



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Sandra I. Heiler
Chairman

Date: July 19, 2020

MEMORANDUM

TO: Mitra Pedoeem
Department of Permitting Services

FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #907206 - Building Addition

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** at the May 27, 2020 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: John and Lindsey Simpson
Address: 7310 Piney Branch Ave, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.

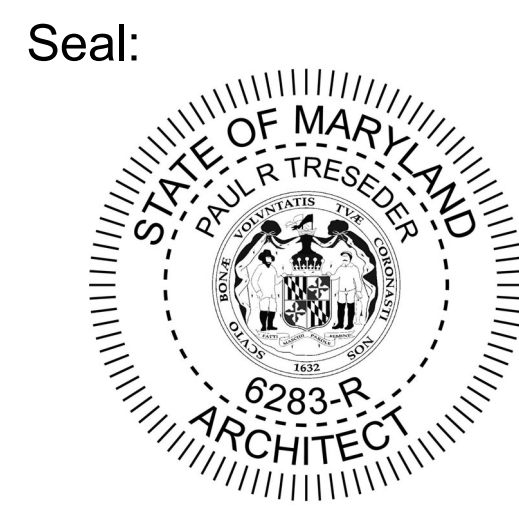


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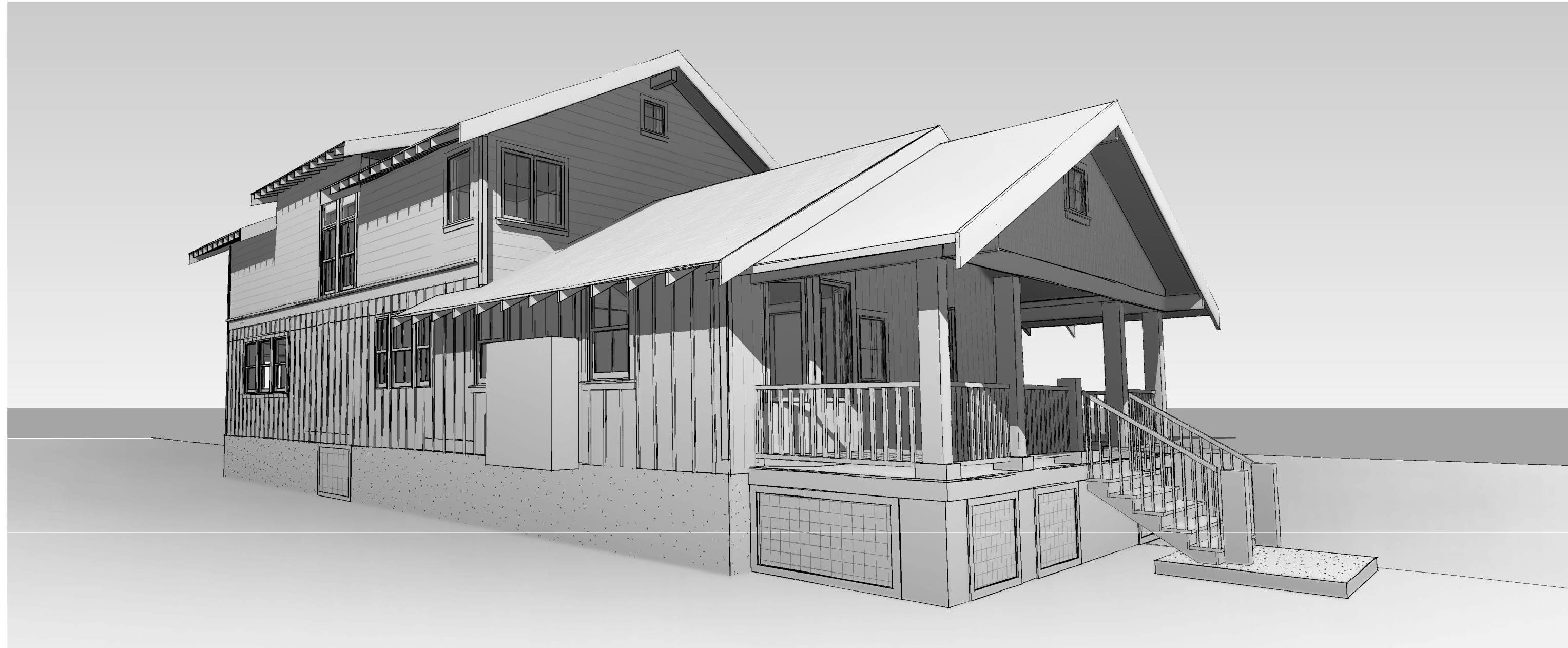
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 By Dan.Bruechert at 11:13 am, Jul 23, 2020

