



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert K. Sutton
Chairman

Date: July 15, 2021

MEMORANDUM

TO: Mitra Pedoeem
Department of Permitting Services

FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit # 950233 -Accessory Dwelling Unit Construction

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** by the Historic Preservation Commission at the May 26, 2021 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: David Vogt
Address: 10304 Montgomery Ave., Kensington

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



10304 Montgomery Ave, Kensington MD 20895

Scope of Work: New 2-story frame detached ADU on basement at rear of property

Zoning Information for Montgomery County MD:

Zone: R-60
Lot size: Lot 12 9,800 sf
 Lot 13 9,816.6 sf
 Lot 14 8,750 sf
 Total property is 28,366.6 sf
 For purposes of this project we are only including Lots 12 & 13 in calculations – 19,616.6 sf
Date of Primary Structure: 1893
Date of Lot Recordation: 11/15/1890

ADU/Accessory Building Height – Allowed per County
 20 ft. maximum height, measured to the highest point of roof surface.

ADU/Accessory Building Setbacks – Allowed per County
 Front: 60'
 Side, right: 7' (same as Principal Dwelling)
 Side, left: 7' (same as Principal Dwelling)
 Rear: 12' for ADU

Building Allowable Lot Coverage:
 35% including accessory buildings
 19,616.6 sf * 35% = 6,865.8 sf

ADU/Accessory Building Allowable Gross Floor Area
 Maximum of:
 i. 50% of the footprint of the principal dwelling;
 ii. 10% of the lot area; or
 iii. 1,200 square feet of gross floor area.

ADU/Accessory Building Height – Proposed
 20.0'

ADU/Accessory Building Setbacks - Proposed
 Front: 160.5'
 Side, right (North): 56.3'
 Side, left (South): 20.6'
 Rear: 12.5'

Total Proposed Lot Coverage:
 1,770.6 sf House + 289.0 sf front porch + 57.0 sf rear porch + 420.2 sf garage = 2,536.8 sf
 = 12.9%

ADU/Accessory Building Proposed Gross Floor Area
 First Floor area: 529.0 sf
 Second Floor area 6'-6" min. height: 340.8 sf
Total area: 869.8 sf

(Basement not included because it's only accessed from the exterior)

APPLICABLE CODES

CODES DETAILS:
 - Plans conform with IRC 2018 and Maryland Building Rehabilitation Code (MBRC)
 - All wood in contact with soil or masonry foundations to be pressure treated-AC treated SYP or equivalent. All fasteners used with ACQ treated lumber will meet the ASTM standard A153 and A653, class 185.
 - All framing lumber to be SPF #2 unless indicated otherwise.
Design criteria used are as follows:
 - Roof load - 30 lbs/sf
 - Roof and floor dead load - 10 lbs/sf
 - Floor live load in non-sleeping areas - 40 lbs/sf
 - Floor live load in sleeping areas - 30 lbs/sf
 - Climate Zone 4A
 - Seismic design category B
 - Termite damage subjectivity - Moderate to heavy
 - Subjectivity to damage from weather - severe
 - Subjectivity to decay - slight to moderate
 - Winter design temperature - 13 degrees F
 - Mean Annual Temperature - 55 degrees F
 - Air Freezing Index - 3000
 - Ice Shield Underlayment Required: Yes
 - Wind speed - 115 mph
 - Frost line depth - 30"
 - Flood hazard - July 2, 1979
 - Concrete - 3,000 psi compressive strength at 28 days
 - Subfloors - 3/4" APA subfloor/underlayment rated, tongue and groove, glued and nailed to joists
 - Roof sheathing - 1/2" OSB with spacers
 - Roofing - 215 lb per square asphalt shingles over 15 lft.

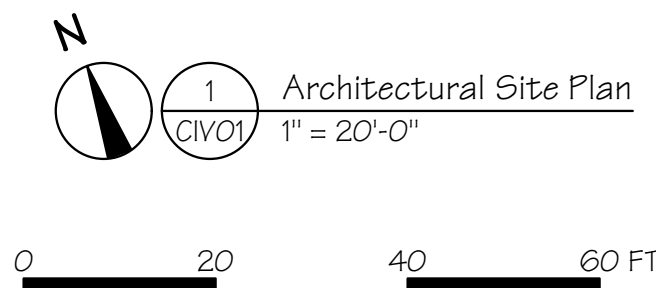
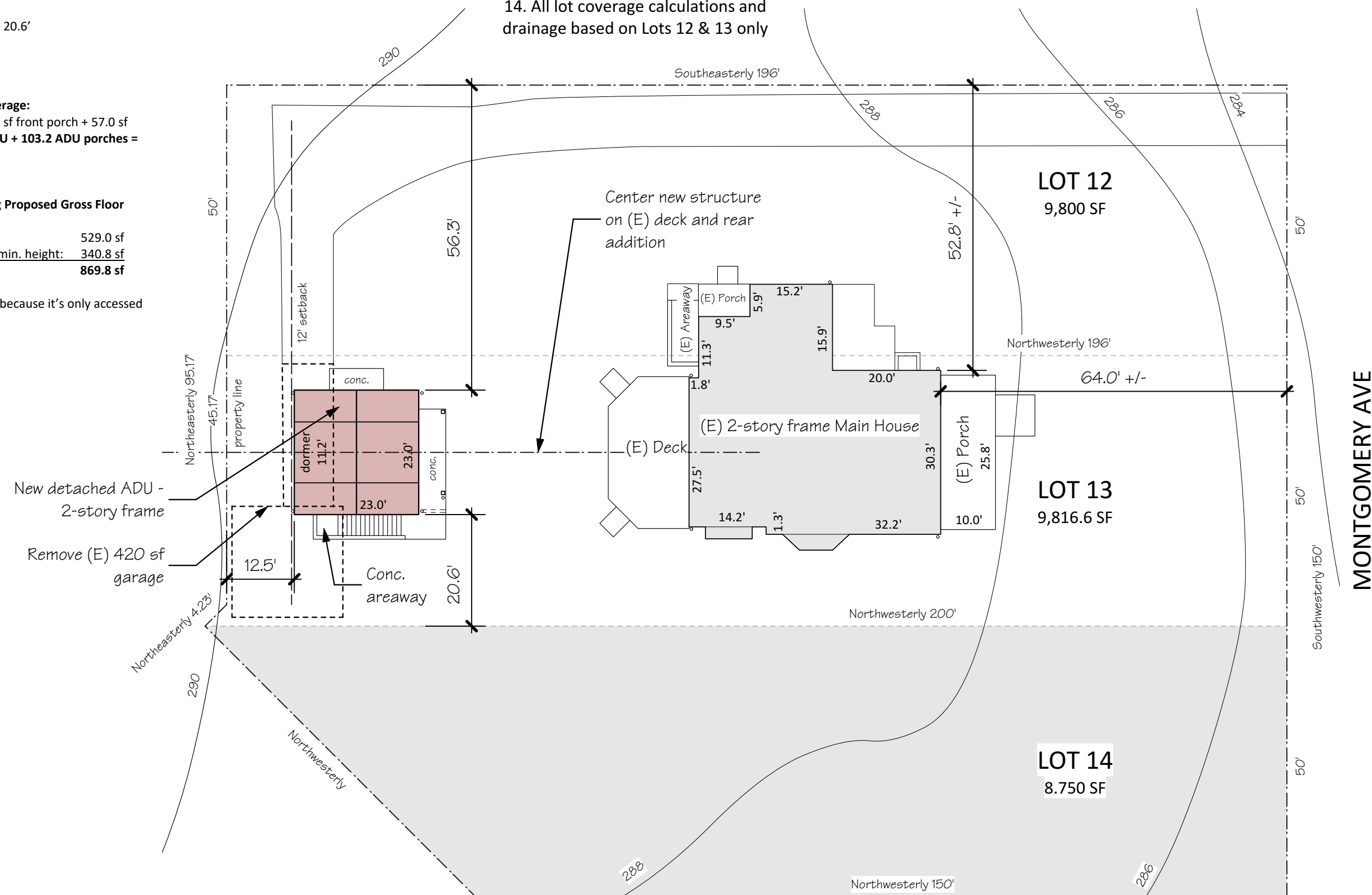
APPROVED
 Montgomery County
 Historic Preservation Commission


REVIEWED
 By Dan.Bruechert at 4:21 pm, Jul 15, 2021

Document Sheet Index

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S003	9 Structural Details
S004	10 Structural Details
CIV01	11 Site Drainage Plan
11	TOTAL SHEETS

NOTE:
 Property comprises lots 12, 13 and 14. All lot coverage calculations and drainage based on Lots 12 & 13 only



STATE OF MARYLAND
 ELIZABETH T. SHEPARD
 13508
 LICENSED ARCHITECT
 July 6, 2021

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, License No. 13508, Expiration Date: 2021-06-23

Permit

CASE
 Architects & Remodelers
 Alexandria, VA 22314
 Falls Church, VA 22046
 Washington, DC 20005
 Alexandria, VA 22304

Development: DV
Project No: 26-24-0208
Design: ELW
Management: PM




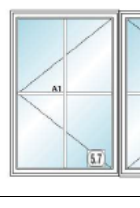
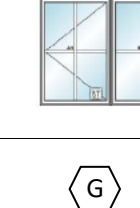
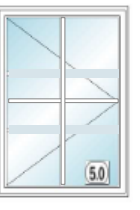
Capron Residence
 Proposed Accessory Building/ADU
 10304 Montgomery Ave Kensington MD 20895
 Cover Sheet

Drawing Log
 1/08/2021 - Schemes
 5/11/2021 - Contract
 7/06/2021 - Permit

Date: 7/6/2021
Scale: Noted
Sheet: 001

WINDOW SCHEDULE

ANDERSEN WINDOWS 400 SERIES – DOUBLE-GLAZED, LOW-E, NO GRILLES

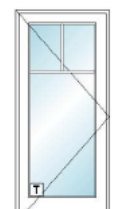

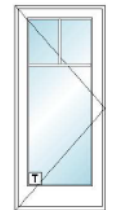
MARK	DESCRIPTION	LOCATION	NOTES
A	SINGLE CASEMENT, APPROX ROUGH OPENING 36.5" W x 60.375" H CXW15	1 st FLOOR MAIN ROOM NORTH WALL	U-VALUE 0.29 SHGC 0.29
		RO Size = 36 7/16" x 60 3/8" Unit Size = 35 15/16" x 59 7/8"	400 Series Casement, Right, 35.9375 x 59.875, White w/White Sash / Frame:Pine White - Painted Hardware: PSC Contemporary Folding White PN:1361561 Version:03/26/2021 Insect Screen 1: 400 Series Casement, CXW15 Full Screen Aluminum White PN:1345069 Version:03/26/2021
B	SINGLE CASEMENT, APPROX ROUGH OPENING 36.5" W x 41.375" H CXW135	1 st FLOOR KITCHEN SOUTH WALL	U-VALUE 0.29 SHGC 0.29
		RO Size = 36 7/16" x 41 5/16" Unit Size = 35 15/16" x 40 13/16"	400 Series Casement, Right, 35.9375 x 40.8125, White w/White Sash / Frame:Pine White - Painted Hardware: PSC Contemporary Folding White PN:1361561 Version:03/26/2021 Insect Screen 1: 400 Series Casement, CXW135 Full Screen Aluminum White PN:1345066 Version:03/26/2021
C	TRIPLE CASEMENT, APPROX ROUGH OPENING 95.25" W total x 48.375" H CX14-3	2 nd FLOOR WEST (STAIR) DORMER	EGRESS U-VALUE 0.29 SHGC 0.29
		RO Size = 95 1/4" x 48 1/2" Unit Size = 94 3/4" x 48"	400 Series Casement, Unit 1: Left, Unit 2: Stationary, Unit 3: Right, 31.5 x 48, White w/White Sash / Frame:Pine White - Painted Hardware: PSC Contemporary Folding White PN:1361561 Version:03/26/2021 Insect Screen 1: 400 Series Casement, CX14 Full Screen Aluminum White PN:1398412 Version:03/26/2021
D	DOUBLE CASEMENT, APPROX ROUGH OPENING 63.25" W total x 48.375" H CX14-2	2 nd FLOOR NORTH WALL	EGRESS U-VALUE 0.29 SHGC 0.29
		RO Size = 63 5/8" x 48 1/2" Unit Size = 63 1/8" x 48"	400 Series Casement, Unit 1: Left, Unit 2: Right, 31.5 x 48, White w/White Sash / Frame:Pine White - Painted Hardware: PSC Contemporary Folding White PN:1361561 Version:03/26/2021 Insect Screen 1: 400 Series Casement, CX14 Full Screen Aluminum White PN:1398412 Version:03/26/2021
E	TRIPLE CASEMENT, APPROX ROUGH OPENING 95.25" W total x 48.375" H CX14-3	2 nd FLOOR EAST DORMER	EGRESS U-VALUE 0.29 SHGC 0.29
		RO Size = 95 1/4" x 48 1/2" Unit Size = 94 3/4" x 48"	400 Series Casement, Unit 1: Left, Unit 2: Stationary, Unit 3: Right, 31.5 x 48, White w/White Sash / Frame:Pine White - Painted Hardware: PSC Contemporary Folding White PN:1361561 Version:03/26/2021 Insect Screen 1: 400 Series Casement, CX14 Full Screen Aluminum White PN:1398412 Version:03/26/2021
F	SINGLE CASEMENT, APPROX ROUGH OPENING 28.875" W x 41.375" H CW135	2 nd FLOOR BATHROOM SOUTH WALL	TEMPERED/SAFETY GLASS U-VALUE 0.29 SHGC 0.29
		RO Size = 28 7/8" x 41 5/16" Unit Size = 28 3/8" x 40 13/16"	400 Series Casement, Right, 28.375 x 40.8125, White w/White Sash / Frame:Pine White - Painted Hardware: PSC Contemporary Folding White PN:1361561 Version:03/26/2021 Insect Screen 1: 400 Series Casement, CW135 Full Screen Aluminum White PN:1345075 Version:03/26/2021
G	EXISTING – NO CHANGE		

Fenestration

- U- Factors of fenestration products are determined in accordance with the NFRC test procedure (IRC 303.1.3)

