



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Sandra I. Heiler
Chairman

Date: June 24, 2020

MEMORANDUM

TO: Hadi Mansouri
Department of Permitting Services

FROM: Michael Kyne
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #912705: Porch enclosure

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the May 27, 2020 HPC meeting.

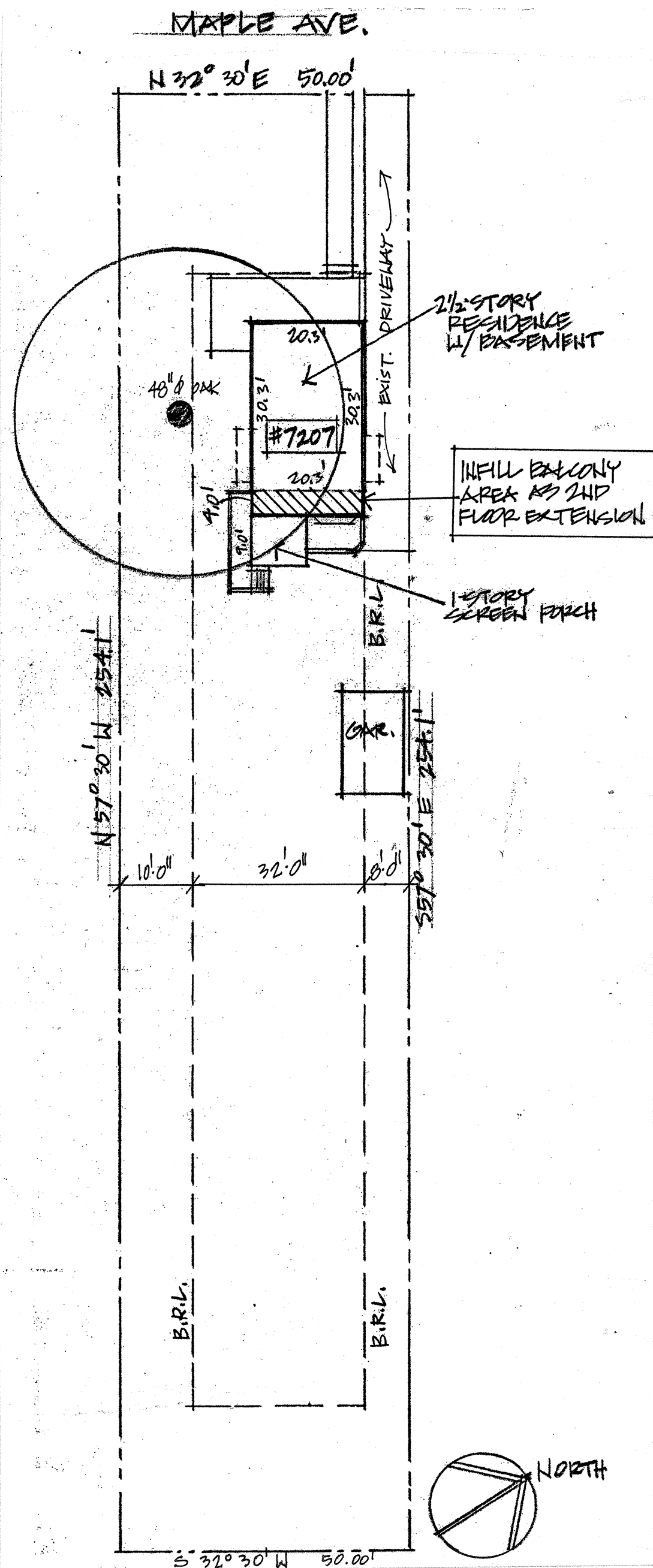
The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Tom and Mary Hanisco (Richard Vitullo, Architect)
Address: 7207 Maple Avenue, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Michael Kyne at 301.563.3403 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.





Site Plan

1" = 20'-0"

PROPERTY DESCRIPTION

Lot: Part of 18 Block: 3
 Plat No.: 224
 Subdivision: B.F. Gilbert's Addition to Takoma Park
 Address: 7207 Maple Ave., Takoma Park, MD 20912
 Year built: 1873
 Zoning: R-60

PROJECT DESCRIPTION:

Infill existing 240 s.f. 2nd floor covered balcony, creating a larger Master Bedroom space.

RESIDENTIAL CODE NOTES:

All construction shall be in conformance with the International Residential Code (IRC), 2015 Edition, as amended by Mont. Co., Executive Reg.#4-15AMII.

AREA CALCULATIONS

EXISTING:

Lot Area: 12,705 s.f.
 Lot Coverage: 1043 s.f.
 % of Total Lot Coverage: 8%

PROPOSED:

No change

GENERAL CONSTRUCTION NOTES:

- These drawings are to show only materials and layout of the design; means and methods are to be determined by contractor. The contractor shall fully acquaint him/herself with the conditions relating to construction and labor so that he/she understands the issues relating to the execution of the work.
- Contractor shall provide all materials, labor and equipment and pay all freight charges, taxes, and handling of materials necessary for the full implementation of the work herein described on these drawings unless noted otherwise.
- Contractor to verify all dimensions and assumed conditions in the field; bring any discrepancies, omissions, ambiguities or conflicts to the attention of the architect and owner as soon as possible before proceeding with any of this work in question.
- Contractor to notify architect if any existing pipes, ducts, or structural elements (or any other relevant item) that are revealed by demolition and are scheduled to be removed or re-routed for the new plan are determined to be not easily moved, or removed.
- Contractor to notify architect and/or structural engineer if any existing wood joists, sheathing, studs, etc. are damaged or deteriorated from termites, water, etc.
- All construction will meet or exceed all applicable building and health codes, unless a code modification approval is granted.
- The owner's written authorization will be required before any work is executed or materials ordered that involve a change from the original specifications affecting the contract price.
- All plan dimensions on drawings are set to edge of framing members; all finishes are not taken into account unless otherwise noted. If dimension is taken to a finish surface, it shall be noted as "FINISH DIMENSION", "FIN. DIM.", or "CLEAR DIM."
- Solid blocking required under posts or any bearing from above to solid bearing below; match bearing area of post above to bearing below; cut bearing blocks to minimum 1/16" deeper than joists.
- All wood in contact with masonry/concrete surfaces shall be pressure-treated; install sill gasket underneath all sill plates.
- New doors, windows and hardware, are to be provided and installed by contractor; verify window and door manufacturers' rough opening dimensions prior to framing.
- Install shelves and closet poles in clothes Closets at 5'-6" A.F.F., typ.; sand, prime and paint shelves with gloss paint; color by owner; changes in the configuration of shelves in other closets to be confirmed by owner prior to final installation.
- In all newly exposed existing 2 x 4 furring or walls at exterior, insert insulation in any combination of closed cell foam/rockwool/batts for R-13, minimum.
- In all newly exposed existing roof rafters where an R-49 insulation level is impossible to achieve, insert insulation in any combination of closed cell foam/rockwool/batts for R-30, minimum, given that the maximum area shall be limited to 500 sf or 20% of the total insulated ceiling area (See IRC 2015 N1102.2.2). At new exterior walls, (2 x 6), insert insulation to R-20, minimum.
- If house-wrap and or building paper is used, apply and lap in a shingle-fashion so that upper courses lap over lower courses; any window and door flashing is integrated into this system in the same manner. Apply Z-flashing at all heads and apply pan flashing at all sills.
- All new or existing wall surfaces are to be prepared for painting to be smooth and free of cracks, peeling paint, etc.; walls to be primed and painted (2 coats, min.) with color to be selected by owner.
- Any new flooring material (tile, etc.) to be selected by owner, installed by contractor. Make surface smooth and flat for receipt of new flooring.
- Install new interconnected AC-powered smoke and CO detectors as per drawings and per code, as necessary.
- In all rooms, all-fault circuit interrupters (AFCI) to be installed.
- Upgrade electrical service as necessary to provide sufficient power for new fixtures, etc.
- Electrical switches (dimmers, toggles, etc.), and telephone/modem to be approved by owner, installed by contractor. All decorative light fixtures to be selected by owner, installed by contractor.