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SCOPE OF WORK

- ADD NEW SECOND FLOOR, 27'-4" X 40'-0" ABOVE REAR PORTION OF EXISTING ONE STORY HOUSE. NO CHANGE TO EXISTING BUILDING FOOTPRINT. SEE SHEET Z001 FOR HEIGHT CALCULATION.
- MODIFY ROOF OF EXISTING FRONT PORCH AND ADD NEW FRONT STEPS.

STRUCTURAL NOTES AND DESIGN LOADS

SEE S101

CODE NOTE:

ALL NEW WORK SHALL CONFORM TO THE 2015 IRC AND THE 2015 IECC AS AMENDED BY MONTGOMERY COUNTY MARYLAND.

INSULATION SCHEDULE

LOCATION	R or U VALUE	TYPE & THICKNESS
WALLS	R-20	FIBERGLASS BATTS
CEILING	R-49	SPRAY FOAM
BASEMENT WALLS	-	-
WINDOWS	U= 0.33 MAX SHGC = .32 MAX	WOOD/FIBERGLASS FRAME LOW-E INSUL. GLASS
GLASS DOORS	U = 0.33 MAX SHGC = 0.27 MAX	

ENERGY NOTES

The building thermal envelope is shown on the building sections, page A301. Insulation types and levels are indicated on the insulation schedule on this page, and on the Rescheck Report. Window U factors and SHGC values are noted on the insulation schedule on this page and the window schedule, Page A100, and on the Rescheck Report.

Air barrier and insulation shall be installed according to the manufacturer's instructions and the criteria in table R402.4.1.1 o the IECC.

The building envelope shall be sealed durably to limit infiltration. Sealing methods between dissimilar materials shall allow for differential expansion and contraction. The following shall be sealed, caulked, weather stripped, gasketed or otherwise sealed with an air barrier material:

- All joints, seams, penetrations
- Openings between window and door assemblies
- Utility penetrations
- Dropped ceilings or chases adjacent to the building envelope
- Knee walls
- Behind tubs and showers on exterior walls
- Attic access openings
- Rim joist junctions
- Other sources of infiltration

Recessed lighting within thermal envelope to be air sealed

The attic access opening shall be insulated to the level of the adjacent walls and ceiling

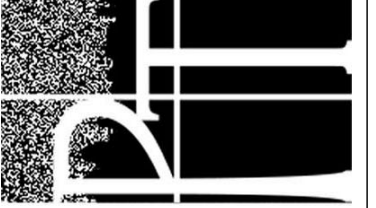
Perform a blower door test at 50 Pa upon completion of the building envelope. Leakage must not exceed 3 air changes per hour.

Install programmable thermostats on all heating and cooling equipment.

Wood burning fireplaces shall be provided with tight fitting flue dampers and outside combustion air.

The addition will be served by a new gas furnace with an AFUE of 96.7% minimum and electric air conditioning with a minimum SEER of 16. Equipment shall be sized based on building loads calculated in accordance with ACCA Manual-J. All ductwork not within the the conditioned envelope shall be sealed and insulated to a value of R8. Seal all joints against air leakage with durable mastic as per M1601.4.1 or the IRC and verify by a post construction or rough in pressure test. No make up air is required for this addition.