DOOR SCHEDULE

EXTERIOR DOORS

MARK	DESCRIPTION	LOCATION	NOTES
1	3-0 x 6-8 with glass lite	MAIN ENTRY FACING DRIVEWAY	Andersen 400-series Frenchwood Swing U-value 0.32 SHGC 0.21
		RO Size = 37" x 83" Unit Size = 36 1/8" x 82 3/8"	400 Series Patio Doors 1 Panel-FWH, Right, 36.125 x 82.375, White w/White Sash / Frame:Pine White Panel:Pine White Trim Set 1: FWH Right Newbury Satin Nickel PN:2579443 Version:03/26/2021
2	11'-9 3/4" W x 83" H Rough Opening 2-panel French Door FWG 120611-4	MAIN ROOM FACING HOUSE	Andersen 400-series Frenchwood gliding U-value 0.32 SHGC 0.23
		RO Size = 141 3/4" x 83" Unit Size = 141" x 82 3/8"	100-1 Frame: White / White Pine PN:2565180 Version:03/26/2021 100-2 Trim Set 1: FWH Stationary-Right-Left-Stationary Newbury Satin Nickel PN:2579436 Version:03/26/2021 100-3 Insect Screen 1: 400 Series Patio Doors 4 Panel-FWG, 35" X 80 7/16" FWG120611-4 Full Screen Fiberglass Gliding White PN:2565311 Version:03/26/2021 100-4 Insect Screen 2: 400 Series Patio Doors 4 Panel-FWG, 35" X 80 7/16" FWG120611-4 Full Screen Fiberglass Gliding White PN:2565311 Version:03/26/2021 100-5 Insect Screen Astragal: 400 Series Patio Doors 4 Panel-FWG FWG 83 White PN:2565711 Version:03/26/2021 100-6 Sill Support: FWG 141.75 Aluminum (Neutral Gray) PN:1997060 Version:03/26/2021 100-7 Panel Astragal: FWG 83 White/ White/ Pine/ White PN:2572997 Version:03/26/2021 100-8 Panel 1: Left Slab 36 x 79.016 FWG120611-4 Stationary-Right-Left-Stationary White/ White/ Pine/ White Low-E4 Tempered Argon Filled FDL Tall Fractional Typical 3/4" White /White Pine CR:No 100-9 Panel 2: Left Center Slab 36 x 79.016 FWG120611-4 Stationary-Right-Left-Stationary White/ White/ Pine/ White Low-E4 Tempered Argon Filled FDL Tall Fractional Typical 3/4" White /White Pine CR:No 100-10 Panel 3: Right Center Slab 36 x 79.016 FWG120611-4 Stationary-Right-Left-Stationary White/ White/ Pine/ White Low-E4 Tempered Argon Filled FDL Tall Fractional Typical 3/4" White /White Pine CR:No 100-11 Panel 4: Right Slab 36 x 79.016 FWG120611-4 Stationary-Right-Left-Stationary White/ White/ Pine/ White Low-E4 Tempered Argon Filled FDL Tall Fractional Typical 3/4" White /White Pine CR:No
3	3'-0" x 6'-8"	BASEMENT	Andersen 400-series Frenchwood Swing U-value 0.32 SHGC 0.21
		RO Size = 37" x 83" Unit Size = 36 1/8" x 82 3/8"	400 Series Patio Doors 1 Panel-FWH, Right, 36.125 x 82.375, White w/White Sash / Frame:Pine White Panel:Pine White Trim Set 1: FWH Right Newbury Satin Nickel PN:2579443 Version:03/26/2021

INTERIOR DOORS

MARK	DESCRIPTION	LOCATION	NOTES
5	2'-0" x 6'-8" SINGLE SWING	ENTRY CLOSET	6-panel
6	2'-0" x verify height	(various locations)	Access panels to under-stairs and attic – flush panel with casing
7	2'-6" x 6'-8" SINGLE SWING	BEDROOM ENTRY	6-panel
8	3'-0" x 6'-8" DOUBLE SWING – (2) 1'-6" leaves	BEDROOM CLOSET	6-panel
9	2'-4" x 6'-6" POCKET	2 nd FLOOR BATH	6-panel – Note lower ceiling at Bath
E	EXISTING – No Change		

STANDARD INTERIOR DOORS AND HARDWARE:

See Contract for specifications

CASE
Architects & Remodelers

4701 Sangamore Road
North Plaza, Suite 40
Bethesda, MD 20816
(P) 301.229.4600
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(F) 202.229.2185

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Development:
DY

Management:
PM

Project No:
26-24-0208

Design:
ELW

Capron Residence
Proposed Accessory Building/ADU
10304 Montgomery Ave Kensington MD 20895
Window and Door Schedules

APPROVED
Montgomery County
Historic Preservation Commission

Robert A. Adams

REVIEWED
By Dan.Bruechert at 4:21 pm, Jul 15, 2021

Drawing Log

1/08/2021 - Schemes
5/11/2021 - Contract
7/06/2021 - Permit

Date:
7/6/2021

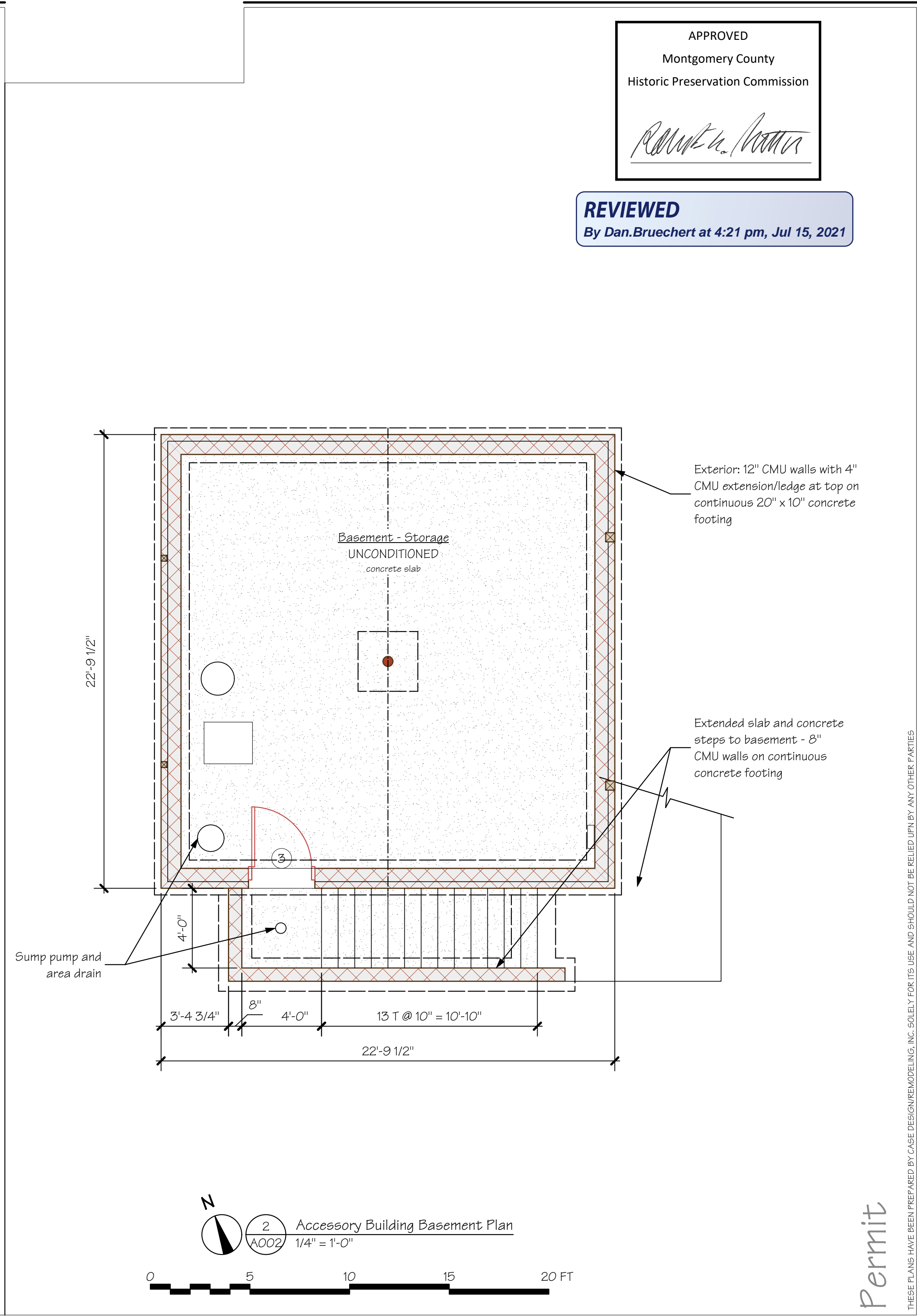
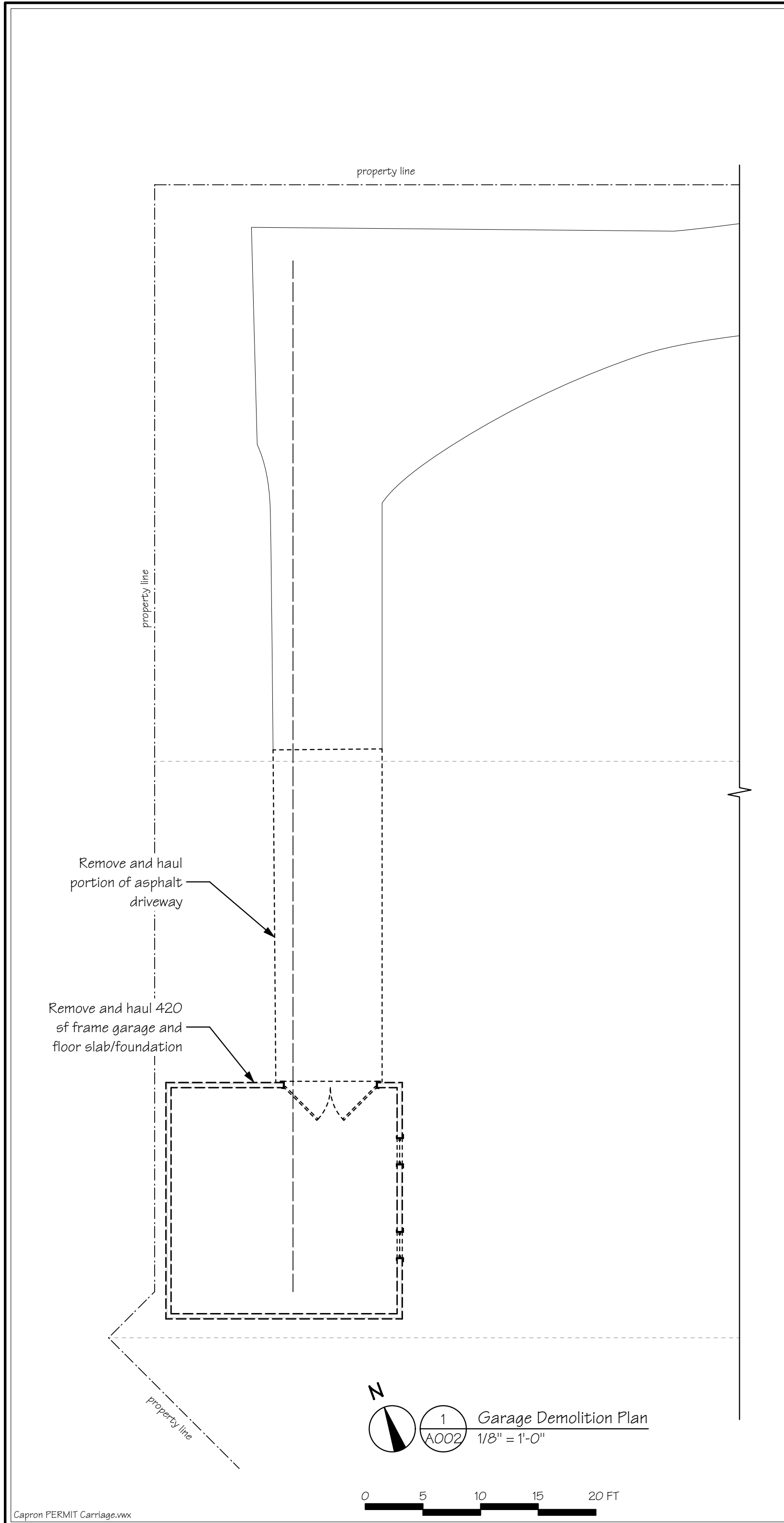
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Permit

THESE PLANS HAVE BEEN PREPARED BY CASE DESIGN/REMODELING, INC. SOLELY FOR ITS USE AND SHOULD NOT BE RELIED UPON BY ANY OTHER PARTIES.



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Montgomery County
Historic Preservation Commission

Ronald A. [Signature]

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By Dan.Bruechert at 4:21 pm, Jul 15, 2021

CASE
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Development:	DV	Management:	PM
Project No:	26-24-0208	Design:	ELW

Capron Residence
Proposed Accessory Building/ADU
10304 Montgomery Ave Kensington MD 20895
Garage Demo / Proposed Basement Plan

Drawing Log	1/08/2021 - Schemes 5/11/2021 - Contract 7/06/2021 - Permit
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Permit

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Montgomery County
Historic Preservation Commission



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By Dan.Bruechert at 4:21 pm, Jul 15, 2021

CASE
Architects & Remodelers

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(F) 202.229.3195

Alexandria
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Falls Church, VA 22046
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(F) 703.000.0001