SPECIFICATIONS

- Exterior wall/roof sheathing: Huber Engineered Woods LLC, "Zip System" combination wall sheathing, water-resistive barrier, and air barrier, thicknesses as specified in drawings: 7/16" for wall sheathing, 5/8" for roof sheathing.

All other selections by owner and/or architect TBD.

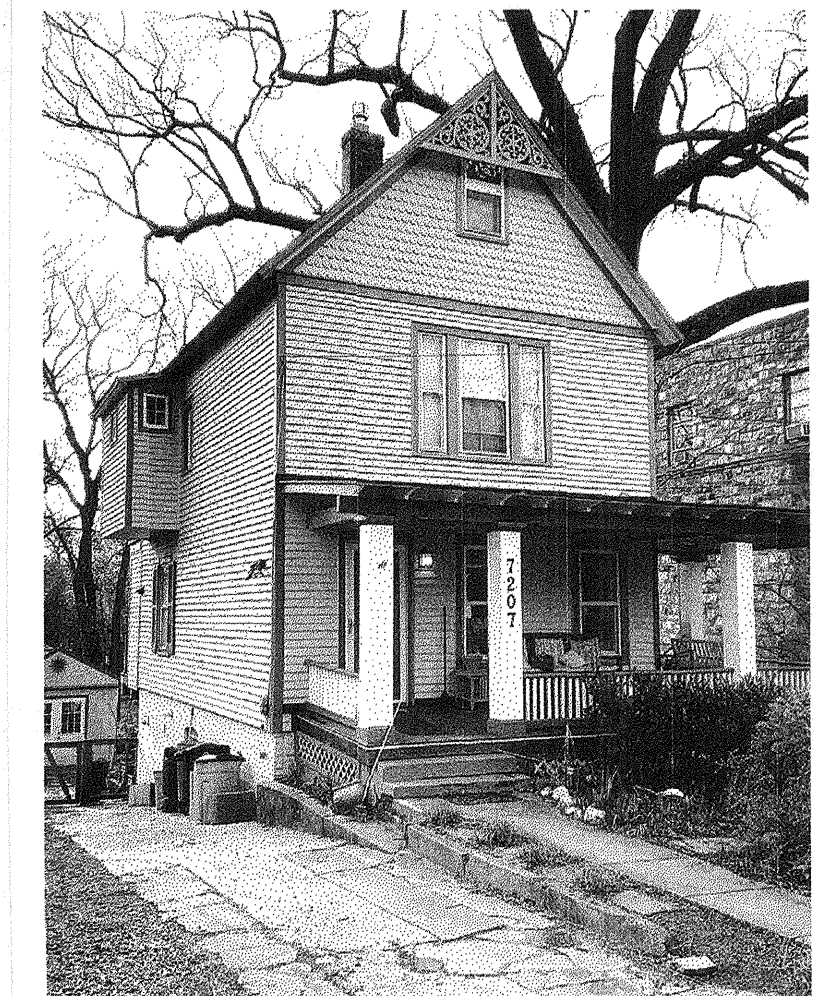
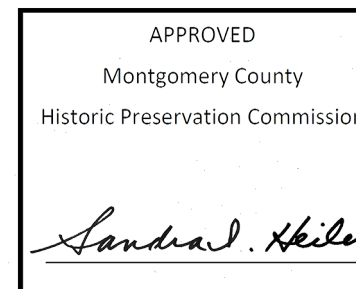
Covered Balcony Infill Addition for:

Hanisco Residence

7207 Maple Ave.
 Takoma Park, MD 20912

REVIEWED

By Michael Kyne at 4:11 pm, Jun 24, 2020



Professional Certification:
 I certify that these documents were prepared or approved by me and are in compliance with the laws of the State of Maryland.
 License #: 8221-R, Exp. Date: 7/22/2022

Vitullo Architecture Studio, PC
 7016 Woodland Ave.
 Takoma Park, MD 20912
 (301)806-6447 cell

Hanisco Residence
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COVER

ELECTRICAL & LIGHTING LEGEND

- ⊖ "E" Indicates existing unit (light or outlet) (all outlets to be made code-compliant)
- ⊖ Duplex Outlet/new
- ⊖ A/C Duplex Outlet/new/above counter
- ⊖ GFCI Duplex Outlet/new/GFCI (all outlets in kitchens, baths, and exterior are to be GFCI)
- ⊖ AFCI Duplex Outlet/new/AFCI (All-Fault Circuit Interrupter outlets: for all but in Kitchen)
- ⊖ Double Duplex Outlet
- ⊖ F Duplex Floor Outlet
- ⊖ 240 240v Outlet
- ⊖ EF Exhaust Fan
- ⊖ EF/H Exhaust Fan/Heat
- ⊖ EF/H/L Exhaust Fan/Heat/Light
- ⊖ CF Ceiling Fan
- ⊖ CF/L Ceiling Fan/Light
- ⊖ P Pendant Light Fixture
- ⊖ R Recessed Light Fixture
- ⊖ R Existing Recessed Light Fixture/Existing
- ⊖ R/E Recessed Light Fixture/Eyeball
- ⊖ SM Surface Mounted Light Fixture
- ⊖ W Wall Mounted Light Fixture/Sconce
- ⊖ WP Light Fixture /Waterproof
- ⊖ FL Dual Flood Light
- ⊖ DSL Data/Telephone Jack
- ⊖ TV Coaxial/Cable TV
- ⊖ SP Audio Speaker
- ⊖ S Switch
- ⊖ S D Switch/Dimmer
- ⊖ S 3 Three-way Switch
- ⊖ T Track light
- ⊖ P "Plugmold" Power Strip
- ⊖ U/C Undercabinet Lights
- ⊖ Smoke & Carbon Monoxide Detectors (hard-wired in dedicated circuit, interconnected, with battery backup)
- ⊖ T Thermostat

