



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert K. Sutton
Chairman

Date: May 27, 2021

MEMORANDUM

TO: Mitra Pedoeem
Department of Permitting Services

FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit # 951380 - Dormer Addition, Rear Addition, and Other Alterations

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** by the Historic Preservation Commission at the May 26, 2021 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: William Curtain
Address: 3 Primrose St., Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



GENERAL NOTES

- All Work shall be performed in accordance with the IRC 2012, and all other applicable codes, regulations and ordinances as adopted and/or modified by the District of Columbia DCMR 2013.
- All Electrical work to be performed in accordance with the National Electrical Code and the District of Columbia code.
- Dimensions and Notes for a given condition are typical for all similar conditions unless otherwise stated.
- Drawings at a larger scale shall take precedence over drawings of a smaller scale. Notify Architect immediately if a discrepancy should be found.
- Existing walls, columns, floor/ceiling assemblies, etc. are shown unrendered on the plans and sections. Elevations show existing elements - windows, doors, roofs, etc. as unrendered outline (new work is shown rendered).
- General Contractor to keep disturbances in existing house to a minimum.
- Protect existing planting during construction with erosion control type fence. Do not remove any trees or shrubs without prior approval of owner. Protect existing driveway from abuse, any damage should be repaired at the expense of the contractor. Provide conveniently located refuse barrels and maintain for workman use.
- General Contractor to inspect existing electrical service and notify Owner and Architect if upgrading is required by code or with the proposed addition/renovation.
- General Contractor to ensure flush transition from existing work to new work.
- All wall surfaces are to be made flush and smooth prior to painting or installation of wallcovering.
- Verify all measurements and dimensions prior to beginning and throughout progress of Work. Consult Architect for resolution of any discrepancy in measurements or dimensions.
- Prior to cutting or drilling affecting structural members not indicated, submit written notice to Architect specifying location and requesting consent to proceed with cutting or drilling. Contractor shall do cutting and drilling of existing construction required for installation of new work, including cutting of holes for new electrical work. Cover openings temporarily when not in use and patch as soon as work is installed. Refinish all affected areas to their original condition.
- Coordinate the unloading and safe storage of Owner delivered material on site (casework, equipment, etc.). Installation of Owner delivered material is to be included in the base bid (unless noted otherwise).

PROJECT TEAM

| | | | | |
|---------------------------|---|---|--|---|
| OWNER | William J. Curtin 3 Primrose St. Chevy Chase, MD 20815-4228 | ARCHITECT | Outerbridge Horsey Associates, PLLC 1228 1/2 31st Street, NW Washington, DC 20007 Contact: Outerbridge Horsey, AIA John Cazayoux | Tel 202.337.7334 oh@outerbridgehorsey.com john@outerbridgehorsey.com |
| GENERAL CONTRACTOR | Gruver Cooley Purcellville, Virginia 20134 Contact: Chip Gruver | Tel 703.669.5420 chip@gruvercooley.com | STRUCTURAL ENGINEER | Neubauer Consulting Engineers 4701 Sangamore Rd, # N290 Bethesda, Maryland 20816 Contact: Peter Neubauer |
| | | | | Tel 301.263.2727 peter@neubauerengineers.com |

3 PRIMROSE ST.

| | | | |
|--|---------------------------|-------------------------------|--|
| CHEVY CHASE, MD 20815 ZONING CRITERIA | | REQUIRED | PROVIDED |
| LOT DESCRIPTION: | Lot 31, Block 58 | MIN. LOT WIDTH: | 60 Ft. / 75 Ft. |
| ADDRESS: | 3 Primrose St | MIN. LOT AREA: | 6,000 Sf. / 9,375 Sf. |
| LOT AREA: | 9,375 sf | MAX. LOT COVERAGE: | 35% / 27% Existing, 27.5% Proposed |
| ZONING DISTRICT: | R-60 | MAX. HEIGHT: | 35 Ft. / 29'-5" Existing and Proposed |
| BUILDING TYPE: | Single Family Residential | FRONT YARD SETBACK: | 25 Ft. / 23.75 Ft. (Existing) |
| | | SIDE YARD SETBACK: | 8 Ft. / 11.5 Ft. East (Existing) 19.1 Ft. West (Existing) |
| | | SUM OF SIDE SETBACKS: | 18 Ft. / 25.6 Ft. (Existing) |
| | | REAR YARD SETBACK: | 20 Ft. / 25.25 Ft. Approx. (Existing) |
| | | PERVIOUS SURFACES MIN: | 20% / 58% Existing and Proposed |

SPECIAL NOTE

Existing conditions shown or implied are based on best available but limited information. If conditions are encountered that differ from those shown, noted or implied, all work in that specific area is to stop and the Architect is to be notified. No work is to continue in such areas without the permission of the Architect.

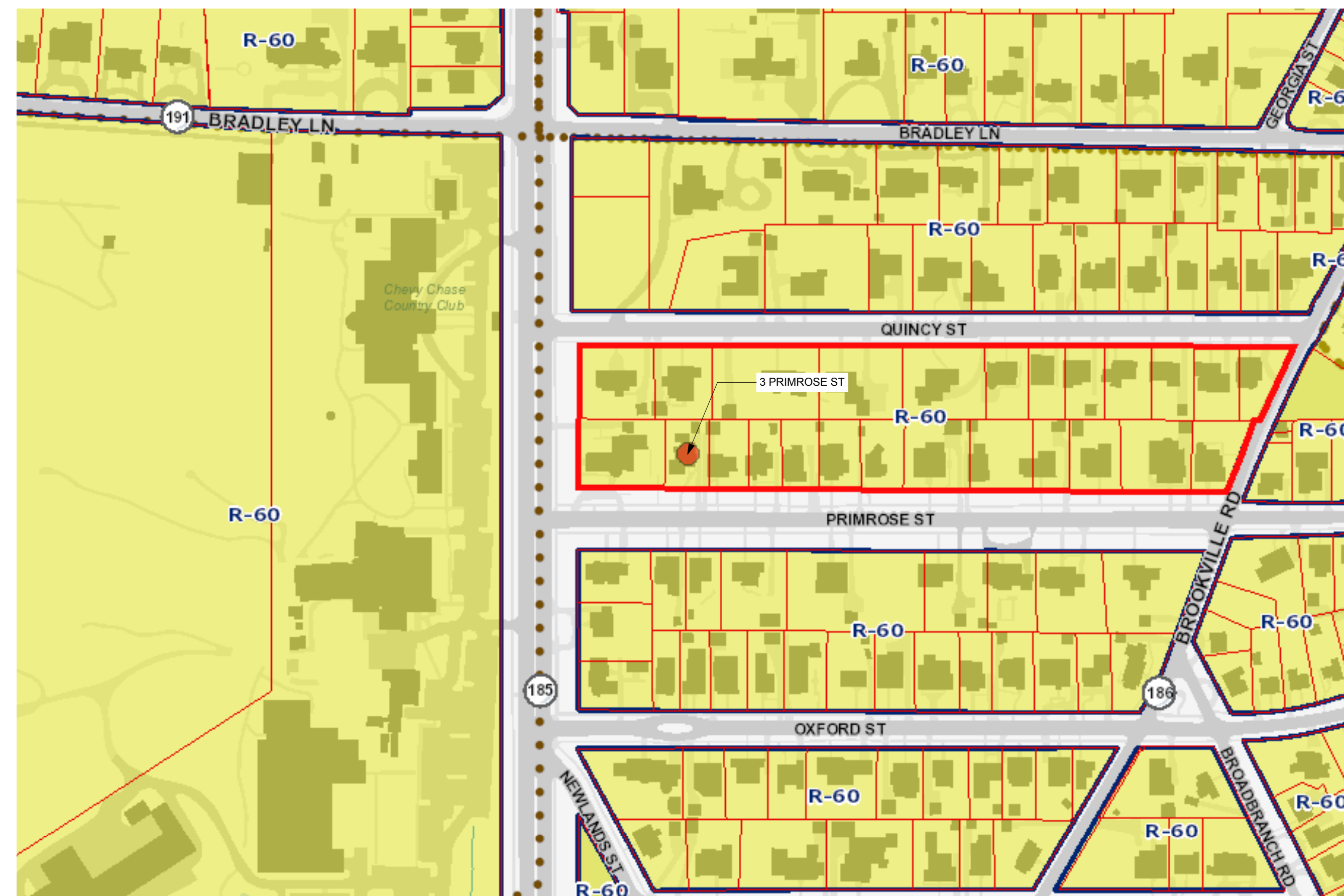
Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify, and be responsible for all dimensions and conditions on the job and the Architect must be notified of any variation from the dimensions and conditions shown by these drawings.

The above drawings and specifications and the ideas, designs and arrangements represented thereby are, and shall remain the property of the architect. No part thereof shall be copied, disclosed to others, or used in connection with any other work or project by any other person for any purpose other than for the specific project for which they have been prepared and developed without the written consent of the architect. Visual contact with these drawings shall constitute conclusive evidence of acceptance of these restrictions.

The professional seal is for certification of new work only and is not intended for general certification of preexisting conditions.

DEMOLITION NOTES

- Coordinate removal of personal belongings or furnishings from affected areas with owner.
- Protect all interior walls, doors, trim, ceilings, and floors from unnecessary damage during demolition.
- Phase all work to achieve minimum disturbance in work areas. Protect unaffected areas from dust, dirt and noise.
- Salvage equipment, fixtures, counters, cabinets and doors as required by the contract drawings. Reuse as directed on drawings.
- All doors and windows to be salvaged for course of job. Those not reused should be removed by G.C. at end of job as directed by Owner. See door and window schedules for those salvaged and relocated.
- Remove all miscellaneous protrusions in walls, floors, ceilings, windows and doors including, but not limited to nails, hooks, wires, door bells, etc. on first floor.
- The Contractor shall arrange for the proper discontinuance and/or relocation of all public utilities when required, including sewers, water, gas, electric, television, and telephone lines.
- Existing plumbing hook-ups to be shut off immediately prior to demolition work at each location.
- Cap off all abandoned waste and supply lines below floor level, patch where necessary.
- Brace structure as necessary during demolition to prevent structural damage and excessive movement. Protect the existing exterior walls, roof(s), and trim from damage during demolition.
- Prior to cutting or drilling affecting structural members not indicated, submit written notice to Architect specifying location and requesting consent to proceed with cutting or drilling. Contractor shall do no cutting and drilling of existing construction required for installation of new work, including cutting of holes for new electrical work. Cover openings temporarily when not in use and patch as soon as work is installed. Refinish all affected areas to their original condition.
- Contractor shall receive title to materials to be demolished, title shall vest to Contractor upon execution of the Contract. Owner will not be responsible for the condition, loss or damage to material after execution of Contract.
- Debris shall not accumulate on site. Sale or burning of material on site is prohibited. Site and adjacent areas shall be kept clean and free from mud, dirt, and debris at all times.
- Verify all measurements and dimensions prior to beginning and throughout progress of Work. Consult Architect for resolution of any discrepancy in measurements or dimensions.



LIST OF DRAWINGS

| SHEET | TITLE |
|-------|---------------------------------------|
| G001 | COVER SHEET |
| Z100 | ZONING/ SOIL AND EROSION PLAN |
| D100 | EXISTING CONDITIONS PLANS |
| D200 | EXISTING SOUTH AND WEST ELEVATIONS |
| D201 | EXISTING NORTH AND EAST ELEVATIONS |
| A100 | FIRST AND SECOND FLOOR PLANS |
| A101 | ROOF PLAN |
| A200 | SOUTH AND WEST ELEVATIONS |
| A201 | NORTH AND EAST ELEVATIONS |
| A300 | BUILDING SECTIONS |
| A400 | WALL SECTIONS |
| A503 | MUDROOM PLAN AND ELEVATIONS / DETAILS |
| S100 | STRUCTURAL PLANS |
| E100 | ELECTRICAL PLANS |

APPROVED
Montgomery County
Historic Preservation Commission

[Signature]

REVIEWED
By Dan.Bruechert at 2:34 pm, May 27, 2021

OUTERBRIDGE HORSEY ASSOCIATES, PLLC

1228 1/2 31st STREET, NW
WASHINGTON, DC 20007
TEL 202-337-7334
FAX 202-337-7331
www.outerbridgehorsey.com

COPYRIGHT 2021 OUTERBRIDGE HORSEY ASSOCIATES, PLLC

CONSULTANTS:

3 PRIMROSE ST.
CHEVY CHASE, MD 20815

DRAWING TITLE:

COVER

SCALE: AS NOTED

| ISSUE | DATE |
|-------|------|
| | |
| | |
| | |
| | |

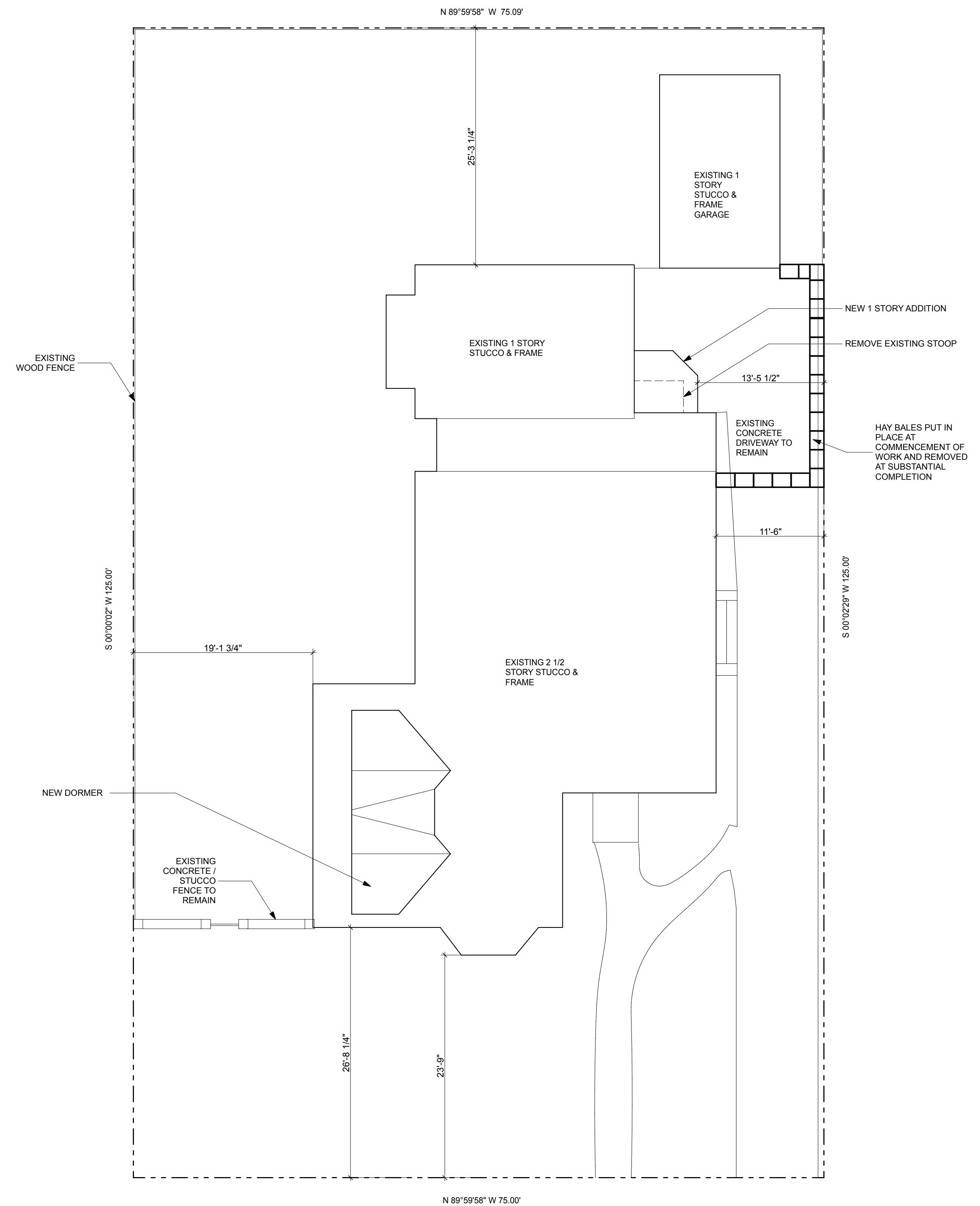
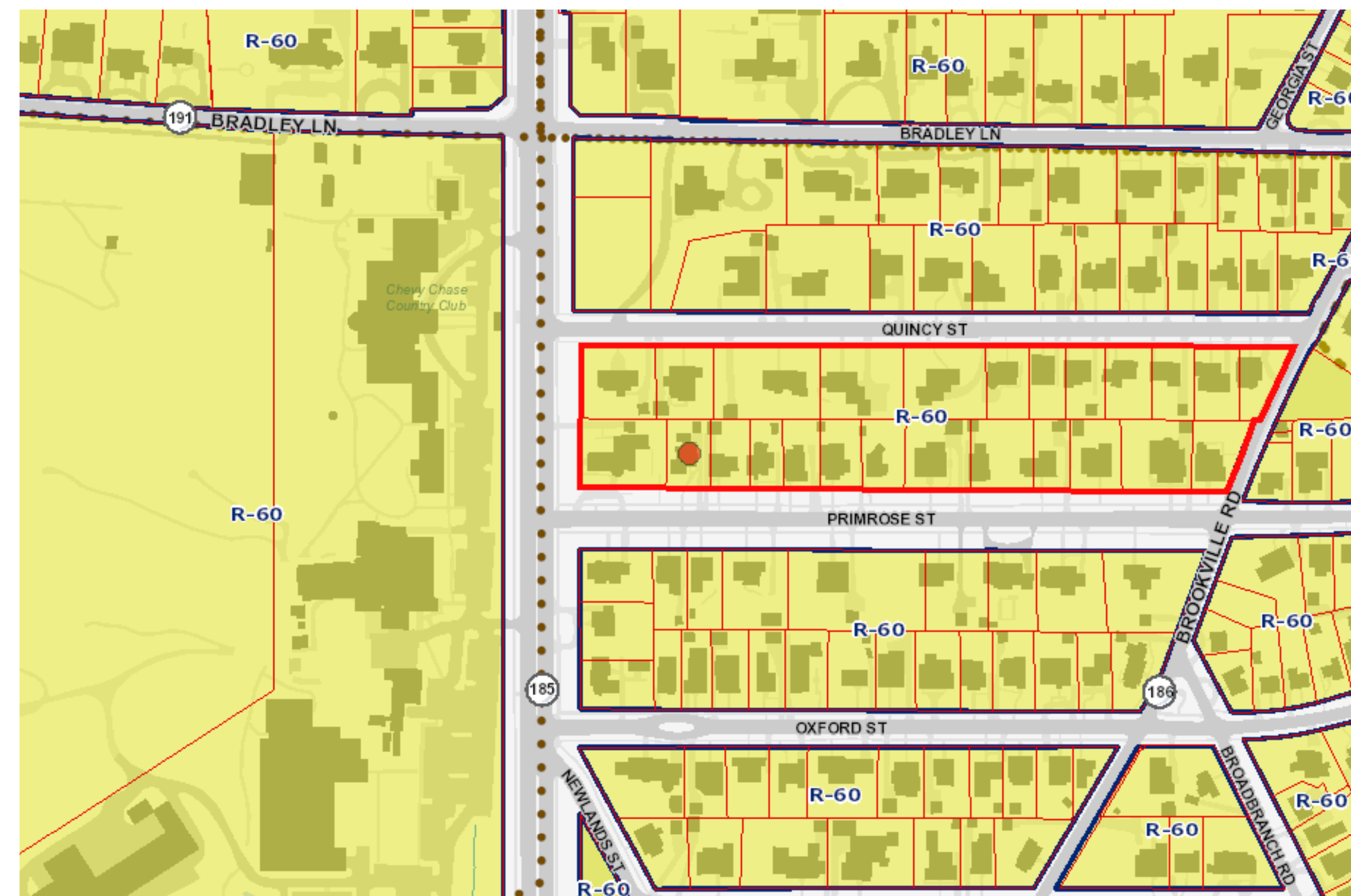
PRINT DATE **5/3/21**

SHEET NO.

G001

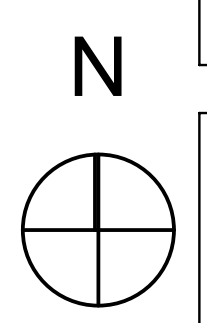
LOT DESCRIPTION: Lot 31, Block 58
 ADDRESS: 3 Primrose St
 LOT AREA: 9,375 sf
 ZONING DISTRICT: R-60
 BUILDING TYPE: Single Family Residential

| ZONING CRITERIA | REQUIRED | PROVIDED |
|------------------------|-----------|--|
| MIN. LOT WIDTH: | 60 Ft. | 75 Ft. |
| MIN. LOT AREA: | 6,000 Sf. | 9,375 Sf. |
| MAX. LOT COVERAGE: | 35% | 27% Existing, 27.5% Proposed |
| MAX. HEIGHT: | 35 Ft. | 29'-5" Existing and Proposed |
| FRONT YARD SETBACK: | 25 Ft. | 23.75 Ft.(Existing) |
| SIDE YARD SETBACK: | 8 Ft. | 11.5 Ft. East (Existing) 19.1 Ft. West (Existing) |
| SUM OF SIDE SETBACKS: | 18 Ft. | 25.6 Ft. (Existing) |
| REAR YARD SETBACK: | 20 Ft. | 25.25 Ft. Approx. (Existing) |
| PERVIOUS SURFACES MIN: | 20% | 58% Existing and Proposed |



1 PROPOSED SITE PLAN
 SCALE: 1/8" = 1'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature]
REVIEWED
 By Dan.Bruechert at 2:34 pm, May 27, 2021



OUTERBRIDGE HORSEY ASSOCIATES, PLLC
 1228 1/2 31st STREET, NW
 WASHINGTON, DC 20007
 TEL 202-337-7334
 FAX 202-337-7331
 www.outerbridgehorsey.com
 COPYRIGHT 2021 OUTERBRIDGE HORSEY ASSOCIATES, PLLC

CONSULTANTS:

 Dan Bruechert
 ARCHITECT

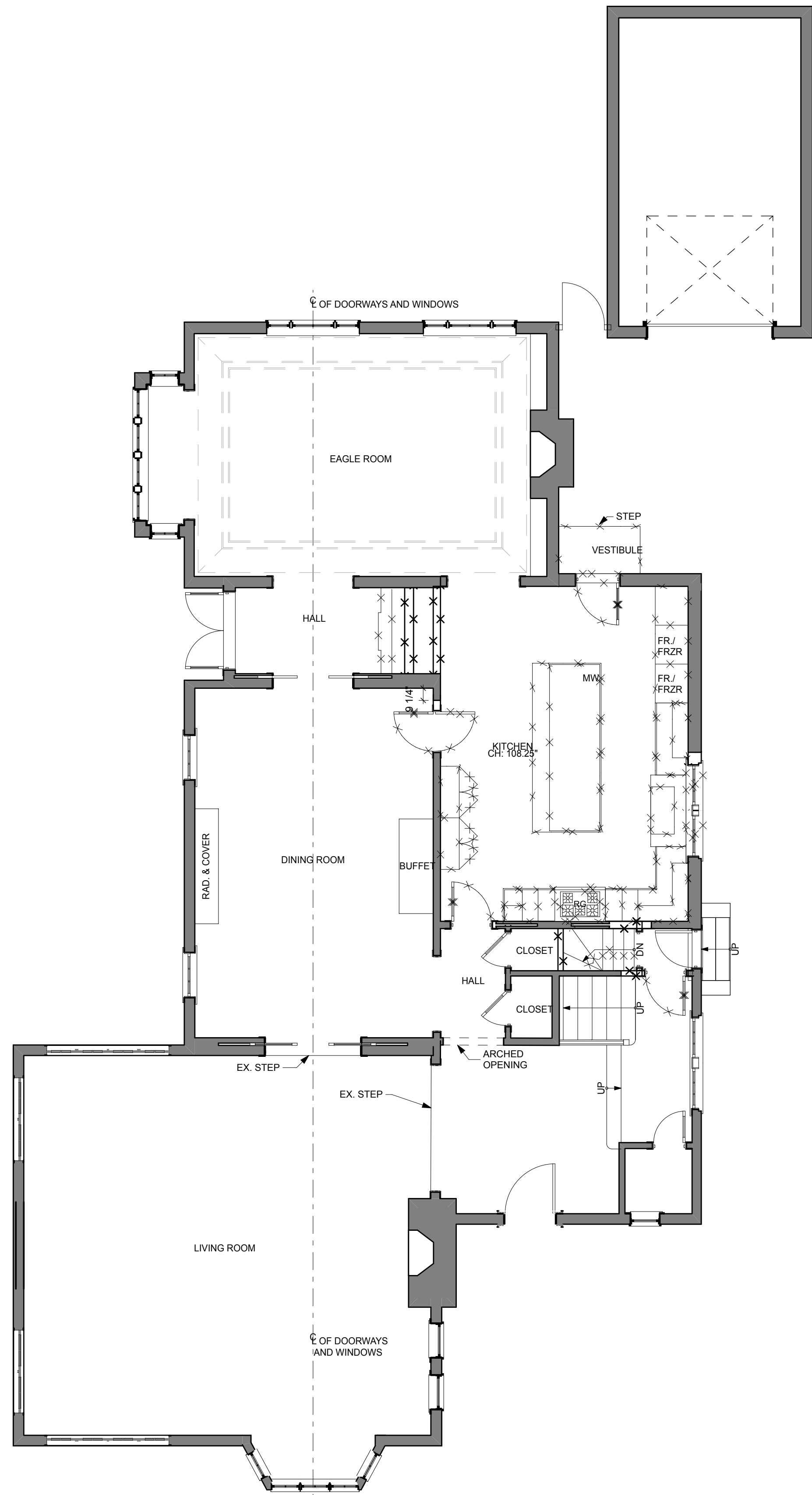
3 PRIMROSE ST.
 CHEVY CHASE, MD 20815

DRAWING TITLE:
ZONING/ SOIL AND EROSION PLAN
 SCALE: AS NOTED

| ISSUE | DATE |
|-------|------|
| | |
| | |
| | |
| | |
| | |

PRINT DATE 5/3/21

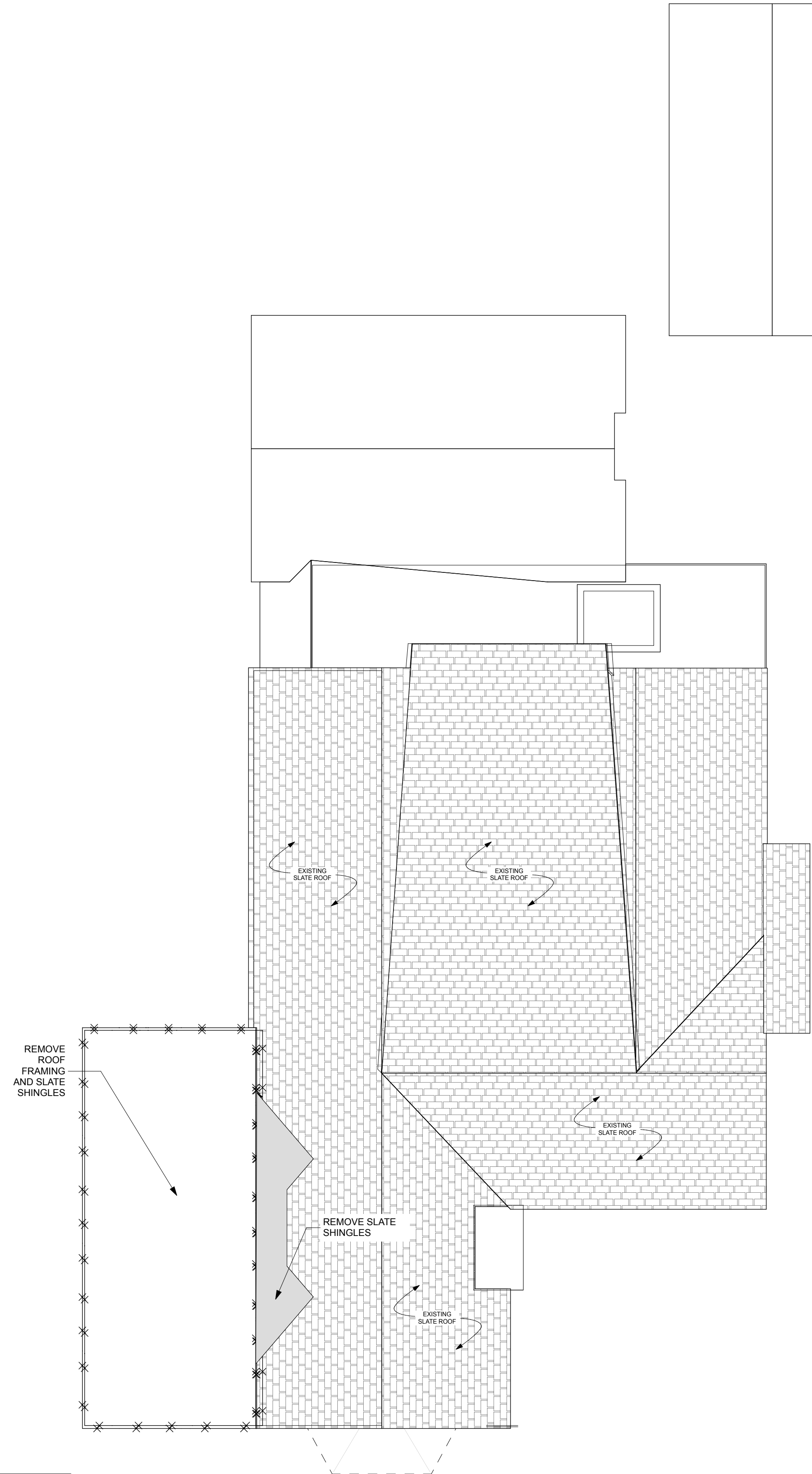
SHEET NO.
Z100



1 EXISTING FIRST FLOOR
SCALE: 3/16" = 1'-0"



2 EXISTING SECOND FLOOR
SCALE: 3/16" = 1'-0"

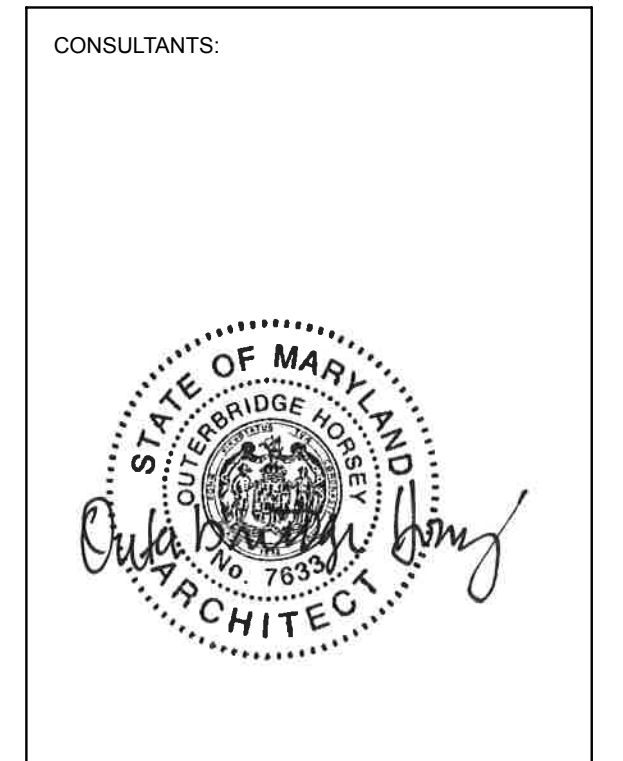


4 ROOF
SCALE: 3/16" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
Robert A. ...

REVIEWED
By Dan.Bruechert at 2:35 pm, May 27, 2021

OUTERBRIDGE HORSEY ASSOCIATES, PLLC
1228 1/2 31st STREET, NW
WASHINGTON, DC 20007
TEL 202-337-7334
FAX 202-337-7331
www.outerbridgehorsey.com
COPYRIGHT 2021 OUTERBRIDGE HORSEY ASSOCIATES, PLLC



