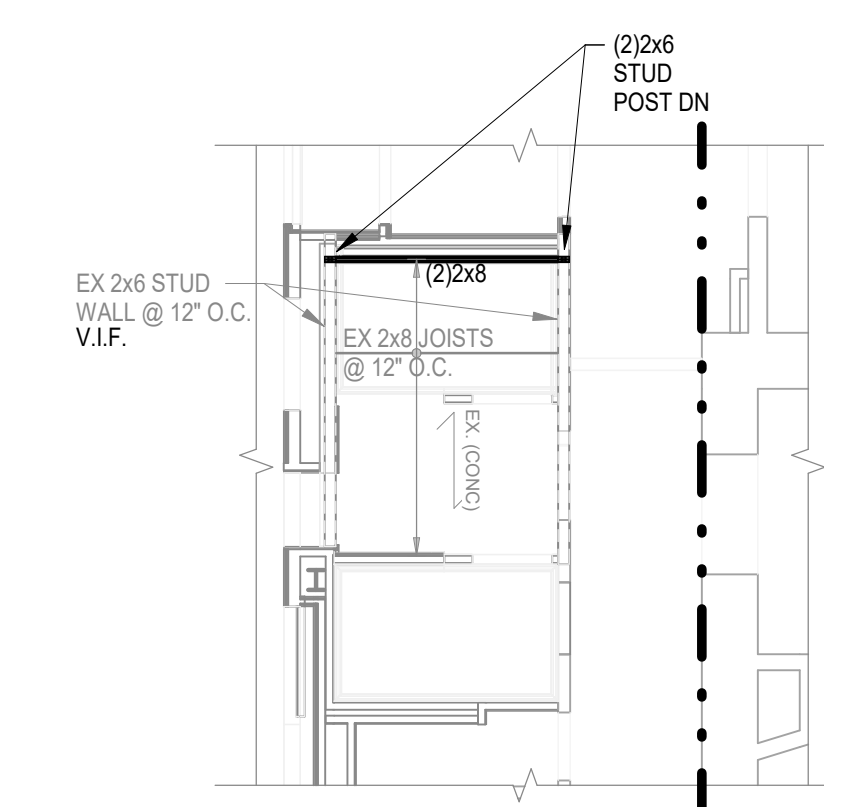
2 LEVEL 01 FLOOR FRAMING PLAN - SOUTH  
S1.0A SCALE: 1/8" = 1'-0"

- FRAMED FLOOR NOTES:**
1. (H) DESIGNATES SPAN DIRECTION OF WOOD PORCH DECKING. REFER TO ARCHITECTURAL DRAWINGS.
  2. EX (CONC - S) DESIGNATES THE SPAN DIRECTION OF EXISTING CONCRETE FLOOR SLAB
  3. P1 DESIGNATES 20"x20" CONCRETE PILASTER
  4. EXISTING CONDITIONS SHOWN ARE ASSUMED AND SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR.
  5. SLAB ON GRADE SHALL BE NORMAL WEIGHT CONCRETE OVER 15-MIL VAPOR RETARDER ON 4" GRAVEL BASE. REINFORCED WITH 6x6-W2 1xW2.1 W.W.F. THICKNESS OF SLAB ON GRADE INFILL SHALL MATCH THE EXISTING.
  6. [Hatched Area] DESIGNATES THE EXTENT OF EXISTING CARD ROOM SLAB ON GRADE TO BE REMOVED AND REPLACED AS NEEDED FOR NEW CONSTRUCTION. SEE DETAIL 102.1
  7. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN.
  8. TERRACE DECKING ELEVATION DATUM OCCURS @ EL. 370.58'
  9. --- DESIGNATES TENSIONED CABLE GUARDRAIL, DESIGNED BY GUARDRAIL MANUFACTURER.



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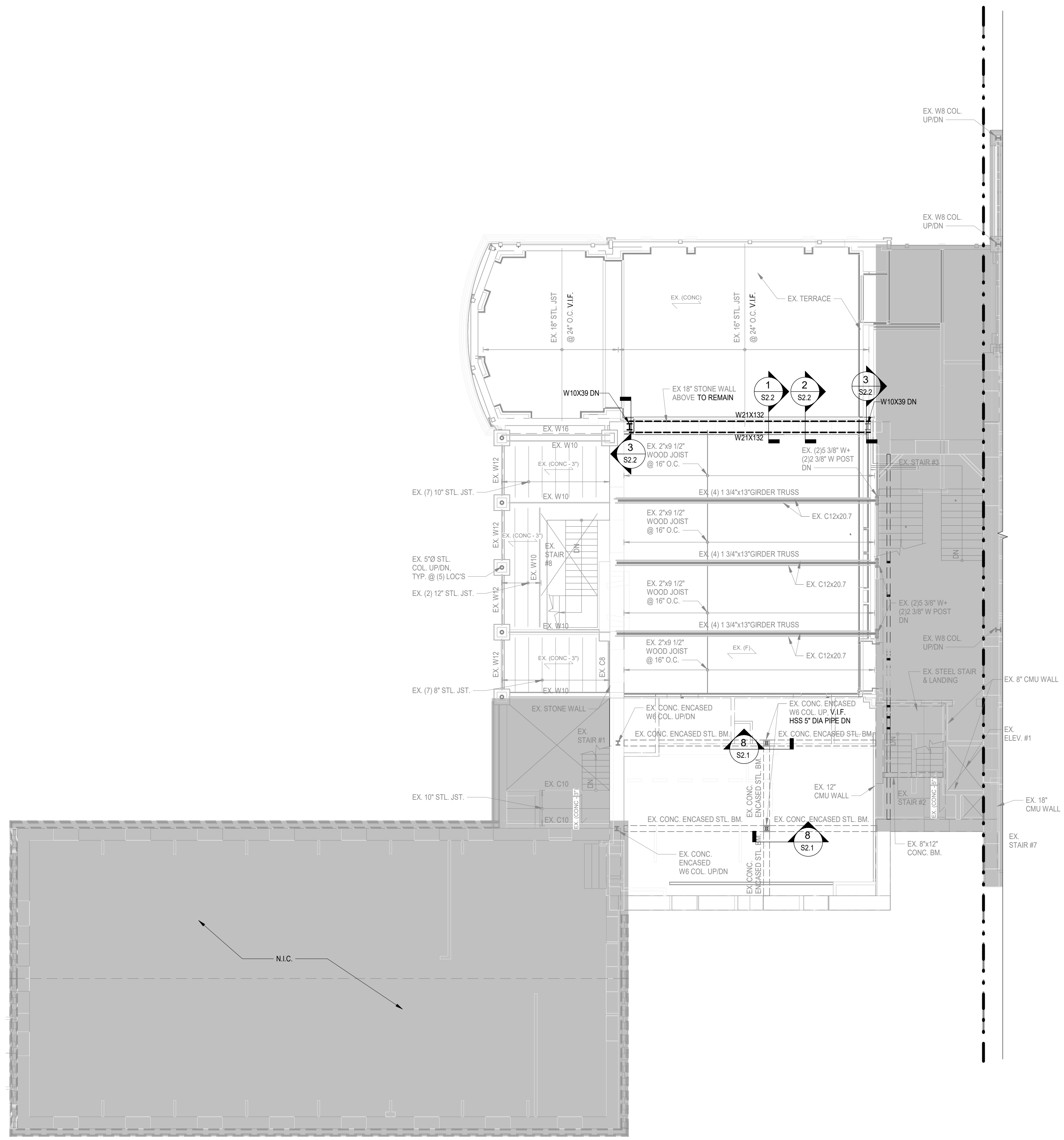
**REVIEWED**  
By Michael Kyne at 1:58 pm, May 31, 2023

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Robert A. ...*

**3 MECHANICAL MEZZANINE FRAMING PLAN**  
S1.1A SCALE: 1/8" = 1'-0"



Linton Engineering, L.L.C.  
46090 Lake Center Plaza  
Suite 200  
Potosi, PA, VA 20165  
(977) 523-0200  
LE Project # 22-051 LE Project Engineer: DT  
Professional Certification:  
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland.  
License Number: 22215  
Expiration Date: 07/28/2024

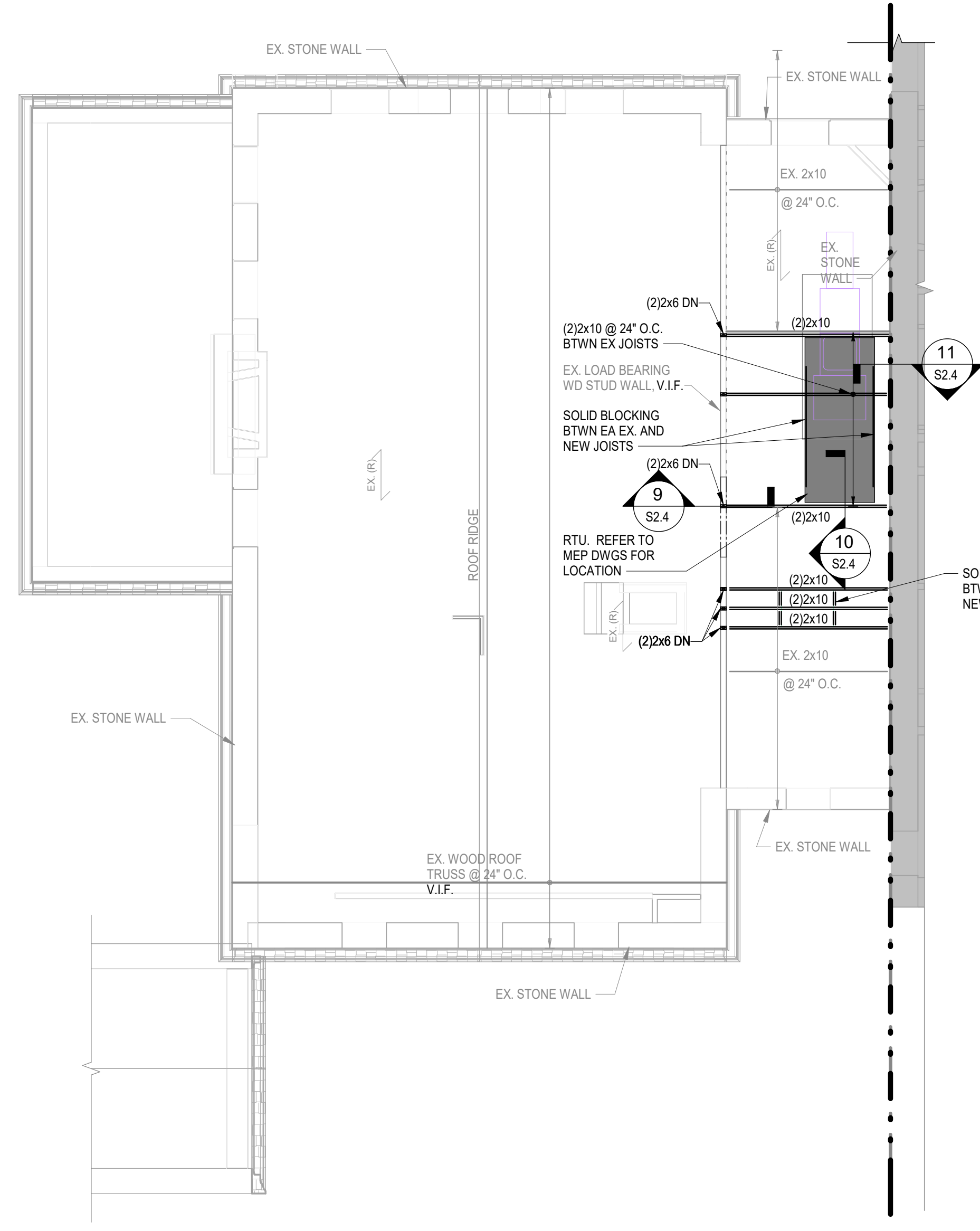


**1 LEVEL 02 FLOOR FRAMING PLAN - SOUTH**  
S1.1A SCALE: 1/8" = 1'-0"

- LEVEL 02 FLOOR FRAMING PLAN NOTES:**
- EX (P) DESIGNATES THE SPAN DIRECTION OF EXISTING PLYWOOD FLOOR SHEATHING.
  - EX (CONC) DESIGNATES THE SPAN DIRECTION OF EXISTING CONCRETE FLOOR SLAB.
  - EXISTING CONDITIONS SHOWN ARE ASSUMED AND SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR.
  - REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN.
  - REFERENCE MEP DRAWINGS FOR ALL GOVERNING INFORMATION REGARDING MECHANICAL EQUIPMENT ABOVE THE CLUB ROOM. CONTRACTOR SHALL VERIFY EXISTING ROOF STRUCTURAL FRAMING AT MECHANICAL EQUIPMENT LOCATION.

MECH UNIT WEIGHT SCHEDULE			
MARK	SIZE (LxWxH)	WEIGHT (LBS)	CURB WEIGHT (LBS)
MAU-1	-	1,300	-
KEF-2	-	750	-

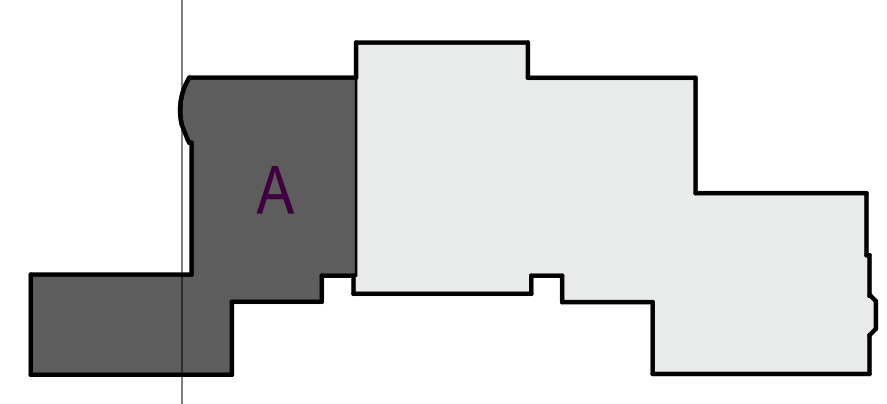
**NOTES:**  
IF A MECHANICAL UNIT TO BE INSTALLED WEIGHS MORE THAN INDICATED IN ABOVE TABLE, UNIT SIZE AND WEIGHT SHALL BE SUBMITTED TO STRUCTURAL ENGINEER FOR REVIEW.



**2 PARTIAL ROOF FRAMING PLAN**  
S1.1A SCALE: 1/8" = 1'-0"

- PARTIAL ROOF PLAN NOTES:**
- EX (P) DESIGNATES THE SPAN DIRECTION OF EXISTING PLYWOOD ROOF SHEATHING.

**KEY PLAN**



**CHEVY CHASE CLUB**  
CLUBHOUSE RENOVATION  
6100 CONNECTICUT AVE  
CHEVY CHASE, MD 20815

ISSUED FOR PERMIT  
04/12/2023  
REVISIONS

56-22108-00  
LEVEL 02 FLOOR FRAMING PLAN - SOUTH AND PARTIAL ROOF PLAN

**S1.1A**



A

B

C

D

E

F

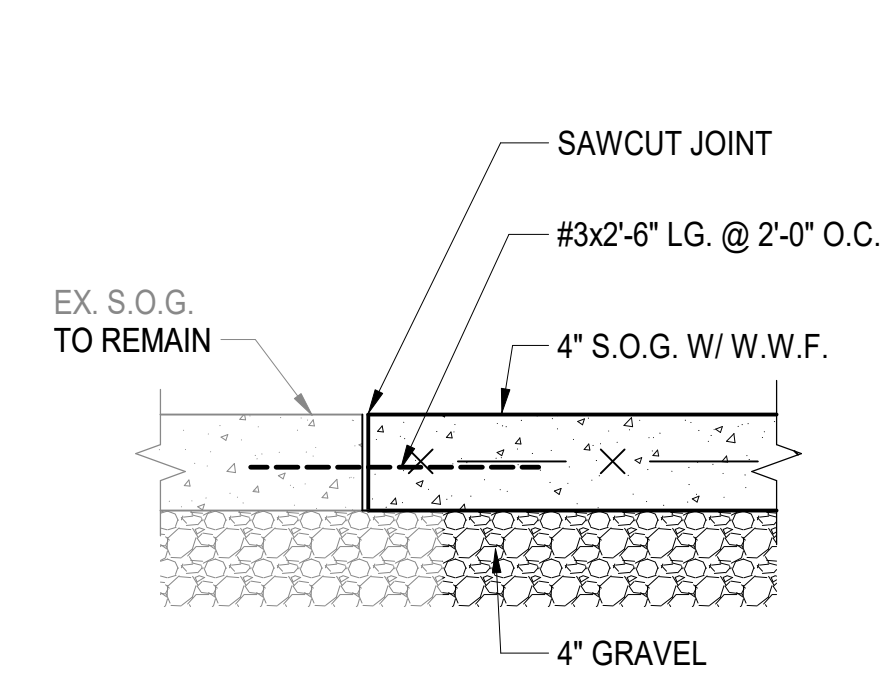
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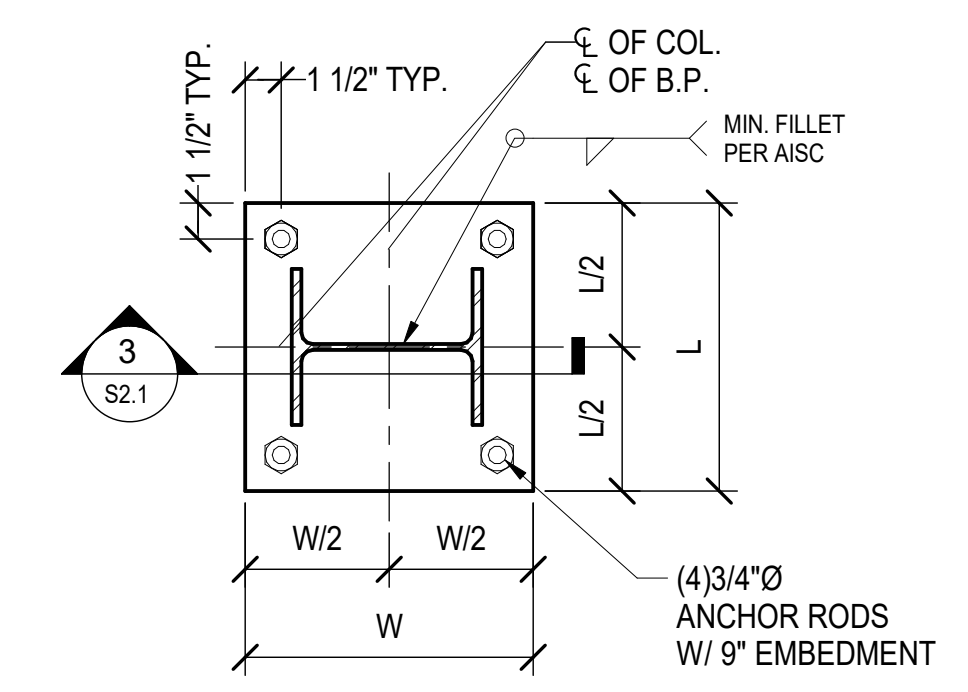
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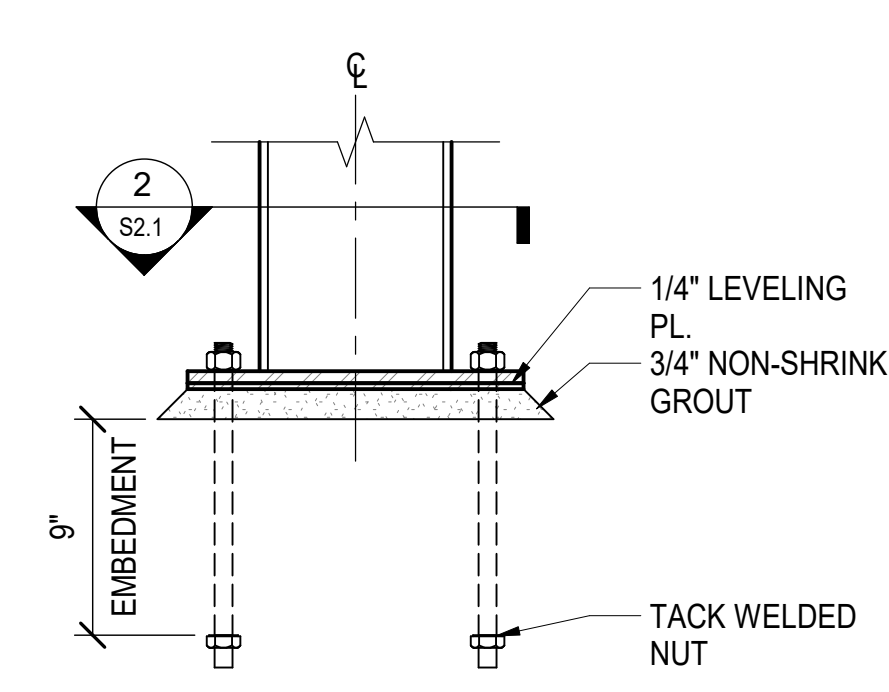
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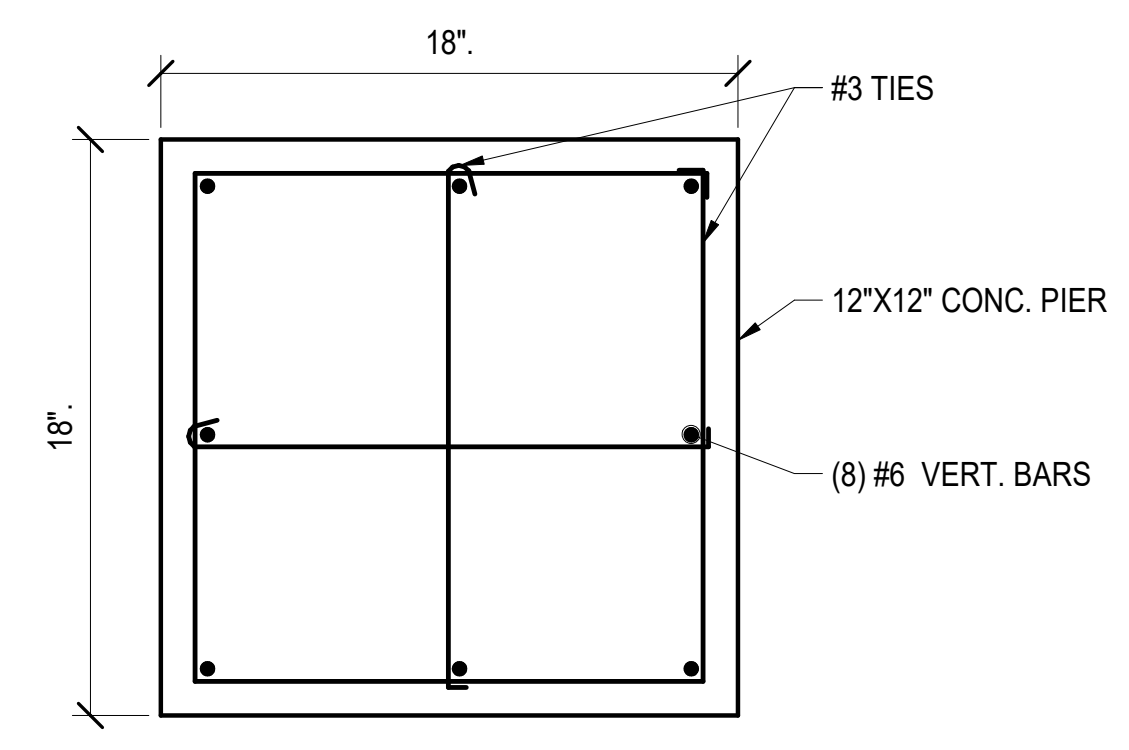
**1 TYP. SLAB CUT SECTION**  
S2.1 SCALE: 1 1/2" = 1'-0"



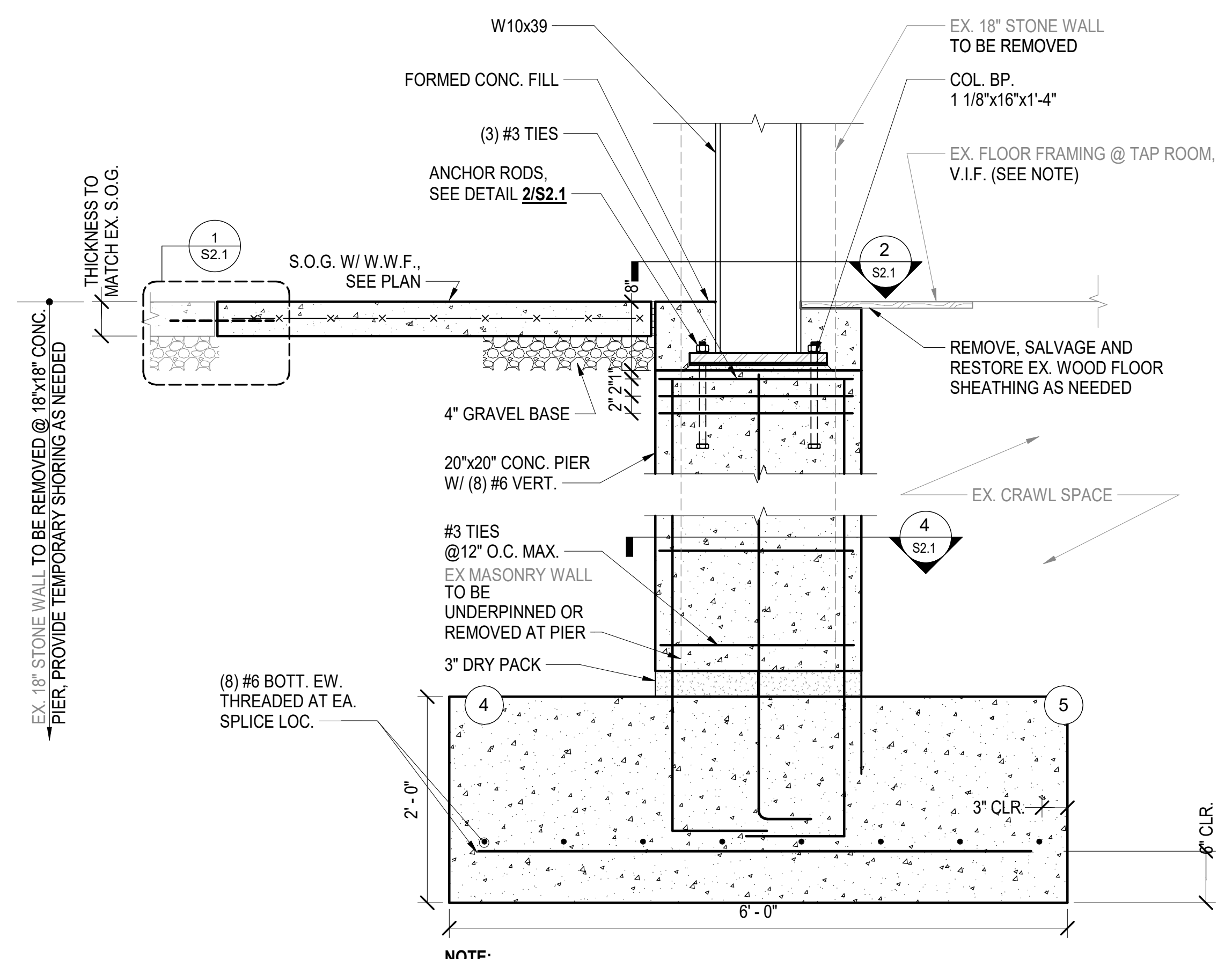
**2 TYP. BASE PL. DET.**  
S2.1 SCALE: 1 1/2" = 1'-0"