Sheet No. Sheet Title

- Cover Site Plan/Project Description /General Notes Electrical & Lighting Legend/
- A-1 Second Floor Demolition Plan (1/4"=1'-0")/ Demolition Notes / Window & Door Schedule/Finish Schedule
- A-2 Exterior Elevations (1/4"=1'-0")/ Air Barrier, Insulation & Thermal Barrier Schedule And Diagrams
- A-3 Wall Section (1"=1'-0")/Structural Calculations/ Second Floor & Roof Framing Plan (1/4"=1'-0")

6.15.20

WINDOW SCHEDULE					Manufacturer- Windows: Marvin											
No.	Mfr. No.	Height, Unit (R.O.)	Width, Unit (R.O.)	Jamb Depth	Window Type/Material	Glazing Type	Grille Structure	Mullion Divisions	Screens / Screen Door	Hardware	Overall Glass Size (Total s.f.)	SHGC-value Total Unit	U-value Total Unit	Egress window	Quant.	Remarks
A	WUCA 2854	4'-6 1/16" (4'-6 9/16" R.O.)	2'-4" (2'-5" R.O.)	2 x 6 frame	CASEMENT /wood interior & wood exterior	Insulating glass Low E II w/ Argon	1 1/8" spacer bar	1-over-1 appearance	YES	Satin Taupe (Std.)	9.3 s.f. (18.6 s.f.)	0.28	0.29	YES	2	One left hinged; one right hinged
B	WUCA 2044	3'-8 1/16" (3'-8 9/16" R.O.)	1'-8" (1'-9" R.O.)	2 x 6 frame	CASEMENT /wood interior & wood exterior	Insulating glass Low E II w/ Argon	NONE	NONE	YES	Satin Taupe (Std.)	5 s.f.	0.28	0.29	no	1	
TOTALS												0.28 avg.	0.30 avg.		3 units	

FINISH SCHEDULE																	
SECOND FLOOR																	
ROOM	FLOORS	BASE/ WAINSCOT	WINDOW / DOOR TRIM	WALLS	CEILING	CEILING HEIGHT	Area +/- (Sq.Ft)	Remarks									
Material	Finish	Material	Finish	Material	Finish												
Linen Closet	Exist. Pine	High-Traffic Epoxy or Polyurethane	SM-240-B on 1 x 6 (or match ex.)	Low VOC Paint	SM-7 Capitol Hill casing (4 1/2")	SM-7 Capitol Hill casing (4 1/2")	SM-159 (4 3/4" x 4 3/4")	5 1/4" x 8 1/4" high (match ex.)	SM-7 Capitol Hill casing (4 1/2")	Low VOC Paint	1/2-inch gyp. bd.	Low VOC Paint	1/2-inch gyp. bd.	Low VOC Paint	9'-0" +/-	7	
Master Bedroom	Exist. And new Pine	High-Traffic Epoxy or Poly.	SM-240-B on 1 x 6 (or match ex.)	Low VOC Paint	SM-7 Capitol Hill casing (4 1/2")	SM-7 Capitol Hill casing (4 1/2")	SM-159 (4 3/4" x 4 3/4")	5 1/4" x 8 1/4" high (match ex.)	SM-7 Capitol Hill casing (4 1/2")	Low VOC Paint	1/2-inch gyp. bd.	Low VOC Paint	1/2-inch gyp. bd.	Low VOC Paint	7'-2" and 9'-0" +/-	234	Match and tooth-in pine flooring to match
Closet 1	Exist. Pine	High-Traffic Epoxy or Poly.	SM-240-B on 1 x 6 (or match ex.)	Low VOC Paint	SM-7 Capitol Hill casing (4 1/2")	SM-7 Capitol Hill casing (4 1/2")	SM-159 (4 3/4" x 4 3/4")	5 1/4" x 8 1/4" high (match ex.)	SM-7 Capitol Hill casing (4 1/2")	Low VOC Paint	1/2-inch gyp. bd.	Low VOC Paint	1/2-inch gyp. bd.	Low VOC Paint	9'-0" +/-	24	
Closet 2	Exist. Pine	High-Traffic Epoxy or Poly.	SM-240-B on 1 x 6 (or match ex.)	Low VOC Paint	SM-7 Capitol Hill casing (4 1/2")	SM-7 Capitol Hill casing (4 1/2")	SM-159 (4 3/4" x 4 3/4")	5 1/4" x 8 1/4" high (match ex.)	SM-7 Capitol Hill casing (4 1/2")	Low VOC Paint	1/2-inch gyp. bd.	Low VOC Paint	1/2-inch gyp. bd.	Low VOC Paint	9'-0" +/-	6	
Closet 3	Exist. Pine	High-Traffic Epoxy or Poly.	SM-240-B on 1 x 6 (or match ex.)	Low VOC Paint	SM-7 Capitol Hill casing (4 1/2")	SM-7 Capitol Hill casing (4 1/2")	SM-159 (4 3/4" x 4 3/4")	5 1/4" x 8 1/4" high (match ex.)	SM-7 Capitol Hill casing (4 1/2")	Low VOC Paint	1/2-inch gyp. bd.	Low VOC Paint	1/2-inch gyp. bd.	Low VOC Paint	9'-0" +/-	7	

