



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Sandra I. Heiler
Chairman

Date: June 24, 2020

MEMORANDUM

TO: Hadi Mansouri
Department of Permitting Services

FROM: Michael Kyne
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #912321: Building addition and other alterations

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the May 27, 2020 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Allison Marvis (V.W. Fowles, Architect, Martin Locraft, Agent)
Address: 10 Laurel Parkway, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Michael Kyne at 301.563.3403 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



GENERAL NOTES

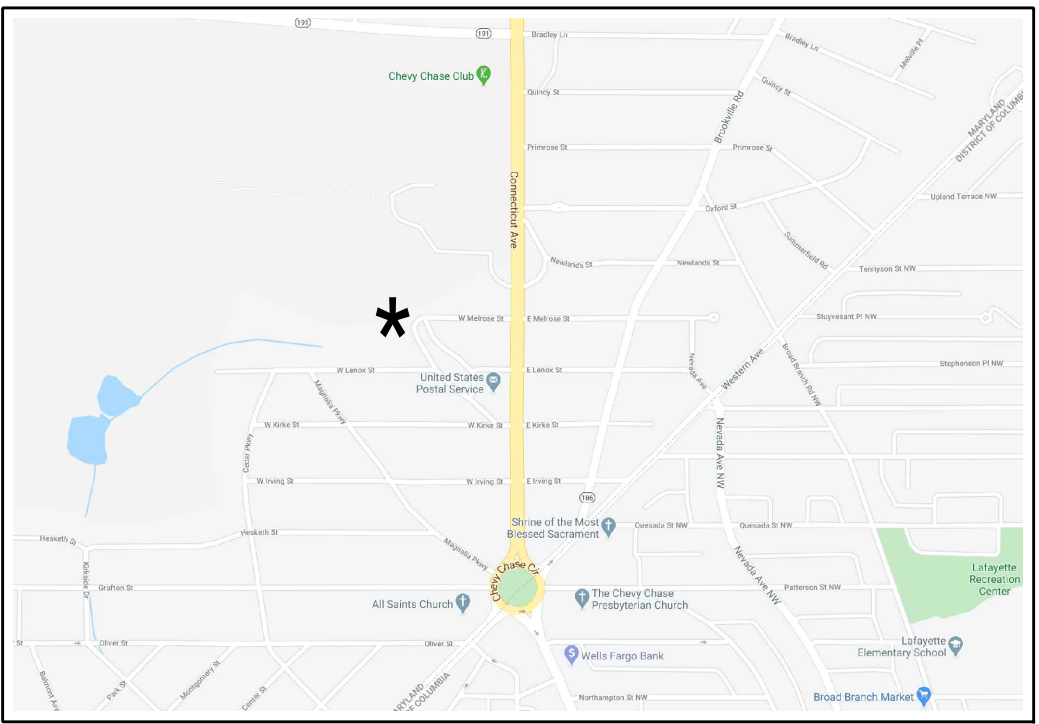
- 1. THE AIA "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION", PUBLISHED BY THE AMERICAN INSTITUTE OF ARCHITECTS... 2. THESE CONTRACT DOCUMENTS ARE INSTRUMENTS OF SERVICE... 3. DO NOT SCALE DRAWINGS... 4. HORIZONTAL DIMENSIONS INDICATED ARE TO/FROM FINISHED FACE OF CONSTRUCTION... 5. FLOOR TOLERANCE: GC TO IMMEDIATELY VERIFY SLOPE...

MATERIAL SPECIFICATIONS

- FOUNDATIONS: 1. No footings shall be placed in water or frozen ground... 2. At intersection between new and existing walls... 3. Do not place fill against foundation walls... 4. Fill and backfill should be free of deleterious organic materials... CONCRETE MASONRY WORK: 1. All concrete masonry shall conform to the "National Concrete Masonry Association" specifications...

- WOOD STRUCTURAL PANEL SHEATHING: 1. Provide structural, I-C D plywood or structural OSB sheathing with bond classifications appropriate to the end use... 2. Floor sheathing: nom 2" T&G plywood or OSB w/ nom 3/8" thick plywood or OSB... 3. All floor sheathing shall be glued and screwed to floor joists using an APA approved adhesive...

- FRAMING LUMBER: 1. Framing lumber shall have each piece grade stamped, shall be surface dry (except studs shall be kiln-dried) and shall conform to the following species and grade: Platters and Joists: Hem-Fir #2 or Spruce-Pine-Fir #2... 2. Preservative-treated wood: Provide treated Southern Pine #2 lumber complying with ACO-D (Carbonate), Copper Azole (CA-B), or Sodium Borate (SDB) (DOT) with Na5B2O7... 3. All wood framing including details for bridging, blocking, kneebracing, etc., shall conform to the latest edition of the "National Design Specification for Wood Construction" and its supplements...



LOCATION MAP 10 LAUREL PARKWAY 2 NTS



EXTERIOR VIEW - FRONT 10 LAUREL PARKWAY 1 NTS

ZONING INFORMATION

Table with 5 columns: LOT COVERAGE, MAX. BUILDING HEIGHT, REAR SETBACK, SIDE SETBACK, CHAPTER 99, RECD/ALLOWED, EXISTING, PROPOSED.

APPLICABLE BUILDING CODES

- 2018 International Residential Code with Montgomery County Amendments
2018 International Energy Conservation Code
2015 International Existing Building Code
2012 International Green Construction Code
2018 International Mechanical Code
2018 International Plumbing Code
2012 International Property Maintenance Code
2018 International Fuel Gas Code

HISTORIC PRESERVATION

HISTORIC DISTRICT: CHEVY CHASE VILLAGE (SECTION 2)

FIRE PROTECTION / SMOKE ALARMS

IRC R314.4: SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND, WHEN PRIMARY POWER IS INTERRUPTED, SHALL RECEIVE POWER FROM A BATTERY.

IRC R313.2: EXCEPTION: AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL NOT BE REQUIRED FOR ADDITIONS OR ALTERATIONS TO EXISTING BUILDINGS THAT ARE NOT ALREADY PROVIDED WITH AN AUTOMATIC RESIDENTIAL SPRINKLER SYSTEM

LOCAL DESIGN LOAD CRITERIA

Table with 2 columns: TYPE, CRITERIA. Includes Live load - Floor or Roof Area, Ground and Non-drift Snow Load, Wind Speed, Short Period MAP Value, Earthquake Spectral Response Acceleration, Residential Seismic Design Category, Weathering Probability for Concrete, Termite Infestation Probability, Decay Probability, Ice Shield Underlayment Required, Winter Design Temperature, Air Freezing Index, Mean Annual Temperature.

SCOPE OF WORK: INTERIOR RENOVATION OF EXISTING 2-1/2 STORY SINGLE-FAMILY DETACHED HOME, WITH ADDITION TO INCLUDE RE-BUILT SCREENED PORCH ON THE FIRST FLOOR AND NEW MASTER BATHROOM ON THE SECOND FLOOR

PROJECT DATA

10 LAUREL PARKWAY
CHEVY CHASE, MD 20815
SQUARE FOOTAGE: 42
ZONING DISTRICT: R-60
FLOORS: 2-1/2 + BASEMENT
CONSTRUCTION (EXISTING): MASONRY AND WOOD FRAME
CONSTRUCTION (PROPOSED): NO CHANGE

TABLE OF CONTENTS

- 001 COVER SHEET
002 CONTEXT PHOTOS
CIV000 PROPOSED SITE PLAN
D000 DEMOLITION PLANS
A000 BASEMENT PLAN
A001 FIRST FLOOR PLAN
A002 SECOND FLOOR PLAN
A003 ATTIC PLAN
A004 ROOF PLAN
A100 EAST ELEVATION
A101 SOUTH ELEVATION
A102 WEST ELEVATION
A103 NORTH ELEVATION
A200 BUILDING SECTION
A300 WALL SECTIONS
A500 DOOR & WINDOW SCHEDULES
S000 GENERAL STRUCTURAL NOTES
S100 FOUNDATION PLAN
S101 FIRST FLOOR FRAMING PLAN
S102 SECOND FLOOR FRAMING PLAN
S103 ATTIC FRAMING PLAN
S104 ROOF FRAMING PLAN
S200 TYPICAL DETAILS
S300 TYPICAL DETAILS
S301 TYPICAL DETAILS
E001 FIRST FLOOR PARTIAL ELECTRICAL PLAN
E002 SECOND FLOOR ELECTRICAL PLAN
E003 ATTIC ELECTRICAL PLAN

11. GENERAL CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ALL MECHANICAL, TELEPHONE, ELECTRICAL AND PLUMBING TO INCLUDE ALL PIPING, DUCT WORK, STRUCTURAL MEMBERS AND CONDUIT AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ABOVE EQUIPMENT ARE PROVIDED...

12. CONTRACTOR SHALL PROVIDE MANUFACTURER'S SPECIFICATIONS, INSTALLATION INSTRUCTIONS, SHOP DRAWINGS AND SAMPLES FOR REVIEW AND APPROVAL OF ALL MATERIALS, METHODS, AND TRADES TO BE USED PRIOR TO ORDERING OR PROCEEDING WITH THE WORK.

13. CONTRACTOR TO FOLLOW MANUFACTURER'S RECOMMENDED SPECIFICATION AND INSTALLATION PROCEDURES, IF THESE ARE CONTRARY TO THE CONTRACT DOCUMENTS, CONTRACTOR SHALL NOTIFY DESIGNER, IN WRITING IMMEDIATELY, TO RESOLVE DISCREPANCIES PRIOR TO PROCEEDING.

14. ONLY NEW ITEMS OF RECENT MANUFACTURE, OF STANDARD QUALITY, FREE FROM DEFECTS, WILL BE PERMITTED ON THE WORK. REJECTED ITEMS SHALL BE REMOVED IMMEDIATELY FROM THE WORK AND REPLACED WITH ITEMS OF THE QUALITY SPECIFIED.

15. THE FINISHED WORK SHALL BE FIRM, WELL ANCHORED, IN TRUE ALIGNMENT, PLUMB, LEVEL WITH SMOOTH, CLEAN, UNIFORM APPEARANCE WITHOUT WAVES, DISTORTIONS, HOLES, MARKS, CRACKS, STAINS, OR DISCOLORATION. JOINTING SHALL BE CLOSE FITTING, NEAT AND WELL SCRIBED. THE FINISH WORK SHALL HAVE NO EXPOSED UNSIGHTLY ANCHORS OR FASTENERS AND SHALL NOT PRESENT HAZARDOUS, UNSAFE CORNERS. ALL WORK SHALL HAVE THE PROVISION FOR EXPANSION, CONTRACTION, AND SHRINKAGE AS NECESSARY TO PREVENT CRACKS, BUCKLING AND WARPING DUE TO TEMPERATURE AND HUMIDITY CONDITIONS.

16. NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY OR DEFICIENT IN ANY REQUIREMENTS OF DRAWINGS AND SPECIFICATIONS WILL BE ACCEPTABLE IN CONSEQUENCE OF OWNERS OR DESIGNER'S FAILURE TO DISCOVER OR TO POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION, NOR WILL PRESENCE OF INSPECTORS ON WORK RELIEVE CONTRACTOR FROM RESPONSIBILITY FOR SECURING QUALITY AND PROGRESS OF WORK AS REQUIRED BY CONTRACT.

17. ATTACHMENTS, CONNECTIONS, OR FASTENINGS OF ANY NATURE ARE TO BE PROPERLY AND PERMANENTLY SECURED IN CONFORMANCE WITH BEST PRACTICE AND THE CONTRACTOR IS RESPONSIBLE FOR IMPROVING THEM ACCORDINGLY. THE DRAWINGS SHOW ONLY SPECIAL CONDITIONS TO ASSIST CONTRACTOR, THEY DO NOT ILLUSTRATE EVERY SUCH DETAIL.

18. THE CONTRACTOR SHALL CONTINUOUSLY CHECK ARCHITECTURAL AND STRUCTURAL CLEARANCES FOR ACCESSIBILITY OF EQUIPMENT AND MECHANICAL AND ELECTRICAL SYSTEMS. NO ALLOWANCE OF ANY KIND WILL BE MADE FOR THE CONTRACTOR'S NEGLIGENCE TO FORESEE MEANS OF INSTALLING EQUIPMENT INTO POSITION INSIDE STRUCTURES.

19. MATERIALS AND WORKMANSHIP SPECIFIED BY REFERENCE TO NUMBER SYMBOL, TO TITLE OF A SPECIFICATION SUCH AS COMMERCIAL STANDARDS, FEDERAL SPECIFICATION, TRADE ASSOCIATION STANDARD, OR OTHER SIMILAR STANDARD, SHALL COMPLY WITH REQUIREMENTS IN LATEST EDITION OR REVISION THEREOF AND WITH ANY AMENDMENT OR SUPPLEMENT THERETO IN EFFECT ON DATE OF ORIGIN OF THIS PROJECT'S CONTRACT DOCUMENTS, SUCH STANDARD, EXCEPT AS MODIFIED HEREIN, SHALL HAVE FULL FORCE AND EFFECTS AS THOUGH PRINTED IN CONTRACT DOCUMENTS.

20. CONTRACTOR SHALL WAIVE "COMMON PRACTICE" AND "COMMON USAGE" AS CONSTRUCTION CRITERIA WHEREVER DETAILS AND CONTRACT DOCUMENTS OR GOVERNING CODES, ORDINANCES, ETC., REQUIRE GREATER QUANTITY OR BETTER QUALITY THAN COMMON PRACTICE OR COMMON USAGE WOULD REQUIRE.

21. CONTRACTOR SHALL ORDER AND SCHEDULE DELIVERY OF MATERIALS IN AMPLE TIME TO AVOID DELAYS IN CONSTRUCTION. IF AN ITEM IS FOUND TO BE UNAVAILABLE OR HAVE A LONG LEAD TIME, CONTRACTOR SHALL NOTIFY DESIGNER IMMEDIATELY.

22. IF AT ANY TIME BEFORE COMMENCEMENT OF WORK, OR DURING PROGRESS THEREOF CONTRACTOR'S METHODS, EQUIPMENT OR APPLIANCES ARE INEFFICIENT OR INAPPROPRIATE FOR SECURING QUALITY OF WORK, OR RATE OF PROGRESS INTENDED BY CONTRACT DOCUMENTS, OWNERS MAY ORDER CONTRACTOR TO IMPROVE THEIR QUALITY OR INCREASE THEIR EFFICIENCY. THIS WILL NOT RELIEVE CONTRACTOR OF HIS SURETIES FROM THEIR OBLIGATIONS TO SECURE QUALITY OF WORK AND RATE OF PROGRESS SPECIFIED IN CONTRACT.

23. THE DESIGNER, ACTING AS THE OWNER'S DESIGNATED AGENT FOR DESIGN OF THIS PROJECT, WILL EXERCISE SOLE AUTHORITY FOR DETERMINING CONFORMANCE OF MATERIALS, EQUIPMENT AND SYSTEMS WITH THE INTENT OF THE DESIGN. REVIEW AND ACCEPTANCE OF ALL ITEMS PROPOSED BY CONTRACTOR FOR INCORPORATION INTO THIS WORK WILL BE BY THE DESIGNER. THIS FUNCTION OF THE DESIGNER WILL APPLY BOTH TO CONTRACT AS INITIALLY SIGNED, AND TO THE CHANGES TO CONTRACT BY MODIFICATION DURING PROGRESS OF WORK.

24. ONLY WHERE INDICATED "EQUAL TO" OR "SUBSTITUTIONS" FOR SPECIFIED MATERIALS, OR FOR LONG LEAD TIME CONSIDERATION SHALL SUBSTITUTIONS BE CONSIDERED BY THE DESIGNER FOR ACCEPTANCE. REFERENCES TO MAKES, BRANDS, MODELS, ETC., IS TO ESTABLISH TYPE AND QUALITY DESIRED; SUBSTITUTION OF ACCEPTABLE EQUALS WILL NOT BE PERMITTED UNLESS SPECIFICALLY NOTED OTHERWISE WHEN MADE ACCORDINGLY TO PROCEDURES FOR SUBSTITUTIONS.

25. EXERCISE EXTREME CARE AND PRECAUTION DURING CONSTRUCTION OF THE WORK, AND SCHEDULE WORK, TO MINIMIZE DISTURBANCES TO ADJACENT SPACES AND/OR STRUCTURES AND THEIR OCCUPANTS, PROPERTY, PUBLIC THOROUGHFARES, ETC. THE GENERAL CONTRACTOR SHALL TAKE PRECAUTIONS AND BE RESPONSIBLE FOR THE SAFETY OF ALL BUILDING OCCUPANTS FROM CONSTRUCTION PROCEDURES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY OVERTIME COSTS INCURRED THEREBY.

26. ALL DEBRIS SHALL BE REMOVED FROM THE SITE ON A DAILY BASIS, WHEN POSSIBLE. UPON COMPLETION OF THE WORK, REMOVE ALL DEBRIS FROM THE BUILDING CREATED BY WORK PROVIDED UNDER THIS CONTRACT AND LEAVE ALL AREAS CLEAN.

ENERGY CONSERVATION

THE FOLLOWING PROVISIONS FOR THERMAL RESISTANCE MEET OR EXCEED THE REQUIREMENTS STIPULATED IN THE 2015 INTERNATIONAL ENERGY CONSERVATION CODE:

Table with 2 columns: INSULATION, ROOF, R-49 (CLOSED CELL URETHANE FOAM IN JOIST BAYS + 1" RIGID FOAM ON ROOF DECK); FRAME WALLS, R-20; FLOOR OVER UNCOND. SPACE, R-19 (NA); BASEMENT WALLS, R-10; SLAB PERIMETER, R-10, FOR DEPTH OF 2'; GLAZING, U=0.35

AIR INFILTRATION WINDOWS: NOT TO EXCEED 0.5 CFM OF SASH CRACK. SWING DOORS: NOT TO EXCEED 1.25 CFM/SF OF DOOR AREA. PROVIDE 1" FIBERGLASS SILL SEALER BETWEEN FOUNDATION AND WALL AND SILL PLATES. FILL CONSTRUCTION (ELECTRICAL AND PLUMBING) HOLES, CRACKS, LOOSE JOINTS AND SPACES IN ROUGH FRAMING AND ROUGH MASONRY WITH APPROVED FORM SEALER OR SIMILAR SEALANT.

TABLE R602.6.1.1 AIR BARRIER AND INSULATION INSTALLATION

Table with 3 columns: COMPONENT, AIR BARRIER CRITERIA, INSULATION INSTALLATION CRITERIA. Rows include General Requirements, Ceiling/attic, Walls, Windows, doors, and frames, Rim joints, Floors, Crawlspace walls, Shafts, penetrations, Narrow cavities, Garage separation, Recessed lighting, Plumbing and wiring, Shower / tub on exterior wall, Electrical / phone box on exterior wall, HVAC register boxes, Fireplace.

REVIEWED By Michael Kyne at 3:37 pm, Jun 24, 2020

APPROVED Montgomery County Historic Preservation Commission Sandra J. Heiler

FOWLKES STUDIO FS 1711 Connecticut Ave., NW 2004 Washington, DC 20009 (202) 758 - 5518

LAUREL PARKWAY 10 LAUREL PARKWAY CHEVY CHASE, MARYLAND 20815

Scope: INTERIOR RENOVATION OF EXISTING 2-STORY SINGLE-FAMILY DETACHED HOME TO INCLUDE SCREENED PORCH ADDITION

Owner: Allison & Chris Marvin 10 Laurel Parkway Chevy Chase, MD 20815

Builder: TBD

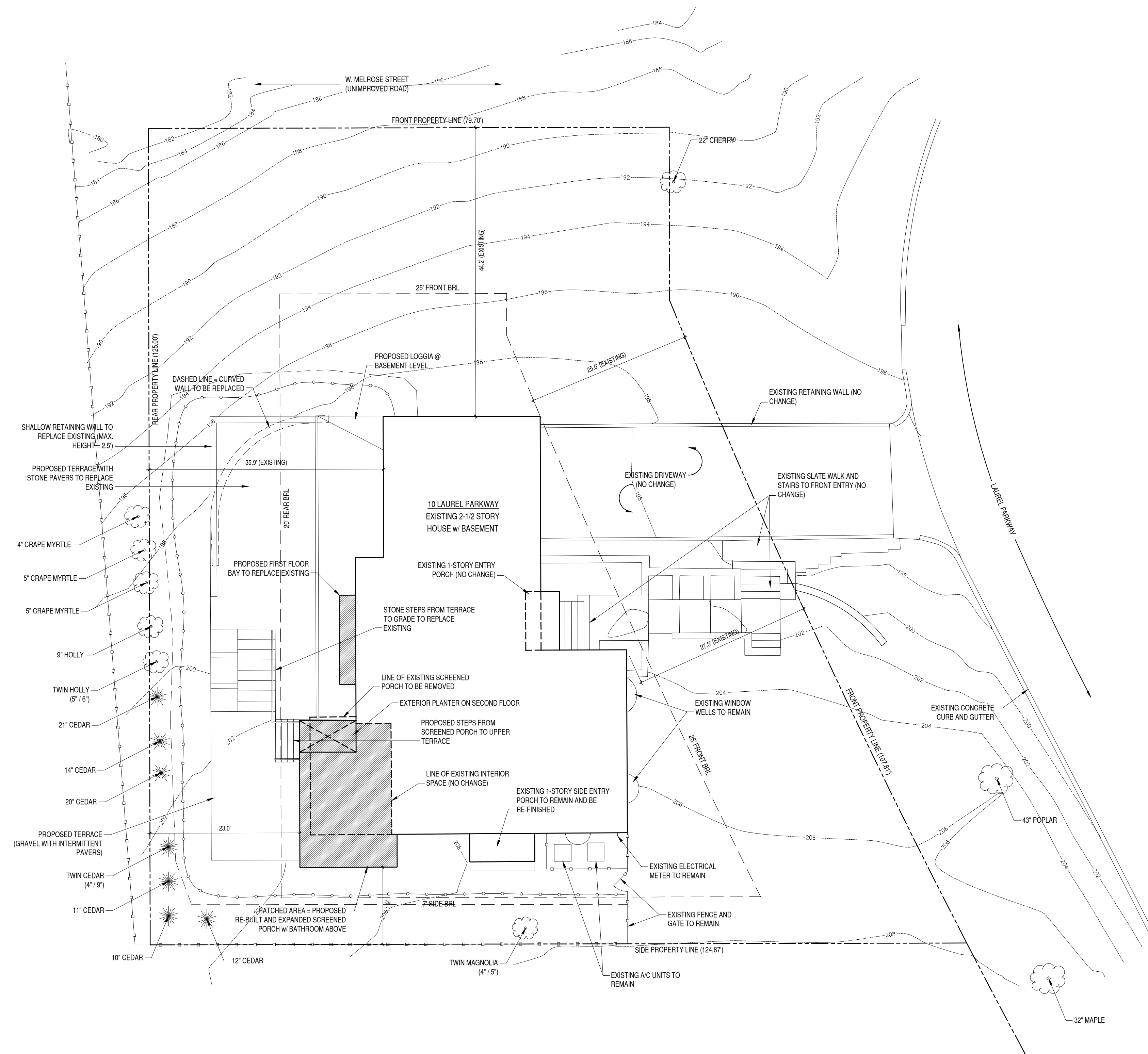
Issue Date: 2020 MARCH 27 PRELIMINARY FRAMING 2020 MARCH 31 PRE-STRU. CLIENT CALL 2020 APRIL 10 INTERNAL REVIEW 2020 APRIL 21 UPDATED FRAMING 2020 APRIL 28 FRAMING CHECK SET 2020 APRIL 30 HAWP APPLICATION 2020 MAY 26 BID SET w/ INTERIORS 2020 JUNE 11 PERMIT



scale: NONE

title: COVER SHEET

number: 001

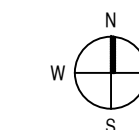


PROJECT NARRATIVE:
 INTERIOR RENOVATION OF EXISTING 2-1/2 STORY SINGLE-FAMILY DETACHED HOME, WITH ADDITION TO INCLUDE RE-BUILT SCREENED PORCH ON THE FIRST FLOOR AND NEW MASTER BATHROOM ON THE SECOND FLOOR

LOT INFORMATION:
 LOT SIZE: 12,287 SQ. FT.
 ALLOWABLE LOT COVERAGE: 2,912 SQ. FT. (23.7%)

EXISTING BUILDING FOOTPRINT: 2,238 SQ. FT.
 EXISTING BUILDING LOT OCCUPANCY: 18.2%
 PROPOSED BUILDING FOOTPRINT: 2,687 SQ. FT. (INCL. LOGGIA)
 PROPOSED BUILDING LOT OCCUPANCY: 21.9%

EXISTING BUILDING HEIGHT TO REMAIN UNCHANGED



KEY:
 PROPERTY LINE
 LIMIT OF DISTURBANCE
 SILT FENCE
 EXISTING FENCE

SITE PLAN 1
 PROPOSED 1" = 10"

REVIEWED
 By Michael Kyne at 3:37 pm, Jun 24, 2020

APPROVED
 Montgomery County
 Historic Preservation Commission
Sandra A. Heiler

FOWLKES FS STUDIO
 1711 Connecticut Ave., NW 204
 Washington, DC 20009
 (202) 758-5518

LAUREL PARKWAY
 10 LAUREL PARKWAY
 CHEVY CHASE, MARYLAND 20815

Scope:
 INTERIOR RENOVATION OF EXISTING 2-STORY SINGLE-FAMILY DETACHED HOME TO INCLUDE SCREENED PORCH ADDITION

Owner:
 Allison & Chris Marvin
 10 Laurel Parkway
 Chevy Chase, MD 20815

Builder:
 TBD

Issue Date:
 2020 MARCH 27 PRELIMINARY FRAMING
 2020 MARCH 31 PRE-STRU. CLIENT CALL
 2020 APRIL 10 INTERNAL REVIEW
 2020 APRIL 21 UPDATED FRAMING
 2020 APRIL 28 FRAMING CHECK SET
 2020 APRIL 30 HAWP APPLICATION
 2020 MAY 26 BID SET w/ INTERIORS PERMIT
 2020 JUNE 11



scale: 1" = 10'

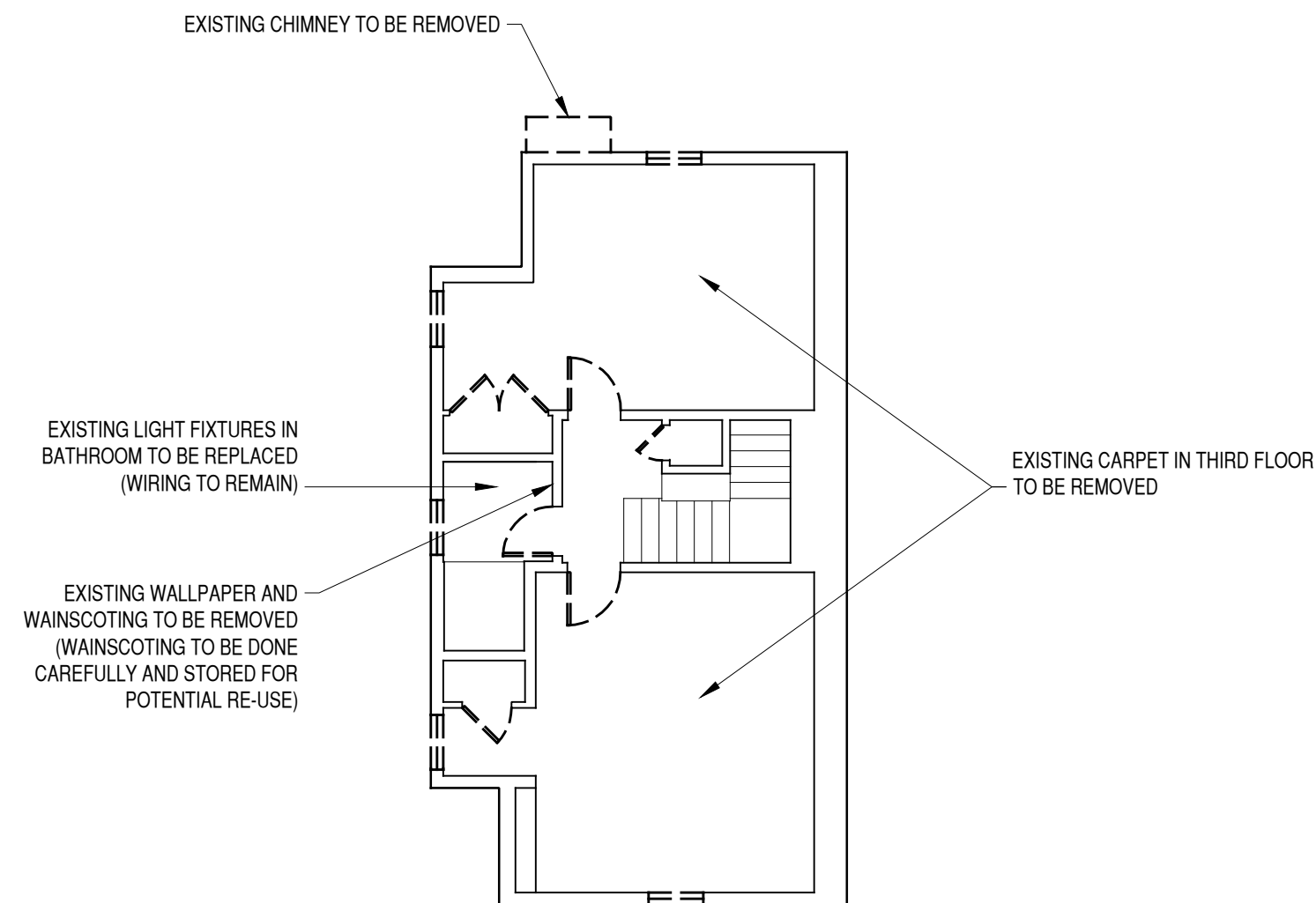
title: **SITE PLAN**

number: **CIV000**

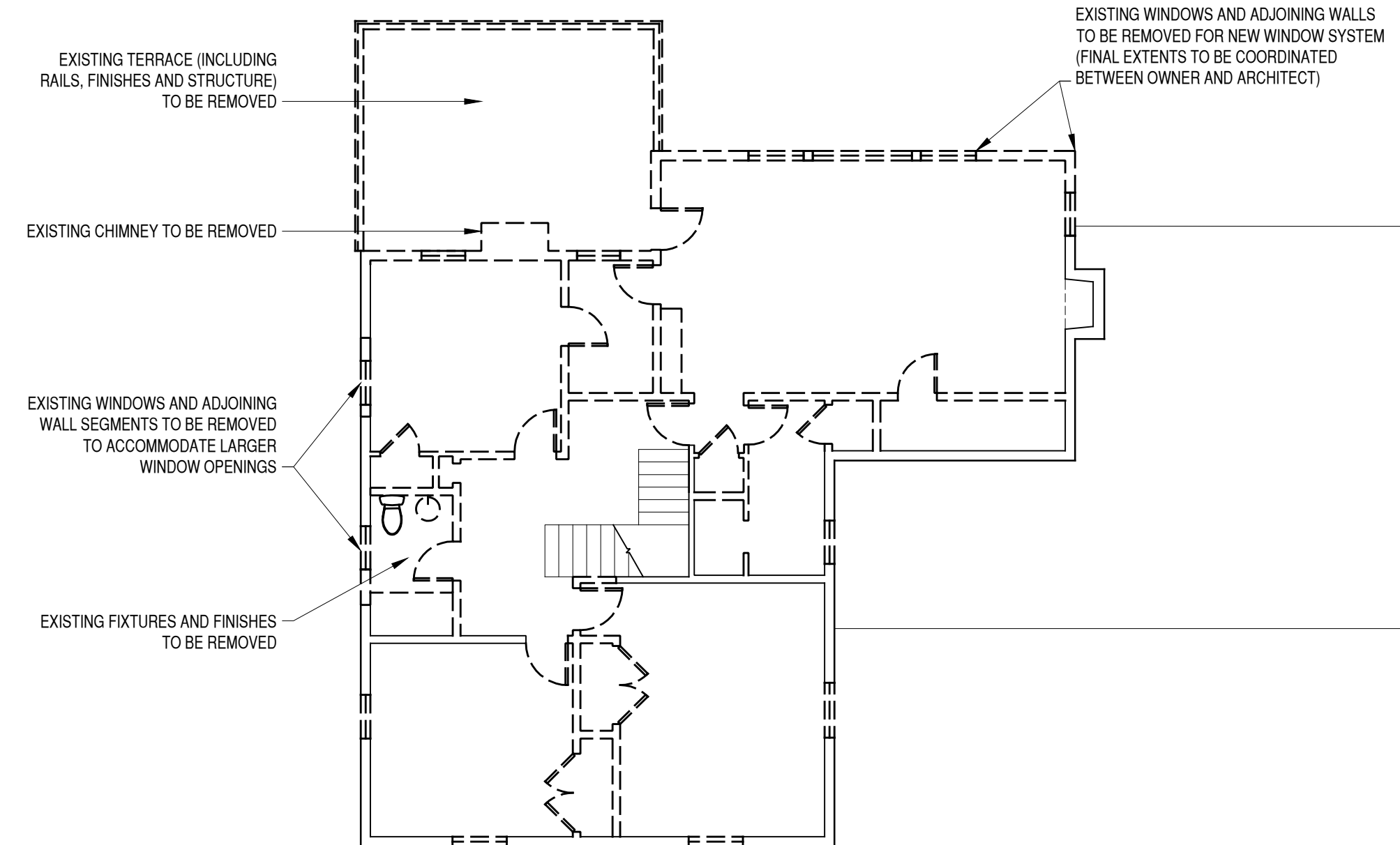
DEMO NOTES

- TURN OFF ALL CIRCUITS AND REMOVE EXISTING LIGHT FIXTURES
- TURN OFF ALL PLUMBING LINES
- PROVIDE ALLOWANCE FOR RELOCATING DUCTWORK, ELECTRICAL OR PLUMBING IN WALLS SCHEDULED TO BE DEMOLISHED. INCLUDE MISC. PATCHING AND REPAIR FOR WALLS AND CEILINGS. BREAK OUT ALLOWANCE AS OUTLINED IN GENERAL CONDITIONS
- USE PLASTIC DUST BARRIERS TO SEGREGATE THE WORK AREA FROM ANY LIVING SPACES NOT AFFECTED BY WORK. USE BLUE TAPE WHEN FIXING TO WALLS, CEILINGS OR EXISTING CABINERY
- FIX AIR CONDITIONER FILTERS OVER SUPPLY AND RETURN AIR VENTS IN AFFECTED AREAS TO MINIMIZE THE DISPERSAL OF DUST THROUGHOUT THE HOUSE
- CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL DEBRIS AS WELL AS APPLIANCES, CABINERY, CARPET AND PAD AS INDICATED
- WHERE TRIM IS REMOVED OR WALLS DEMOLISHED, ADJOINING WALL AND CEILING SURFACES ARE TO BE MADE GOOD AND READY FOR PAINTING
- WHERE EXTERIOR BRICK WALLS ARE REMOVED, ADJOINING WALLS ARE TO BE PATCHED, APPROPRIATELY WATERPROOFED AND RE-POINTED AS NECESSARY
- ALL EXISTING WINDOWS TO BE REMOVED AND REPLACED UNLESS OTHERWISE NOTED
- ALL INTERIOR DOORS AND FRAMES TO BE REMOVED AND REPLACED ON FLOORS 1-3, UNLESS OTHERWISE NOTED
- CONTRACTOR RESPONSIBLE FOR SHORING UP ANY WALLS TO BE REMOVED THAT COMPROMISE BEARING CONDITIONS