Development:	DV	Management:	PM
Project No:	26-24-0208	Design:	ELW

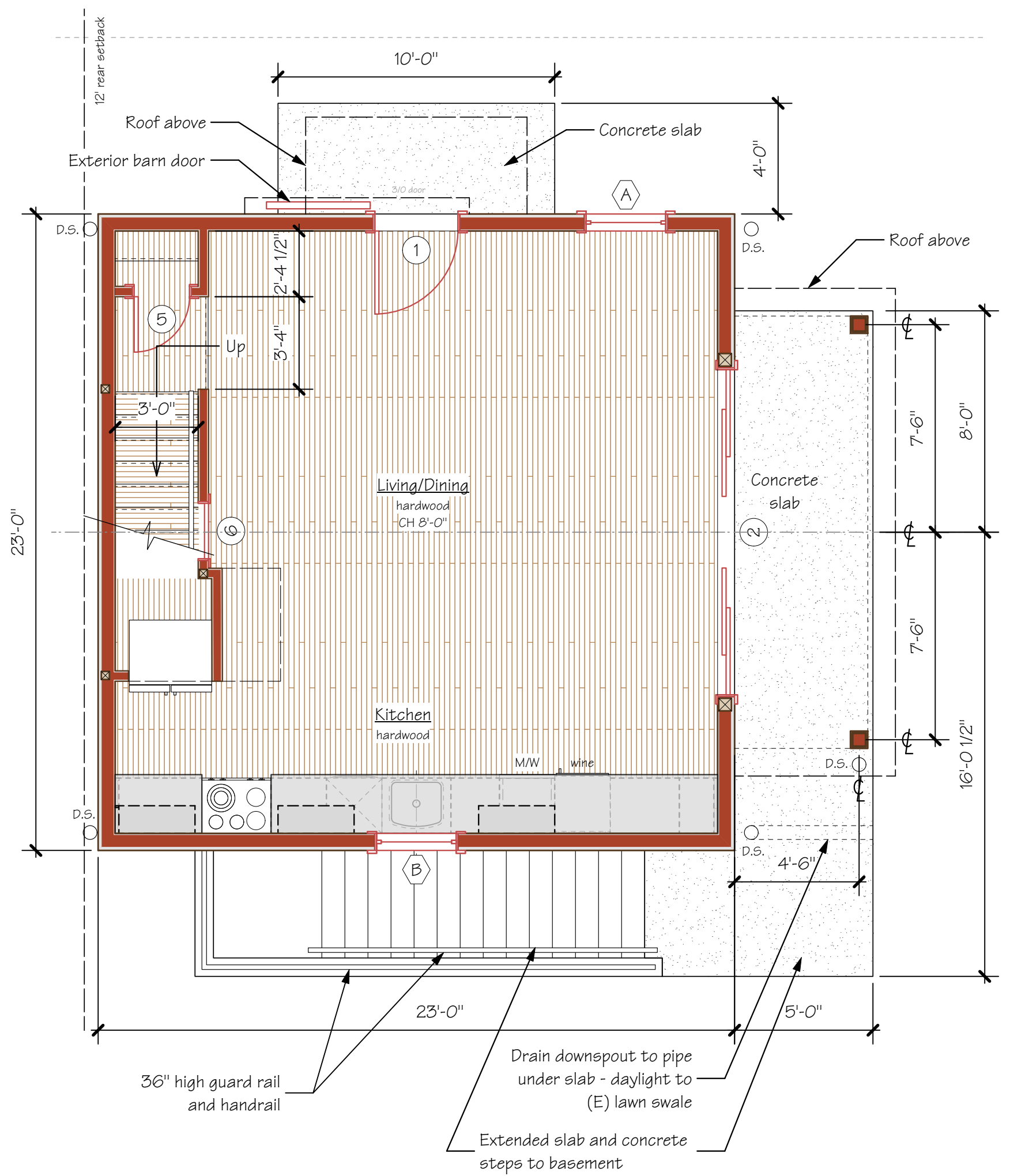
Capron Residence
Proposed Accessory Building/ADU
10304 Montgomery Ave Kensington MD 20895
Proposed 1st & 2nd Floor Plans

Drawing Log	1/08/2021 - Schemes 5/11/2021 - Contract 7/06/2021 - Permit
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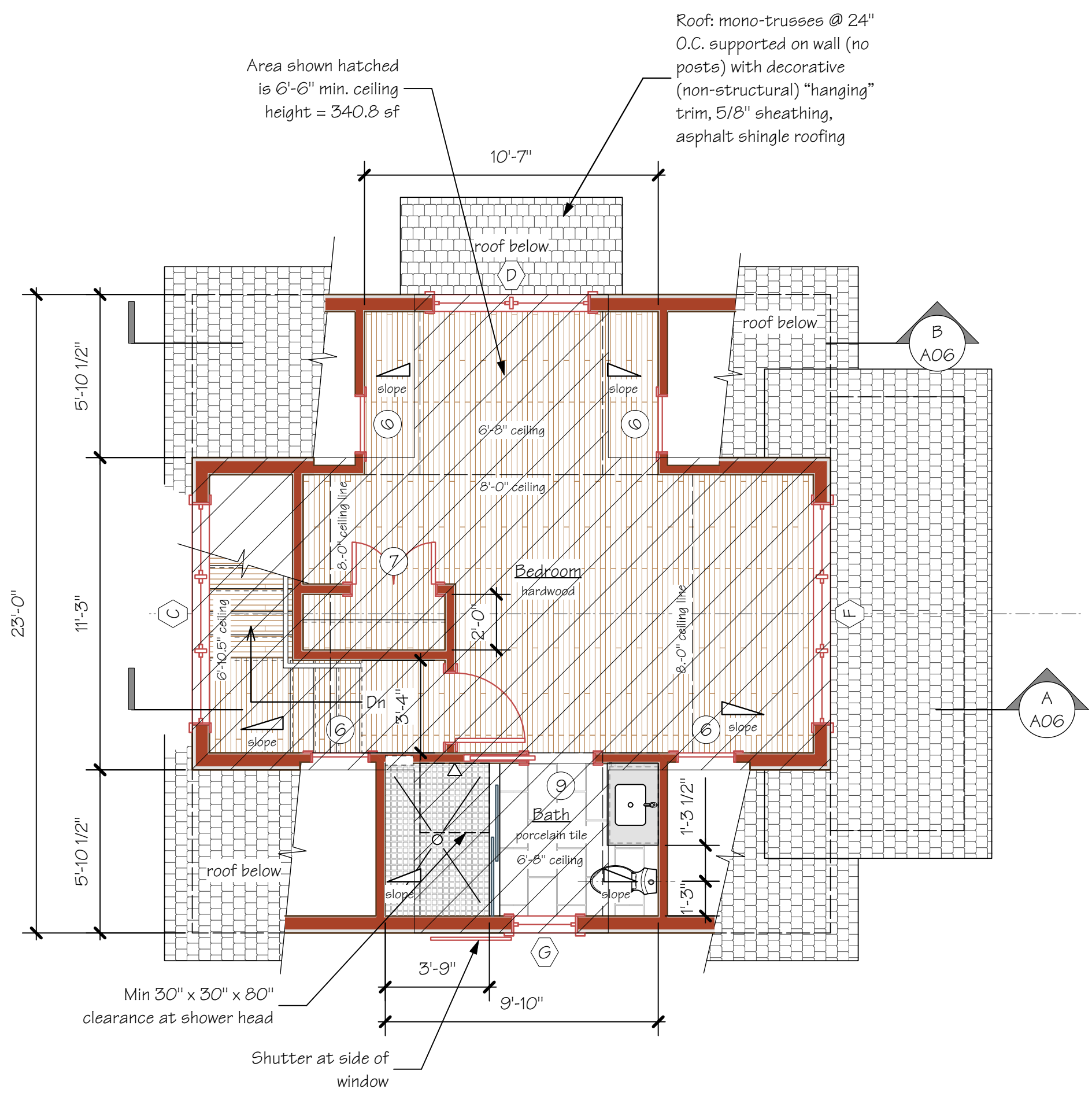
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Permit

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1 Accessory Building First Floor Plan
1/4" = 1'-0"



Area shown hatched is 6'-6" min. ceiling height = 340.8 sf

Roof: mono-trusses @ 24" O.C. supported on wall (no posts) with decorative (non-structural) "hanging" trim, 5/8" sheathing, asphalt shingle roofing

2 Accessory Building Second Floor Plan
1/4" = 1'-0"



APPROVED
Montgomery County
Historic Preservation Commission



REVIEWED
By Dan.Bruechert at 4:21 pm, Jul 15, 2021

Project to Comply with the 2018 IECC – Residential Provisions

Envelope

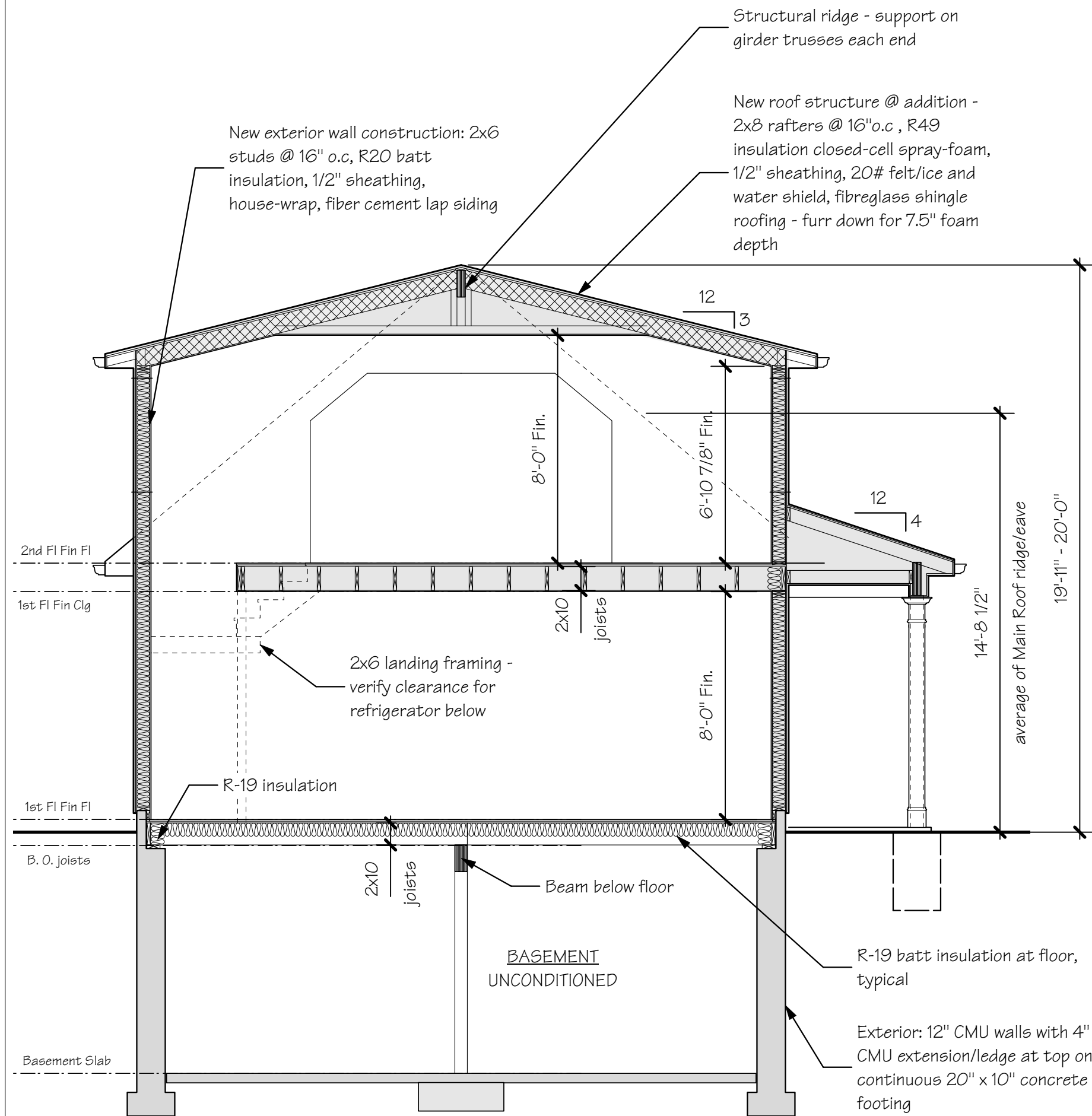
- Construction drawings and documentation demonstrate energy code compliance for the building envelope (103.2)
- Conditioned basement insulation will be installed per Manufacturer's instructions (IRC N1101.11/R303.2)
- All installed insulation is labeled or the installed R-values provided (IRC N1101.10/R303.1)
- Wall insulation will be installed per Manufacturer's instructions (IRC N1101.11/R303.2)
- Ceiling insulation will be installed per manufacturer's instructions (IRC N1101.11/R303.2)
- Vented attics with air permeable insulation include baffle adjacent to soffit and eave vents that extends over insulation (2015 IECC 402.2.3)
- Attic access hatch and floor insulation +> R-Value of the adjacent assembly (IRC N1102.2.4/R402.2.3)

Air Leakage

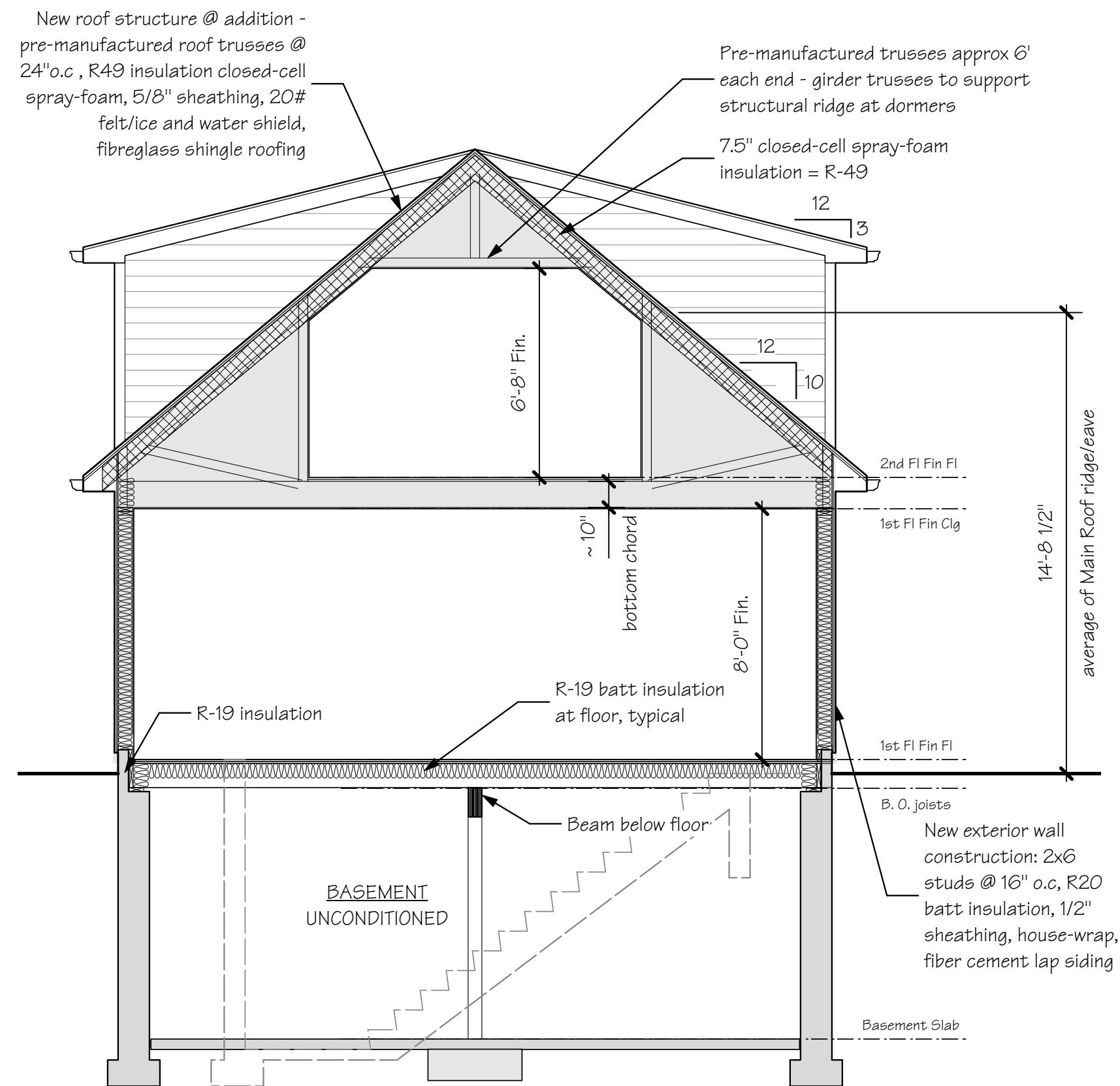
- Air Barrier and thermal barriers will be installed per manufacturer's instructions (2015 IECC 402.4.1.1)
- IC-Rated Recessed Lighting Fixtures. This requirement applies to all recessed lighting fixtures installed in the building envelope. Each fixture should be rated for installation in areas with insulation (e.g. IC rated), have a label on them from an approved third party indicating that they have an air leakage rate not exceeding 2 cfm at 75 Pa (1.57 psf) when tested under ASTM E283, and have a gasket or caulk applied between the fixture housing and the interior finish of the space where they are located. (2015 IECC 402.4.5)
- Automatic or gravity dampers are installed on all outdoor air intakes and exhausts (IRC 403.6)
- Blower door test at 50 Pa. <= 3 air changes per hour in Climate Zone 4A (2015 IECC 402.4.2, 402.4,2,1)