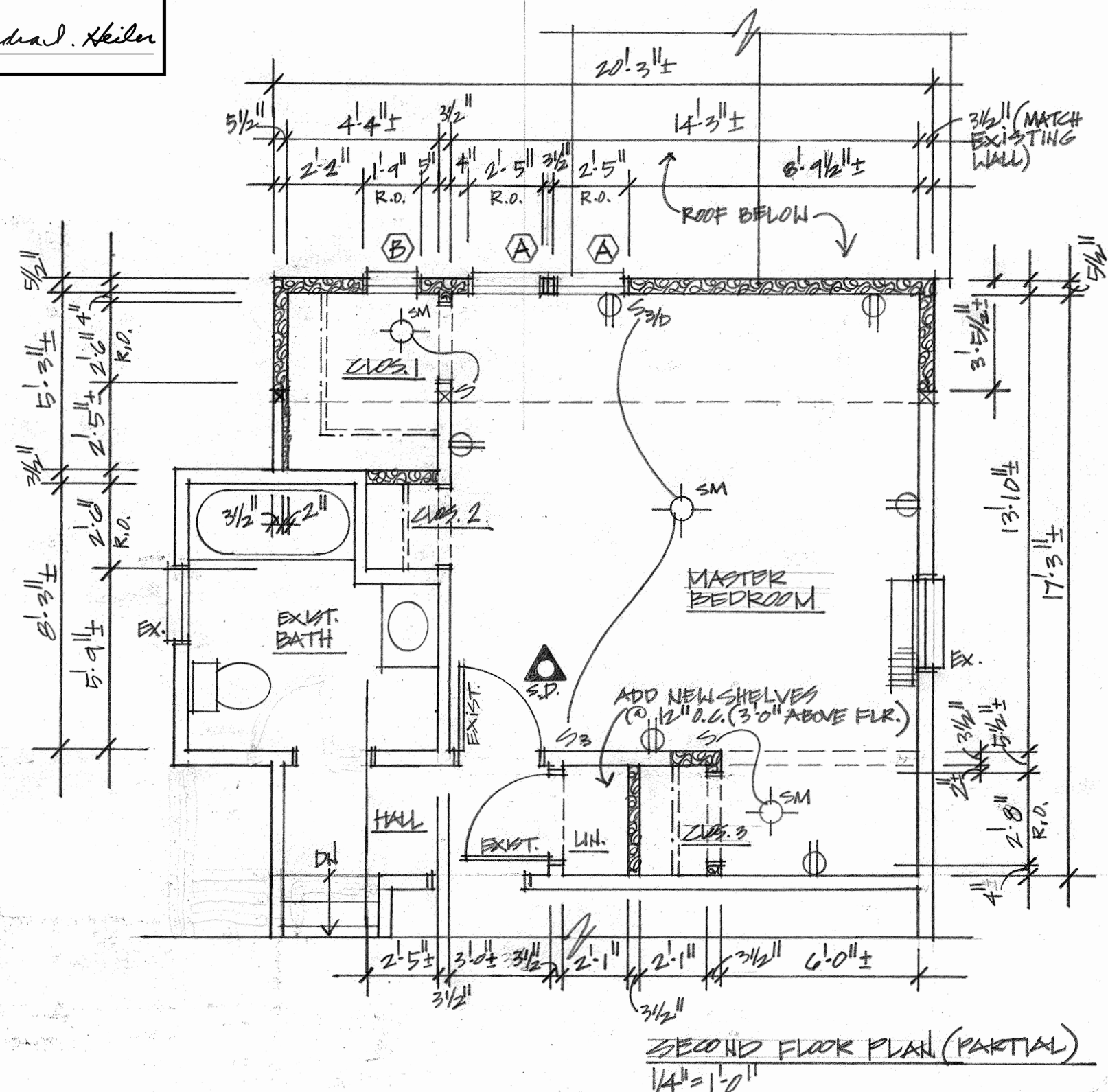
REVIEWED
By Michael Kyne at 4:11 pm, Jun 24, 2020

APPROVED
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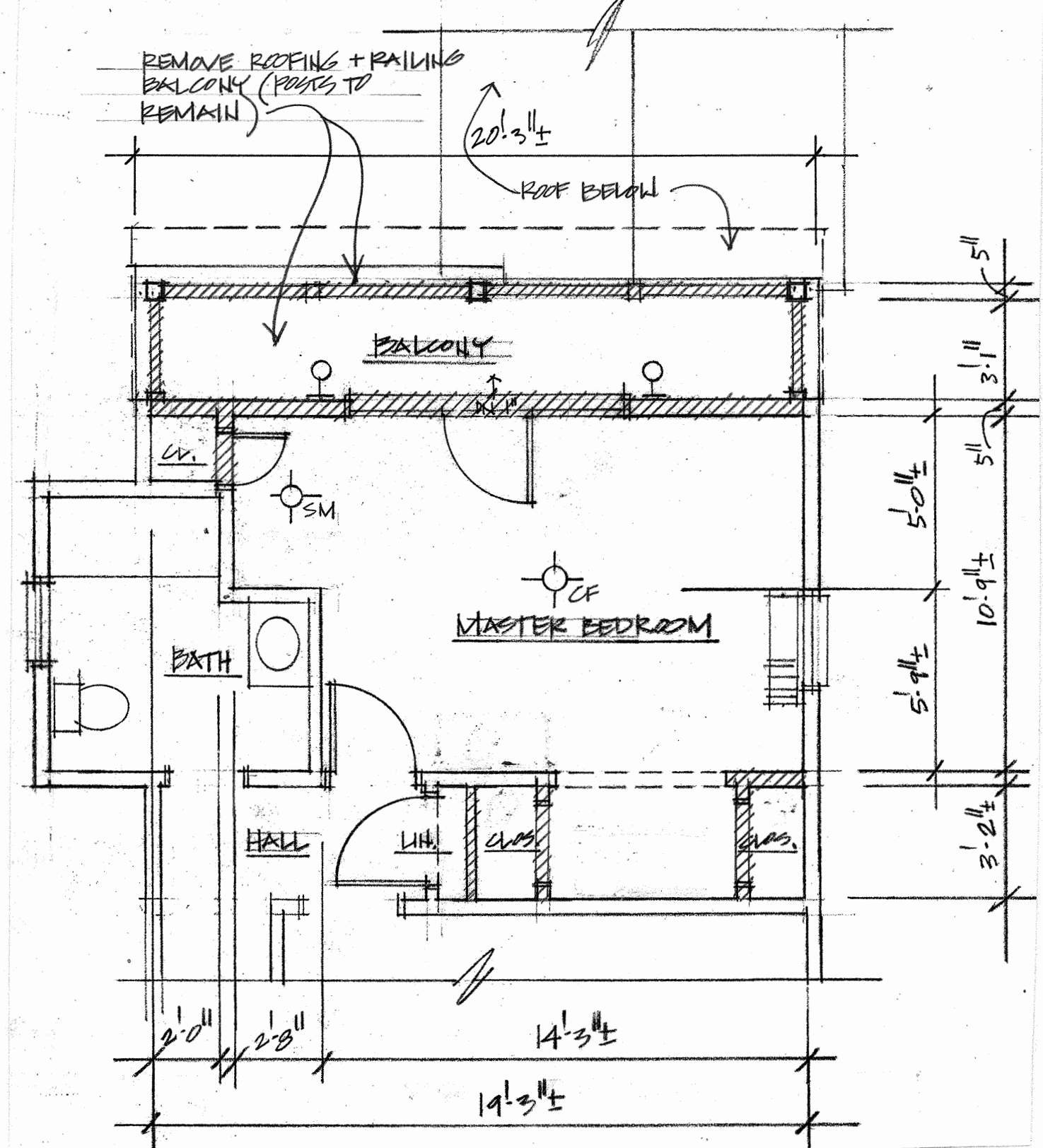
GENERAL DEMOLITION NOTES:

1. Remove/re-route plumbing (water supplies, drains, vents and gas lines, radiators, etc.) as necessary to accomplish new plan layout and to minimize their impact on the new space; cap off lines as necessary during construction. If any lines discovered cannot be moved/re-routed easily, notify architect to review solutions.
2. Remove all trim, gypsum board/plaster, doors, thresholds, flooring, etc. but only as necessary to implement new layout and design.
3. For removal of any lead paint, asbestos tile, etc., a certified asbestos or lead abatement professional must be used.