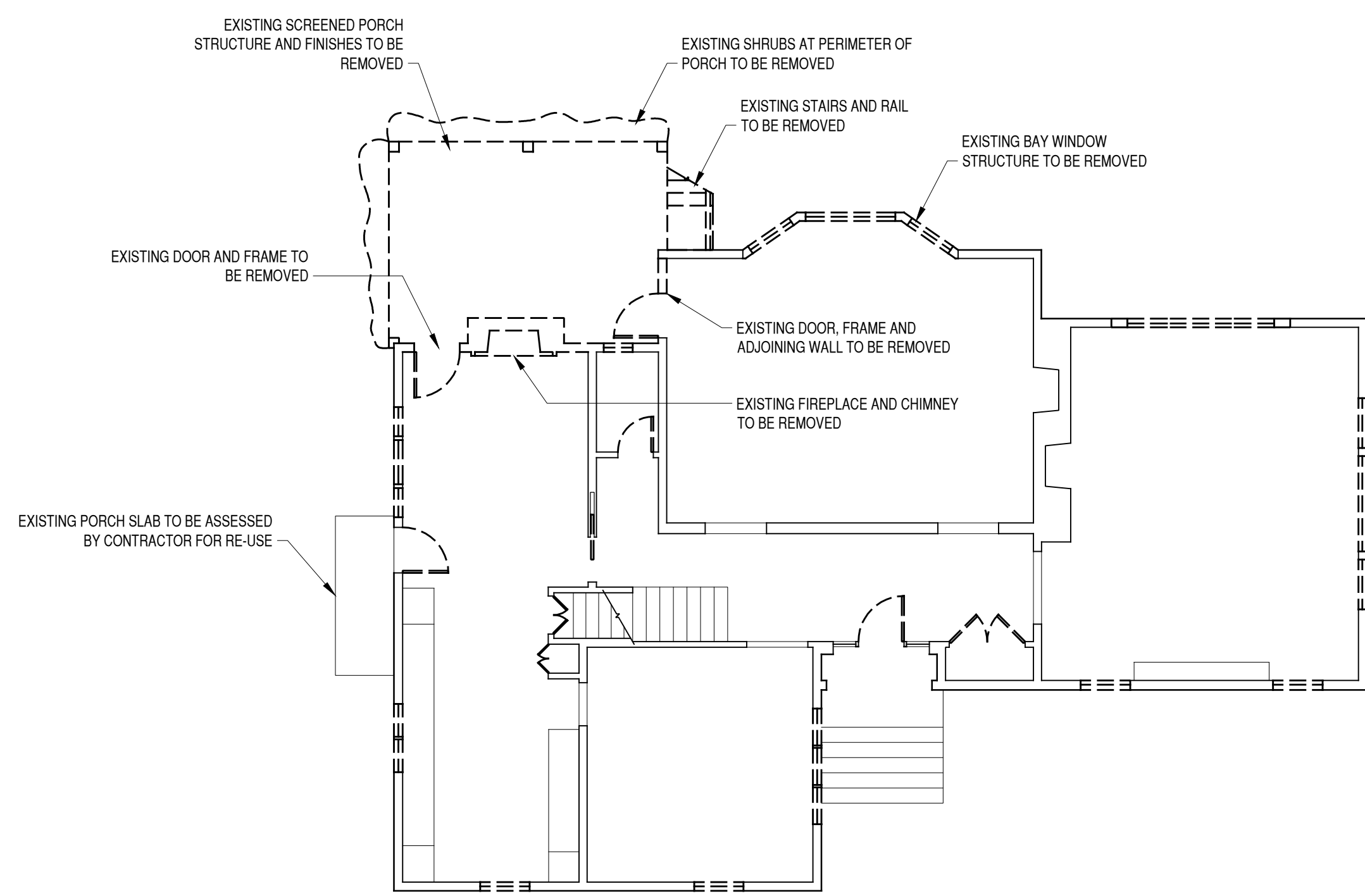
--- WALLS TO BE REMOVED



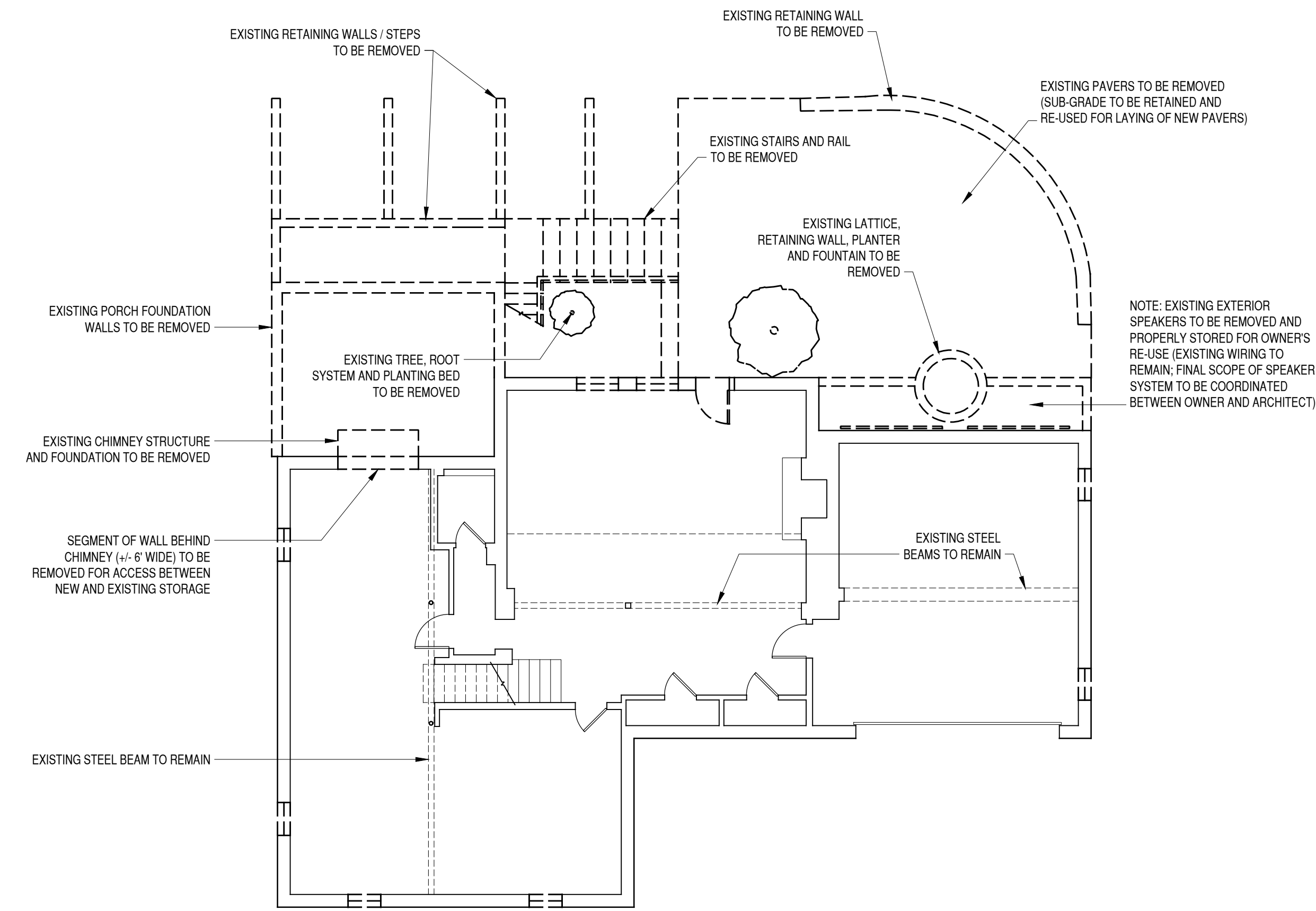
THIRD FLOOR
DEMOLITION PLAN 1/8" = 1'-0"



SECOND FLOOR
DEMOLITION PLAN 1/8" = 1'-0"



FIRST FLOOR
DEMOLITION PLAN 1/8" = 1'-0"



BASEMENT
DEMOLITION PLAN 1/8" = 1'-0"

REVIEWED
By Michael Kyne at 3:37 pm, Jun 24, 2020

APPROVED
Montgomery County
Historic Preservation Commission
Sandra L. Hill

FOWLKES FS STUDIO
1711 Connecticut Ave., NW 204
Washington, DC 20009
(202) 758-5518

LAUREL PARKWAY
10 LAUREL PARKWAY
CHEVY CHASE, MARYLAND 20815

Scope:
INTERIOR RENOVATION OF EXISTING 2-STORY SINGLE-FAMILY DETACHED HOME TO INCLUDE SCREENED PORCH ADDITION

Owner:
Allison & Chris Marvin
10 Laurel Parkway
Chevy Chase, MD 20815

Builder:
TBD

Issue Date:
2020 MARCH 27
2020 MARCH 31
2020 APRIL 10
2020 APRIL 21
2020 APRIL 28
2020 APRIL 30
2020 MAY 26
2020 JUNE 11

PRELIMINARY FRAMING
PRE-STRU. CLIENT CALL
INTERNAL REVIEW
UPDATED FRAMING
FRAMING CHECK SET
HAWP APPLICATION
BID SET w/ INTERIORS PERMIT

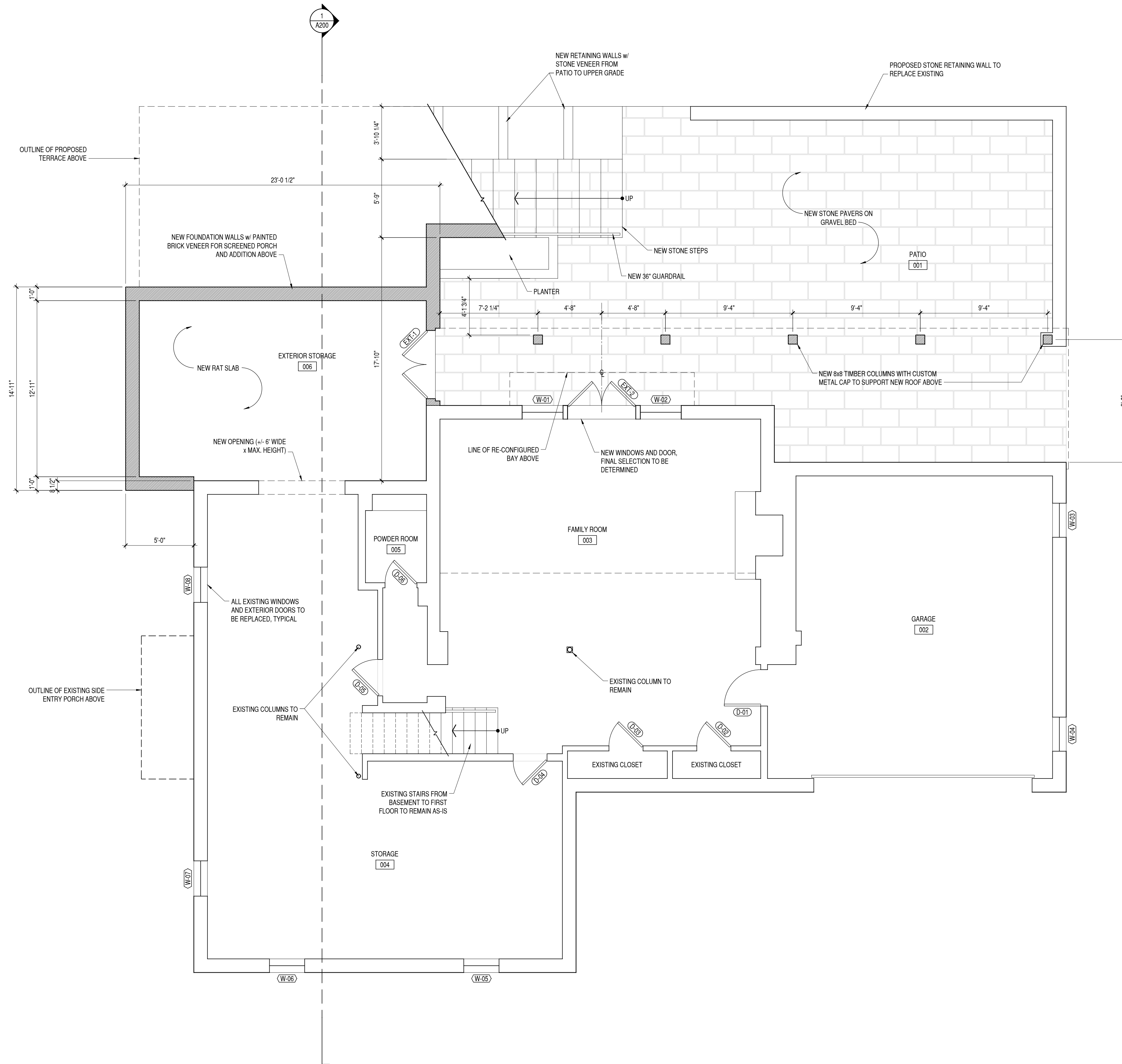


scale: 1/8" = 1'-0"

title: **DEMOLITION PLANS**

number:

D000



BASEMENT FLOOR 1
 PLAN 1/4" = 1'-0"
 [Hatched Box] = NEW WALLS

REVIEWED
 By Michael Kyne at 3:37 pm, Jun 24, 2020

APPROVED
 Montgomery County
 Historic Preservation Commission
Sandra Hilber

FOWLKES FS STUDIO
 1711 Connecticut Ave., NW 204
 Washington, DC 20009
 (202) 758-5518

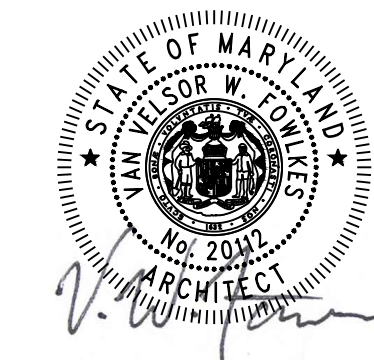
LAUREL PARKWAY
 10 LAUREL PARKWAY
 CHEVY CHASE, MARYLAND 20815

Scope:
 INTERIOR RENOVATION OF EXISTING 2-STORY
 SINGLE-FAMILY DETACHED HOME TO INCLUDE
 SCREENED PORCH ADDITION

Owner:
 Allison & Chris Marvin
 10 Laurel Parkway
 Chevy Chase, MD 20815

Builder:
 TBD

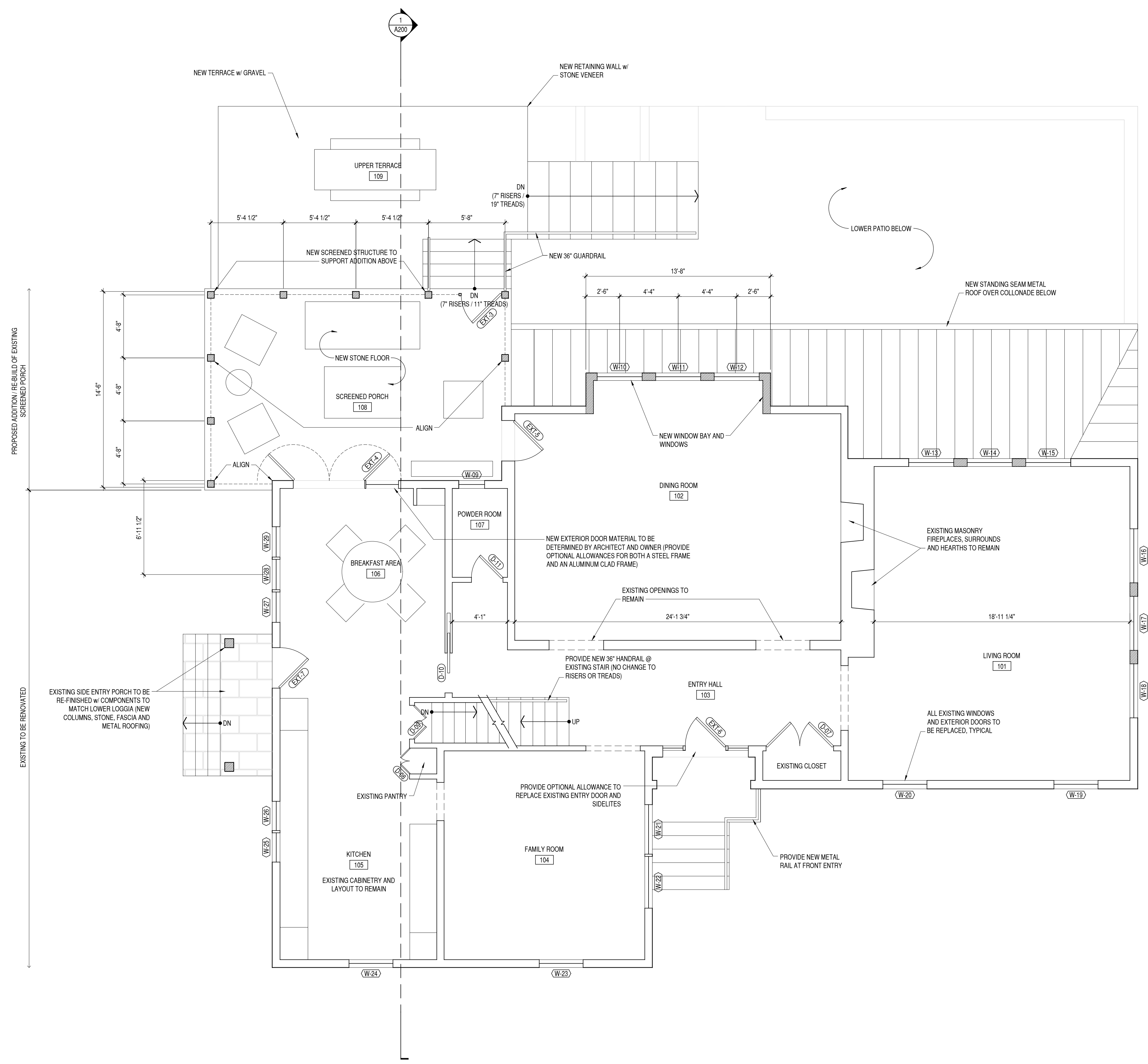
Issue Date:
 2020 MARCH 27 PRELIMINARY FRAMING
 2020 MARCH 31 PRE-STRU. CLIENT CALL
 2020 APRIL 10 INTERNAL REVIEW
 2020 APRIL 21 UPDATED FRAMING
 2020 APRIL 28 FRAMING CHECK SET
 2020 APRIL 30 HAWP APPLICATION
 2020 MAY 26 BID SET w/ INTERIORS
 2020 JUNE 11 PERMIT



scale: 1/4" = 1'-0"

title: **BASEMENT PLAN**

number: **A000**



FIRST FLOOR 1
 PLAN 1/4" = 1'-0"
 = NEW WALLS

REVIEWED
 By Michael Kyne at 3:37 pm, Jun 24, 2020

APPROVED
 Montgomery County
 Historic Preservation Commission
Sandra L. Skiles

FOWLKES FS STUDIO
 1711 Connecticut Ave., NW 204
 Washington, DC 20009
 (202) 758-5518

LAUREL PARKWAY
 10 LAUREL PARKWAY
 CHEVY CHASE, MARYLAND 20815

Scope:
 INTERIOR RENOVATION OF EXISTING 2-STORY SINGLE-FAMILY DETACHED HOME TO INCLUDE SCREENED PORCH ADDITION

Owner:
 Allison & Chris Marvin
 10 Laurel Parkway
 Chevy Chase, MD 20815

Builder:
 TBD

Issue Date:
 2020 MARCH 27 PRELIMINARY FRAMING
 2020 MARCH 31 PRE-STRU. CLIENT CALL
 2020 APRIL 10 INTERNAL REVIEW
 2020 APRIL 21 UPDATED FRAMING
 2020 APRIL 28 FRAMING CHECK SET
 2020 APRIL 30 HAWP APPLICATION
 2020 MAY 26 BID SET w/ INTERIORS PERMIT
 2020 JUNE 11



scale: 1/4" = 1'-0"

title: **FIRST FLOOR PLAN**

number:

A001

REVIEWED
By Michael Kyne at 3:37 pm, Jun 24, 2020

APPROVED
Montgomery County
Historic Preservation Commission
Sandra A. Skiles

FOWLKES FS STUDIO
1711 Connecticut Ave, NW 204
Washington, DC 20009
(202) 758-5518

LAUREL PARKWAY
10 LAUREL PARKWAY
CHEVY CHASE, MARYLAND 20815

Scope:
INTERIOR RENOVATION OF EXISTING 2-STORY
SINGLE-FAMILY DETACHED HOME TO INCLUDE
SCREENED PORCH ADDITION

Owner:
Allison & Chris Marvin
10 Laurel Parkway
Chevy Chase, MD 20815

Builder:
TBD

Issue Date:
2020 MARCH 27
2020 MARCH 31
2020 APRIL 10
2020 APRIL 21
2020 APRIL 28
2020 APRIL 30
2020 MAY 26
2020 JUNE 11

PRELIMINARY FRAMING
PRE-STRU. CLIENT CALL
INTERNAL REVIEW
UPDATED FRAMING
FRAMING CHECK SET
HAWP APPLICATION
BID SET w/ INTERIORS
PERMIT

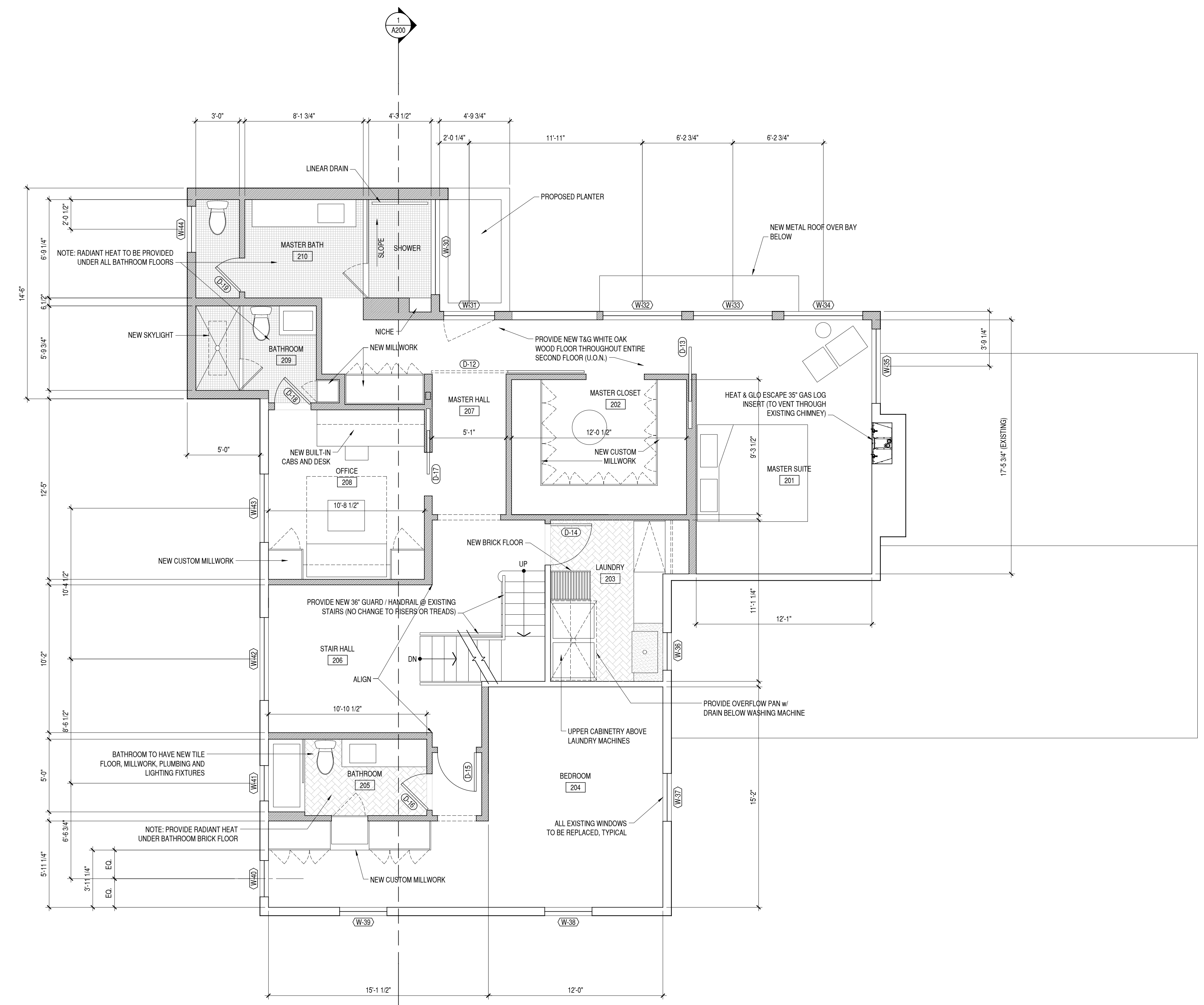


scale: 1/4" = 1'-0"

title: **SECOND FLOOR PLAN**

number:

A002



SECOND FLOOR
PLAN 1
1/4" = 1'-0"
= NEW WALLS

REVIEWED
By Michael Kyne at 3:37 pm, Jun 24, 2020

APPROVED
Montgomery County
Historic Preservation Commission
Sandra D. Hilber

FOWLKES FS STUDIO
1711 Connecticut Ave, NW 204
Washington, DC 20009
(202) 758 - 5518

LAUREL PARKWAY
10 LAUREL PARKWAY
CHEVY CHASE, MARYLAND 20815

Scope:
INTERIOR RENOVATION OF EXISTING 2-STORY
SINGLE-FAMILY DETACHED HOME TO INCLUDE
SCREENED PORCH ADDITION

Owner:
Allison & Chris Marvin
10 Laurel Parkway
Chevy Chase, MD 20815

Builder:
TBD

Issue Date:
2020 MARCH 27 PRELIMINARY FRAMING
2020 MARCH 31 PRE-STRU. CLIENT CALL
2020 APRIL 10 INTERNAL REVIEW
2020 APRIL 21 UPDATED FRAMING
2020 APRIL 28 FRAMING CHECK SET
2020 APRIL 30 HAWP APPLICATION
2020 MAY 26 BID SET w/ INTERIORS
2020 JUNE 11 PERMIT

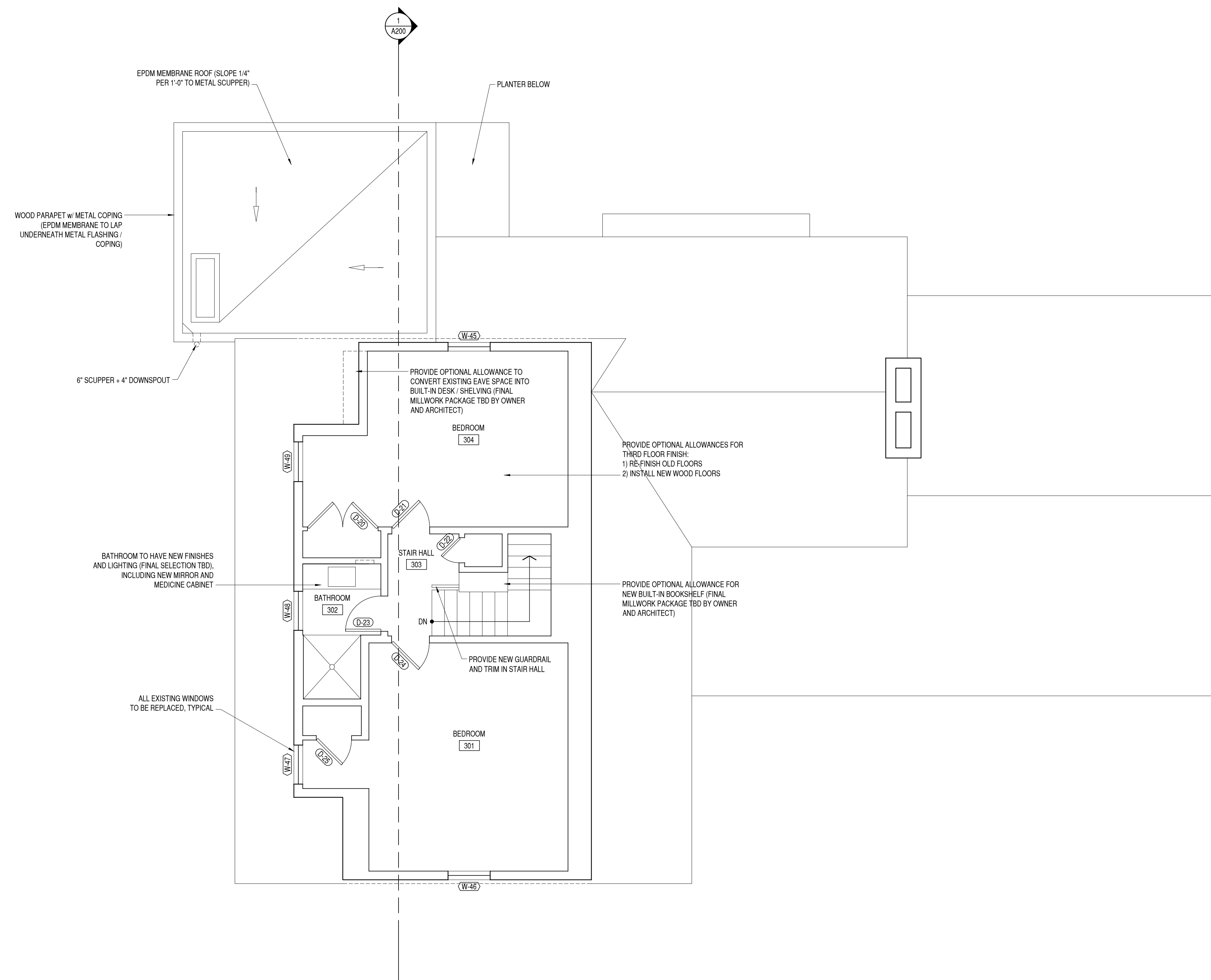


scale: 1/4" = 1'-0"

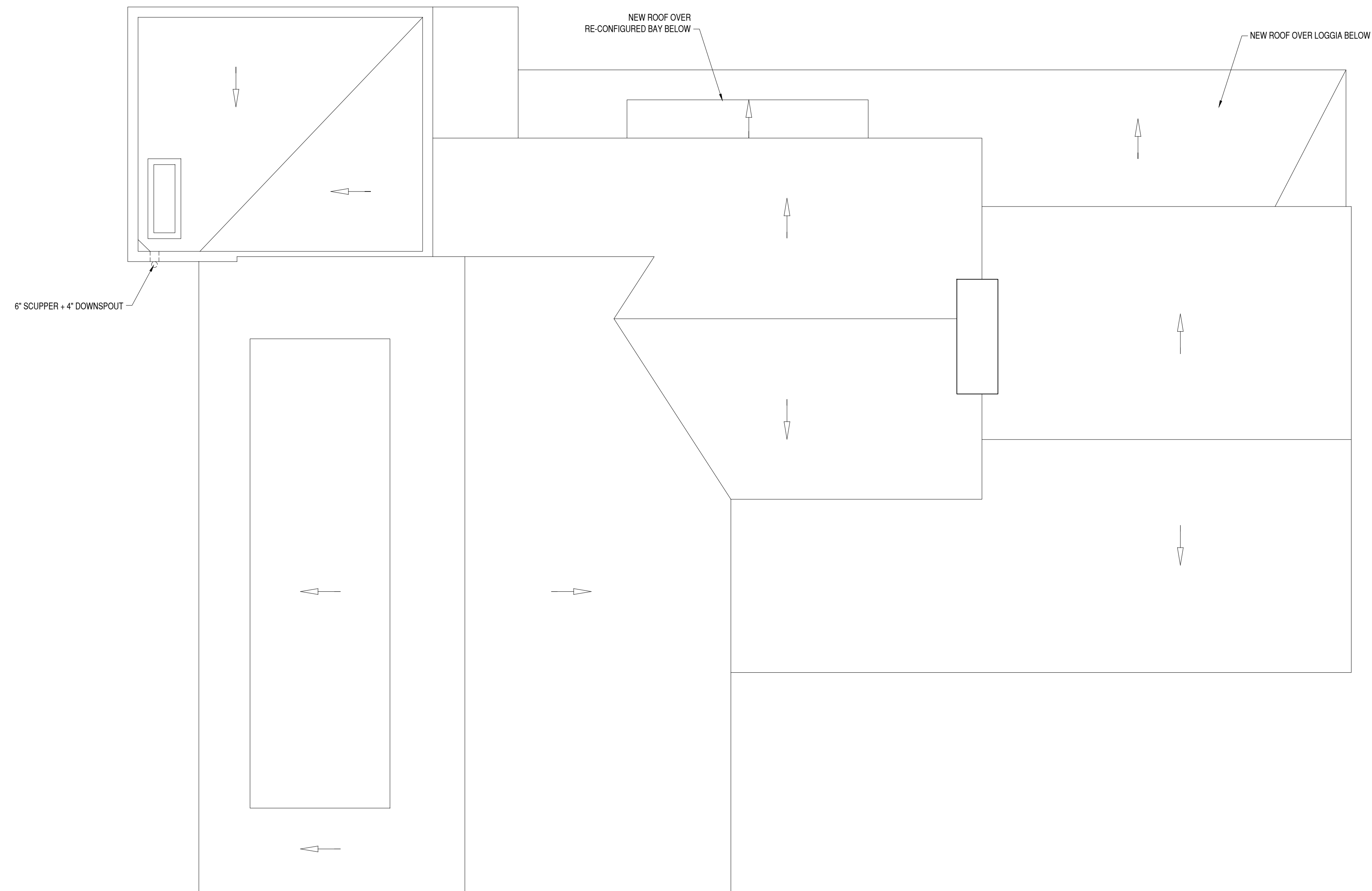
title: **ATTIC PLAN**

number:

A003



ATTIC PLAN 1
1/4" = 1'-0"
= NEW WALLS



ROOF PLAN 1
 1/4" = 1'-0"
 = NEW WALLS

REVIEWED
 By Michael Kyne at 3:37 pm, Jun 24, 2020

APPROVED
 Montgomery County
 Historic Preservation Commission
Sandra A. Heiler

FOWLKES FS STUDIO
 1711 Connecticut Ave, NW 204
 Washington, DC 20009
 (202) 758 - 5518

LAUREL PARKWAY
 10 LAUREL PARKWAY
 CHEVY CHASE, MARYLAND 20815

Scope:
 INTERIOR RENOVATION OF EXISTING 2-STORY
 SINGLE-FAMILY DETACHED HOME TO INCLUDE
 SCREENED PORCH ADDITION

Owner:
 Allison & Chris Marvin
 10 Laurel Parkway
 Chevy Chase, MD 20815

Builder:
 TBD

Issue Date:

2020 MARCH 27	PRELIMINARY FRAMING
2020 MARCH 31	PRE-STRU. CLIENT CALL
2020 APRIL 10	INTERNAL REVIEW
2020 APRIL 21	UPDATED FRAMING
2020 APRIL 28	FRAMING CHECK SET
2020 APRIL 30	HAWP APPLICATION
2020 MAY 26	BID SET w/ INTERIORS
2020 JUNE 11	PERMIT



scale: 1/4" = 1'-0"

title: **ROOF PLAN**

number: **A004**

REVIEWED
By Michael Kyne at 3:37 pm, Jun 24, 2020

APPROVED
Montgomery County
Historic Preservation Commission
Sandra A. Hiler

FOWLKES **FS**
STUDIO
1711 Connecticut Ave, NW 204
Washington, DC 20009
(202) 758 - 5518