Fenestration

- U- Factors of fenestration products are determined in accordance with the NFRC test procedure (IRC 303.1.3)



A Section at Dormers
A004 1/4" = 1'-0"



B Section at Main Roof/Ends
A004 1/4" = 1'-0"

CASE
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Development:	DV	Management:	PM
Project No:	26-24-0208	Design:	ELW

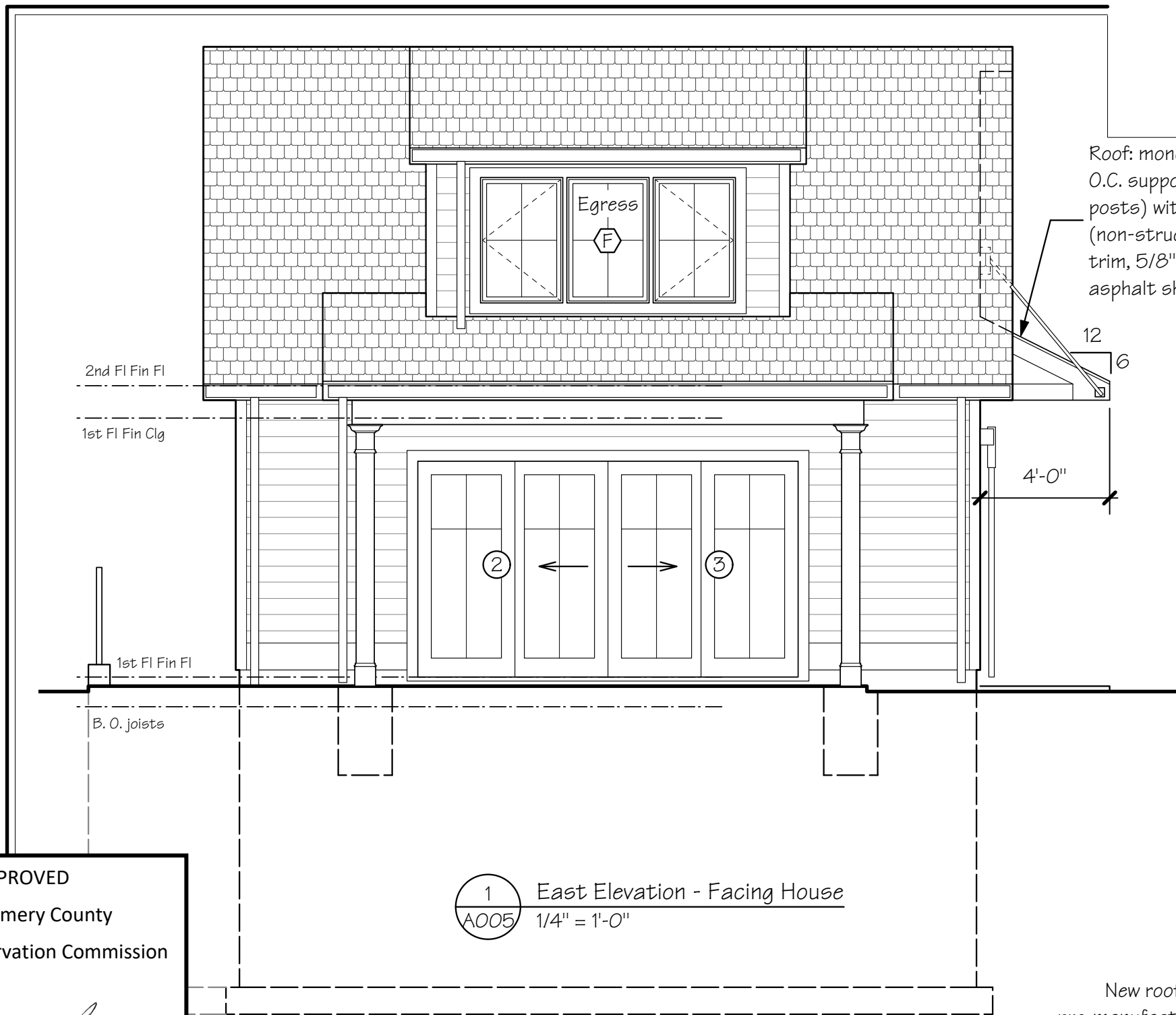
Capron Residence
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Building Sections

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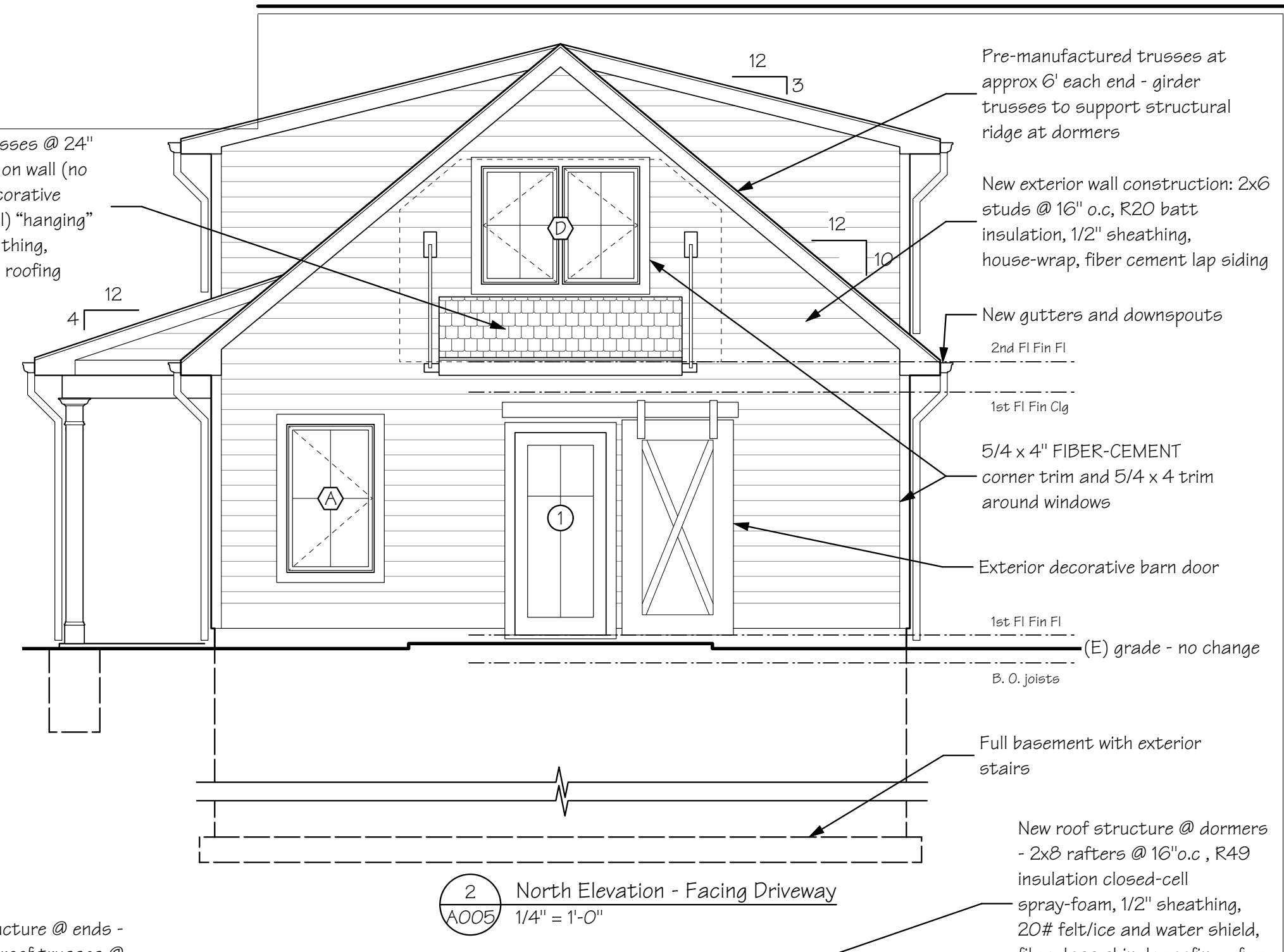
Drawing Log	1/08/2021 - Schemes
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Date:	7/6/2021	Scale:	1/4" = 1'-0"
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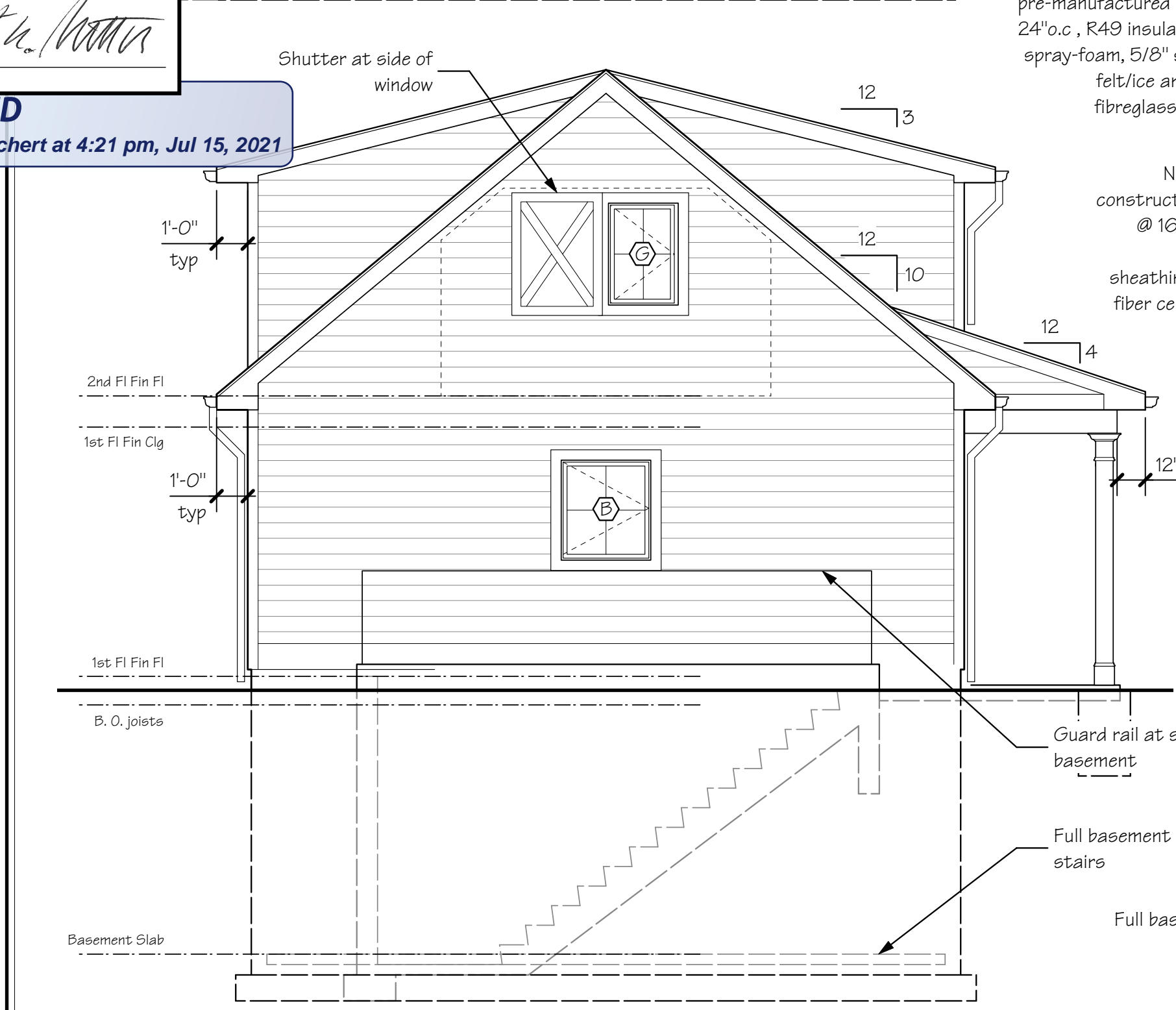
Permit