4. Remove existing wall and/or floor construction as noted on plans as necessary to implement new layout; if walls are bearing walls, use temporary supports to re-direct loads until new bearing elements are constructed.
5. Remove and salvage (as per owners' request) existing light fixtures to implement new plan layout.
6. Remove all electrical outlets, fixtures, smoke alarms, telephone wiring, exposed wiring, etc. that are to be replaced by new work.
7. Dispose of all discarded material in a safe and clean manner.
8. Protect all surfaces during demolition (and construction) from unnecessary damage.



EXISTING CONSTRUCTION
NEW CONSTRUCTION



EXIST. TO REMAIN
TO BE DEMOLISHED

SECOND FLOOR DEMOLITION PLAN
1/4" = 1'-0"



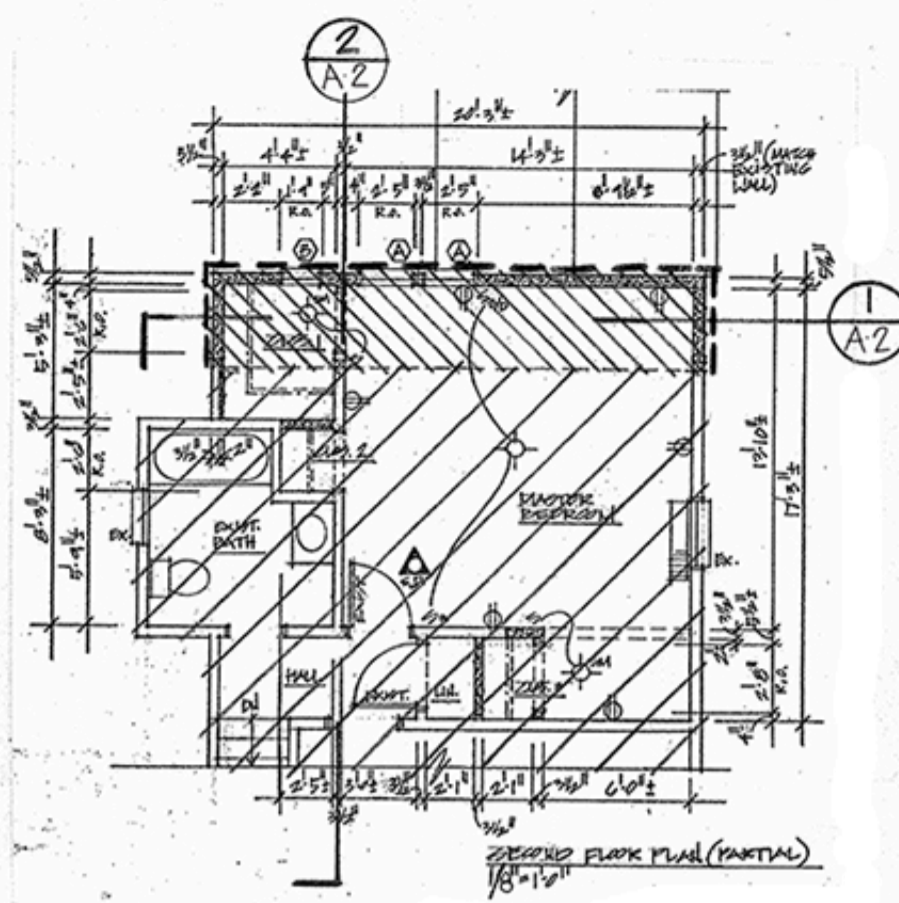
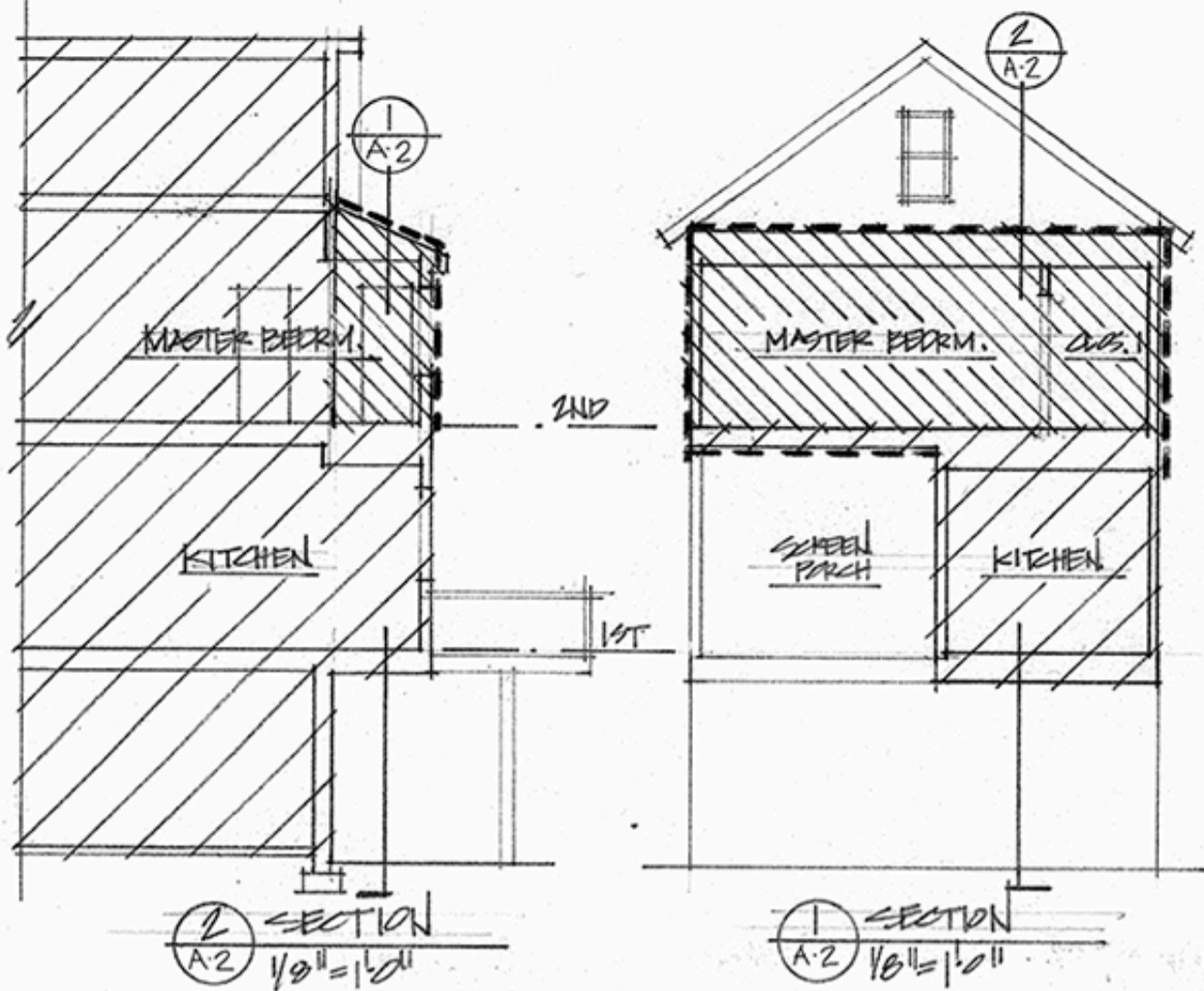
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A-1