LAUREL PARKWAY

10 LAUREL PARKWAY
CHEVY CHASE, MARYLAND 20815

Scope:
INTERIOR RENOVATION OF EXISTING 2-STORY
SINGLE-FAMILY DETACHED HOME TO INCLUDE
SCREENED PORCH ADDITION

Owner:
Allison & Chris Marvin
10 Laurel Parkway
Chevy Chase, MD 20815

Builder:
TBD

Issue Date:
2020 MARCH 27 PRELIMINARY FRAMING
2020 MARCH 31 PRE-STRU. CLIENT CALL
2020 APRIL 10 INTERNAL REVIEW
2020 APRIL 21 UPDATED FRAMING
2020 APRIL 28 FRAMING CHECK SET
2020 APRIL 30 HAWP APPLICATION
2020 MAY 26 BID SET w/ INTERIORS
2020 JUNE 11 PERMIT



scale: 1/4" = 1'-0"

title: **EAST ELEVATION**

number: **A100**



EAST FRONT ELEVATION 1
PROPOSED 1/4" = 1'-0"

REVIEWED
By Michael Kyne at 3:37 pm, Jun 24, 2020

APPROVED
Montgomery County
Historic Preservation Commission
Sandra A. Heiler

FOWLKES **FS**
STUDIO
1711 Connecticut Ave, NW 204
Washington, DC 20009
(202) 758 - 5518

LAUREL PARKWAY
10 LAUREL PARKWAY
CHEVY CHASE, MARYLAND 20815

Scope:
INTERIOR RENOVATION OF EXISTING 2-STORY
SINGLE-FAMILY DETACHED HOME TO INCLUDE
SCREENED PORCH ADDITION

Owner:
Allison & Chris Marvin
10 Laurel Parkway
Chevy Chase, MD 20815

Builder:
TBD

Issue Date:
2020 MARCH 27 PRELIMINARY FRAMING
2020 MARCH 31 PRE-STRU. CLIENT CALL
2020 APRIL 10 INTERNAL REVIEW
2020 APRIL 21 UPDATED FRAMING
2020 APRIL 28 FRAMING CHECK SET
2020 APRIL 30 HAWP APPLICATION
2020 MAY 26 BID SET w/ INTERIORS
2020 JUNE 11 PERMIT

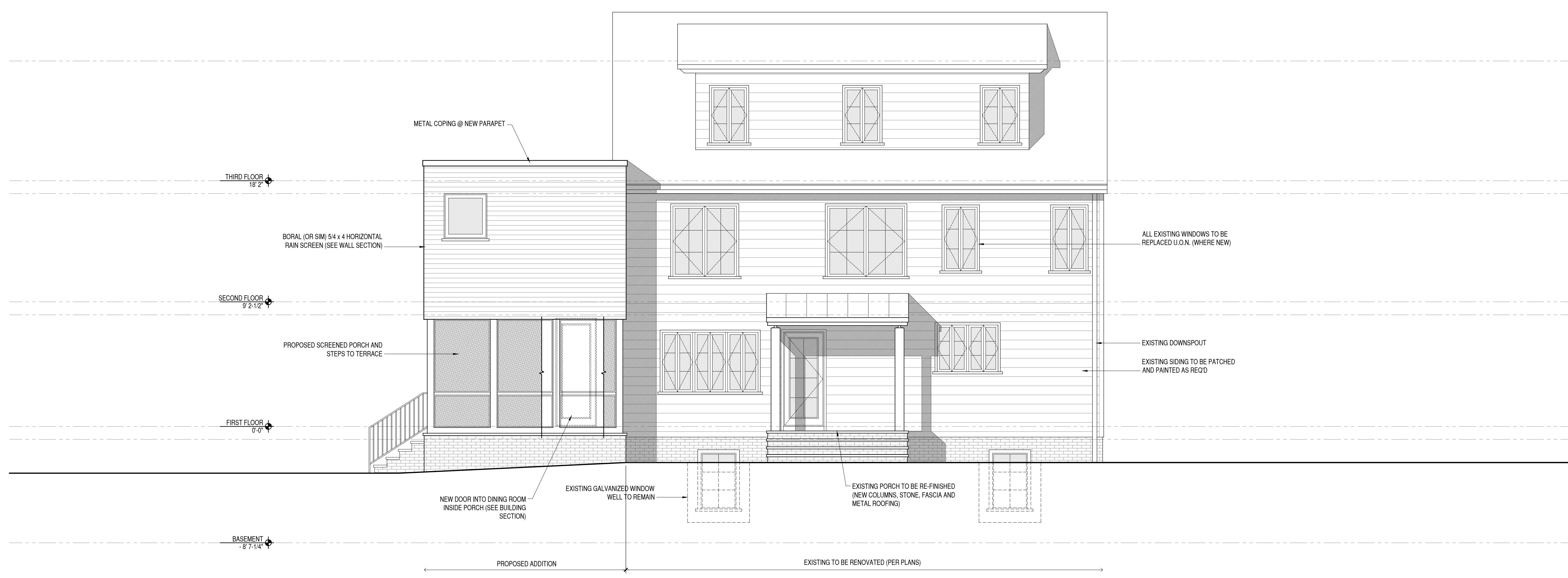


scale: 1/4" = 1'-0"

title: **SOUTH ELEVATION**

number:

A101



SOUTH / SIDE ELEVATION 1
PROPOSED 1/4" = 1'-0"

REVIEWED
By Michael Kyne at 3:37 pm, Jun 24, 2020

APPROVED
Montgomery County
Historic Preservation Commission
Sandra S. Hilder

FOWLKES FS STUDIO
1711 Connecticut Ave, NW 204
Washington, DC 20009
(202) 758 - 5518

LAUREL PARKWAY
10 LAUREL PARKWAY
CHEVY CHASE, MARYLAND 20815

Scope:
INTERIOR RENOVATION OF EXISTING 2-STORY
SINGLE-FAMILY DETACHED HOME TO INCLUDE
SCREENED PORCH ADDITION

Owner:
Allison & Chris Marvin
10 Laurel Parkway
Chevy Chase, MD 20815

Builder:
TBD

Issue Date:
2020 MARCH 27
2020 MARCH 31
2020 APRIL 10
2020 APRIL 21
2020 APRIL 28
2020 APRIL 30
2020 MAY 26
2020 JUNE 11

PRELIMINARY FRAMING
PRE-STRU. CLIENT CALL
INTERNAL REVIEW
UPDATED FRAMING
FRAMING CHECK SET
HAWP APPLICATION
BID SET w/ INTERIORS
PERMIT



scale: 1/4" = 1'-0"

title: **WEST ELEVATION**

number: **A102**



WEST / REAR ELEVATION 1
PROPOSED 1/4" = 1'-0"

REVIEWED
By Michael Kyne at 3:37 pm, Jun 24, 2020

APPROVED
Montgomery County
Historic Preservation Commission
Sandra Heiler

FOWLKES ^{FS}
STUDIO
1711 Connecticut Ave, NW 204
Washington, DC 20009
(202) 758 - 5518

LAUREL PARKWAY

10 LAUREL PARKWAY
CHEVY CHASE, MARYLAND 20815

Scope:
INTERIOR RENOVATION OF EXISTING 2-STORY
SINGLE-FAMILY DETACHED HOME TO INCLUDE
SCREENED PORCH ADDITION

Owner:
Allison & Chris Marvin
10 Laurel Parkway
Chevy Chase, MD 20815

Builder:
TBD

Issue Date:
2020 MARCH 27 PRELIMINARY FRAMING
2020 MARCH 31 PRE-STRU. CLIENT CALL
2020 APRIL 10 INTERNAL REVIEW
2020 APRIL 21 UPDATED FRAMING
2020 APRIL 28 FRAMING CHECK SET
2020 APRIL 30 HAWP APPLICATION
2020 MAY 26 BID SET w/ INTERIORS
2020 JUNE 11 PERMIT



scale: 1/4" = 1'-0"

title: **NORTH ELEVATION**

number:

A103



NORTH / SIDE ELEVATION 1
PROPOSED 1/4" = 1'-0"

REVIEWED
By Michael Kyne at 3:37 pm, Jun 24, 2020

APPROVED
Montgomery County
Historic Preservation Commission
Sandra L. Heiler

FOWLKES FS STUDIO
1711 Connecticut Ave, NW 204
Washington, DC 20009
(202) 758 - 5518

LAUREL PARKWAY
10 LAUREL PARKWAY
CHEVY CHASE, MARYLAND 20815

Scope:
INTERIOR RENOVATION OF EXISTING 2-STORY
SINGLE-FAMILY DETACHED HOME TO INCLUDE
SCREENED PORCH ADDITION

Owner:
Allison & Chris Marvin
10 Laurel Parkway
Chevy Chase, MD 20815

Builder:
TBD

Issue Date:
2020 MARCH 27 PRELIMINARY FRAMING
2020 MARCH 31 PRE-STRU. CLIENT CALL
2020 APRIL 10 INTERNAL REVIEW
2020 APRIL 21 UPDATED FRAMING
2020 APRIL 28 FRAMING CHECK SET
2020 APRIL 30 HAWP APPLICATION
2020 MAY 26 BID SET w/ INTERIORS
2020 JUNE 11 PERMIT

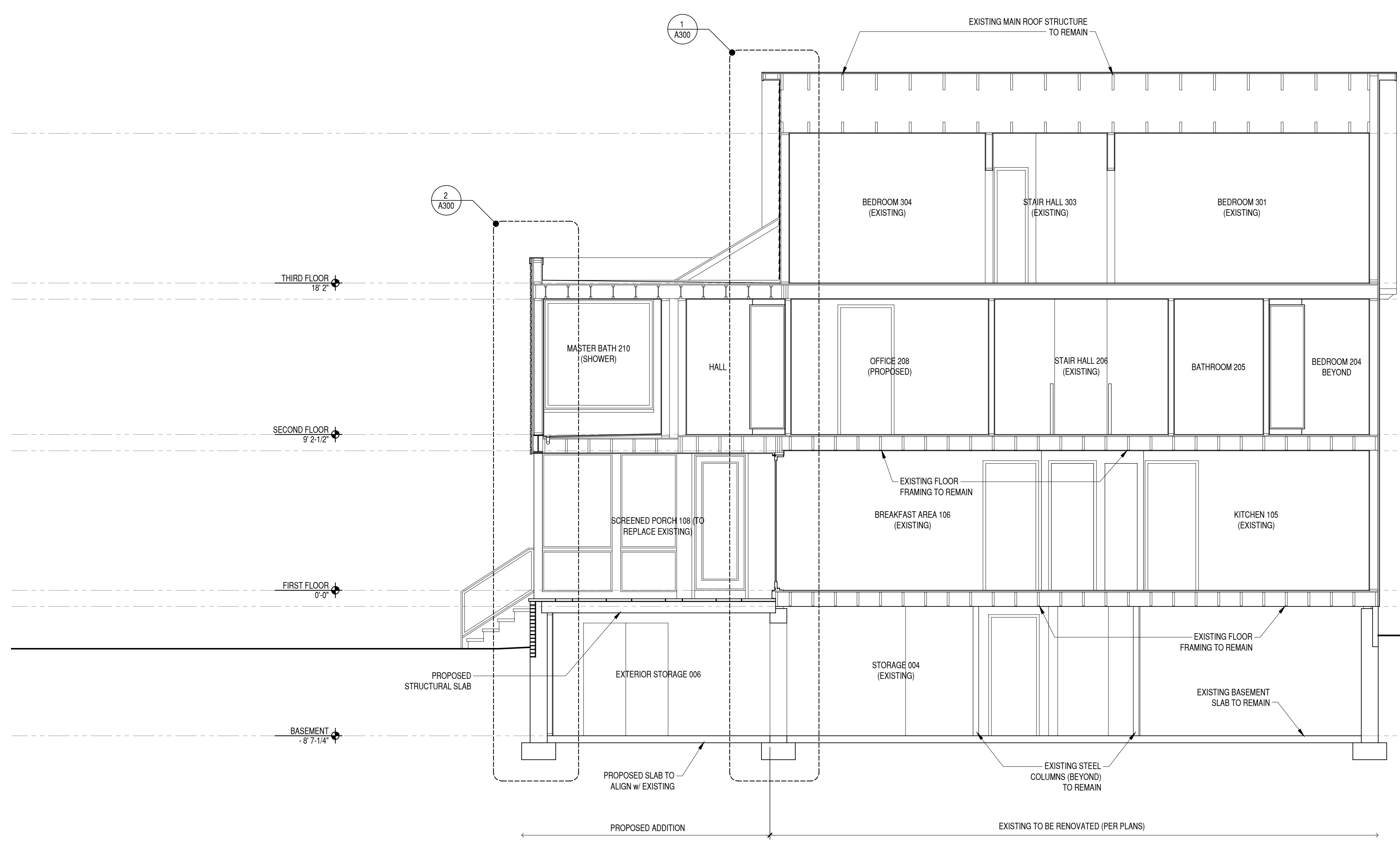


scale: 1/4" = 1'-0"

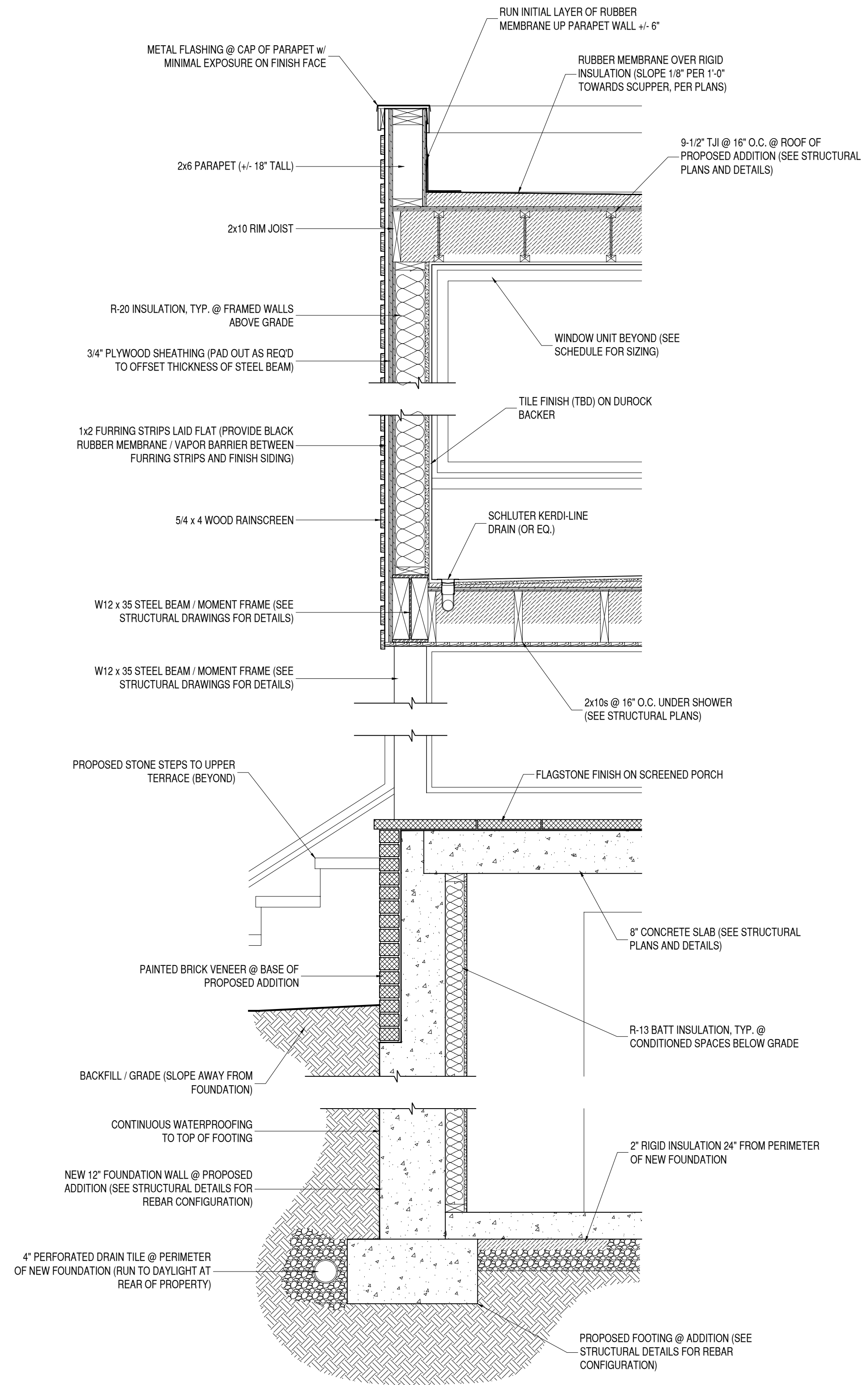
title: **BUILDING SECTION**

number:

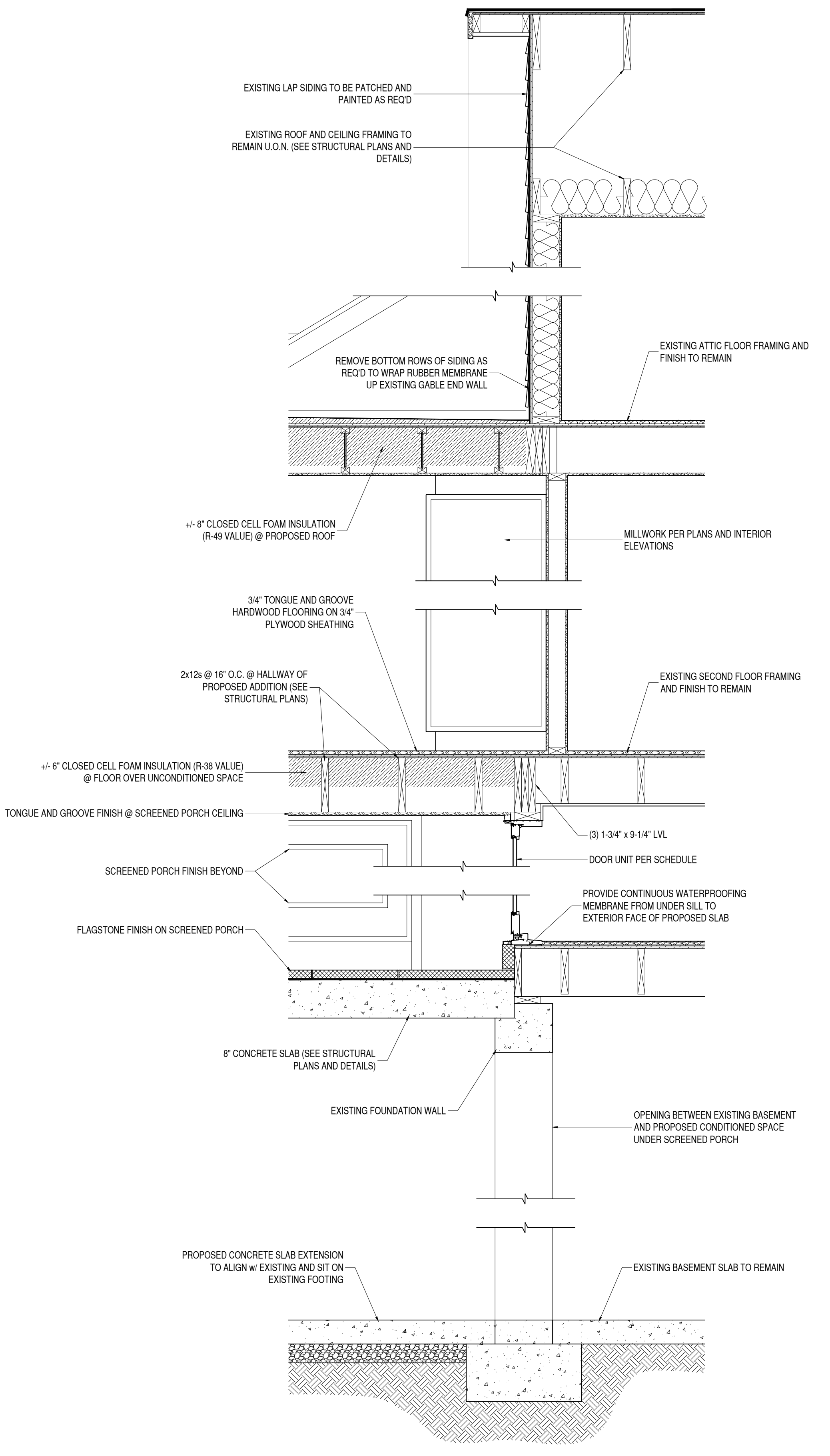
A200



SOUTH / SIDE ELEVATION 1
PROPOSED 1/4" = 1'-0"



WALL SECTION 2
THROUGH PROPOSED EXTERIOR WALL 3/4\"/>



WALL SECTION 1
@ INTERSECTION OF EXISTING AND PROPOSED 3/4\"/>

REVIEWED
By Michael Kyne at 3:37 pm, Jun 24, 2020

APPROVED
Montgomery County
Historic Preservation Commission
Sandra A. Heiler

FOWLKES FS STUDIO
1711 Connecticut Ave., NW 204
Washington, DC 20009
(202) 758-5518

LAUREL PARKWAY
10 LAUREL PARKWAY
CHEVY CHASE, MARYLAND 20815

Scope:
INTERIOR RENOVATION OF EXISTING 2-STORY SINGLE-FAMILY DETACHED HOME TO INCLUDE SCREENED PORCH ADDITION

Owner:
Allison & Chris Marvin
10 Laurel Parkway
Chevy Chase, MD 20815

Builder:
TBD

Issue Date:
2020 MARCH 27 PRELIMINARY FRAMING
2020 MARCH 31 PRE-STRU. CLIENT CALL
2020 APRIL 10 INTERNAL REVIEW
2020 APRIL 21 UPDATED FRAMING
2020 APRIL 28 FRAMING CHECK SET
2020 APRIL 30 HAWP APPLICATION
2020 MAY 26 BID SET w/ INTERIORS PERMIT
2020 JUNE 11



scale: 3/4" = 1'-0"

title: **WALL SECTIONS**

number:

A300

WINDOW & EXTERIOR DOOR SCHEDULE

NO.	LOCATION	TYPE	UNIT SIZE		SILL A.F.F.	FINISH/COLOR	MANUFACTURER	U VALUE	SHGC	EX. OPENING (V.I.F.)	NOTES
			WIDTH	HEIGHT							
W-01	Family Room 003	Fixed	3'-0"	7'-0"	0'-0"	Alum. Clad / Black	Loewen	0.31	0.19		Sidelite
W-02	Family Room 003	Fixed	3'-0"	7'-0"	0'-0"	Alum. Clad / Black	Loewen	0.31	0.19		Sidelite
W-03	Garage 002	Fixed	2'-7"	4'-4 1/2"	2'-10"	Alum. Clad / Black	Loewen	0.31	0.19	Yes	
W-04	Garage 002	Fixed	2'-7"	4'-4 1/2"	2'-10"	Alum. Clad / Black	Loewen	0.31	0.19	Yes	
W-05	Storage 004	Fixed	2'-7"	4'-4 1/2"	2'-6"	Alum. Clad / Black	Loewen	0.31	0.19	Yes	
W-06	Storage 004	Fixed	2'-7"	4'-4 1/2"	2'-6"	Alum. Clad / Black	Loewen	0.31	0.19	Yes	
W-07	Storage 004	Fixed	2'-7"	4'-4 1/2"	2'-6"	Alum. Clad / Black	Loewen	0.31	0.19	Yes	
W-08	Storage 004	Fixed	2'-7"	4'-4 1/2"	2'-6"	Alum. Clad / Black	Loewen	0.31	0.19	Yes	
W-09	Powder Room 107	Casement	1'-11"	4'-4 1/2"	2'-7"	Alum. Clad / Black	Loewen	0.31	0.19	Yes	
W-10	Dining Room 102	French Casement	3'-4"	6'-1"	1'-4 1/2"	Alum. Clad / Black	Loewen	0.31	0.19		
W-11	Dining Room 102	French Casement	3'-4"	6'-1"	1'-4 1/2"	Alum. Clad / Black	Loewen	0.31	0.19		
W-12	Dining Room 102	French Casement	3'-4"	6'-1"	1'-4 1/2"	Alum. Clad / Black	Loewen	0.31	0.19		
W-13	Living Room 101	French Casement	3'-4"	5'-2"	2'-0"	Alum. Clad / Black	Loewen	0.31	0.19		
W-14	Living Room 101	French Casement	3'-4"	5'-2"	2'-0"	Alum. Clad / Black	Loewen	0.31	0.19		
W-15	Living Room 101	French Casement	3'-4"	5'-2"	2'-0"	Alum. Clad / Black	Loewen	0.31	0.19		
W-16	Living Room 101	French Casement	4'-0"	6'-0"	1'-0"	Alum. Clad / Black	Loewen	0.31	0.19		
W-17	Living Room 101	French Casement	4'-0"	6'-0"	1'-0"	Alum. Clad / Black	Loewen	0.31	0.19		
W-18	Living Room 101	French Casement	4'-0"	6'-0"	1'-0"	Alum. Clad / Black	Loewen	0.31	0.19		
W-19	Living Room 101	French Casement	3'-3"	5'-1"	1'-11"	Alum. Clad / Black	Loewen	0.31	0.19	Yes	
W-20	Living Room 101	French Casement	3'-3"	5'-1"	1'-11"	Alum. Clad / Black	Loewen	0.31	0.19	Yes	
W-21	Family Room 104	French Casement	3'-10"	5'-1"	1'-11"	Alum. Clad / Black	Loewen	0.31	0.19		
W-22	Family Room 104	French Casement	3'-10"	5'-1"	1'-11"	Alum. Clad / Black	Loewen	0.31	0.19		
W-23	Family Room 104	French Casement	3'-3"	5'-1"	1'-11"	Alum. Clad / Black	Loewen	0.31	0.19	Yes	
W-24	Kitchen 105	French Casement	3'-3"	5'-1"	1'-11"	Alum. Clad / Black	Loewen	0.31	0.19	Yes	
W-25	Kitchen 105	French Casement	2'-2"	3'-5 1/2"	4'-0 1/2"	Alum. Clad / Black	Loewen	0.31	0.19	Yes	
W-26	Kitchen 105	French Casement	2'-2"	3'-5 1/2"	4'-0 1/2"	Alum. Clad / Black	Loewen	0.31	0.19	Yes	
W-27	Breakfast Area 106	French Casement	2'-3"	4'-5"	2'-6 1/2"	Alum. Clad / Black	Loewen	0.31	0.19		
W-28	Breakfast Area 106	French Casement	2'-3"	4'-5"	2'-6 1/2"	Alum. Clad / Black	Loewen	0.31	0.19		
W-29	Breakfast Area 106	French Casement	2'-3"	4'-5"	2'-6 1/2"	Alum. Clad / Black	Loewen	0.31	0.19		
W-30	Master Bath 210	Fixed	6'-5"	6'-6"	1'-6"	Alum. Clad / Black	Loewen	0.31	0.19		Tempered glazing
W-31	Master Hall 207	Casement (inswing?)	3'-10"	6'-6"	1'-6"	Alum. Clad / Black	Loewen	0.31	0.19		Tempered glazing
W-32	Master Hall 207	Fixed	5'-5"	6'-0"	1'-6"	Alum. Clad / Black	Loewen	0.31	0.19		Tempered glazing
W-33	Master Suite 201	Fixed	5'-5"	6'-0"	1'-6"	Alum. Clad / Black	Loewen	0.31	0.19		Tempered glazing
W-34	Master Suite 201	Fixed	5'-5"	6'-0"	1'-6"	Alum. Clad / Black	Loewen	0.31	0.19		Tempered glazing
W-35	Master Suite 201	Casement	5'-2"	6'-0"	1'-6"	Alum. Clad / Black	Loewen	0.31	0.19		Egress
W-36	Laundry 203	French Casement	2'-7"	3'-5"	3'-4 1/2"	Alum. Clad / Black	Loewen	0.31	0.19	Yes	
W-37	Bedroom 204	French Casement	3'-3"	4'-4 1/2"	2'-5 1/2"	Alum. Clad / Black	Loewen	0.31	0.19	Yes	
W-38	Bedroom 204	French Casement	3'-3"	4'-4 1/2"	2'-5 1/2"	Alum. Clad / Black	Loewen	0.31	0.19	Yes	
W-39	Bedroom 204	French Casement	3'-3"	4'-4 1/2"	2'-5 1/2"	Alum. Clad / Black	Loewen	0.31	0.19	Yes	
W-40	Bedroom 204	French Casement	2'-5"	4'-8"	2'-3"	Alum. Clad / Black	Loewen	0.31	0.19		Tempered glazing
W-41	Bathroom 205	French Casement	2'-5"	4'-8"	2'-3"	Alum. Clad / Black	Loewen	0.31	0.19		
W-42	Stair Hall 206	French Casement	5'-8"	5'-2"	1'-10"	Alum. Clad / Black	Loewen	0.31	0.19		
W-43	Office 208	French Casement	4'-8"	5'-2"	1'-10"	Alum. Clad / Black	Loewen	0.31	0.19		Tempered glazing
W-44	Master Bath 210	Fixed	3'-2"	3'-4"	4'-8"	Alum. Clad / Black	Loewen	0.31	0.19		
W-45	Bedroom 304	French Casement	2'-7"	4'-1"	2'-9 1/2"	Alum. Clad / Black	Loewen	0.31	0.19	Yes	Egress
W-46	Bedroom 301	French Casement	2'-7"	4'-1"	2'-9 1/2"	Alum. Clad / Black	Loewen	0.31	0.19	Yes	Egress
W-47	Bedroom 301	French Casement	2'-7"	4'-1"	2'-9 1/2"	Alum. Clad / Black	Loewen	0.31	0.19	Yes	Tempered glazing
W-48	Bathroom 302	French Casement	2'-7"	4'-1"	2'-9 1/2"	Alum. Clad / Black	Loewen	0.31	0.19	Yes	
W-49	Bedroom 304	French Casement	2'-7"	4'-1"	2'-9 1/2"	Alum. Clad / Black	Loewen	0.31	0.19	Yes	
EXT-1	Exterior Storage 006	Double Inswing	5'-0"	6'-8"	N/A	Alum. Clad / Black	Loewen	0.31	0.19		
EXT-2	Family Room 003	Double Outswing	5'-0"	7'-0"	N/A	Alum. Clad / Black	Loewen	0.31	0.19		
EXT-3	Screened Porch 108	Inswing	3'-0"	8'-5"	N/A	Alum. Clad / Black	Custom	0.31	0.19		Screened door
EXT-4	Breakfast Area 106	Double Outswing w/ sidelite	7'-10"	8'-0"	N/A	Steel	Custom	0.31	0.19		(2) 2'-8" wide panels with 2'-6" sidelite
EXT-5	Dining Room 102	Inswing	3'-0"	8'-0"	N/A	Alum. Clad / Black	Loewen	0.31	0.19		
EXT-6	Entry Hall 103	Inswing	6'-4"	7'-0"	N/A	Mahogany	Custom	0.31	0.19		**Includes sidelites, VIF**
EXT-7	Breakfast Area 106	Inswing	3'-0"	7'-0"	N/A	Alum. Clad / Black	Loewen	0.31	0.19		

NOTE: ALL WINDOW AND DOOR SIZES TO BE REVIEWED WITH ARCHITECT. UNITS NOT LISTED ARE EXISTING AND ARE TO REMAIN AS-IS.

INTERIOR DOOR SCHEDULE

NO.	LOCATION	TYPE	SWING	SIZE		MANUFACTURER	MATERIAL	FINISH	HDWR	SPECIFICATION	NOTES
				WIDTH	HEIGHT						
D-01	Family Room 003	Single	In	2'-8"	7'-0"	TruStile or eq.	Solid Core	Painted			
D-02	Family Room 003 Closet	Single	Out	2'-6"	7'-0"	TruStile or eq.	Wood	Painted			
D-03	Family Room 003 Closet	Single	Out	2'-6"	7'-0"	TruStile or eq.	Wood	Painted			
D-04	Storage 004	Single	In	2'-6"	7'-0"	TruStile or eq.	Wood	Painted			
D-05	Storage 004	Single	In	2'-8"	7'-0"	TruStile or eq.	Wood	Painted			
D-06	Powder Room 007	Single	In	2'-4"	7'-0"	TruStile or eq.	Wood	Painted			
D-07	Entry Hall 103 Closet	Double	Out	5'-0"	7'-6"	TruStile or eq.	Wood	Painted			
D-08	Kitchen 107 Pantry	Double	Out	1'-11"	7'-6"	TruStile or eq.	Wood	Painted			Millwork?
D-09	Kitchen 107 Stair Access	Double	In	2'-6"	7'-6"	TruStile or eq.	Wood	Painted			
D-10	Breakfast Space 106	Single Pocket	N/A	3'-0"	7'-6"	TruStile or eq.	Wood	Painted			
D-11	Powder Room 107	Single	In	2'-4"	7'-6"	TruStile or eq.	Wood	Painted			
D-12	Master Hall 207	Single Barn	N/A	5'-2"	8'-0"	TruStile or eq.	Wood	Painted			Full-height and full hall width (VIF)
D-13	Master Suite 201	Single Pocket	N/A	3'-8"	8'-0"	TruStile or eq.	Wood	Painted			Full-height and full hall width (VIF)
D-14	Laundry 204	Single	In	2'-10"	7'-6"	TruStile or eq.	Wood	Painted			
D-15	Bedroom 204	Single	In	2'-8"	7'-6"	TruStile or eq.	Wood	Painted			
D-16	Bathroom 205	Single	In	2'-6"	7'-6"	TruStile or eq.	Wood	Painted			
D-17	Office 208	Single Pocket	N/A	3'-0"	7'-6"	TruStile or eq.	Wood	Painted			
D-18	Bathroom 209	Single	In	2'-6"	7'-6"	TruStile or eq.	Wood	Painted			
D-19	Master Bathroom 210	Single	In	2'-4"	7'-6"	TruStile or eq.	Wood	Painted			
D-20	Bedroom 304 Closet	Double	Out	4'-8"	7'-0"	TruStile or eq.	Wood	Painted			
D-21	Bedroom 304	Single	In	2'-6"	7'-0"	TruStile or eq.	Wood	Painted			
D-22	Stair Hall 303 Closet	Single	Out	1'-8"	7'-0"	TruStile or eq.	Wood	Painted			
D-23	Bathroom 302	Single	In	2'-4"	7'-0"	TruStile or eq.	Wood	Painted			
D-24	Bedroom 301	Single	In	2'-6"	7'-0"	TruStile or eq.	Wood	Painted			
D-25	Bedroom 301 Closet	Single	Out	2'-4"	7'-0"	TruStile or eq.	Wood	Painted			

NOTE: INTERIOR DOORS NOT REMAINING IN EXISTING LOCATIONS TO BE SALVAGED AND RE-USED ELSEWHERE, IF POSSIBLE. ALL INTERIOR DOORS TO BE ORDERED UNBORED

REVIEWED
By Michael Kyne at 3:37 pm, Jun 24, 2020

APPROVED
Montgomery County
Historic Preservation Commission
Sandra H. Heber

FOWLKES FS STUDIO
1711 Connecticut Ave., NW 204
Washington, DC 20009
(202) 758-5518

LAUREL PARKWAY
10 LAUREL PARKWAY
CHEVY CHASE, MARYLAND 20815

Scope:
INTERIOR RENOVATION OF EXISTING 2-STORY SINGLE-FAMILY DETACHED HOME TO INCLUDE SCREENED PORCH ADDITION

Owner:
Allison & Chris Marvin
10 Laurel Parkway
Chevy Chase, MD 20815

Builder:
TBD

Issue Date:
2020 MARCH 27
2020 MARCH 31
2020 APRIL 10
2020 APRIL 21
2020 APRIL 28
2020 APRIL 30
2020 MAY 26
2020 JUNE 11
PRELIMINARY FRAMING
PRE-STRU. CLIENT CALL
INTERNAL REVIEW
UPDATED FRAMING
FRAMING CHECK SET
HAWP APPLICATION
BID SET w/ INTERIORS
PERMIT



scale: NONE

title: **DOOR & WINDOW SCHEDULES**

number:

A500

GENERAL STRUCTURAL NOTES

A. BUILDING CODES AND STANDARDS

- 1. THE FOLLOWING CODES AND STANDARDS, INCLUDING ALL SPECIFICATION REFERENCED WITHIN, SHALL APPLY TO THE DESIGN, CONSTRUCTION, QUALITY CONTROL AND SAFETY OF ALL WORK PERFORMED ON THE PROJECT.
 - a. "INTERNATIONAL RESIDENTIAL CODE - 2015", INTERNATIONAL CODE COUNCIL
 - b. "MINIMUM DESIGN LOADS FOR BUILDING AND OTHER STRUCTURES", (ANSI/ASCE 7-02-2010) AMERICAN SOCIETY OF CIVIL ENGINEERS.
- 2. ADDITIONAL CODES FOR MATERIALS SHALL BE FOUND IN THE APPROPRIATE SECTIONS THAT FOLLOW. SEE THOSE SECTIONS FOR THE APPLICABLE CODES.