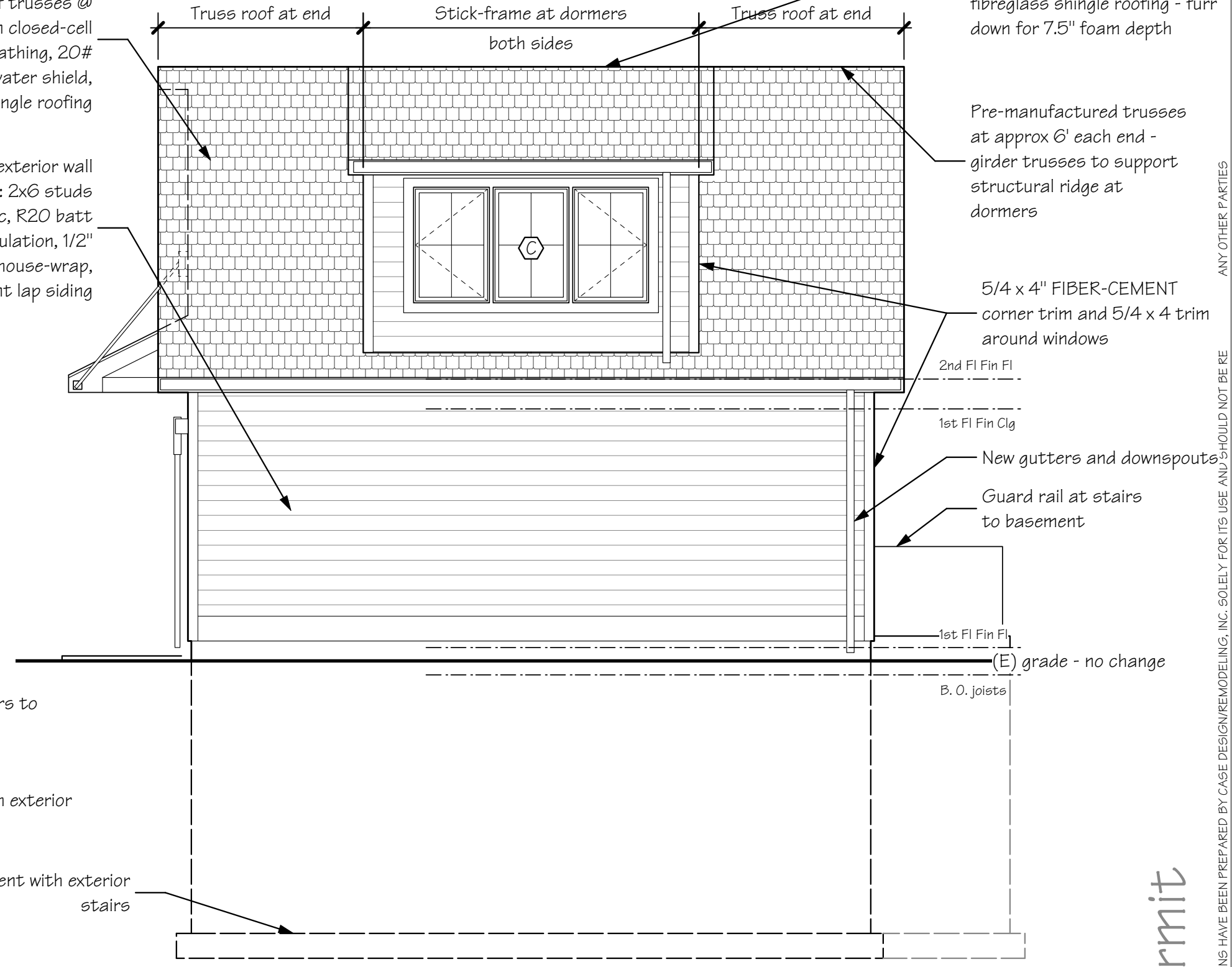
1 East Elevation - Facing House
A005 1/4" = 1'-0"



2 North Elevation - Facing Driveway
A005 1/4" = 1'-0"



3 South Elevation
A005 1/4" = 1'-0"



4 West Elevation - Facing Rear
A005 1/4" = 1'-0"



APPROVED
Montgomery County
Historic Preservation Commission

REVIEWED
By Dan.Bruechert at 4:21 pm, Jul 15, 2021

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Development:	DV	Management:	PM
Project No:	26-24-0208	Design:	ELW

Capron Residence
Proposed Accessory Building/ADU
10304 Montgomery Ave Kensington MD 20895
Elevations

ANY OTHER PARTIES

Drawing Log	1/08/2021 - Schemes
	5/11/2021 - Contract
	7/06/2021 - Permit

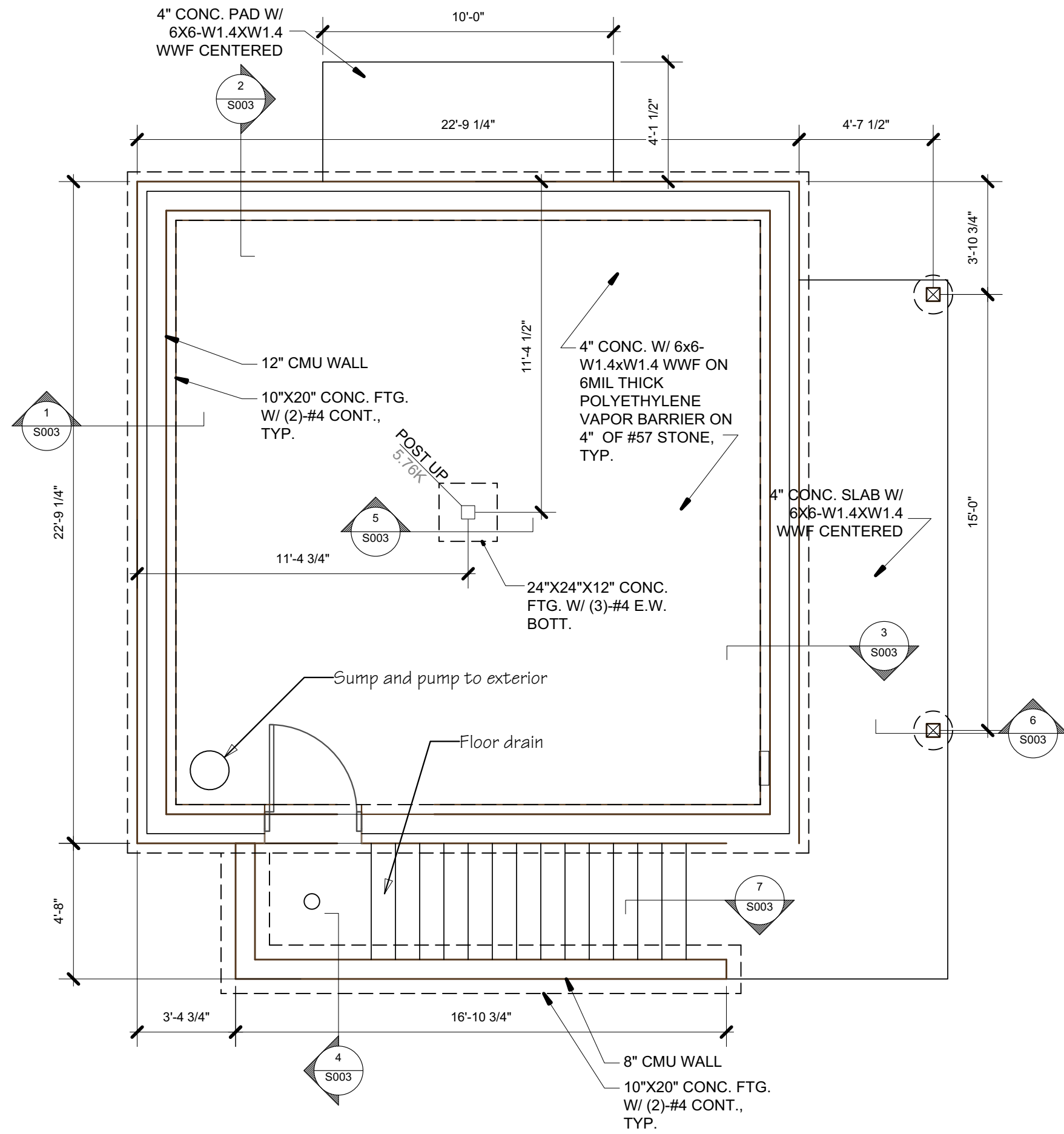
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Sheet:	A005	Of:	5A

Permit

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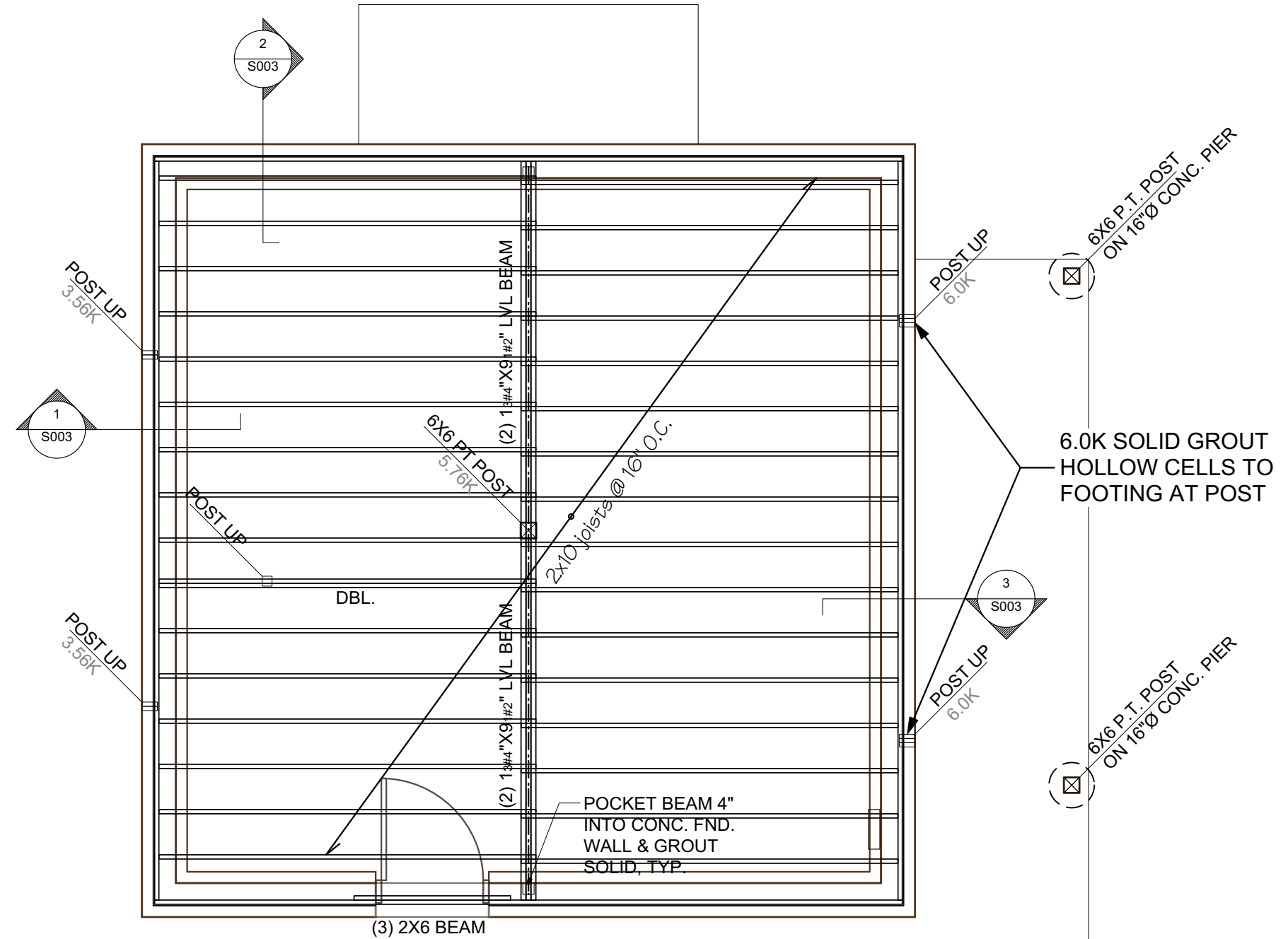
REVIEWED
By Dan.Bruechert at 4:21 pm, Jul 15, 2021



FOUNDATION PLAN
1/4" = 1'-0"



2
S01 Accessory Building Foundation Plan
1/4" = 1'-0"



1ST FLOOR FRAMING PLAN

1/4" = 1'-0"

NOTES:

- 1) UNO, ALL BEAMS AND HEADERS TO BE DROPPED.
- 2) UNO, PROVIDE IN-FLOOR SQUASH BLOCKS UNDER ALL POSTS TO ENSURE CONTINUOUS LOAD BEARING.

2
S01 First Floor Framing Plan
1/4" = 1'-0"



Permit

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Development:	DY	Management:	PM
Project No:	26-24-0208	Design:	ELW

Capron Residence
Proposed Accessory Building/ADU
10504 Montgomery Ave Kensington MD 20895
Foundation and 1st Floor Framing Plans

Drawing Log	1/08/2021 - Schemes
	5/11/2021 - Contract
	7/06/2021 - Permit

Date:	7/7/2021	Scale:	1/4" = 1'-0"
Sheet:	S001	Of:	45

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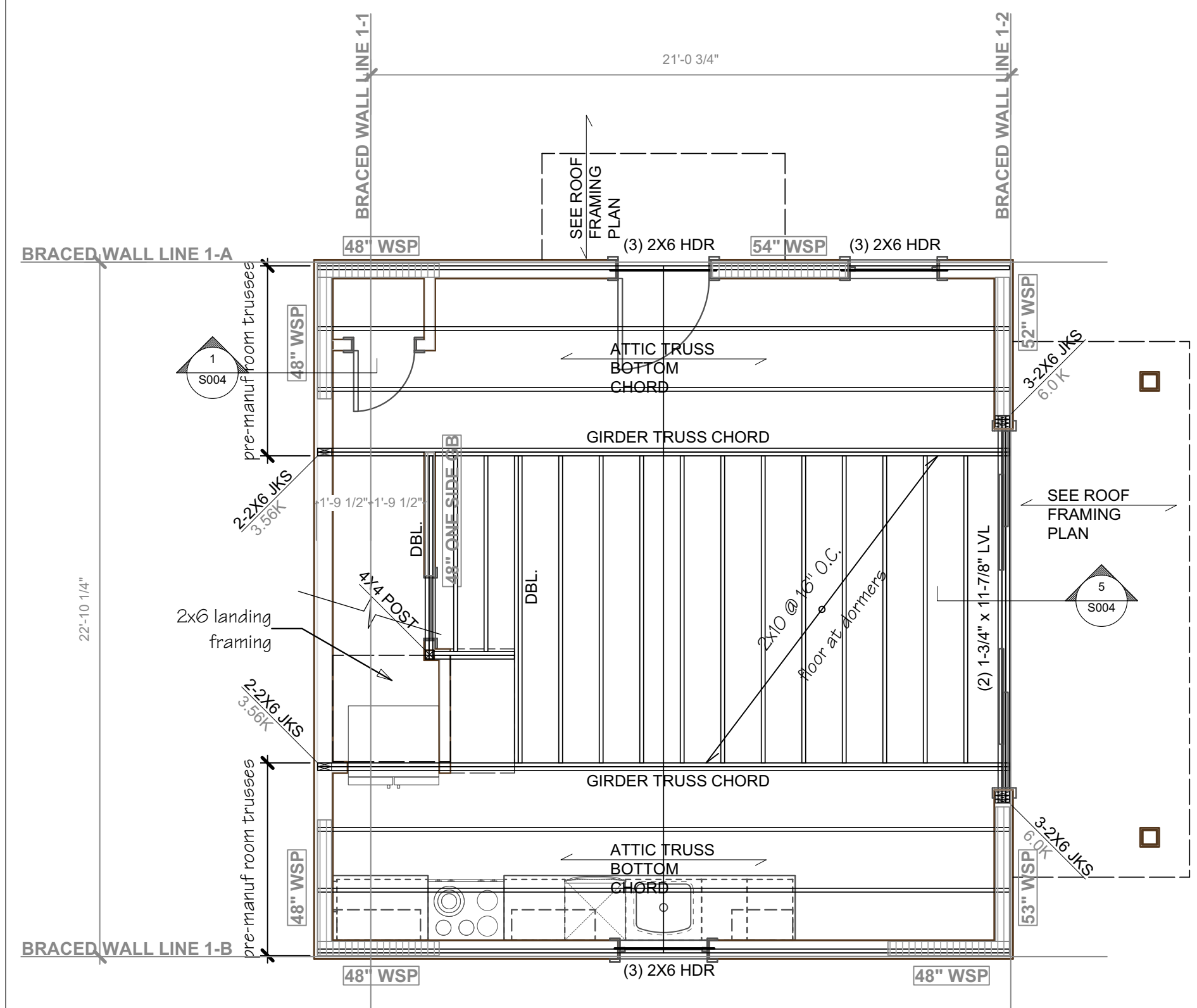
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Development:	DY	Management:	PM
Project No:	26-24-0208	Design:	ELW