6-15-20



AIR BARRIER, INSULATION AND THERMAL BARRIER SCHEDULE		
<small>* This schedule is based on Table N1102.4.2 from the 2015 IRC & the 2015 IECC.</small>		
Component	Thermal Barrier Provided	Air Barrier Provided
1 Ceiling joists below rafters	R-49, min. batt insulation	Existing roof sheathing, building paper and asphalt shingles
2 Roof rafters only, no attic	n/a	n/a
3 Exterior Walls, 2 x 6 (including corners and headers)	R-20, min. insulation	Combination sheathing, water-resistive barrier and air barrier ("Zip System"), 7/16" thick
4 Existing Exterior Walls, 2 x 4 (including corners and headers)	R-13, min. insulation (or as high an R-value as possible)	Existing wall sheathing, building paper and siding
4 Windows & Doors	Install sealant and/or closed cell foam sealer between jambs and frame	Install sealant and/or closed cell foam sealer between jambs and frame
5 Wall Sill Plate	Install sill sealer between bottom wall plate and subfloor	Install sill sealer between bottom wall plate and subfloor
6 Rim Joists	7 1/4" batt insulation = R-30 total	Combination sheathing, water-resistive barrier and air barrier ("Zip System"), 7/16" thick
7 Floors (above unconditioned spaces)	NEW + Existing R-30 batt insulation	Existing ceiling finish
7 Basement Walls	n/a	n/a
8 Crewspace Walls	n/a	n/a
9 Shafts and Penetrations	Install sealant at all gaps and joints	Combination sheathing, water-resistive barrier and air barrier ("Zip System"), 7/16" thick
10 Narrow Cavities	R-10 foam insulation layer on interior face of sheathing + R-21 batt insulation	Combination sheathing, water-resistive barrier and air barrier ("Zip System"), 7/16" thick
11 Garage Separation	n/a	n/a
12 Recessed Lighting	n/a	n/a
13 Plumbing and Wiring	R-20, min. insulation	Combination sheathing, water-resistive barrier and air barrier ("Zip System"), 7/16" thick
14 Shower/tub at Exterior Wall	n/a	n/a
15 Electrical and Communication boxes	R-10 foam insulation layer on interior face of sheathing behind boxes	Combination sheathing, water-resistive barrier and air barrier ("Zip System"), 7/16" thick
16 Party/Common Wall	n/a	n/a
17 HVAC Register boots	Seal boots with foam insulation	Seal boots with foam insulation
18 HVAC Ducts	Insulated flexible ducts, as nec.	n/a
19 Fireplace	n/a	n/a