B. DESIGN LOADS

1. GRAVITY - DEAD LOADS

AREA	PSF
a. FLOOR	10
b. ROOF	15
c. BRICK WALLS	100

2. GRAVITY - LIVE LOADS
LIVE LOAD REDUCTION (LLR) APPLIED PER CODE

AREA	PSF
a. SLEEPING ROOMS	30
b. ROOMS OTHER THAN SLEEPING	40

3. GRAVITY - ROOF LIVE LOADS

- a. ROOF LIVE LOAD 30 PSF MINIMUM (SNOW LOAD IS USED WHEN GREATER THAN 30 PSF)
 - (1) $F_{0s} = 25 \text{ PSF}$
 - (2) $F_f = 21 \text{ PSF}$
 - (3) $C_e = 1.0$
 - (4) $I = 1.0$
 - (5) $C_t = 1.2$

4. LATERAL LOADS - WIND

- a. ULTIMATE WIND SPEED 115 MPH
- b. RISK CATEGORY: II
- c. EXPOSURE CATEGORY: B
- d. INTERNAL PRESSURE COEFFICIENT: $G_{Cpi} = +/- 0.18$

5. LATERAL LOADS - SEISMIC

- a. OCCUPANCY CATEGORY [SEISMIC USE GROUP]: II
- b. SEISMIC IMPORTANCE FACTOR: $I_E = 1.0$
- c. MAPPED SPECTRAL RESPONSE ACCELERATIONS :
 - (1) $S_S = 0.125g$
 - (2) $S_1 = 0.055g$
- d. SITE CLASS: D
- e. SPECTRAL RESPONSE COEFFICIENTS :
 - (1) $S_{DS} = 0.133g$
 - (2) $S_{D1} = 0.088g$
- f. SEISMIC DESIGN CATEGORY: B
- g. BASIC SEISMIC-FORCE-RESISTING SYSTEM: EXEMPT BY IRC R301.2.2

6. LATERAL LOADS - EARTH PRESSURE

- a. LATERAL EQUIVALENT FLUID PRESSURE
 - (1) AT REST CONDITION (BRACED WALLS): 60 PSF/FT OF DEPTH
 - (2) ACTIVE CONDITION (GANTILEVERED WALLS): 50 PSF/FT OF DEPTH

C. FOUNDATION / EARTH WORK

1. DESIGN DATA:

- a. FOUNDATIONS HAVE BEEN DESIGNED WITH AN ASSUMED BEARING CAPACITY. THE OWNER HAS NOT PROVIDED A GEOTECHNICAL REPORT FOR THIS PROJECT.
- b. ALL FOUNDATIONS SHALL BEAR A MINIMUM OF 2'-6" BELOW GRADE. IN CASE OF CONFLICT, NOTIFY THE ARCHITECT AND STRUCTURAL ENGINEER IN ADVANCE OF ANY CONSTRUCTION TO ALLOW FOR ADJUSTMENT.

2. FOUNDATION SYSTEM

- a. SPREAD FOOTINGS
 - (1) BUILDING SPREAD AND STRIP FOOTINGS SHALL BEAR ON UNDISTURBED NATURAL SOILS OR PROPERLY PLACED AND COMPACTED ENGINEERED FILL WITH AN ALLOWABLE BEARING PRESSURE OF 1500 PSF.
 - (2) NEW FOOTING BEARING ELEVATIONS ARE TO MATCH ADJACENT EXISTING FOOTING BEARING WHERE APPLICABLE UNLESS INDICATED OTHERWISE ON PLANS.

3. GENERAL

- a. FOLLOW PROPER PROCEDURES FOR EXCAVATION AND PREPARATION OF THE FOUNDATION AND SLAB-ON-GRADE SUBGRADE, INCLUDING COMPACTION PROCEDURES.
- b. CONTRACTOR SHALL VERIFY ALL EXISTING FIELD CONDITIONS THAT MAY AFFECT THE INSTALLATION OF THE FOUNDATION SYSTEM AS SHOWN PRIOR TO STARTING WORK. SEE ALSO NOTES UNDER THE "CONSTRUCTION" SECTION.
- c. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES, EXISTING STRUCTURES, ETC., WHETHER INDICATED OR NOT, WHICH MAY BE AFFECTED BY THE CONSTRUCTION PROCESS.
- d. UTILITY LINES SHALL NOT BE PLACED THROUGH OR BELOW FOUNDATIONS WITHOUT THE STRUCTURAL ENGINEER'S APPROVAL.
- e. BEARING ELEVATIONS INDICATED ON THE DRAWINGS ARE ESTIMATED FROM SOIL BEARING DATA INDICATED IN THE GEOTECHNICAL REPORT. PRIOR TO PLACING FOUNDATIONS, AN EXPERIENCED, QUALIFIED GEOTECHNICAL ENGINEER SHALL MAKE DETERMINATION OF FINAL BEARING ELEVATIONS AND VERIFICATION OF ALLOWABLE BEARING PRESSURE.
- f. CONCRETE FOR FOUNDATIONS SHALL BE POURED ON THE SAME DAY SUBGRADE APPROVAL IS GIVEN BY THE GEOTECHNICAL ENGINEER.
- g. THE SLOPE BETWEEN THE LOWER EDGES OF ADJACENT FOUNDATIONS SHALL NOT EXCEED 45 DEGREES WITH THE HORIZONTAL, UNLESS INDICATED OTHERWISE ON PLANS. MAINTAIN A 1:1 SLOPE FROM BOTTOM EDGE OF ANY EXCAVATION.
- h. FOLLOWING REQUIRED STRIPPING OPERATIONS, ANY PROOFROLLING SHALL BE AS DIRECTED BY AN EXPERIENCED, QUALIFIED GEOTECHNICAL ENGINEER. THE PURPOSE OF THE PROOFROLLING WILL BE TO LOCATE ANY ISOLATED AREAS OF SOFT OR LOOSE SOILS REQUIRING IMPROVEMENT OR REPLACEMENT. SOFT AREAS SHALL BE UNDERCUT AND REPLACED BY PROPERLY COMPACTED MATERIALS.

4. BACKFILL

- a. ALL BACKFILL SHALL BE ACCOMPLISHED USING MATERIAL APPROVED BY THE GEOTECHNICAL ENGINEER, WITH OPTIMUM MOISTURE CONTENT FOR COMPACTION AND SHALL BE FREE OF DEBRIS.
- b. NO BACKFILL MATERIAL SHALL BE PLACED AGAINST FOUNDATION WALLS UNTIL THE UPPER FLOORS BRACING THE WALLS ARE IN PLACE FOR AT LEAST 3 DAYS OR A MINIMUM OF 3000 PSI, OR ADEQUATE TEMPORARY BRACING, AS DESIGNED BY THE CONTRACTOR'S ENGINEER, IS INSTALLED. THE CONTRACTOR'S ENGINEER REGISTERED IN THE PROJECT'S JURISDICTION SHALL DESIGN ANY REQUIRED BRACING. ALL SUBMITTALS SHALL BEAR THE ENGINEER'S SEAL AND SIGNATURE.
- c. WHERE THE FINAL GRADE ELEVATIONS ARE APPROXIMATELY EQUAL ON BOTH SIDES OF A WALL, BACKFILL IN LIFTS TO MAINTAIN LEVEL ELEVATIONS WITHIN 12" ON BOTH SIDES AT ANY TIME.

D. CONSTRUCTION

1. GENERAL

- a. THESE DRAWINGS REPRESENT THE COMPLETED PROJECT WHICH HAS BEEN DESIGNED FOR THE WEIGHTS OF MATERIALS AND FOR THE SUPERIMPOSED LOADS INDICATED ON THE DRAWINGS IN THE DESIGN LOADS SECTION OF THE GENERAL NOTES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALLOWABLE CONSTRUCTION LOADS AND TO PROVIDE PROPER DESIGN AND CONSTRUCTION OF FORMWORK, STAGING, BRACING, SHEETING AND SHORING, RESHORING, ETC. THIS INCLUDES THAT REQUIRED FOR THE CONTRACTOR VEHICLES, FORKLIFTS, MOBILE CRANES, MATERIAL STORAGE, ETC. MEANS AND METHODS OF CONSTRUCTION IS SOLELY THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ANY DRAWINGS AND/OR CALCULATIONS RELATED TO THE MEANS AND METHODS OF CONSTRUCTION (AS NOTED ABOVE) SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER OF RECORD FOR REVIEW AND SHALL BE SIGNED AND SEALED BY AN ENGINEER REGISTERED IN THE PROJECT'S JURISDICTION AND RETAINED BY THE CONTRACTOR.
- b. IN CASE OF CONFLICT BETWEEN THE GENERAL NOTES, DETAILS AND SPECIFICATIONS, THE MOST RIGID REQUIREMENTS SHALL GOVERN.
- c. WORK NOT INCLUDED ON THE DRAWINGS BUT IMPLIED TO BE SIMILAR TO THAT SHOWN AT CORRESPONDING PLACES ELSEWHERE ON THE DRAWINGS SHALL BE REPEATED.
- d. IMPLEMENTING JOB SITE SAFETY AND CONSTRUCTION PROCEDURES ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- e. DRAWINGS SHALL NOT BE SCALED TO OBTAIN LAYOUT INFORMATION OR DIMENSIONS.
- f. ALL DIMENSIONS LOCATING STRUCTURAL ELEMENTS AND SLAB EDGES, ETC., MUST BE VERIFIED WITH THE ARCHITECTURAL DRAWINGS BY THE GENERAL CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCY.
- g. ALL COSTS OF INVESTIGATION AND/OR REDESIGN DUE TO THE CONTRACTOR MIS-LOCATION OF STRUCTURAL ELEMENTS OR OTHER LACK OF CONFORMANCE WITH THE PROJECT DOCUMENTS, SHALL BE AT THE CONTRACTOR'S EXPENSE.
- h. CONTRACTOR SHALL REFER TO ARCHITECTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR SIZE AND LOCATIONS OF OPENINGS, SLEEVES, INSERTS, AND DEPRESSIONS.
- i. SEE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR DETAILED INFORMATION REGARDING FINISHES, FIREPROOFING, WATERPROOFING, ETC.
- j. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF MASONRY AND DRYWALL NON-LOADBEARING PARTITIONS. PROVIDE SLIP CONNECTIONS THAT ALLOW VERTICAL MOVEMENT AT THE HEADS OF ALL SUCH PARTITIONS. UNLESS SHOWN ON THE DRAWINGS, THE CONNECTIONS SHALL BE DESIGNED TO SUPPORT THE TOP OF THE WALLS LATERALLY FOR THE CODE REQUIRED LATERAL LOAD. PROVIDE COMPRESSIBLE FIRESAFING AT THE TOP OF WALL AS REQUIRED BY ARCHITECTURAL DRAWINGS.
- k. UNLESS NOTED OTHERWISE ON THE STRUCTURAL DRAWINGS, CONSTRUCTION SEQUENCE OF THE PRIMARY STRUCTURE SHALL BEGIN AT THE LOWEST LEVEL SHOWN AND PROGRESS UPWARD FROM THAT LEVEL.

2. EXISTING BUILDING

- a. EXISTING BUILDING INFORMATION SHOWN IS BASED ON EXISTING BUILDING DRAWINGS, FIELD OBSERVATIONS, AND/OR ARCHITECTURAL DRAWINGS.
- b. THE CONTRACTOR SHALL VERIFY ALL EXISTING BUILDING INFORMATION SHOWN (DIMENSIONS, ELEVATIONS, ETC.) AND NOTIFY THE ARCHITECT AND STRUCTURAL ENGINEER OF ANY DISCREPANCIES.

E. STRUCTURAL INSPECTION AND TESTING

- 1. THE OWNER WILL ENGAGE A TESTING AGENCY TO PROVIDE SERVICES INDICATED IN THE STRUCTURAL GENERAL NOTES AND IN THE CONTRACT SPECIFICATION.
- 2. AT A MINIMUM, THE INSPECTION WILL CONSIST OF VERIFYING CONFORMANCE OF THE CONSTRUCTION WITH THE STRUCTURAL CONTRACT DOCUMENTS.
- 3. SEE SPECIFIC SECTION OF THESE NOTES AND/OR SPECIFICATIONS FOR TESTING AND INSPECTION SCOPE FOR CONCRETE, STEEL, MASONRY, ETC.
- 4. THESE INSPECTION SERVICES DO NOT RELIEVE THE GENERAL CONTRACTOR OF RESPONSIBILITY FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS.
- 5. WHERE SPECIAL INSPECTIONS ARE REQUIRED BY THE BUILDING CODE OR LOCAL JURISDICTION, THE OWNER'S TESTING AGENCY SHALL PERFORM THE SPECIAL INSPECTION FOR THE SCOPE SHOWN IN THE BUILDING CODE

F. CONCRETE

1. CODES

- a. "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE, ACI 318", AMERICAN CONCRETE INSTITUTE.
- b. "SPECIFICATIONS FOR STRUCTURAL CONCRETE, ACI 301".
- c. "MANUAL OF STANDARD PRACTICE", CONCRETE REINFORCING STEEL INSTITUTE.

2. MATERIALS

- a. THE FOLLOWING ASTM STANDARDS AND DESIGN STRESSES SHALL BE USED FOR THE APPROPRIATE MATERIALS USED IN THE CONSTRUCTION OF THIS PROJECT.

APPLICATION	F_c @ 28 DAYS	WEIGHT (PCF)	WC (MAX)*
FOOTINGS/SLAB ON GRADE	3,000	145	0.55
REINFORCED SLABS	4,500	145	0.58

PUMP MIXES: MAXIMUM WATER/CEMENT RATIO MUST BE MAINTAINED. IF ADDITIONAL WORKABILITY IS REQUIRED FOR PUMPED PLACEMENT, THE HIGH OR MID-RANGE WATER REDUCERS SHALL BE USED IN LIEU OF ADDITIONAL WATER. WATER HELD BACK AT THE PLANT SHALL BE NOTED ON THE BATCH TICKET AND RECORDED ON THE INSPECTOR'S REPORT WHEN SAMPLE CYLINDERS ARE MADE.

- b. CEMENT: ASTM C150; TYPE I OR III
ASTM C150; TYPE II FOR CONCRETE IN CONTACT WITH EARTH
- c. CEMENT SUBSTITUTES: ASTM C595; TYPE IS (LIMIT TO 50% MAX OF CEMENTITIOUS CONTENT BY WEIGHT)
- d. AGGREGATES: ASTM C33 (NORMAL WEIGHT)
- e. AIR: AIR-ENTRAINING ADMIXTURE TO COMPLY WITH ASTM C260.

FOUNDATIONS/REINFORCED SLABS 6% ± 11/2%
*AIR CONTENT OF TROWEL FINISHED FLOORS SHALL NOT EXCEED 3%

- f. REINFORCEMENT:
 - DEFORMED REINFORCING BARS ASTM A615, GRADE 60
 - WELDED WIRE FABRIC (WWF) ASTM A185

g. ANCHORING SYSTEMS:

MANUFACTURERS TRAINING OF ADHESIVE OR MECHANICAL ANCHOR SYSTEMS ARE REQUIRED PRIOR TO ANCHOR INSTALLATION.

ADHESIVE ANCHORS	HILTI HIT-HY150 MAX-SD WITH HAS RODS OR HIT-RE 500-SD WITH HAS RODS SYSTEM OR ENGINEERED EQUAL
EXPANSION ANCHORS	HILTI Kwik BOLT TZ OR ENGINEERED EQUAL
ENGINEERED EQUAL TO REQUIRE SIGNED AND SEALED CALCULATIONS, BY ENGINEER REGISTERED IN PROJECT JURISDICTION FOR STRENGTH DESIGN WITH CRACKED SECTIONS BASED ON ACI APPENDIX D.	

- h. NON-SHRINK GROUT: ASTM C-1107, EUCLID DRY PACK GROUT OR APPROVED EQUAL

3. CAST-IN-PLACE

- a. REINFORCING STEEL CLEAR COVER SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE:

- (1) NON-POST-TENSIONED CONCRETE:
 - CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH 3"
 - CONCRETE EXPOSED TO EARTH OR WEATHER #6 BARS AND LARGER 1 1/2"
 - CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND SLABS, WALLS AND JOISTS #11 BARS AND SMALLER 3/4"
 - BEAMS, AND COLUMNS:
 - PRIMARY REINFORCEMENT, TIES, STIRRUPS, AND SPIRALS 1 1/2"

- b. NO SPLICES OF REINFORCEMENT SHALL BE PERMITTED EXCEPT AS DETAILED OR AUTHORIZED BY THE STRUCTURAL ENGINEER. MAKE BARS CONTINUOUS AROUND CORNERS. WHEN PERMITTED, SPLICES SHALL BE MADE BY CONTACT TENSION LAP SPLICES, UNLESS OTHERWISE NOTED.
- c. WELDED WIRE FABRIC REINFORCEMENT SHALL BE SUPPLIED IN SHEETS, EXCEPT FOR SLAB ON GRADE CONSTRUCTION WHERE ROLLS MAY BE USED. LAP TWO FULL MESH LENGTHS AT SPLICES AND WIRE TOGETHER.

6. MASONRY

1. CODES

- a. "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES, ACI 530 / ASCE 5" AND "SPECIFICATIONS FOR MASONRY STRUCTURES, ACI 530.1 / ASCE 6".

2. MATERIALS

- a. LOAD BEARING CONCRETE HOLLOW AND SOLID - ASTM C90, NORMAL MASONRY UNITS (WEIGHT, NET AREA COMPRESSIVE STRENGTH OF CONCRETE MASONRY UNITS = 1900 PSI).
- b. MORTAR TYPE S (BELOW GRADE)
- c. GROUT ASTM C476, MINIMUM COMPRESSIVE STRENGTH ON NET AREA = 2000 PSI.
- d. HORIZONTAL JOINT REINFORCING ASTM A82, 9 GAGE TRUSS-TYPE GALVANIZED
- e. COMPRESSIVE STRENGTH OF MASONRY $F_m = 1500 \text{ PSI}$, UNIT STRENGTH METHOD OR FRISM TEST METHOD PER ACI 530/ASCE 5

3. GENERAL

- a. PROVIDE STANDARD WEIGHT GALVANIZED HORIZONTAL JOINT REINFORCEMENT IN WALLS AND PARTITIONS AT 16" O.C. UNLESS OTHERWISE SHOWN OR NOTED. PROVIDE ONE PIECE PREFABRICATED UNITS AT 8" O.C. AT ALL WALL CORNERS AND INTERSECTIONS. LAP REINFORCEMENT A MIN OF 2 BARS.
- b. PROVIDE BOND BEAMS WITH #4 HORIZONTAL REINFORCEMENT CONTINUOUS IN ALL MASONRY WALLS AT EACH FRAMING LEVEL.
- c. ALL PIERS AND PARTITIONS SHALL BE BONDED OR ANCHORED TO ADJACENT MASONRY WALLS. PROVIDE TIES TO ADJACENT FLOOR AND ROOF CONSTRUCTION IN ACCORDANCE WITH DETAILS AND DRAWINGS.
- d. IN GROUTED AND/OR REINFORCED MASONRY WALLS, USE MASONRY UNITS WITH CORES THAT ALIGN VERTICALLY TO PROVIDE CONTINUOUS UNOBSTRUCTED CELLS FOR GROUTING AND REINFORCING STEEL PLACEMENT.
- e. LAP SPLICES FOR DEFORMED REINFORCING BARS USED IN MASONRY CONSTRUCTION SHALL BE 50 BAR DIAMETERS.
- f. CONTRACTOR SHALL PROVIDE ADEQUATE BRACING AND SUPPORT FOR ALL MASONRY WORK UNTIL PERMANENT CONSTRUCTION IS IN PLACE.

H. STRUCTURAL STEEL

1. CODES

- a. "STEEL CONSTRUCTION MANUAL", LATEST EDITION, AMERICAN INSTITUTE OF STEEL CONSTRUCTION (INCLUDING SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS, SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A440 BOLTS, AND AISC CODE OF STANDARD PRACTICE WITH EXCEPTION, IF ANY, AS INDICATED IN THE SPECIFICATIONS).
- b. "DETAILING FOR STEEL CONSTRUCTION", AMERICAN INSTITUTE OF STEEL CONSTRUCTION.
- c. "STRUCTURAL WELDING CODE ANSI/AWS D11", AMERICAN WELDING SOCIETY.

2. MATERIALS

- a. ROLLED SHAPES ASTM A992, GRADE 50
- b. CHANNELS, ANGLES AND PLATES ASTM A36
- c. ANCHOR RODS ASTM F1554 GRADE 36 (UNLESS NOTED ON DRAWINGS) A53 A51 OR A53, E10XX
- d. WELDING ELECTRODES
- e. NUTS: FOR ASTM A307 BOLTS: ASTM A563 FOR F1554/36 RODS: ASTM A563 FOR A325 BOLTS: ASTM A563
- f. WASHERS: ASTM F436
- g. NON-SHRINK GROUT: ASTM C-1107, EUCLID DRY PACK GROUT OR APPROVED EQUAL

3. GENERAL

- a. THE GENERAL CONTRACTOR SHALL NOTIFY THE STRUCTURAL ENGINEER OF ANY FABRICATION OR ERECTION ERRORS OR DEVIATIONS AND RECEIVE WRITTEN APPROVAL BEFORE ANY FIELD CORRECTIONS ARE MADE. SEE ADDITIONAL INFORMATION REGARDING THE COST OF SUCH DEVIATIONS IN THE "CONSTRUCTION" SECTION OF THESE NOTES.
- b. GAS CUTTING TORCHES SHALL NOT BE USED TO CORRECT FABRICATION ERRORS WITHOUT THE APPROVAL OF THE STRUCTURAL ENGINEER.

I. WOOD

1. CODES

- a. "DESIGN SPECIFICATIONS," TIMBER CONSTRUCTION MANUAL, AMERICAN INSTITUTE OF TIMBER CONSTRUCTION.
- b. "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" 2001, (WITH SUPPLEMENT), NATIONAL FOREST AND PAPER ASSOCIATION.
- c. "AMERICAN NATIONAL STANDARD FOR WOOD PRODUCTS - STRUCTURAL GLUED LAMINATED TIMBER," ANSI/AITC A1901-A1912, AMERICAN INSTITUTE OF TIMBER CONSTRUCTION.
- d. "PERFORMANCE STANDARD AND POLICIES FOR STRUCTURAL USE PANELS," PRP-108, AMERICAN PLYWOOD ASSOCIATION (APA).

2. MATERIALS

- a. SAWN LUMBER ALL SAWN LUMBER SHALL HAVE 19% MAXIMUM MOISTURE CONTENT AND SHALL BE SURFACE DRY SOUTHERN PINE WITH THE FOLLOWING BASE DESIGN VALUES:

CEILING JOISTS / RAFTER / BEAMS:	NUMBER 1 OR BETTER
$F_b = 1250 \text{ psi}$	$F_c \text{ (PAR)} = 1600 \text{ psi}$
$F_t = 675 \text{ psi}$	$F_c \text{ (PERP)} = 565 \text{ psi}$
	$F_v = 90 \text{ psi}$
	$E = 1,700,000 \text{ psi}$

LOAD BEARING WALLS / COLUMNS:	NUMBER 2 OR BETTER
$F_b = 1500 \text{ psi}$	$F_c \text{ (PAR)} = 1650 \text{ psi}$
$F_t = 825 \text{ psi}$	$F_c \text{ (PERP)} = 565 \text{ psi}$
	$F_v = 90 \text{ psi}$
	$E = 1,600,000 \text{ psi}$

NON-LOAD BEARING WALLS:	STUD GRADE
$F_b = 875 \text{ psi}$	$F_c \text{ (PAR)} = 975 \text{ psi}$
$F_t = 675 \text{ psi}$	$F_c \text{ (PERP)} = 565 \text{ psi}$
	$F_v = 90 \text{ psi}$
	$E = 1,400,000 \text{ psi}$

- b. MANUFACTURED WOOD BEAMS UTILITY GLULAM FRAMING MEMBERS SHALL BE :MICROLLAM, "PARALLAM", "GP LAM LVL", OR APPROVED EQUAL WITH THE FOLLOWING MECHANICAL PROPERTIES AND MINIMUM STRENGTH VALUES:

$F_b = 2600 \text{ psi}$	$F_c \text{ (PAR)} = 2510 \text{ psi}$	$F_v = 285 \text{ psi}$
	$F_c \text{ (PERP)} = 750 \text{ psi}$	$E = 1,900,000 \text{ psi}$

SIZE	SHEAR	MOMENT
1 3/4" x 5 1/2"	1830 LBS	2125 FT-LBS
1 3/4" x 7 1/4"	2410 LBS	3555 FT-LBS
1 3/4" x 9 1/4"	3075 LBS	5600 FT-LBS
1 3/4" x 9 1/2"	3160 LBS	5885 FT-LBS
1 3/4" x 11 1/4"	3740 LBS	8070 FT-LBS
1 3/4" x 11 7/8"	3950 LBS	8425 FT-LBS
1 3/4" x 14"	4655 LBS	12130 FT-LBS
*1 3/4" x 16"	5220 LBS	15555 FT-LBS
*1 3/4" x 18"	5985 LBS	19575 FT-LBS

* MUST BE USED IN JOISTS.

c. MANUFACTURED I-JOISTS

- (1) MEMBER DESIGNATIONS AND PROPERTIES ARE BASED ON TRUS JOIST TJ1 CATALOG. FRAMING BY OTHER MANUFACTURERS MAY BE SUPPLIED PROVIDED SECTION PROPERTIES EQUAL OR EXCEED THOSE SPECIFIED AND IF APPROVED BY THE ARCHITECT AND STRUCTURAL ENGINEER.

d. MANUFACTURED WOOD COLUMNS

- UTILITY GLULAM FRAMING MEMBERS SHALL BE "2.0E PARALLAM PSL" OR APPROVED EQUAL WITH THE FOLLOWING MECHANICAL PROPERTIES AND MINIMUM STRENGTH VALUES:

$F_b = 2900 \text{ psi}$	$F_c \text{ (PAR)} = 2900 \text{ psi}$	$F_v = 290 \text{ psi}$
	$F_c \text{ (PERP)} = 650 \text{ psi}$	$E = 2,000,000 \text{ psi}$

e. APA PERFORMANCE RATED PLYWOOD PANELS

- (1) PLYWOOD ROOF SHEATHING 19/32 THICK, EXPOSURE I, SPAN RATING 40/20
- (2) PLYWOOD WALL SHEATHING 15/32 THICK, EXPOSURE I, SPAN RATING 32/16
- (3) PLYWOOD FLOOR SHEATHING 23/32 THICK, STURD-FLOOR, TONGUE AND GROOVE EDGES, EXPOSURE I, SPAN RATING 24'-0".

3. SAWN LUMBER

- a. SEE INTERNATIONAL BUILDING CODE CHAPTER 23, TABLE 2304.9.1 FOR MINIMUM BRACING AND FASTENING.
- b. MEMBERS SHALL BE SET WITH CROWN SIDE UP AND HAVE A MINIMUM OF 3" BEARING.
- c. MEMBERS FRAMING TO BEAMS, HEADERS ETC. SHALL BE SECURED WITH SIMPSON STRONG-TIE FRAMING ANCHORS OR APPROVED EQUAL, UNLESS OTHERWISE NOTED OR SHOWN.
- d. ALL JOISTS AND RAFTERS SHALL BE RIGIDLY BRIDGED AT INTERVALS NOT EXCEEDING 8'-0".
- e. USE 1/2" DIAMETER LAG SCREWS OR THRU BOLTS AT 24" O.C. TO JOIN MULTIPLE 2x BEAMS OR GIRDERS SO THAT LOAD DISTRIBUTES EQUALLY. FOLLOW MANUFACTURER'S INSTRUCTIONS FOR JOINING MULTIPLE LVL'S AND PSL'S.
- f. PROVIDE CONTINUOUS SOLID BLOCKING UNDER CONCENTRATED LOADS DOWN THROUGH FLOOR FRAMING TO SLAB ON GRADE OR FOUNDATIONS.
- g. ALL WOOD SILL PLATES SHALL BE ANCHORED TO GROUT FILLED CMU OR CONCRETE FOUNDATIONS WITH 1/2" DIAMETER ANCHORS AT 4'-0" O.C. OR 2 ANCHORS MINIMUM PER MEMBER. ANCHOR BOLTS SHALL BE EMBEDDED A MINIMUM OF 15" INTO MORTAR GROUT AND 8" INTO CAST-IN-PLACE CONCRETE FOUNDATIONS.
- h. ALL BOLTS AND LAG SCREWS SHALL BE FITTED WITH GALVANIZED, MALLEABLE IRON OR STEEL PLATE WASHERS.

4. PLYWOOD PANELS

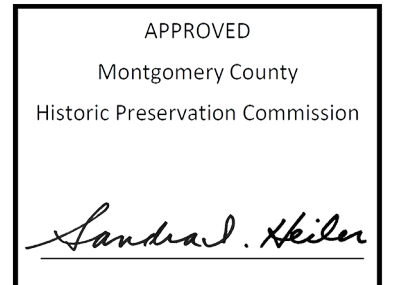
- a. FACTORY-MARK EACH CONSTRUCTION PANEL WITH APA TRADEMARK EVIDENCING COMPLIANCE WITH GRADE REQUIREMENTS.
- b. INSTALL PANELS WITH FACE GRAIN PERPENDICULAR TO THE SUPPORTING MEMBERS, UNLESS SHOWN OTHERWISE.
- c. FLOOR SHEATHING IN ALL PUBLIC AREAS NOTED ON PLANS (CORRIDORS, LOBBIES, ASSEMBLY AREAS, ETC) SHALL BE GLUED AND SCREWED TO ALL SUPPORTS. ALL PANEL EDGES SHALL BE BLOCKED. ALL TONGUE AND GROOVE JOINTS SHALL BE GLUED.
- d. FLOOR SHEATHING IN ALL OTHER AREAS SHALL BE GLUED AND NAILED TO ALL SUPPORTS.

5. WOOD PRESERVATIVE TREATMENT

- a. WHERE LUMBER OR PLYWOOD IS INDICATED AS "TREATED", COMPLY WITH APPLICABLE REQUIREMENTS OF AMERICAN WOOD PRESERVERS ASSOCIATION (AWPA) STANDARDS C2 (LUMBER) AND C9 (PLYWOOD) AND WITH ANWB STANDARDS LISTED BELOW. MARK EACH TREATED ITEM WITH THE ANWB QUALITY MARK REQUIREMENTS.
- b. PRESSURE TREAT ABOVE-GROUND ITEMS WITH WATER-BORNE PRESERVATIVES TO COMPLY WITH AMERICAN WOOD PRESERVERS BUREAU (AWPB) LP-2. AFTER TREATMENT, KILN-DRY LUMBER AND PLYWOOD TO A MAXIMUM MOISTURE CONTENT, RESPECTIVELY, OF 10 PERCENT AND 15 PERCENT.
- c. TREAT INDICATED ITEMS AND WOOD SILL'S, SLEEPERS, BLOCKING AND SIMILAR CONCEALED MEMBERS IN CONTACT WITH MASONRY OR CONCRETE.