Capron Residence
Proposed Accessory Building/ADU
10504 Montgomery Ave Kensington MD 20895
2nd Floor and Roof Framing Plans

Drawing Log	1/08/2021 - Schemes 5/11/2021 - Contract 7/06/2021 - Permit
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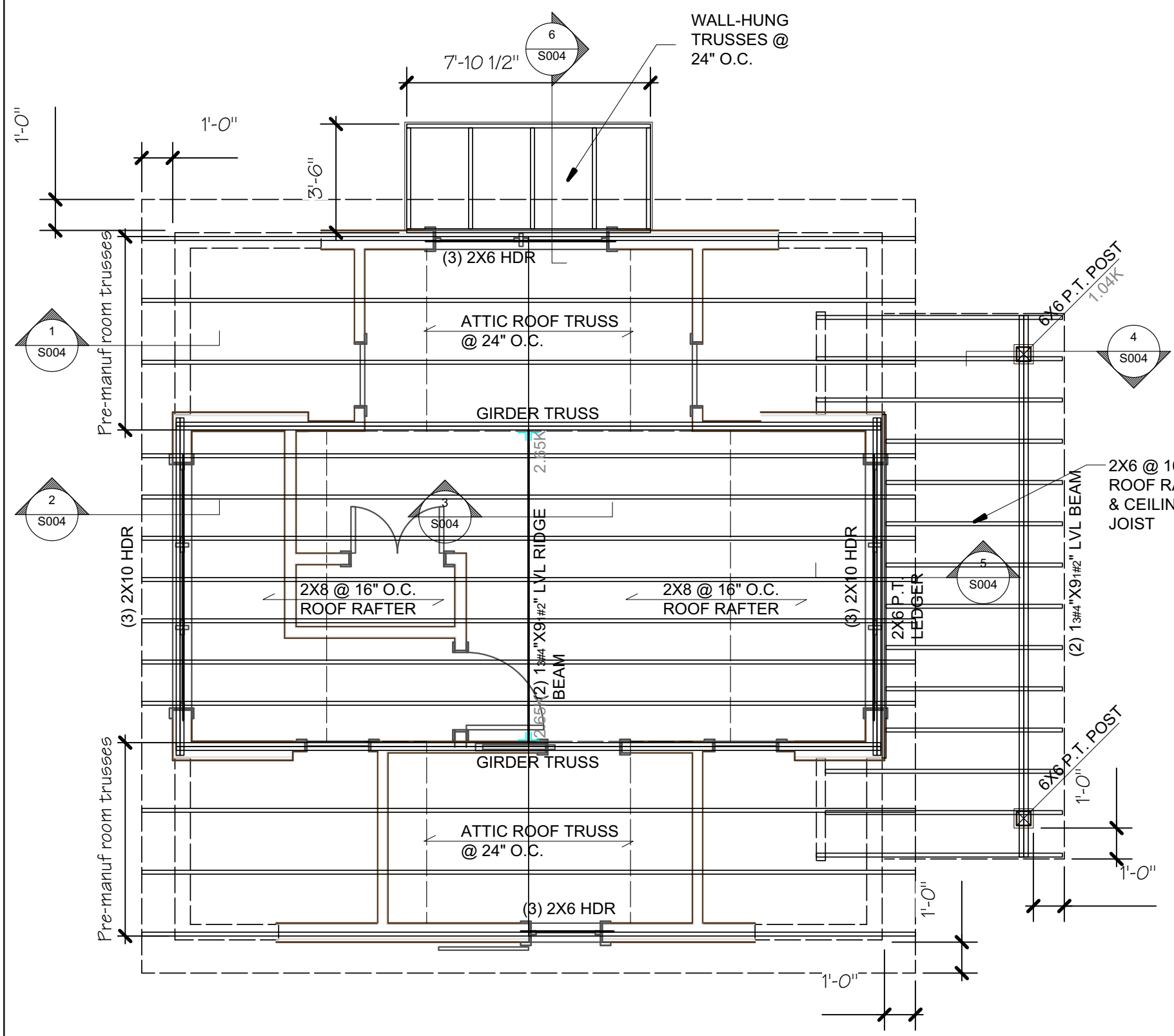
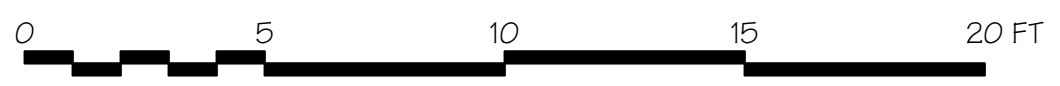
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Sheet:	S002	Of:	45



2ND FLOOR FRAMING PLAN
1/4" = 1'-0"

- NOTES:
- 1) UNO, ALL BEAMS AND HEADERS TO BE DROPPED.
 - 2) UNO, ALL EXTERIOR WALL TO BE 2x6 STUDS @ 16" O.C.
 - 3) UNO, PROVIDE (2) 2x6 (ONE KING & ONE JACK) @ EACH END OF HEADER.
 - 4) UNO, PROVIDE IN-FLOOR SQUASH BLOCKS UNDER ALL POSTS TO ENSURE CONTINUOUS LOAD BEARING.

2 Second Floor Framing Plan
S02 1/4" = 1'-0"



ROOF FRAMING PLAN
1/4" = 1'-0"

- NOTES:
- 1) UNO, ALL BEAMS AND HEADERS TO BE DROPPED.
 - 2) UNO, ALL EXTERIOR WALL TO BE 2x6 STUDS @ 16" O.C.
 - 3) UNO, PROVIDE (2) 2x6 (ONE KING & ONE JACK) @ EACH END OF HEADER.

2 Roof Framing Plan
S02 1/4" = 1'-0"



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Development:	DV	Management:	PM
Project No:	26-24-0208	Design:	ELW

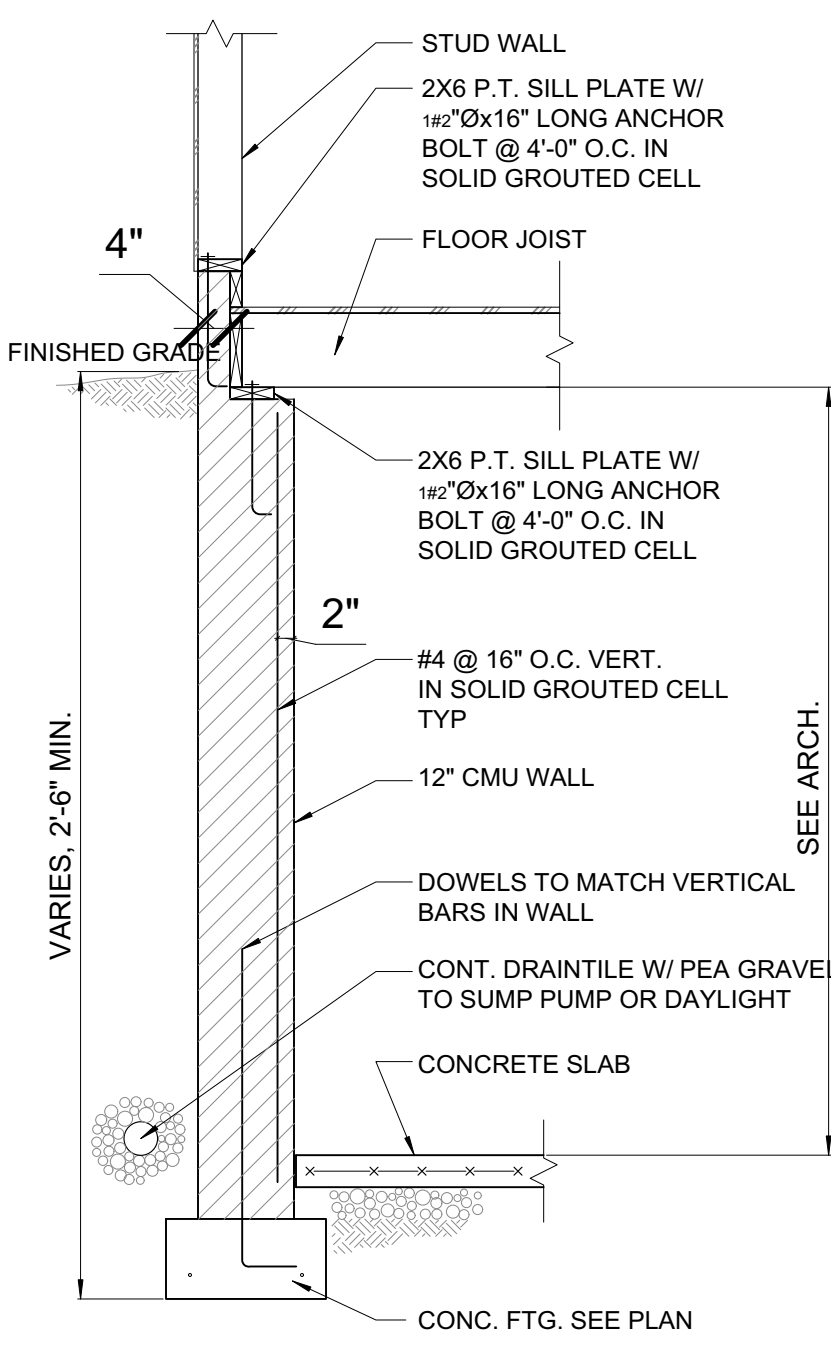
Capron Residence
 Proposed Accessory Building/ADU
 10304 Montgomery Ave Kensington MD 20895