SIMPSON RESIDENCE
 7310 PINEY BRANCH RD
 TAKOMA PARK, MD 20912



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 Paul.Treseder@verizon.net

Paul Treseder
 Architect AIA

Date 5/6/2020

Scale

Drawn by PT

SIMPSON RESIDENCE

Sheet Name
COVER SHEET

Sheet
G001

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Seal:

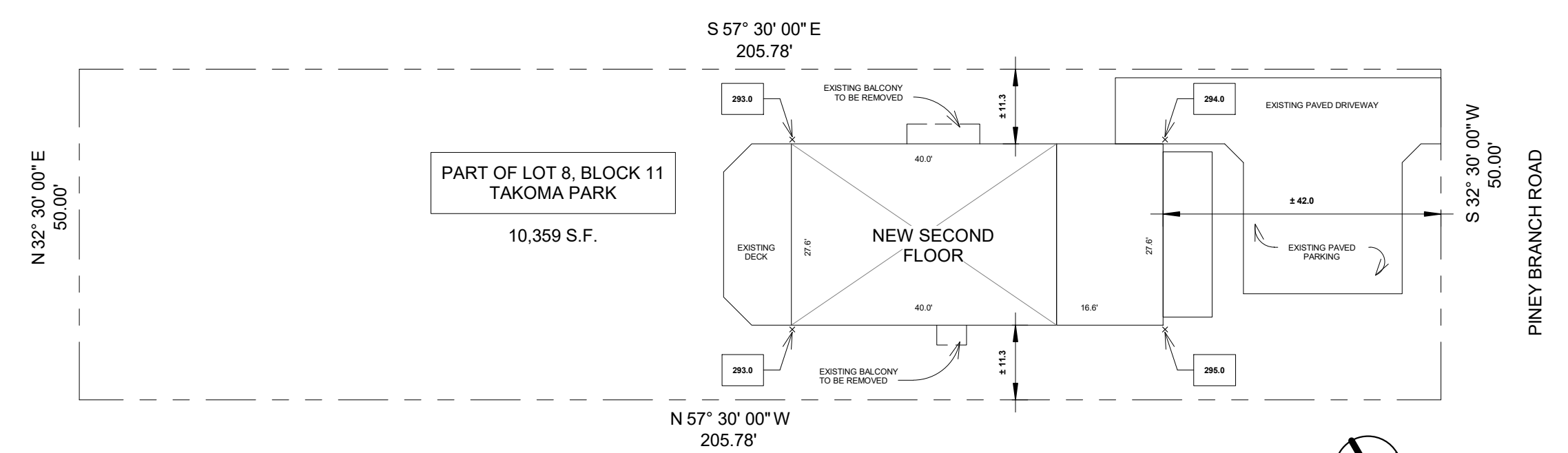


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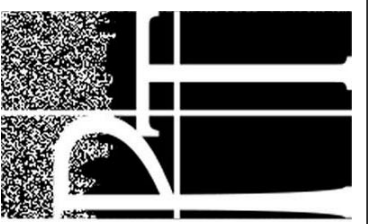
ZONING NOTES:

1. NO CHANGE TO EXISTING HOUSE FOOTPRINT
2. HEIGHT CALCULATION
 AVG GRADE AT EXISTING HOUSE: 293.5
 ELEVATION OF NEW RIDGE: 323.0 = 29.5' ABOVE AVG. GRADE
 AVG ELEVATION OF NEW ROOF: 319.5 = 26.0' ABOVE AVG. GRADE



① SITE PLAN - 7310 PINEY BRANCH ROAD
 1" = 20'-0"

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 Architect AIA

Date 5/6/2020

Scale 1" = 20'-0"