REVIEWED

By Michael Kyme at 3:39 pm, Jun 24, 2020



FOWLKES FS STUDIO

1711 Connecticut Ave., NW 204
Washington, DC 20009
(202) 778-5518

LAUREL PARKWAY

10 LAUREL PARKWAY
CHEVY CHASE, MARYLAND 20815

Scope:

INTERIOR RENOVATION OF EXISTING 2-STORY SINGLE-FAMILY DETACHED HOME TO INCLUDE SCREENED PORCH ADDITION

Owner:

Allison & Chris Marvin
10 Laurel Parkway
Chevy Chase, MD 20815

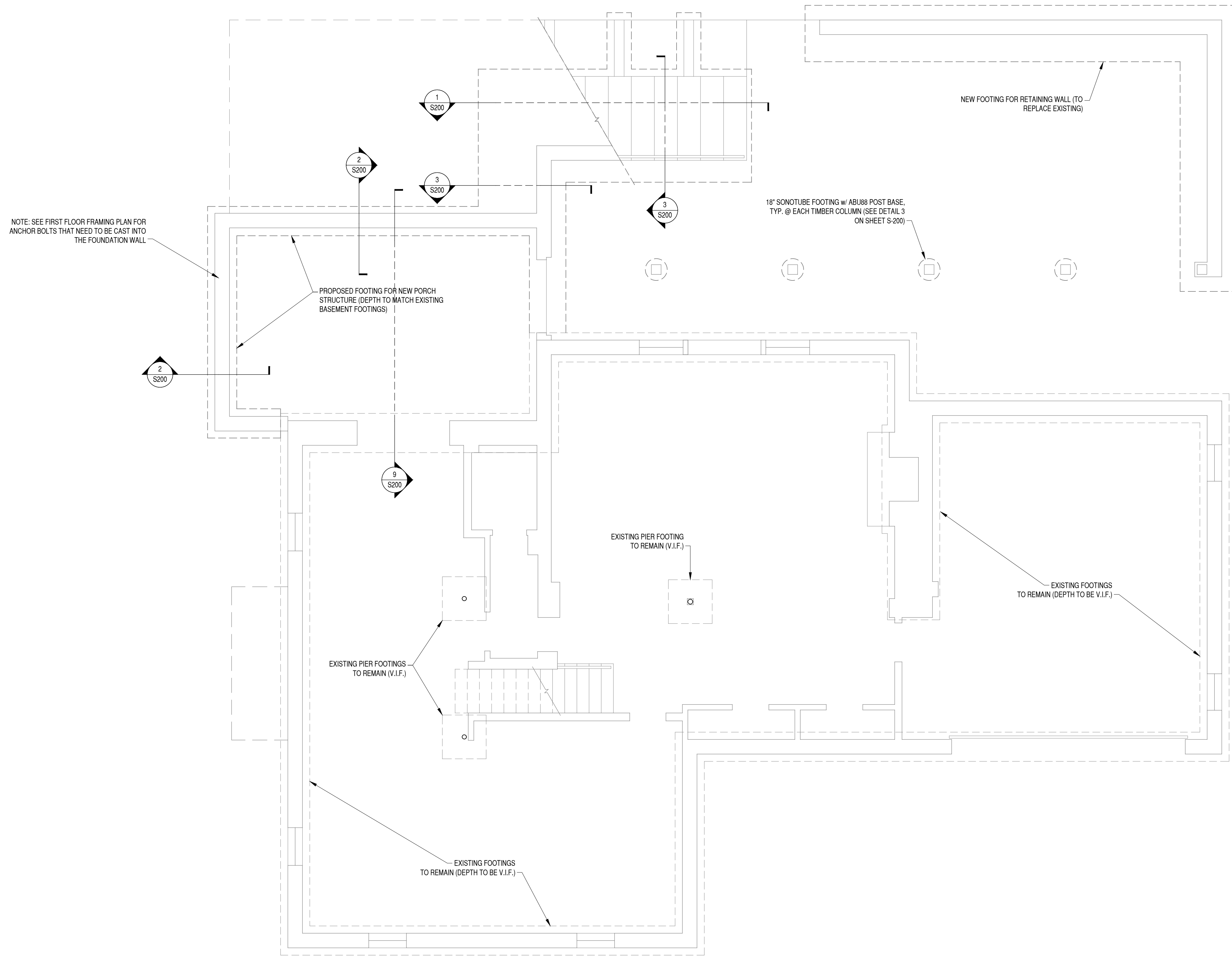
Builder:

TBD

Issue Date:

2020 MARCH 27
2020 MARCH 31
2020 JUNE 11

PRELIMINARY FRAMING
PRE-



PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 27100 / EXPIRATION DATE 01-25-2022

FOUNDATION PLAN 1/4" = 1'-0"

REVIEWED
By Michael Kyne at 3:37 pm, Jun 24, 2020

APPROVED
Montgomery County
Historic Preservation Commission
Sandra L. Skiles

FOWLKES STUDIO ^{FS}
1711 Connecticut Ave, NW 204
Washington, DC 20009
(202) 758-5518

LAUREL PARKWAY

10 LAUREL PARKWAY
CHEVY CHASE, MARYLAND 20815

Scope:
INTERIOR RENOVATION OF EXISTING 2-STORY SINGLE-FAMILY DETACHED HOME TO INCLUDE SCREENED PORCH ADDITION

Owner:
Allison & Chris Marvin
10 Laurel Parkway
Chevy Chase, MD 20815

Builder:
TBD

Issue Date:
2020 MARCH 27 PRELIMINARY FRAMING
2020 MARCH 31 PRE-STRU. CLIENT CALL
2020 APRIL 10 INTERNAL REVIEW
2020 APRIL 21 UPDATED FRAMING
2020 APRIL 28 FRAMING CHECK SET
2020 APRIL 30 HAWP APPLICATION
2020 MAY 26 BID SET w/ INTERIORS PERMIT
2020 JUNE 11

Digitally signed by Garner Duvall
DN: CN=Garner Duvall,
OU=AD1410C00000165B36287FF00000D6F,
C=US
Location: MD
Reason: I agree to the terms defined by the
placement of my signature on this document
Contact Info: gwd@rath-goss.com
Date: 2020.06.11 16:14:13-04'00'

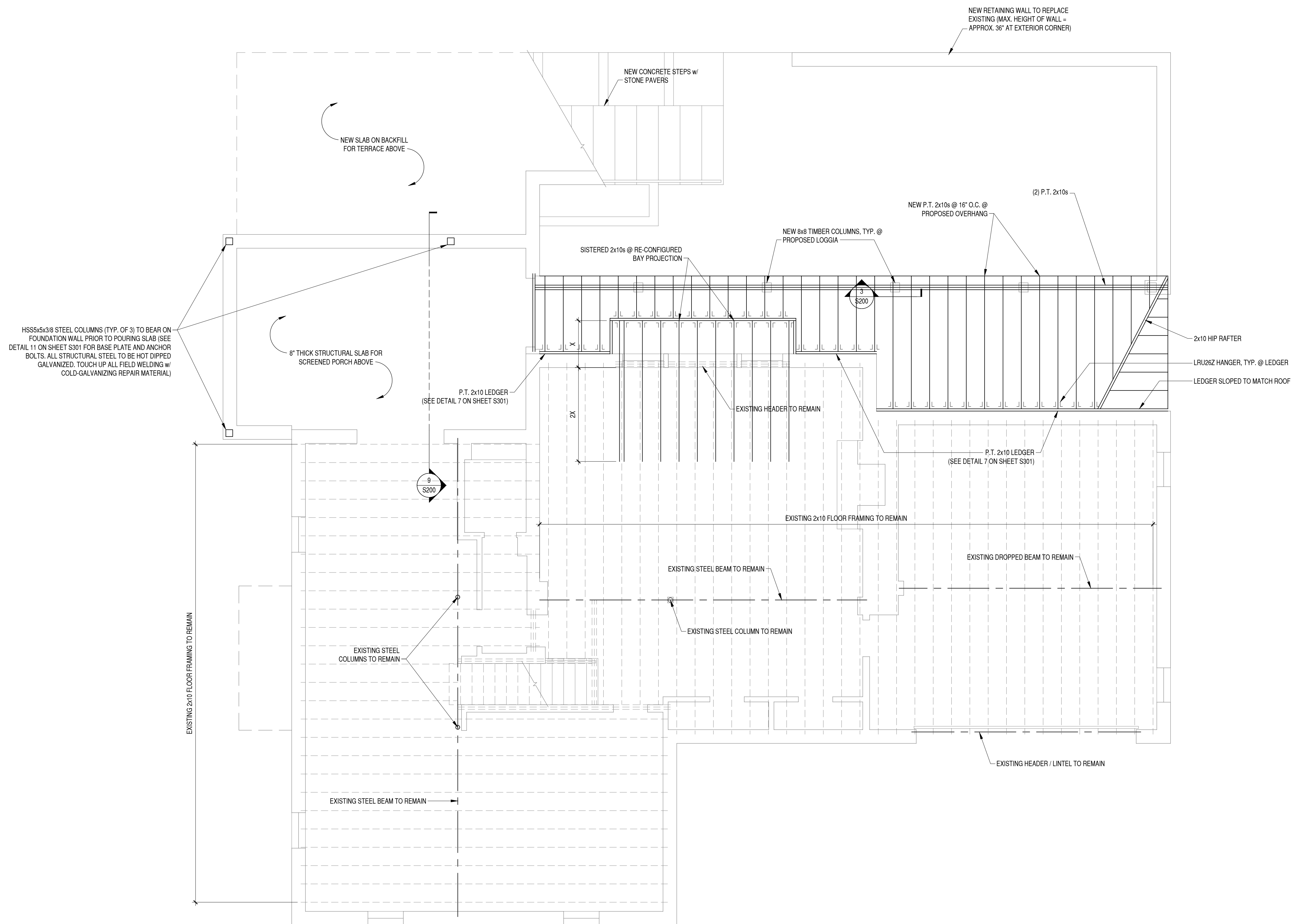


scale: 1/4" = 1'-0"

title: **FOUNDATION PLAN**

number:

S100



REVIEWED
By Michael Kyne at 3:37 pm, Jun 24, 2020

APPROVED
Montgomery County
Historic Preservation Commission
Sandra D. Heiler



LAUREL PARKWAY
10 LAUREL PARKWAY
CHEVY CHASE, MARYLAND 20815

Scope:
INTERIOR RENOVATION OF EXISTING 2-STORY SINGLE-FAMILY DETACHED HOME TO INCLUDE SCREENED PORCH ADDITION

Owner:
Allison & Chris Marvin
10 Laurel Parkway
Chevy Chase, MD 20815

Builder:
TBD

Issue Date:
2020 MARCH 27 PRELIMINARY FRAMING
2020 MARCH 31 PRE-STRU. CLIENT CALL
2020 APRIL 10 INTERNAL REVIEW
2020 APRIL 21 UPDATED FRAMING
2020 APRIL 28 FRAMING CHECK SET
2020 APRIL 30 HAWP APPLICATION
2020 MAY 26 BID SET w/ INTERIORS PERMIT
2020 JUNE 11

Digitally signed by Garner Duvall
DN: CN=Garner Duvall,
OU=A01410C00000168B36287FF00000D6F,
O=Unaffiliated, C=US
Location: MD
Reason: I agree to the terms defined by the
placement of my signature on this document.
Contact Info: gwd@ralph-goss.com
Date: 2020.06.11 16:11:40-04'00'

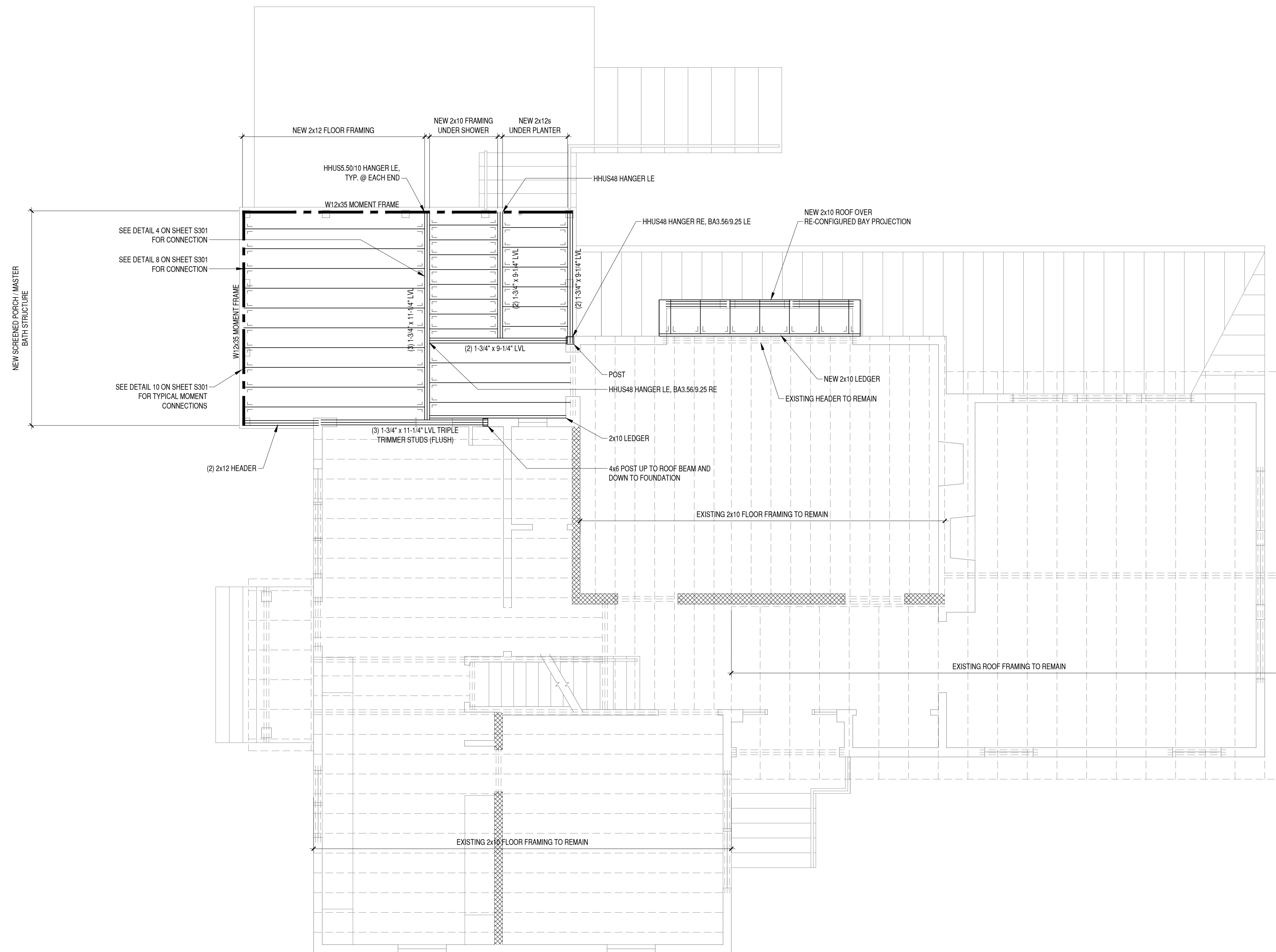
scale: 1/4" = 1'-0"

title: **FIRST FLOOR FRAMING PLAN**

number: **S101**

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 27100 EXPIRATION DATE 01-25-2022

FIRST FLOOR 1
FRAMING PLAN 1/4" = 1'-0"



PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 27100 / EXPIRATION DATE 01-25-2022

SECOND FLOOR FRAMING PLAN 1/4" = 1'-0" = INTERIOR BEARING WALL

REVIEWED
By Michael Kyne at 3:37 pm, Jun 24, 2020

APPROVED
Montgomery County
Historic Preservation Commission
Sandra A. Heiler

FOWLKES STUDIO
1711 Connecticut Ave, NW 204
Washington, DC 20009
(202) 758 - 5518

LAUREL PARKWAY
10 LAUREL PARKWAY
CHEVY CHASE, MARYLAND 20815

Scope:
INTERIOR RENOVATION OF EXISTING 2-STORY SINGLE-FAMILY DETACHED HOME TO INCLUDE SCREENED PORCH ADDITION

Owner:
Allison & Chris Marvin
10 Laurel Parkway
Chevy Chase, MD 20815

Builder:
TBD

Issue Date:
2020 MARCH 27
2020 MARCH 31
2020 APRIL 10
2020 APRIL 21
2020 APRIL 28
2020 APRIL 30
2020 MAY 26
2020 JUNE 11
PRELIMINARY FRAMING
PRE-STRU. CLIENT CALL
INTERNAL REVIEW
UPDATED FRAMING
FRAMING CHECK SET
HAWP APPLICATION
BID SET w/ INTERIORS PERMIT

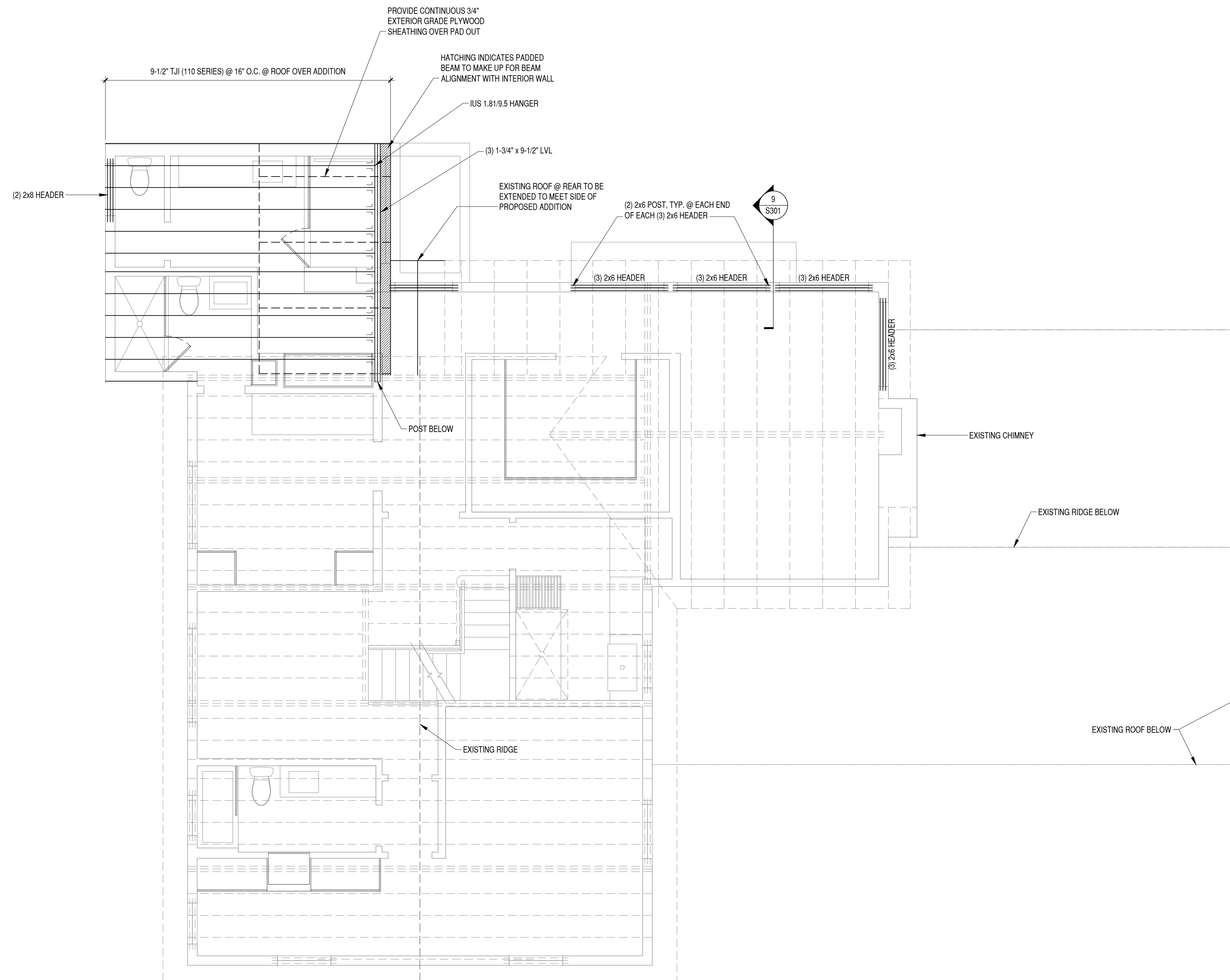
Digitally signed by Garner Duvall
DN: CN=Garner Duvall,
OU=A01410C000016BB36287FF00000D6F,
C=Unaffiliated, C=US
Location: MD
Reason: I agree to the terms defined by the placement of my signature on this document
Contact Info: gwd@rath-goss.com
Date: 2020.06.11 16:14:31-0400'

scale: 1/4" = 1'-0"

title: **SECOND FLOOR FRAMING PLAN**

number:

S102



PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 27100 / EXPIRATION DATE 01-25-2022

ATTIC FRAMING PLAN 1
1/4" = 1'-0"

REVIEWED
By Michael Kyne at 3:37 pm, Jun 24, 2020

APPROVED
Montgomery County
Historic Preservation Commission
Sandra A. Skiles

FOWLKES STUDIO 
1711 Connecticut Ave, NW 204
Washington, DC 20009
(202) 758 - 5518

LAUREL PARKWAY
10 LAUREL PARKWAY
CHEVY CHASE, MARYLAND 20815

Scope:
INTERIOR RENOVATION OF EXISTING 2-STORY SINGLE-FAMILY DETACHED HOME TO INCLUDE SCREENED PORCH ADDITION

Owner:
Allison & Chris Marvin
10 Laurel Parkway
Chevy Chase, MD 20815

Builder:
TBD

Issue Date:
2020 MARCH 27 PRELIMINARY FRAMING
2020 MARCH 31 PRE-STRU. CLIENT CALL
2020 APRIL 10 INTERNAL REVIEW
2020 APRIL 21 UPDATED FRAMING
2020 APRIL 28 FRAMING CHECK SET
2020 APRIL 30 HAWP APPLICATION
2020 MAY 26 BID SET w/ INTERIORS
2020 JUNE 11 PERMIT

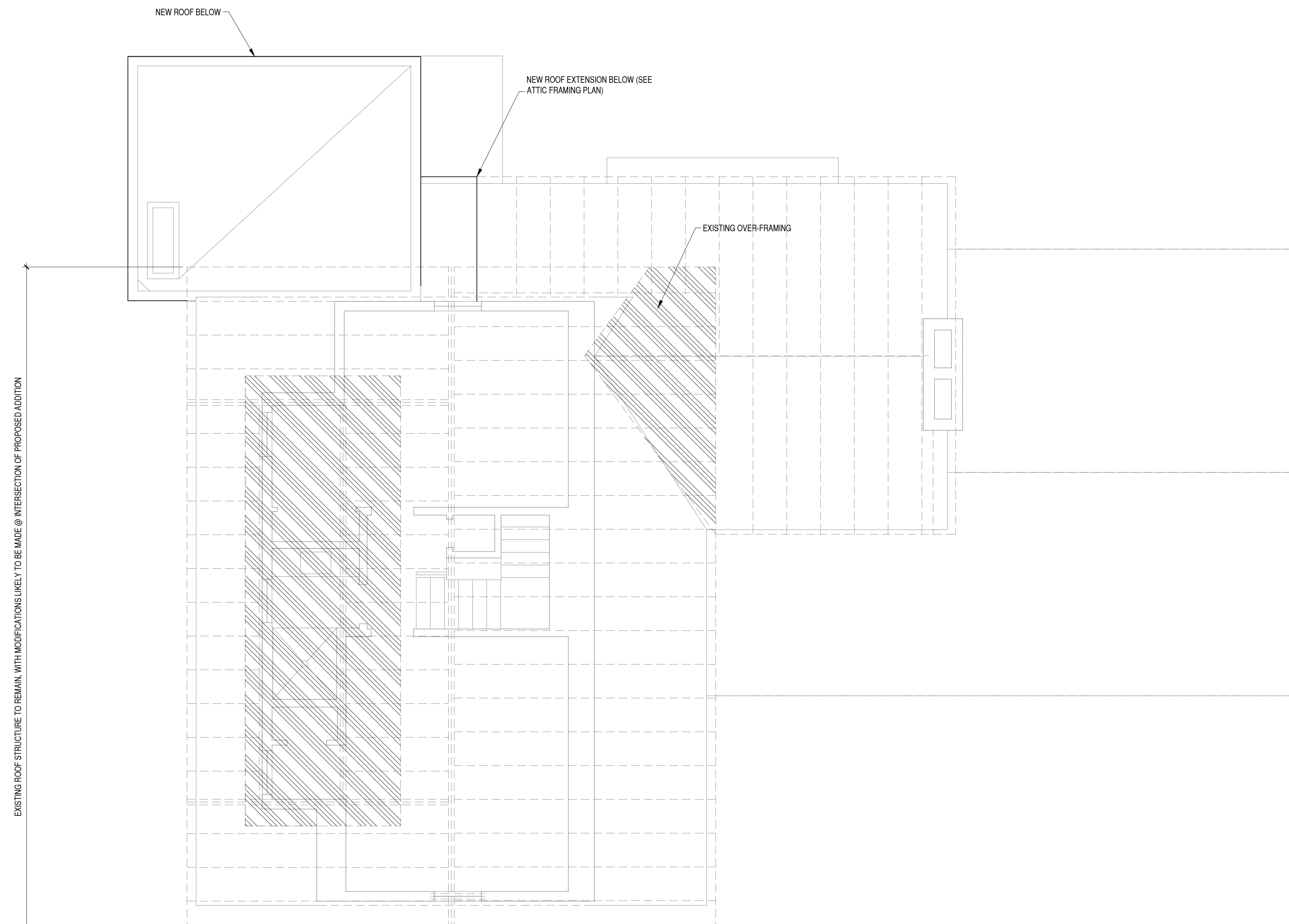
Digitally signed by Garner Duvall
DN: cn=Garner Duvall,
ou=A01410C0000016B836287FF00000D6F,
o=Unaffiliated, c=US
Location: MD
Reason: I agree to the terms defined by the
placement of my signature on this document
Contact info: gw@math-goss.com
Date: 2020.06.11 16:13:36-0400



scale: 1/4" = 1'-0"

title: **ATTIC FRAMING PLAN**

number: **S103**



PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 27100 / EXPIRATION DATE 01-25-2022

ROOF FRAMING PLAN 1
1/4" = 1'-0"

REVIEWED
By Michael Kyne at 3:37 pm, Jun 24, 2020

APPROVED
Montgomery County
Historic Preservation Commission
Sandra Hiller

FOWLKES STUDIO ^{FS}
1711 Connecticut Ave, NW 204
Washington, DC 20009
(202) 758 - 5518

LAUREL PARKWAY
10 LAUREL PARKWAY
CHEVY CHASE, MARYLAND 20815

Scope:
INTERIOR RENOVATION OF EXISTING 2-STORY SINGLE-FAMILY DETACHED HOME TO INCLUDE SCREENED PORCH ADDITION

Owner:
Allison & Chris Marvin
10 Laurel Parkway
Chevy Chase, MD 20815

Builder:
TBD

Issue Date:
2020 MARCH 27 PRELIMINARY FRAMING
2020 MARCH 31 PRE-STRU. CLIENT CALL
2020 APRIL 10 INTERNAL REVIEW
2020 APRIL 21 UPDATED FRAMING
2020 APRIL 28 FRAMING CHECK SET
2020 APRIL 30 HAWP APPLICATION
2020 MAY 26 BID SET w/ INTERIORS PERMIT
2020 JUNE 11 PERMIT

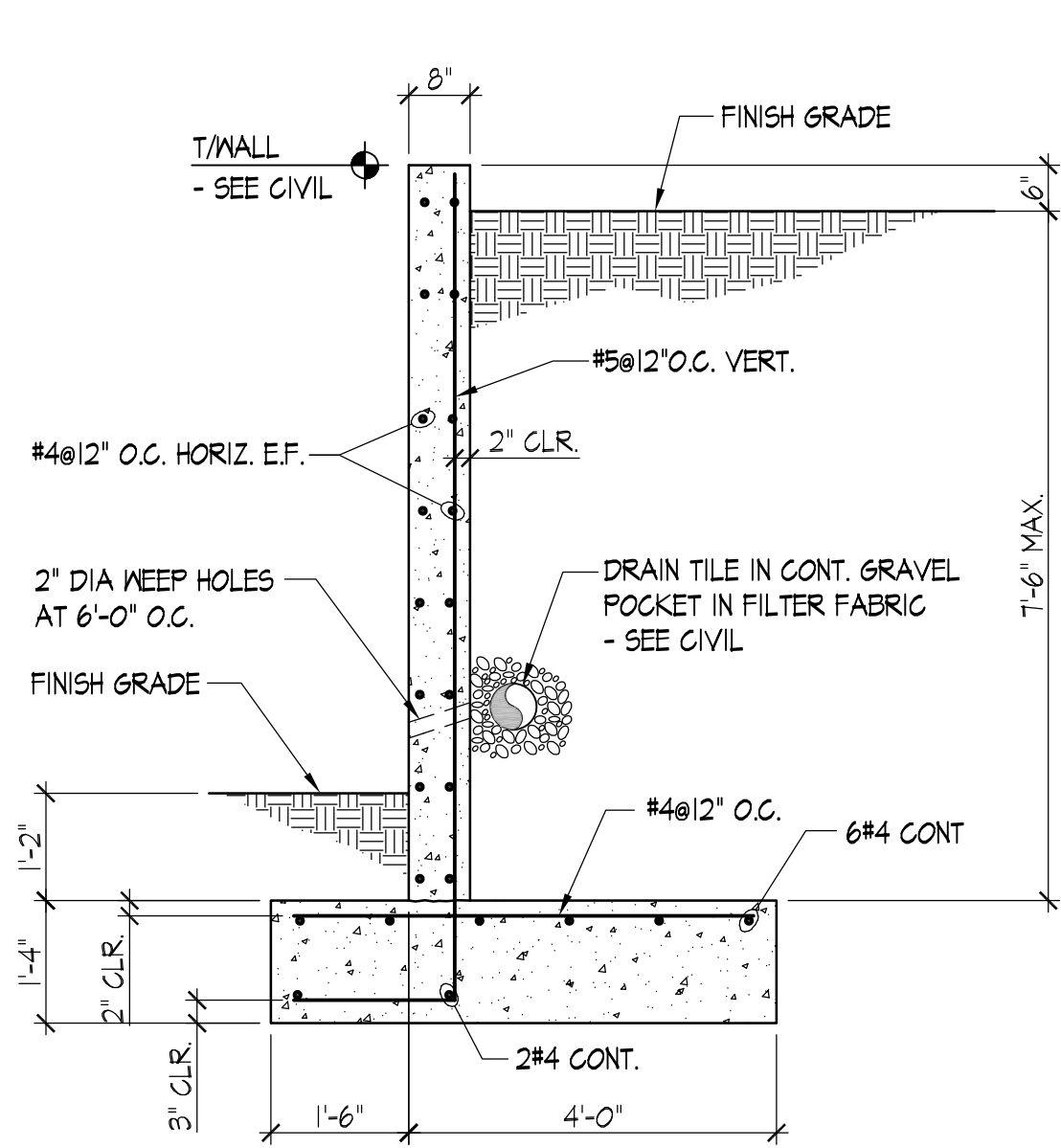
Digitally signed by Garner Duvall
DN: CN=Garner Duvall,
OU=0141020000165B36287FF000008F,
O=Unaffiliated, C=US
Location: MD
Reason: I agree to the terms defined by the
placement of my signature on this document.
Contact Info: gwd@raih-goss.com
Date: 2020.06.11 16:13:15-04'00'



scale: 1/4" = 1'-0"

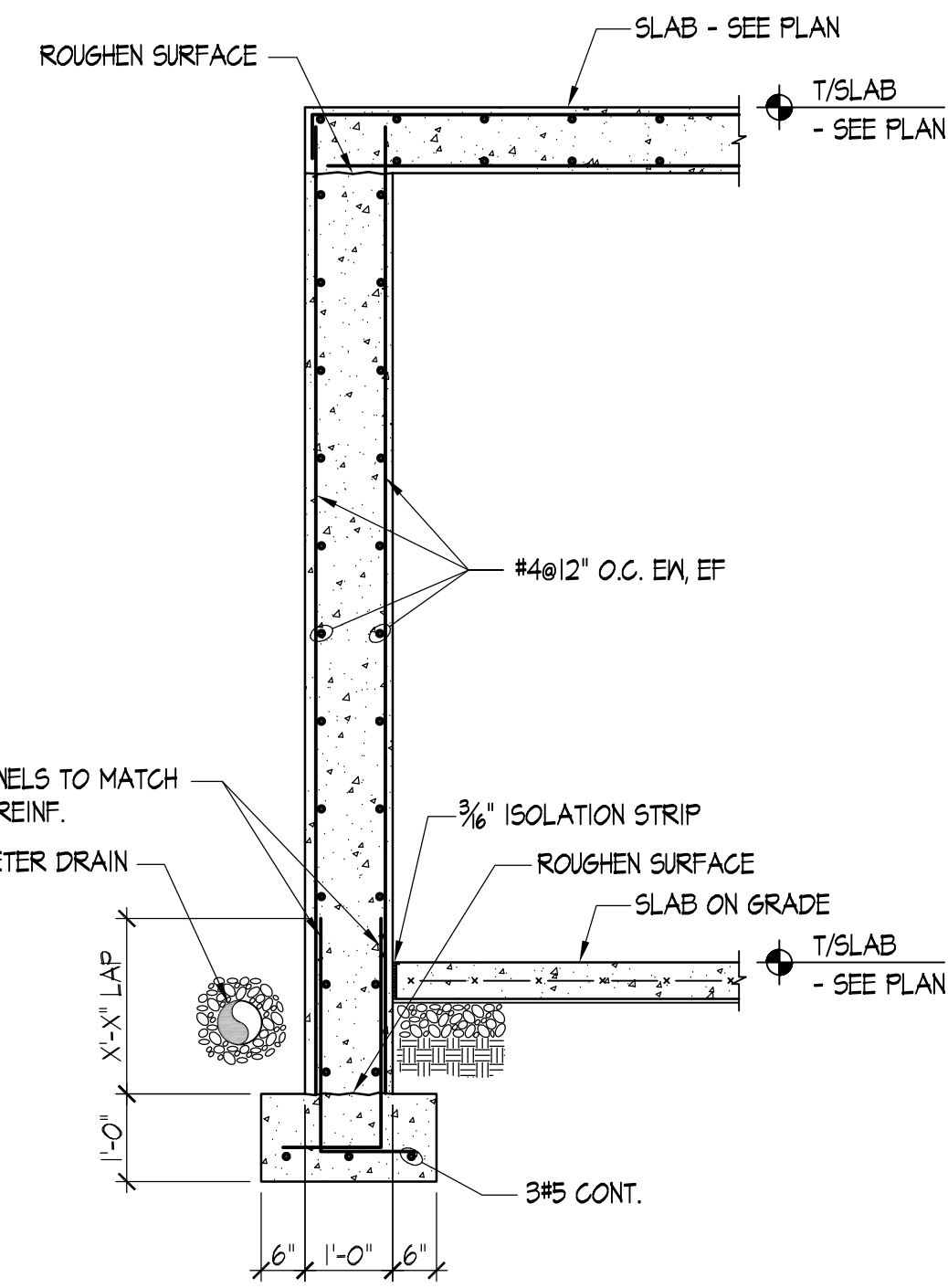
title: **ROOF FRAMING PLAN**

number: **S104**

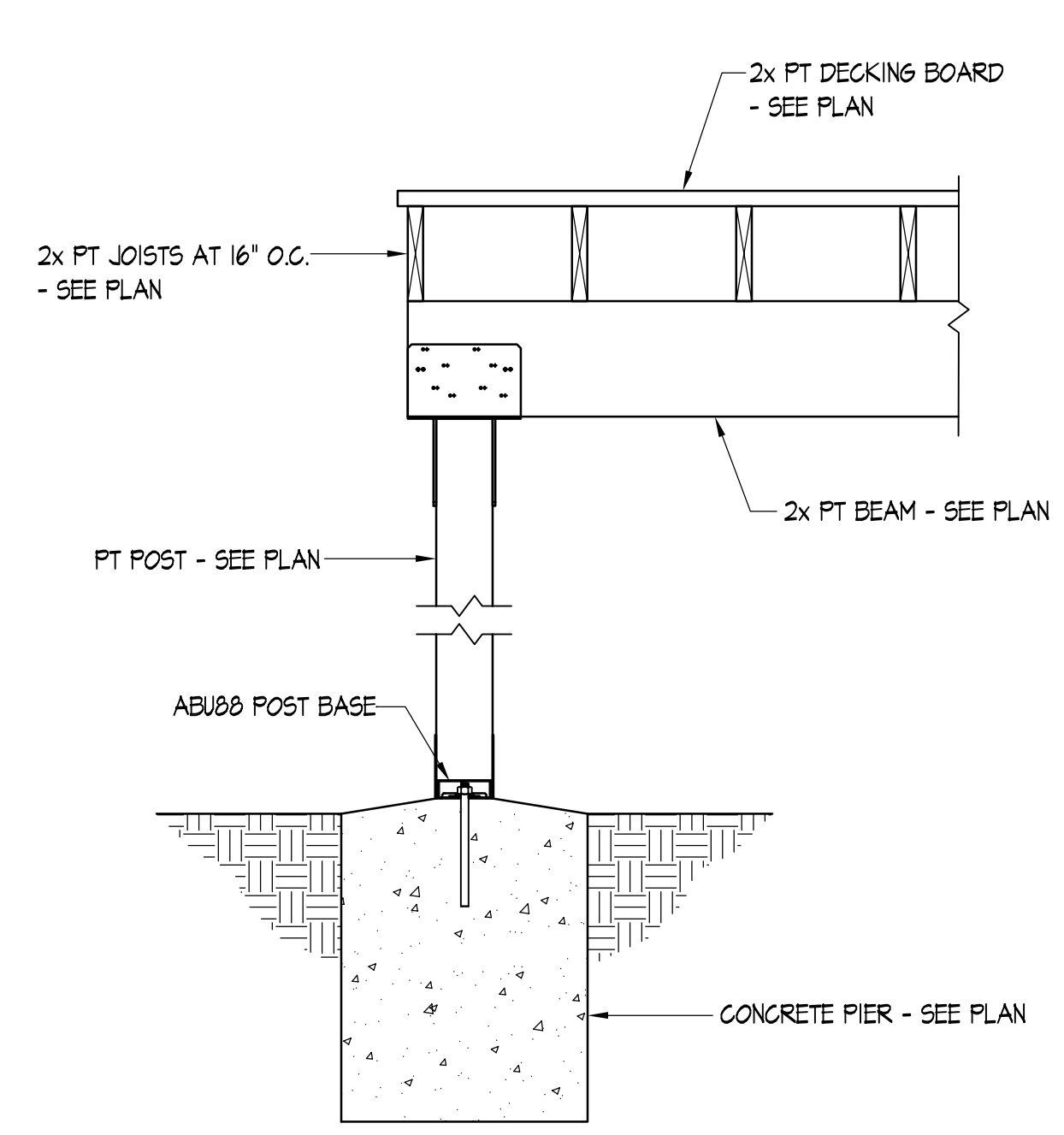


- NOTES:
1. SEE CIVIL DRAWINGS FOR LOCATION AND GRADE DIFFERENCE AT TOP AND BOTTOM OF WALL.
 2. PROVIDE CONTROL JOINTS IN WALL PER DETAIL 10/S200. REDUCE JOINT SPACING TO A MAXIMUM OF 8'-0" O.C.