**3 TYP. BASE PL. DETAIL**  
S2.1 SCALE: 1 1/2" = 1'-0"

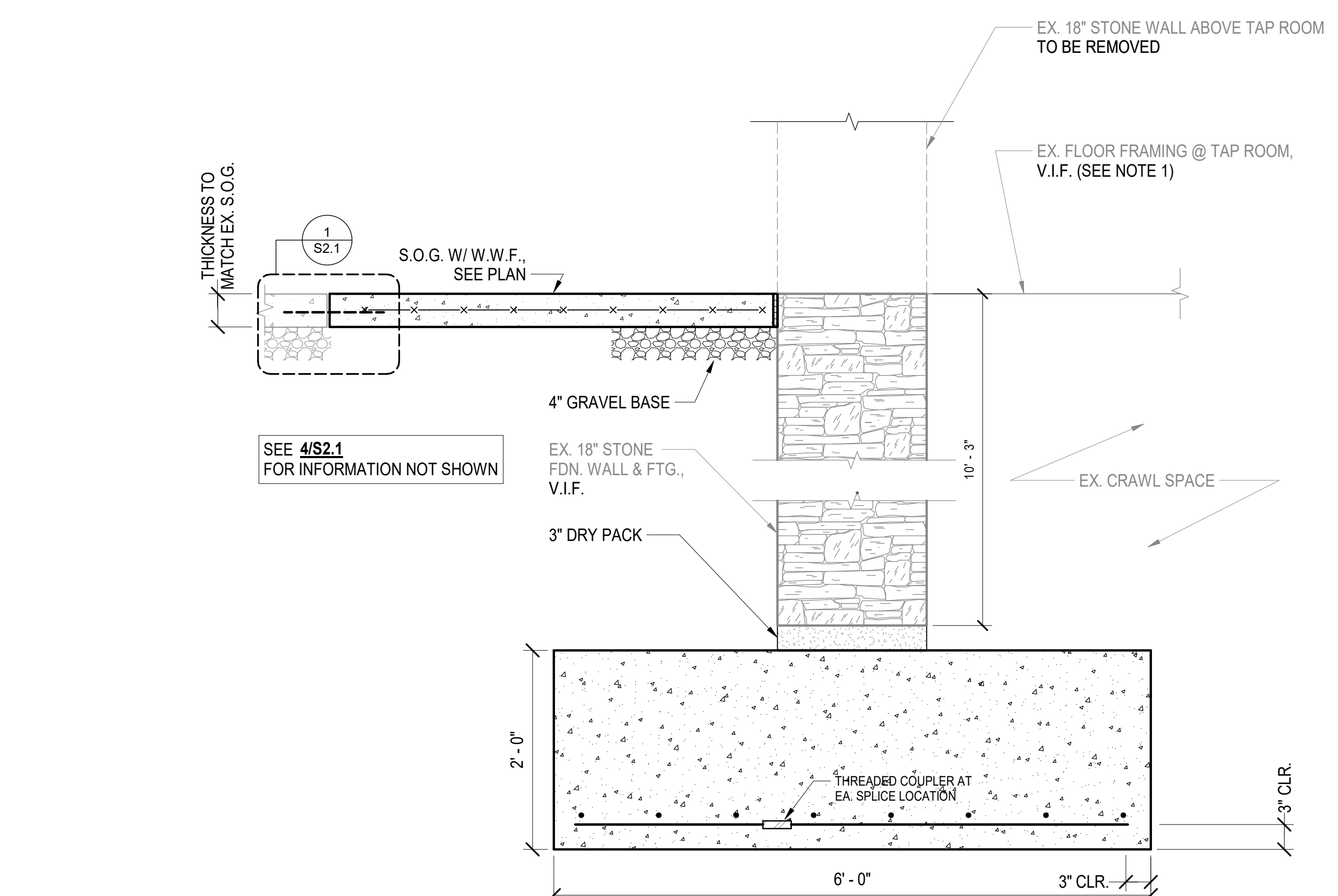


**4 CONC. COLUMN DET.**  
S2.1 SCALE: 1 1/2" = 1'-0"



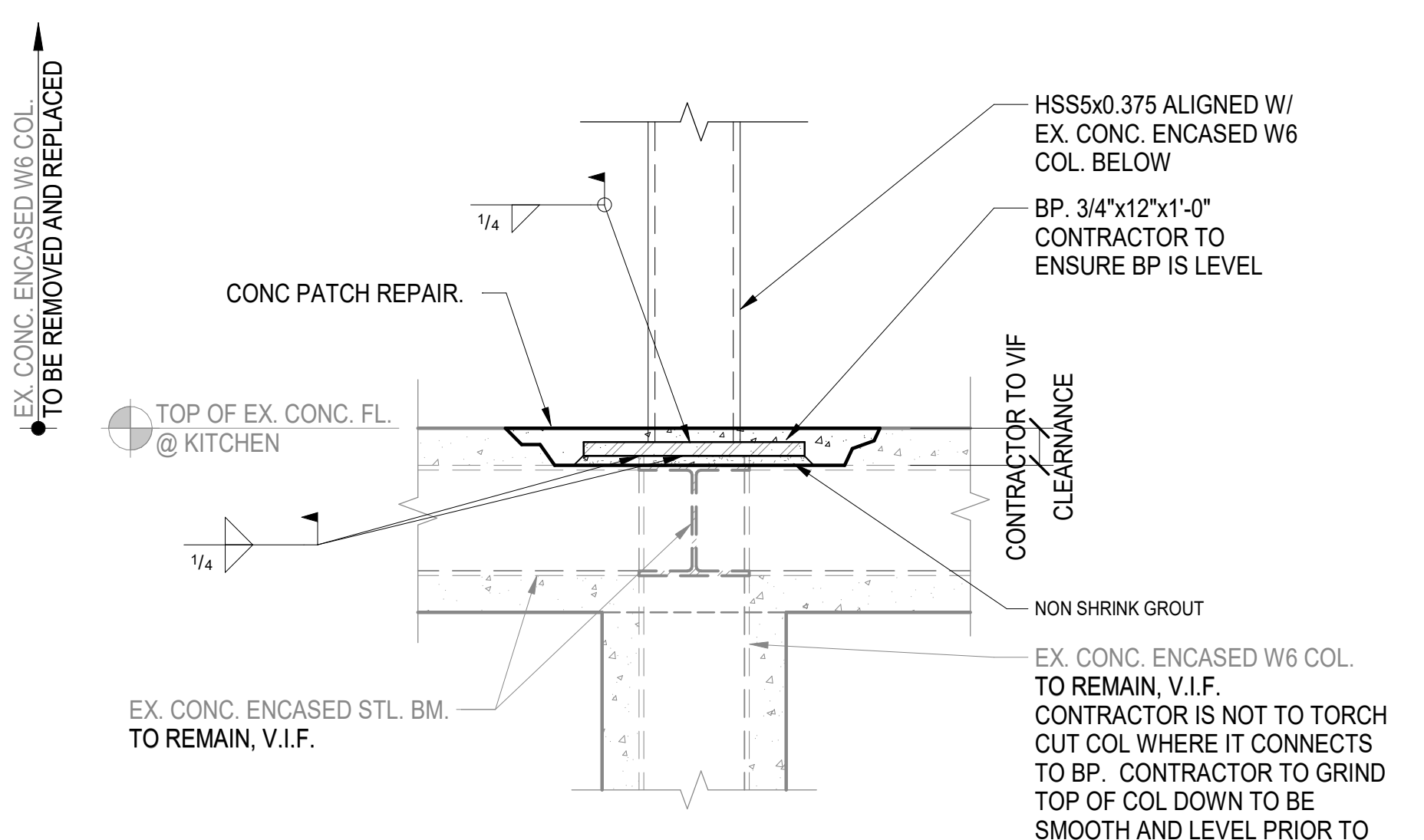
**5 COL. FTG. DETAIL**  
S2.1 SCALE: 1" = 1'-0"

**NOTE:**  
1. INSTALL TEMPORARY SHORING OF EXISTING FLOOR STRUCTURE AT TAP ROOM AS REQUIRED BEFORE PROCEEDING WITH ANY WORK AND TEMPORARY SHORING SHALL REMAIN IN PLACE UNTIL NEW CONSTRUCTION IS COMPLETED. DESIGN OF TEMPORARY SHORING BY OTHERS.  
2. UNDERPINNING SHALL BE A DELEGATED DESIGN AND UNDERPINNING SHOWN ON THE STRUCTURAL DRAWINGS IS CONCEPTUAL ONLY. FINAL UNDERPINNING DESIGN SHALL BE DETERMINED BY THE CONTRACTOR'S UNDERPINNING ENGINEER. REFERENCE DESIGN NOTES FOR MORE INFORMATION. SEE PLAN FOR TYPICAL UNDERPINNING SECTIONS INSTALLATION SEQUENCE.  
3. SEE PLAN FOR UNDERPINNING LOCATIONS & NOTES  
4. REBAR SHALL BE CONTINUOUS ACROSS UNDERPINNING JOINTS. PROVIDE THREADED COUPLERS ON BARS WHICH EXTEND INTO UNEXCAVATED SECTIONS.



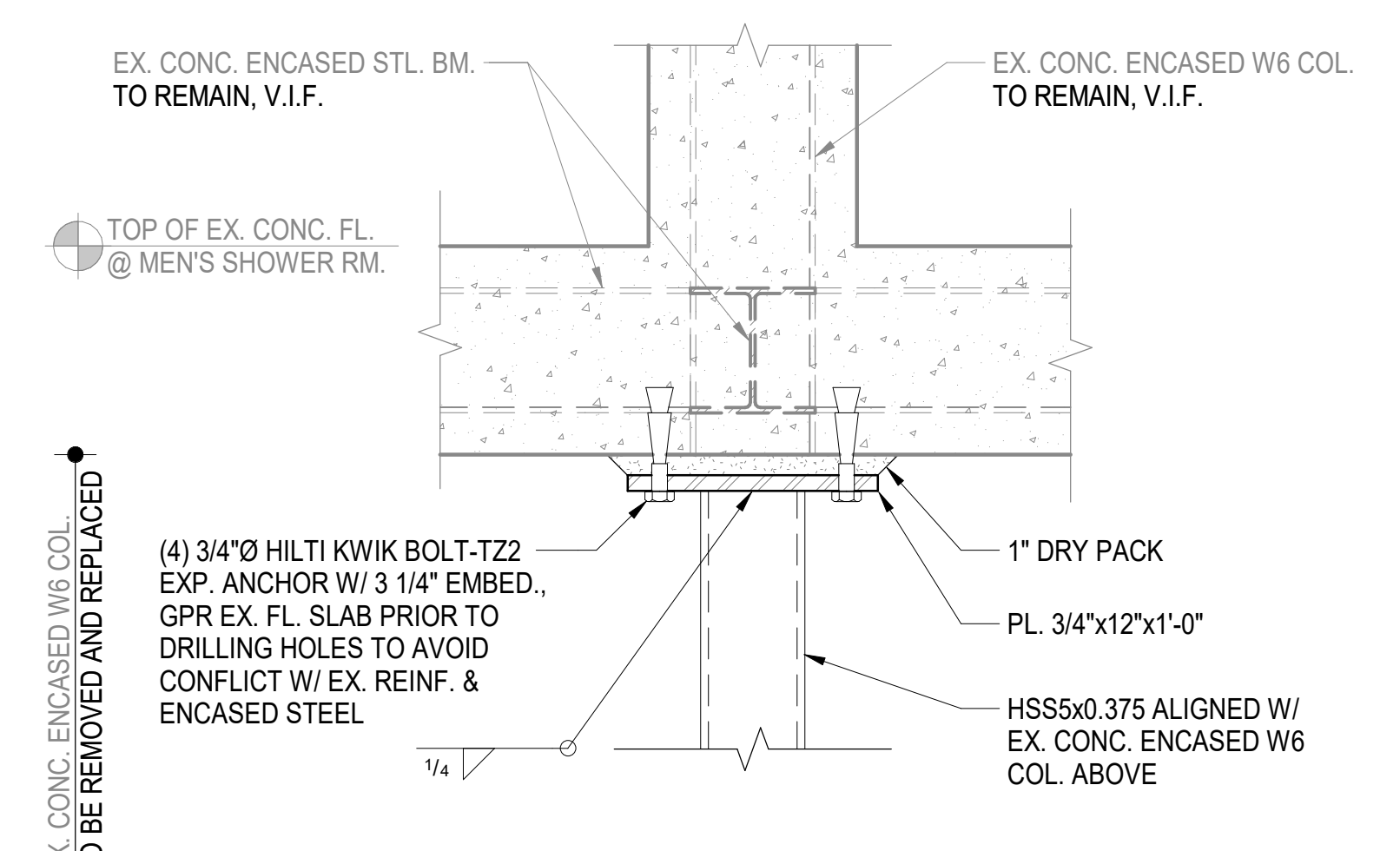
**6 TYP. UNDERPINNING DET. @ EX. STONE WALL FTG.**  
S2.1 SCALE: 1" = 1'-0"

**NOTES:**  
1. INSTALL TEMPORARY SHORING OF EXISTING FLOOR STRUCTURE AT TAP ROOM AS REQUIRED BEFORE PROCEEDING WITH ANY WORK. TEMPORARY SHORING SHALL REMAIN IN PLACE UNTIL NEW CONSTRUCTION IS COMPLETED. DESIGN OF TEMPORARY SHORING BY OTHERS.  
2. UNDERPINNING SHALL BE A DELEGATED DESIGN AND UNDERPINNING SHOWN ON THE STRUCTURAL DRAWINGS IS CONCEPTUAL ONLY. FINAL UNDERPINNING DESIGN SHALL BE DETERMINED BY THE CONTRACTOR'S UNDERPINNING ENGINEER. REFERENCE DESIGN NOTES FOR MORE INFORMATION. SEE PLAN FOR TYPICAL UNDERPINNING SECTIONS INSTALLATION SEQUENCE.



**7 EX. COL. REPLACEMENT DET.**  
S2.1 SCALE: 1 1/2" = 1'-0"

**NOTE:**  
INSTALL TEMPORARY SHORING OF EXISTING FLOOR STRUCTURE AT MEN'S SHOWER ROOM ABOVE KITCHEN AS REQUIRED BEFORE PROCEEDING WITH ANY WORK AND TEMPORARY SHORING SHALL REMAIN IN PLACE UNTIL NEW CONSTRUCTION IS COMPLETED. DESIGN OF TEMPORARY SHORING BY OTHERS.



**8 EX. COL. REPLACEMENT DET.**  
S2.1 SCALE: 1 1/2" = 1'-0"

**NOTE:**  
INSTALL TEMPORARY SHORING OF EXISTING FLOOR STRUCTURE AT MEN'S SHOWER ROOM ABOVE KITCHEN AS REQUIRED BEFORE PROCEEDING WITH ANY WORK AND TEMPORARY SHORING SHALL REMAIN IN PLACE UNTIL NEW CONSTRUCTION IS COMPLETED. DESIGN OF TEMPORARY SHORING BY OTHERS.

**REVIEWED**  
By Michael Kyne at 1:58 pm, May 31, 2023

**APPROVED**  
Montgomery County  
Historic Preservation Commission  
*Robert A. ...*



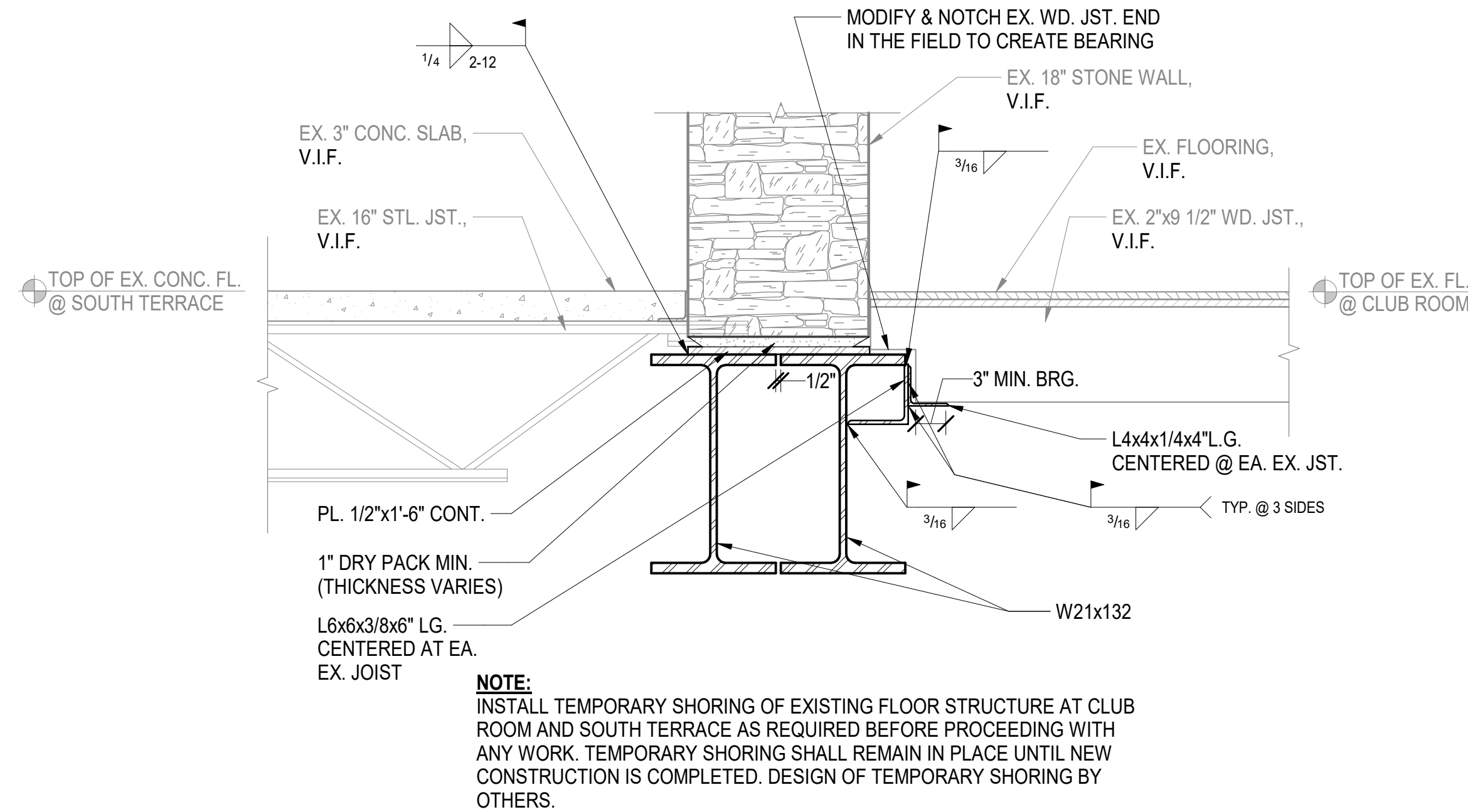
Linton Engineering, L.L.C.  
46090 Lake Center Plaza  
Suite 200  
Potosi, PA, VA 20165  
(977) 523-0200  
L.E. Project # 22-051 L.E. Project Engineer: DT  
Professional Certification:  
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland.  
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Expiration Date: 07/28/2024

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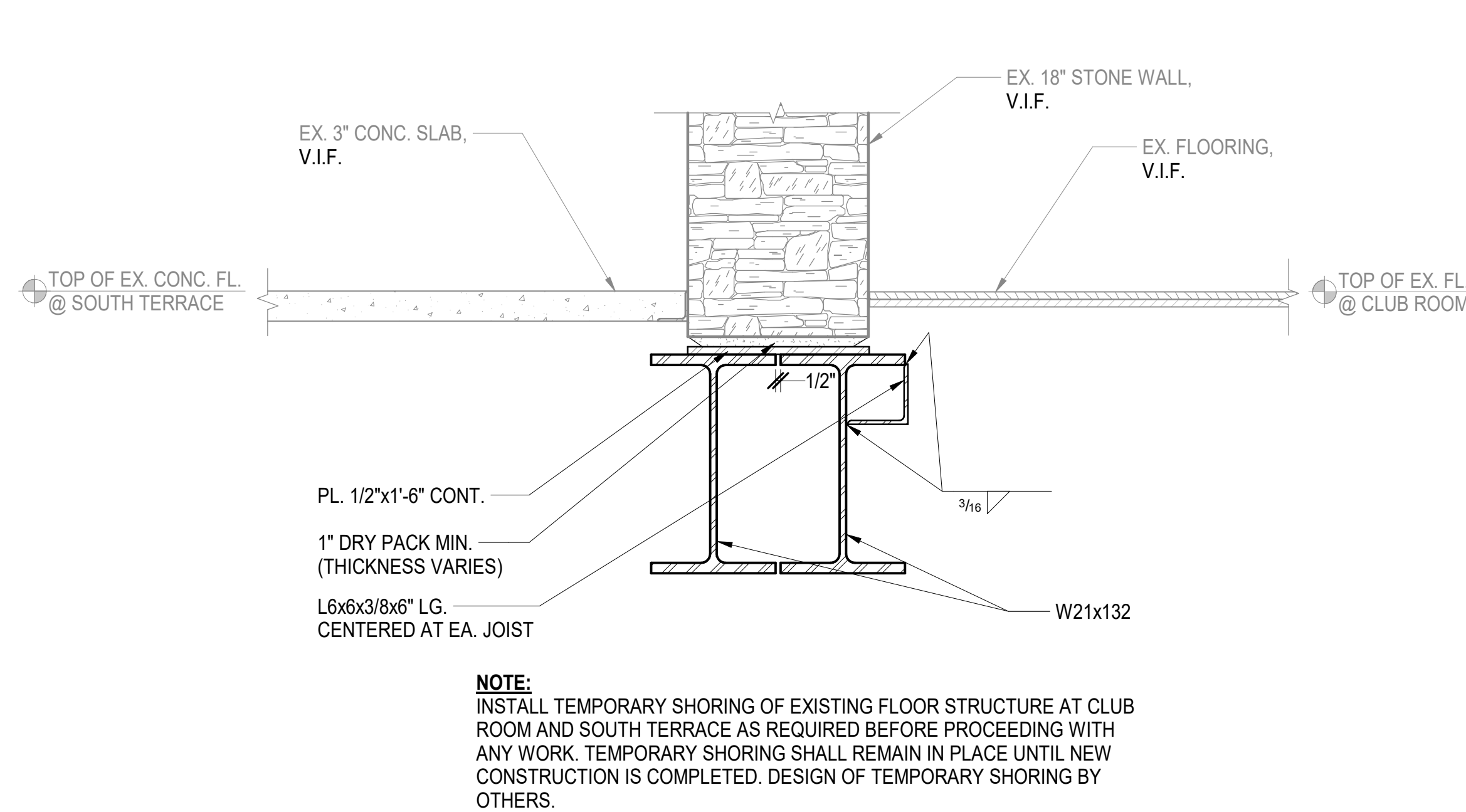
56-22108-00  
SECTIONS AND DETAILS

**S2.1**

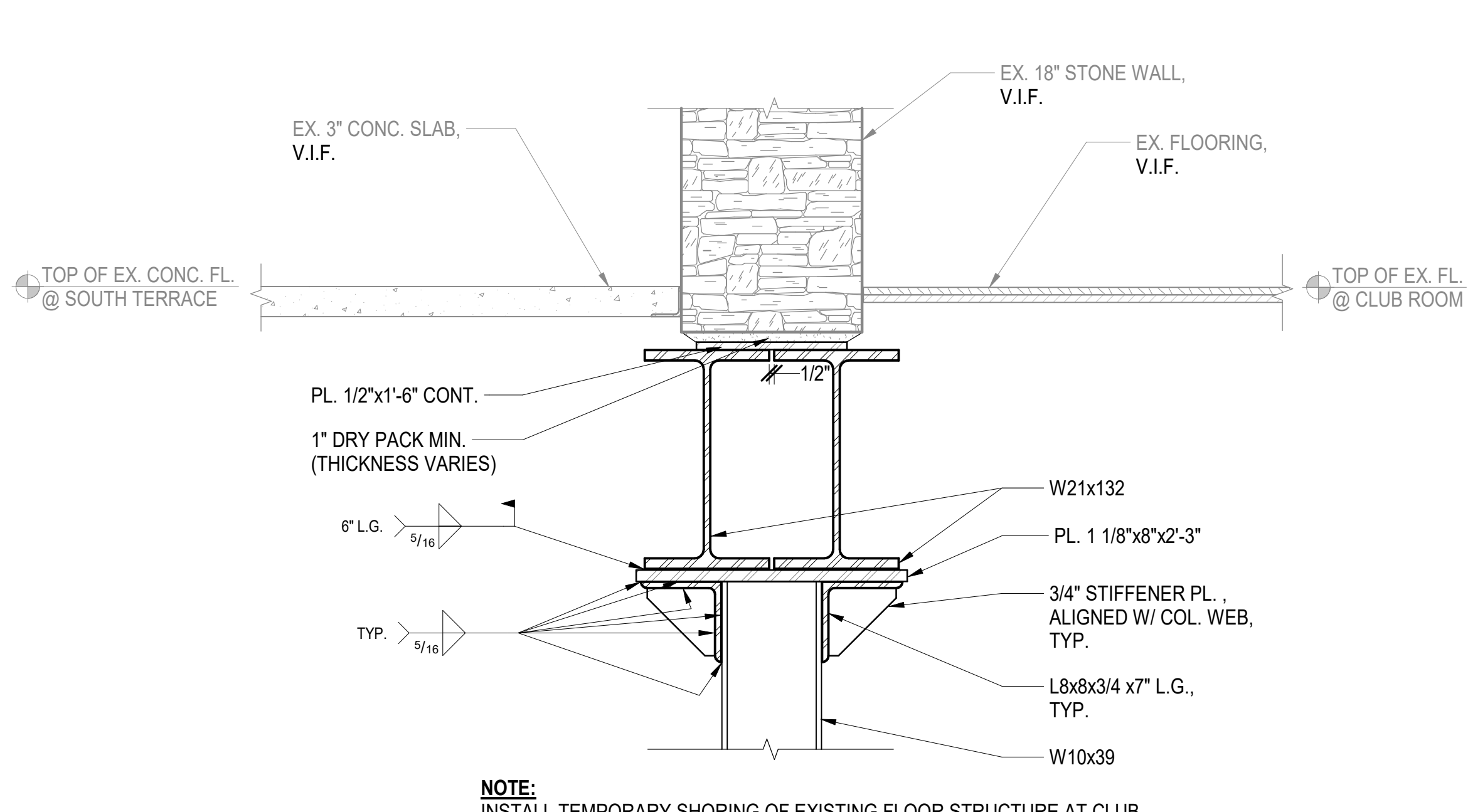




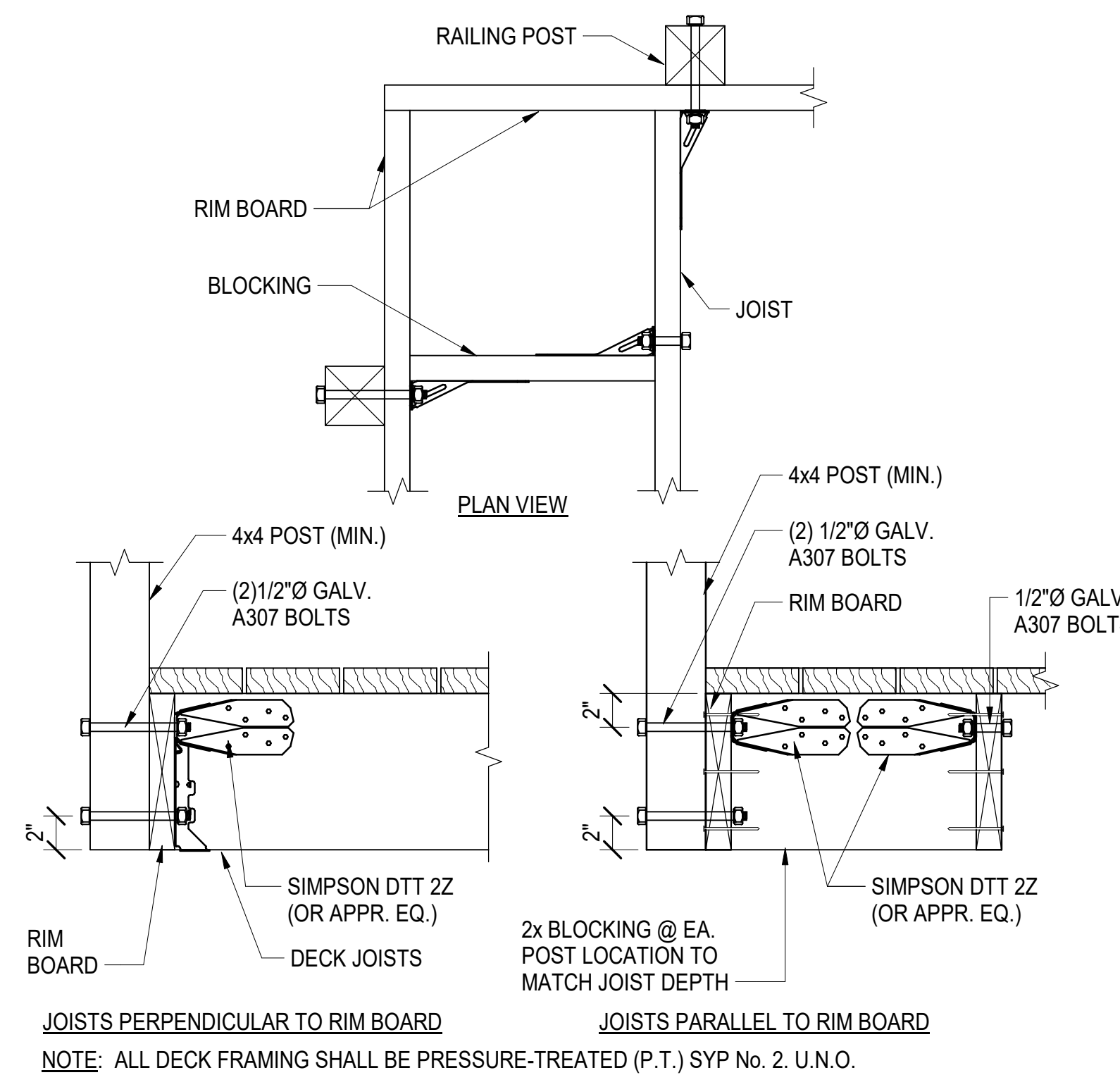
**1** NEW OPN'G @ EX. STONE WALL @ EX. JOIST  
S2.2 SCALE: 1" = 1'-0"