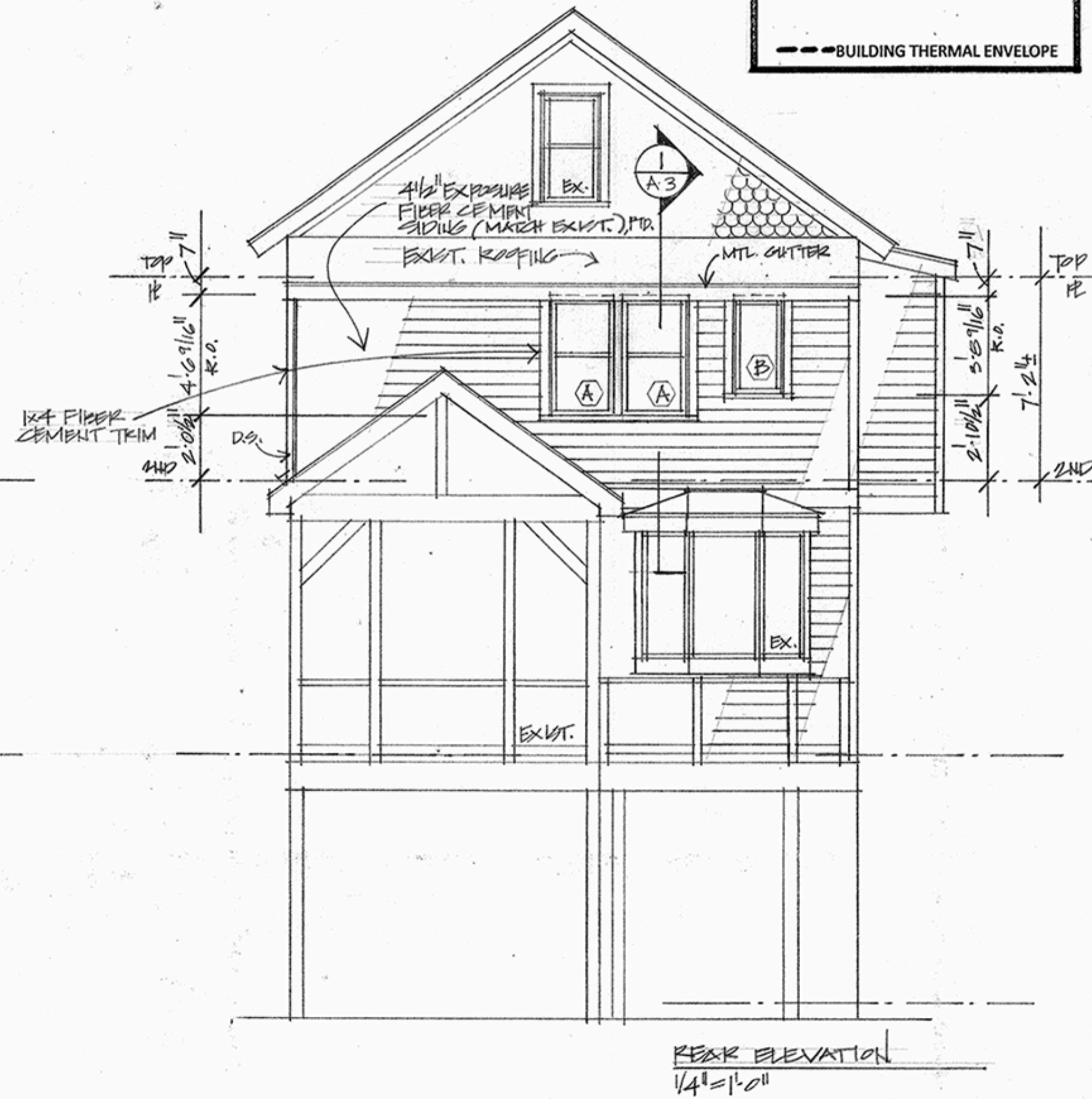
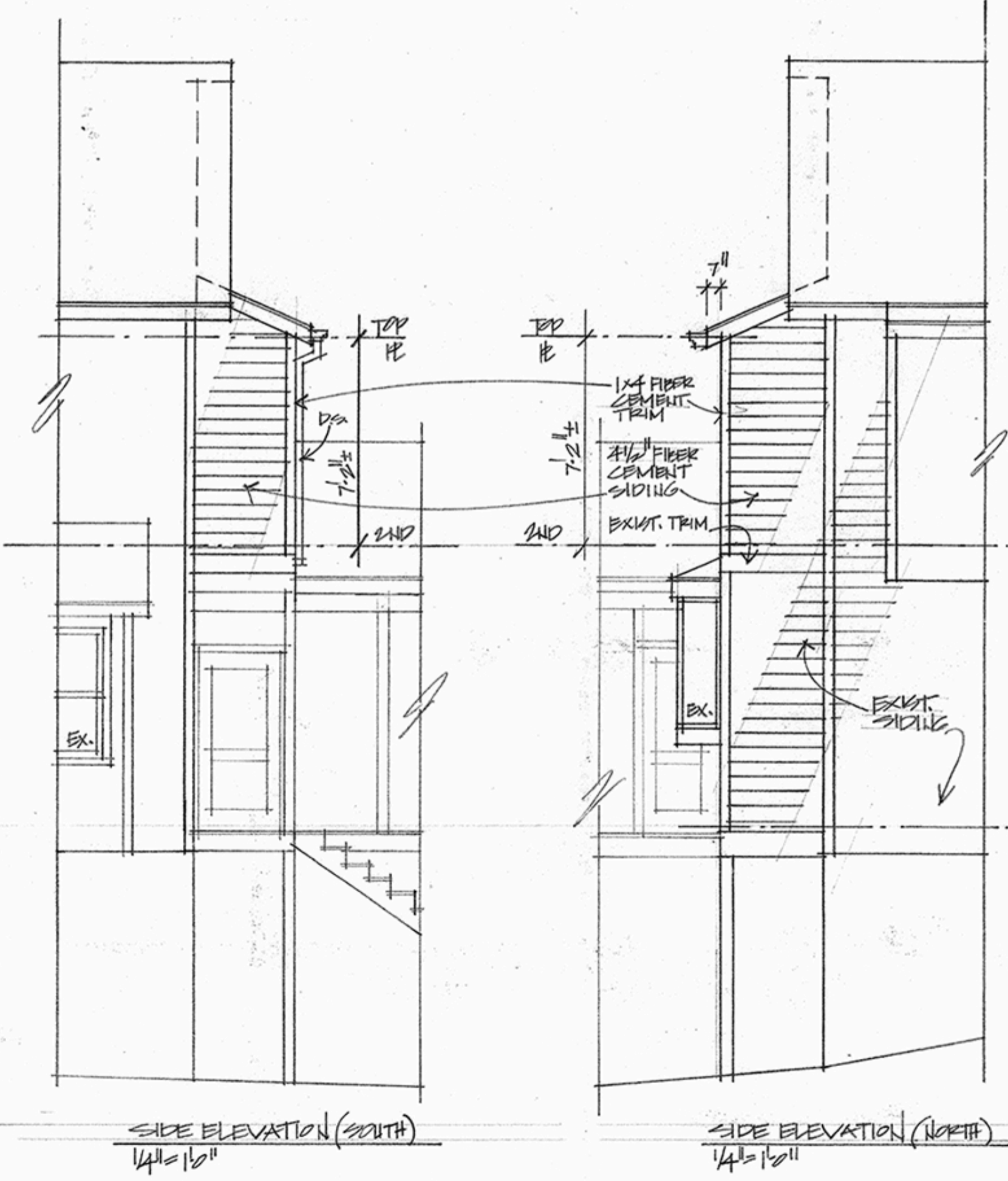
1. All exterior thermal envelope insulation for framed walls is installed in substantial contact and continuous alignment with building envelope air barrier.
2. All breaks or joints in the air barrier are filled or repaired.