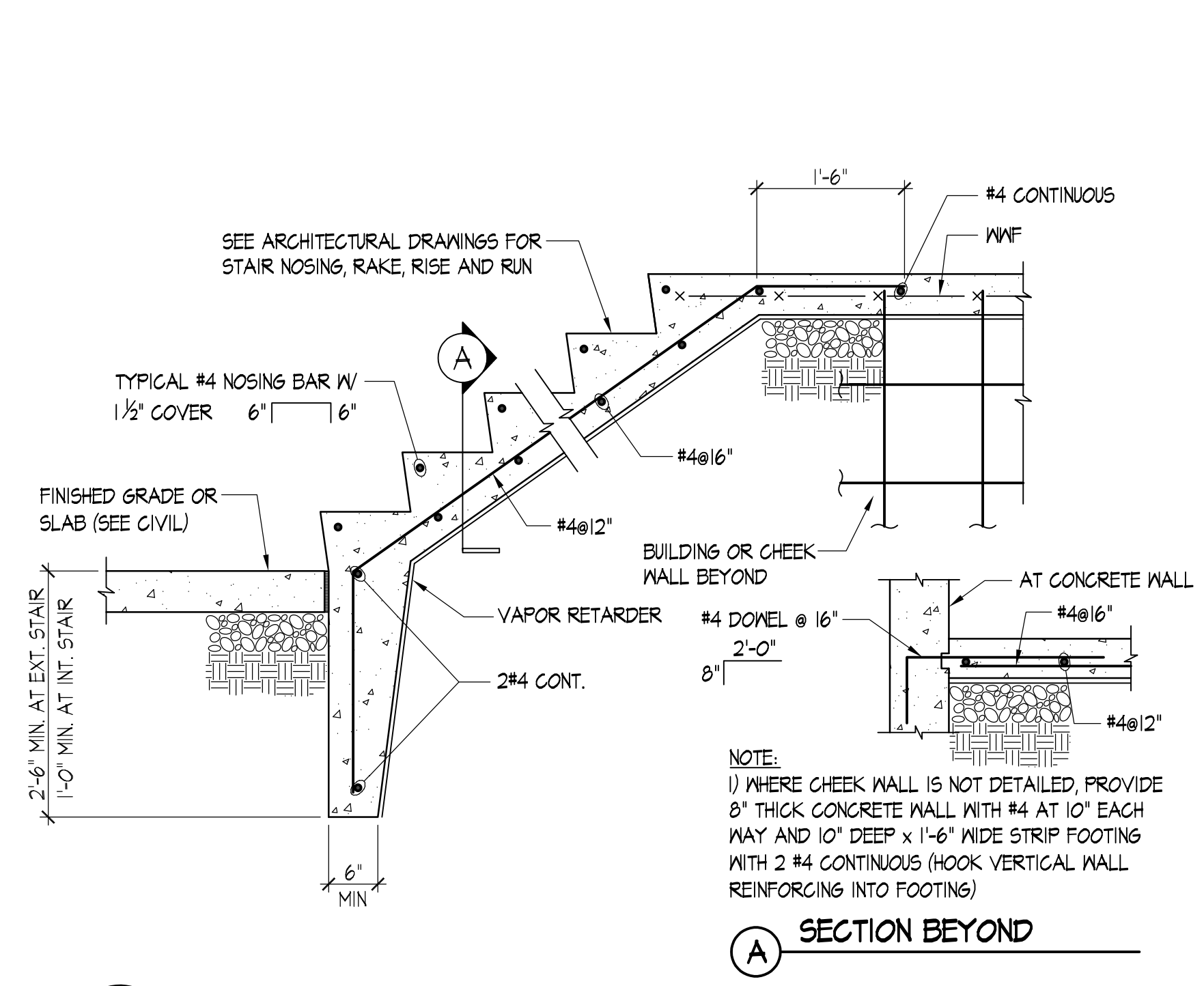
1 CANTILEVER RETAINING WALL SECTION



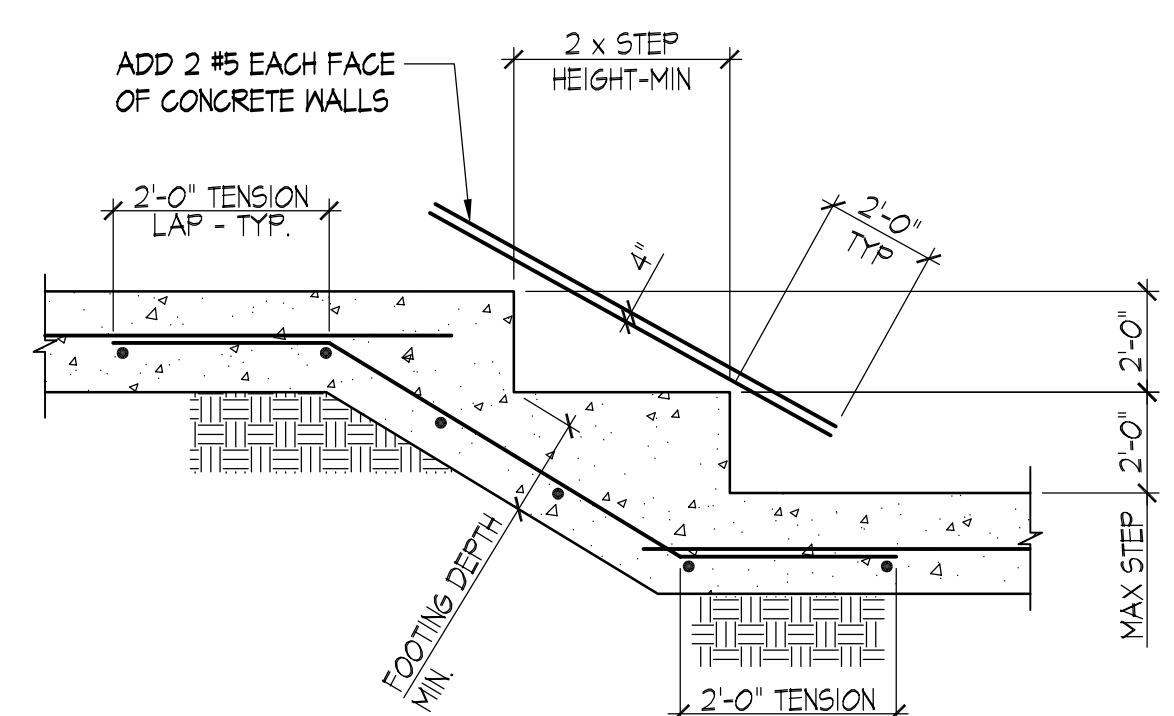
2 TYPICAL FOUNDATION WALL SECTION



3 ROOF FRAMING AND FOUNDATION DETAIL
SCALE: 3/4"=1'-0"

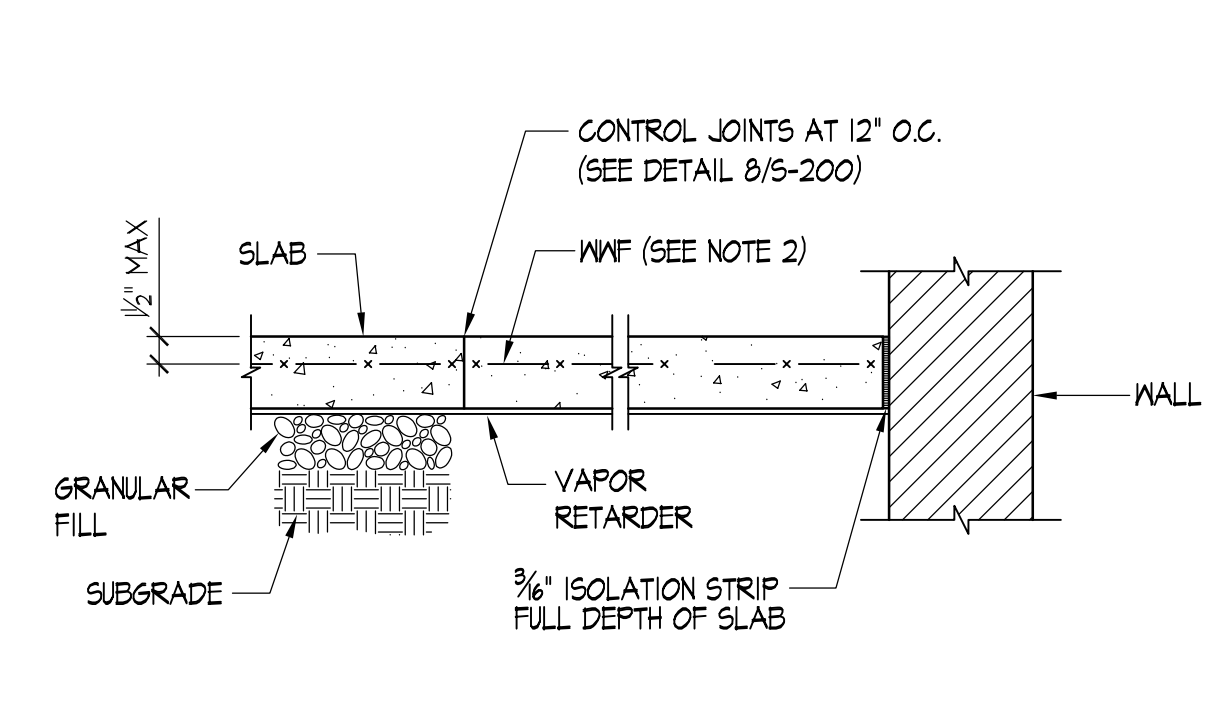


4 STAIR ON GRADE SECTION BEYOND



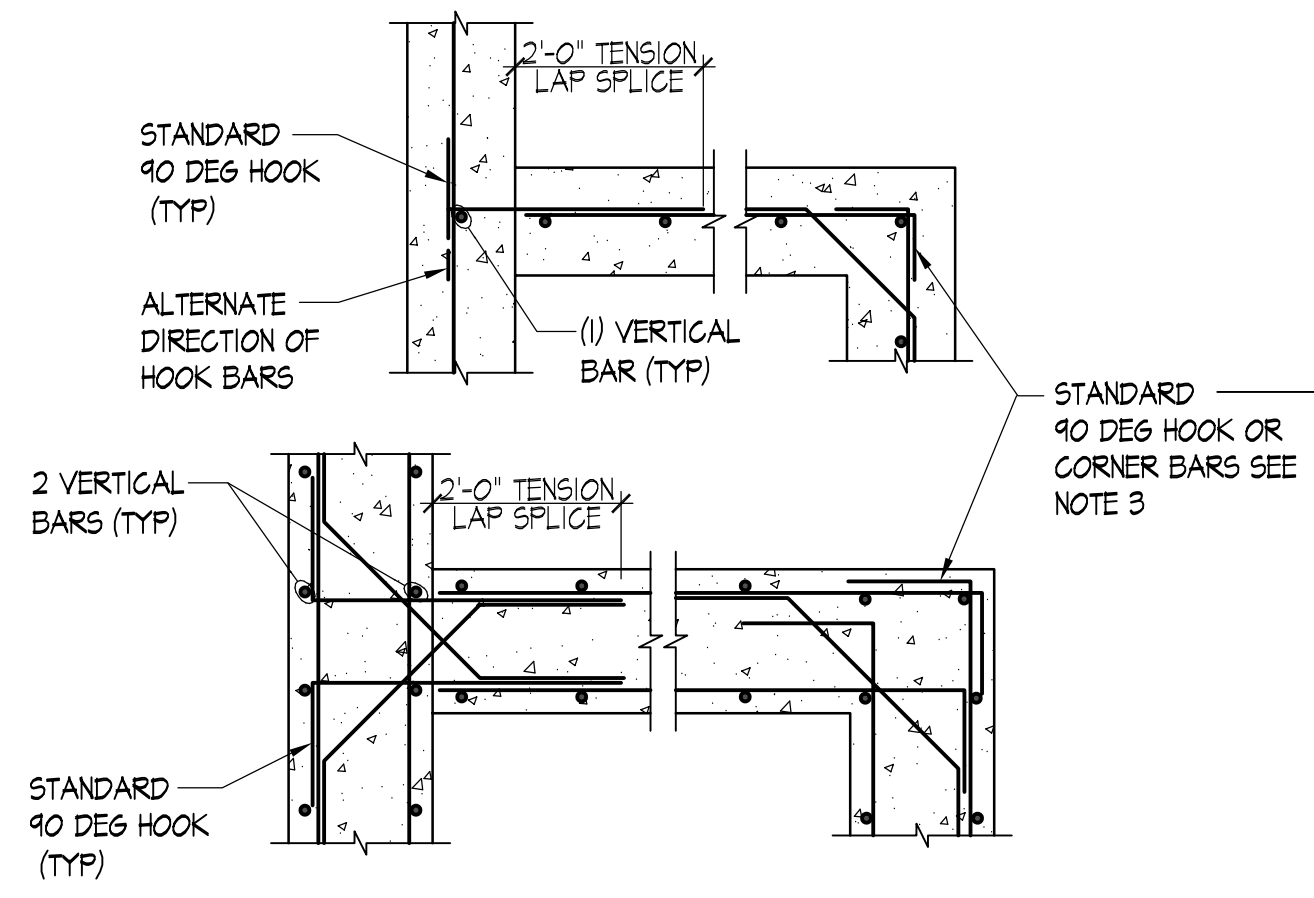
- NOTES:
- 1) STEPS IN FOOTING ARE LIMITED TO GROUPS OF THREE WITH 8'-0" OF HORIZONTAL DISTANCE BETWEEN EACH GROUP. (MINIMUM)

5 TYPICAL STEPPED FOOTING



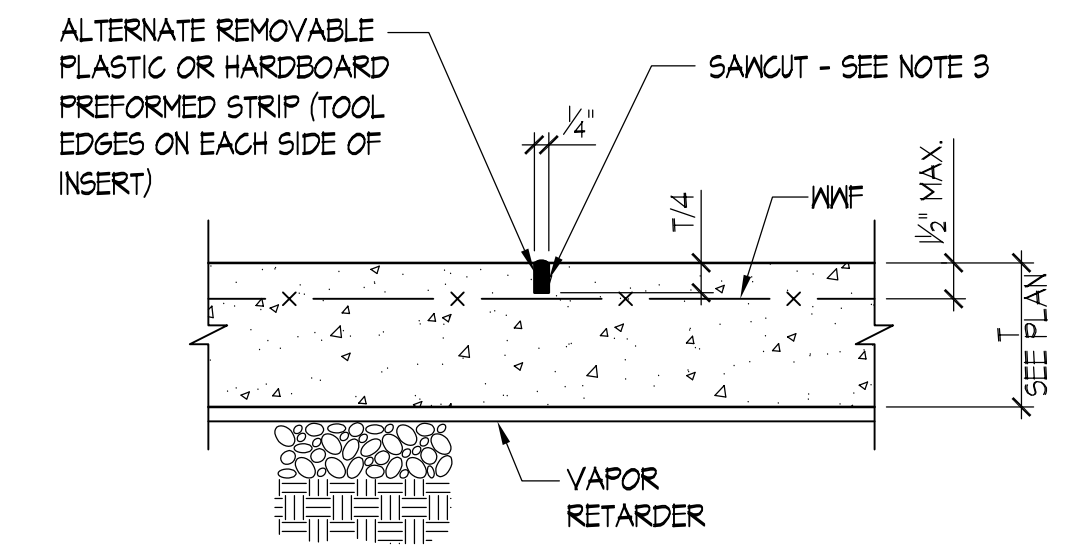
- NOTES:
- 1) PROVIDE SUPPORT CHAIRS TO HOLD WVF AND/OR REINFORCING IN POSITION DURING CONCRETE PLACEMENT.

6 SLAB ON GRADE



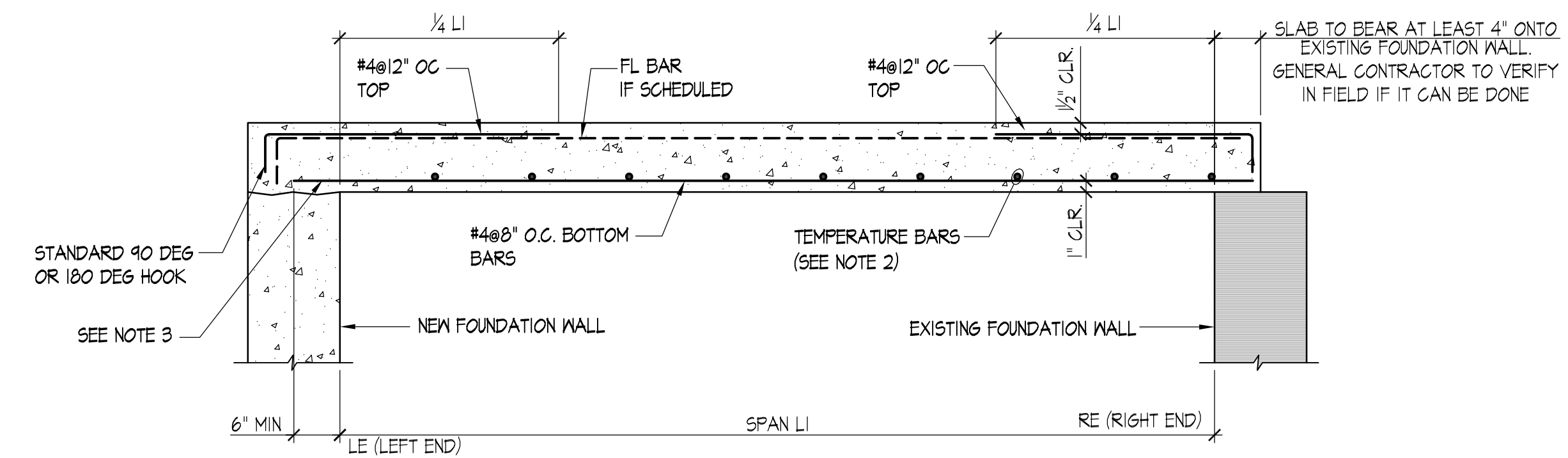
- NOTES:
- 1) DONNEL BARS AND DIAGONALS SAME SIZE AND SPACING AS HORIZONTAL REINFORCING.
 - 2) CORNER BARS MAY BE SUBSTITUTED FOR 90 DEG HOOKS ON ENDS OF HORIZONTAL BARS FOR EACH LAYER OF REINFORCING. LENGTH OF EACH CORNER BAR LEG TO BE PER TENSION LAP SPLICE SCHEDULE.

7 REINFORCING AT WALL CORNERS



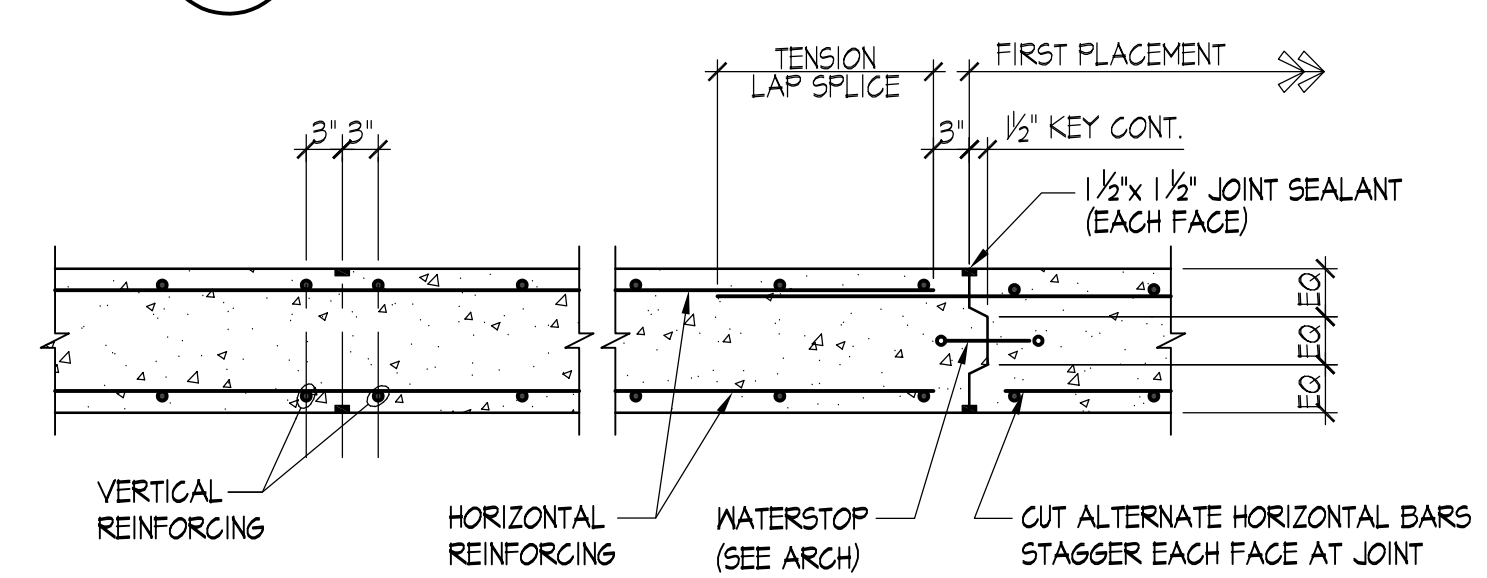
- NOTES:
- 1) FILL JOINT WITH SEALANT AFTER SLAB HAS BEEN CURED.
 - 2) CONSTRUCTION JOINT MAY REPLACE CONTROL JOINT.
 - 3) SAWCUT JOINTS WITH A "SOFF-CUT" MACHINE OR EQUAL, IMMEDIATELY AFTER FINISHING SLAB.
 - 4) PROVIDE SUPPORT CHAIRS TO HOLD WVF AND/OR REINFORCING IN POSITION DURING CONCRETE PLACEMENT.

8 SLAB ON GRADE CONTROL JOINT FOR TYPICAL SLABS



- NOTES:
- 1) SEE SCHEDULES FOR SLAB THICKNESS (T) AND REINFORCING.
 - 2) PROVIDE TEMPERATURE REINFORCEMENT TRANSVERSE TO MAIN REINFORCEMENT IN SLAB AS FOLLOWS:
8" SLAB - #4@12" LAP WITH TENSION SPLICES. SEE XXX FOR SCHEDULE. ALTERNATING BARS MAY BE USED AS SUPPORT BARS FOR TOP MAIN REINFORCING.
 - 3) A MINIMUM OF TWO BOTTOM BARS SHALL TERMINATE WITH HOOKS INTO EXTERIOR COLUMNS AND CONTINUE THROUGH WITH TENSION LAP AT INTERIOR COLUMNS.
 - 4) TENSION LAP FULL LENGTH (FL) BARS AT MID-SPAN. EXTEND FL BARS TO 1/3 POINT OF ADJACENT SPAN IF NO FL TOP BARS OCCUR IN THAT SPAN.

9 ONE WAY SLAB REBAR BENDING AND PLACING DETAIL



CONTROL JOINT PLAN CONSTRUCTION JOINT

- NOTES:
- 1) PROVIDE CONSTRUCTION OR CONTROL JOINTS AT 25'-0" MAXIMUM SPACING. LOCATE FIRST JOINT NO FURTHER THAN 15'-0" FROM CORNER.
 - 2) JOINT LOCATIONS AND DETAILS TO BE APPROVED BY ARCHITECT AND STRUCTURAL ENGINEER.
 - 3) DO NOT USE THIS DETAIL FOR SHEAR WALLS OR WALLS DESIGNED TO SPAN HORIZONTALLY. (NOTED ON PLANS)
 - 4) SEE 1/5-200 FOR TENSION LAP SPLICE SCHEDULE.

10 VERTICAL JOINTS - CONCRETE WALL

REVIEWED
By Michael Kyne at 3:40 pm, Jun 24, 2020

APPROVED
Montgomery County
Historic Preservation Commission
Sandra L. Hilden

1711 Connecticut Ave., NW 204
Washington, DC 20009
(202) 758-1518

FOWLKES FS
STUDIO

LAUREL PARKWAY
10 LAUREL PARKWAY
CHEVY CHASE, MARYLAND 20815

Scope:
INTERIOR RENOVATION OF EXISTING 2-STORY SINGLE-FAMILY DETACHED HOME TO INCLUDE SCREENED PORCH ADDITION

Owner:
Allison & Chris Marvin
10 Laurel Parkway
Chevy Chase, MD 20815

Builder:
TBD

Issue Date:
2020 MARCH 27
2020 MARCH 31
2020 JUNE 11

PRELIMINARY FRAMING
PRE-STRU. CLIENT CALL
PERMIT

Digitally signed by Gomer Duval
DN: cn=Gomer Duval,
ou=A01410C000016BB38287FF00000DF,
o=Unaffiliated, c=US
Location: MD
Reason: I agree to the terms defined by the
placement of my signature on this document
Contact Info: gwer@rathgoss.com
Date: 2020.06.11 16:12:55-0400

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 27100, EXPIRATION DATE: 1-25-2022

scale: AS NOTED

title:

number: TYPICAL DETAILS

RATHGEBER/GOSS ASSOCIATES
Consulting Structural Engineers
15871 Crabbs Branch Way
Rockville, Maryland 20855
Phone: (301) 590-0071 Fax: (301) 590-0073
www.rath-goss.com
PROJECT NO. 20002.20

S200

MINIMUM FASTENING SCHEDULE (IBC 2015 TABLE 2304.10.1)		
DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER	SPACING AND LOCATION
ROOF		
1. BLOCKING BETWEEN CEILING JOISTS, RAFTERS OR TRUSSES TO TOP PLATE OR OTHER FRAMING BELOW	3-8d COMMON (2 1/2" x 0.131"); OR 3-10d BOX (3" x 0.128"); OR 3-3" x 0.131" NAILS OR 3-3" 14 GAGE STAPLES, 3/16" CROWN	EACH END, TOENAIL
BLOCKING BETWEEN RAFTERS OR TRUSS NOT AT THE WALL TOP PLATE, TO RAFTER OR TRUSS	2-8d COMMON (2 1/2" x 0.131") 2-3" x 0.131" NAILS 2-3" 14 GAGE STAPLES	EACH END, TOENAIL
FLAT BLOCKING TO TRUSS AND WEB FILLER	2-16d COMMON (3 1/2" x 0.162") 3-3" x 0.131" NAILS 3-3" 14 GAGE STAPLES	END NAIL
2. CEILING JOISTS TO TOP PLATE	16d COMMON (3 1/2" x 0.162") AT 6' O.C. 3" x 0.131" NAILS AT 6' O.C. 3" x 14 GAGE STAPLES AT 6' O.C.	FACE NAIL
3. CEILING JOISTS NOT ATTACHED TO PARALLEL RAFTER, LAPS OVER PARTITIONS (NO THURST) (SEE SECTION 2308.1.3.1, TABLE 2308.1.3.1)	3-8d COMMON (2 1/2" x 0.131"); OR 3-10d BOX (3" x 0.128"); OR 3-3" x 0.131" NAILS OR 3-3" 14 GAGE STAPLES, 3/16" CROWN	EACH JOIST, TOENAIL
4. CEILING JOISTS ATTACHED TO PARALLEL RAFTER, (HEEL JOINT) (SEE SECTION 2308.1.3.1, TABLE 2308.1.3.1)	3-16d COMMON (3 1/2" x 0.162"); OR 4-10d BOX (3" x 0.128"); OR 4-3" x 0.131" NAILS OR 4-3" 14 GAGE STAPLES, 3/16" CROWN	FACE NAIL
5. COLLAR TIE TO RAFTER	PER TABLE 2308.1.3.1	FACE NAIL
6. RAFTER OR ROOF TRUSS TO TOP PLATE (SEE SECTION 2308.1.5, TABLE 2308.1.5)	3-10d COMMON (3" x 0.148"); OR 3-16d BOX (3 1/2" x 0.135"); OR 4-10d BOX (3" x 0.128"); OR 4-3" x 0.131" NAILS; OR 4-3" 14 GAGE STAPLES, 3/16" CROWN	TOENAIL ^c
7. ROOF RAFTERS TO RIDGE VALLEY OR HIP RAFTERS; OR ROOF RAFTER TO 2 INCH RIDGE BEAM	2-10d COMMON (3 1/2" x 0.162"); OR 3-10d BOX (3" x 0.128"); OR 3-3" x 0.131" NAILS OR 3-3" 14 GAGE STAPLES, 3/16" CROWN; OR 3-10d COMMON (3 1/2" x 0.148"); OR 3-16d BOX (3 1/2" x 0.135"); OR 4-10d BOX (3" x 0.128"); OR 4-3" x 0.131" NAILS; OR 4-3" 14 GAGE STAPLES, 3/16" CROWN	END NAIL TOENAIL
WALL		
8. STUD TO STUD (NOT AT BRACED WALL PANELS)	16d COMMON (3 1/2" x 0.162"); 10d BOX (3" x 0.128"); OR 3" x 0.131" NAILS; OR 3-3" 14 GAGE STAPLES, 3/16" CROWN	24" O.C. FACE NAIL 16" O.C. FACE NAIL
9. STUD TO STUD AND ABUTTING STUDS AT INTERSECTING WALL CORNERS (AT BRACED WALL PANELS)	16d COMMON (3 1/2" x 0.162"); OR 16d BOX (3 1/2" x 0.135"); OR 3" x 0.131" NAILS; OR 3-3" 14 GAGE STAPLES, 3/16" CROWN	16" O.C. FACE NAIL 12" O.C. FACE NAIL 12" O.C. FACE NAIL
10. BUILT-UP HEADER (2' TO 2' HEADER)	16d COMMON (3 1/2" x 0.162"); OR 16d BOX (3 1/2" x 0.135"); OR	16" O.C. EACH EDGE, FACE NAIL 12" O.C. EACH EDGE, FACE NAIL
11. CONTINUOUS HEADER TO STUD	4-8d COMMON (2 1/2" x 0.131"); OR 4-10d BOX (3" x 0.128")	TOENAIL
12. TOP PLATE TO TOP PLATE	16d COMMON (3 1/2" x 0.162"); OR 10d BOX (3" x 0.128"); OR 3" x 0.131" NAILS; OR 3" 14 GAGE STAPLES, 3/16" CROWN	16" O.C. FACE NAIL 12" O.C. FACE NAIL
13. TOP TO TOP PLATE, AT END JOINTS	8-16d COMMON (3 1/2" x 0.162"); OR 12-10d BOX (3" x 0.128"); OR 12-3" x 0.131" NAILS OR 12-3" 14 GAGE STAPLES, 3/16" CROWN	EACH SIDE OF END JOINT, FACE NAIL (MINIMUM 24" LAP SPLICE LENGTH EACH SIDE OF END JOINT)
14. BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS)	16d COMMON (3 1/2" x 0.162"); OR 16d BOX (3" x 0.135"); OR 3" x 0.131" NAILS; OR 3" 14 GAGE STAPLES, 3/16" CROWN	16" O.C. FACE NAIL 12" O.C. FACE NAIL
15. BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING AT BRACED WALL PANELS	2-16d COMMON (3 1/2" x 0.162"); OR 3-16d BOX (3 1/2" x 0.135"); OR 4-3" x 0.131" NAILS; OR 4-3" 14 GAGE STAPLES, 3/16" CROWN	16" O.C. FACE NAIL
16. STUD TO TOP OR BOTTOM PLATE	4-8d COMMON (2 1/2" x 0.131"); OR 4-10d BOX (3" x 0.128"); OR 4-3" x 0.131" NAILS; OR 4-3" 14 GAGE STAPLES, 3/16" CROWN	TOENAIL
	2-16d COMMON (3 1/2" x 0.162"); OR 3-10d BOX (3" x 0.128"); OR 3-3" x 0.131" NAILS; OR 3-3" 14 GAGE STAPLES, 3/16" CROWN	END NAIL

MINIMUM FASTENING SCHEDULE (IBC 2015 TABLE 2304.10.1)		
DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER	SPACING AND LOCATION
WALL		
17. TOP OR BOTTOM PLATE TO STUD	2-16d COMMON (3 1/2" x 0.162"); OR 3-10d BOX (3" x 0.128"); OR 3-3" x 0.131" NAILS; OR 3-3" 14 GAGE STAPLES, 3/16" CROWN	END NAIL
18. TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS	2-16d COMMON (3 1/2" x 0.162"); OR 3-10d BOX (3" x 0.128"); OR 3-3" x 0.131" NAILS; OR 3-3" 14 GAGE STAPLES, 3/16" CROWN	FACE NAIL
19. 1" BRACE TO EACH STUD AND PLATE	2-8d COMMON (2 1/2" x 0.131"); OR 2-10d BOX (3" x 0.128"); OR 2-3" x 0.131" NAILS; OR 2-3" 14 GAGE STAPLES, 3/16" CROWN	FACE NAIL
20. 1" x 6" SHEATHING TO EACH BEARING	2-8d COMMON (2 1/2" x 0.131"); OR 2-10d BOX (3" x 0.128")	FACE NAIL
21. 1" x 8" AND WIDER SHEATHING TO EACH BEARING	3-8d COMMON (2 1/2" x 0.131"); OR 3-10d BOX (3" x 0.128")	FACE NAIL
FLOOR		
22. JOIST TO SILL, TOP PLATE, OR GIRDER	3-8d COMMON (2 1/2" x 0.131"); OR FLOOR 3-10d BOX (3" x 0.128"); OR 3-3" x 0.131" NAILS; OR 3-3" 14 GAGE STAPLES, 3/16" CROWN	TOENAIL
23. RIM JOIST, BAND JOIST, OR BLOCKING TO TOP PLATE, SILL OR OTHER FRAMING BELOW	3-8d COMMON (2 1/2" x 0.131"); OR 10d BOX (3" x 0.128"); OR 3" x 0.131" NAILS; OR 3" 14 GAGE STAPLES, 3/16" CROWN	6" O.C. TOENAIL
24. 1" x 6" SUBFLOOR OR LESS TO EACH JOIST	2-8d COMMON (2 1/2" x 0.131"); OR 2-10d BOX (3" x 0.128")	FACE NAIL
25. 2" SUBFLOOR TO JOIST OR GIRDER	2-16d COMMON (3 1/2" x 0.162")	FACE NAIL
26. 2" PLANKS (PLANK & BEAM - FLOOR & ROOF)	2-16d COMMON (3 1/2" x 0.162")	EACH BEARING, FACE NAIL
27. BUILT-UP GIRDERS AND BEAMS, 2" LUMBER LAYERS	20d COMMON (4" x 0.192") 10d BOX (3" x 0.128"); OR 3" x 0.131" NAILS; OR 3" 14 GAGE STAPLES, 3/16" CROWN AND: 2-20d COMMON (4" x 0.192"); OR 3-10d BOX (3" x 0.128"); OR 3-3" x 0.131" NAILS; OR 3-3" 14 GAGE STAPLES, 3/16" CROWN	32" O.C. FACE NAIL AT TOP AND BOTTOM STAGGERED ON OPPOSITE SIDES 24" O.C. FACE NAIL AT TOP AND BOTTOM STAGGERED ON OPPOSITE SIDES ENDS AT EACH SPLICE, FACE NAIL
28. LEDGER STRIP SUPPORTING JOISTS OR RAFTERS	3-16d COMMON (3 1/2" x 0.162"); OR 4-10d BOX (3" x 0.128"); OR 4-3" x 0.131" NAILS; OR 4-3" 14 GAGE STAPLES, 3/16" CROWN	EACH JOIST OR RAFTER, FACE NAIL
29. JOIST TO BAND JOIST OR RIM JOIST	3-16d COMMON (3 1/2" x 0.162"); OR 4-10d BOX (3" x 0.128"); OR 4-3" x 0.131" NAILS; OR 4-3" 14 GAGE STAPLES, 3/16" CROWN	END NAIL
30. BRIDGING OR BLOCKING TO JOIST, RAFTER OR TRUSS	2-8d COMMON (2 1/2" x 0.131"); OR 2-10d BOX (3" x 0.128"); OR 2-3" x 0.131" NAILS; OR 2-3" 14 GAGE STAPLES, 3/16" CROWN	EACH END, TOE NAIL
WOOD STRUCTURAL PANELS (MSP), SUBFLOOR, ROOF AND INTERIOR WALL SHEATHING TO FRAMING AND PARTICLE BOARD WALL SHEATHING TO FRAMING^a		
		EDGES (INCHES) INTERMEDIATE SUPPORTS (INCHES)
31. 3/8" - 1/2"	6d COMMON OR DEFORMED (2" x 0.113") (SUB-FLOOR AND WALL) 8d BOX OR DEFORMED (2 1/2" x 0.113") (ROOF) 2 3/8" x 0.113" NAIL (SUB-FLOOR AND WALL) 1 3/4" 16 GAGE STAPLE, 3/16" CROWN (SUB-FLOOR AND WALL) 2 3/8" x 0.113" NAIL (ROOF) 1 3/4" 16 GAGE STAPLE, 3/16" CROWN (ROOF)	6 6 6 4 4 3
		12 12 12 8 8 6
32. 5/32" - 3/4"	8d COMMON (2 1/2" x 0.131"); OR 6d DEFORMED (2" x 0.113") 2 3/8" x 0.113" NAIL; OR 2" 16 GAGE STAPLE, 3/16" CROWN	6 4 4
		12 8 8
33. 7/8" - 1 1/4"	10d COMMON (3" x 0.148"); OR 8d DEFORMED (2 1/2" x 0.131")	6 6
		12 12
OTHER EXTERIOR WALL SHEATHING		
34. 1/2" FIBERBOARD SHEATHING ^b	1 1/2" GALVANIZED ROOFING NAIL (3/16" HEAD DIAMETER); OR 1 1/2" 16 GAGE STAPLE WITH 3/16" OR 1" CROWN	3 6
35. 5/8" FIBERBOARD SHEATHING ^b	1 3/4" GALVANIZED ROOFING NAIL (3/16" HEAD DIAMETER); OR 1 1/2" 16 GAGE STAPLE WITH 3/16" OR 1" CROWN	3 6

MINIMUM FASTENING SCHEDULE (IBC 2015 TABLE 2304.10.1)		
DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER	SPACING AND LOCATION
WOOD STRUCTURAL PANELS, COMBINATION SUBFLOOR UNDERLAYMENT TO FRAMING		
		EDGES (INCHES) INTERMEDIATE SUPPORTS (INCHES)
36. 3/4" AND LESS	8d COMMON (2 1/2" x 0.131"); OR 6d DEFORMED (2" x 0.113")	6 12
37. 3/8" - 1"	8d COMMON (2 1/2" x 0.131"); OR 8d DEFORMED (2 1/2" x 0.131")	6 12
38. 1 1/8" - 1 1/4"	10d COMMON (3" x 0.148"); OR 8d DEFORMED (2 1/2" x 0.131")	6 12
PANEL SIDING TO FRAMING		
39. 1/2" OR LESS	6d CORROSION-RESISTANT SIDING (1 1/8" x 0.106"); OR 6d CORROSION-RESISTANT CASING (2" x 0.099")	6 12
40. 5/8"	8d CORROSION-RESISTANT SIDING (2 3/8" x 0.128"); OR 8d CORROSION-RESISTANT CASING (2 1/2" x 0.113")	6 12
INTERIOR PANELING		
41. 1/4"	4d CASING (1 1/2" x 0.080"); OR 4d FINISH (1 1/2" x 0.072")	6 12
42. 3/8"	6d CASING (2" x 0.099"); OR 6d FINISH (PANEL SUPPORTS AT 24")	6 12

NOTES:

a. NAILS SPACED AT 6 INCHES AT INTERMEDIATE SUPPORTS WHERE SPANS ARE 48 INCHES OR MORE. FOR NAILING OF WOOD STRUCTURAL PANEL AND PARTICLEBOARD DIAPHRAGMS AND SHEAR WALLS, REFER TO SECTION 2305. NAILS FOR WALL SHEATHING ARE PERMITTED TO BE COMMON BOX OR CASING.


b. SPACING SHALL BE 6 INCHES ON CENTER ON THE EDGES AND 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS FOR NONSTRUCTURAL APPLICATIONS. PANEL SUPPORTS AT 16 INCHES (20 INCHES IF STRENGTH AXIS IN THE LONG DIRECTION OF THE PANEL, UNLESS OTHERWISE MARKED).

c. WHERE RAFTER IS FASTENED TO AN ADJACENT PARALLEL CEILING JOIST IN ACCORDANCE WITH THE SCHEDULE AND THE CEILING JOIST IS FASTENED TO THE TOP PLATE IN ACCORDANCE WITH THIS SCHEDULE, THE NUMBER OF TOENAILS IN THE RAFTER SHALL BE PERMITTED TO BE REDUCED BY ONE NAIL.