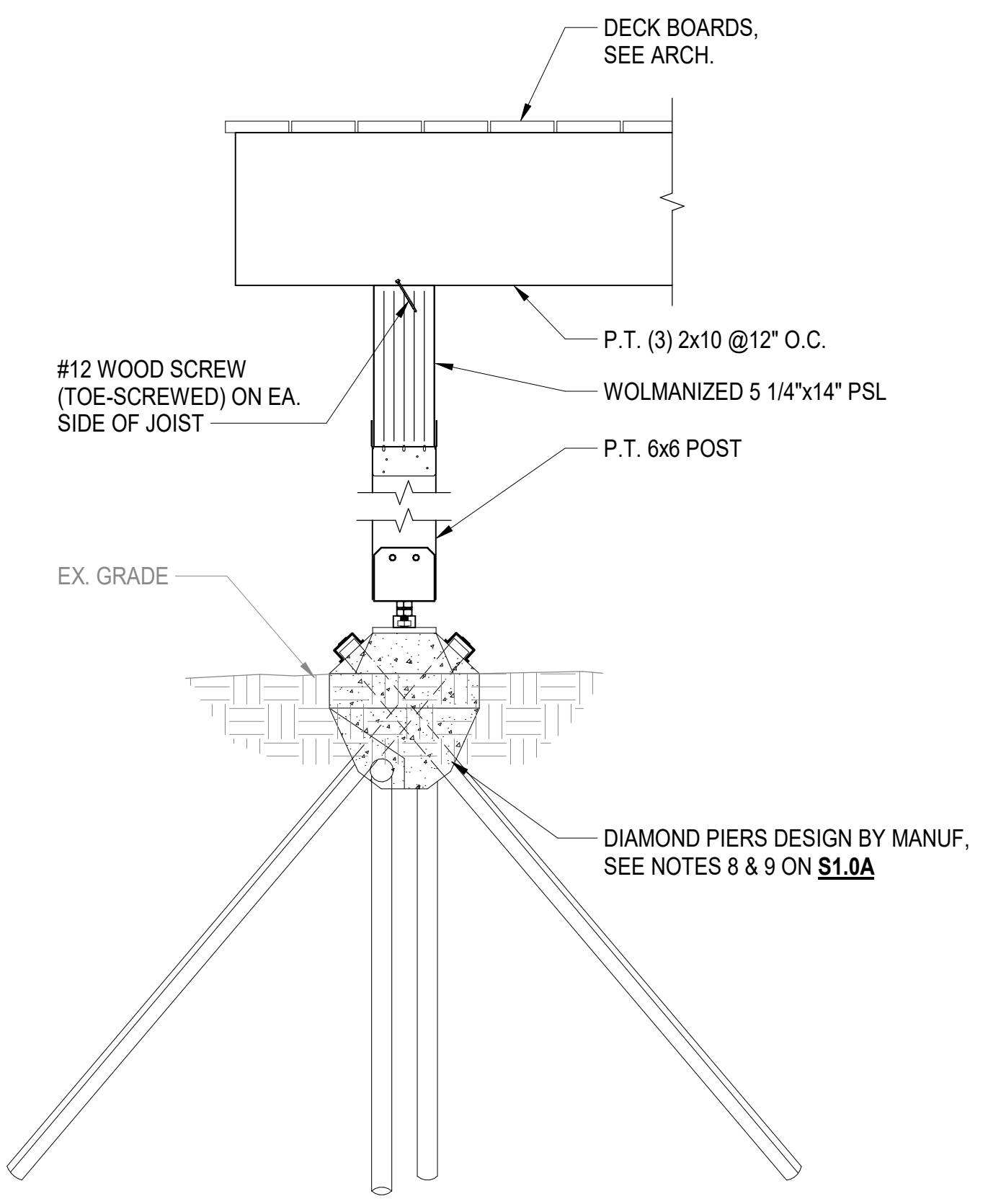
**2** NEW OPN'G @ EX. STONE WALL IN BTWN EX JOISTS  
S2.2 SCALE: 1" = 1'-0"



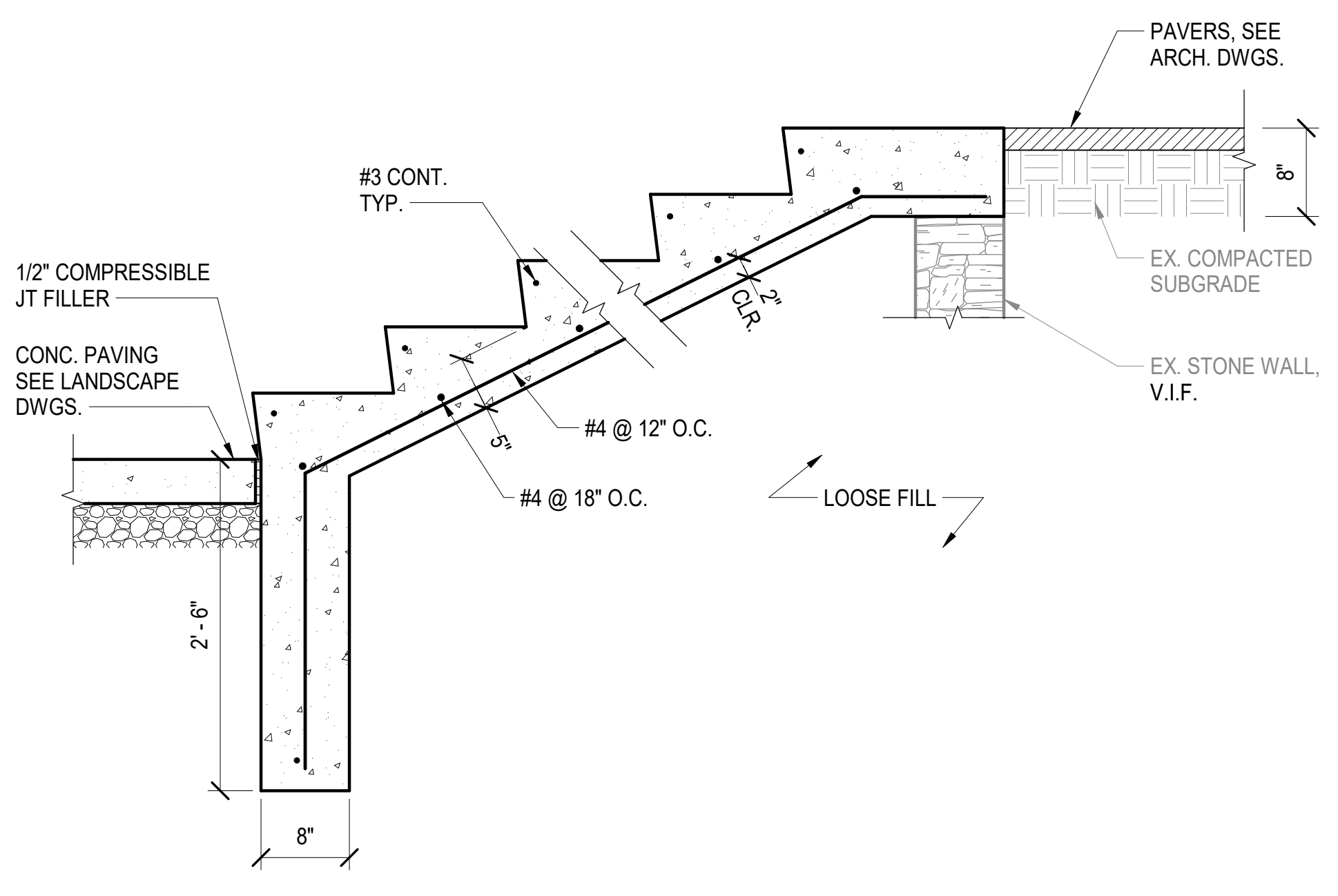
**3** NEW OPN'G @ EX. STONE WALL  
S2.2 SCALE: 1" = 1'-0"



**4** TYPICAL DECK RAILING DETAIL  
S2.2 SCALE: 1 1/2" = 1'-0"



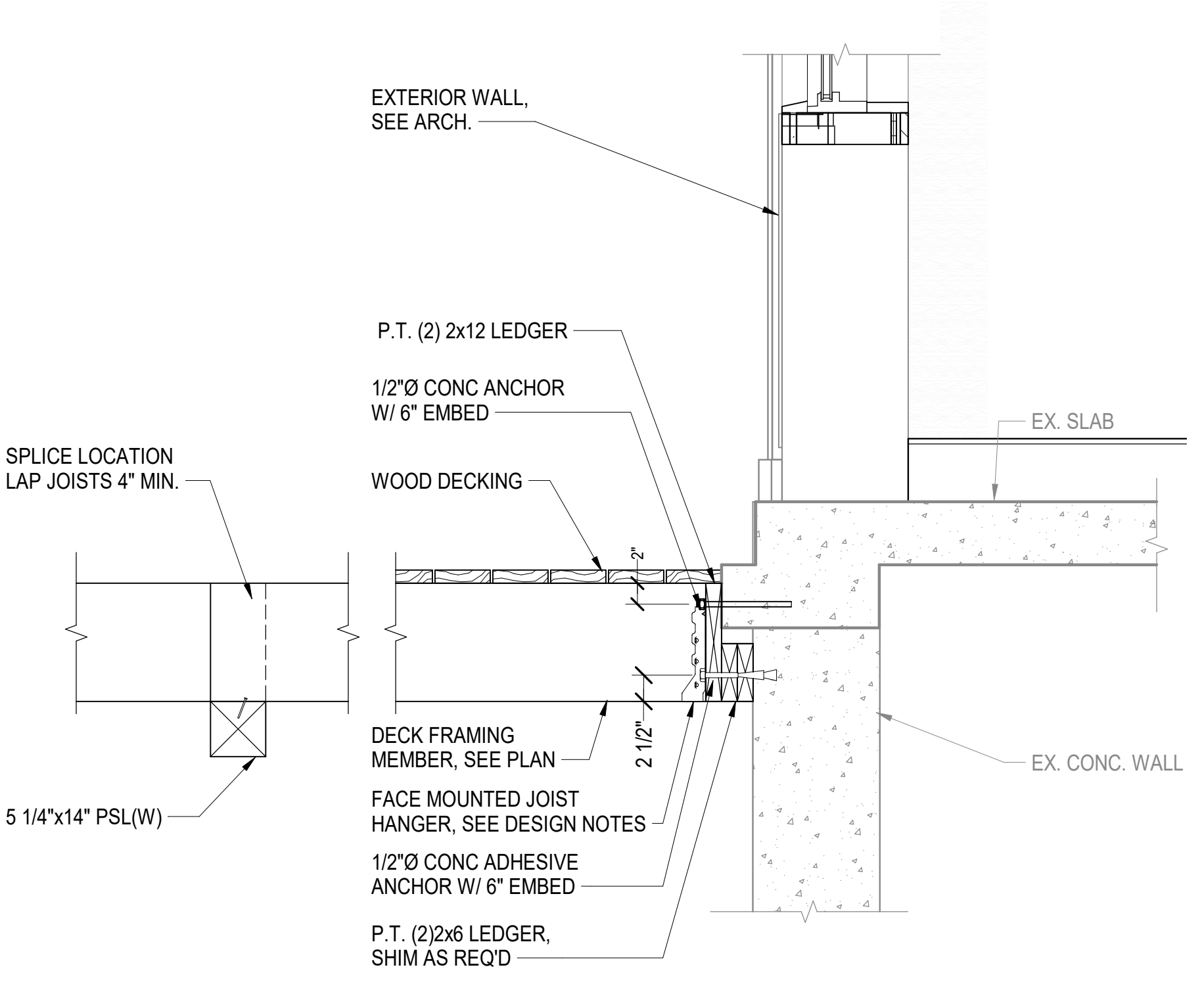
**5** TYP. DIAMOND PIER FTG.  
S2.2 SCALE: 1" = 1'-0"



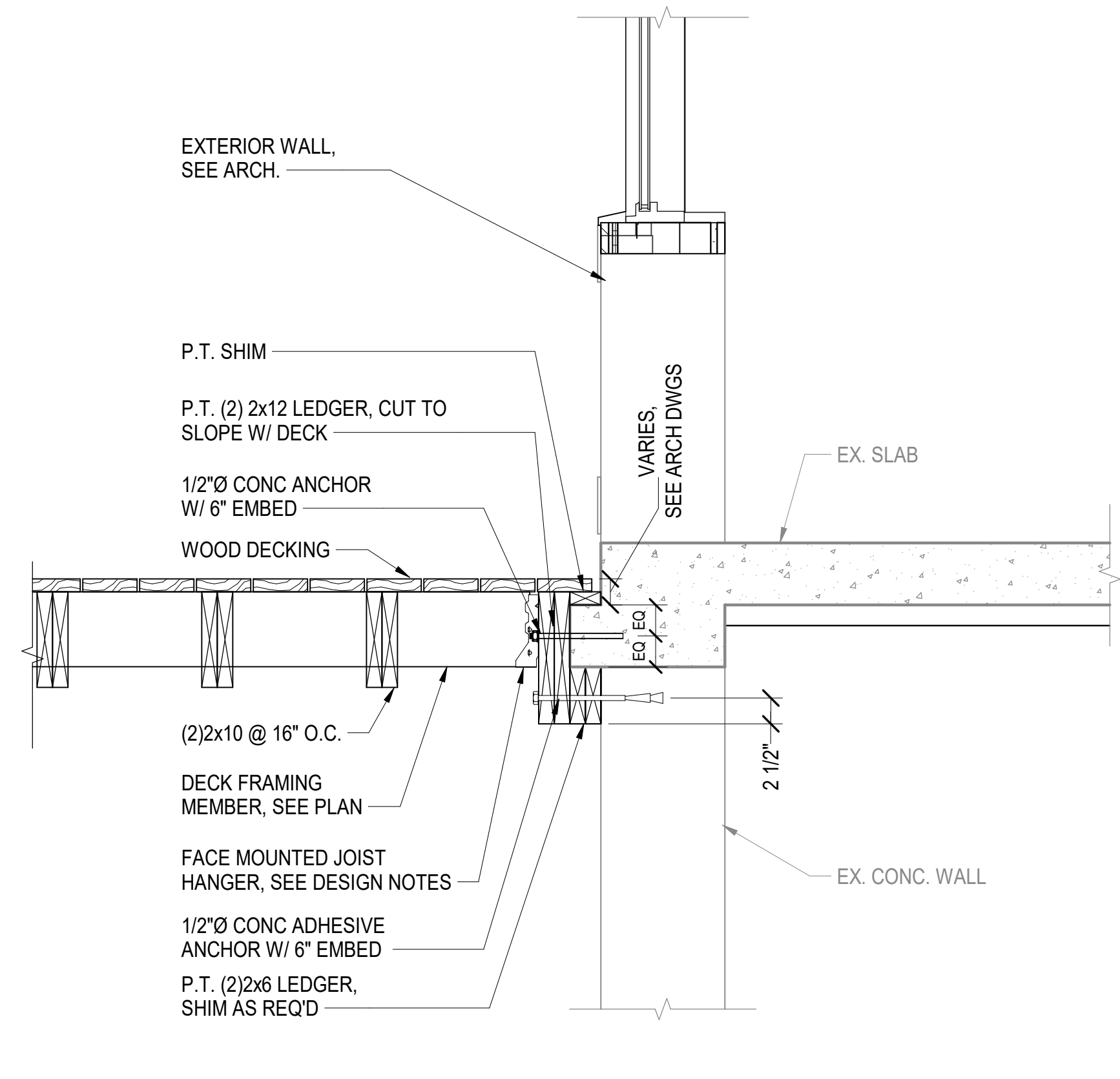
**6** EXTERIOR STAIRS  
S2.2 SCALE: 1" = 1'-0"

**REVIEWED**  
By Michael Kyne at 1:58 pm, May 31, 2023

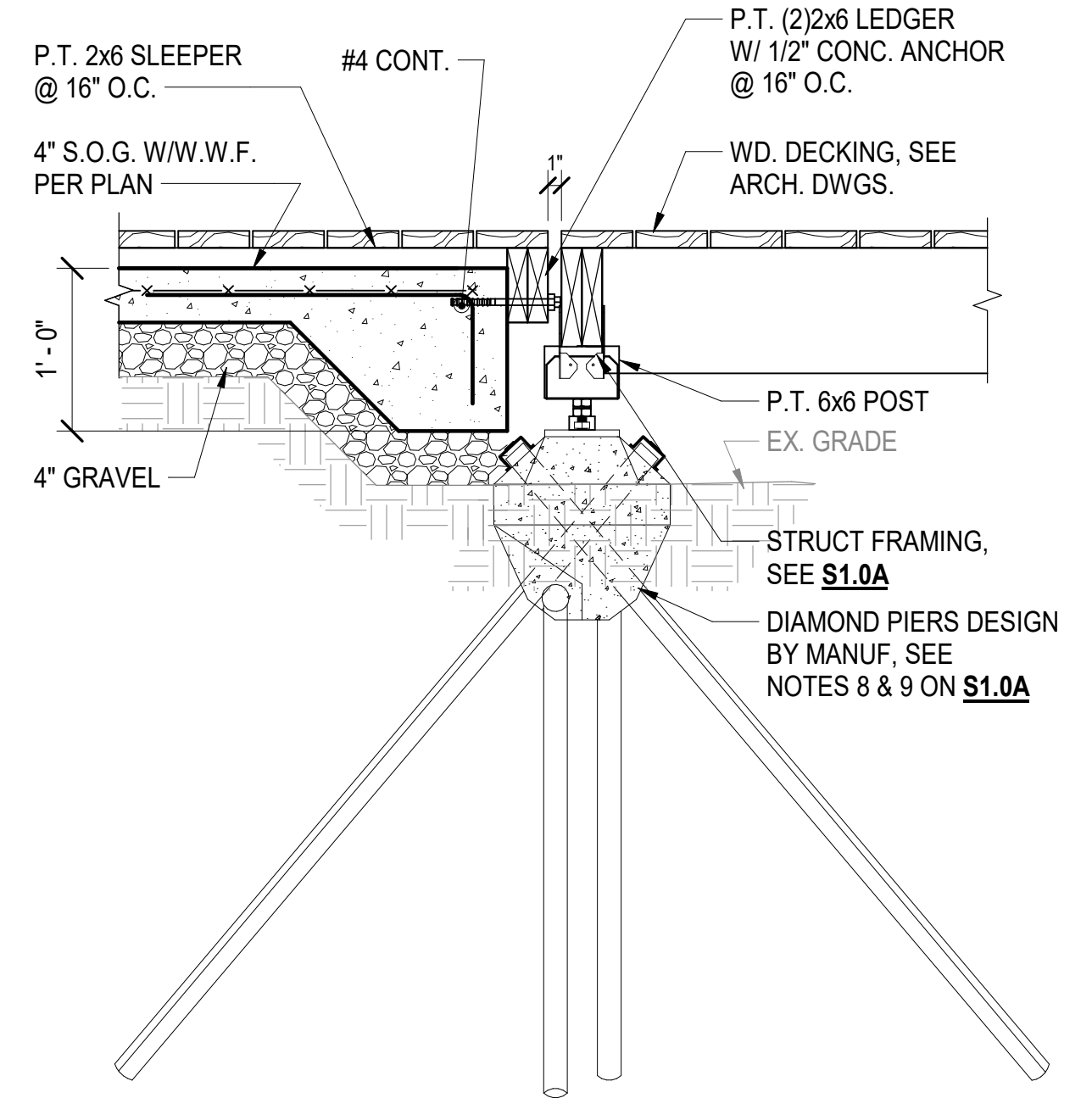
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Historic Preservation Commission  
*Robert A. ...*



**7** LEDGER DETAIL AT SOUTH ELEVATION  
S2.2 SCALE: 1" = 1'-0"



**8** LEDGER DETAIL AT WEST ELEVATION  
S2.2 SCALE: 1" = 1'-0"



**9** ELEVATED TO SLEEPER FRAMING DETAIL  
S2.2 SCALE: 1" = 1'-0"



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(977) 523-0200  
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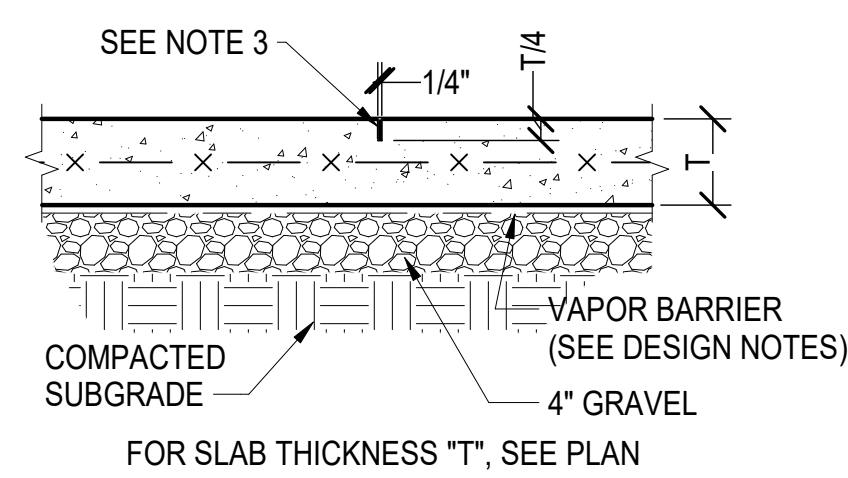
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SECTIONS AND DETAILS

**S2.2**

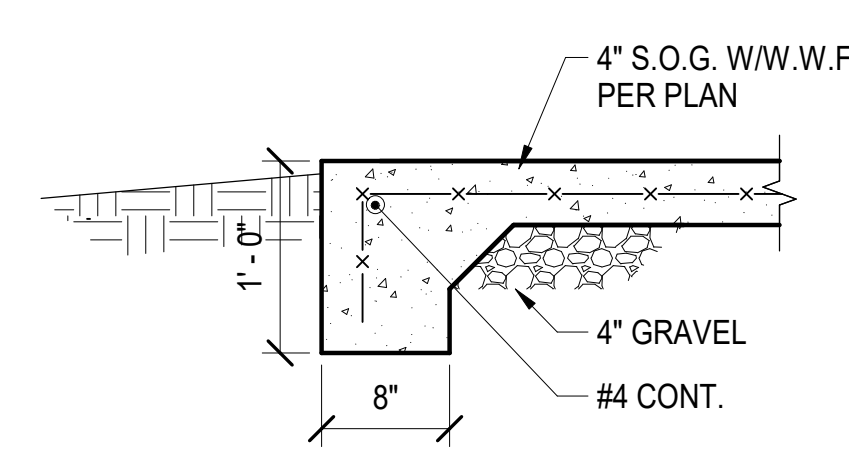
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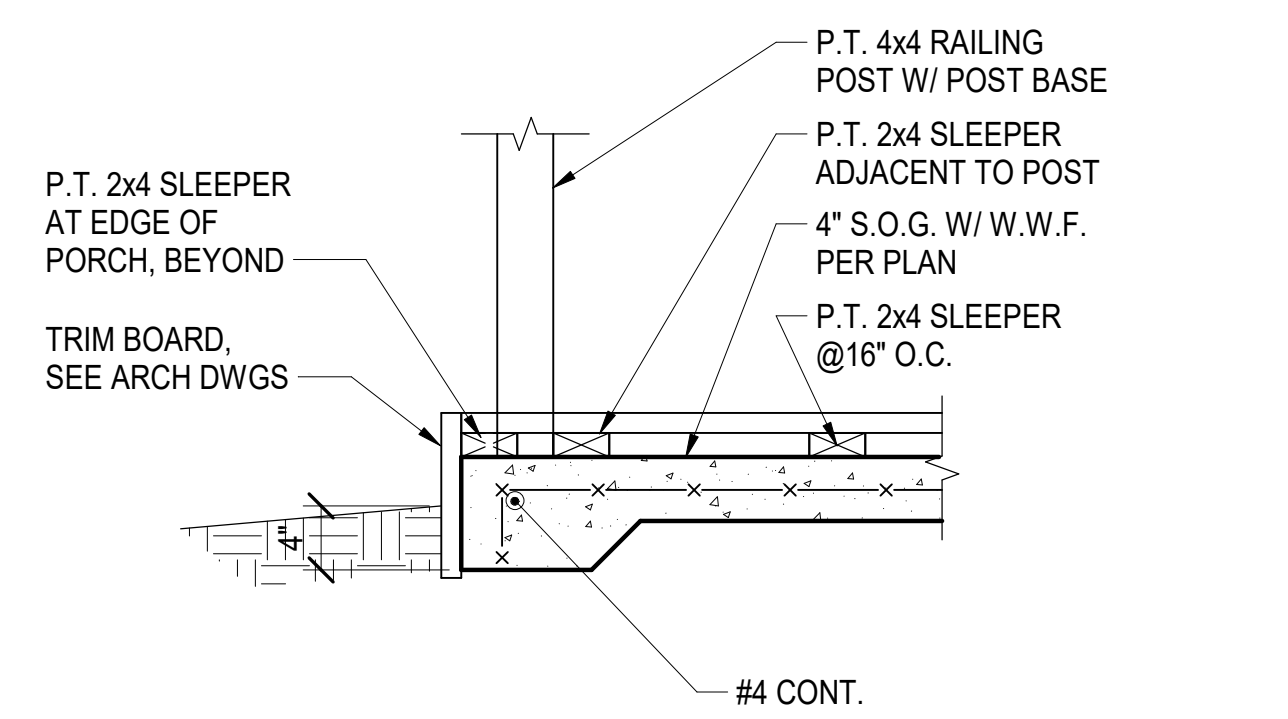


- CONTROL JOINT**
1. PROVIDE SUPPORT TO HOLD REINF. IN POSITION.
  2. SAW CUT CONTROL JOINTS TO DIVIDE SLAB INTO NEAR-SQUARE SHAPES NOT EXCEEDING THREE x SLAB THICKNESS IN FEET (SQ. FT. AREA = 3 x "T" x 12) AS SOON AS WHEN CONC. HAS HARDENED SUFFICIENTLY TO PERMIT CUTTING WITHOUT CHIPPING, SPALLING, OR TEARING.
  3. FILL JOINT W/ EPOXY SEALANT AFTER SLAB HAS CURED.