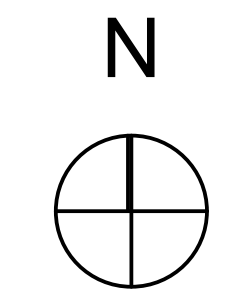
3 PRIMROSE ST.
CHEVY CHASE, MD 20815

DRAWING TITLE:
EXISTING PLANS
SCALE: AS NOTED

| ISSUE | DATE |
|-------|------|
| | |
| | |
| | |
| | |

PRINT DATE 5/3/21

SHEET NO.
D100





1 EXISTING SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission

REVIEWED
By Dan.Bruechert at 2:35 pm, May 27, 2021



2 EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"

**OUTERBRIDGE
HORSEY
ASSOCIATES, PLLC**
1228 1/2 31st STREET, NW
WASHINGTON, DC 20007
TEL 202-337-7334
FAX 202-337-7331
www.outerbridgehorsey.com
COPYRIGHT 2021 OUTERBRIDGE HORSEY
ASSOCIATES, PLLC

CONSULTANTS:



3 PRIMROSE ST.
CHEVY CHASE, MD 20815

DRAWING TITLE:

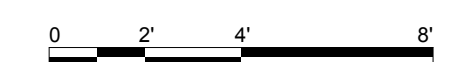
**EXISTING SOUTH
AND WEST
ELEVATIONS**

SCALE: AS NOTED

| ISSUE | DATE |
|-------|------|
| | |
| | |
| | |
| | |

PRINT DATE 5/3/21

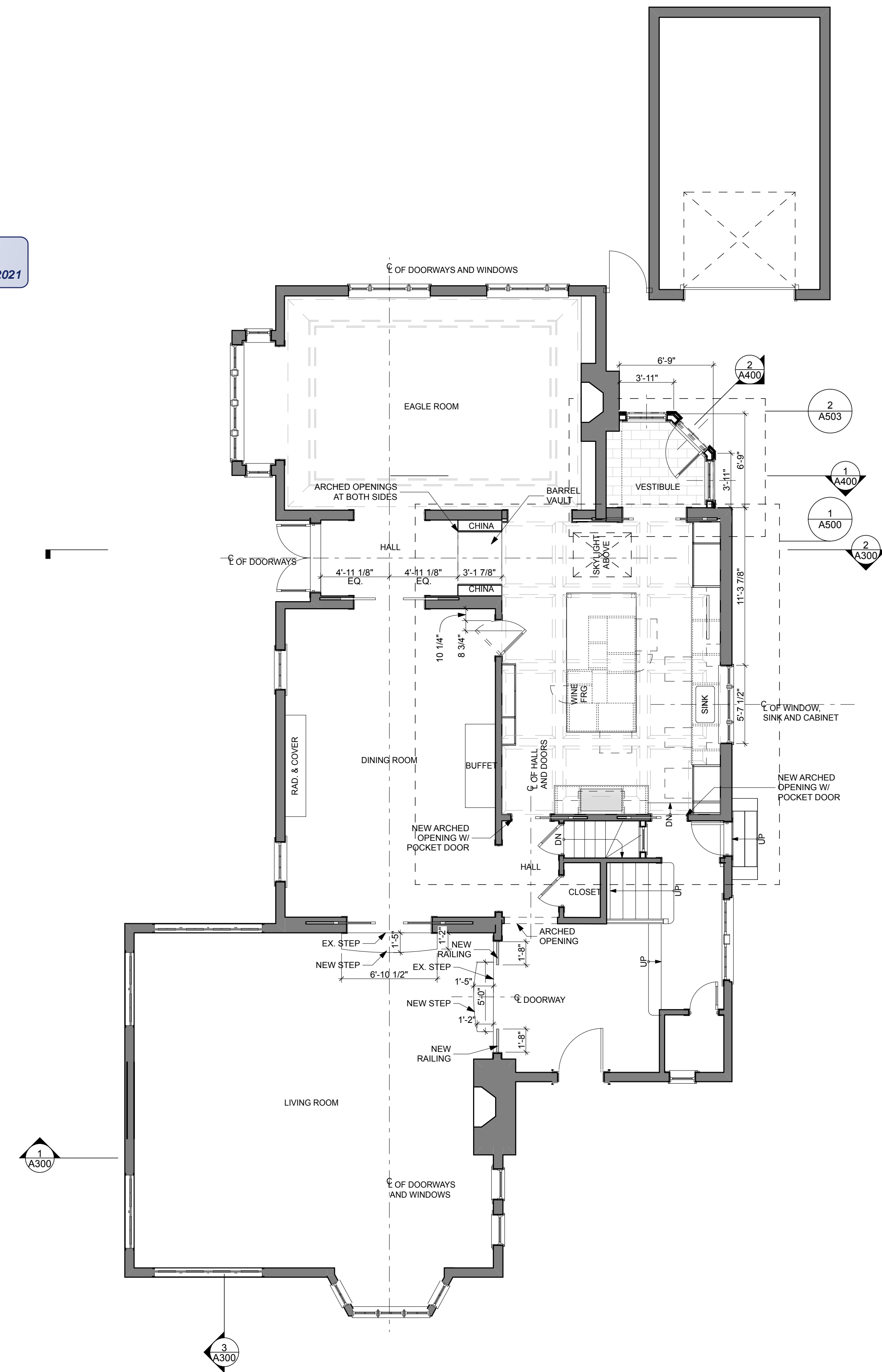
SHEET NO.
D200



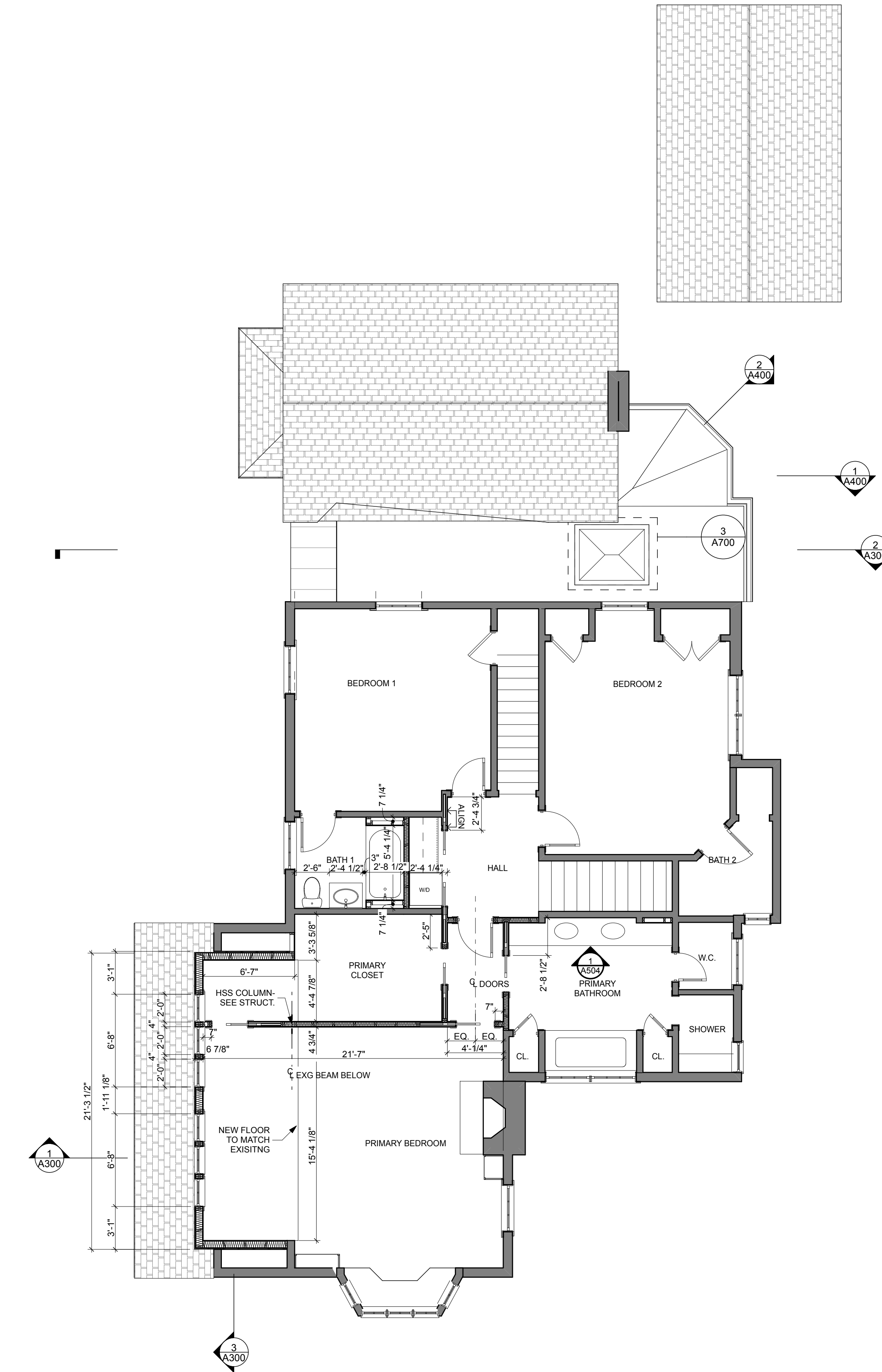
APPROVED
 Montgomery County
 Historic Preservation Commission



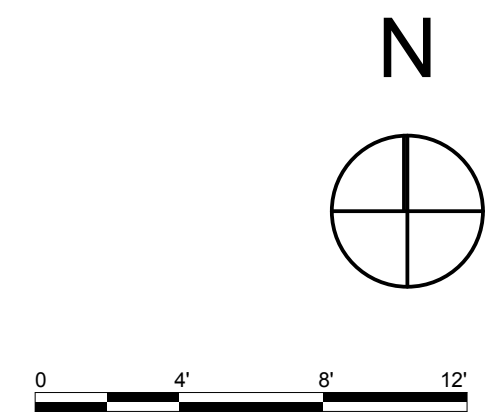
REVIEWED
 By Dan.Bruechert at 2:35 pm, May 27, 2021



1 FIRST FLOOR
 SCALE: 3/16" = 1'-0"

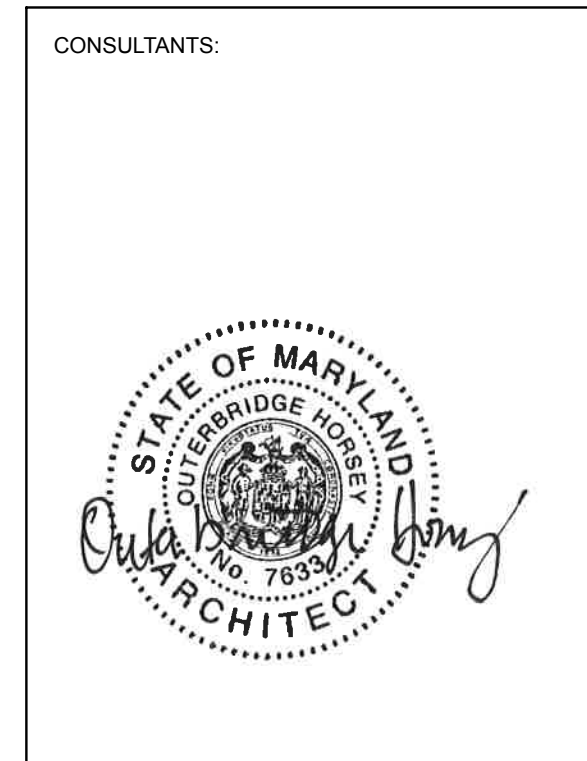


2 SECOND FLOOR
 SCALE: 3/16" = 1'-0"



OUTERBRIDGE
 HORSEY
 ASSOCIATES, PLLC

1228 1/2 31st STREET, NW
 WASHINGTON, DC 20007
 TEL 202-337-7334
 FAX 202-337-7331
 www.outerbridgehorsey.com
 COPYRIGHT 2021 OUTERBRIDGE HORSEY
 ASSOCIATES, PLLC



3 PRIMROSE ST.
 CHEVY CHASE, MD 20815

DRAWING TITLE:
**PROPOSED FLOOR
 PLANS**

SCALE: AS NOTED

| ISSUE | DATE |
|-------|------|
| | |
| | |
| | |
| | |

PRINT DATE 5/3/21

SHEET NO.
A100

**OUTERBRIDGE
HORSEY
ASSOCIATES, PLLC**
 1228 1/2 31st STREET, NW
 WASHINGTON, DC 20007
 TEL 202-337-7334
 FAX 202-337-7331
 www.outerbridgehorsey.com
 COPYRIGHT 2021 OUTERBRIDGE HORSEY
 ASSOCIATES, PLLC



3 PRIMROSE ST.
 CHEVY CHASE, MD 20815

DRAWING TITLE:
PROPOSED ROOF PLAN
 SCALE: AS NOTED

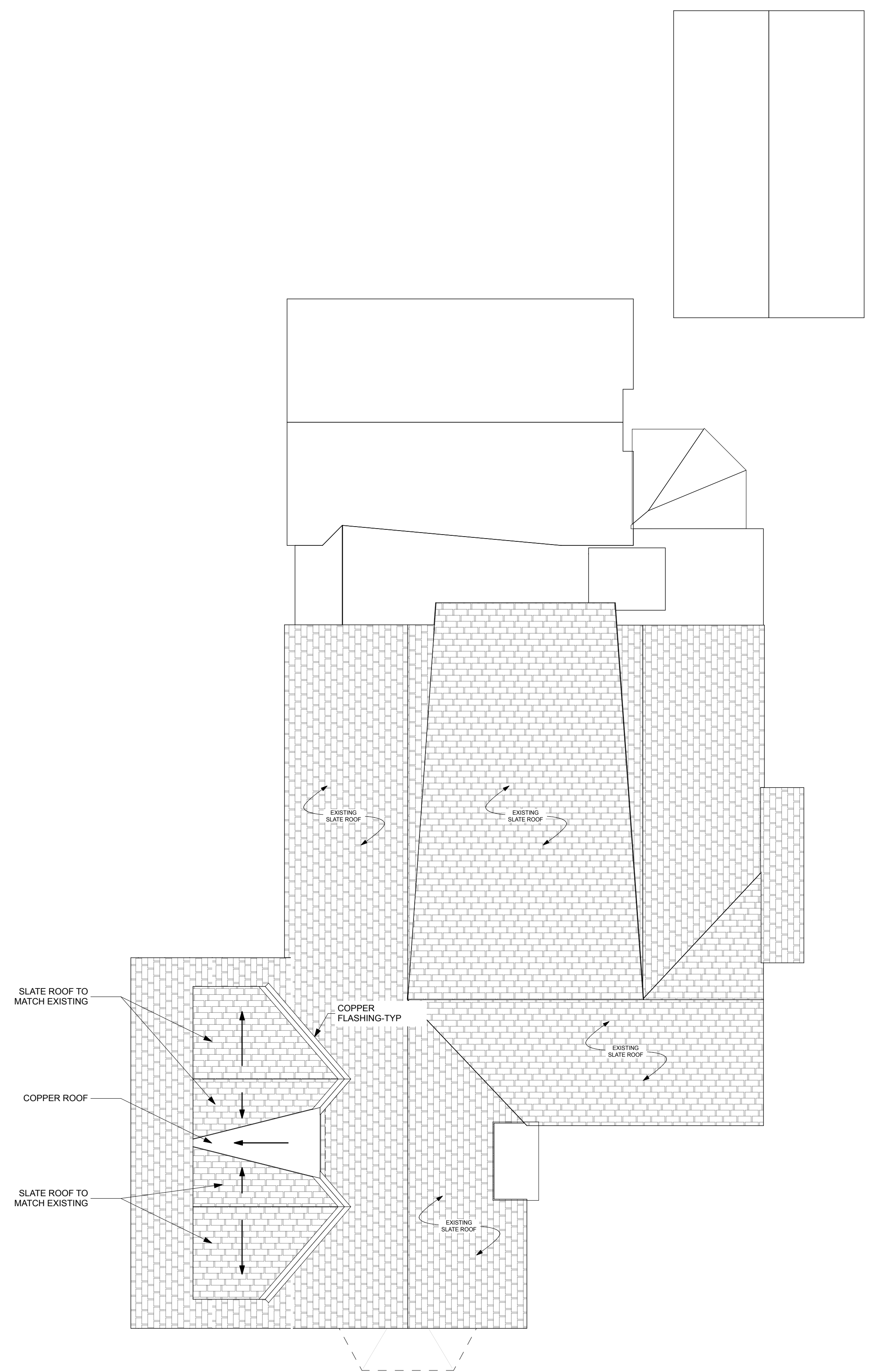
APPROVED
 Montgomery County
 Historic Preservation Commission