XX MINIMUM FASTENING SCHEDULE - REFERENCED FROM IBC 2015 TABLE 2304.10.1

REVIEWED
By Michael Kyne at 3:41 pm, Jun 24, 2020

APPROVED
Montgomery County
Historic Preservation Commission



1711 Connecticut Ave., NW 204
Washington, DC 20009
(202) 758-5518

FOWLKES FS STUDIO

LAUREL PARKWAY
10 LAUREL PARKWAY
CHEVY CHASE, MARYLAND 20815

Scope:
INTERIOR RENOVATION OF EXISTING 2-STORY SINGLE-FAMILY DETACHED HOME TO INCLUDE SCREENED PORCH ADDITION


Owner:
Allison & Chris Marvin
10 Laurel Parkway
Chevy Chase, MD 20815

Builder:
TBD

Issue Date:
2020 MARCH 27
2020 MARCH 31
2020 JUNE 11

PRELIMINARY FRAMING
PRE-STRU. CLIENT CALL
PERMIT

Digitally signed by Gerner Duval
DN: cn=Gerner Duval,
ou=40141000000165836287FF00000DF,
o=Unaffiliated, c=US
Location: MD
Reason: I agree to the terms defined by the placement of my signature on this document
Contact Info: gwd@rath-goss.com
Date: 2020.06.11 16:12:33-0400'



PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 27100. EXPIRATION DATE: 1-25-2022

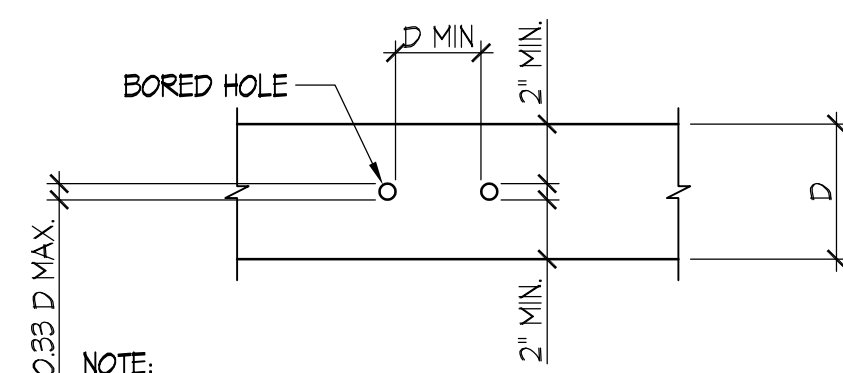
scale: AS NOTED

title:

number: TYPICAL DETAILS

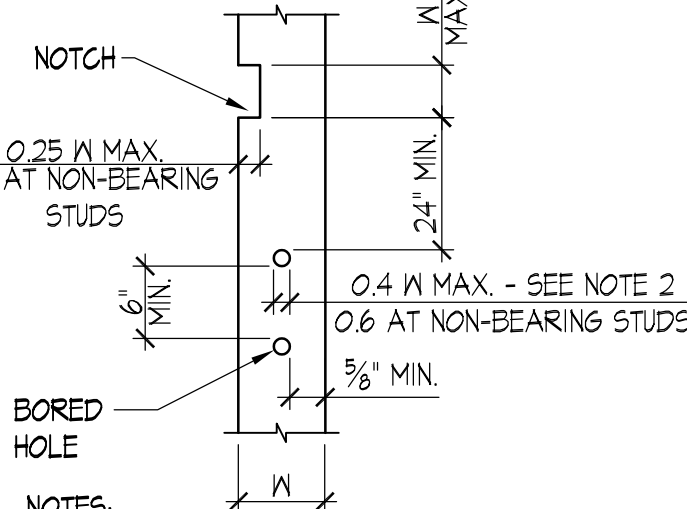
RATHGEBER/GOSS ASSOCIATES
Consulting Structural Engineers
15871 Crabbs Branch Way
Rockville, Maryland 20855
Phone: (301) 590-0071 Fax: (301) 590-0073
www.rath-goss.com
PROJECT NO. 20002.20

S300



NOTE:
1) NOTCHING OF HEADERS IS NOT PERMITTED. RAFTERS AND JOISTS MAY BE NOTCHED TO A DEPTH OF D/4 @ ENDS. NOTCHES IN TOP OR BOTTOM SHALL NOT EXCEED D/6, THE LENGTH SHALL NOT EXCEED D/3 AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN. NOTCHES IN THE TENSION SIDE ARE NOT PERMITTED EXCEPT AT THE ENDS.

A JOIST, RAFTER, AND BEAM (ELEVATION)

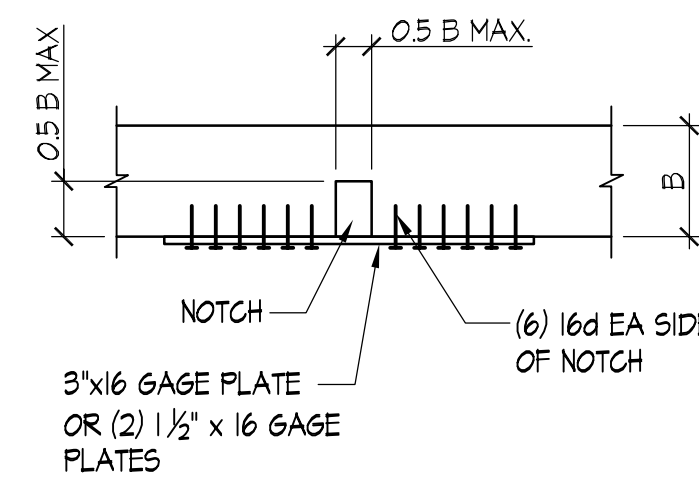


NOTES:
1) NOTCHES AND HOLES MAY NOT OCCUR IN THE SAME SECTION OF STUD.
2) CAN BE INCREASED TO 0.6 W IF DOUBLE STUDS ARE PROVIDED.

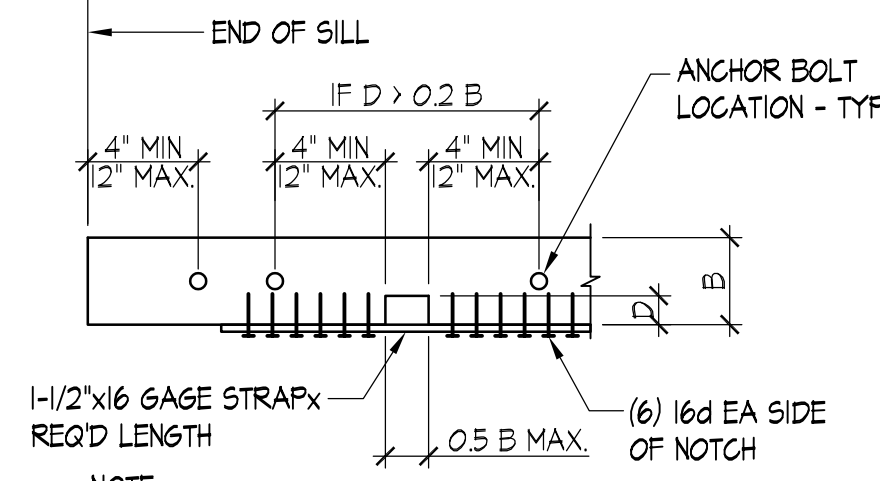
C WOOD STUD (ELEVATION)

NOTE: SEE ENGINEERED WOOD PRODUCT MANUFACTURER'S SPECIFICATIONS FOR HOLES AND NOTCHING.

1 HOLES AND NOTCHING IN SAWN LUMBER

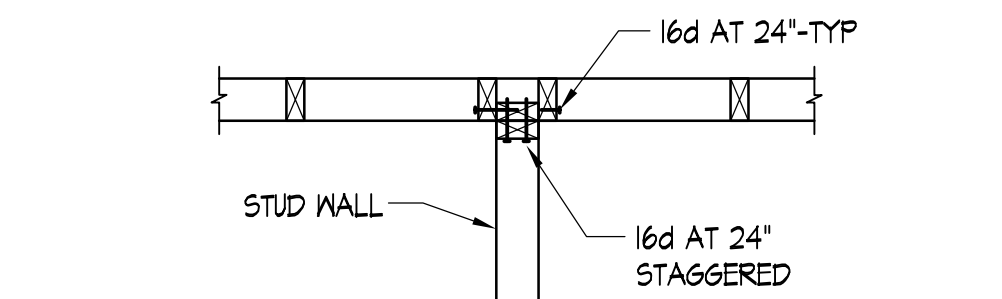
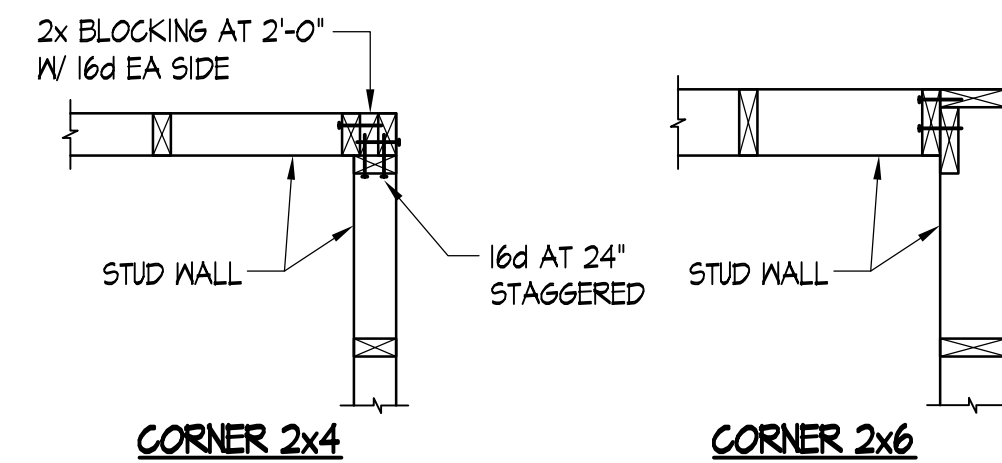


B DOUBLE TOP PLATE (PLAN)



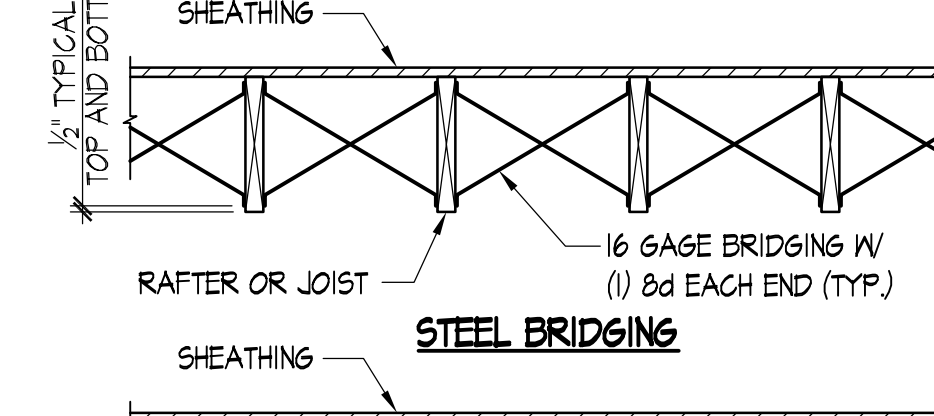
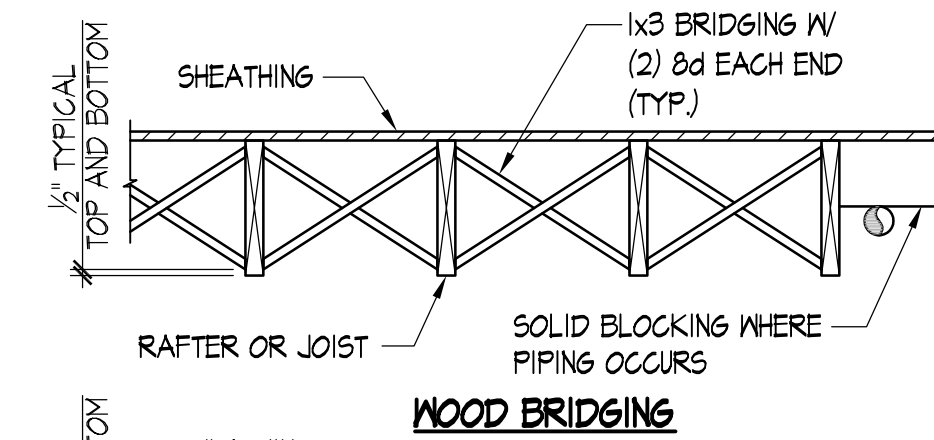
NOTE:
1) WHERE DEPTH OF NOTCH 'D' IS GREATER THAN 0.2 B PROVIDE ANCHOR BOLT EA SIDE OF NOTCH AS PER END REQUIREMENT.

D SILL PLATE (PLAN)



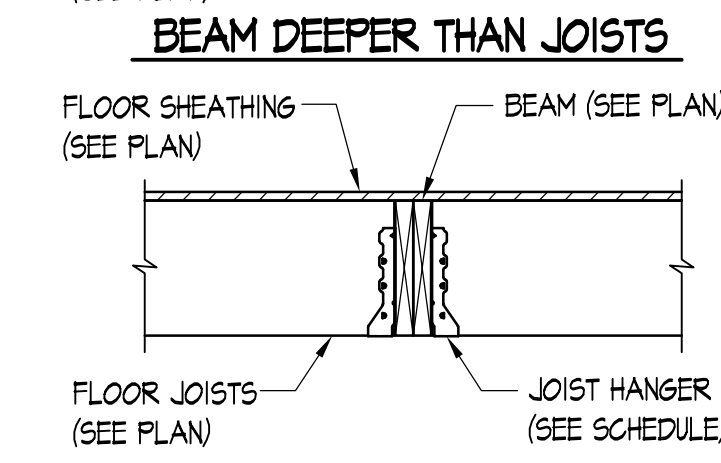
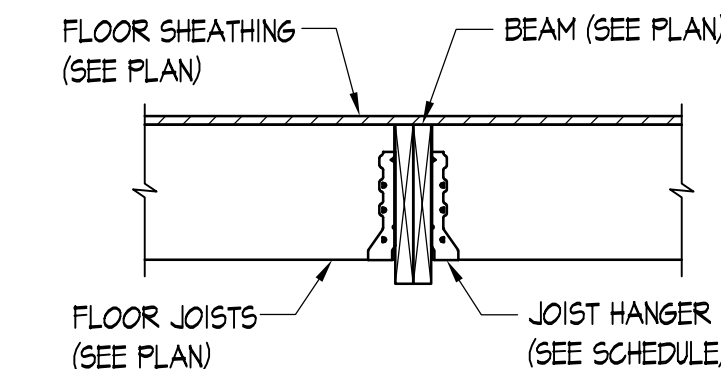
TYPICAL INTERSECTION

2 STUD WALL INTERSECTIONS



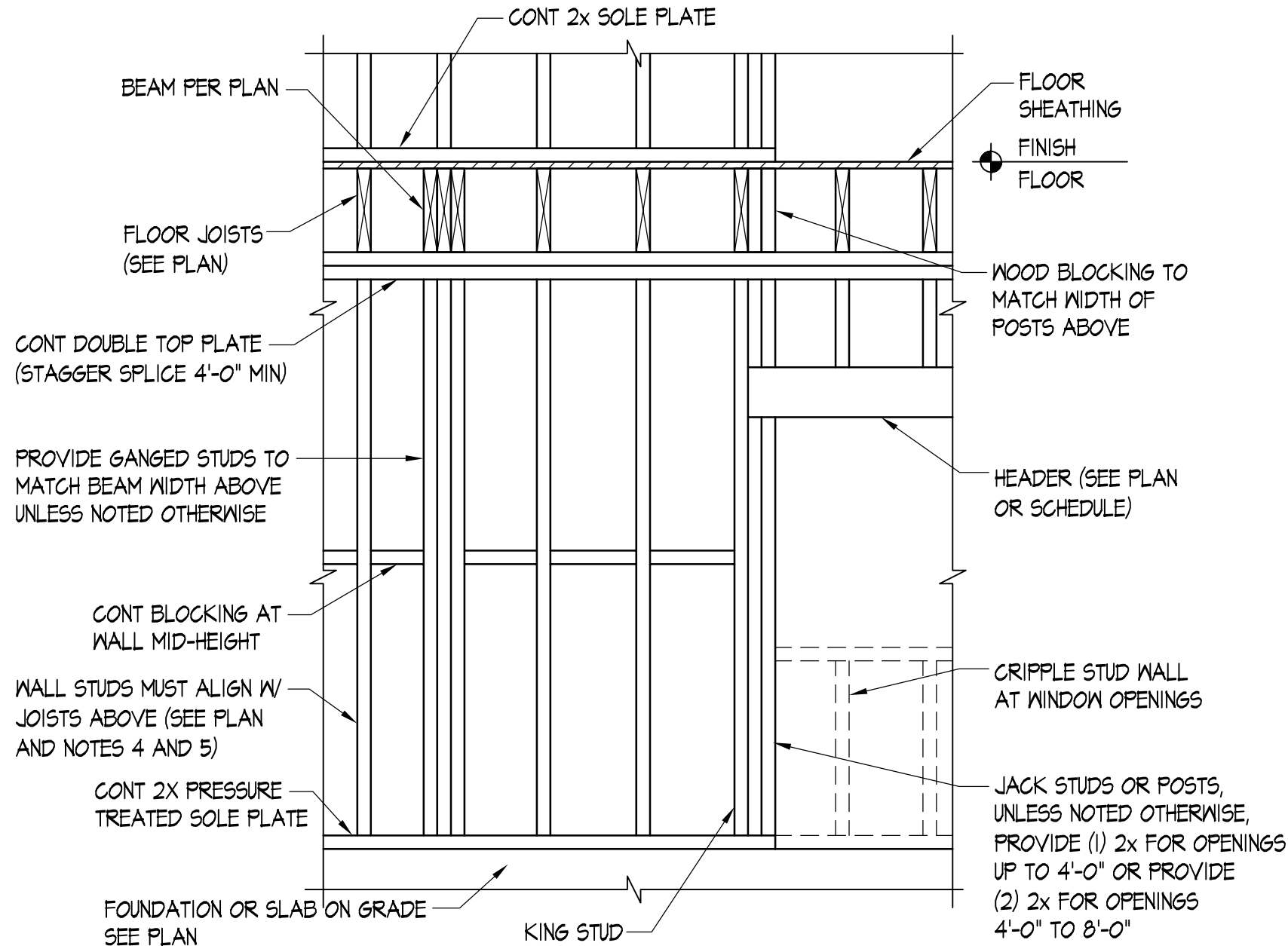
NOTE:
1) MAX SPACING OF BRIDGING IS 8'-0" FOR ALL FLOOR AND ROOF JOISTS MORE THAN 6" IN DEPTH.
2) SOLID BLOCKING IS ACCEPTABLE IN LIEU OF X-BRIDGING.

3 TYPICAL CROSS BRIDGING



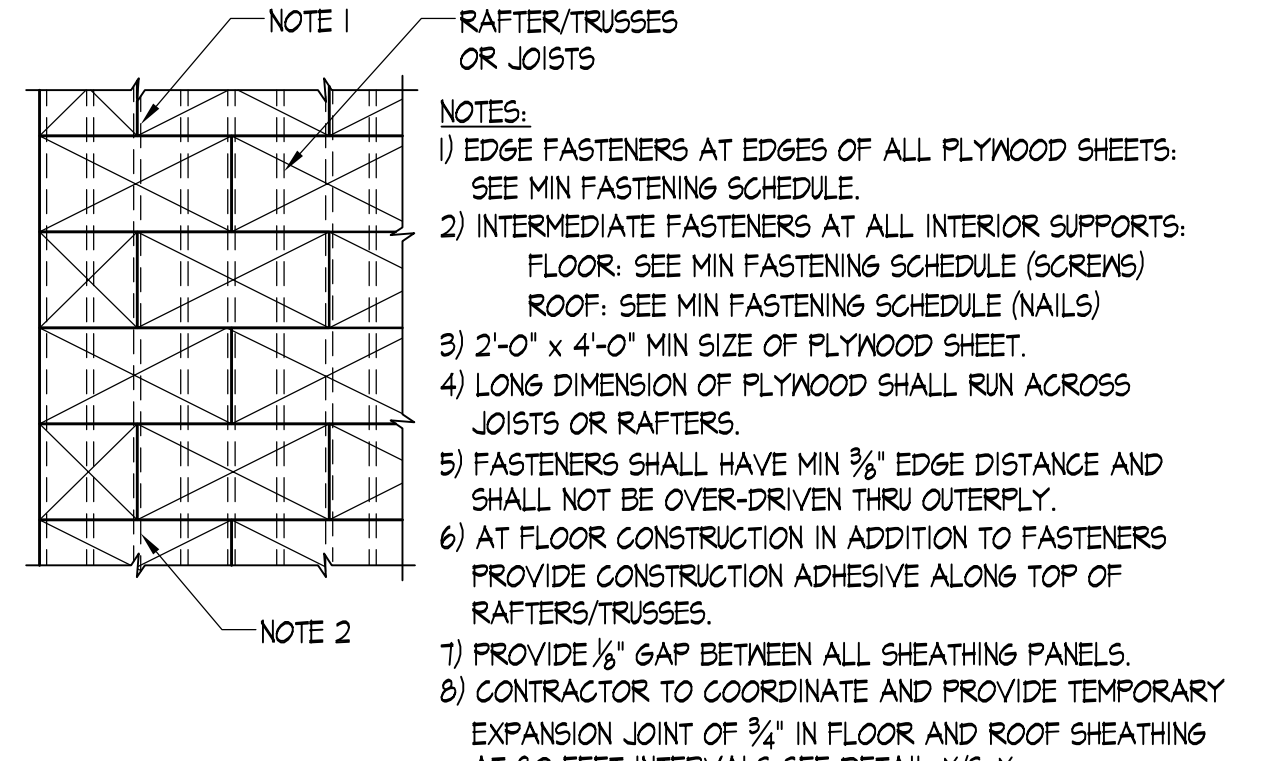
NOTES:
1) STAGGER FLOOR JOISTS AS REQ'D FOR TOP FLANGE JOIST HANGER CONNECTION
2) SEE GENERAL NOTES FOR GANG CONNECTION OF MULTIPLE BEAMS

4 TYPICAL JOIST TO BEAM CONNECTION

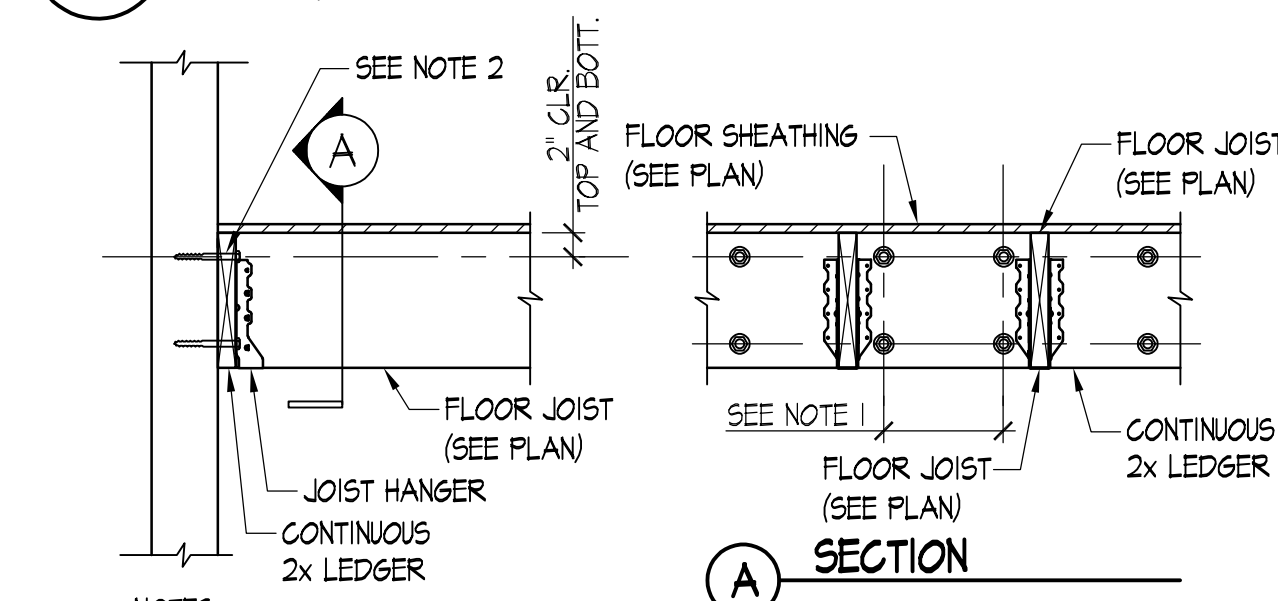


NOTES:
1) SEE GENERAL NOTES AND DETAIL X/SXX FOR MEMBER FASTENING REQUIREMENTS, UNLESS NOTED OTHERWISE.
2) PROVIDE CONT SOLID BLOCKING UNDER CONCENTRATED LOADS DOWN THROUGH FLOOR FRAMING TO FOUNDATION OR SLAB ON GRADE.
3) SEE DETAIL X/SXX FOR SHEAR WALL SHEATHING REQUIREMENTS.
4) JOISTS MUST BE WITHIN 5" OF STUD FOR DOUBLE TOP PLATE OR PROVIDE TRIPLE TOP PLATE.
5) FOR WALLS OVER TWO STORIES, STUDS MUST BE ALIGN WITH FLOOR JOISTS.

5 TYPICAL WALL FRAMING ELEVATION

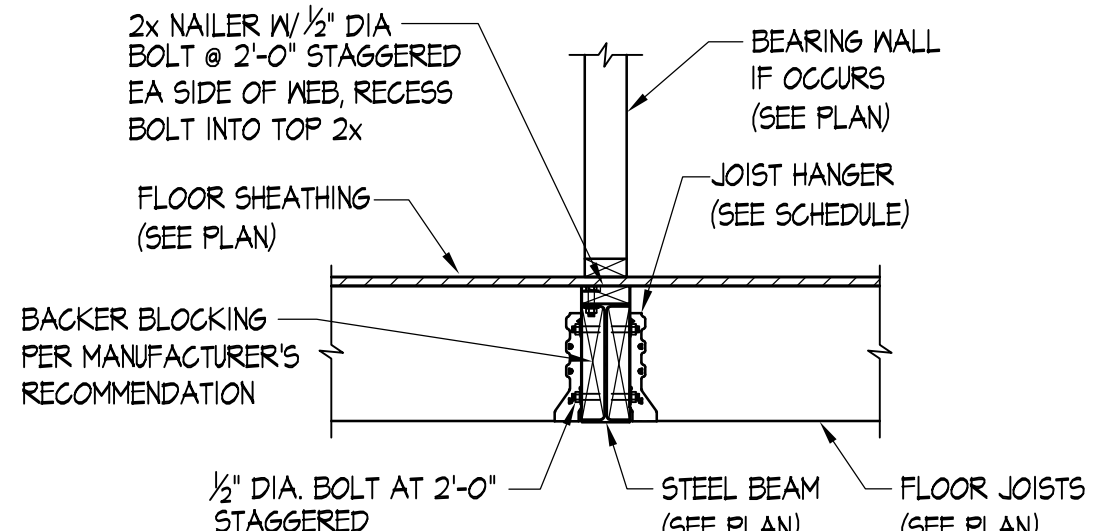


6 FASTENING FOR PLYWOOD SHEATHING ON FLOORS AND ROOF

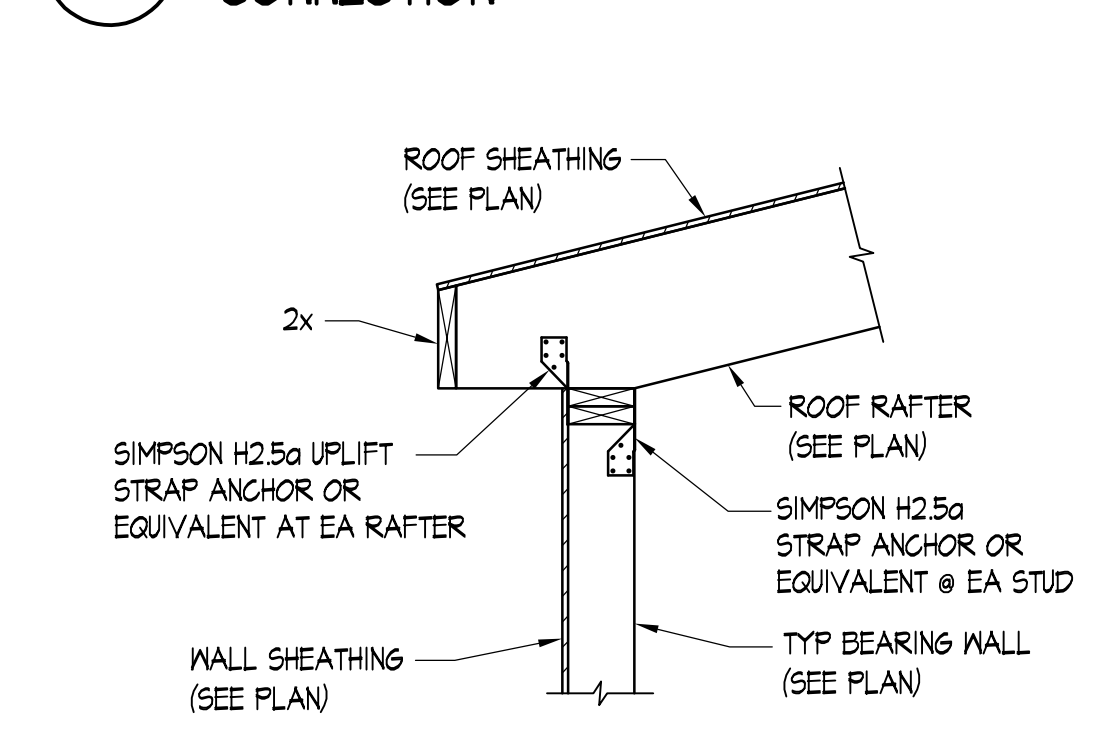


NOTE:
1) PROVIDE (2) LEDGERLOK SCREWS AT EVERY STUD TOP AND BOTTOM.