**1 TYP. SLAB ON GRADE CONTROL JOINT DETAIL**  
SCALE: 1" = 1'-0"

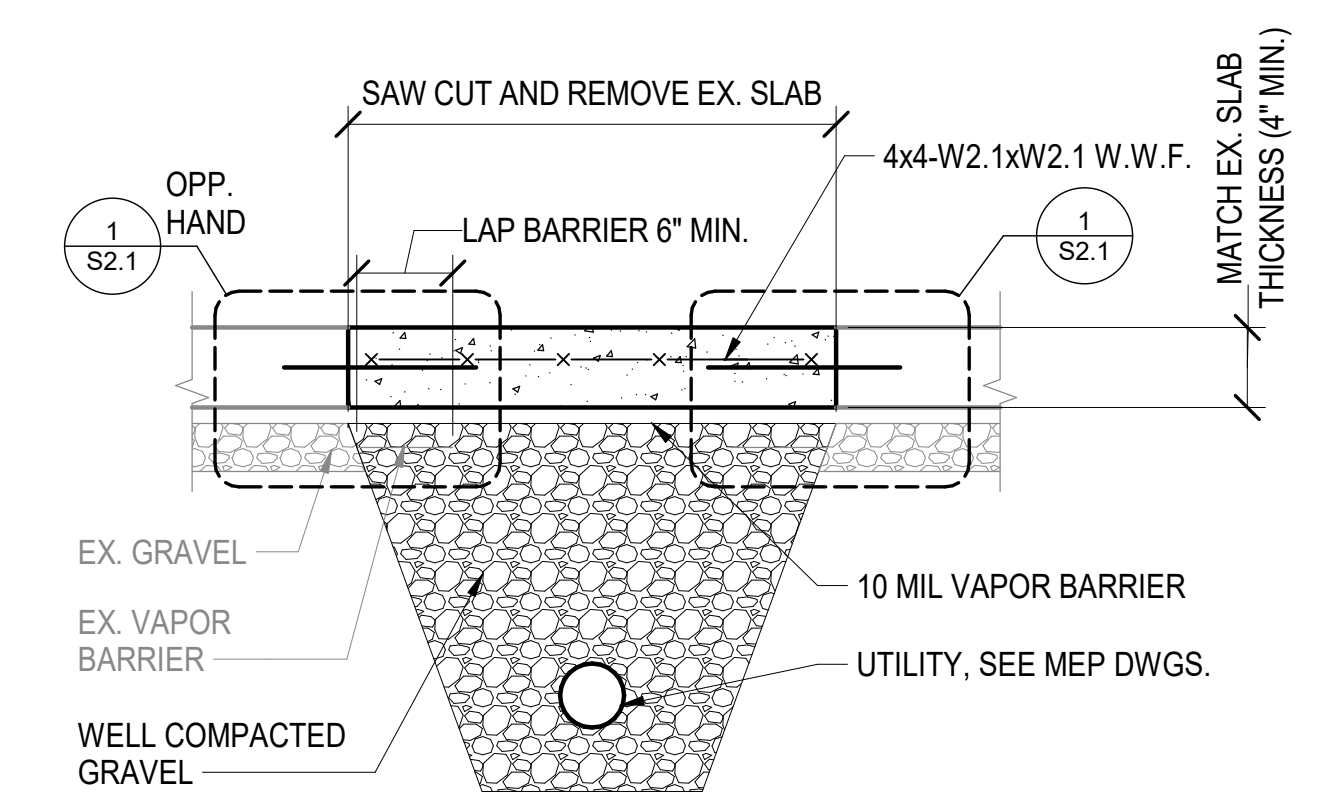


**2 TYP. TURN DOWN SLAB EDGE**  
SCALE: 1" = 1'-0"



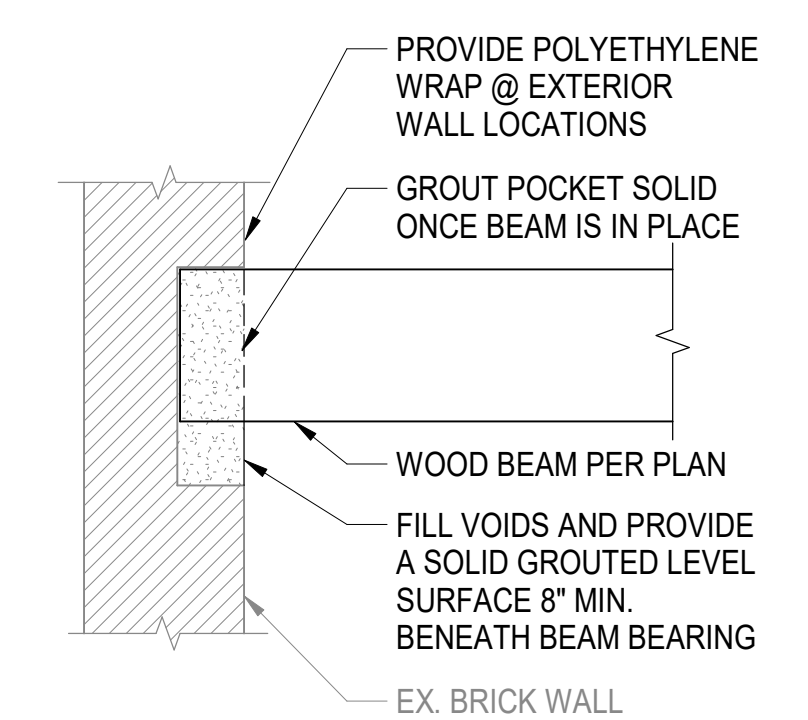
CONTRACTOR TO VERIFY PRESCENCE OF EXISTING TREE ROOTS W/ ARBORIST

**3 TYP. TURN DOWN SLAB EDGE**  
SCALE: 1" = 1'-0"

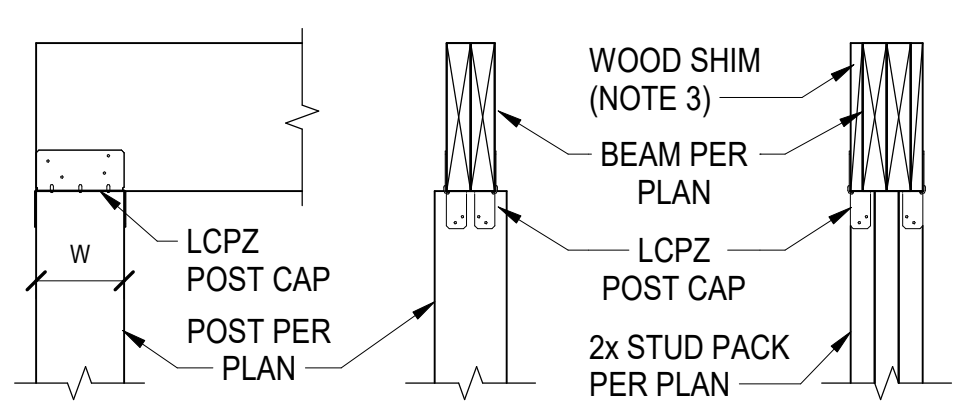


- NOTE:**
1. CONTRACTOR SHALL COORDINATE UTILITY TRENCH SIZES AND LOCATIONS WITH PLUMBING AND ELECTRICAL DRAWINGS.
  2. REFER TO PLUMBING DWGS FOR LOCATIONS

**4 TYP. S.O.G. PATCHING @ UTILITY TRENCH**  
SCALE: 1" = 1'-0"

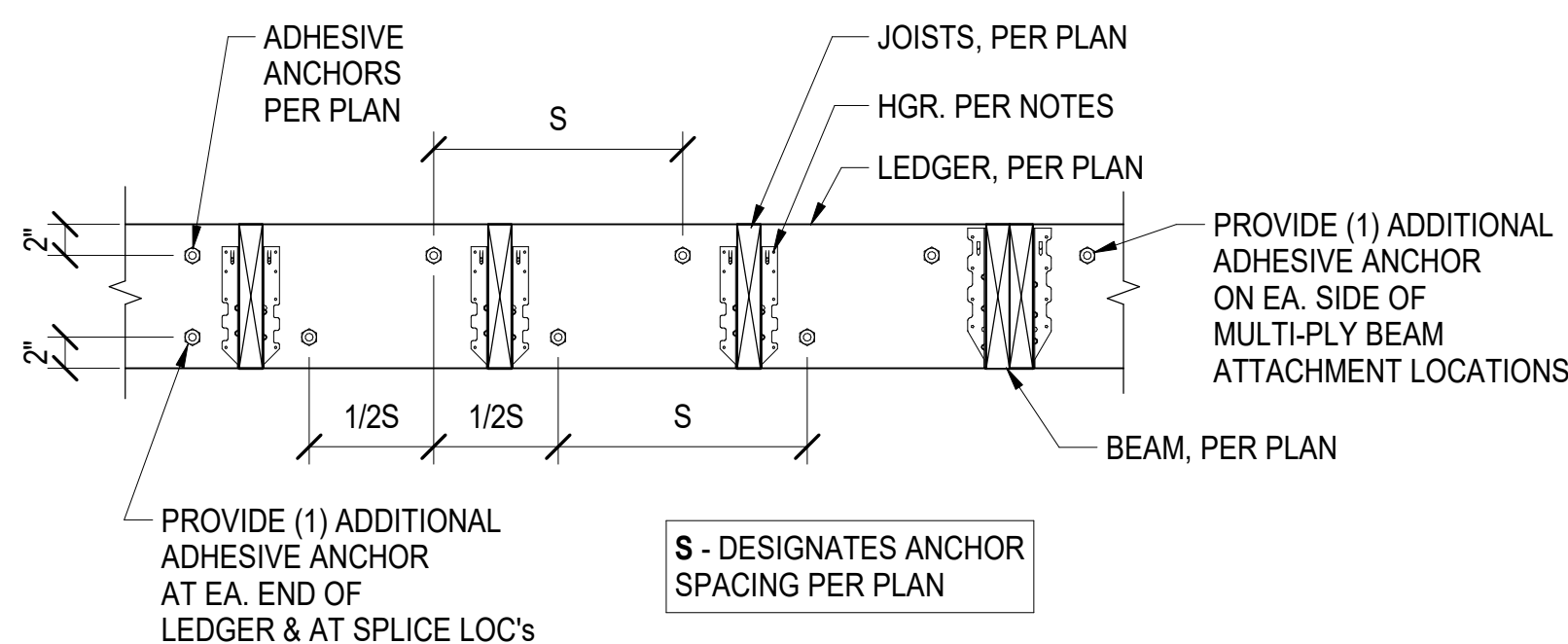


**5 TYP. WOOD BEAM BRG. ON EX. MASONRY WALL**  
SCALE: 1" = 1'-0"

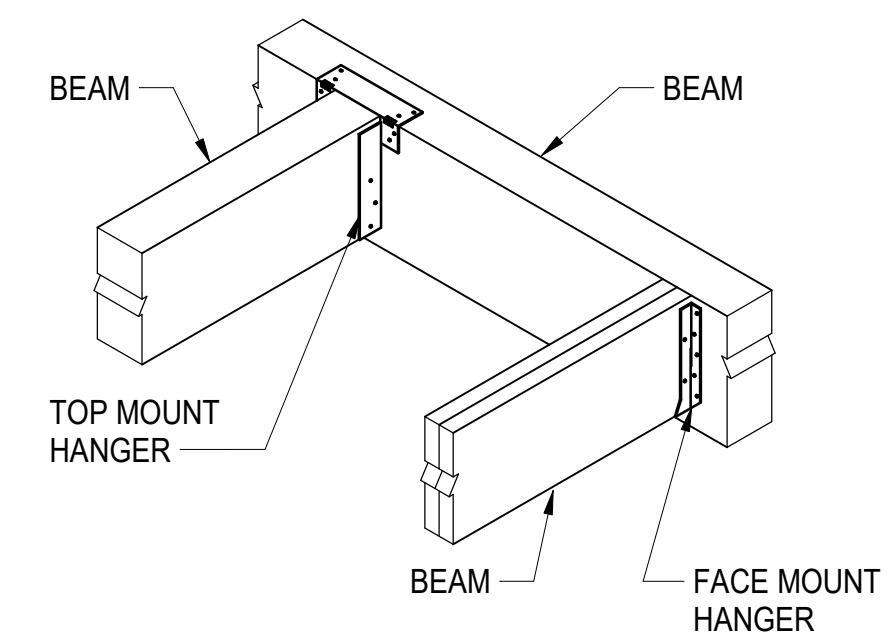


- NOTES:**
1. PROVIDE LCPZ POST CAP TO MATCH "W" DIMENSION OF POST.
  2. SHIM POST WITH SOLID WOOD BLOCKING OR SHEATHING AS NEEDED FOR FIT-UP IN LCPZ POST CAP.
  3. WHERE BEAMS ARE TO BE SUPPORTED ON STUD PACK POSTS WITH PARALLEL PILES, SHIM BEAM AS NEEDED, FLUSH WITH EDGE OF POST.
  4. PROVIDE WOOD SHIMS PER XX/SXX.
  5. THIS DETAIL IS NOT APPLICABLE WHERE THE BEAM IS WIDER THAN THE POST OR NOT CENTERED ON THE POST.

**6 TYP. POST FIT-UP DET.**  
SCALE: 1" = 1'-0"



**7 LEDGER CONNECTION DETAIL**  
SCALE: 1" = 1'-0"



**8 BEAM TO BEAM CONN DETAIL**  
SCALE: 1/2" = 1'-0"

**REVIEWED**  
By Michael Kyne at 1:58 pm, May 31, 2023

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Robert A. Norton*



Linton Engineering, L.L.C.  
46090 Lake Center Plaza  
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Potosi, PA, VA 20165  
(919) 713-5223-0220  
L.E. Project # 22-051 L.E. Project Engineer: DT  
Professional Certification:  
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland.  
License Number: 22105  
Expiration Date: 07/28/2024

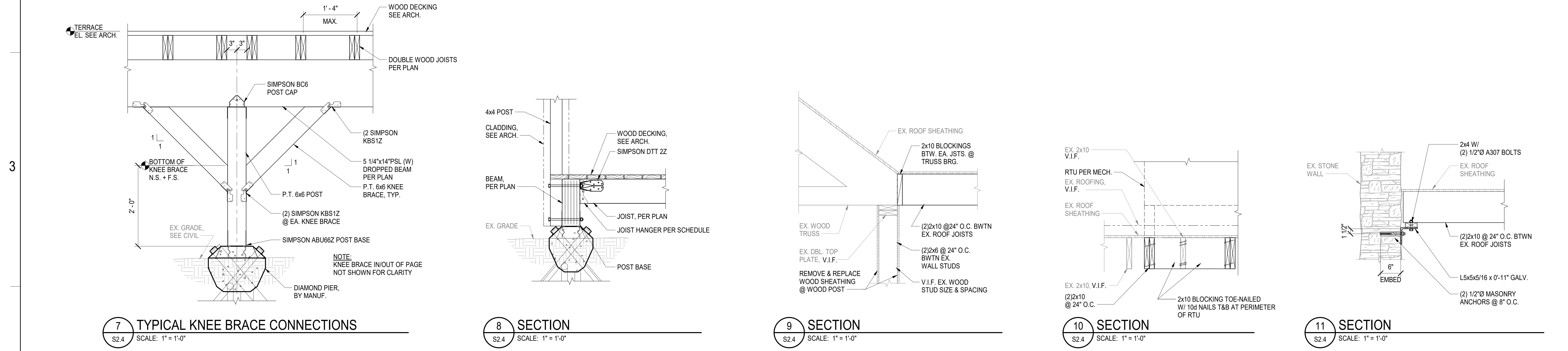
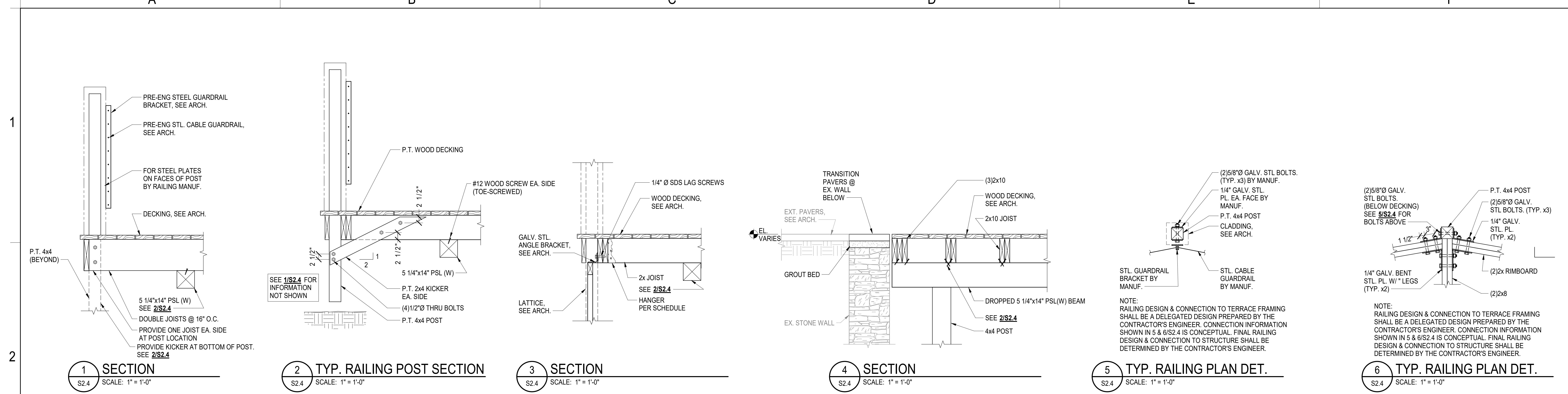
**CHEVY CHASE CLUB**  
CLUBHOUSE RENOVATION  
6100 CONNECTICUT AVE  
CHEVY CHASE, MD 20815

ISSUED FOR PERMIT  
04/12/2023  
REVISIONS

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SECTIONS AND DETAILS

S2.3





**REVIEWED**  
By Michael Kyne at 1:58 pm, May 31, 2023

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Robert A. ...*

**DLR GROUP | bowie gridley**  
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46090 Lake Center Plaza  
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(301) 971-5223 (202) 424-0200  
L.E. Project # 22-051 L.E. Project Engineer: DT

Professional Certification:  
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland.  
License Number: 22266  
Expiration Date: 07/28/2024

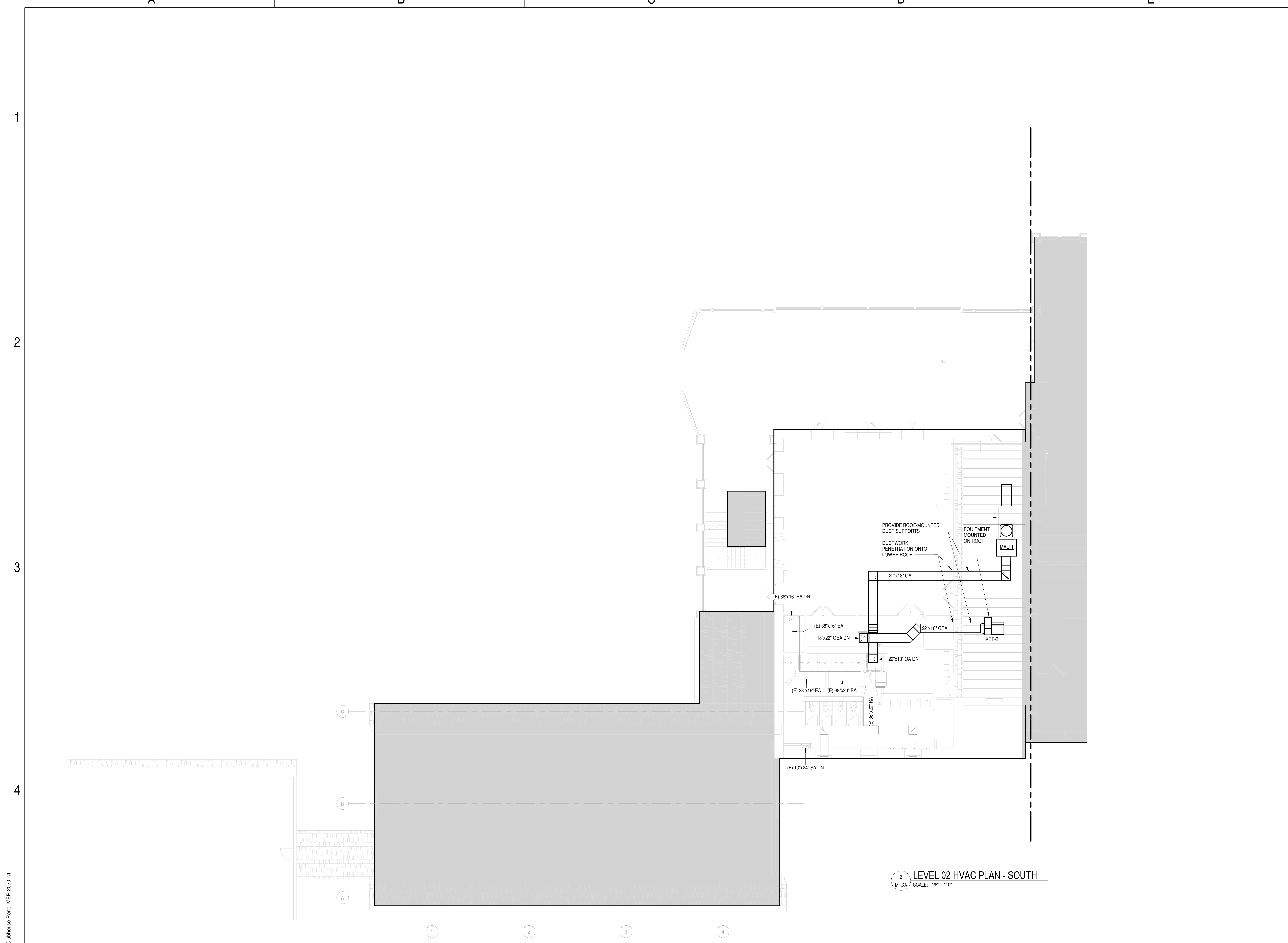
**CHEVY CHASE CLUB**  
CLUBHOUSE RENOVATION

ISSUED FOR PERMIT  
04/12/2023  
REVISIONS

56-22108-00  
SECTIONS AND DETAILS  
**S2.4**

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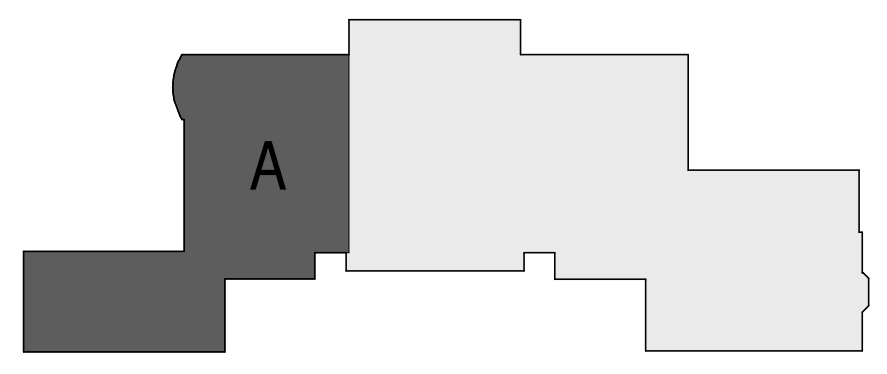
**HVAC AND PIPING NOTES**

1. SHADED REGIONS OF BUILDING ARE NOT IN THE SCOPE OF THE PROJECT.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY FOR ANY COSTS ASSOCIATED WITH CHANGES NEEDED AS A RESULT OF USING EQUIPMENT DIFFERENT THAN THE BASIS OF DESIGN.
3. COORDINATE PIPING/DUCT PENETRATIONS THRU WALLS, ROOFS, OR CEILING WITH GENERAL CONTRACTOR.
4. MECHANICAL CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING METHODS OF BRINGING IN NEW MECHANICAL EQUIPMENT THROUGH BUILDING INTO MECHANICAL ROOMS.
5. THE SUPPLY RUNOUT TO A DIFFUSER IS NOTED BY THE NECK SIZE GIVEN ON PLAN UNLESS OTHERWISE NOTED.
6. PLANS DO NOT INCLUDE ALL OFFSETS FOR COORDINATION WITH DUCT, PIPING, LIGHTING, AND STRUCTURAL SYSTEMS. PROVIDE ALLOWANCES FOR REQUIRED EFFORTS.
7. WHEN MOUNTING OR LOCATING EQUIPMENT COORDINATE WITH ALL DISCIPLINES TO ALLOW REQUIRED SPACE NEED FOR COIL AND FILTER PULLS.
8. LIMIT ALL FLEXIBLE DUCT RUNS TO 3 FEET MAXIMUM LENGTH. FLEXIBLE DUCT(S) SHALL BE OF THE SAME SIZE AS THE DIFFUSER NECKS THAT THEY CONNECT TO UNLESS OTHERWISE NOTED.
9. BALANCING DAMPERS SHALL BE LOCATED ABOVE ACCESSIBLE CEILING. IF THIS IS NOT POSSIBLE, VOLUME DAMPERS SHALL BE PROVIDED WITH REMOTE DAMPER OPERATORS WITH ADJUSTABLE COVER IN NON-ACCESSIBLE CEILING AREAS.
10. REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR EXACT LOCATIONS OF CEILING DIFFUSERS, REGISTERS, AND GRILLES. COORDINATE WITH ELECTRICAL CEILING COMPONENTS AND FIRE SPRINKLERS.
11. ALL BRANCHES FROM MAINS ARE TO HAVE A HIGH EFFICIENCY TAKEOFFS.