GRAPHIC LEGEND

NEW CONSTRUCTION

EXISTING CONSTRUCTION

BUILDING THERMAL ENVELOPE



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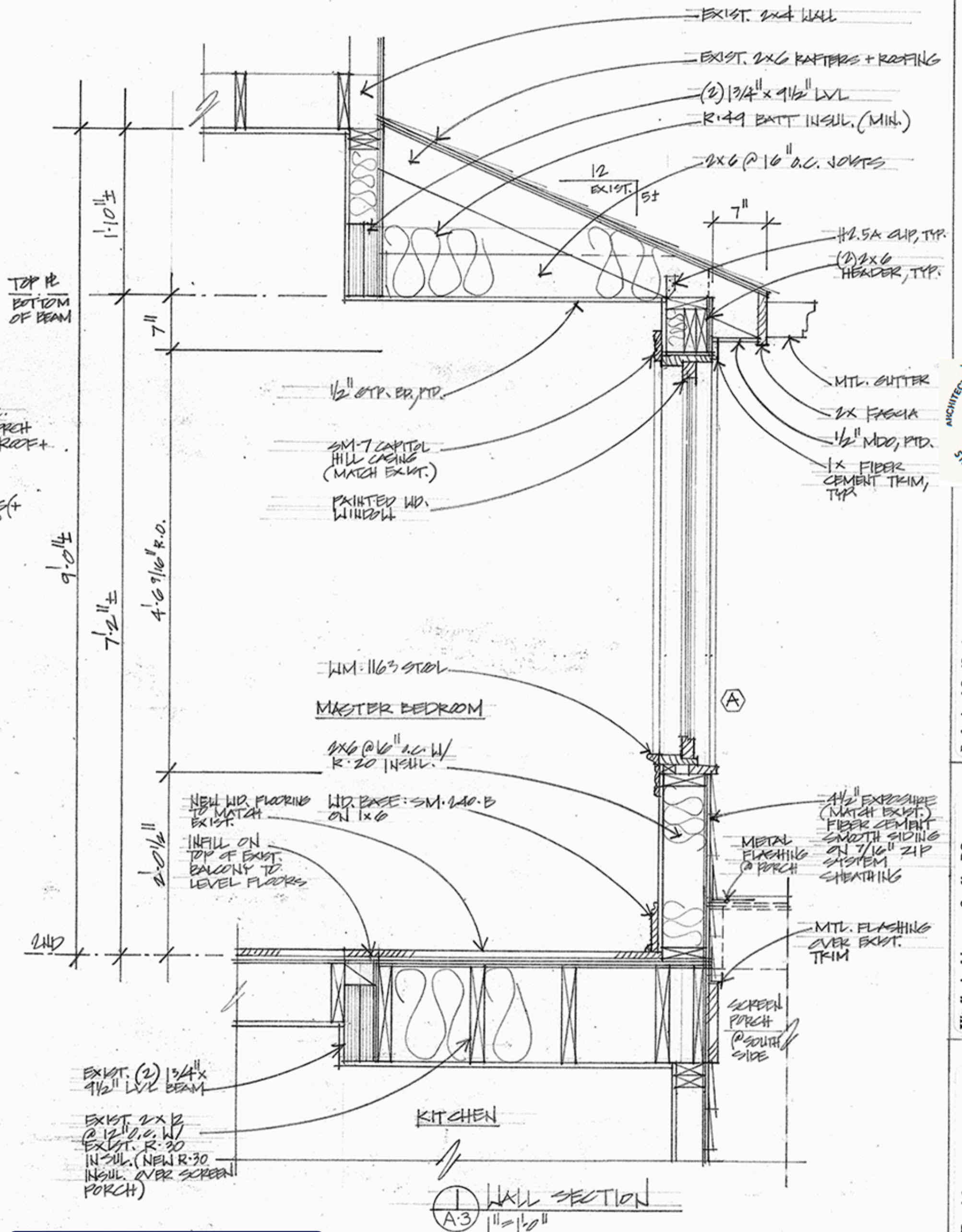
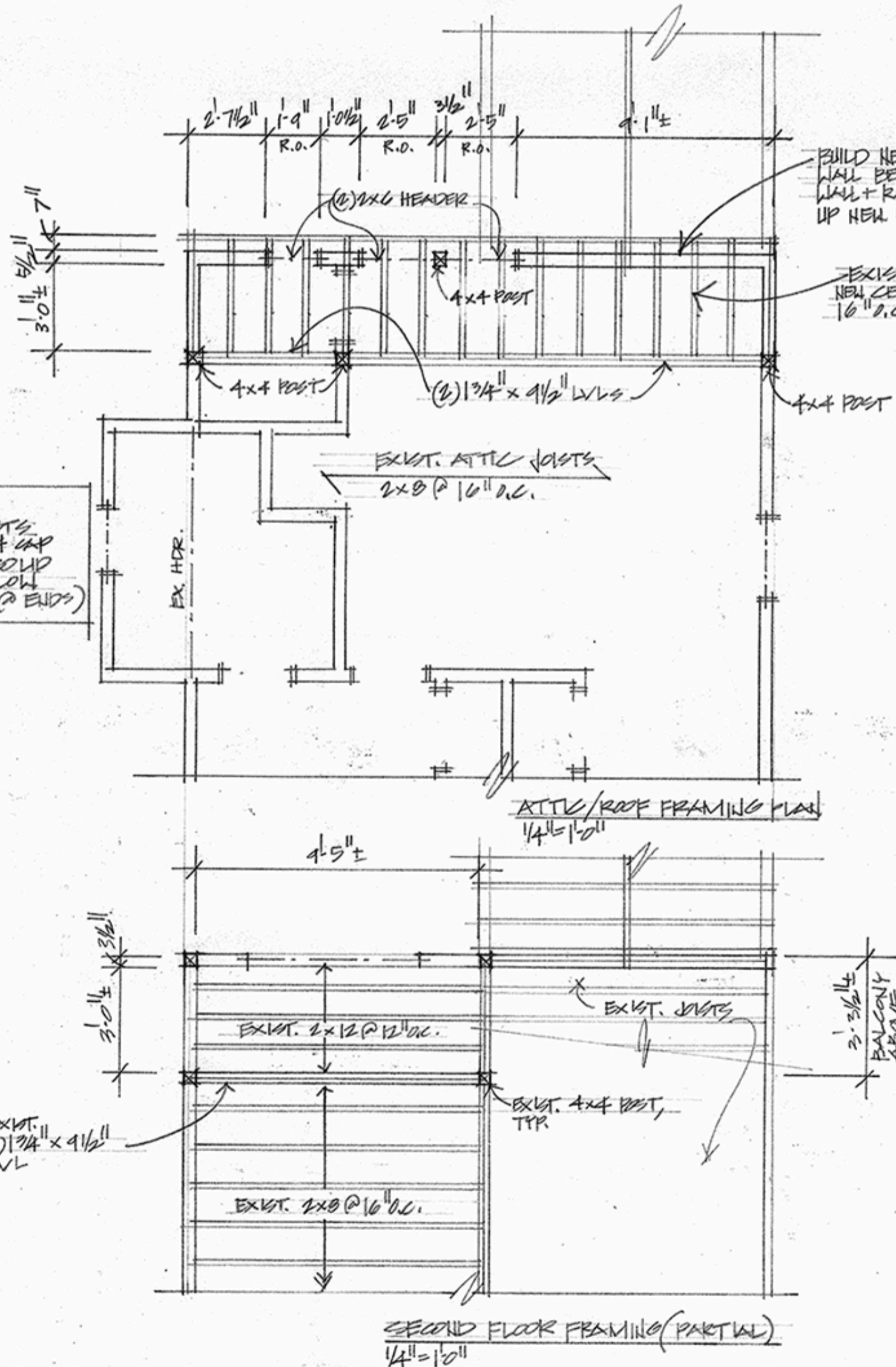
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STRUCTURAL CALCULATIONS

ROOF SUPT. BEAM

$l = 14.25'$
 $W = 3(10)/2 + 80 = 150 \text{ PLF}$
 $M_{MAX} = 150(14.25)^2/8 = 3807 \text{ FT}$
 $S_L = 3807(12)/2500 = 18.27$ TRY (2) $7/8"$ LVLs
 $\Delta_{MAX} = \frac{5(150)(14.25)^3(1728)}{384(2 \times 10^6)(110)} = .632 \text{ IN}$
 $.429 \text{ IN} > 2/480(327) \text{ OR } 2/300 = .47 \text{ IN}$
 $.278 \times (2) \text{ } 9/16"$ LVLs

$R_{CTR} = 150(4.25/2) + 150(4.5/2) = 1906 \text{ LB}$
 $R_{END} = 1970$



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