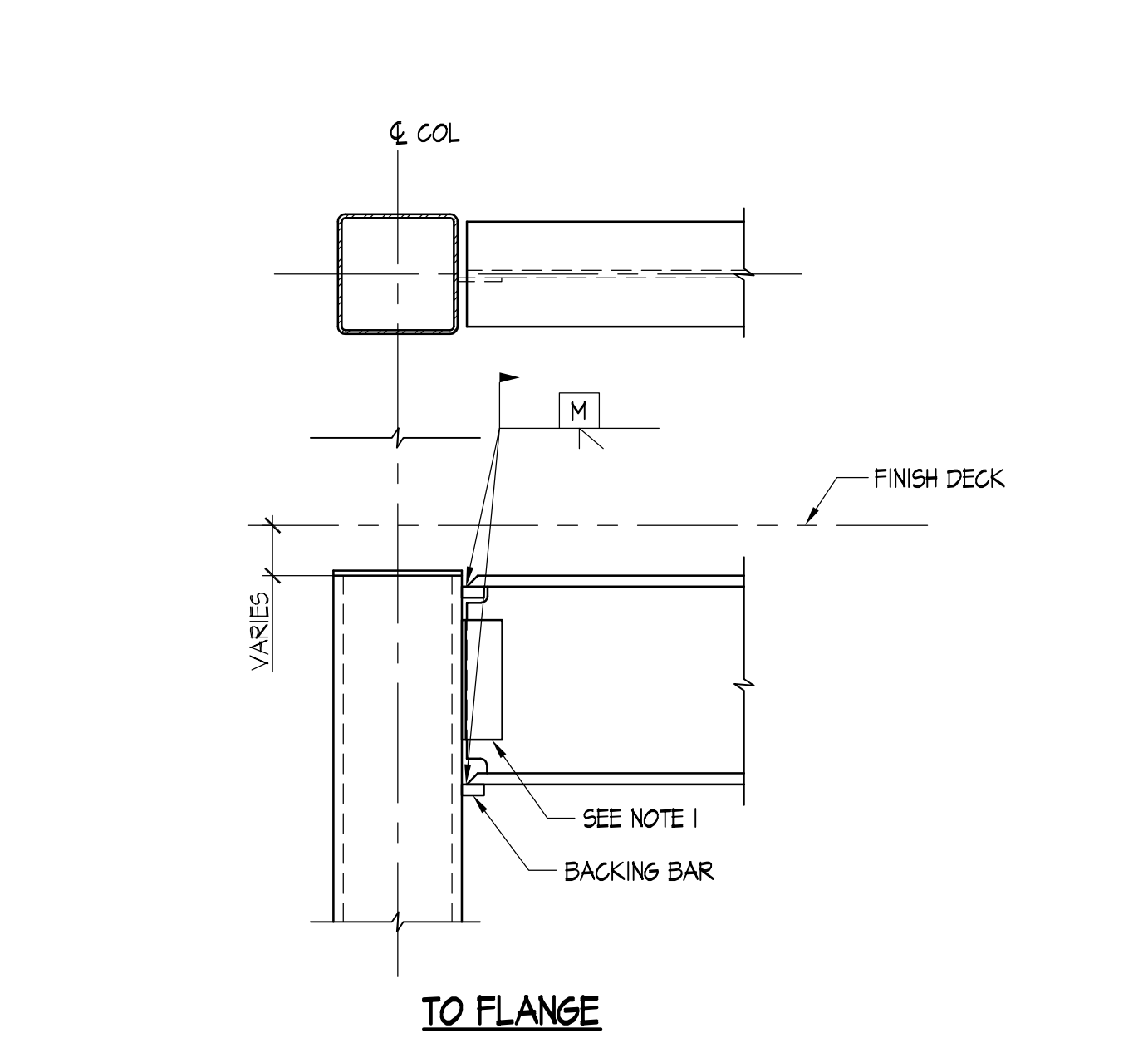
7 TYPICAL WOOD LEDGER



8 TYPICAL JOIST TO STEEL BEAM CONNECTION

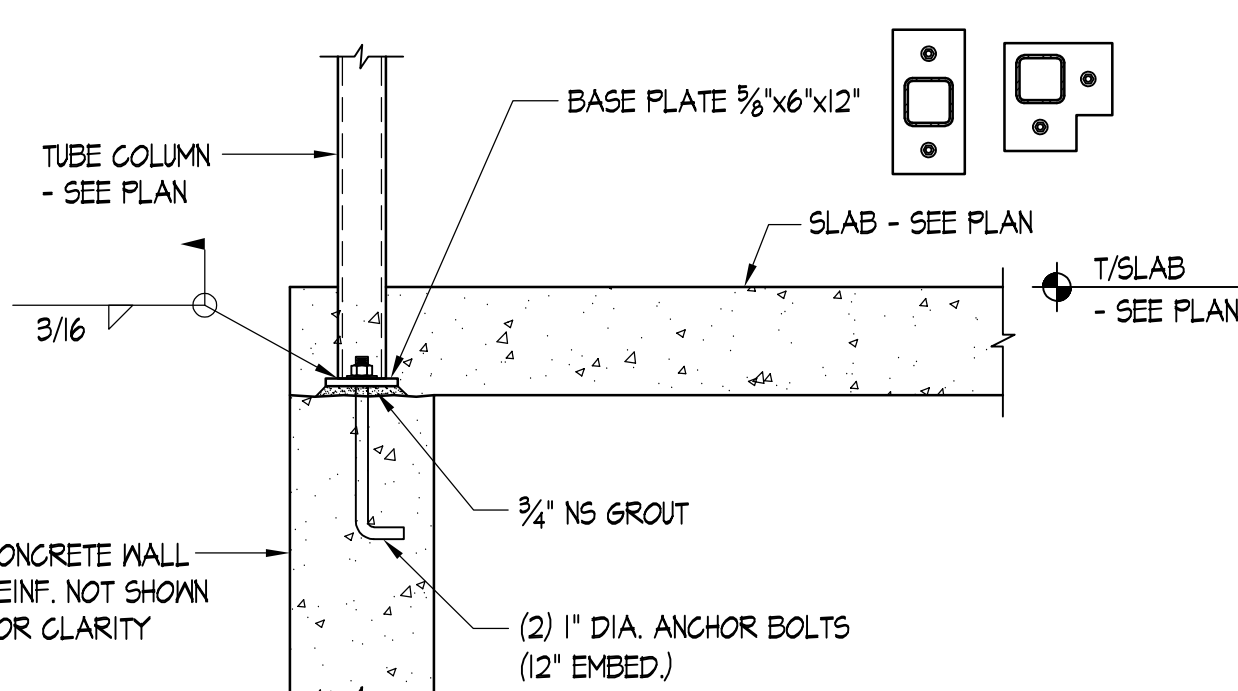


9 RAFTER CONNECTION AT BEARING WALL



NOTES:
1) WEB CONNECTION 3/8" SINGLE PLATE X 6" WITH 3/8" FILLET WELDS.
2) SEE PLANS FOR LOCATIONS AND BEAM AND COLUMN SIZES.
3) PROVIDE COMPLETE PENETRATION GROOVE WELDS UNLESS OTHERWISE SHOWN.
4) AT TOP LEVEL PROVIDE COLUMN CAP PLATE.

10 BEAM TO COLUMN - FULLY RESTRAINED MOMENT CONNECTION



11 STEEL POST ON CONCRETE WALL DETAIL

SCALE: 3/4"=1'-0"

REVIEWED
By Michael Kyne at 3:41 pm, Jun 24, 2020

APPROVED
Montgomery County
Historic Preservation Commission
Sandra Hilber

FOWLKES FS STUDIO
1711 CornerBout Ave, NW 204
Washington, DC 20009
(202) 758-5518

LAUREL PARKWAY

10 LAUREL PARKWAY
CHEVY CHASE, MARYLAND 20815

Scope:
INTERIOR RENOVATION OF EXISTING 2-STORY SINGLE-FAMILY DETACHED HOME TO INCLUDE SCREENED PORCH ADDITION

Owner:
Allison & Chris Marvin
10 Laurel Parkway
Chevy Chase, MD 20815

Builder:
TBD

Issue Date:
2020 MARCH 27
2020 MARCH 31
2020 JUNE 11

PRELIMINARY FRAMING
PRE-STRU. CLIENT CALL
PERMIT

Digitally signed by Garner Duvall
DN: CN=Garner Duvall,
OU=AD14110C0000168B36287FF0000D8F,
O=Unaffiliated, C=US
Location: MD
Reason: I agree to the terms defined by the
placement of my signature on this document.
Contact Info: gwd@rath-goss.com
Date: 2020.06.11 16:11:08-0400

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 27100, EXPIRATION DATE: 1-25-2022

scale: AS NOTED

title:

number: TYPICAL DETAILS

RATHGEBER/GOSS ASSOCIATES
Consulting Structural Engineers
15871 Crabbs Branch Way
Rockville, Maryland 20855
Phone: (301) 590-0071 Fax: (301) 590-0073
www.rath-goss.com
PROJECT NO. 20002.20

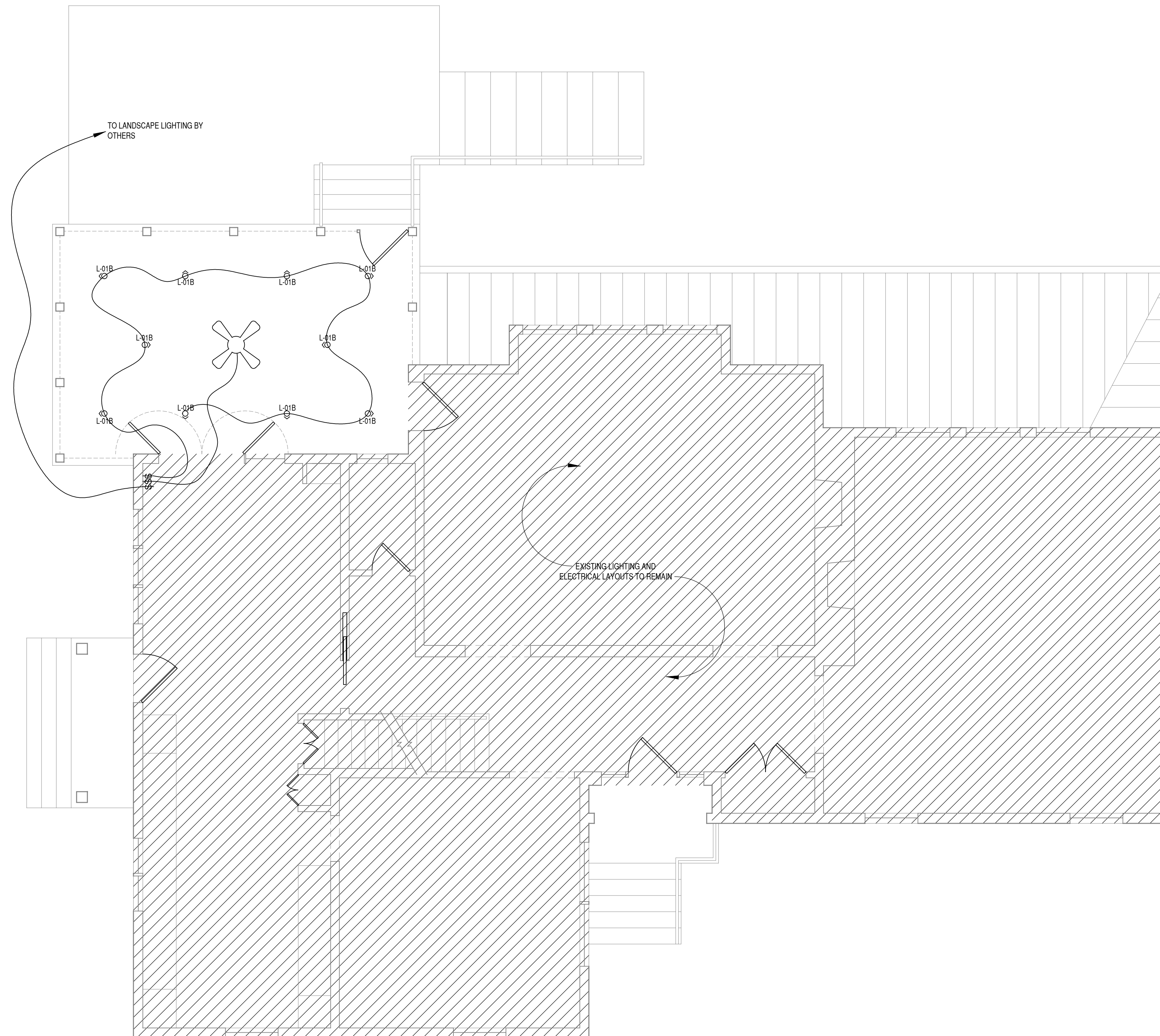
S301

LIGHTING SYMBOL LEGEND	
○	RECESSED DOWNLIGHT
○➤	RECESSED ADJUSTABLE DOWNLIGHT
○◊	RECESSED WALLWASH DOWNLIGHT
○	WALL SCONCE
⊕	CEILING-MOUNTED FIXTURE
⊙	PENDANT FIXTURE
⊕	DAMP-PROOF SHOWER LIGHT
—	LINEAR CEILING MOUNTED LIGHT
----	LINEAR LED
—	UNDER CABINET STRIP LIGHT
○	EXTERIOR FLOOD LIGHT
⊕	STEP LIGHT FIXTURE
—	SURFACE MOUNTED TRACK LIGHTING
⊕	CEILING FAN AND LIGHT FIXTURE

POWER SYMBOL LEGEND	
⊕	WALL-MOUNTED SWITCH
⊕	WALL-MOUNTED THREE-WAY SWITCH
⊕	WALL-MOUNTED DUPLEX RECEPTACLE
⊕	WALL-MOUNTED DUPLEX RECEPTACLE - DEDICATED GFI
⊕	DEDICATED APPLIANCE RECEPTACLE
⊕	SMOKE DETECTOR (HARDWIRED W/ BATT. BACKUP)
⊕	CARBON MONOXIDE ALARM
⊕	FLOOR RECEPTACLE
⊕	EXHAUST FAN

ELECTRICAL NOTES

- ALL RECESSED LIGHTS TO BE IC RATED, SEALED AT HOUSING/INTERIOR FINISH AND LABELED TO INDICATE EQUAL TO LESS THAN 2.0 CFM LEAKAGE AT 75 PA.
- CONTRACTOR TO ENSURE THAT 75% OF ALL LIGHTING SHALL CONTAIN HIGH EFFICIENCY LAMPS TO COMPLY WITH IECC 404.1
- ALL RECESSED LIGHTS TO BE SORAA 8-WATT CONSTANT CURRENT LED UNLESS OTHERWISE NOTED
- ALL RECEPTACLE OUTLETS IN HABITABLE SPACES OF DWELLING TO BE AFCI PROTECTED, EXCEPT SPACES ARE THOSE WHERE GFCI TYPES ARE REQ. PER NEC 210.12
- RECEPTACLE OUTLETS IN COUNTER TOP SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 2 FEET MEASURED HORIZONTALLY FROM RECEPTACLE OUTLET IN THAT SPACE PER NEC 210.52(B)(3)(1). INSTALL FIRST RECEPTACLE WITHIN 2' OF EDGE OF COUNTER OR SINK, THEN THE NEXT WITH 4' OF FIRST. RECEPTACLES INSTALLED WITHIN CABINETS DO NOT COUNT AS ONE OF THE REQ'D RECEPTACLES
- COUNTERTOP SPACES SEPARATED BY RANGES, REFRIGERATORS, OR SINKS SHALL BE CONSIDERED AS SEPARATE COUNTER TOP SPACES AND NEED NOT COMPLY WITH REQ'S OF NEC 210.52
- RECEPTACLE OUTLETS IN HABITABLE ROOMS SHALL BE INSTALLED SO THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6 FEET FROM A RECEPTACLE OUTLET PER NEC 210.52
- ALL RECEPTACLE OUTLETS IN DWELLING UNITS, EXCEPT THOSE 5'-1/2" OFF THE FLOOR OR FOR A DEDICATED APPLIANCE, TO BE TAMPER-RESISTANT PER NEC 406.12
- ALL RECEPTACLES ABOVE KITCHEN COUNTERTOPS TO BE GFCI PROTECTED, PER NEC 210.8(A)(6)
- DISHWASHER-DEDICATED RECEPTACLES TO BE LOCATED IN ADJACENT CABINETS AND ACCESSIBLE FOR DISCONNECTION
- ALL SWITCHES TO BE ON DIMMERS U.O.N.



NOTE: THERE IS TO BE NO CHANGE TO THE ELECTRICAL OR LIGHTING LAYOUTS IN THE BASEMENT

FIRST FLOOR
PARTIAL ELECTRICAL PLAN 1
1/4" = 1'-0"

REVIEWED
By Michael Kyne at 3:37 pm, Jun 24, 2020

APPROVED
Montgomery County
Historic Preservation Commission
Sandra J. Heiler

FOWLKES FS STUDIO
1711 Connecticut Ave, NW 204
Washington, DC 20009
(202) 758-5518

LAUREL PARKWAY

10 LAUREL PARKWAY
CHEVY CHASE, MARYLAND 20815

Scope:

INTERIOR RENOVATION OF EXISTING 2-STORY SINGLE-FAMILY DETACHED HOME TO INCLUDE SCREENED PORCH ADDITION

Owner:

Allison & Chris Marvin
10 Laurel Parkway
Chevy Chase, MD 20815

Builder:

TBD

Issue Date:

2020 MARCH 27
2020 MARCH 31
2020 APRIL 10
2020 APRIL 21
2020 APRIL 28
2020 APRIL 30
2020 MAY 26
2020 JUNE 11

PRELIMINARY FRAMING
PRE-STRU. CLIENT CALL
INTERNAL REVIEW
UPDATED FRAMING
FRAMING CHECK SET
HAWP APPLICATION
BID SET w/ INTERIORS
PERMIT



scale: 1/4" = 1'-0"

title: **FIRST FLOOR PARTIAL ELECTRICAL PLAN**

number:

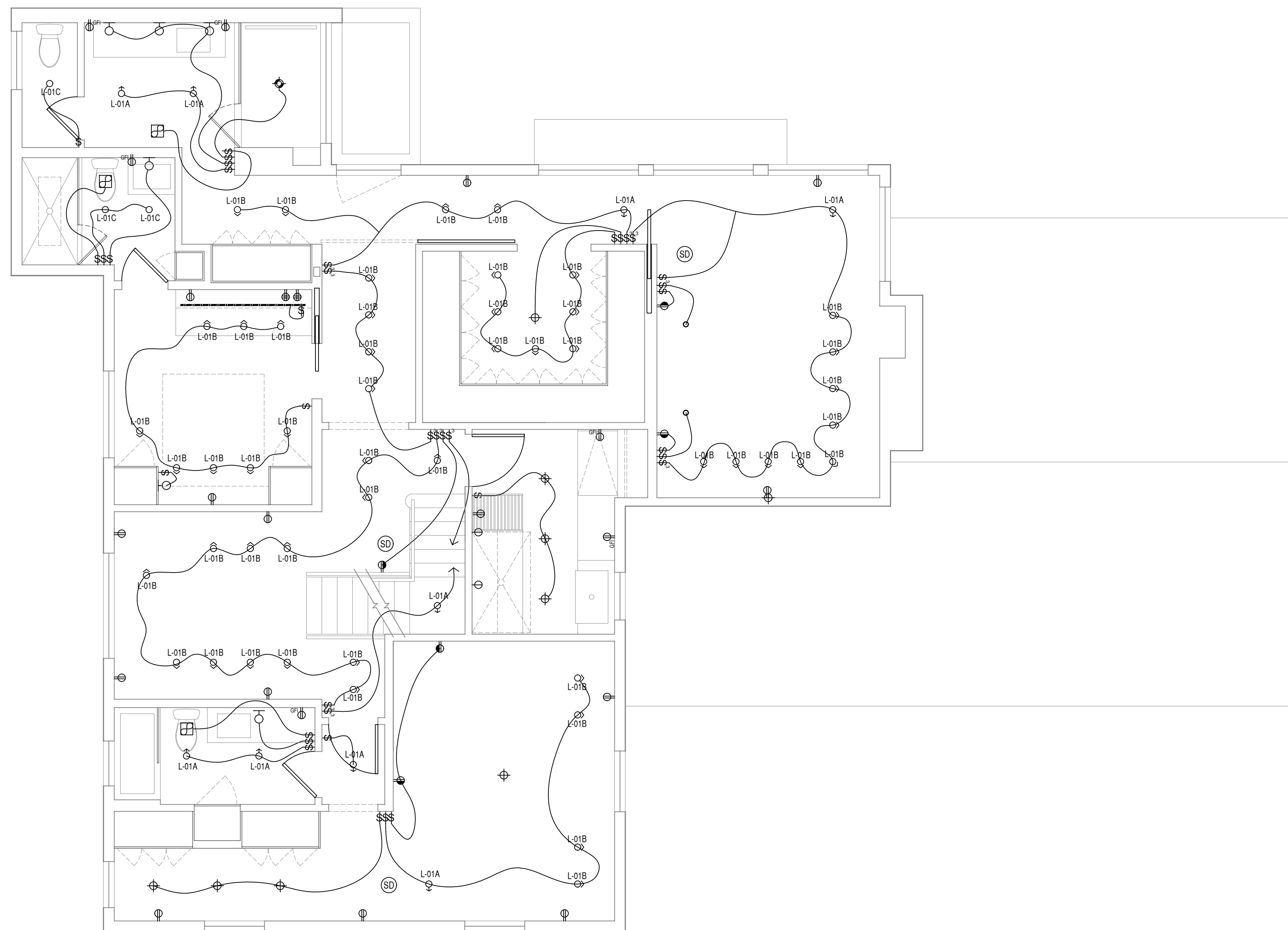
E001

LIGHTING SYMBOL LEGEND	
○	RECESSED DOWNLIGHT
○➤	RECESSED ADJUSTABLE DOWNLIGHT
○	RECESSED WALLWASH DOWNLIGHT
○	WALL SCONCE
⊕	CEILING MOUNTED FIXTURE
⊙	PENDANT FIXTURE
⊕	DAMP-PROOF SHOWER LIGHT
—	LINEAR CEILING MOUNTED LIGHT
----	LINEAR LED
—	UNDER CABINET STRIP LIGHT
○	EXTERIOR FLOOD LIGHT
⊕	STEP LIGHT FIXTURE
—	SURFACE MOUNTED TRACK LIGHTING
⊗	CEILING FAN AND LIGHT FIXTURE

POWER SYMBOL LEGEND	
⊞	WALL-MOUNTED SWITCH
⊞	WALL-MOUNTED THREE-WAY SWITCH
⊞	WALL-MOUNTED DUPLEX RECEPTACLE
⊞	WALL-MOUNTED DUPLEX RECEPTACLE - DEDICATED GFI
⊞	DEDICATED APPLIANCE RECEPTACLE
⊞	SMOKE DETECTOR (HARDWIRED W/ BATT. BACKUP)
⊞	CARBON MONOXIDE ALARM
⊞	FLOOR RECEPTACLE
⊞	EXHAUST FAN

ELECTRICAL NOTES

- ALL RECESSED LIGHTS TO BE IC RATED, SEALED AT HOUSING/INTERIOR FINISH AND LABELED TO INDICATE EQUAL TO LESS THAN 2.0 CFM LEAKAGE AT 75 PA.
- CONTRACTOR TO ENSURE THAT 75% OF ALL LIGHTING SHALL CONTAIN HIGH EFFICIENCY LAMPS TO COMPLY WITH IECC 404.1
- ALL RECESSED LIGHTS TO BE SORAA 8-WATT CONSTANT CURRENT LED UNLESS OTHERWISE NOTED
- ALL RECEPTACLE OUTLETS IN HABITABLE SPACES OF DWELLING TO BE AFCI PROTECTED. EXCEPTED SPACES ARE THOSE WHERE GFI TYPES ARE REQ. PER NEC 210.12
- RECEPTACLE OUTLETS IN COUNTER TOP SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 2 FEET MEASURED HORIZONTALLY FROM RECEPTACLE OUTLET IN THAT SPACE PER NEC 210.52(B)(3)(1). INSTALL FIRST RECEPTACLE WITHIN 2' OF EDGE OF COUNTER OR SINK, THEN THE NEXT WITH 4' OF FIRST. RECEPTACLES INSTALLED WITHIN CABINETS DO NOT COUNT AS ONE OF THE REQ'D RECEPTACLES
- COUNTERTOP SPACES SEPARATED BY RANGES, REFRIGERATORS, OR SINKS SHALL BE CONSIDERED AS SEPARATE COUNTER TOP SPACES AND NEED NOT COMPLY WITH REQ'S OF NEC 210.52
- RECEPTACLE OUTLETS IN HABITABLE ROOMS SHALL BE INSTALLED SO THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6 FEET FROM A RECEPTACLE OUTLET PER NEC 210.52
- ALL RECEPTACLE OUTLETS IN DWELLING UNITS, EXCEPT THOSE 5'-1/2" OFF THE FLOOR OR FOR A DEDICATED APPLIANCE, TO BE TAMPER-RESISTANT PER NEC 406.12
- ALL RECEPTACLES ABOVE KITCHEN COUNTERTOPS TO BE GFCI PROTECTED. PER NEC 210.8(A)(6)
- DISHWASHER-DEDICATED RECEPTACLES TO BE LOCATED IN ADJACENT CABINETS AND ACCESSIBLE FOR DISCONNECTION
- ALL SWITCHES TO BE ON DIMMERS U.O.N.



SECOND FLOOR
ELECTRICAL PLAN 1
1/4" = 1'-0"

REVIEWED
By Michael Kyne at 3:37 pm, Jun 24, 2020

APPROVED
Montgomery County
Historic Preservation Commission
Sandra A. Skiles

FOWLKES FS STUDIO
1711 Connecticut Ave., NW 204
Washington, DC 20009
(202) 758-5518

LAUREL PARKWAY
10 LAUREL PARKWAY
CHEVY CHASE, MARYLAND 20815

Scope:
INTERIOR RENOVATION OF EXISTING 2-STORY SINGLE-FAMILY DETACHED HOME TO INCLUDE SCREENED PORCH ADDITION

Owner:
Allison & Chris Marvin
10 Laurel Parkway
Chevy Chase, MD 20815

Builder:
TBD

Issue Date:
2020 MARCH 27 PRELIMINARY FRAMING
2020 MARCH 31 PRE-STRU. CLIENT CALL
2020 APRIL 10 INTERNAL REVIEW
2020 APRIL 21 UPDATED FRAMING
2020 APRIL 28 FRAMING CHECK SET
2020 APRIL 30 HAWP APPLICATION
2020 MAY 26 BID SET w/ INTERIORS PERMIT
2020 JUNE 11



scale: 1/4" = 1'-0"

title: **SECOND FLOOR ELECTRICAL PLAN**

number:

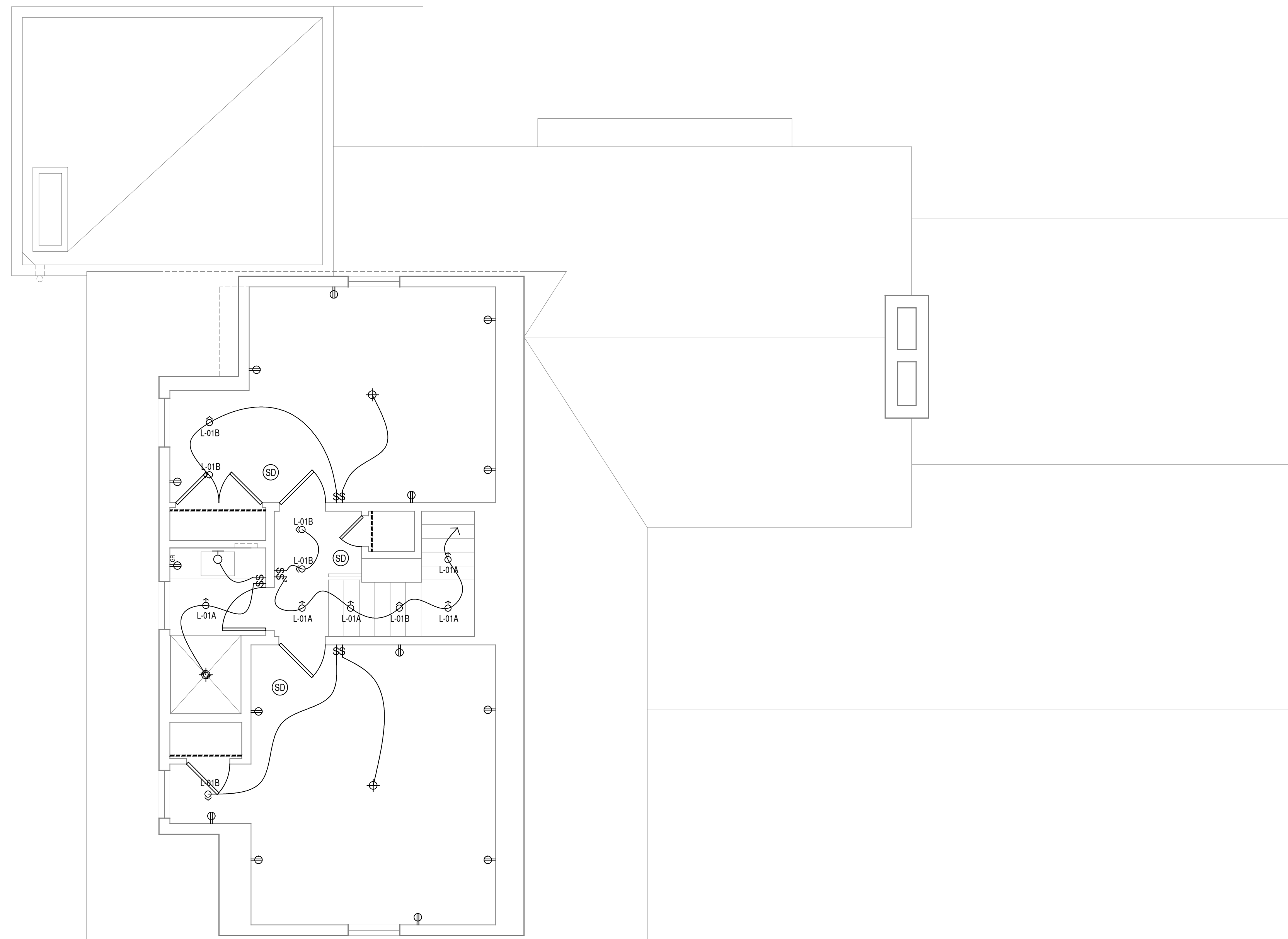
E002

LIGHTING SYMBOL LEGEND	
○	RECESSED DOWNLIGHT
○➤	RECESSED ADJUSTABLE DOWNLIGHT
○	RECESSED WALLWASH DOWNLIGHT
○	WALL SCONCE
⊕	CEILING-MOUNTED FIXTURE
⊙	PENDANT FIXTURE
⊕	DAMP-PROOF SHOWER LIGHT
—	LINEAR CEILING MOUNTED LIGHT
----	LINEAR LED
—	UNDER CABINET STRIP LIGHT
○	EXTERIOR FLOOD LIGHT
⊕	STEP LIGHT FIXTURE
—	SURFACE MOUNTED TRACK LIGHTING
⊗	CEILING FAN AND LIGHT FIXTURE

POWER SYMBOL LEGEND	
⊕	WALL-MOUNTED SWITCH
⊕	WALL-MOUNTED THREE-WAY SWITCH
⊕	WALL-MOUNTED DUPLEX RECEPTACLE
⊕	WALL-MOUNTED DUPLEX RECEPTACLE - DEDICATED GFI
⊕	DEDICATED APPLIANCE RECEPTACLE
⊕	SMOKE DETECTOR (HARDWIRED W/ BATT. BACKUP)
⊕	CARBON MONOXIDE ALARM
⊕	FLOOR RECEPTACLE
⊕	EXHAUST FAN

ELECTRICAL NOTES

- ALL RECESSED LIGHTS TO BE IC RATED, SEALED AT HOUSING/INTERIOR FINISH AND LABELED TO INDICATE EQUAL TO LESS THAN 2.0 CFM LEAKAGE AT 75 PA.
- CONTRACTOR TO ENSURE THAT 75% OF ALL LIGHTING SHALL CONTAIN HIGH EFFICIENCY LAMPS TO COMPLY WITH IECC 404.1
- ALL RECESSED LIGHTS TO BE SORAA 8-WATT CONSTANT CURRENT LED UNLESS OTHERWISE NOTED
- ALL RECEPTACLE OUTLETS IN HABITABLE SPACES OF DWELLING TO BE AFCI PROTECTED, EXCEPT SPACES ARE THOSE WHERE GFCI TYPES ARE REQ. PER NEC 210.12
- RECEPTACLE OUTLETS IN COUNTER TOP SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 2 FEET MEASURED HORIZONTALLY FROM RECEPTACLE OUTLET IN THAT SPACE PER NEC 210.52(B)(3)(1). INSTALL FIRST RECEPTACLE WITHIN 2' OF EDGE OF COUNTER OR SINK, THEN THE NEXT WITH 4' OF FIRST. RECEPTACLES INSTALLED WITHIN CABINETS DO NOT COUNT AS ONE OF THE REQ'D RECEPTACLES
- COUNTERTOP SPACES SEPARATED BY RANGES, REFRIGERATORS, OR SINKS SHALL BE CONSIDERED AS SEPARATE COUNTER TOP SPACES AND NEED NOT COMPLY WITH REQ'S OF NEC 210.52
- RECEPTACLE OUTLETS IN HABITABLE ROOMS SHALL BE INSTALLED SO THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6 FEET FROM A RECEPTACLE OUTLET PER NEC 210.52
- ALL RECEPTACLE OUTLETS IN DWELLING UNITS, EXCEPT THOSE 5'-1/2' OFF THE FLOOR OR FOR A DEDICATED APPLIANCE, TO BE TAMPER-RESISTANT PER NEC 406.12
- ALL RECEPTACLES ABOVE KITCHEN COUNTERTOPS TO BE GFCI PROTECTED, PER NEC 210.8(A)(6)
- DISHWASHER-DEDICATED RECEPTACLES TO BE LOCATED IN ADJACENT CABINETS AND ACCESSIBLE FOR DISCONNECTION
- ALL SWITCHES TO BE ON DIMMERS U.O.N.



NOTE: THERE IS TO BE NO CHANGE TO THE ELECTRICAL LAYOUTS IN THE BASEMENT OR ON THE FIRST FLOOR

ATTIC ELECTRICAL PLAN 1 OF 1
 1/4" = 1'-0"

REVIEWED
 By Michael Kyne at 3:37 pm, Jun 24, 2020

APPROVED
 Montgomery County
 Historic Preservation Commission
Sandra L. Heiler

FOWLKES STUDIO (FS)
 1711 Connecticut Ave, NW 204
 Washington, DC 20009
 (202) 758 - 5518

LAUREL PARKWAY
 10 LAUREL PARKWAY
 CHEVY CHASE, MARYLAND 20815

Scope:
 INTERIOR RENOVATION OF EXISTING 2-STORY SINGLE-FAMILY DETACHED HOME TO INCLUDE SCREENED PORCH ADDITION

Owner:
 Allison & Chris Marvin
 10 Laurel Parkway
 Chevy Chase, MD 20815

Builder:
 TBD

Issue Date:
 2020 MARCH 27 PRELIMINARY FRAMING
 2020 MARCH 31 PRE-STRU. CLIENT CALL
 2020 APRIL 10 INTERNAL REVIEW
 2020 APRIL 21 UPDATED FRAMING
 2020 APRIL 28 FRAMING CHECK SET
 2020 APRIL 30 HAWP APPLICATION
 2020 MAY 26 BID SET w/ INTERIORS
 2020 JUNE 11 PERMIT



scale: 1/4" = 1'-0"

title: **ATTIC ELECTRICAL PLAN**

number:

E003