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SIMPSON RESIDENCE

Sheet Name
ZONING

Sheet
Z001

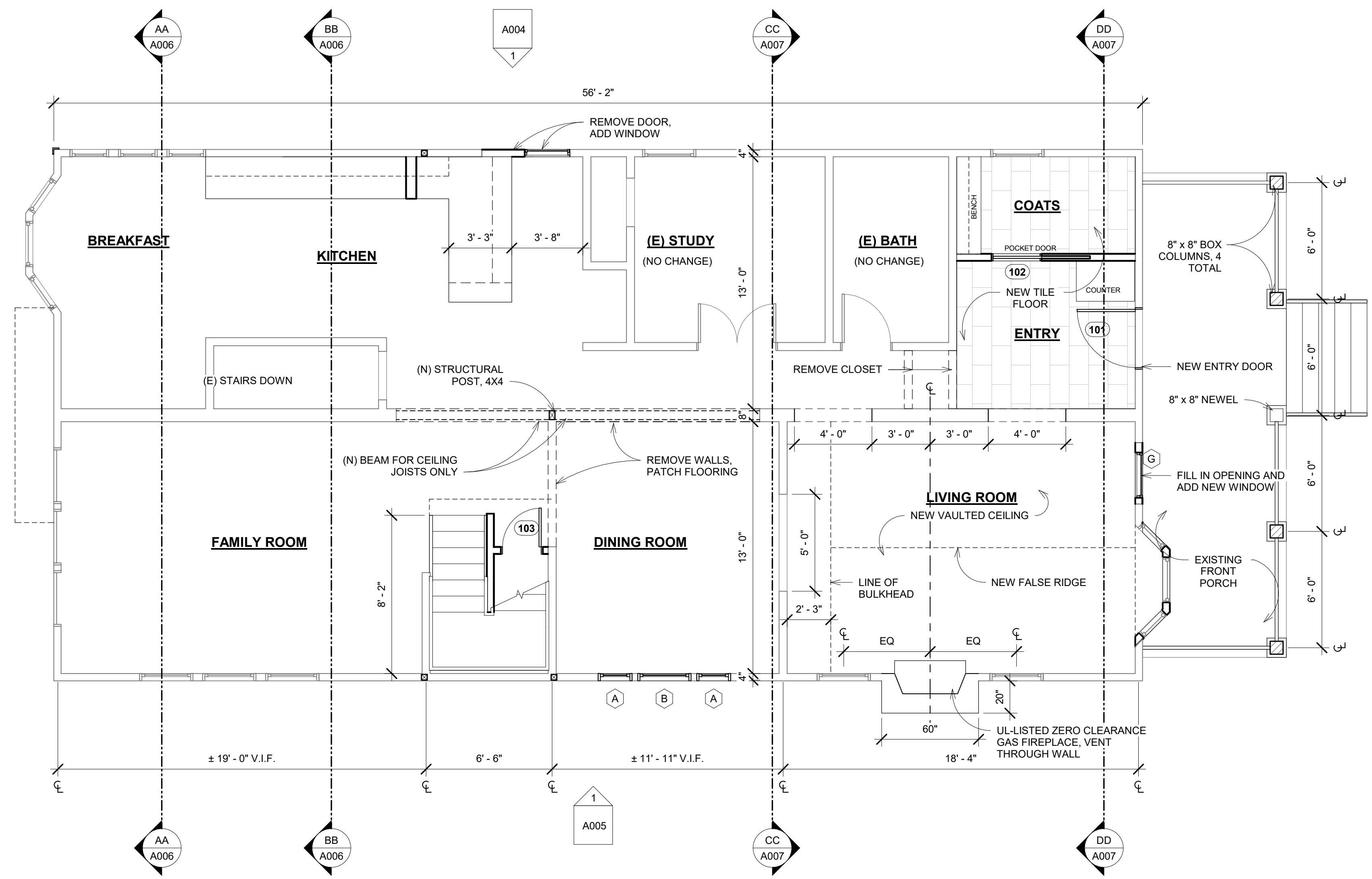
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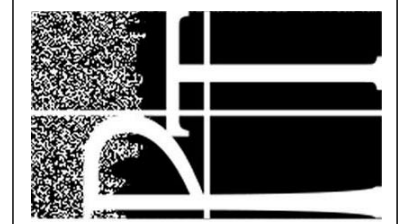