REVIEWED
 By Dan.Bruechert at 2:35 pm, May 27, 2021

| ISSUE | DATE |
|-------|------|
| | |
| | |
| | |
| | |
| | |

PRINT DATE 5/3/21

SHEET NO.
A101

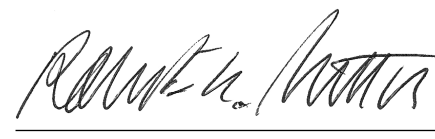


1 ROOF
 SCALE: 3/16" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission



REVIEWED
By Dan.Bruechert at 2:35 pm, May 27, 2021



3 WEST ELEVATION
SCALE: 1/4" = 1'-0"

**OUTERBRIDGE
HORSEY
ASSOCIATES, PLLC**
1228 1/2 31st STREET, NW
WASHINGTON, DC 20007
TEL 202-337-7334
FAX 202-337-7331
www.outerbridgehorsey.com
COPYRIGHT 2021 OUTERBRIDGE HORSEY
ASSOCIATES, PLLC

CONSULTANTS:



3 PRIMROSE ST.
CHEVY CHASE, MD 20815

DRAWING TITLE:

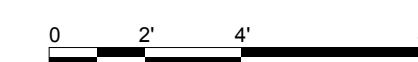
**SOUTH AND WEST
ELEVATIONS**

SCALE: AS NOTED

| ISSUE | DATE |
|-------|------|
| | |
| | |
| | |
| | |

PRINT DATE 5/3/21

SHEET NO.
A200





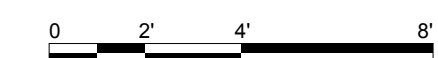
2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]

REVIEWED
By Dan.Bruechert at 2:35 pm, May 27, 2021



3 EAST ELEVATION
SCALE: 1/4" = 1'-0"



**OUTERBRIDGE
HORSEY
ASSOCIATES, PLLC**
1228 1/2 31st STREET, NW
WASHINGTON, DC 20007
TEL 202-337-7334
FAX 202-337-7331
www.outerbridgehorsey.com
COPYRIGHT 2021 OUTERBRIDGE HORSEY
ASSOCIATES, PLLC

CONSULTANTS:



3 PRIMROSE ST.
CHEVY CHASE, MD 20815

DRAWING TITLE:

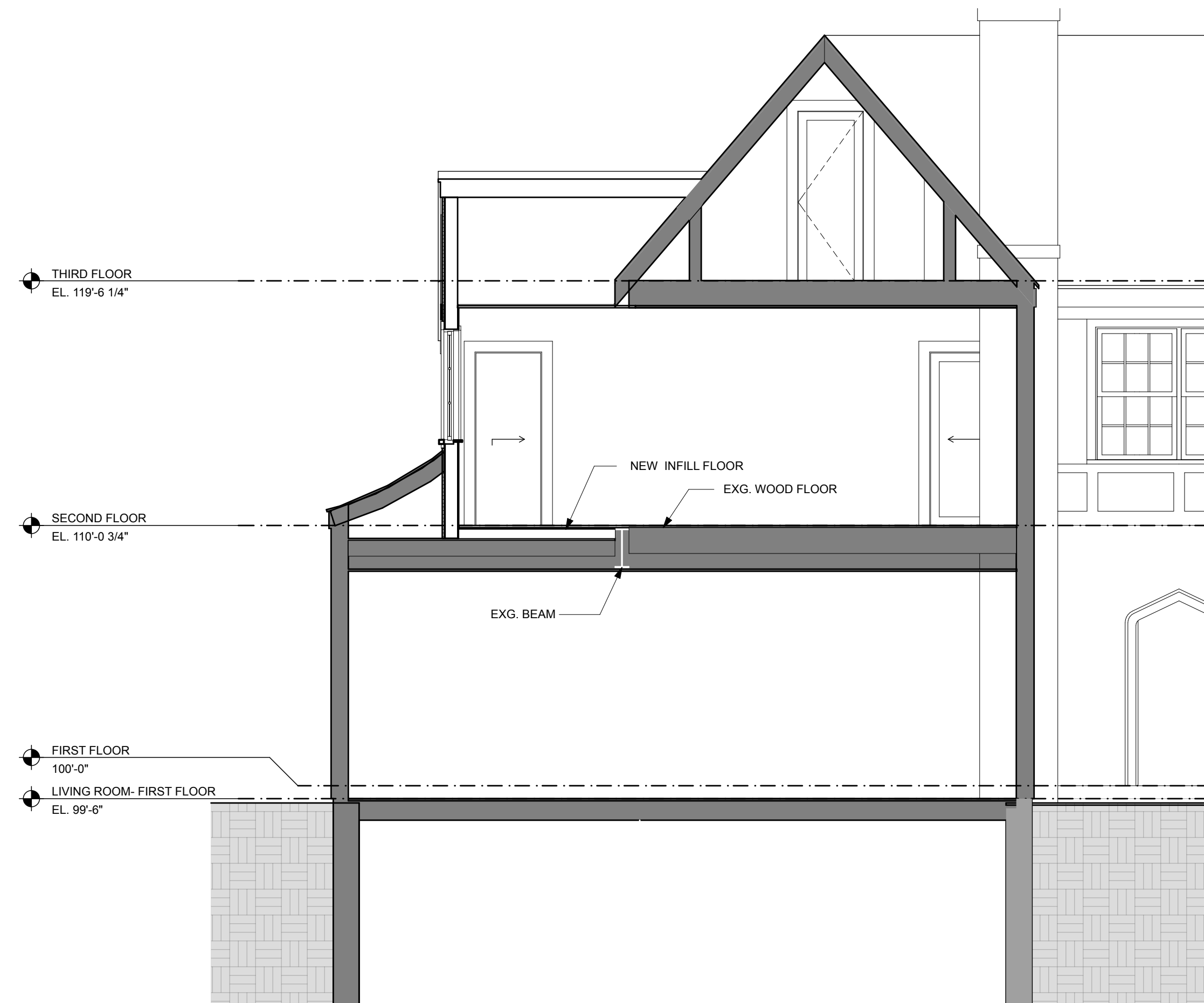
**NORTH AND EAST
ELEVATIONS**

SCALE: AS NOTED

| ISSUE | DATE |
|-------|------|
| | |
| | |
| | |
| | |

PRINT DATE 5/3/21

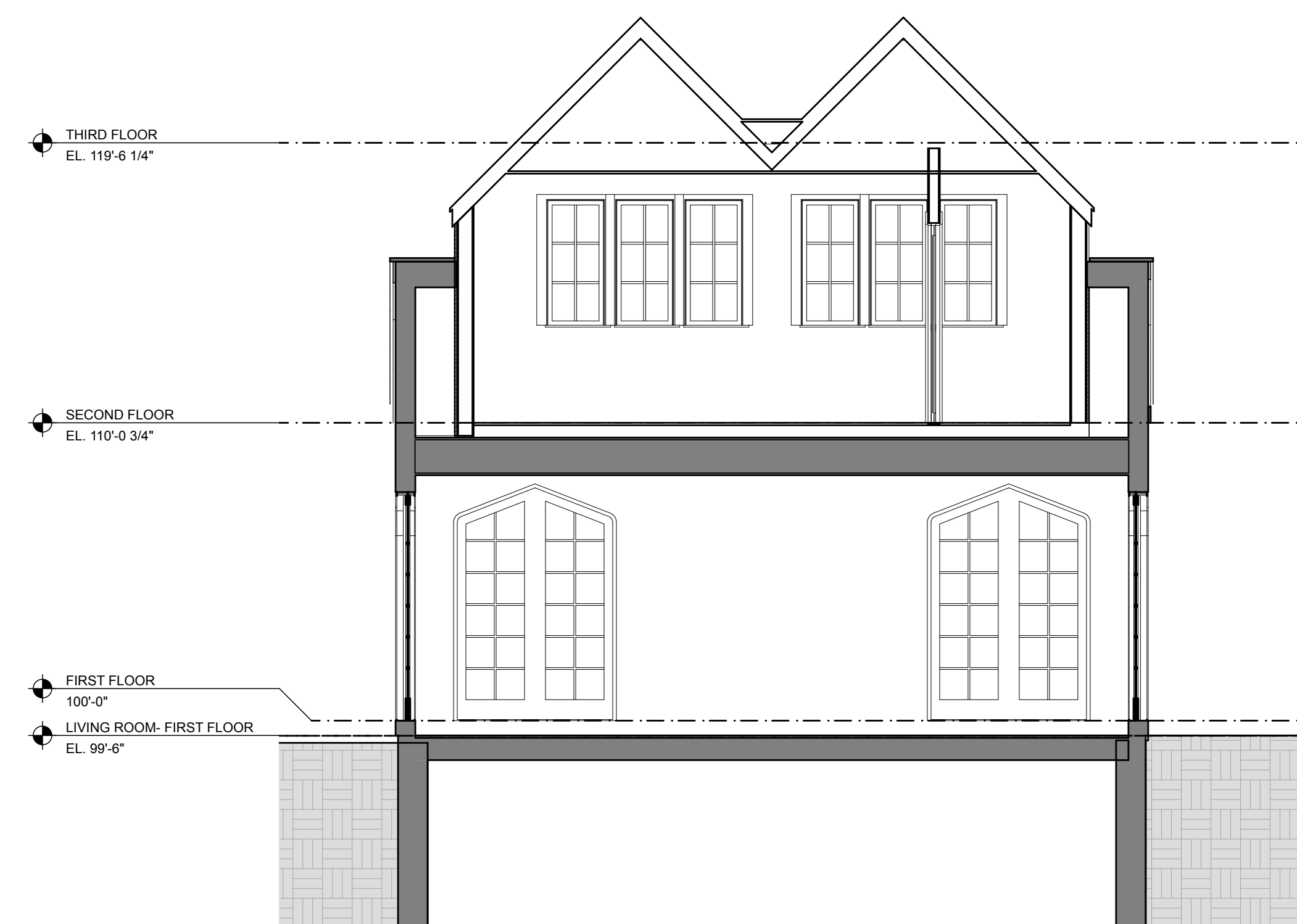
SHEET NO.
A201



1 SECTION THROUGH NEW DORMER
SCALE: 1/4" = 1'-0"



2 SECTION THROUGH KITCHEN SKYLIGHT
SCALE: 1/4" = 1'-0"



3 CROSS SECTION THROUGH DORMER
SCALE: 1/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]

REVIEWED
By Dan.Bruechert at 2:35 pm, May 27, 2021

**OUTERBRIDGE
HORSEY
ASSOCIATES, PLLC**
1228 1/2 31st STREET, NW
WASHINGTON, DC 20007
TEL 202-337-7334
FAX 202-337-7331
www.outerbridgehorsey.com
COPYRIGHT 2021 OUTERBRIDGE HORSEY
ASSOCIATES, PLLC

CONSULTANTS:



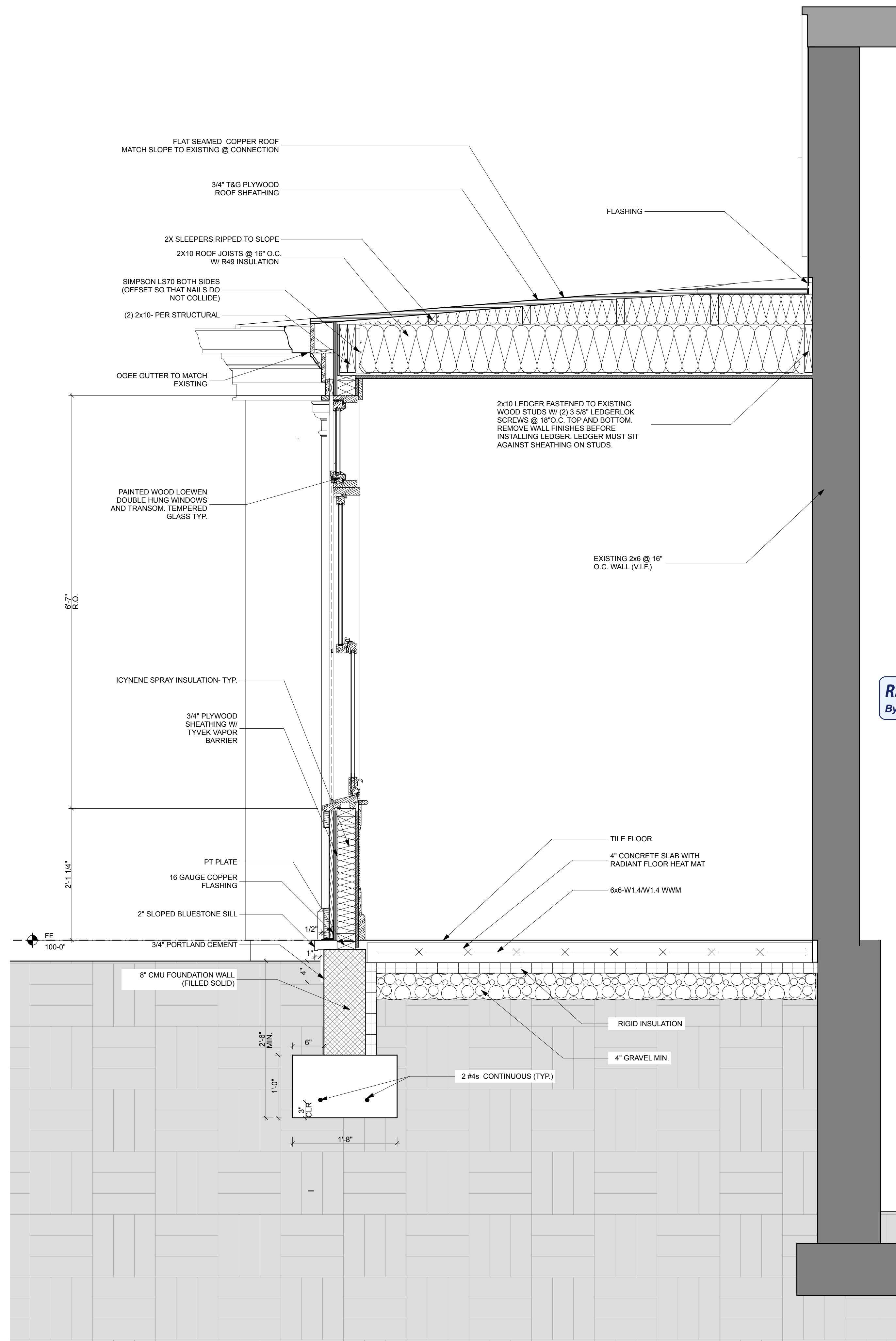
3 PRIMROSE ST.
CHEVY CHASE, MD 20815

DRAWING TITLE:
**SECTIONS AND
DETAILS**
SCALE: AS NOTED

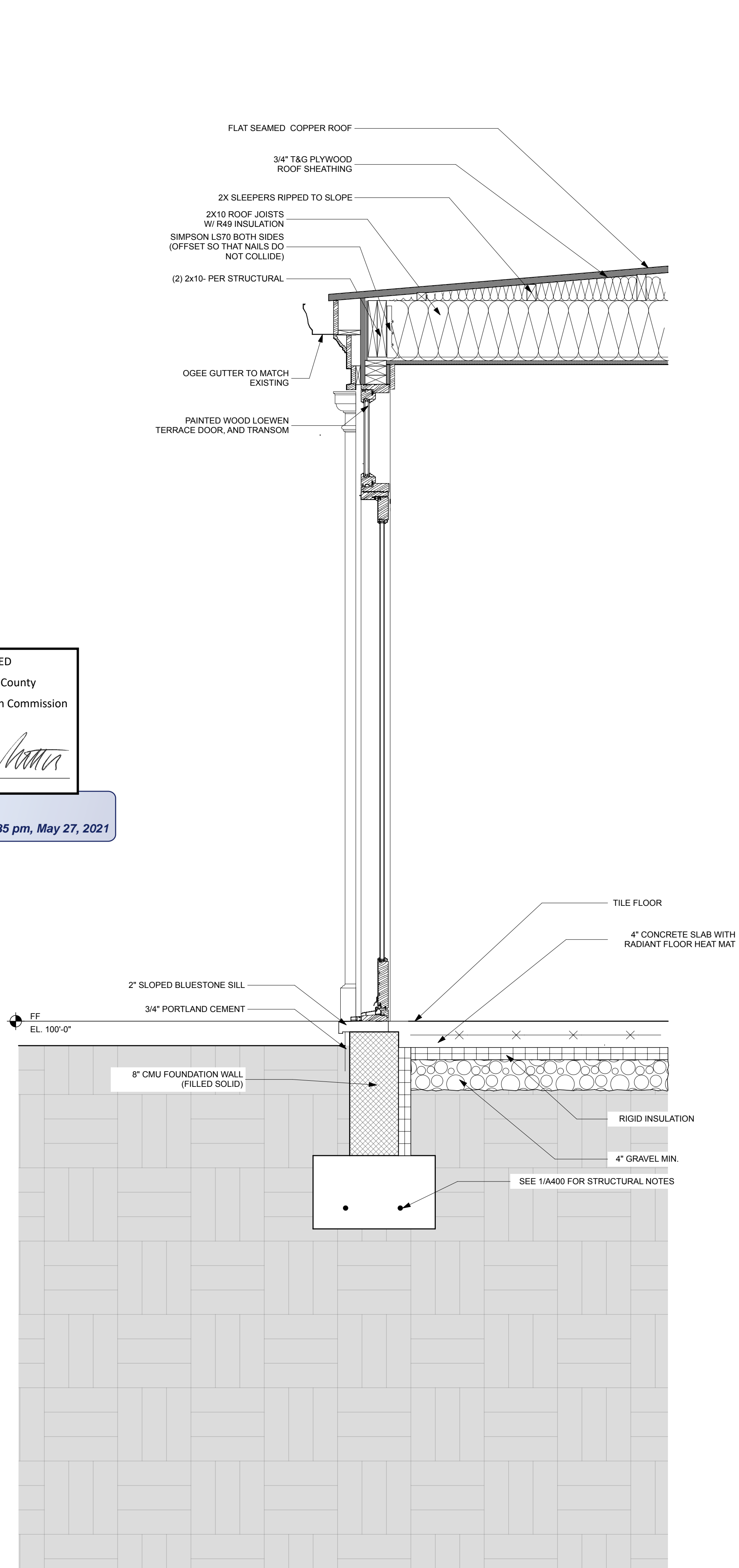
| ISSUE | DATE |
|-------|------|
| | |
| | |
| | |
| | |

PRINT DATE 5/3/21

SHEET NO.
A300



1 WALL SECTION THROUGH MUDROOM
SCALE: 1" = 1'-0"



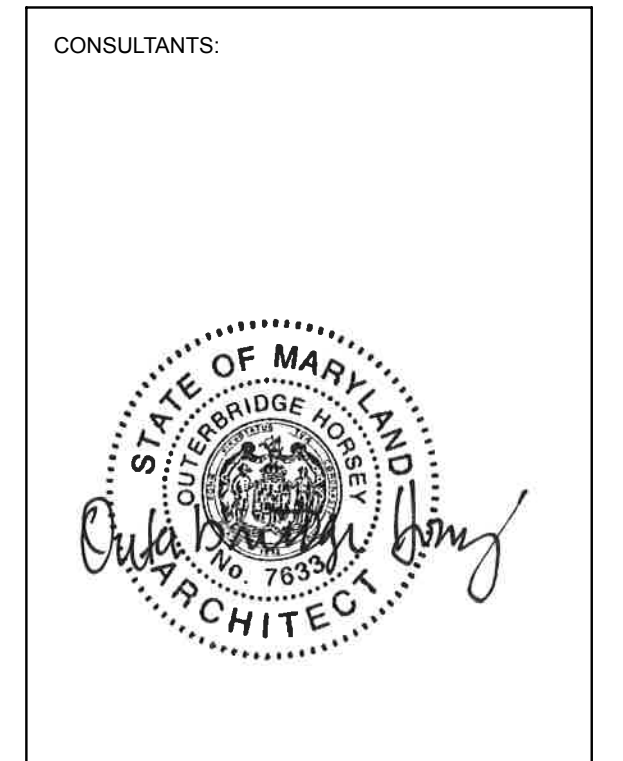
2 WALL SECTION THROUGH MUDROOM DOOR
SCALE: 1" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission

Dan Bruechert

REVIEWED
By Dan.Bruechert at 2:35 pm, May 27, 2021

OUTERBRIDGE HORSEY ASSOCIATES, PLLC
1228 1/2 31st STREET, NW
WASHINGTON, DC 20007
TEL 202-337-7334
FAX 202-337-7331
www.outerbridgehorsey.com
COPYRIGHT 2021 OUTERBRIDGE HORSEY ASSOCIATES, PLLC



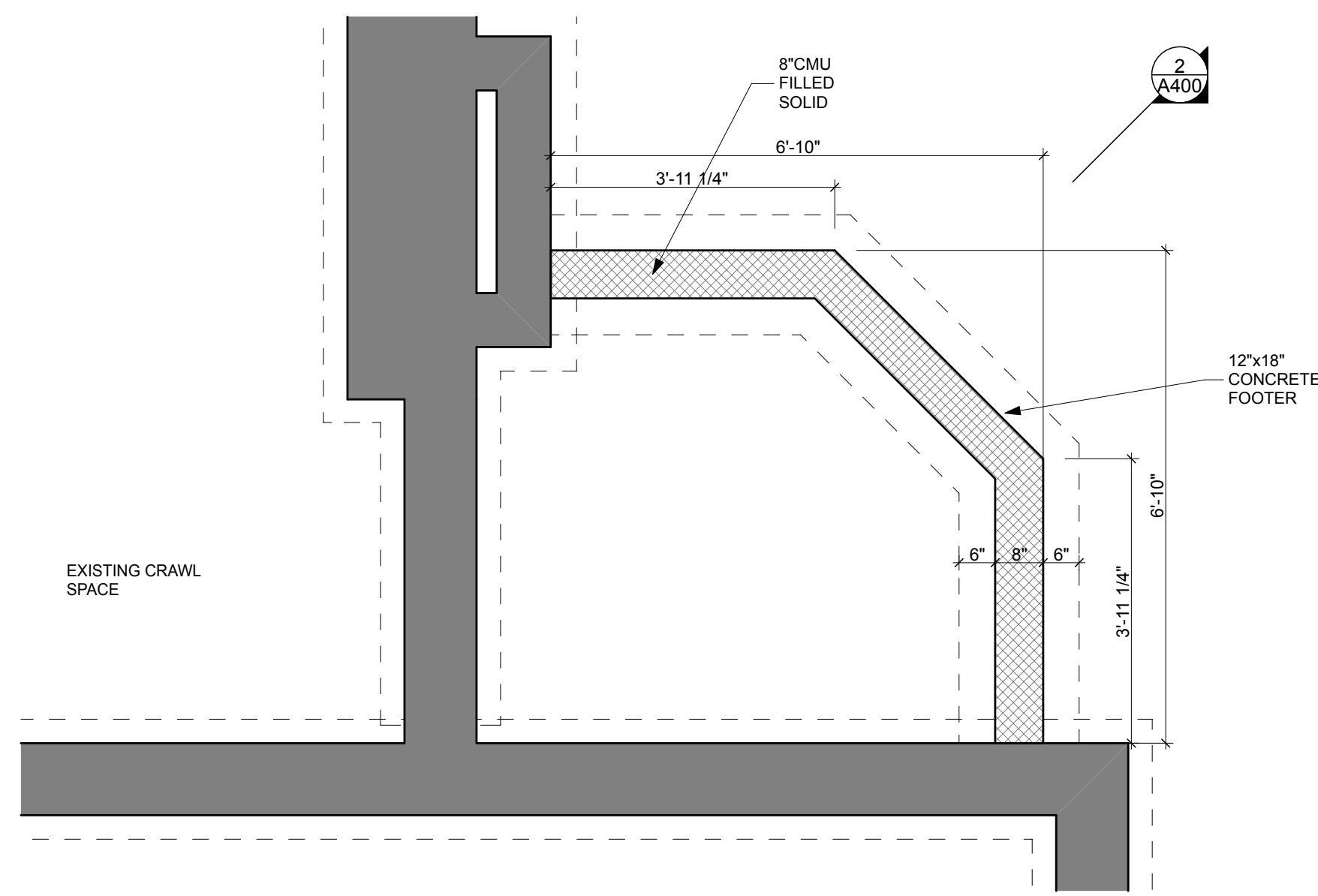
3 PRIMROSE ST.
CHEVY CHASE, MD 20815

DRAWING TITLE:
WALL SECTIONS
SCALE: AS NOTED

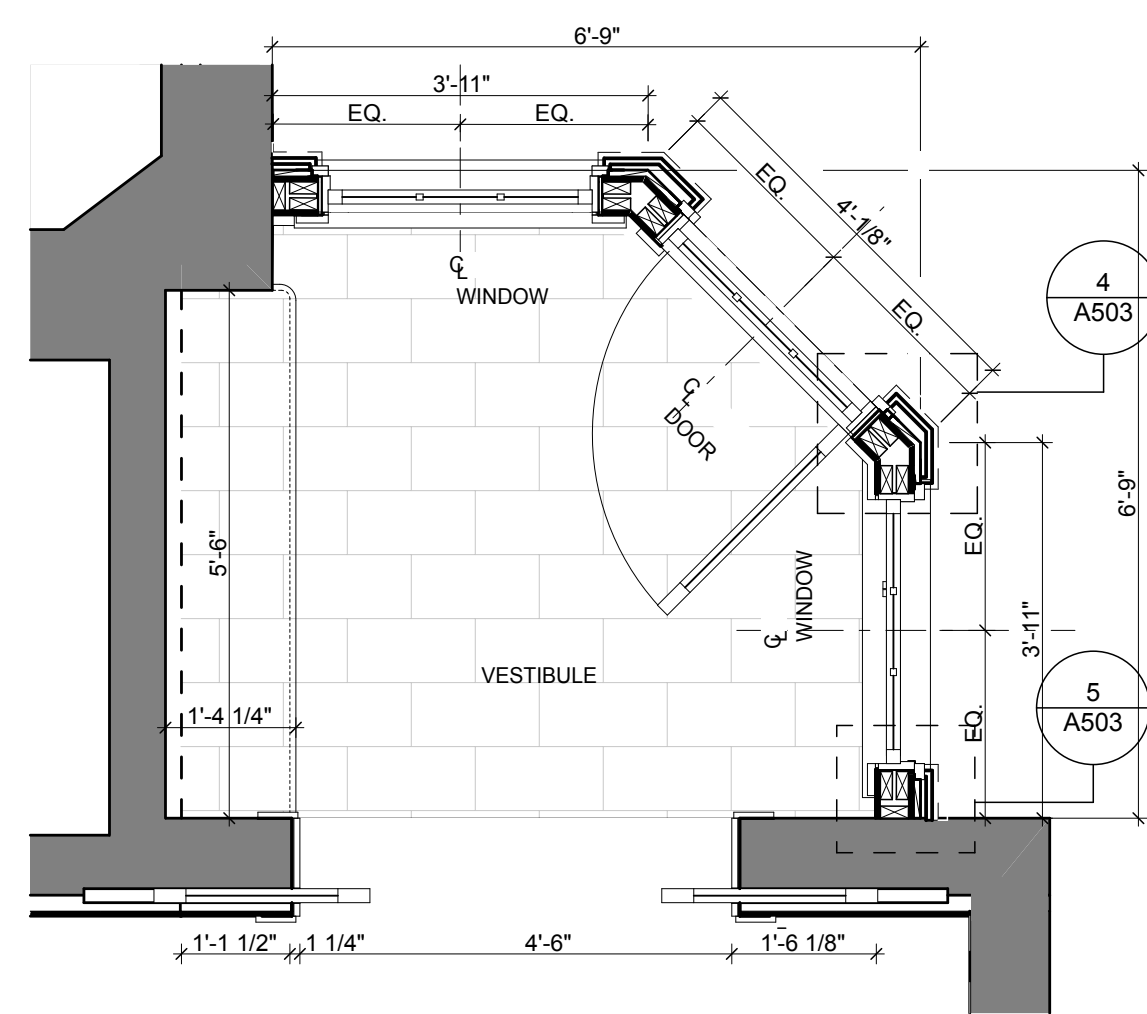
| ISSUE | DATE |
|-------|------|
| | |
| | |
| | |
| | |

PRINT DATE 5/3/21

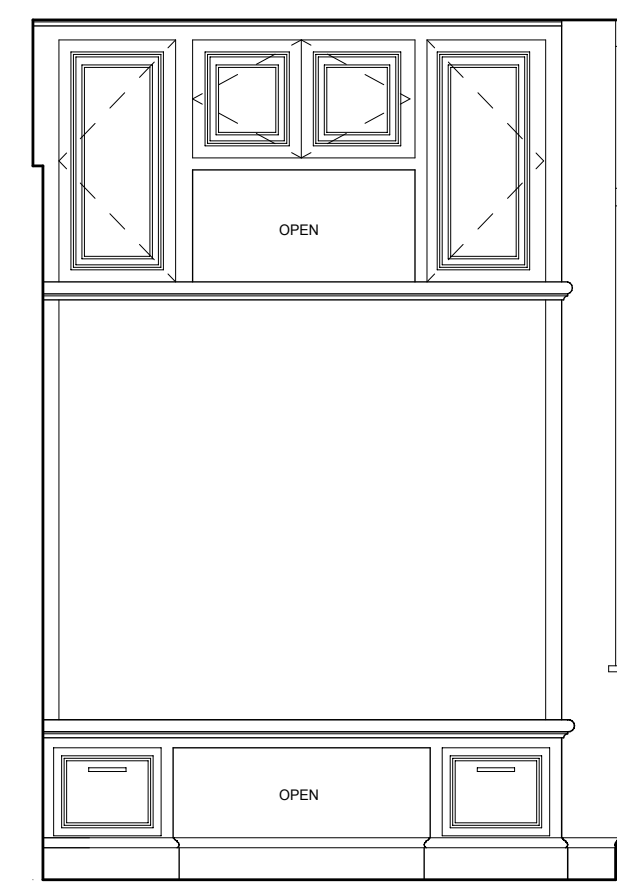
SHEET NO.
A400



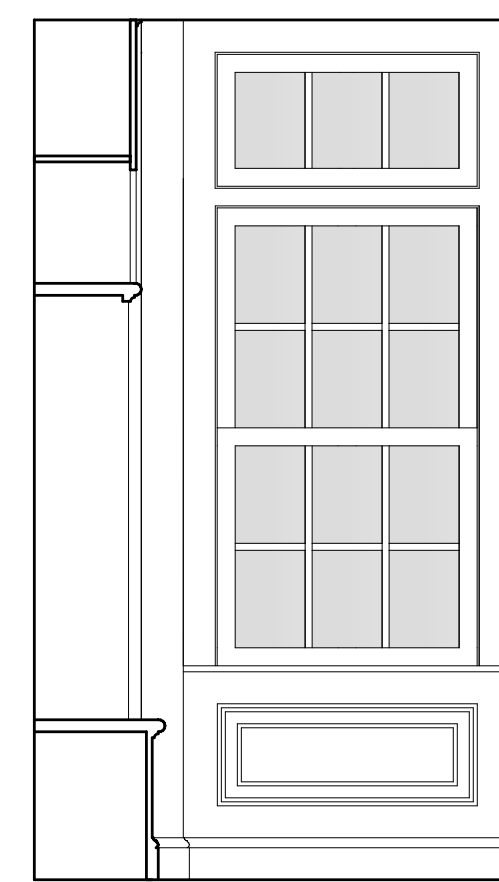
1 BASEMENT/ FOUNDATION PLAN
SCALE: 1/2" = 1'-0"