Structural Details

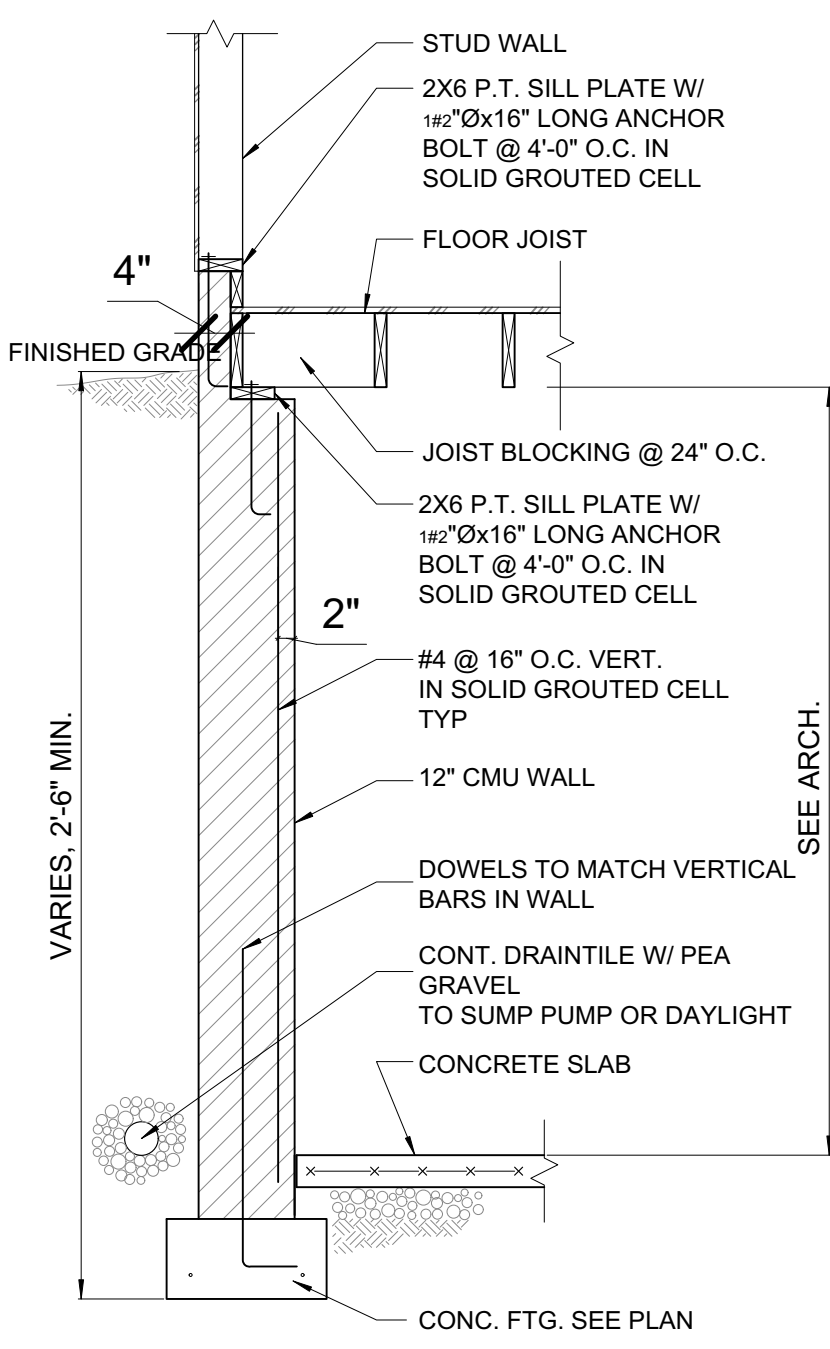
Drawing Log

1/06/2021 - Schemes
5/11/2021 - Contract
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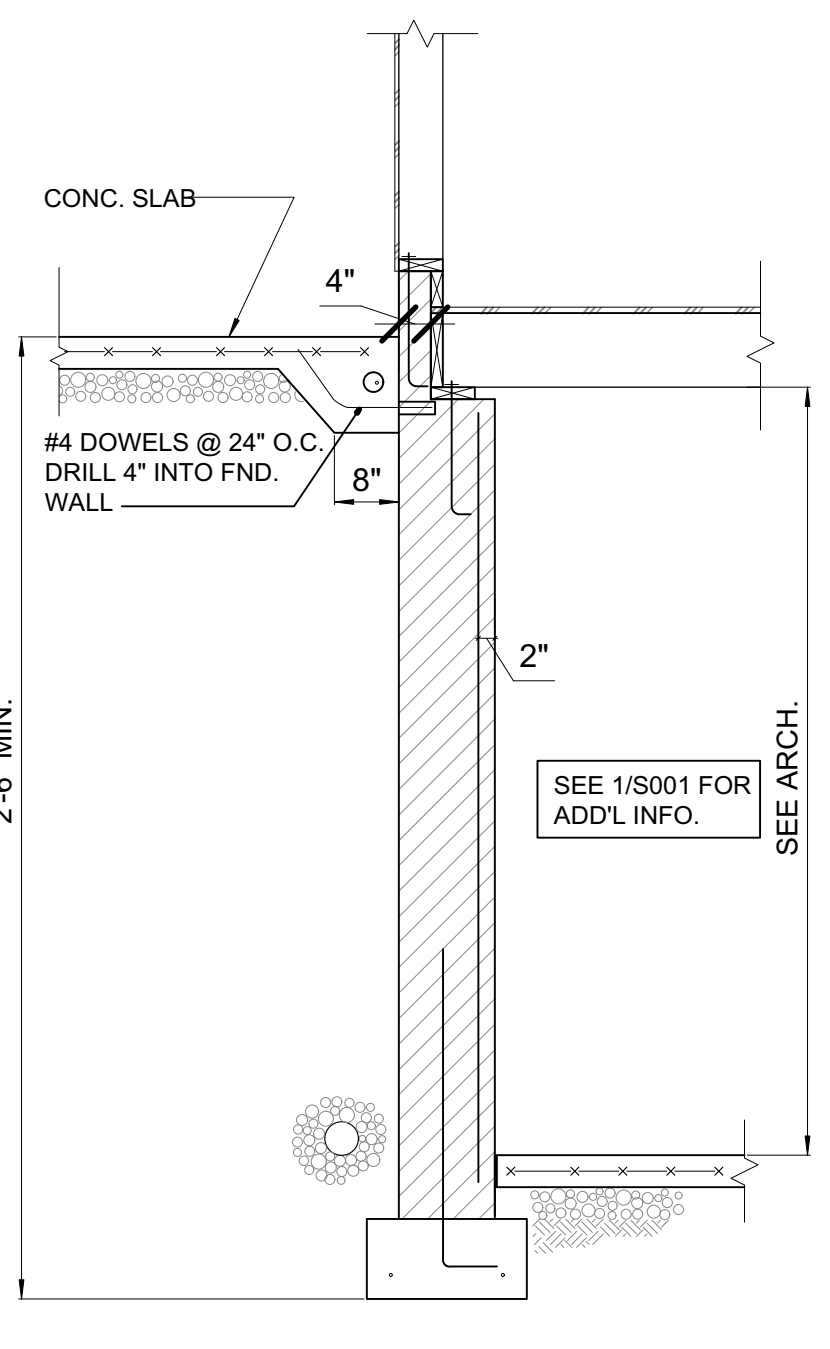
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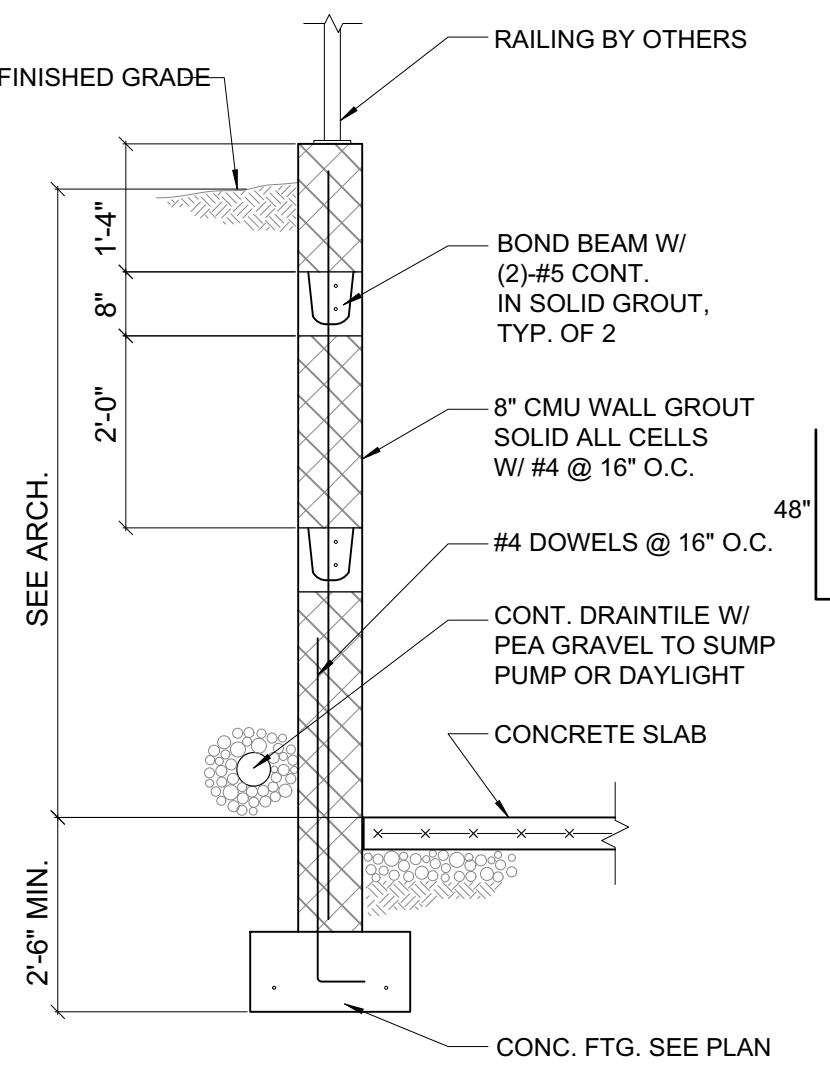
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 S003



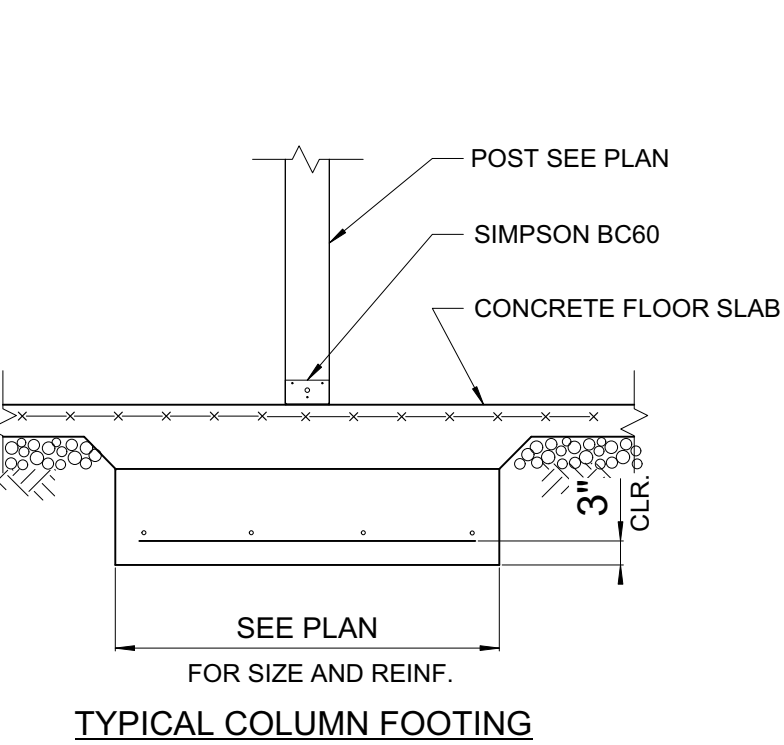
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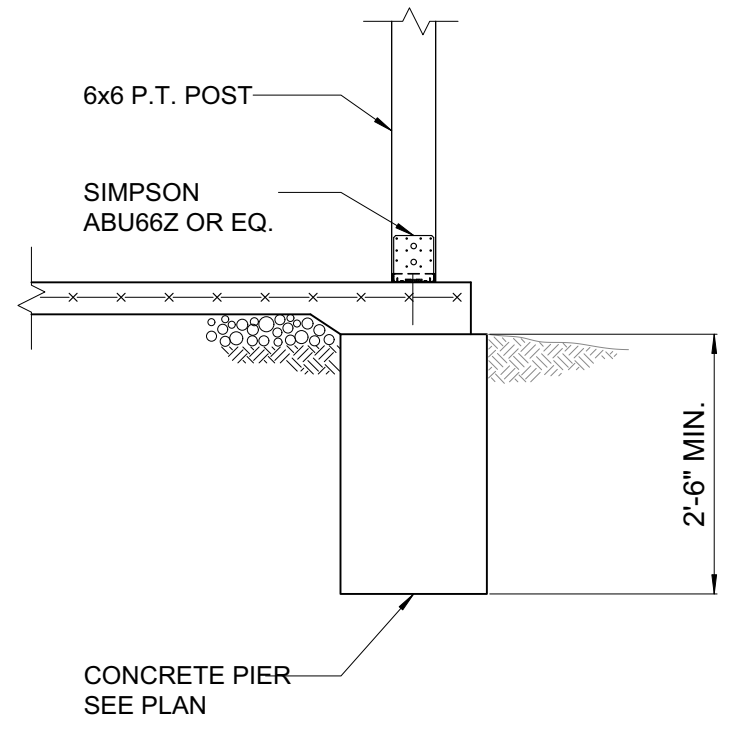
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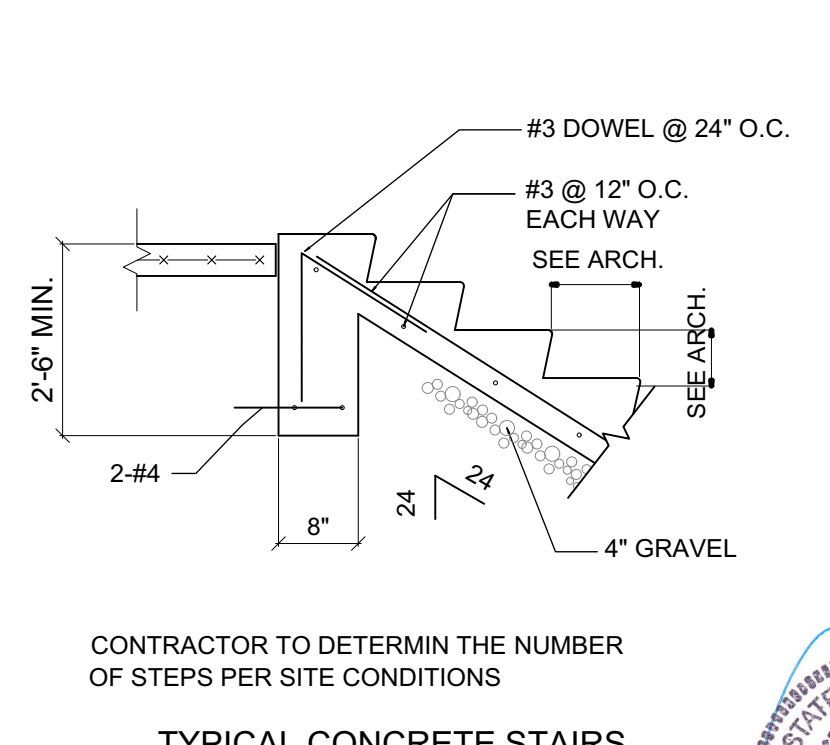
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SECTION 5
 SCALE: NTS
 S003



SECTION 6
 SCALE: NTS
 S003



SECTION 7
 SCALE: NTS
 S003



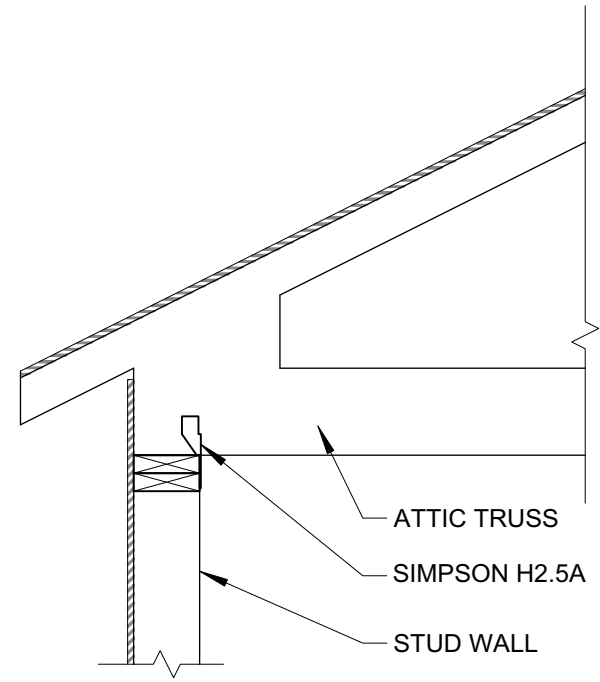
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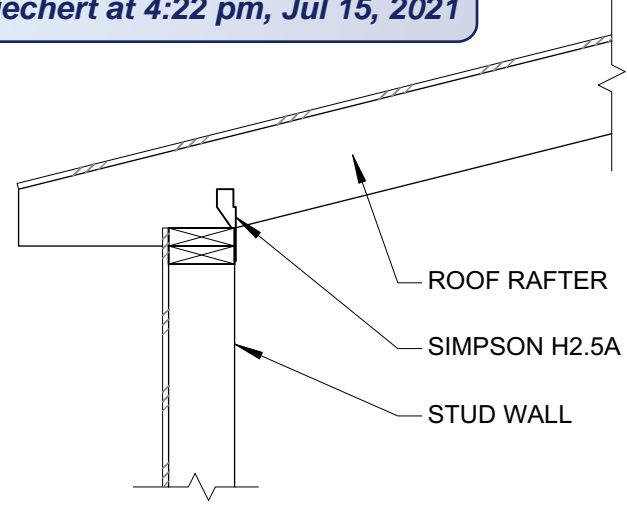
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[Signature]