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1 FIRST FLOOR PLAN
 1/4" = 1'-0"

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Paul Treseder
 Architect AIA

Date	5/6/2020
Scale	1/4" = 1'-0"
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SIMPSON RESIDENCE	
Sheet Name	
FIRST FLOOR PLAN AND DEMO NOTES	
Sheet	A001

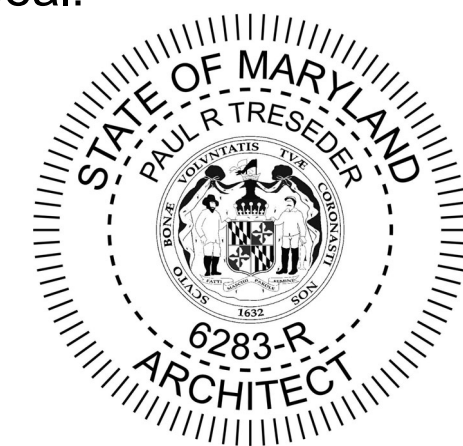
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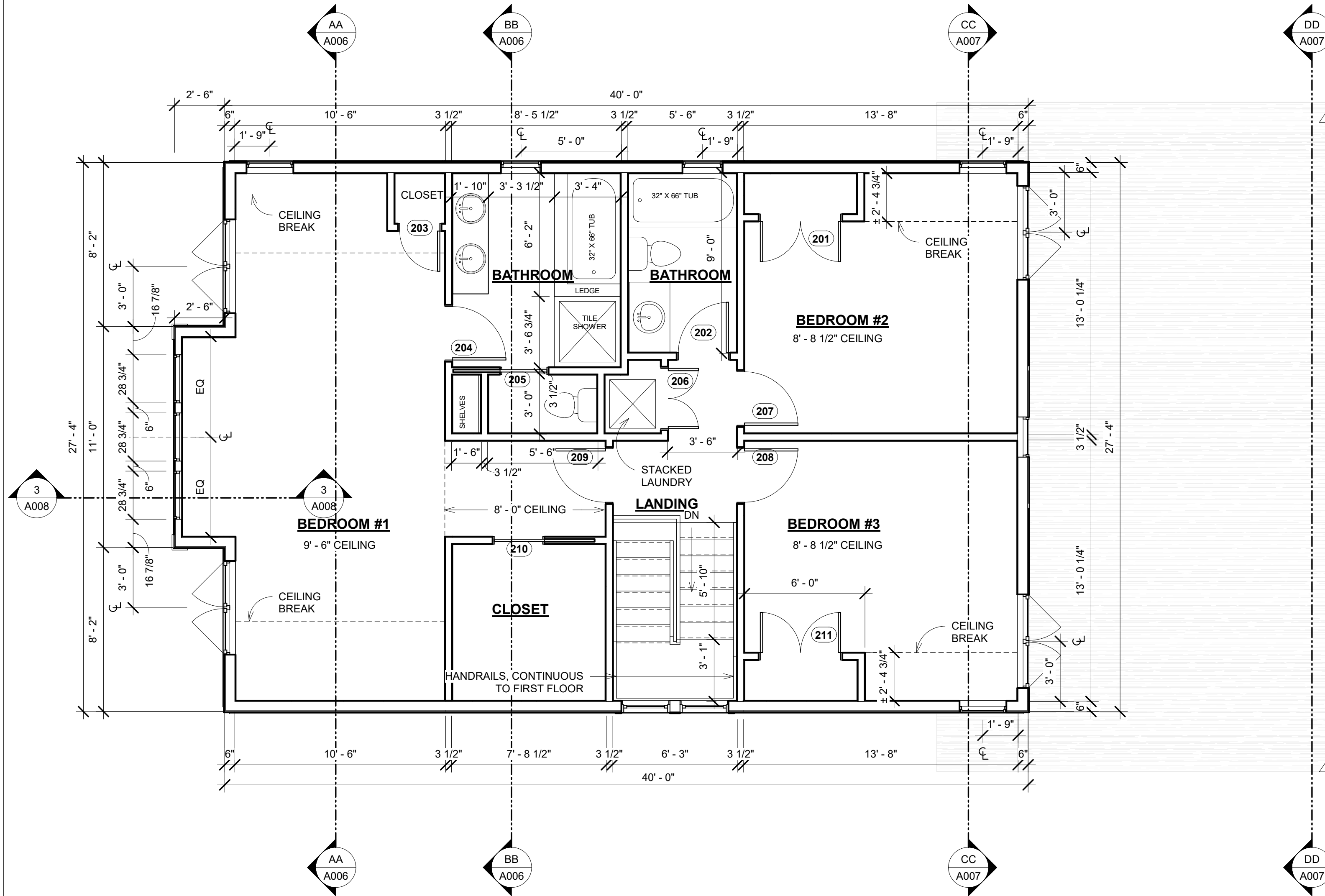
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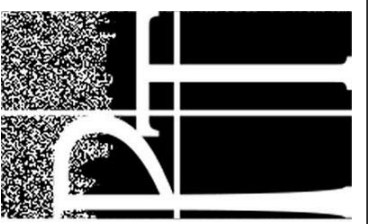
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1 SECOND FLOOR PLAN
 1/4" = 1'-0"