**REVIEWED**  
By Michael Kyne at 1:59 pm, May 31, 2023

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Robert H. ...*

**KEY PLAN**



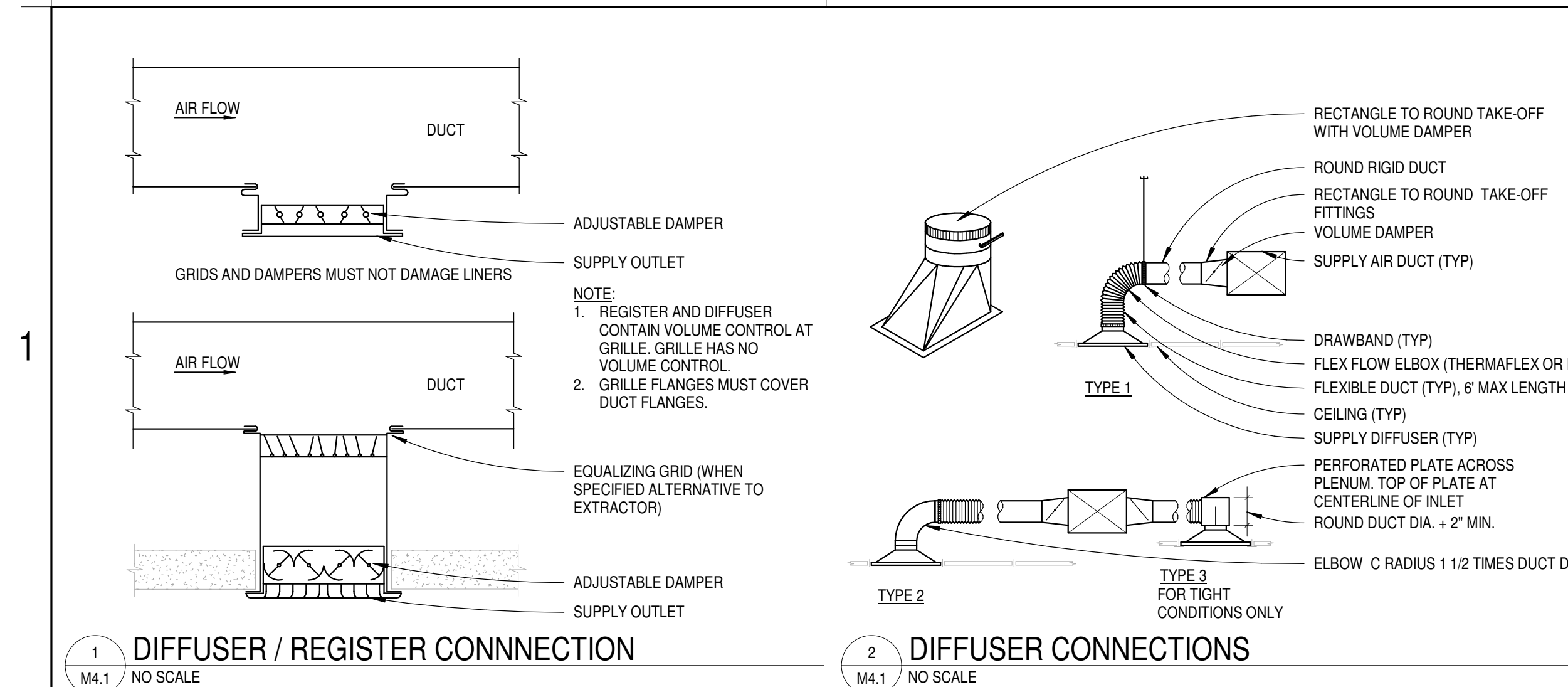
PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 59134. EXPIRATION DATE 03-24-2024

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4/12/2023  
REVISIONS

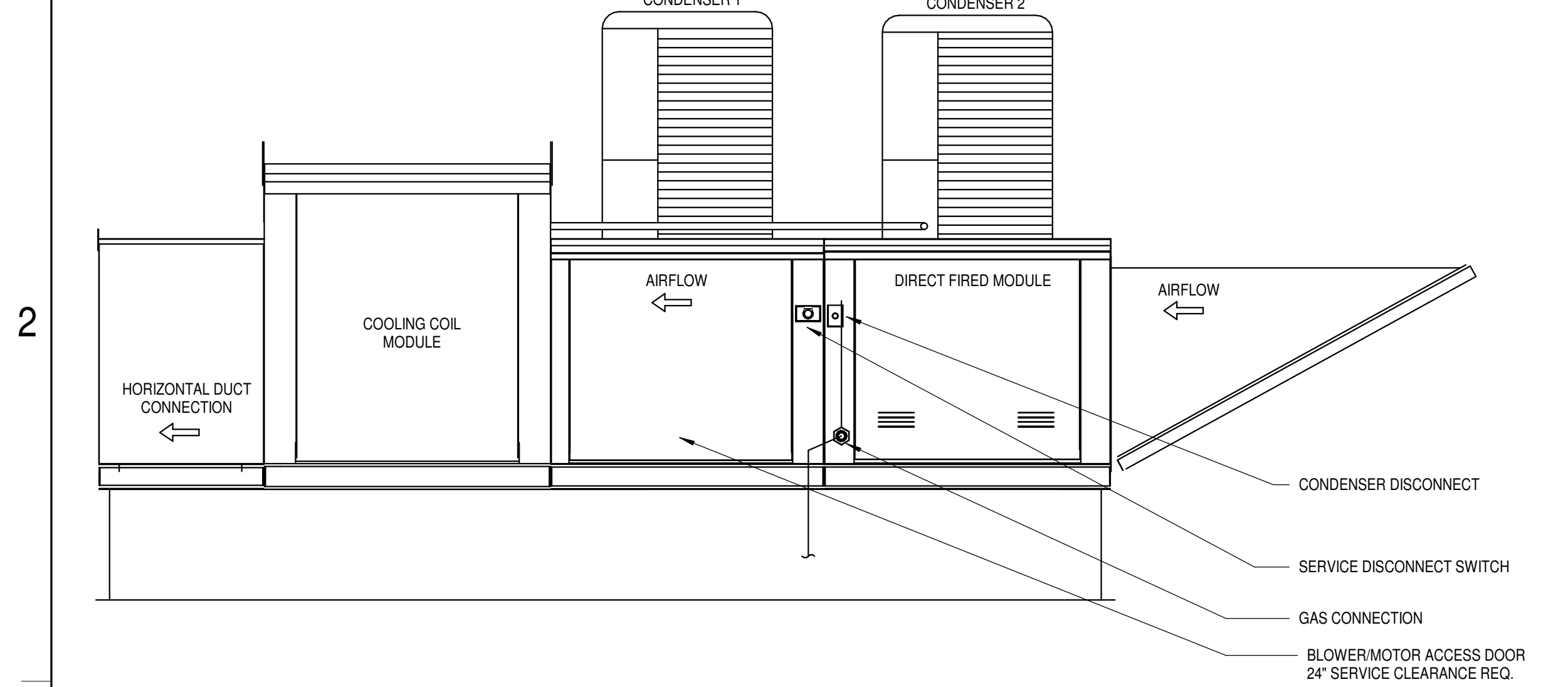
56-22108-00  
LEVEL 02 HVAC PLAN - SOUTH

**M1.2A**





1 DIFFUSER / REGISTER CONNECTION  
M4.1 / NO SCALE



2 DIFFUSER CONNECTIONS  
M4.1 / NO SCALE



3 OUTDOOR DUCTWORK INSULATION  
M4.1 / NO SCALE



4 ROOF MOUNTED DUCT SUPPORTS  
M4.1 / NO SCALE



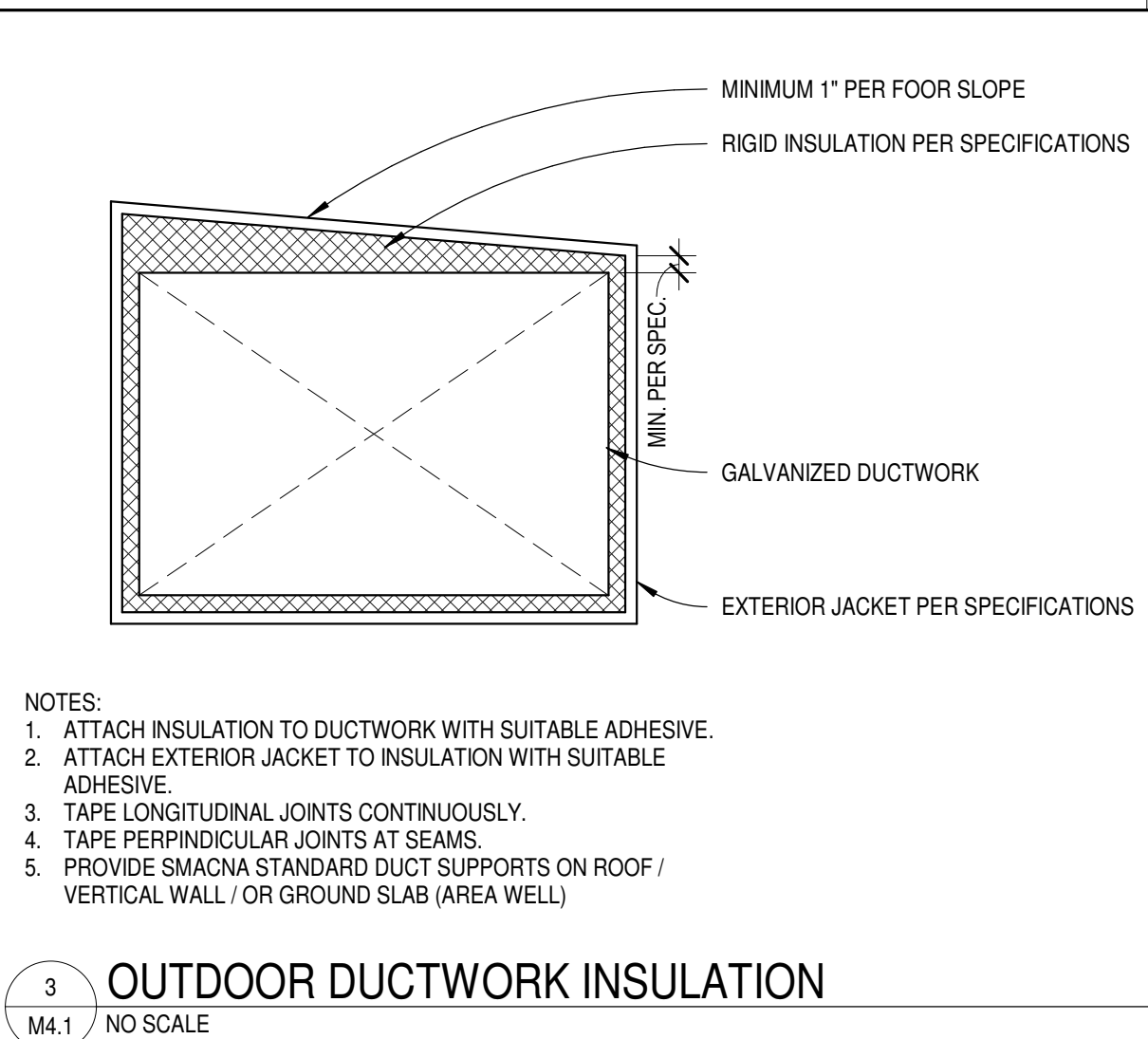
5 CONDENSATE DRAIN P-TRAP  
M4.1 / NO SCALE



6 2-WAY COIL CONNECTION  
M4.1 / NO SCALE



7 MODULAR PACKAGED COOLING MAKE-UP AIR UNIT  
M4.1 / NO SCALE



3 OUTDOOR DUCTWORK INSULATION  
M4.1 / NO SCALE



4 ROOF MOUNTED DUCT SUPPORTS  
M4.1 / NO SCALE

AIR HANDLING UNIT (FACTORY BUILT) SCHEDULE															
MARK	TYPE	MINIMUM OUTSIDE AIR	SUPPLY FAN SECTION DATA				ELECTRICAL DATA				COOLING COIL MARK	HEATING COIL MARK	BASIS OF DESIGN	MECH NOTES	
			CFM	BLADE TYPE	RPM	STATIC PRESSURE	HP	V	PH	HZ					
AC-1	DRAW THRU	800	4000	DDP	2,650	1	3.081	5	208	3	60	CC-1	HC-1	TRANE UCCA SIZE 8	1 THRU 5
AC-2	DRAW THRU	13100	13100	DDP	2,950	1	3.208	(2) 7.5	208	3	60	CC-2	HC-2	TRANE UCCA SIZE 25	1 THRU 5
AC-3	DRAW THRU	500	2700	DDP	2,700	1	2.748	3	208	3	60	CC-3	HC-3	TRANE UCCA SIZE 6	1 THRU 5
HV-3	DRAW THRU	19300	19300	DDP	2,000	2	3.14	10	208	3	60	---	HC-3A	TRANE CSEA SIZE 35	1 THRU 5
HV-4	DRAW THRU	6230	6230	DDP	2,500	2	2.676	7.5	208	3	60	---	HC-4	TRANE UCCA SIZE 12	1 THRU 5

MECHANICAL NOTES:  
1. EXTERNAL STATIC PRESSURE AS SHOWN IS EXTERNAL TO THE UNIT AND IS THE STATIC PRESSURE AVAILABLE FOR DUCTWORK AND ACCESSORIES.  
TOTAL STATIC PRESSURE = EXTERNAL + INTERNAL STATIC PRESSURE. DESIGN FOR MID-LIFE PRESSURE DROP FOR FILTER LOADING. THIS IS IN ADDITION TO THE CLEAN FILTER PRESSURE DROP.  
2. ALL SECTIONS (FIELD OR FACTORY FABRICATED) OF THE AIR HANDLING UNIT SHALL BE DOUBLE WALL INSULATED AS PER THE SPECIFICATIONS.  
3. PROVIDE ACCESS DOORS IN ALL FILTER, ACCESS AND FAN MODULES.  
4. PROVIDE DOUBLE WALL DRAIN PANS UNDER ALL COIL MODULES OR SECTIONS.  
5. DAMPERS LOCATED IN THE MIXING BOX / ECONOMIZER MODULE SHALL BE PROVIDED BY THE AHU MANUFACTURER. SEE SPECIFICATIONS.

COIL - CHILLED WATER SCHEDULE															
MARK	SERVES	CFM	COIL SIZE W x H (IN)	MIN ROWS	AIR SIDE				WATER SIDE				BASIS OF DESIGN	MECH NOTES	
					MAX FACE VELOCITY (FPM)	MAX AIR PD (IN WC)	MIN SEN CAP (MBH)	TOTAL CAP (MBH)	EAT DB (°F)	LAT DB (°F)	GPM	MAX WATER PD (FT WC)			EWT (°F)
CC-1	AC-1	4000	50 X 30	6	525	0.635	110.23	150.84	80 / 67	55 / 54.84	18.0	3.30	44.00	60.66	TRANE 1, 2
CC-2	AC-2	13100	80 X 60	6	550	0.763	361.01	496.76	80 / 67	55 / 54.76	68.0	5.07	44.00	58.56	TRANE 1, 2
CC-3	AC-3	2700	45 X 32	6	500	0.508	75.78	105.54	80 / 67	55 / 54.6	16.0	3.30	44.00	57.10	TRANE 1, 2

MECHANICAL NOTES:  
1. COIL CRITERIA:  
A. 0.0000 FOULING FACTOR.  
B. 3.0 FEET PER SECOND WATER VELOCITY.  
C. 5.0 GALLONS COIL WATER VOLUME.  
D. 80 FINS PER FOOT AND 0.02\"/>

COIL - HOT WATER SCHEDULE														
MARK	SERVES	CFM	COIL SIZE W x H (IN)	MIN ROWS	AIR SIDE				WATER SIDE				BASIS OF DESIGN	MECH NOTES
					MAX FACE VELOCITY (FPM)	MAX AIR PD (IN WC)	MIN SEN CAP (MBH)	TOTAL CAP (MBH)	EAT DB (°F)	LAT DB (°F)	GPM	MAX WATER PD (FT WC)		
HC-1	AC-1	4000	50 X 30	1	525	0.162	143.2	45.0	78.0	7.0	0.3	180.0	138.1	TRANE 1
HC-2	AC-2	13100	80 X 60	1	550	0.134	781.4	0.0	55.0	43.0	9.8	180.0	143.5	TRANE 1
HC-3	AC-3	2700	45 X 32	1	480	0.103	98.4	45.0	78.0	8.0	0.5	180.0	154.7	TRANE 1
HC-3A	HV-3	19300	87 X 54	1	560	0.119	721.2	55.0	90.0	72.0	10.2	180.0	160.0	TRANE 1
HC-4	HV-4	6230	70 X 40	2	510	0.184	206.5	55.0	90.0	8.0	0.1	180.0	131.2	TRANE 1

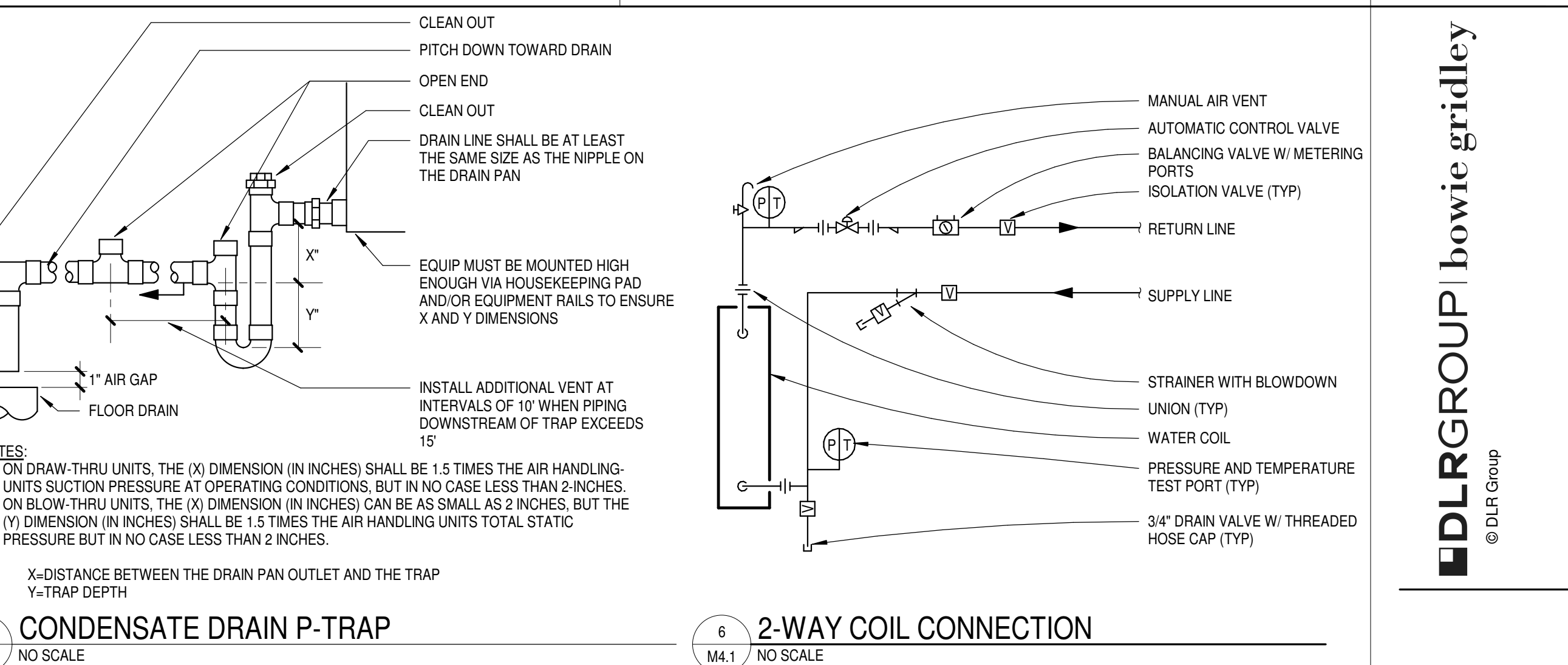
MECHANICAL NOTES:  
1. MAXIMUM FIN SPACING SHALL BE 10 FINS PER INCH.

FAN SCHEDULE															
MARK	SERVES	FAN DATA				ELECTRICAL DATA				MAX MOTORIZED DAMPER	UNIT WEIGHT (LBS)	BASIS OF DESIGN	MECH NOTES		
		FAN TYPE	CFM	ESP (IN WG)	FAN RPM	DRIVE TYPE	HP (WATTS)	V	PH					HZ	
KEP-1	MAIN KITCHEN	CENT	16200	3	1725	BELT	15	208	3	60	---	750	COOK 330 CPA	1 THRU 6	
KEP-2	TAPROOM KITCHEN	CENT	3710	2	1015	DIRECT	5	208	3	60	20.1	---	750	CAPTIVEAIRE USB24DD-RM	1 THRU 6

MECHANICAL NOTES:  
1. PROVIDE UTILITY SET GREASE CUP.  
2. FAN SELECTION WITH THE FOLLOWING PARAMETER: NOT ALLOWED TO OPERATE IN MOTOR SAFETY FACTOR.  
3. DISCHARGE ORIENTATION VERTICAL UPPER LEFT - CW INLET SIDE. PROVIDE WITH 24\"/>

ROOF-TOP MAKEUP AIR UNIT - GAS FIRED SCHEDULE																						
MARK	CFM	TYPE	% OA	FAN DATA				MINIMUM COOLING CAPACITY AT ENTERING CONDITIONS SHOWN				HEATING DATA				UNIT WEIGHT (LBS)	BASIS OF DESIGN	MECH NOTES				
				ESP (IN WG)	TSP (IN WG)	HP	TOTAL CAP (MBH)	SENS. CAP (MBH)	EAT DBWB (°F)	LAT DBWB (°F)	INPUT (MBH)	OUTPUT (MBH)	EAT (°F)	LAT (°F)	V				PH	HZ		
MAU-1	2968	DIRECT-FIRED	100	0.75	---	3	56.7	37.8	91.74	78.8 / 68.8	240.8	221.5	0.0	70.0	208	3	60	11.9	20	1300	CAPTIVEAIRE A2-D.500-20D-MPU	1 THRU 6

MECHANICAL NOTES:  
1. UNIT SHALL BE PROVIDED WITH A MOTORIZED DAMPER ON INLET AIR.  
2. UNIT SHALL BE PROVIDED WITH A 20\"/>



5 CONDENSATE DRAIN P-TRAP  
M4.1 / NO SCALE



6 2-WAY COIL CONNECTION  
M4.1 / NO SCALE

DIFFUSER, REGISTER & GRILLE SCHEDULE													
MARK	MAX STATIC PD (IN WG)	MAX NC (DECIBELS)	OPPOSED BLADE DAMPER	FRAME TYPE	PANEL SIZE (IN)	FACE SIZE (IN)	FINISH	MATERIAL	BASIS OF DESIGN	MECH NOTES	MECH NOTES		
											PRICE \$2	PRICE \$3	
D-1	0.10	25	---	LAY-IN	24x24	24x24	METAL	STAINLESS...	CAPTIVEAIRE DI-PSP	1,2,3	PRICE \$2	1,2,3	
D-2	0.10	25	---	SEE PLANS	SEE PLANS	SEE PLANS	PRIMER	ALUMINUM	PRICE 32	1,2,3	PRICE TBD4100	1,2,3,4	
D-3	0.10	25	---	SURFACE	4 FT LONG	2 SLOTS	NOTE 4	STEEL	PRICE TBD4100	1,2,3,4	PRICE TBD4100	1,2,3,4	
D-4	0.10	25	---	SURFACE	5 FT LONG	3 SLOTS	NOTE 4	STEEL	PRICE TBD4100	1,2,3,4	PRICE TBD4100	1,2,3,4	
G-1	0.10	25	---	LAY-IN	SEE PLANS	SEE PLANS	WHITE	ALUMINUM	PRICE 60	1,2,3	PRICE 635DAL	1,2,3	
G-2	0.20	25	DAL	SURFACE	SEE PLANS	SEE PLANS	WHITE	ALUMINUM	PRICE 635DAL	1,2,3	PRICE 635DAL	1,2,3	

MECHANICAL NOTES:  
1. NC VALUES ARE BASED ON A ROOM ABSORPTION OF 10 db, RE 10-12 WATTS.  
2. SEE PLANS FOR NECK SIZE AND CFM.  
3. COORDINATE WITH CEILING ON FRAME TYPE. PROVIDE A ALUMINUM SURFACE MOUNT ADAPTER FRAME FOR GYP CEILING INSTALLATION.

REVIEWED  
By Michael Kyne at 1:59 pm, May 31, 2023

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]*



PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 59154. EXPIRATION DATE 05-24-2024.

CHEVY CHASE CLUB  
CLUBHOUSE RENOVATION  
6100 CONNECTICUT AVE  
CHEVY CHASE, MD 20815

ISSUED FOR PERMIT  
4/12/2023  
REVISIONS

56-22108-00  
HVAC DETAILS & SCHEDULES

M4.1



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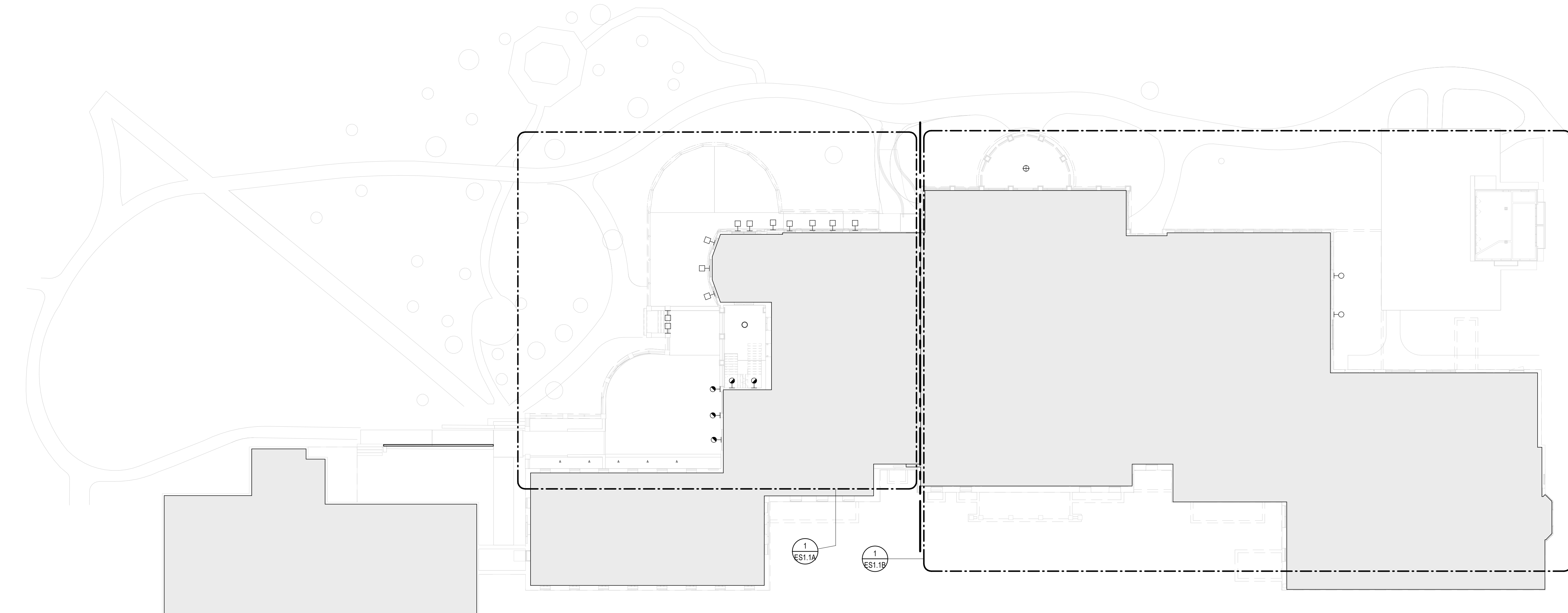
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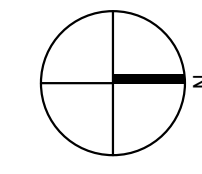
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**SITE LIGHTING - OVERALL**  
 SCALE: 1" = 20'-0"  


**REVIEWED**  
 By Michael Kyne at 1:59 pm, May 31, 2023

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**CHEVY CHASE CLUB**  
 CLUBHOUSE RENOVATION  
 6100 CONNECTICUT AVE  
 CHEVY CHASE, MD 20815

ISSUED FOR PERMIT  
 4/12/2023  
 REVISIONS

56-22108-00  
 SITE LIGHTING PLAN - OVERALL

ES1.0



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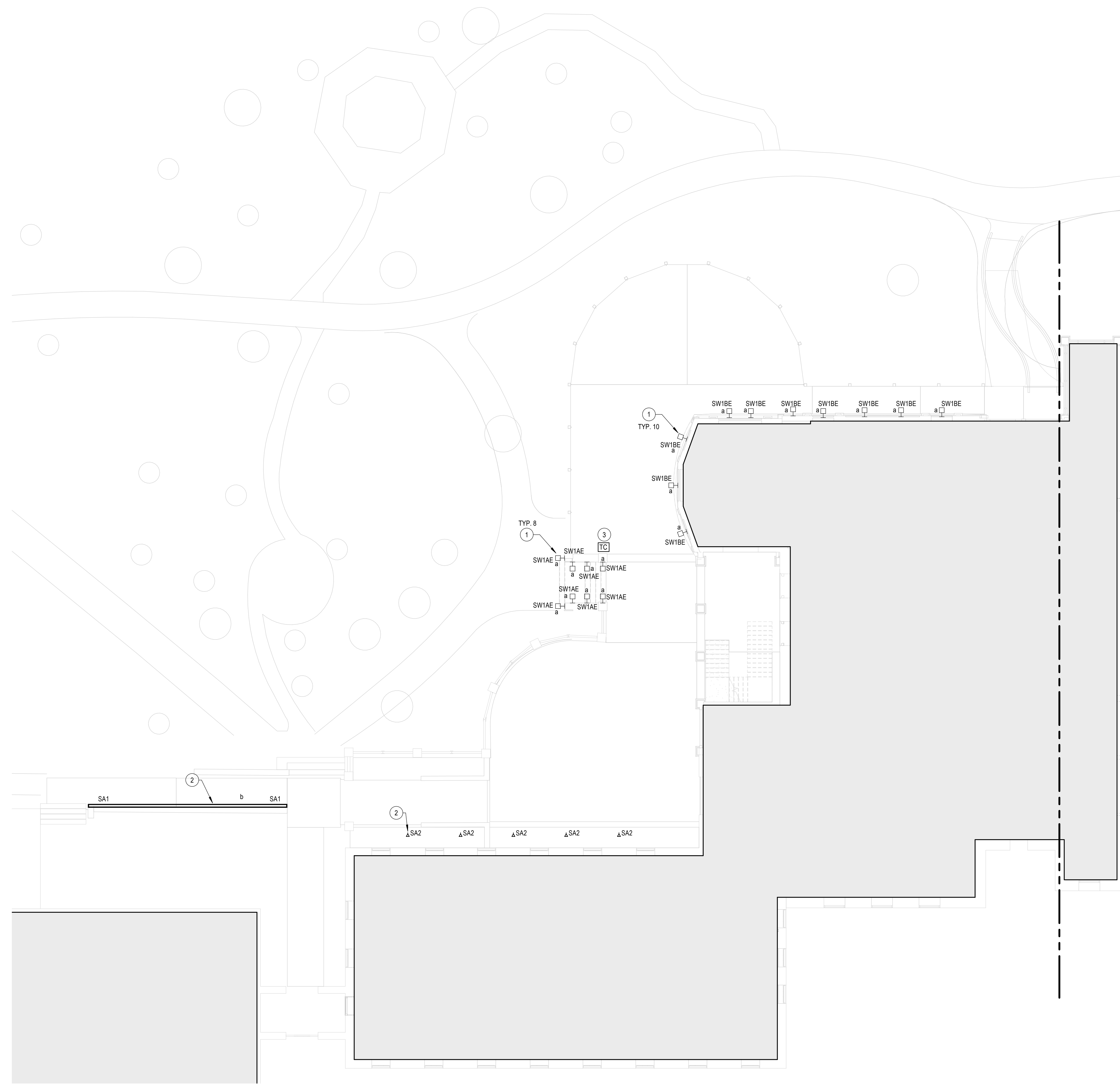
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SHEET NOTES

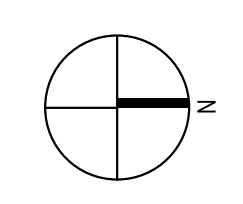
- 1 PROVIDE 2#12 + 1#12 GND BACK TO CIRCUIT PKC-2. CONNECT TO CENTRAL BATTERY INVERTER INV-8, EMERGENCY LIGHTING RELAY, AND TIME CLOCK IN BASEMENT MECH RM #2. SEE SHEET E3.0A.
- 2 NEW SITE LIGHT TO BE CONNECTED TO EXISTING LANDSCAPE LIGHTING CIRCUIT SERVING AREA. PROVIDE TIMECLOCK FOR LIGHTING CONTROL.
- 3 NEW TIMECLOCK FOR SITE LIGHTING CONTROL TO BE LOCATED UNDERNEATH NEW DECK.