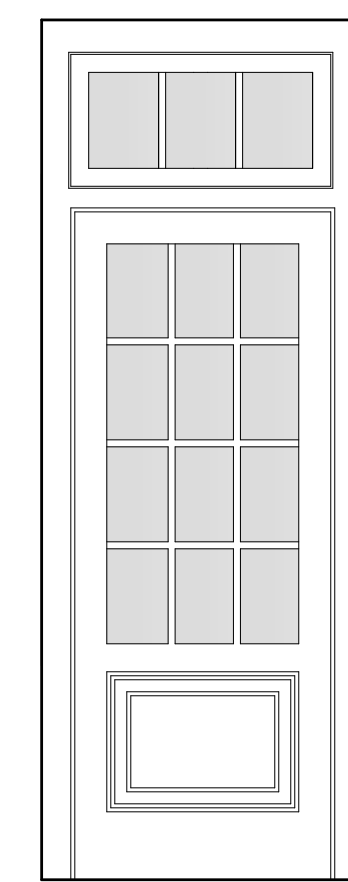
2 MUDROOM PLAN
SCALE: 1/2" = 1'-0"



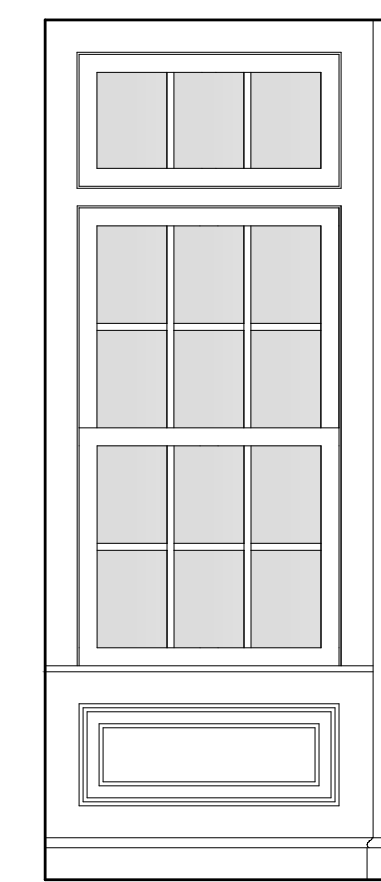
WEST



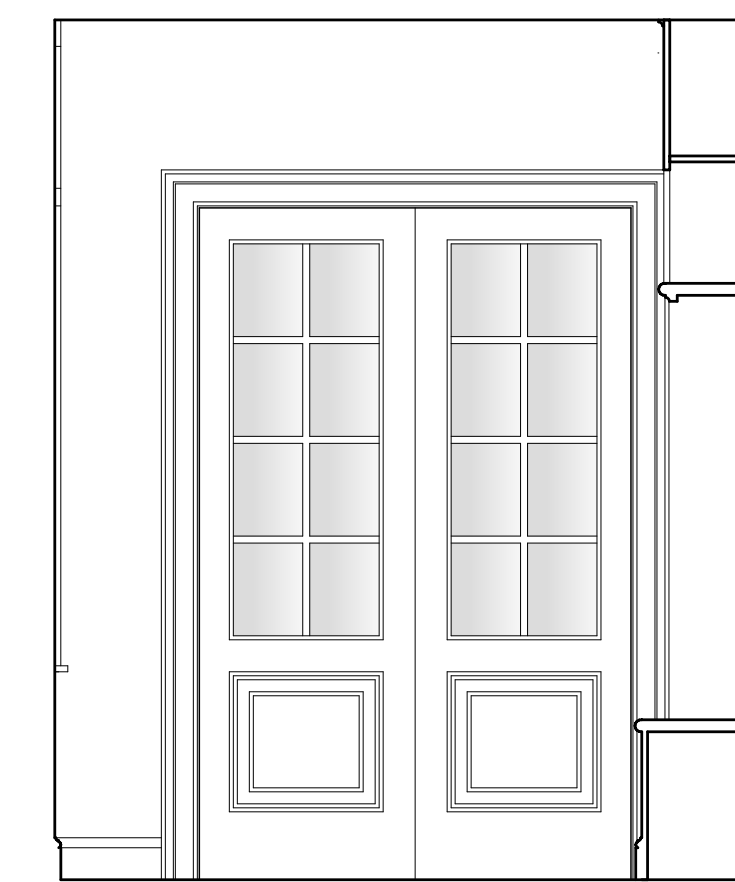
NORTH



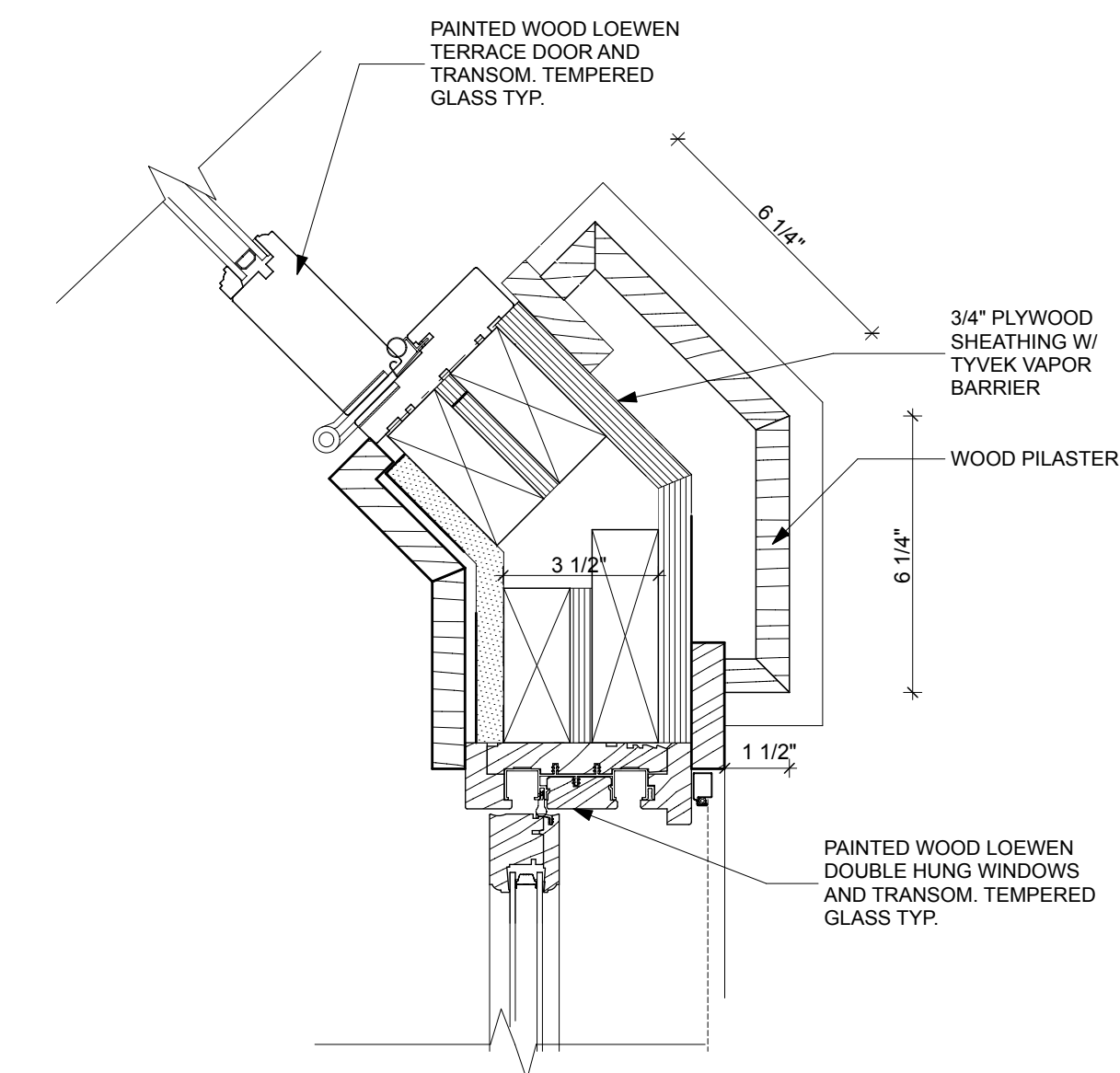
NORTHEAST



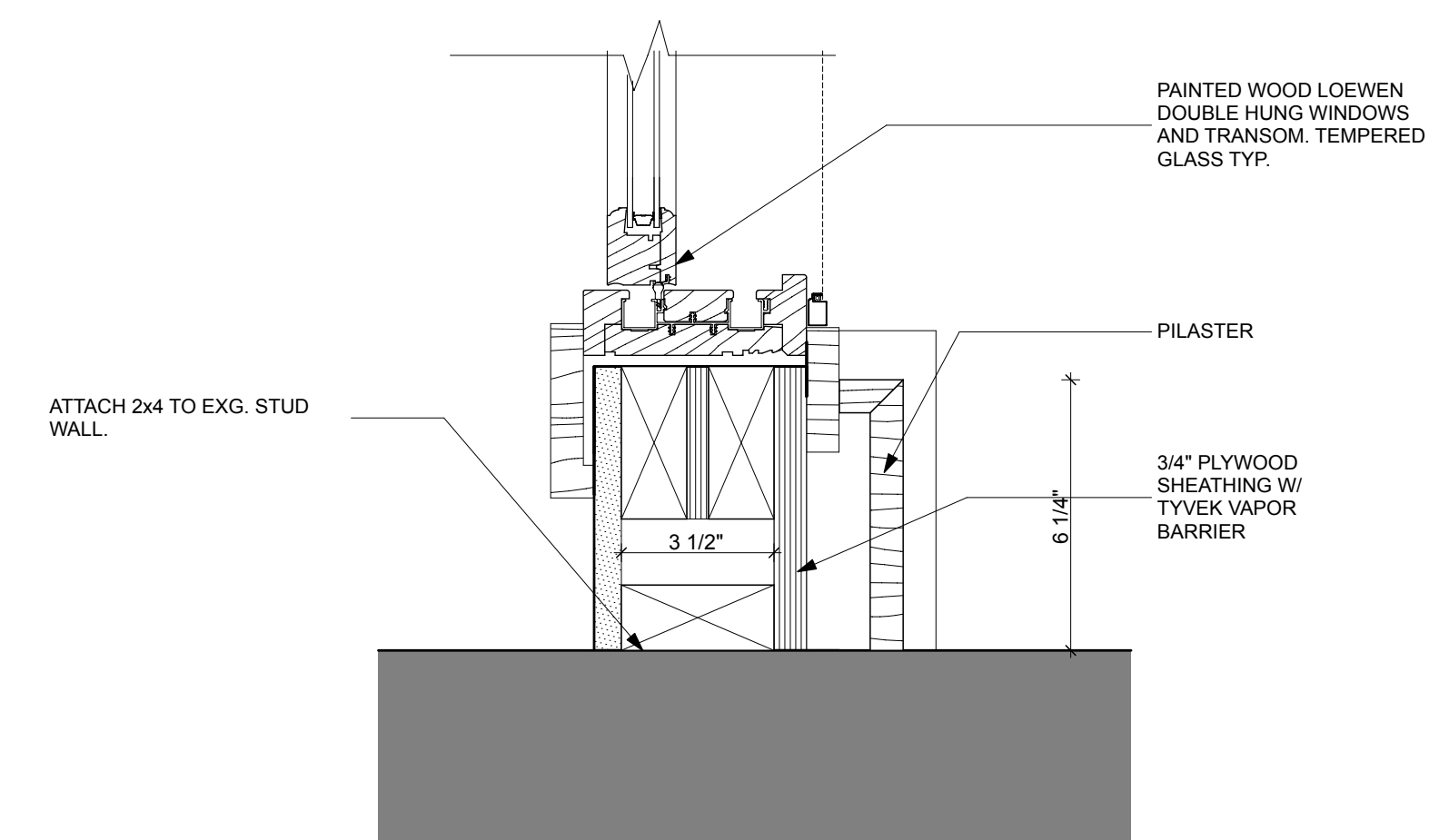
EAST



SOUTH



4 WINDOW/ DOOR DETAIL @ MUDROOM
SCALE: 3" = 1'-0"



5 MUDROOM CONNECTION TO EXG WALL
SCALE: 3" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission

REVIEWED
By Dan.Bruechert at 2:36 pm, May 27, 2021

OUTERBRIDGE HORSEY ASSOCIATES, PLLC
1228 1/2 31st STREET, NW
WASHINGTON, DC 20007
TEL 202-337-7334
FAX 202-337-7331
www.outerbridgehorsey.com
COPYRIGHT 2021 OUTERBRIDGE HORSEY ASSOCIATES, PLLC

CONSULTANTS:



3 PRIMROSE ST.
CHEVY CHASE, MD 20815

DRAWING TITLE:

MUDROOM PLAN AND ELEVATIONS

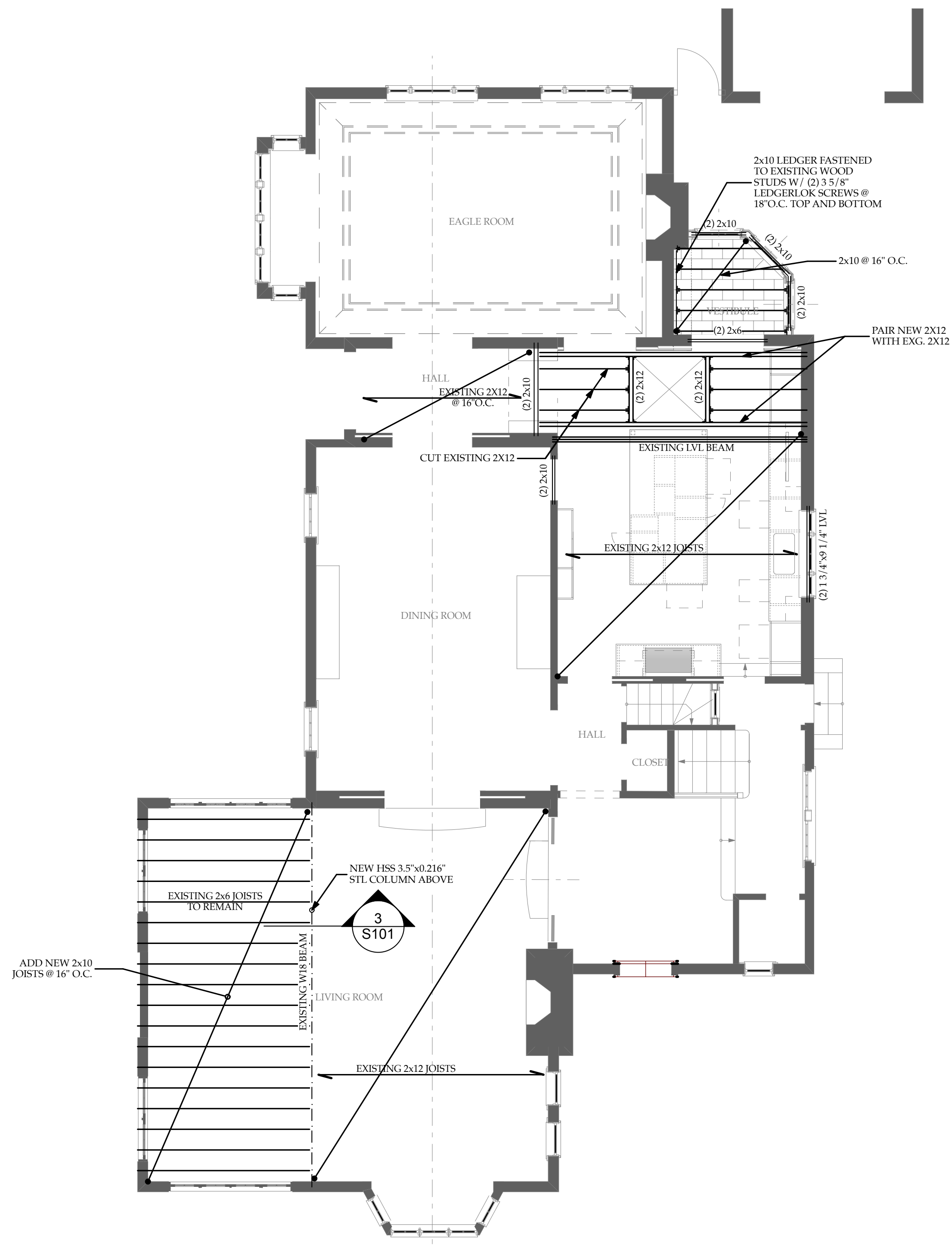
SCALE: AS NOTED

| ISSUE | DATE |
|-------|------|
| | |
| | |
| | |
| | |

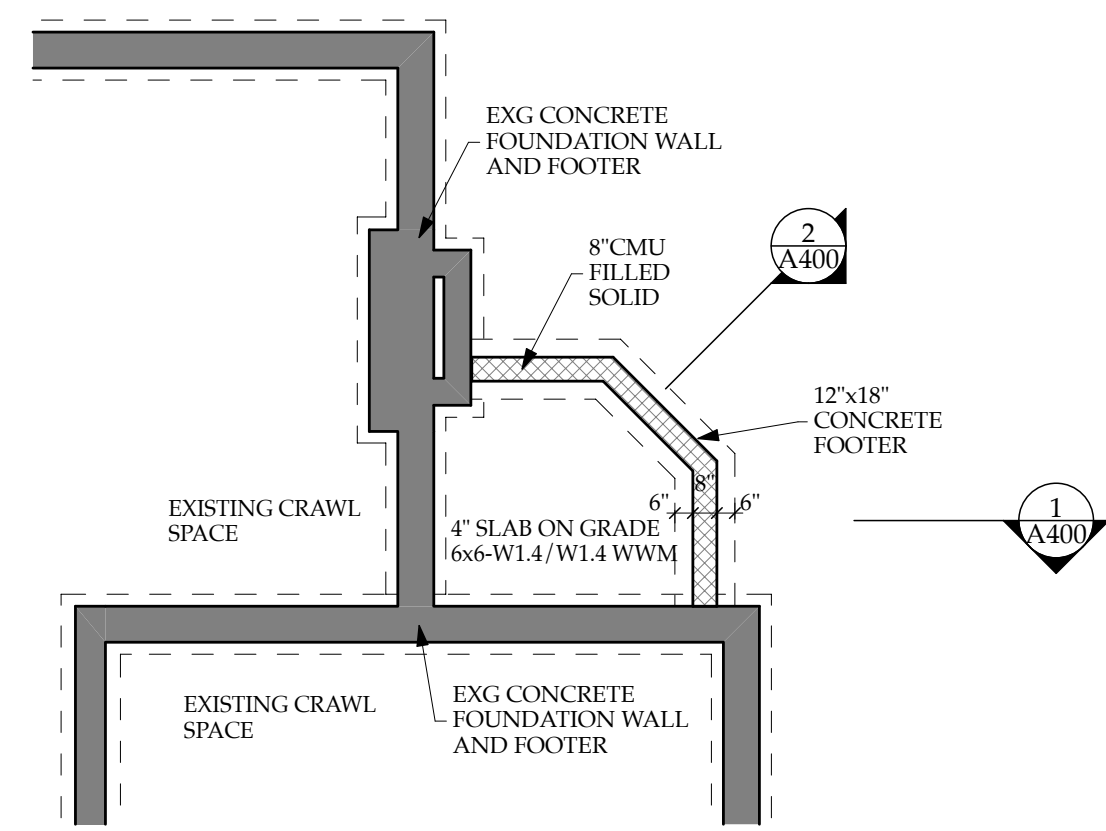
PRINT DATE 5/3/21

SHEET NO.

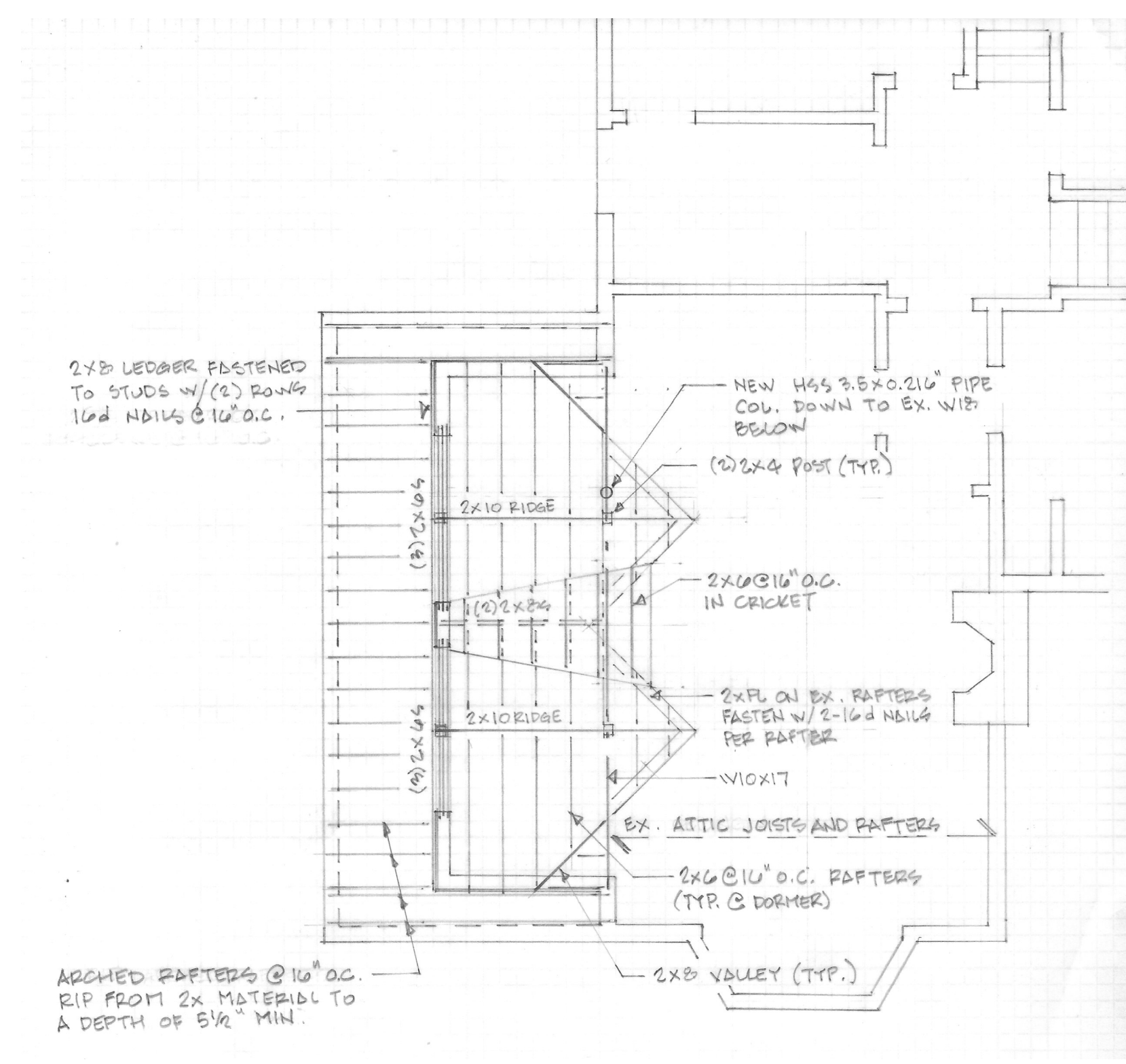
A503



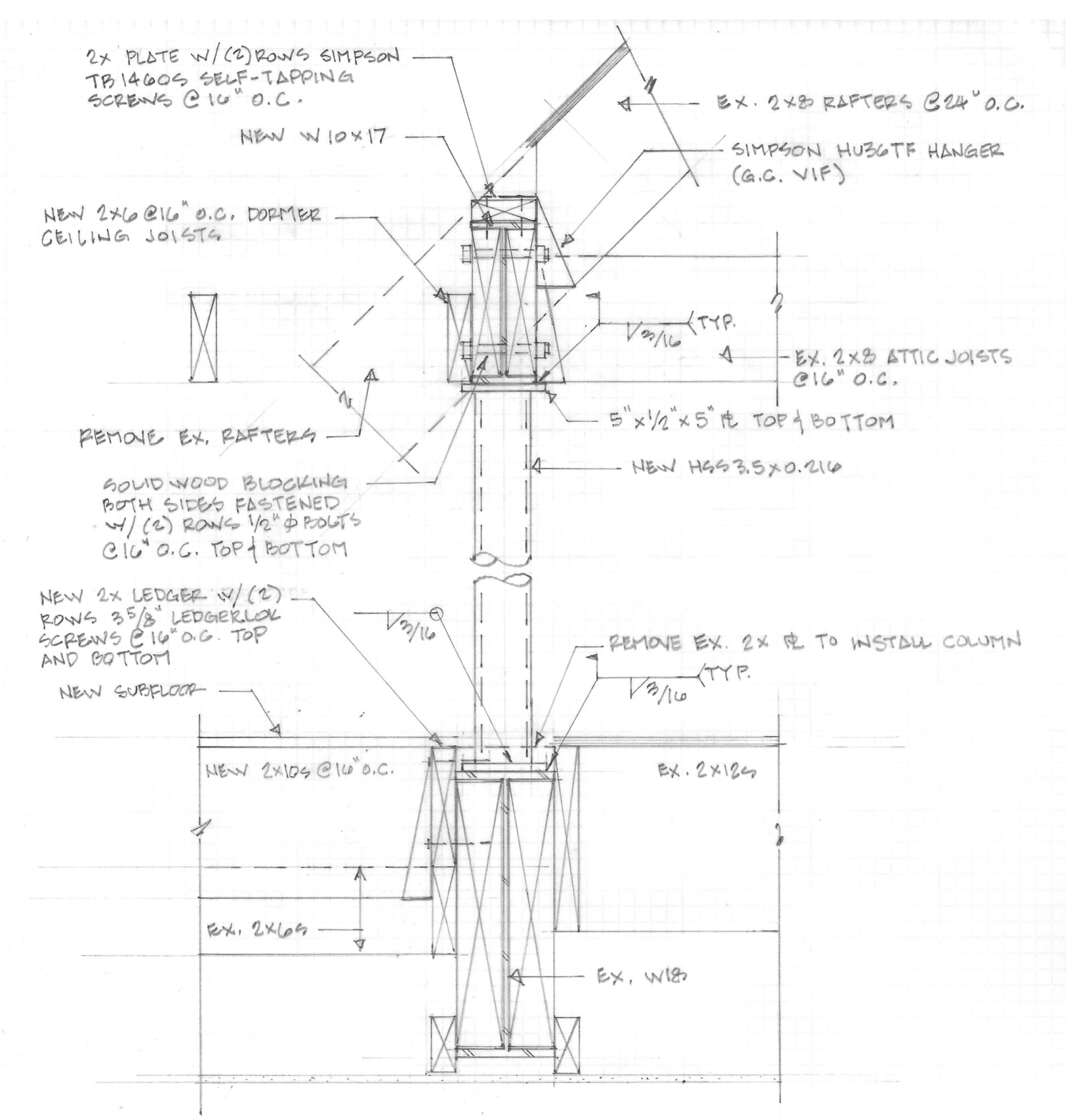
1 KITCHEN SKYLIGHT AND VESIBULE ROOF FRAMING
SCALE: 3/16" = 1'-0"



4 MUDROOM FOUNDATION PLAN
SCALE: 3/16" = 1'-0"



2 DORMER FRAMING PLAN
SCALE: 3/16" = 1'-0"



3 COLUMN/ BEAM DETAIL
SCALE: 1/2" = 1'-0"

- GENERAL NOTES**
- Design loads: Roof: 30 psf (ground snow load)
Dead: 10 psf (u.n.o.)
Floors: 40 psf Living areas
30 psf Sleeping areas
Basic Wind Speed: 115mph, 3 sec gust
Seismic Design: Category B
 - Design Codes: IRC 2018, IBC 2018, ASCE/SEI 7-10 where applicable.
 - Assumed allowable soil bearing pressure: 2000 psf
 - Assumed equivalent fluid pressure of soil: 45 psf/ft
 - All footings to bear on undisturbed soil and a minimum of 30 inches below finished grade.
 - Interior use lumber to be No.2 SPF with $f_b = 875$ psi and $E = 1,400,000$ psi
 - Exterior use lumber to be No.2 SP with $f_b = 1,100$ psi and $E = 1,400,000$ psi and preservative treated in accordance with AWPA Standard U1.
 - Concrete to be 3000 psi hard rock at 28 days.
 - Reinforcing steel to be ASTM A615 Grade 60 and placed in accordance with ACI Code.
 - Structural steel to be ASTM A36 fabricated in accordance with AISC Standards supplied and installed with one coat of red-oxide primer.
 - Contractor to provide fabrication and erection drawings for structural steel. Allow two weeks for review.
 - Welding of structural steel to be performed by AWS certified personnel in accordance with AWS D1.1 Code using E70XX rod.
 - All field welds to be cleaned and painted with red-oxide primer.
 - Manufactured lumber design values: $f_b = 2600$ psi and $E = 2,000,000$ psi
 - Wolmanized manufactured lumber design values: $f_b = 1,800$ psi and $E = 1,460,000$ psi under Service level 2.
 - All masonry lintels to have a minimum bearing of 4" on both ends. Double angles shall be installed back-to-back unless noted otherwise.
 - Window and door headers to be (3) 2x6's unless noted otherwise.
 - Joists below non-bearing partitions that equal or exceed 50% of the span shall be doubled.
 - Posts supporting sawn lumber beams and headers to be a minimum of (2) 2x4's.
 - Posts supporting manufactured lumber beams and headers to be a minimum of (3) 2x4's.
 - All truss and rafter ends to be secured to tops of walls/beams with hurricane clips (Simpson H2.5A or approved equal).
 - Appropriately sized joist hangers to be used where joists or rafters frame into beams.
 - Masonry mortar to conform to ASTM C270.
 - Concrete block manufacture to conform to ASTM C90 with a minimum prism strength of 1500 psi.
 - Brick manufacture to conform to ASTM C62.
 - Wood exterior walls to be 2x8's @16" on center.
 - Prefabricated truss manufacture and design to conform to ANSI/TPI 1 and WTCA standards.
 - General contractor to provide truss layout plans and shop drawings to structural engineer for review and approval no less than 2 weeks before truss order is due.
 - All sheathing material to be APA-rated for the spans indicated. Minimum sheathing thicknesses required:
 - Roofs: 19/32"
 - Walls: 15/32"
 - Floors: 23/32" STURD-I-FLOOR
 - The use of adjustable, screw-type steel columns is NOT permitted.
 - Masonry grout to conform to ASTM A476
 - Tubular steel to conform to ASTM A501
 - All floor joists to have bridging/x-bracing at 7' o.c.
 - Bolts for ledger boards to be threaded rod manufactured in accordance with ASTM A36 or F1554 and installed with Powers AC-100+ Gold adhesive. See drawings for bolt diameters, embedments, spacings and locations. Bolts to be installed into solid back up only (either poured concrete, grout-filled CMU or solid brick).
 - Wall bracing shall be continuous sheathed wood structural panels per Section R602.10.4 of IRC 2015. Where wall bracing is insufficient, alternate means shall be provided and engineered per ASCE 7 for the above basic wind speed.
 - The design and installation of any temporary shoring of existing structure is the sole responsibility of the contractor. Temporary shoring may be required in order to support existing structure laterally as well as vertically.
 - (If required) Contractor to provide helical pile design calculations and shop drawings (to include method of fastening to new foundation) no less than 14 days prior to installation of piles. Design calculations to be stamped by a professional engineer registered in the project jurisdiction. Design and installation of piles to comply with ASCE 20-96 standard guidelines for the design and installation of pile foundations.