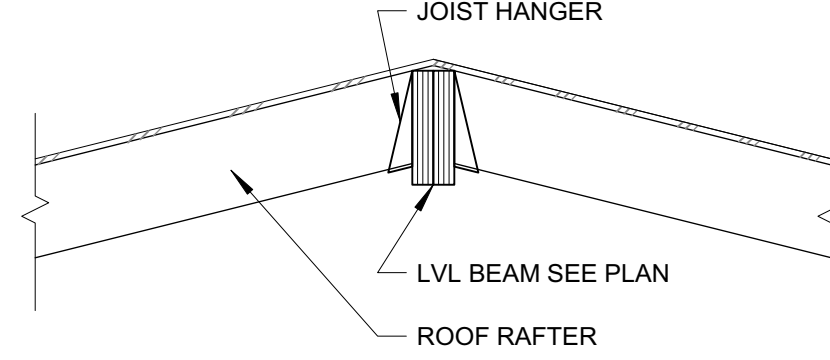
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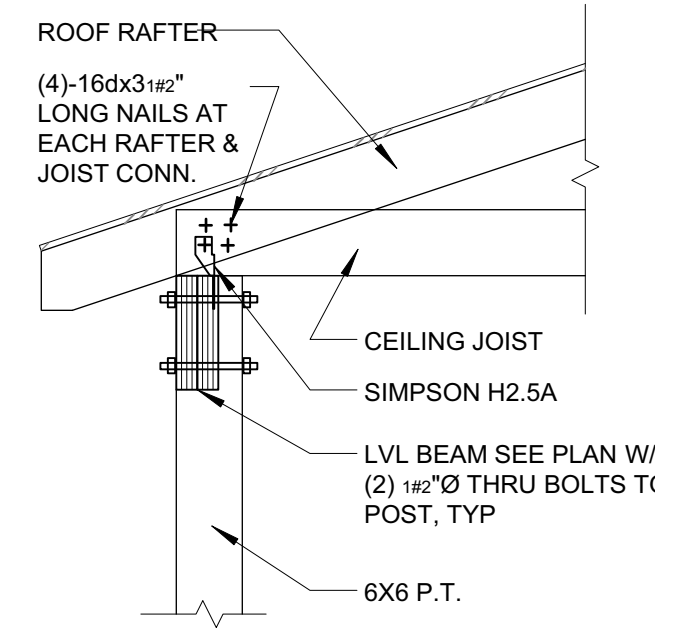
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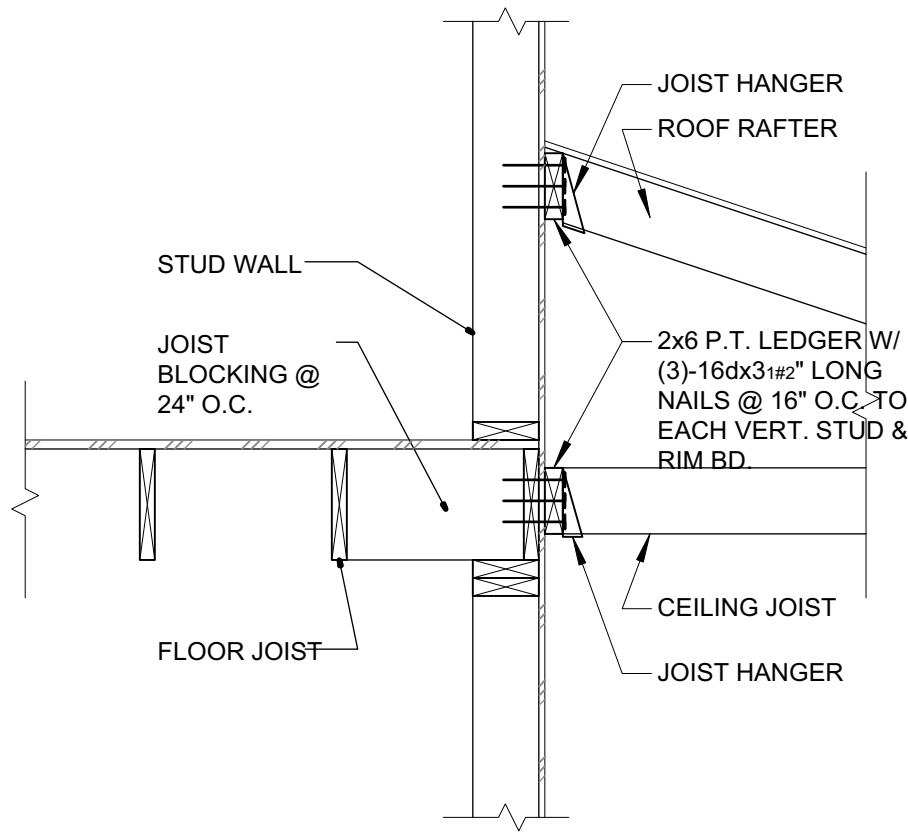
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NOT TO SCALE S004



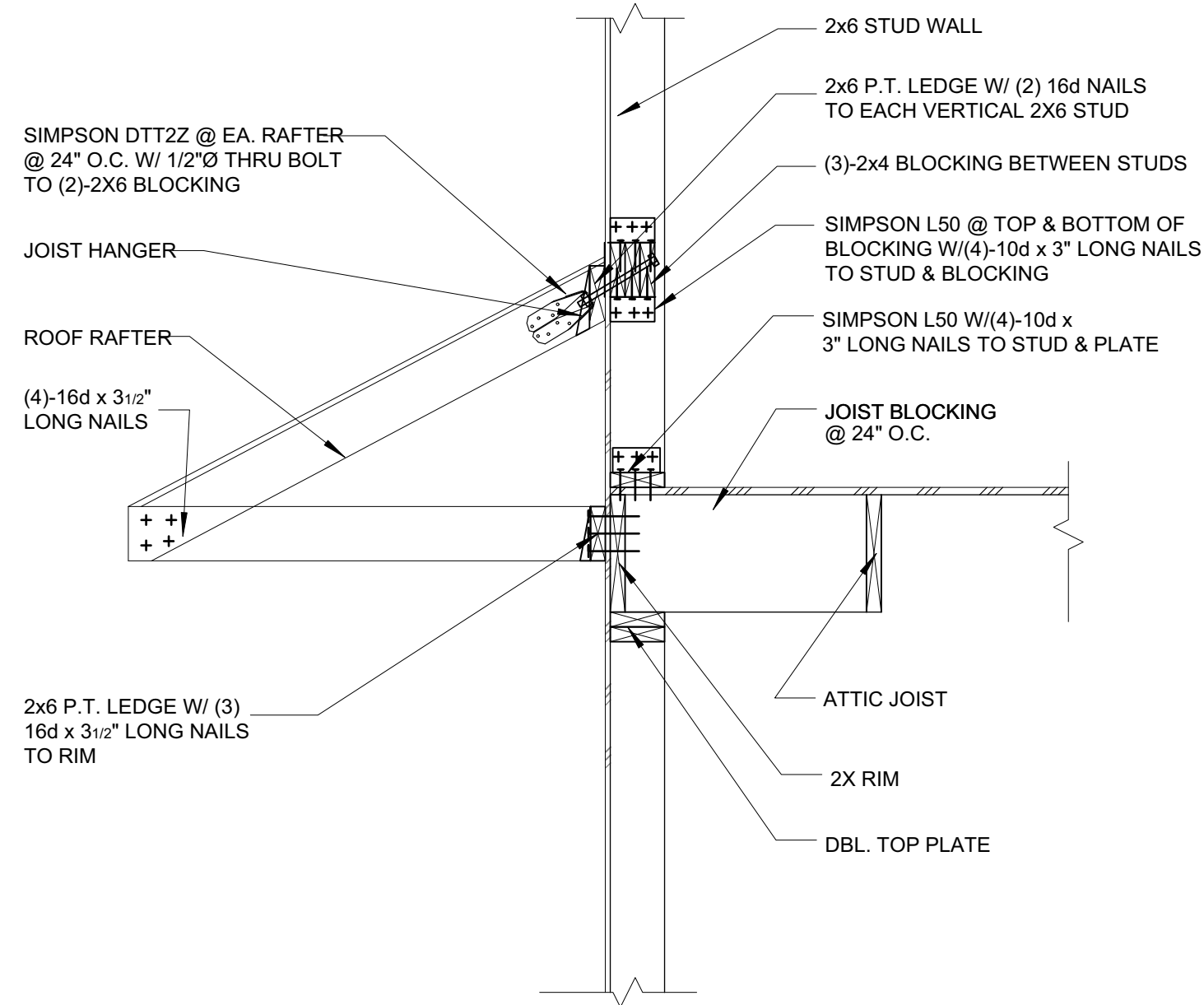
SECTION 3
NOT TO SCALE S004



SECTION 4
NOT TO SCALE S002



SECTION 5
NOT TO SCALE S004



SECTION 6
NOT TO SCALE S004

BRACED WALL PANEL NOTES:

- 1) THE EXTERIOR WALL SHALL BE BRACED WITH CONTINUOUS SHEATHING (CS) IN ACCORDANCE WITH R602.10.4 IRC2018 AS FOLLOWS:
2X4 MIN. SPF (STUD GRADE) SPACED @ 16" O.C. MAX.
EXTERIOR WALL SHEATHING - 7/16" OSB OR PLYWOOD
FASTENERS - 8d X 2" LONG NAILS @ 6" O.C. @ PANEL EDGES & 12" O.C. @ INTERMEDIATE SUPPORT
- 2) WOOD STRUCTURAL PANEL (WSP) SHALL BE CONSTRUCTED THE SAME AS CS ABOVE, AND ALL EDGES OF BRACED WALL PANELS (WSP OR CS-WSP) SHALL BE BLOCKED WITH 2X4 BLOCKING AND THE SAME EDGE NAILING AS ABOVE.
- 3) MINIMUM BRACED WALL PANEL LENGTH IS IN ACCORDANCE WITH TABLE R602.10.3
- 4) GYPSUM BOARD (GB) BRACED WALL SHALL BE FINISHED AS FOLLOWS:
INTERIOR WALL FINISH - 1/2" GYPSUM BOARD, UNBLOCKED
FASTENERS - 6d X 2" COMMON NAIL @ 7" O.C. @ EDGES & 8" IN FIELD OR NO. 6 1-1/4" SCREWS @ 4" O.C. @ EDGES & 8" IN FIELD
- 5) ABBREVIATIONS & LEGEND
CS CONTINUOUS SHEATHING
WSP WOOD STRUCTURAL PANEL
CS-PF CONTINUOUS SHEATH PORTAL FRAME
GB GYPSUM BOARD
SW SHEAR WALL



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Development:	DV	Management:	PM
Project No:	26-24-0208	Design:	ELW

Capron Residence
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10304 Montgomery Ave Kensington MD 20895

Structural Details

Drawing Log	1/08/2021 - Schemes 5/11/2021 - Contract 7/06/2021 - Permit
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Date:	7/7/2021	Scale:	NTS
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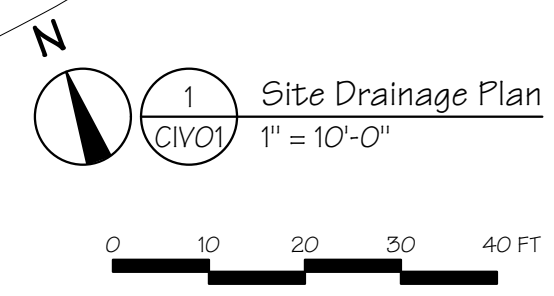
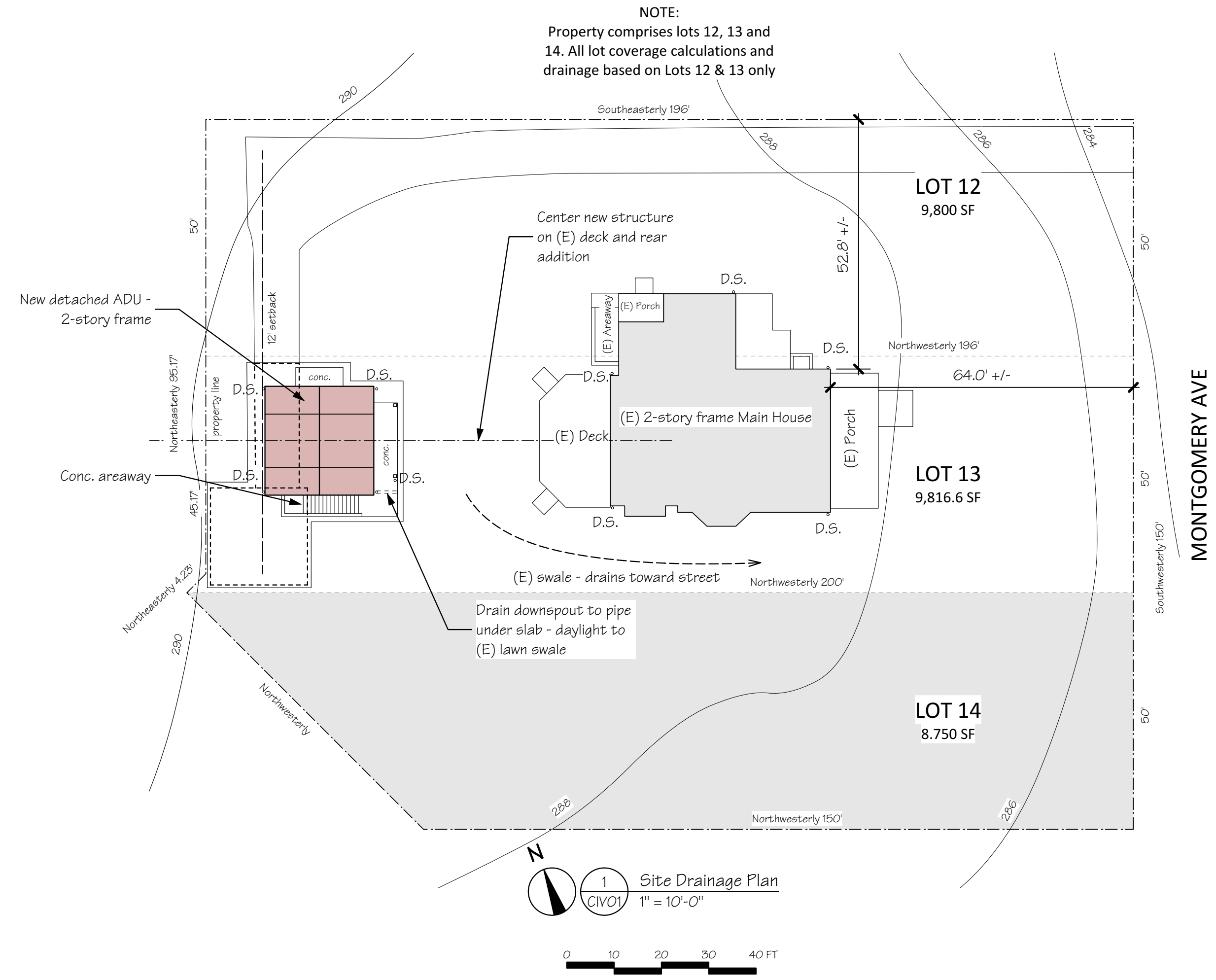
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Development:	DY	Management:	PM
Project No:	26-24-0208	Design:	ELW

Capron Residence
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 10304 Montgomery Ave Kensington MD 20895
 Site Drainage Plan

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5/11/2021 - Contract
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Date:	7/6/2021	Scale:	Noted
Sheet:	CIV01	Of:	1CIV