**REVIEWED**  
By Michael Kyne at 1:59 pm, May 31, 2023

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Robert A. ...*

1 SITE LIGHTING - ENLARGED SOUTH  
ES1.1A SCALE: 1" = 10'-0"



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4/12/2023  
REVISIONS

56-22108-00  
ENLARGED SITE LIGHTING PLAN - SOUTH

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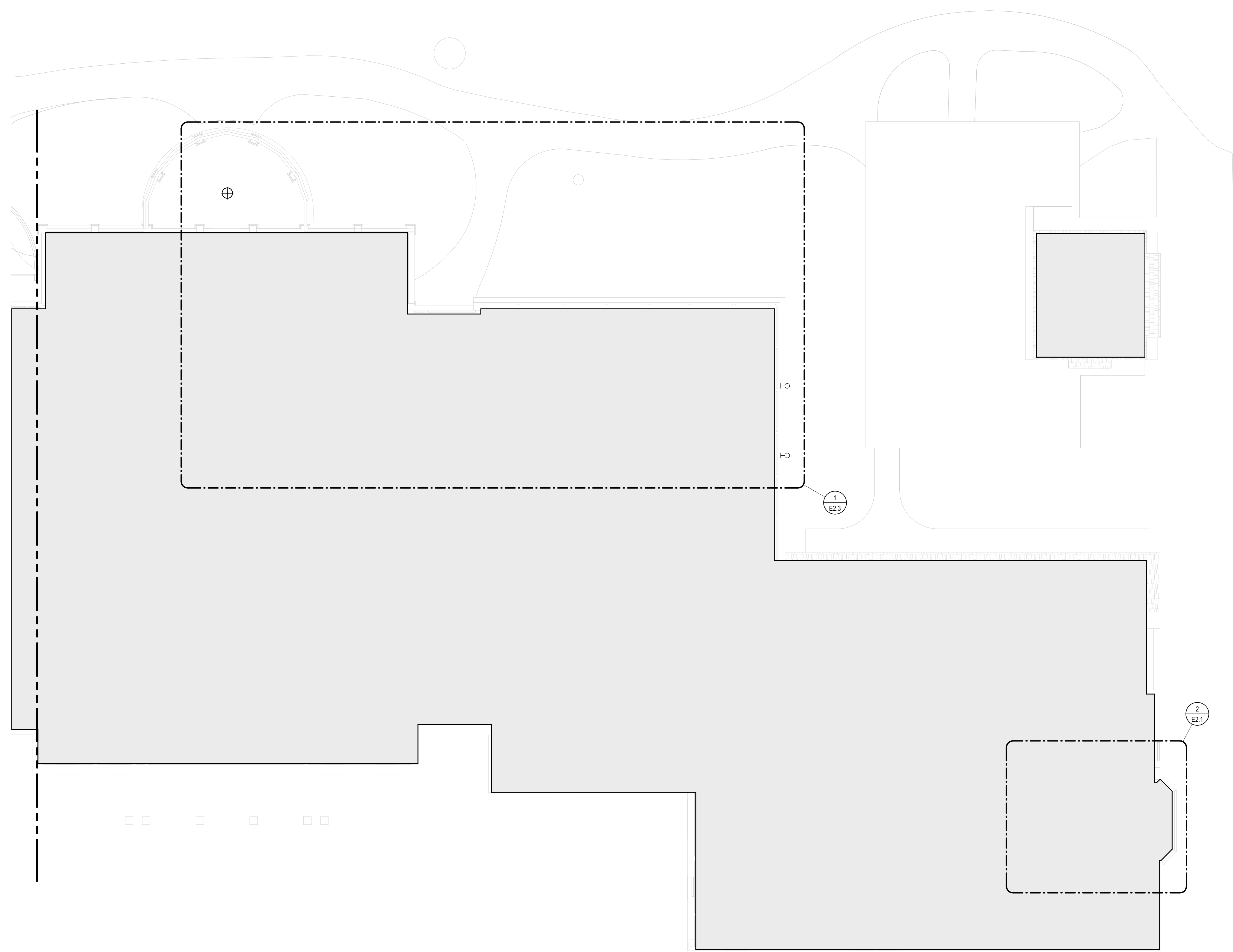
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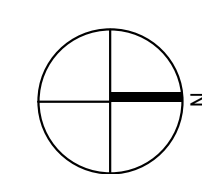
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1 SITE LIGHTING - ENLARGED NORTH  
 ES1.1B SCALE: 1" = 10'-0"



**REVIEWED**  
 By Michael Kyne at 1:59 pm, May 31, 2023

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 Montgomery County  
 Historic Preservation Commission  
*Robert A. Norton*



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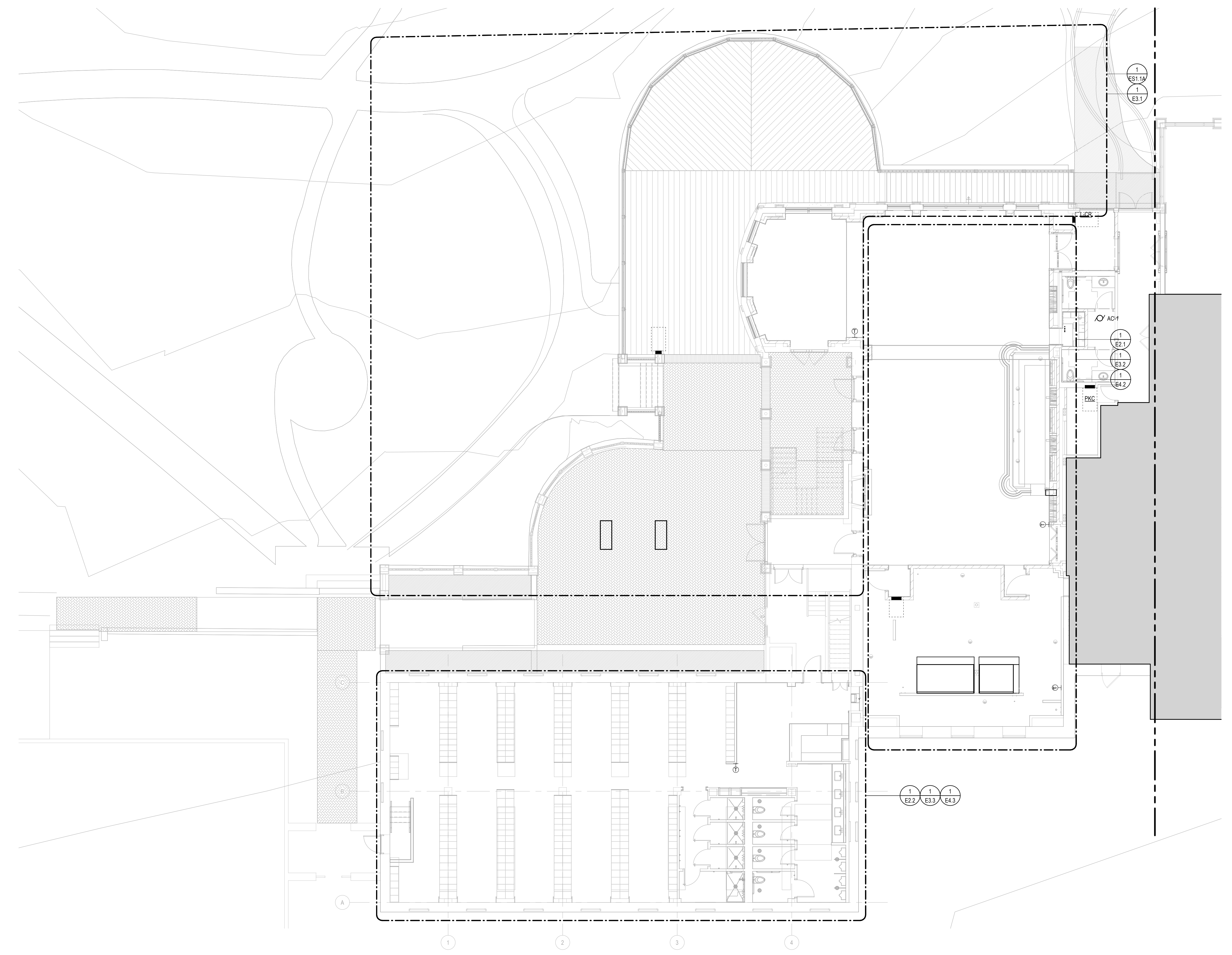
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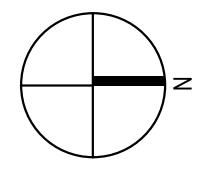
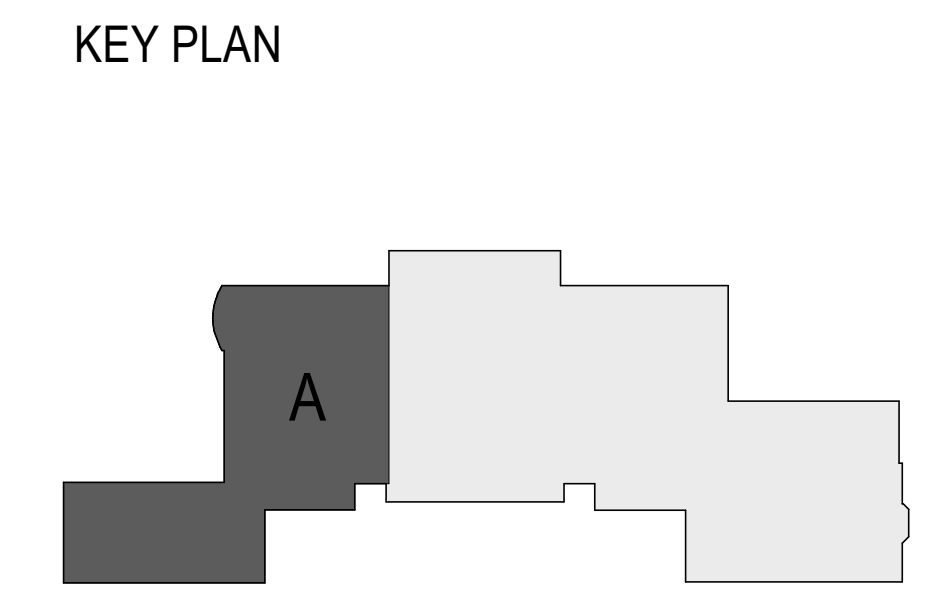
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1  
E1.1A SCALE: 1/8" = 1'-0"  
**ELECTRICAL LEVEL 01 FLOOR PLAN - SOUTH**

**REVIEWED**  
By Michael Kyne at 1:59 pm, May 31, 2023

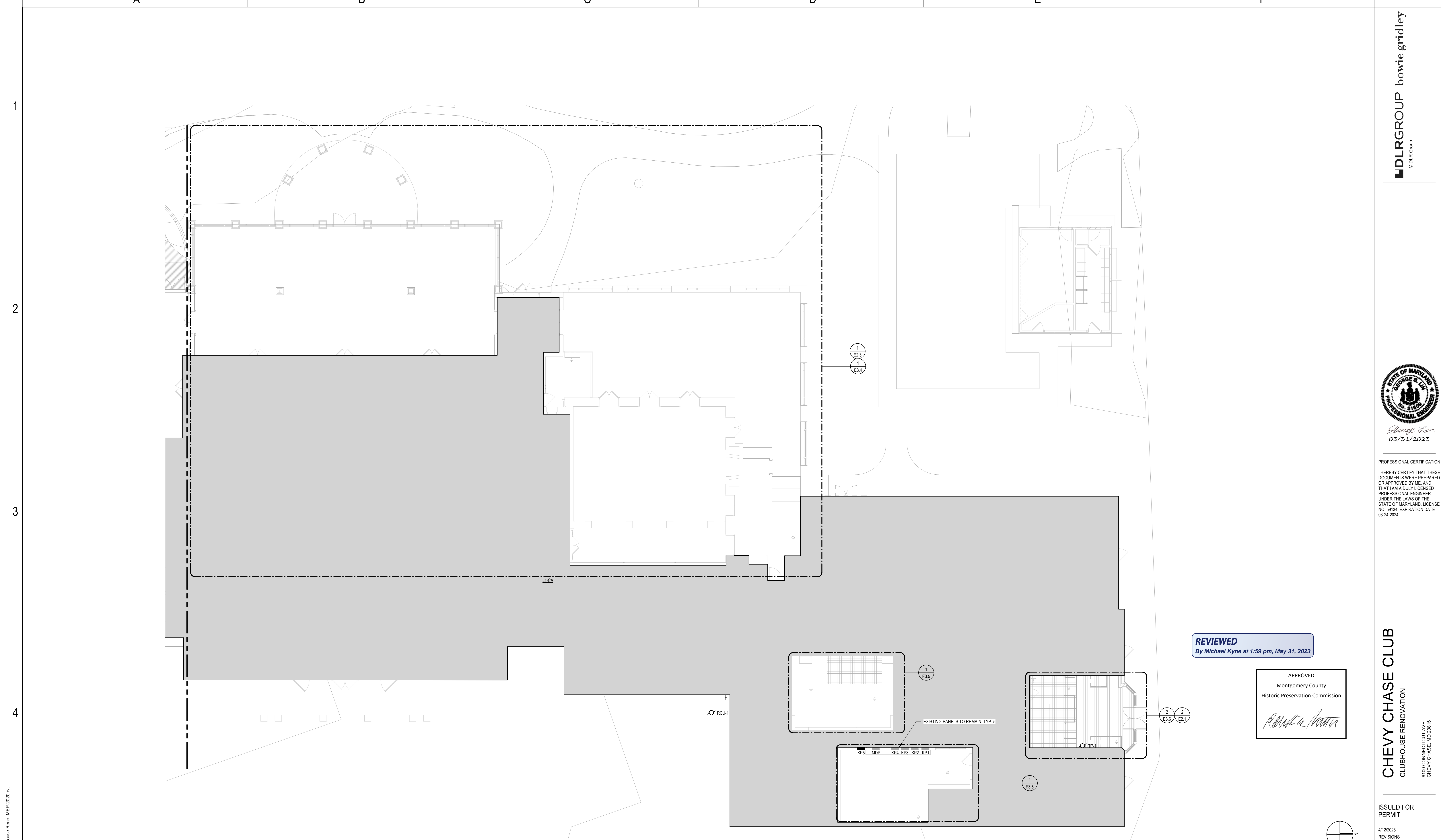
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Historic Preservation Commission  
*Robert A. Patton*



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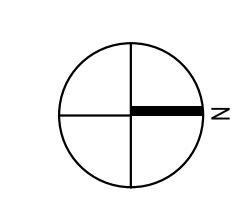
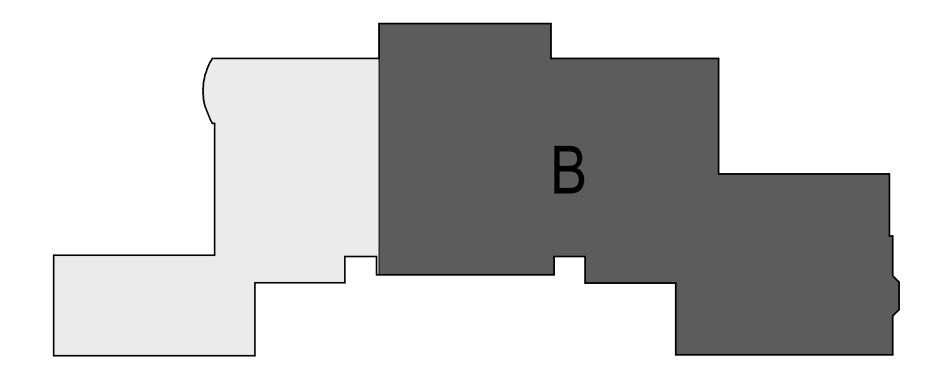
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1 **ELECTRICAL LEVEL 01 FLOOR PLAN - NORTH**  
 E1.1B SCALE: 1/8" = 1'-0"

**REVIEWED**  
 By Michael Kyne at 1:59 pm, May 31, 2023

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 Montgomery County  
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KEY PLAN



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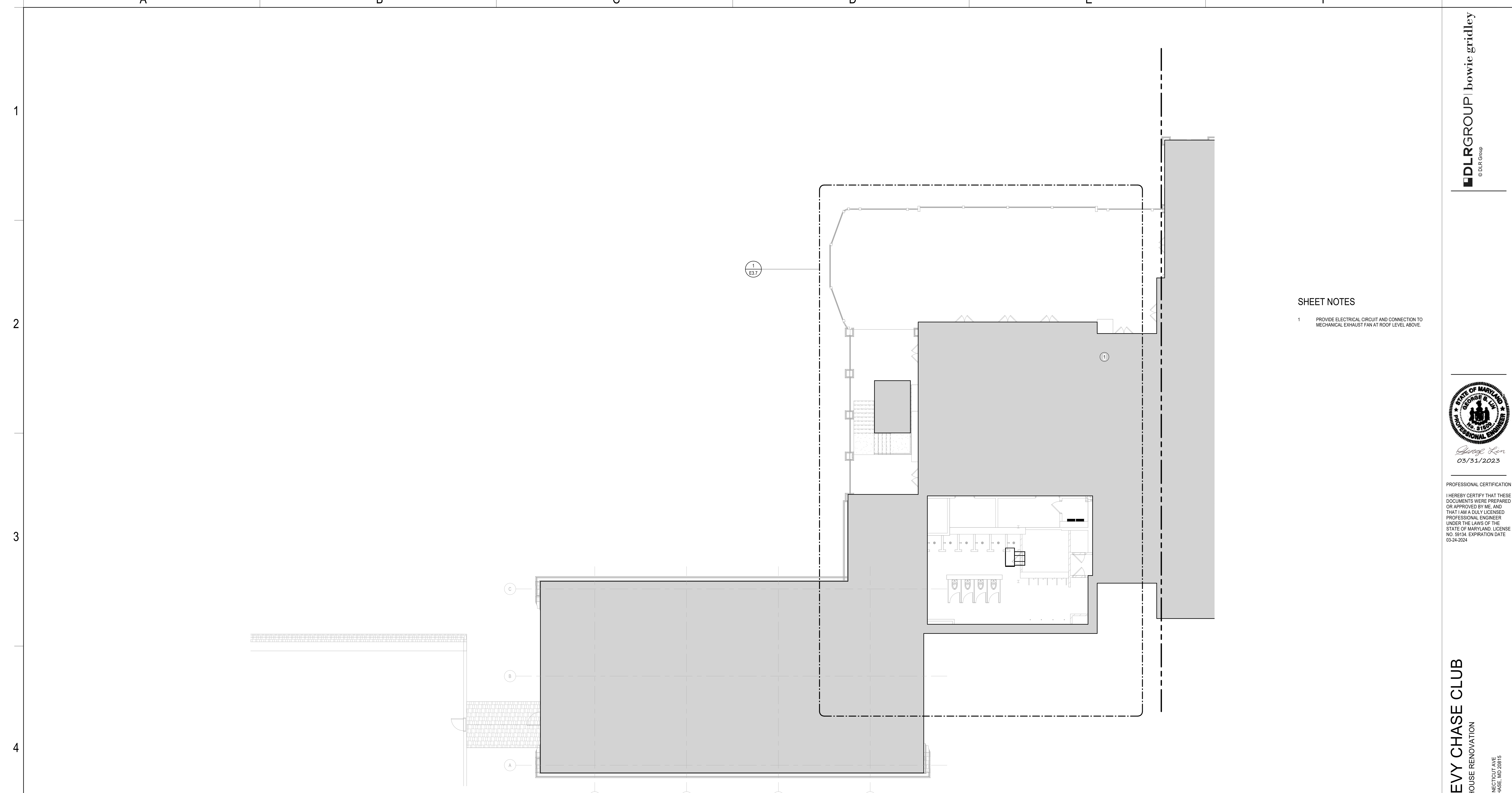
**CHEY CHASE CLUB**  
 CLUBHOUSE RENOVATION  
6100 CONNECTICUT AVE  
 CHEVY CHASE, MD 20815

ISSUED FOR PERMIT  
 4/12/2023  
 REVISIONS

56-22108-00  
 ELECTRICAL LEVEL 01 FLOOR PLAN - NORTH

E1.1B



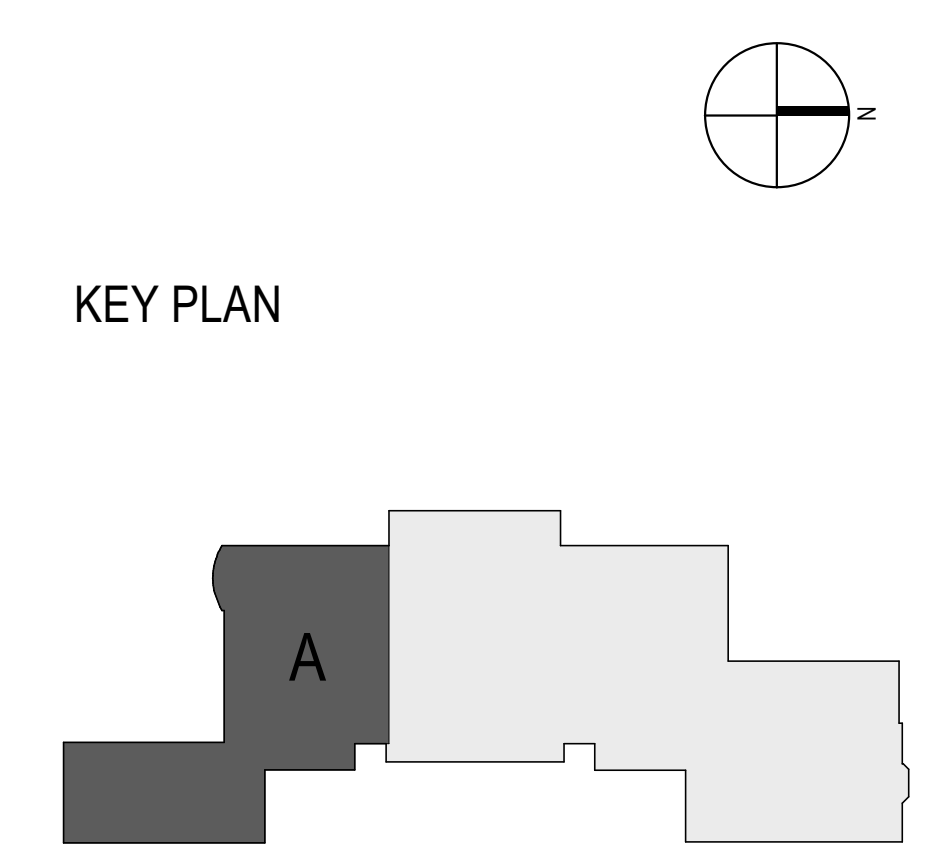


**1** ELECTRICAL LEVEL 02 FLOOR PLAN - SOUTH  
 E1.2A SCALE: 1/8" = 1'-0"

**SHEET NOTES**  
 1 PROVIDE ELECTRICAL CIRCUIT AND CONNECTION TO MECHANICAL EXHAUST FAN AT ROOF LEVEL ABOVE.

**REVIEWED**  
 By Michael Kyne at 1:59 pm, May 31, 2023

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 Montgomery County  
 Historic Preservation Commission  
*Robert H. ...*

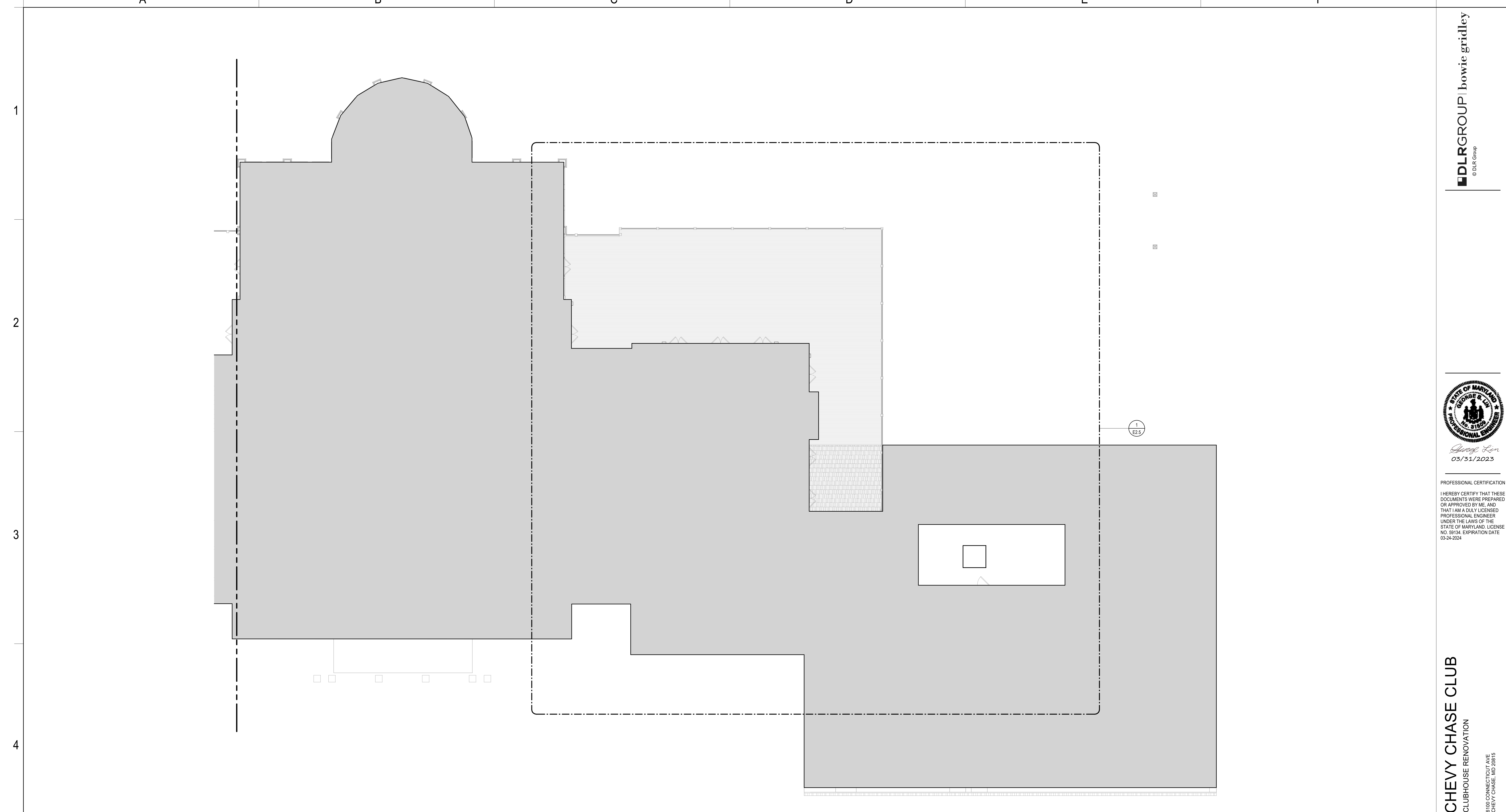


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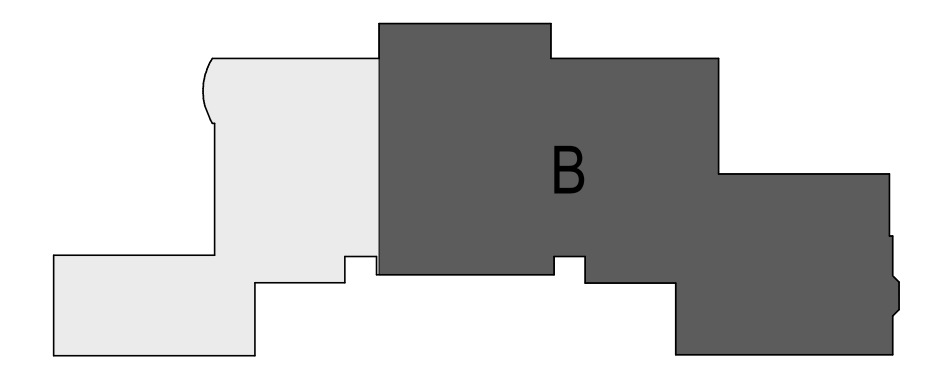
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E1.2B SCALE: 1/8" = 1'-0"