APPROVED
Montgomery County
Historic Preservation Commission

REVIEWED
By Dan.Bruechert at 2:36 pm, May 27, 2021

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 20259, Expiration Date: 18 Nov 2021



OUTERBRIDGE HORSEY ASSOCIATES, PLLC
1228 1/2 31st STREET, NW
WASHINGTON, DC 20007
TEL 202-337-7334
FAX 202-337-7331
www.outerbridgehorsey.com
COPYRIGHT 2021 OUTERBRIDGE HORSEY ASSOCIATES, PLLC

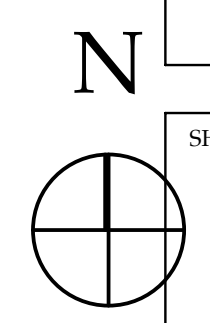
CONSULTANTS:

3 PRIMROSE ST.
CHEVY CHASE, MD
20815

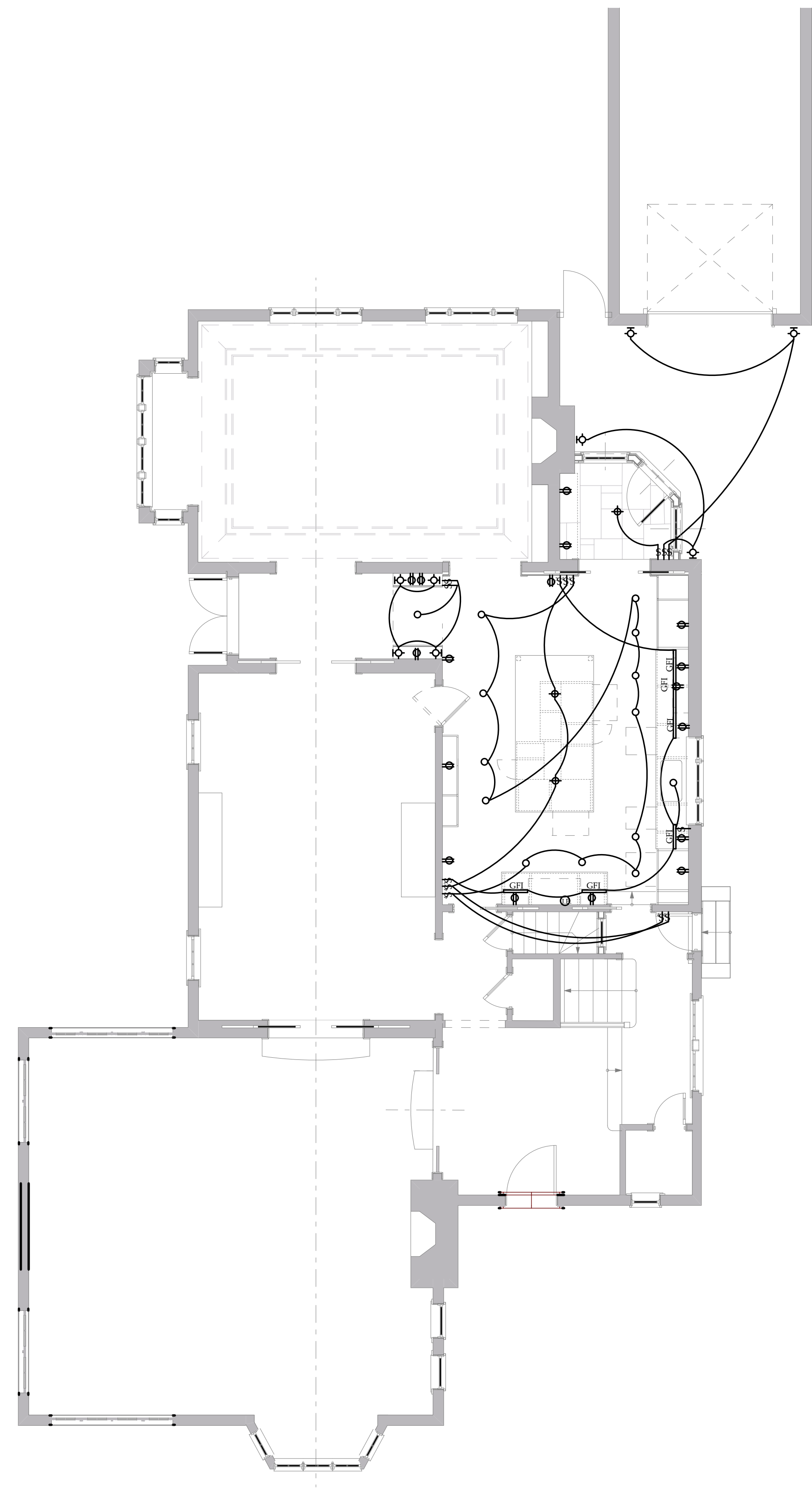
DRAWING TITLE:
STRUCTURAL PLANS
SCALE: AS NOTED

| ISSUE | DATE |
|-------|------|
| | |
| | |
| | |
| | |
| | |

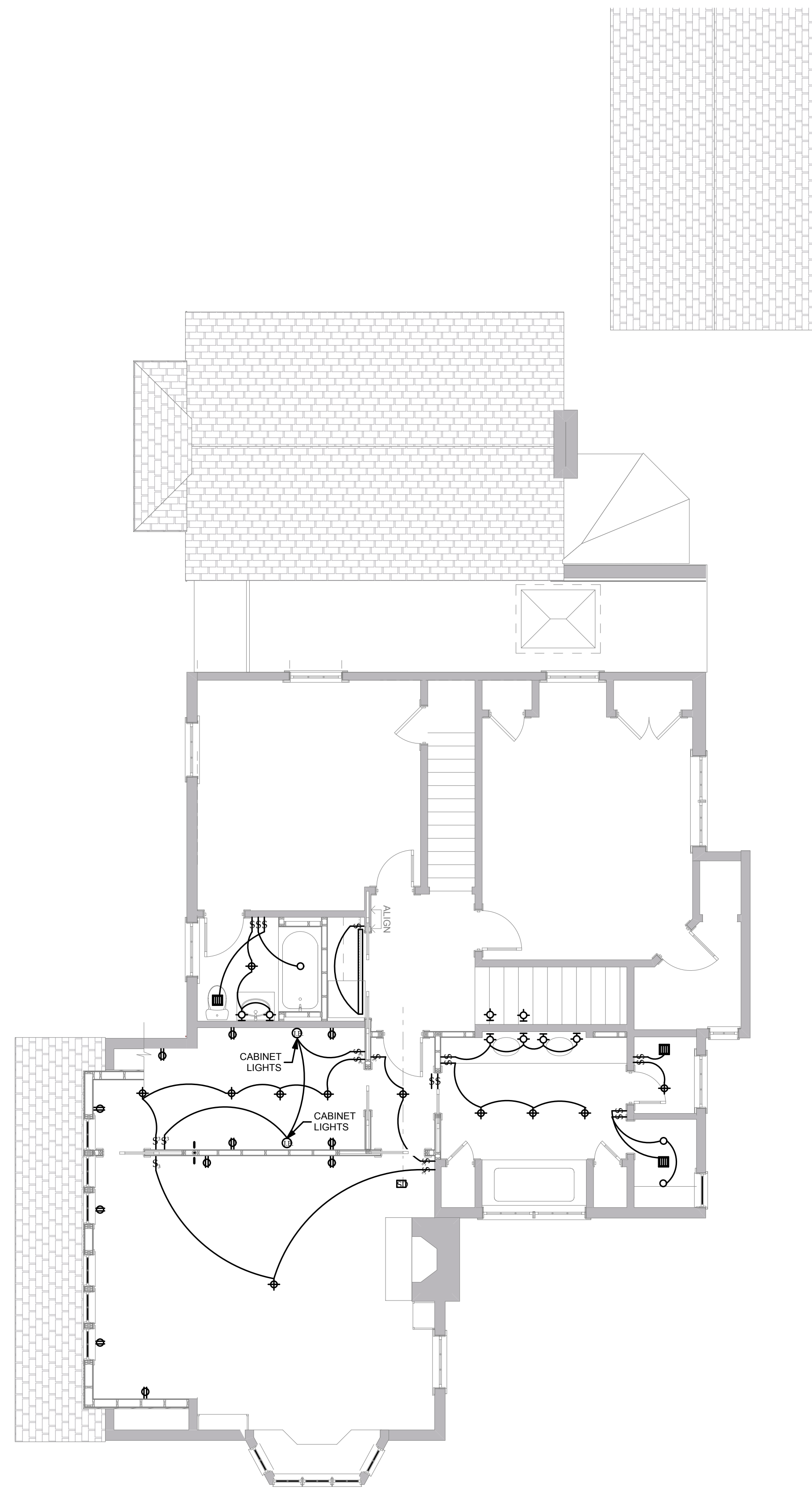
PRINT DATE 4/30/21



SHEET NO.
S100



1 FIRST FLOOR ELECTRICAL PLAN (NEW WORK ONLY)
SCALE: 3/16" = 1'-0"



2 SECOND FLOOR ELECTRICAL PLAN (NEW WORK ONLY)
SCALE: 3/16" = 1'-0"

ELECTRICAL SYMBOLS

| | | | |
|----|---|---|--|
| ⊕ | - DUPLEX FLOOR OUTLET | ⊖ | - UNDER-CABINET FIXTURE |
| ⊙ | - SINGLE OUTLET | ⊖ | - TELEPHONE JACK |
| ⊕ | - DUPLEX OUTLET | ⊖ | - FAX JACK |
| ⊕ | - HALF-SWITCHED OUTLET | ⊖ | - DATA JACK |
| ⊕ | - DUPLEX OUTLET ON GROUND FAULT INTERRUPT | ⊖ | - CATV- CABLE TV JACK |
| ⊕ | - QUADRUPLEX OUTLET ON GROUND FAULT INTERRUPT | ⊖ | - WALL SCONCE OR BRACKET PER ARCHITECT |
| ⊕ | - WIRE COILED BEHIND WALL FOR FUTURE USE | ⊖ | - DECORATIVE SURFACE FIXTURE PER ARCHITECT |
| ⊕ | - LIGHTING CONTROL LOCATION AS SCHEDULED | ⊖ | - RECESSED DOWNLIGHT OR ACCENT LIGHT |
| L1 | - LAMP DEBUZZING COIL AS SCHEDULED | ⊖ | - RECESSED DOWNLIGHT-WALLWASHER |
| ⊕ | - HARD-WIRED JUNCTION | ⊖ | - CORNER WALL WASHER |
| ⊕ | - HARD-WIRED SMOKE DETECTOR | ⊖ | - HALF WALL WASHER |
| ⊕ | - REMOTE TRANSFORMER AS REQUIRED | ⊖ | - FLUORESCENT OR LOW VOLTAGE STRIPLIGHT |
| ⊕ | - DOOR BELL | ⊖ | - SPOTLIGHT |
| ⊕ | - DECORATIVE PENDANT FIXTURE PER ARCHITECT | ⊖ | - THERMOSTAT |
| ⊕ | - SWING-ARM LAMP PER ARCHITECT | ⊖ | - EXHAUST FAN BY CONTRACTOR |
| ⊕ | - BOOKCASE LIGHT PER ARCHITECT | ⊖ | - WATER PROOF |

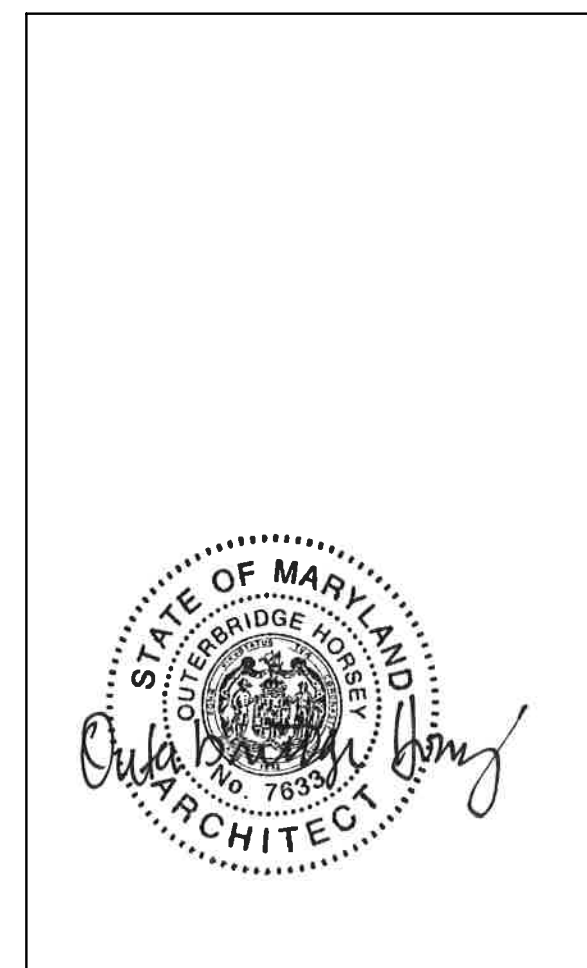
LIGHTING CONTROL SCHEDULE

| | |
|------------|---------------------------------|
| ⊕ | SINGLE POLE DECORA-STYLE SWITCH |
| ⊕ | 3-WAY SWITCH |
| ⊕ | 4-WAY SWITCH |
| DV-600P.* | SINGLE POLE, 600W INCANDESCENT |
| DV-603P.* | 3-WAY, 600W INCANDESCENT |
| DV-103P.* | 3-WAY, 1000W INCANDESCENT |
| DVLV-10P.* | SINGLE 800W LOW VOLTAGE |
| L1 | LDC-1.7-TCP LAMP DEBUZZING |
| L2 | LDC-3.3-TCP |

* COLOR TO BE SELECTED BY ARCHITECT
CATALOG NUMBERS ARE FOR LUTRON EQUIPMENT

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]

REVIEWED
By Dan.Bruechert at 2:36 pm, May 27, 2021



OUTERBRIDGE HORSEY ASSOCIATES, PLLC
1228 1/2 31st STREET, NW
WASHINGTON, DC 20007
TEL 202-337-7334
FAX 202-337-7331
www.outerbridgehorsey.com
COPYRIGHT 2021 OUTERBRIDGE HORSEY ASSOCIATES, PLLC

CONSULTANTS:

3 PRIMROSE ST.
CHEVY CHASE, MD 20815

DRAWING TITLE:
ELECTRICAL PLANS
SCALE: AS NOTED

| ISSUE | DATE |
|-------|------|
| | |
| | |
| | |
| | |

PRINT DATE 5/3/21

SHEET NO.
E100