**ELECTRICAL LEVEL 02 FLOOR PLAN - NORTH**

**REVIEWED**  
By Michael Kyne at 1:59 pm, May 31, 2023

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Montgomery County  
Historic Preservation Commission

KEY PLAN



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**CHEVY CHASE CLUB**  
CLUBHOUSE RENOVATION  
6100 CONNECTICUT AVE  
CHEVY CHASE, MD 20815

ISSUED FOR PERMIT  
4/12/2023  
REVISIONS

56-22108-00  
ELECTRICAL LEVEL 02 FLOOR PLAN - NORTH

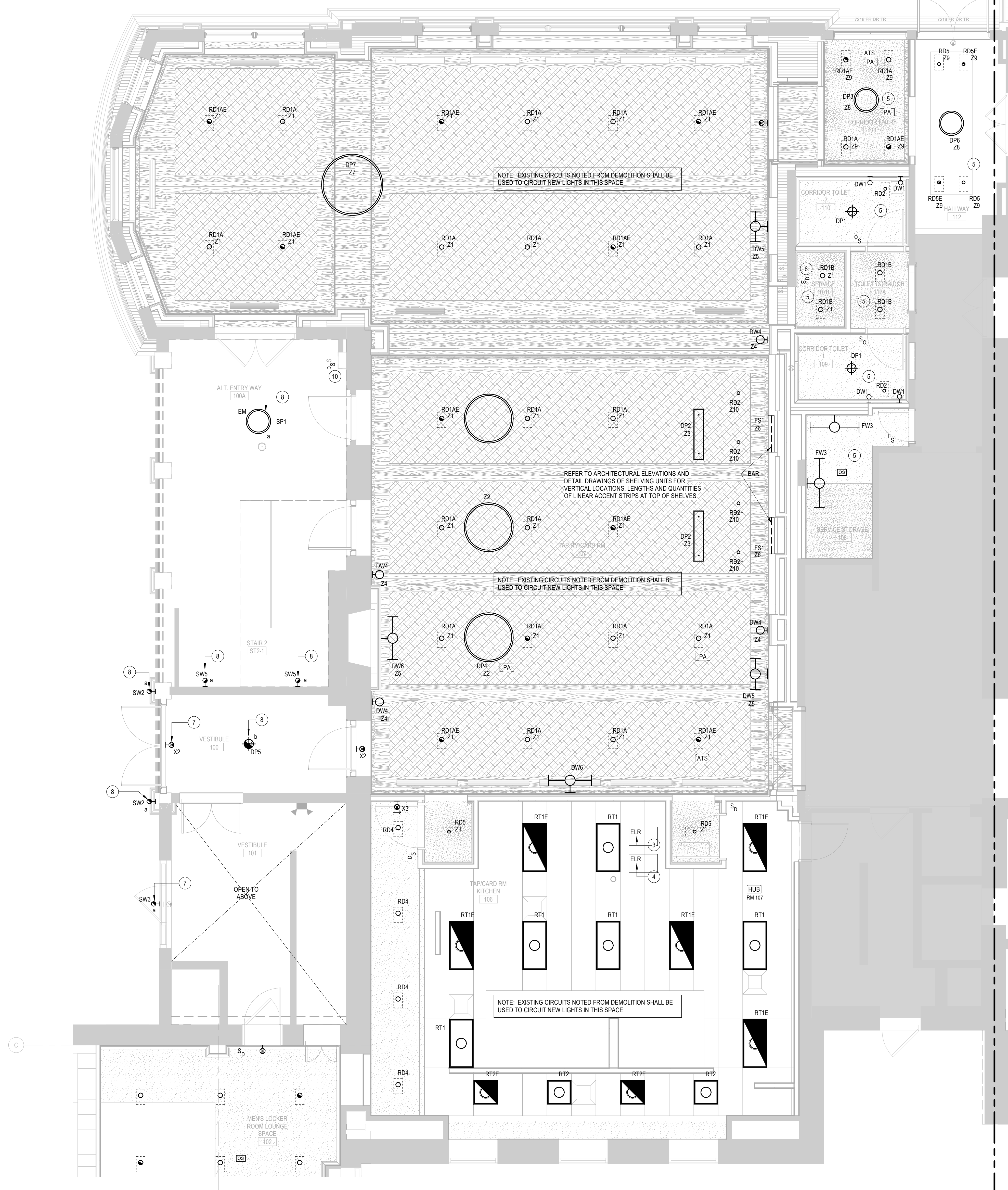
**E1.2B**

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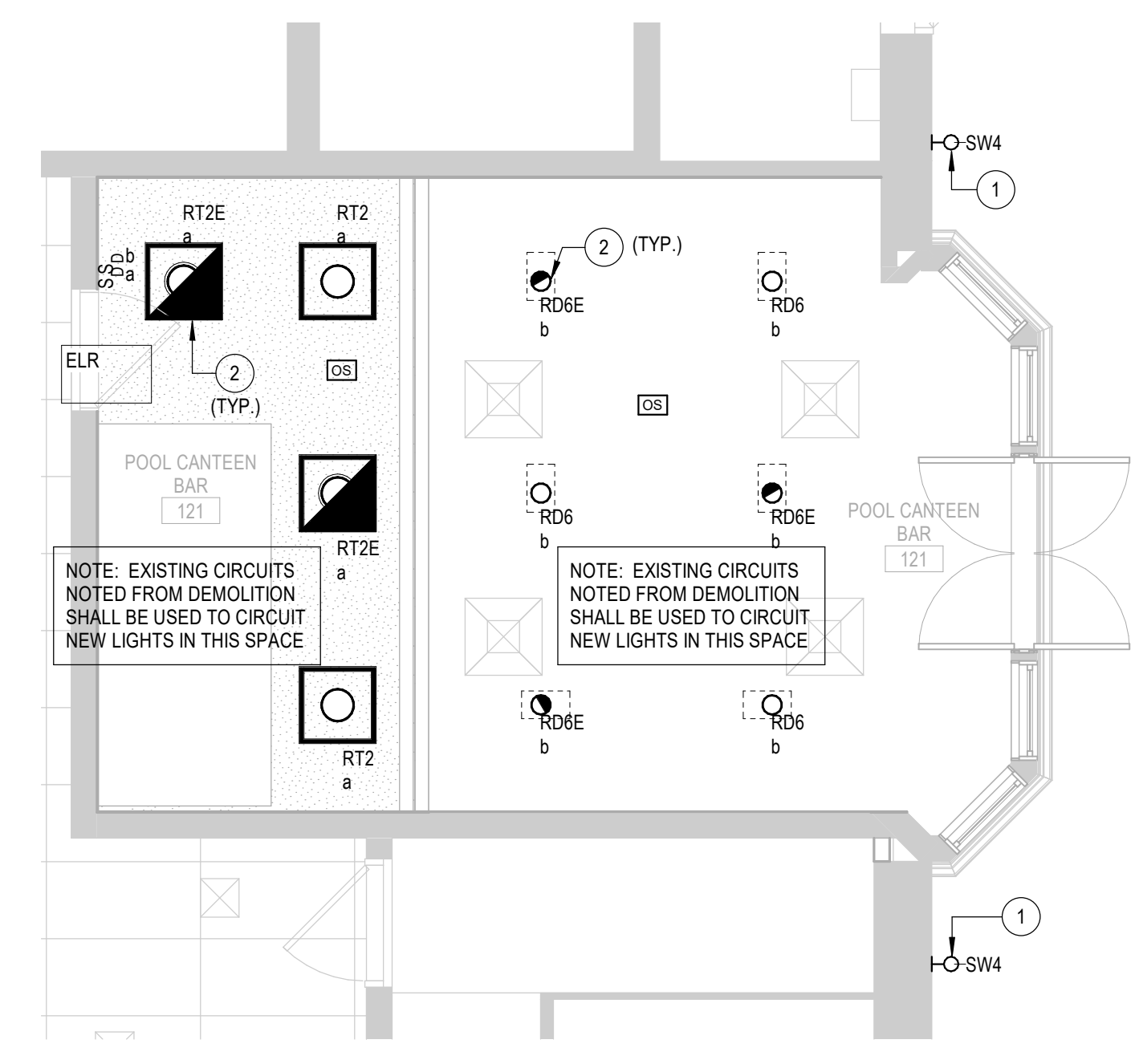


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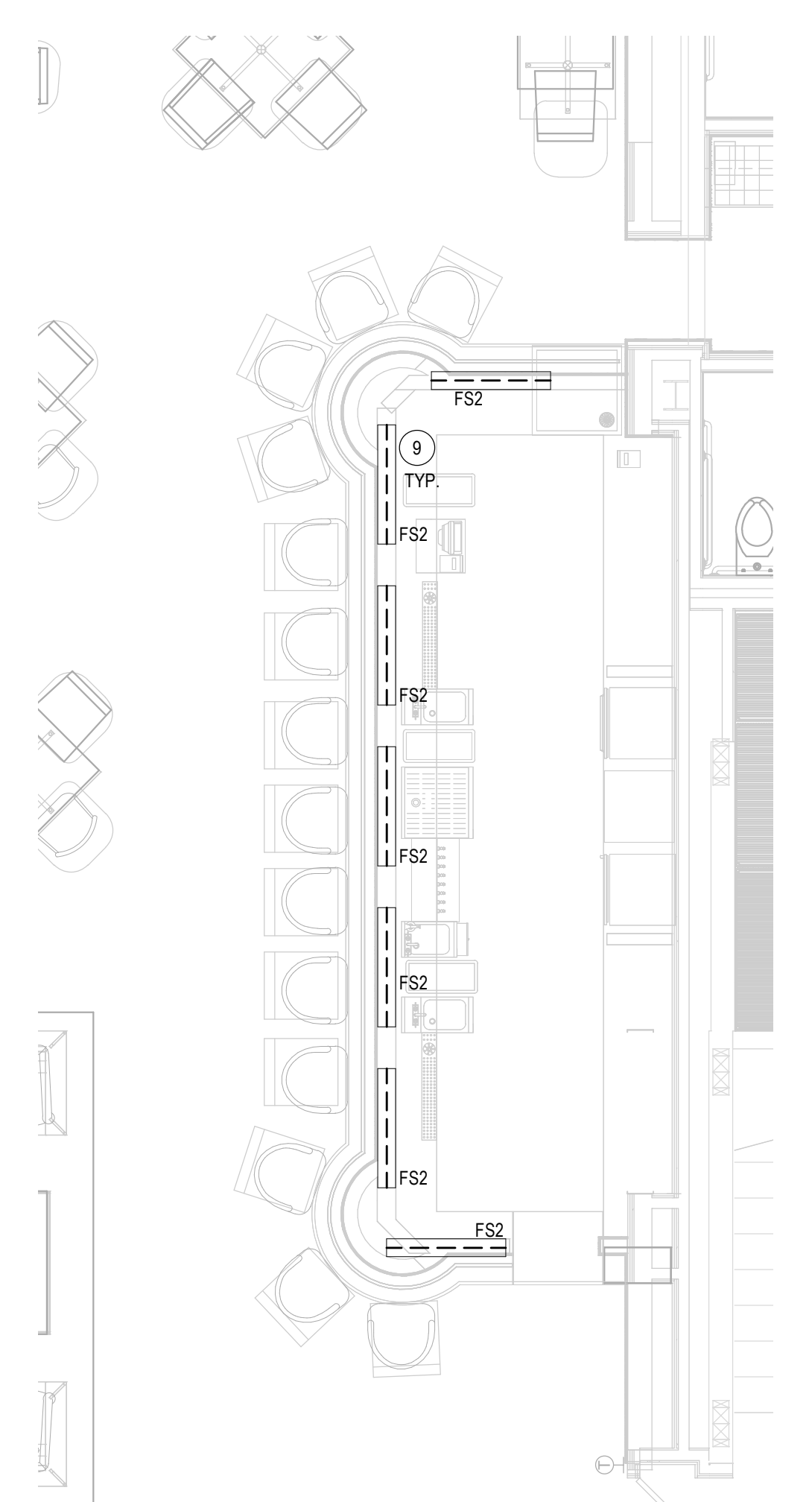
A B C D E F



1 ENLARGED LIGHTING PLANS - LEVEL 01 SOUTH - TAP RM & CARD RM  
E2.1 SCALE: 1/4" = 1'-0"



2 ENLARGED LIGHTING PLANS - LEVEL 01 SOUTH - POOL CANTEEN  
E2.1 SCALE: 1/4" = 1'-0"



3 ENLARGED TAP RM/CARD RM BAR LIGHTING PLAN  
E2.1 SCALE: 1/4" = 1'-0"

SHEET NOTES

- 1 PROVIDE 2#12 + 1#12 GND IN 34" C BACK TO PANEL KP4. CIRCUIT #42 IN MAIN KITCHEN 119 VIA TIME CLOCK FOR ON/OFF CONTROL. SHEET E3.5.
- 2 CONNECT EMERGENCY LIGHTING FIXTURES TO EMERGENCY LIGHTING RELAY (ELR).
- 3 PROVIDE EMERGENCY LIGHTING RELAY FOR CONTROL OF EMERGENCY LIGHTING FIXTURES IN ROOM 111, 112.
- 4 PROVIDE EMERGENCY LIGHTING RELAY FOR CONTROL OF EMERGENCY LIGHTING FIXTURES IN ROOM 106.
- 5 EXISTING CIRCUITS NOTED FROM DEMOLITION SHALL BE USED TO CIRCUIT NEW LIGHTS IN THIS SPACE.
- 6 LUTRON MAESTRO WIRELESS DIMMER SWITCHES: ONE PER ZONE Z1 - Z9. PROVIDE LUTRON PICO SHADE CONTROL SWITCH. THESE CONTROL LIGHTING AND SHADES IN TAP RM/CARD RM 107. SEE DETAIL ON SHEET E3.2.
- 7 CONNECT TO EXISTING EXIT SIGN CIRCUIT NOTED IN DEMOLITION. EXTEND CIRCUIT TO NEW SIGN.
- 8 PROVIDE 2#12 + 1#12 GND BACK TO CIRCUIT PKC-2. CONNECT TO CENTRAL BATTERY INVERTER INV-8. EMERGENCY LIGHTING RELAY AND TIME CLOCK IN BASEMENT MECH RM #2. SEE SHEET E3.0A.
- 9 LIGHT FIXTURE TO BE CONTROLLED VIA SWITCH INTEGRAL TO FIXTURE. CIRCUIT FIXTURE TO EXISTING LIGHTING CIRCUIT SERVING AREA.
- 10 DIMMING SWITCH FOR SITE LIGHTING CONTROL ZONE B. REFER TO E3.1A FOR LOCATION OF LIGHT.

**REVIEWED**  
By Michael Kyne at 1:59 pm, May 31, 2023

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Montgomery County  
Historic Preservation Commission  
*Robert A. ...*

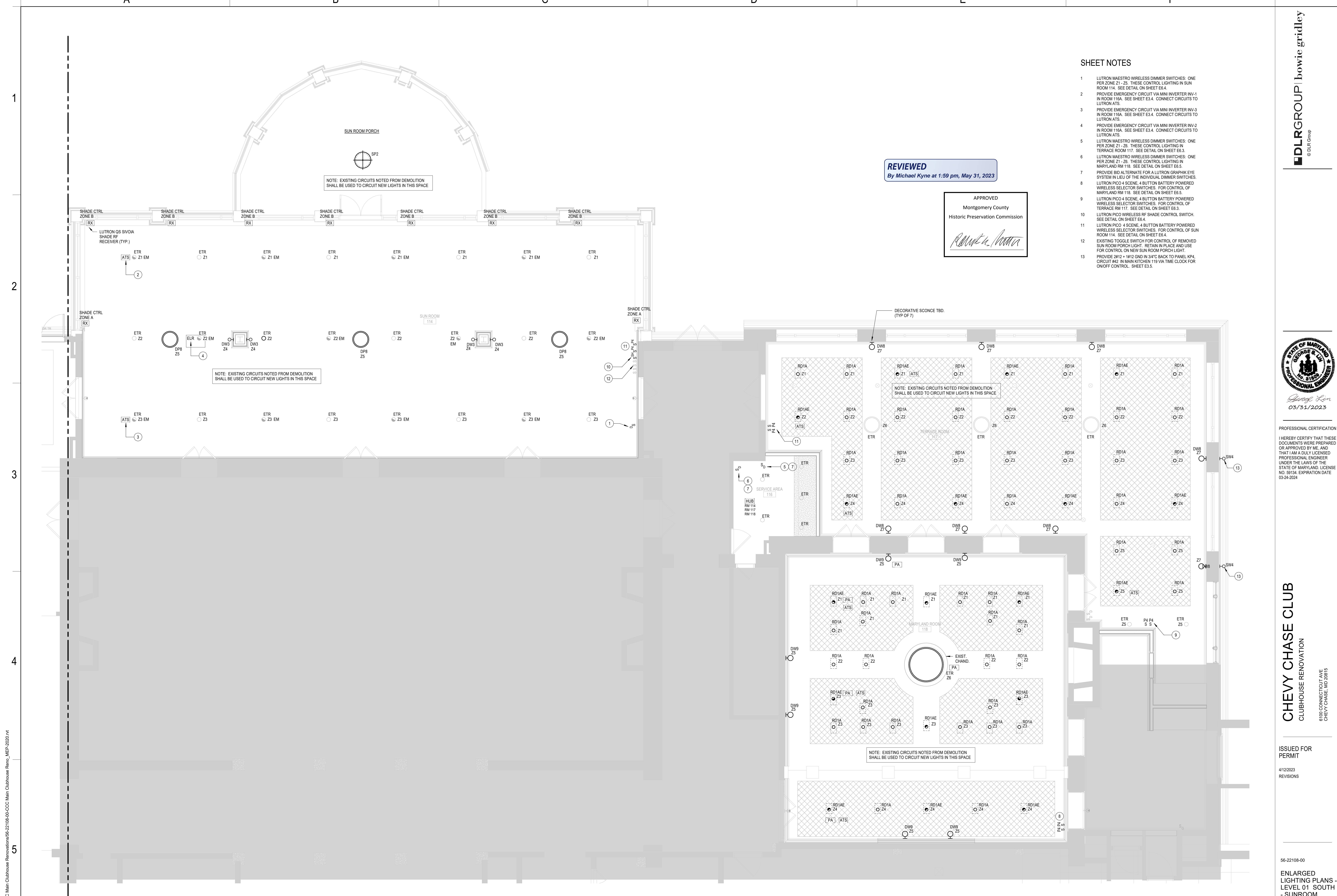


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**REVIEWED**  
By Michael Kyne at 1:59 pm, May 31, 2023

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Montgomery County  
Historic Preservation Commission  
*[Signature]*

**SHEET NOTES**

- LUTRON MAESTRO WIRELESS DIMMER SWITCHES. ONE PER ZONE Z1 - Z5. THESE CONTROL LIGHTING IN SUN ROOM 114. SEE DETAIL ON SHEET E3.4.
- PROVIDE EMERGENCY CIRCUIT VIA MINI INVERTER INV-1 IN ROOM 116A. SEE SHEET E3.4. CONNECT CIRCUITS TO LUTRON ATS.
- PROVIDE EMERGENCY CIRCUIT VIA MINI INVERTER INV-3 IN ROOM 116A. SEE SHEET E3.4. CONNECT CIRCUITS TO LUTRON ATS.
- PROVIDE EMERGENCY CIRCUIT VIA MINI INVERTER INV-2 IN ROOM 116A. SEE SHEET E3.4. CONNECT CIRCUITS TO LUTRON ATS.
- LUTRON MAESTRO WIRELESS DIMMER SWITCHES. ONE PER ZONE Z1 - Z5. THESE CONTROL LIGHTING IN TERRACE ROOM 117. SEE DETAIL ON SHEET E3.3.
- LUTRON MAESTRO WIRELESS DIMMER SWITCHES. ONE PER ZONE Z1 - Z5. THESE CONTROL LIGHTING IN MARYLAND RM 118. SEE DETAIL ON SHEET E3.5.
- PROVIDE BID ALTERNATE FOR A LUTRON GRAPHIK EYE SYSTEM IN LIEU OF THE INDIVIDUAL DIMMER SWITCHES.
- LUTRON PICO 4 SCENE. 4 BUTTON BATTERY POWERED WIRELESS SELECTOR SWITCHES. FOR CONTROL OF MARYLAND RM 118. SEE DETAIL ON SHEET E3.5.
- LUTRON PICO 4 SCENE. 4 BUTTON BATTERY POWERED WIRELESS SELECTOR SWITCHES. FOR CONTROL OF TERRACE RM 117. SEE DETAIL ON SHEET E3.3.
- LUTRON PICO WIRELESS RF SHADE CONTROL SWITCH. SEE DETAIL ON SHEET E3.4.
- LUTRON PICO 4 SCENE. 4 BUTTON BATTERY POWERED WIRELESS SELECTOR SWITCHES. FOR CONTROL OF SUN ROOM 114. SEE DETAIL ON SHEET E3.4.
- EXISTING TOGGLE SWITCH FOR CONTROL OF REMOVED SUN ROOM PORCH LIGHT. RETAIN IN PLACE AND USE FOR CONTROL ON NEW SUN ROOM PORCH LIGHT.
- PROVIDE 2012 - 1812 QND IN SWIC BACK TO PANEL RPA. CIRCUIT #48 IN MAIN KITCHEN 119 VIA TIME CLOCK FOR ON/OFF CONTROL. SHEET E3.5.



PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 59134. EXPIRATION DATE 03-24-2024

**CHEVY CHASE CLUB**  
CLUBHOUSE RENOVATION  
6100 CONNECTICUT AVE  
CHEVY CHASE, MD 20815

ISSUED FOR PERMIT  
4/12/2023  
REVISIONS

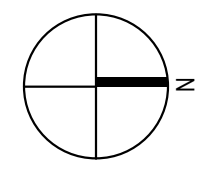
56-22108-00  
ENLARGED LIGHTING PLANS - LEVEL 01 SOUTH - SUNROOM, MARYLAND RM & TERRACE RM

**E2.3**

BM\_360766-22108-00\_CCC Main Clubhouse Renovations-56-22108-00-CCC Main Clubhouse Reno\_MEP-2020.rvt  
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ENLARGED LIGHTING PLANS - LEVEL 01 SOUTH - SUNROOM, MARYLAND RM, & TERRACE RM

1 E2.3 SCALE: 1/4" = 1'-0"





A

B

C

D

E

F

SHEET NOTES

1 CONNECT TO EXISTING CIRCUIT CONDUCTORS AS NOTED IN DEMOLITION.

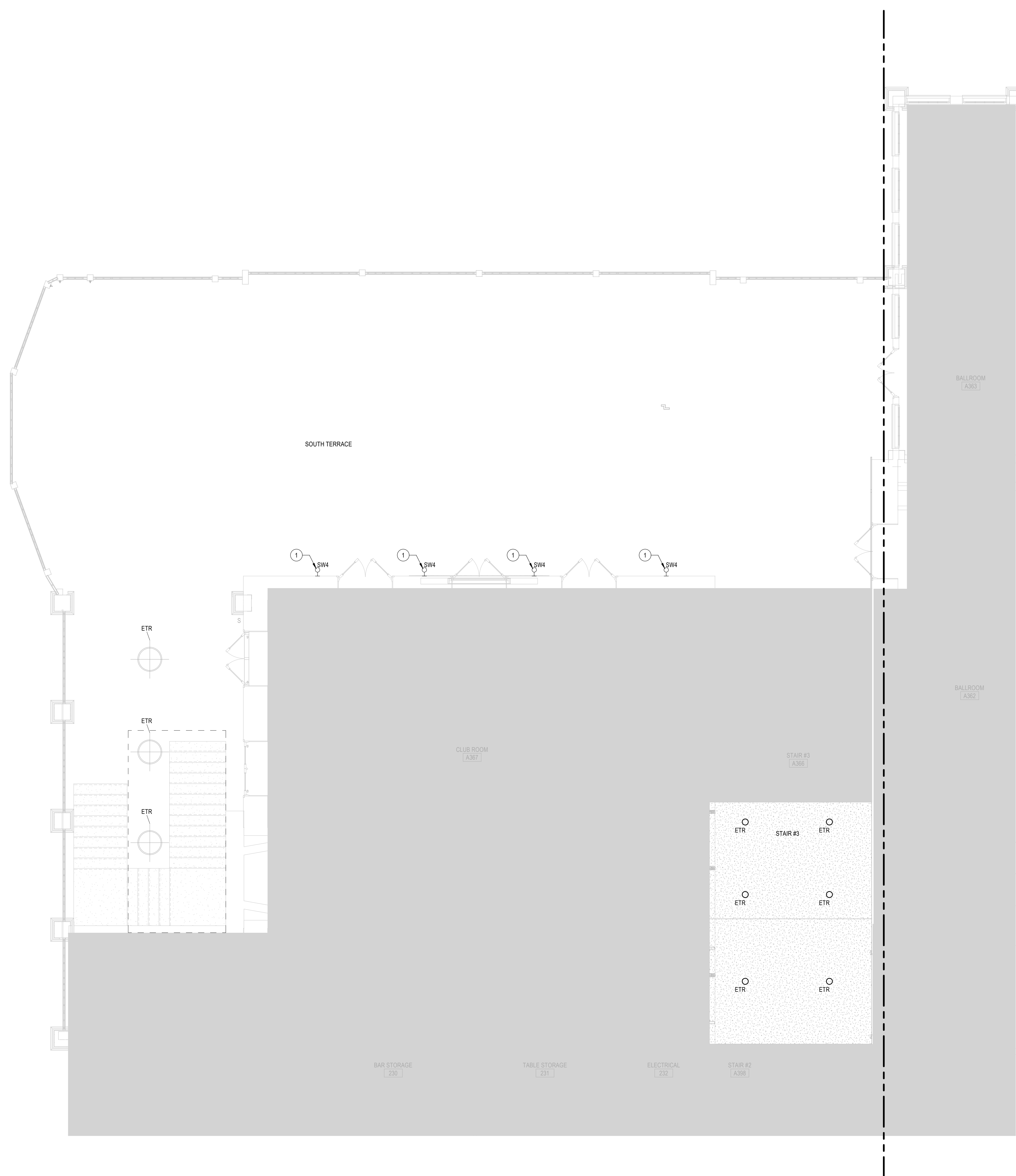
1

2

3

4

5



1 ENLARGED LIGHTING PLANS - LEVEL 02 SOUTH - TERRACE  
 E2.4 SCALE: 1/4" = 1'-0"

**REVIEWED**  
 By Michael Kyne at 1:59 pm, May 31, 2023

APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*Robert A. ...*



PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 2123. EXPIRATION DATE 03-31-2024

ISSUED FOR PERMIT  
 4/12/2023  
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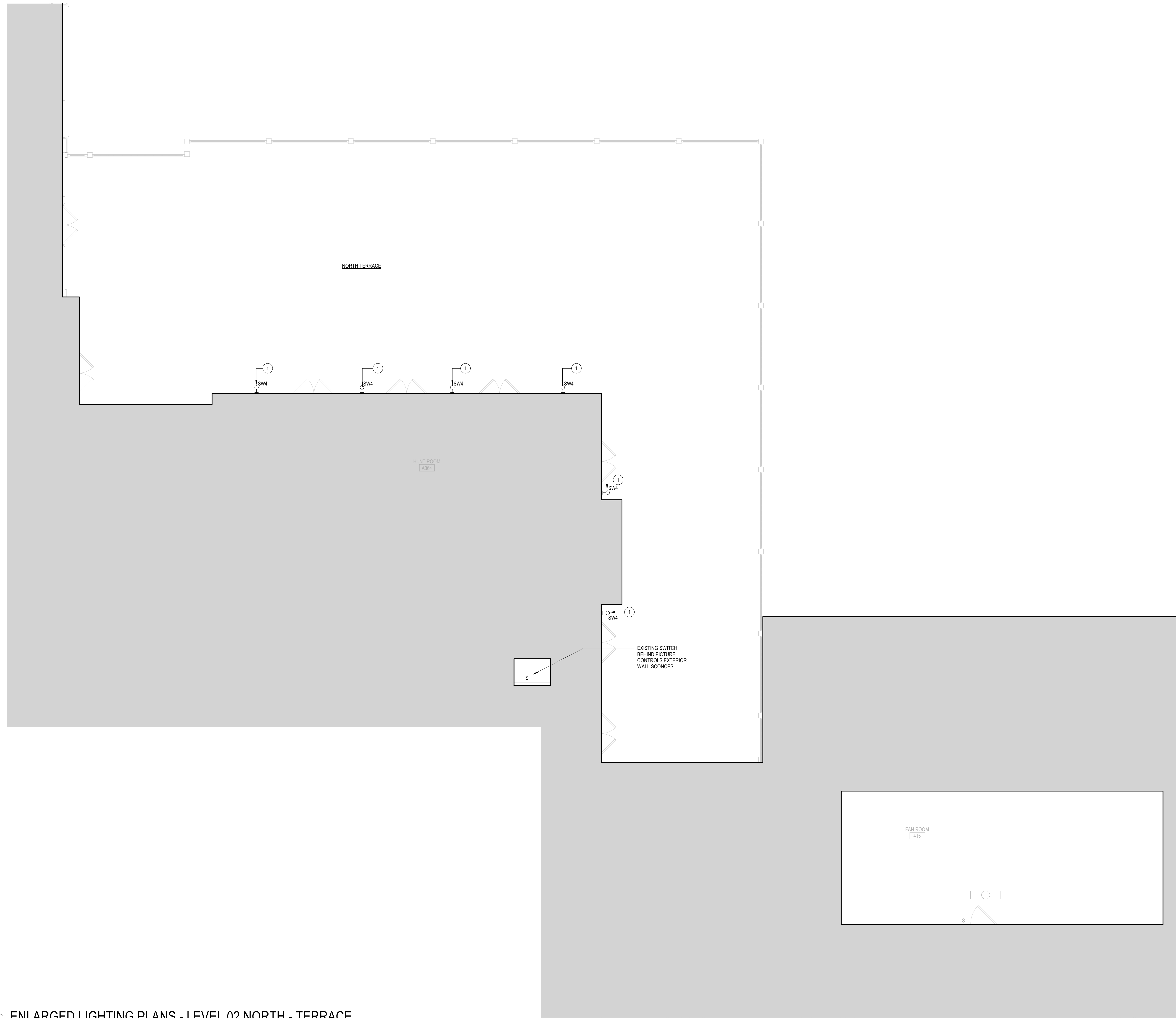
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SHEET NOTES

1 CONNECT TO EXISTING CIRCUIT CONDUCTORS AS NOTED IN DEMOLITION.

1  
2  
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4  
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**REVIEWED**  
By Michael Kyne at 1:59 pm, May 31, 2023

APPROVED  
Montgomery County  
Historic Preservation Commission



1 ENLARGED LIGHTING PLANS - LEVEL 02 NORTH - TERRACE  
E2.5 SCALE: 1/4" = 1'-0"



PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 2128. EXPIRATION DATE 03-31-2024

ISSUED FOR PERMIT  
4/12/2023  
REVISIONS



## MECHANICAL EQUIPMENT SCHEDULE

NOTES:  
 1. COORDINATE ALL VFD REQUIREMENTS WITH MANUFACTURER OF EQUIPMENT BEING SERVED.  
 2.  
 3.  
 4.  
 5.

ID	NO.	LOCATION	HP	FLA (A)	MCA (A)	MCP (A)	TOTAL LOAD (VA)	VOLTAGE (V)	PHASE	DISCONNECT	STARTER	CIRCUIT NUMBER	CIRCUIT	NOTES
AIR HANDLING UNIT														
AC-1-AC	112A	TOILET CORRIDOR	5	22.5	28	50	8,106	208	3	NEMA 1 NFS 60A	DIV 23 CTRLS	RECONNECT TO EXISTING CKT	3#10 + 1#10 GND, 3/4"C	RECONNECT TO EXISTING CKT
AC-2	001	MECH RM #2	7.5	55.7	69.5	110	20,067	208	3	NEMA 1 NFS 100A	DIV 23 CTRLS	PB-C-1.3.5	3#6 + 1#6 GND, 1"C	(2) FANS @ 7.5 HP
AC-3	001	MECH RM #2	3	15.7	19.6	30	5,656	208	3	NEMA 1 NFS 30A	DIV 23 CTRLS	PB-C-3.24.36	3#10 + 1#10 GND, 3/4"C	
HV-3	008M	MECH RM #5	10	74.8	93.5	150	26,948	208	3	NEMA 1 NFS 200A	DIV 23 CTRLS	PB-D-1.3.5	3#3 + 1#6 GND, 1 1/4"C	(2) FANS @ 10 HP
HV-4	008M	MECH RM #5	7.5	28.5	35	60	10,268	208	3	NEMA 1 NFS 60A	DIV 23 CTRLS	PB-B-3.24.36	3#6 + 1#10 GND, 3/4"C	USE EXIST CONDUIT.
KITCHEN EXHAUST FAN														
KEF-1	415	FAN ROOM	15	46.2	57.8	100	16,644	208	3	VIA VFD	NEMA 3	P2B-22.24.26	3#6 + 1#6 GND, 1"C	
KEF-2	A398	STAIR #2	5	16.7	20.9	40	6,016	208	3	NEMA 3R NFS 60A	NEMA 1	PAD-7.9.11	3#10 + 1#10 GND, 3/4"C	
MAKEUP AIR UNIT														
MALU-1	A366	STAIR #3	0	8.3	10.4	15	2,997	208	3	NEMA 3R NFS 30A	DIV 23 CTRLS	PAD-1.3.5	3#12 + 1#12 GND, 3/4"C	
RCU														
RCU-1			0	12	15	20	1,440	120	1	NEMA 3R NFS 30A		PK5-35	2#12 + 1#12 GND, 3/4"C	REMOTE CONDENSING UNIT 8.1 TO REFRIG. BASE. SEE FOOD SVC SPECS AND DRAWINGS.
TRAP PRIMER														
TP-1	121	POOL CANTEN BAR	0	0	0.1	15	5	120	1	TOGGLE SWITCH		KP4-31	2#12 + 1#12 GND, 3/4"C	

## LIGHTING FIXTURE SCHEDULE


NOTES:  
 1. CONTRACTOR MUST PROVIDE ALL REQUIRED COMPONENTS TO ENSURE A FULLY FUNCTIONAL SYSTEM  
 2. CONTRACTOR TO VERIFY FIXTURE VOLTAGES AND DIMMABLE DRIVER PROTOCOLS WITH CONTROL SYSTEM REQUIREMENTS PRIOR TO ORDERING  
 3. CONTRACTOR TO FIELD VERIFY LENGTHS (IF LINEAR) AND QUANTITIES OF FIXTURES PRIOR TO ORDERING  
 4. CONTRACTOR TO LOCATE ALL REMOTE POWER SUPPLIES / DRIVERS IN A WELL VENTILATED AND SAFELY ACCESSIBLE LOCATION HIDDEN FROM VIEW  
 5. CONTRACTOR TO LOCATE ALL REMOTE POWER SUPPLIES / DRIVERS IN A WELL VENTILATED AND SAFELY ACCESSIBLE LOCATION HIDDEN FROM VIEW  
 6. \*OPCI = OWNER PURCHASED / CONTRACTOR INSTALLED\* AND \*CPCI = CONTRACTOR PURCHASED / CONTRACTOR INSTALLED\*

TYPE	*OPCI / CPCI	CONSTRUCTION	PRODUCT	CONSTRUCTION	LIGHT SOURCE	Color Temperature (Text)	BALLAST/DRIVER	VOLT	WATTS	WATTS PER FOOT	EMERGENCY COMPONENT	NOTE
DP1	OPCI	DECORATIVE PENDANT LIGHT PER INTERIOR DESIGNER IN CORRIDOR TOILET ROOMS	TBD BY INTERIOR DESIGNER	TBD BY INTERIOR DESIGNER	PENDANT MOUNTED	LED RETROFIT LAMP	3000K-1800K	120 V	50 W			
DP2	OPCI	50" X 10" X 11" D DECORATIVE PENDANT PER INTERIOR DESIGNER ABOVE BAR IN TAP RM/CARD ROOM	URBAN ELECTRIC	BRAMSHILL SERIES	PENDANT MOUNTED	LED RETROFIT LAMP	3000K-1800K	120 V	21 W			
DP3	OPCI	DECORATIVE PENDANT LIGHT PER INTERIOR DESIGNER IN CORRIDOR ENTRY AREA	TBD BY INTERIOR DESIGNER	TBD BY INTERIOR DESIGNER	PENDANT MOUNTED	LED RETROFIT LAMP	3000K-1800K	120 V	50 W			
DP4	OPCI	DECORATIVE PENDANT LIGHT PER INTERIOR DESIGNER IN TAP RM/CARD RM	TBD BY INTERIOR DESIGNER	TBD BY INTERIOR DESIGNER	PENDANT MOUNTED	LED RETROFIT LAMP	3000K-1800K	120 V	100 W			
DP5	OPCI	DECORATIVE PENDANT LIGHT PER INTERIOR DESIGNER IN VESTIBULE 100	TBD BY INTERIOR DESIGNER	TBD BY INTERIOR DESIGNER	PENDANT MOUNTED	LED RETROFIT LAMP	3000K-1800K	120 V	75 W			
DP6	OPCI	DECORATIVE PENDANT PER INTERIOR DESIGNER IN CORRIDOR ENTRY AREA	TBD BY INTERIOR DESIGNER	TBD BY INTERIOR DESIGNER	PENDANT MOUNTED	LED RETROFIT LAMP	3000K-1800K	120 V	75 W			
DP7	OPCI	60" W X 49.5" H X 60" D IRON CHANDELIER PER INTERIOR DESIGNER	TBD BY INTERIOR DESIGNER	TBD BY INTERIOR DESIGNER	PENDANT MOUNTED	LED RETROFIT LAMP	3000K-1800K	120 V	100 W			
DP8	OPCI	DECORATIVE PENDANT PER INTERIOR DESIGNER IN SUN ROOM	TBD BY INTERIOR DESIGNER	TBD BY INTERIOR DESIGNER	PENDANT MOUNTED	LED RETROFIT LAMP	3000K-1800K	120 V	100 W			
DW1	OPCI	DECORATIVE SCONCES PER INTERIOR DESIGNER IN CORRIDOR TOILET ROOM	TBD BY INTERIOR DESIGNER	TBD BY INTERIOR DESIGNER	SURFACE WALL MOUNTED	LED RETROFIT LAMP	3000K-1800K	120 V	32 W			
DW2	OPCI	DECORATIVE SCONCES PER INTERIOR DESIGNER AT MENS LOCKER ROOM VANITIES	TBD BY INTERIOR DESIGNER	TBD BY INTERIOR DESIGNER	SURFACE WALL MOUNTED	LED RETROFIT LAMP	3000K-1800K	120 V	32 W			
DW3	OPCI	DECORATIVE SCONCES PER INTERIOR DESIGNER IN SUN ROOM	TBD BY INTERIOR DESIGNER	TBD BY INTERIOR DESIGNER	SURFACE WALL MOUNTED	LED RETROFIT LAMP	3000K-1800K	120 V	32 W			
DW4	OPCI	DECORATIVE WALL SCONCE PER INTERIOR DESIGNER	JOHN ROSELLI	TBD BY INTERIOR DESIGNER	SURFACE WALL MOUNTED	LED RETROFIT LAMP	3000K-1800K	120 V	50 W			
DW5	OPCI	CUSTOM 36" LONG HARDWIRED DECORATIVE LED ART LIGHT	HOUSE OF TROY	TBD BY INTERIOR DESIGNER	SURFACE WALL MOUNTED	INTEGRAL LEDS	3000K	120 V	0 W	5		
DW6	OPCI	42" CORD-AND-PLUG DECORATIVE LED ART LIGHT	TBD BY INTERIOR DESIGNER	TBD BY INTERIOR DESIGNER	SURFACE WALL MOUNTED	INTEGRAL LEDS	3000K	120 V	0 W	5		
DW7	OPCI	DECORATIVE SCONCES FLANKING MIRROR IN CORRIDOR TOILET ROOM	TBD BY INTERIOR DESIGNER	TBD BY INTERIOR DESIGNER	SURFACE WALL MOUNTED	LED RETROFIT LAMP	3000K-1800K	120 V	32 W			CONTRACTOR TO SIZE REMOTE DIMMING DRIVERS TO POWER THE MOST QUANTITY OF RUNS WITH THE FEWEST DRIVERS
DW8	OPCI	DECORATIVE SCONCES IN TERRACE ROOM	TBD BY INTERIOR DESIGNER	TBD BY INTERIOR DESIGNER	SURFACE WALL MOUNTED	LED RETROFIT LAMP	3000K-1800K	120 V	0 W	0 W		
DW9	OPCI	DECORATIVE SCONCES IN MARYLAND ROOM	TBD BY INTERIOR DESIGNER	TBD BY INTERIOR DESIGNER	SURFACE WALL MOUNTED	LED RETROFIT LAMP	3000K-1800K	120 V	0 W	0 W		
ETR	CPCI									0 W		
FS1	CPCI	CORNER MTD LED LINEAR ACCENT FOR SHELVES	TARGETTI	DL-ES-30-A-30-HC-24 LED STRIP LIGHT WITH P03F-S-PF-300 CORNER MOUNT EXTRUSION, P03F-A-EC END CAPS, AND P03F-A-MC MOUNTING CLIPS	SURFACE MOUNTED	INTEGRAL LEDS	3000K	120 V	15 W			CONTRACTOR TO SIZE REMOTE DIMMING DRIVERS TO POWER THE MOST QUANTITY OF RUNS WITH THE FEWEST DRIVERS
FS2	CPCI	SURFACE MOUNTED UNDERCOUNTER LED TASK LIGHT WITH LOCAL TOGGLE CONTROL SWITCH AND DARK BROWN FINISH	AMERICAN LIGHTING	ALC2-40-DB	SURFACE MOUNTED	INTEGRAL LEDS	3000K	120 V	13 W			
FW3	CPCI	SURFACE WALL MOUNTED LED STRIP LIGHT IN STORAGE AREA	KENALL	MLH45-35-R-MW-145L39K-1-1-D	SURFACE WALL MOUNTED	INTEGRAL LEDS	3500K	120 V	0 W	12		
RD1A	CPCI	FULLY RECESSED 4" ROUND APERTURE WARM-DIM ADJUSTABLE ACCENT LIGHT WITH 35-DEGREE BEAM SPREAD, HONEYCOMB LOUVER, AND DIFFUSED LENS	ALPHABET	N4-RA-WD-20LM-3018-87-35D-H-CL-DL-(TRIM AND BEZEL FINISH COLORS PER ARCHITECT)-NC-UNV-ELV1	RECESSED CEILING MOUNTED	INTEGRAL LEDS	3000K-1800K	120 V	16 W			TRIACELV DIMMING TO 1%
RD1AE	CPCI	SIMILAR TO TYPE RD1A EXCEPT WITH 12W EMERGENCY EGRESS BATTERY	ALPHABET	N4-RA-WD-20LM-3018-87-35D-H-CL-DL-(TRIM AND BEZEL FINISH COLORS PER ARCHITECT)-NC-UNV-ELV1-EM12	RECESSED CEILING MOUNTED	INTEGRAL LEDS	3000K-1800K	120 V	16 W			BATTERY BACKUP
RD1B	CPCI	SIMILAR TO TYPE RD1A EXCEPT WITH STATIC WHITE LED LIGHT SOURCE	ALPHABET	N4-RA-SW-20LM-30K-87-35D-H-CL-DL-(TRIM AND BEZEL FINISH COLORS PER ARCHITECT)-NC-UNV-ELV1	RECESSED CEILING MOUNTED	INTEGRAL LEDS	3000K	120 V	16 W			TRIACELV DIMMING TO 1%
RD1BE	CPCI	SIMILAR TO TYPE RD1B EXCEPT WITH EMERGENCY EGRESS BATTERY	ALPHABET	N4-RA-SW-20LM-30K-87-35D-H-CL-DL-(TRIM AND BEZEL FINISH COLORS PER ARCHITECT)-NC-UNV-ELV1-EM12	RECESSED CEILING MOUNTED	INTEGRAL LEDS	3000K	120 V	16 W			BATTERY BACKUP
RD2	CPCI	FULLY RECESSED 1" APERTURE PINHOLE ADJUSTABLE LED DOWNLIGHT WITH 20-DEGREE OPTIC, DIFFUSED LENS, AND HONEYCOMB LOUVER ACCESSORIES	ALPHABET	N1-RAP1-SW-20LM-30K-90-20D-H-CL-DL-(TRIM COLOR PER ARCHITECT)-NC-UNV-ELV1	RECESSED CEILING MOUNTED	INTEGRAL LEDS	3000K	120 V	16 W			TRIACELV DIMMING TO 1%
RD3	CPCI	FULLY RECESSED 4.5" ROUND APERTURE STATIC WHITE FIXED DOWNLIGHT	ALPHABET	N4-RD-20LM-30K-90-HE40-BEZE-EL-AND TRIM COLOR PER ARCHITECT)-NC-UNV-ELV1	RECESSED CEILING MOUNTED	INTEGRAL LEDS	3000K	120 V	16 W			TRIACELV DIMMING TO 1%
RD3E	CPCI	SIMILAR TO TYPE RD3 EXCEPT WITH EMERGENCY EGRESS BATTERY	ALPHABET	N4-RD-20LM-30K-90-HE40-BEZE-EL-AND TRIM COLOR PER ARCHITECT)-NC-UNV-ELV1-EM12	RECESSED CEILING MOUNTED	INTEGRAL LEDS	3000K	120 V	16 W			BATTERY BACKUP
RD4	CPCI	FULLY RECESSED SHALLOW PLENUM HOUSING LED DOWNLIGHT IN KITCHEN	ALPHABET	N4-RALP-SW-20LM-30K-90-25D-H-ET4-BEZE-EL-AND TRIM FINISH COLORS PER ARCHITECT)-NC-UNV-ELV1	RECESSED CEILING MOUNTED	INTEGRAL LEDS	3000K	120 V	16 W			TRIACELV DIMMING TO 1%
RD5	CPCI	FULLY RECESSED, NARROW BEAM ANGLE, LED ADJUSTABLE ACCENT LIGHT	ALPHABET	N4-RA-WD-1460-3018-87-15-HC-L-DL-(TRIM AND BEZEL COLORS PER ARCHITECT)-NC-UNV-ELV1	RECESSED CEILING MOUNTED	INTEGRAL LEDS	3000K-1800K	120 V	26 W			TRIACELV DIMMING TO 1%
RD5E	CPCI	SIMILAR TO TYPE RD5 EXCEPT WITH 12W EMERGENCY BATTERY BACKUP	ALPHABET	N4-RA-WD-1460-3018-87-15-HC-L-DL-(TRIM AND BEZEL COLORS PER ARCHITECT)-NC-UNV-ELV1-EM12	RECESSED CEILING MOUNTED	INTEGRAL LEDS	3000K-1800K	120 V	26 W			TRIACELV DIMMING TO 1%
RD6	CPCI	6" DOWNLIGHT WITH RETROFIT HOUSING IN CANTEN	ALPHABET	N6-R-RA-SW-20LM-30K-90-D50-U-NV-ELV1-RET-(TRIM COLOR AND BEZEL COLOR PER ARCHITECT)	RECESSED CEILING MOUNTED	INTEGRAL LEDS	3000K	120 V	20 W			TRIACELV DIMMING TO 1%
RD6E	CPCI	SIMILAR TO TYPE RD6 EXCEPT WITH 12W EMERGENCY BATTERY BACKUP	ALPHABET	N6-R-RA-SW-20LM-30K-90-D50-U-NV-ELV1-RET-(TRIM COLOR AND BEZEL COLOR PER ARCHITECT)-EM12	RECESSED CEILING MOUNTED	INTEGRAL LEDS	3000K	120 V	20 W			BATTERY BACKUP
RT1	CPCI	FULLY RECESSED 2X4 LED TROFFER WITH 3000 LUMENS (DELIVERED) AND FROSTED PATTERN 120, 125" THICK ACRYLIC LENS	METALUX	24-G-R-LD5-38-F125-UNV-EL490-C-D	RECESSED CEILING MOUNTED	INTEGRAL LEDS	3000K	120 V	61 W			TRIACELV DIMMING TO 1%
RT1E	CPCI	SIMILAR TO TYPE RT1 EXCEPT WITH EMERGENCY BATTERY BACKUP	METALUX	24-G-R-LD5-38-F125-UNV-EL414W-SD-490-CD	RECESSED CEILING MOUNTED	INTEGRAL LEDS	3000K	120 V	61 W			BATTERY BACKUP
RT2	CPCI	FULLY RECESSED 2X2 LED TROFFER WITH 3000 LUMENS (DELIVERED) AND FROSTED PATTERN 120, 125" THICK ACRYLIC LENS	METALUX	22-G-R-LD5-20-F125-UNV-EL930-C-D	RECESSED CEILING MOUNTED	INTEGRAL LEDS	3000K	120 V	61 W			TRIACELV DIMMING TO 1%
RT2E	CPCI	SIMILAR TO TYPE RT2 EXCEPT WITH EMERGENCY BATTERY BACKUP	METALUX	22-G-R-LD5-20-F125-UNV-EL14W-SD-490-CD	RECESSED CEILING MOUNTED	INTEGRAL LEDS	3000K	120 V	61 W			BATTERY BACKUP
SA1	CPCI	SURFACE MOUNTED EXTERIOR WET LOCATION RATED LED EXTRUDED LIGHT FIXTURE WITH NARROW (11" OPTICS)	LUMINI	KMWS-1000 LENGTH PER DRAWING/250-300K-11'-FC-S-A-POWER FEED PER CONTRACTOR	SURFACE MOUNTED	INTEGRAL LEDS	3000K	120 V	0 W	2.8		
SA2	CPCI	STAKE MOUNTED AT GRADE ADJUSTABLE UPLIGHT WITH ELLIPTICAL OPTICS AT SOUTH TERRACE FACADE	BK LIGHTING	K2-LED-C26-WFL-FINISH COLOR PER ARCHITECT)-12-11-A	SURFACE MOUNTED AT GRADE	INTEGRAL LEDS	3000K	120 V	42 W			
SP1	OPCI	DECORATIVE PENDANT PER INTERIOR DESIGNER AT BASE OF EXTERIOR STAIR TO TERRACES	TBD BY INTERIOR DESIGNER	TBD BY INTERIOR DESIGNER	PENDANT MOUNTED	LED RETROFIT LAMP	3000K	120 V	100 W			
SP2	OPCI	CHAIN PENDANT MOUNTED DECORATIVE LANTERN FIXTURE AT WEST ENTRY CANOPY	THE COPPERSMITH	TBD BY INTERIOR DESIGNER	PENDANT MOUNTED	(3) FROSTED LED CANDELABRA LAMPS	3000K	120 V	100 W			
SW1A	CPCI	SURFACE MOUNTED 2" SQUARE LED STEP LIGHT WITH REMOTE DRIVER AND EMERGENCY BATTERY BACKUP	PURALUCE	STP-1W-24VDC-430-FINISH COLOR PER ARCHITECT)	RECESSED WALL MOUNTED	INTEGRAL LEDS	3000K	120 V	1 W			CONTRACTOR TO SIZE REMOTE DIMMING DRIVERS TO POWER THE MOST QUANTITY OF RUNS WITH THE FEWEST DRIVERS
SW1B	CPCI	SURFACE MOUNTED 2" SQUARE LED STEP LIGHT WITH REMOTE DRIVER AND EMERGENCY BATTERY BACKUP	PURALUCE	STP-1W-24VDC-430-FINISH COLOR PER ARCHITECT)	RECESSED WALL MOUNTED	INTEGRAL LEDS	3000K	120 V	1 W			CONTRACTOR TO SIZE REMOTE DIMMING DRIVERS TO POWER THE MOST QUANTITY OF RUNS WITH THE FEWEST DRIVERS
SW2	OPCI	EXTERIOR WALL SCONCE WITH GAS FLAME LIGHT SOURCE	THE COPPERSMITH	SS-43G SERIES	SURFACE WALL MOUNTED	GAS FLAME	N/A	120 V	32 W			
SW3	OPCI	EXTERIOR RATED DECORATIVE WALL LANTERN SCONCE, SIMILAR TO TYPE SP2 EXCEPT WITH CUSTOM WALL MOUNT BRACKET INSTEAD OF PENDANT MOUNTING	THE COPPERSMITH	TBD BY INTERIOR DESIGNER	SURFACE WALL MOUNTED	(3) FROSTED LED CANDELABRA LAMPS	3000K	120 V	32 W			
SW4	OPCI	EXTERIOR RATED DECORATIVE WALL SCONCE	MCLEAN LIGHTING	TBD BY INTERIOR DESIGNER	SURFACE WALL MOUNTED	(2) CLEAR LED CANDELABRA LAMPS	3000K	120 V	32 W			
SW5	OPCI	EXTERIOR RATED DECORATIVE WALL SCONCE	MCLEAN LIGHTING	TBD BY INTERIOR DESIGNER	SURFACE WALL MOUNTED	(2) CLEAR LED CANDELABRA LAMPS	3000K	120 V	32 W			
X1	CPCI	THERMOPLASTIC EXIT WITH (2) LED LAMP HEADS, NI-CAD BATTERY, SELF DIAGNOSTICS, WHITE HOUSING, AND GREEN LETTERS.	ISOLITE	DCL-G-1-WH-WHMBSP	SURFACE WALL MOUNTED	INTEGRAL LEDS	GREEN	120 V	6 W			BATTERY BACKUP
X2	CPCI	THERMOPLASTIC EXIT WITH NI-CAD BATTERY, SELF DIAGNOSTICS, HOUSING FINISH COLOR TO BE SELECTED BY ARCHITECT, AND GREEN LETTERS.	ISOLITE	TL2-EM-G-1-FINISH COLOR TO BE SELECTED BY ARCHITECT)-MB-SD	SURFACE WALL MOUNTED	INTEGRAL LEDS	GREEN	120 V	5 W			BATTERY BACKUP
X3	CPCI	THERMOPLASTIC EXIT WITH NI-CAD BATTERY, SELF DIAGNOSTICS, WHITE HOUSING, AND GREEN LETTERS.	ISOLITE	TL2-EM-G-1-WH-MB-SD	SURFACE WALL MOUNTED	INTEGRAL LEDS	GREEN	120 V	5 W			BATTERY BACKUP

**REVIEWED**  
By Michael Kyne at 1:59 pm, May 31, 2023

APPROVED  
Montgomery County  
Historic Preservation Commission



**EDLRGROUP | bowtie gridley**  
 © DLR Group  
  
 George Len  
 03/31/2023  
 PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 59134. EXPIRATION DATE 03-24-2024.  
**CHEVY CHASE CLUB**  
 CLUBHOUSE RENOVATION  
 6100 CONNECTICUT AVE  
 CHEVY CHASE, MD 20815  
 ISSUED FOR PERMIT  
 4/12/2023 REVISIONS  
 56-2108-00  
 LUMINAIRE AND MECHANICAL EQUIPMENT SCHEDULES  
**E7.1**