Door Schedule				
NO.	TYPE	WIDTH	HEIGHT	Comments
101	WOOD EXTERIOR DOOR W. GLASS LITE	3' - 0"	7' - 0"	
102	WOOD POCKET DOOR	2' - 6"	6' - 8"	
103	INTERIOR WOOD DOOR	2' - 0"	6' - 8"	
201	PAIR	4' - 0"	6' - 8"	
202	INTERIOR WOOD DOOR	2' - 6"	6' - 8"	
203	INTERIOR WOOD DOOR	2' - 0"	6' - 8"	
204	INTERIOR WOOD DOOR	2' - 8"	6' - 8"	
205	WOOD POCKET DOOR	2' - 4"	6' - 8"	
206	PAIR	3' - 0"	6' - 8"	
207	INTERIOR WOOD DOOR	2' - 8"	6' - 8"	
208	INTERIOR WOOD DOOR	2' - 8"	6' - 8"	
209	INTERIOR WOOD DOOR	2' - 8"	6' - 8"	
210	WOOD POCKET DOOR	2' - 6"	6' - 8"	
211	PAIR	4' - 0"	6' - 8"	

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Date 5/6/2020

Scale 1/4" = 1'-0"

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SIMPSON RESIDENCE

Sheet Name
SECOND FLOOR PLAN / DOOR SCHEDULE

Sheet
A002

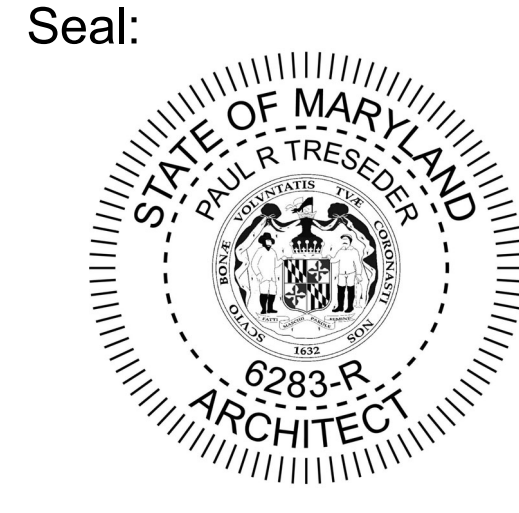
Window Schedule			
MARK	TYPE & CALLOUT	R.O.	NOTES
A	D.H. 2156	22 1/8" W X 56 3/4" H	NO LITES
B	D.H. 3356	34 1/8" W X 56 3/4" H	NO LITES
C	D.H. 2960	30 1/8" W X 60 3/4" H	4 LITES (2W X 24) OVER 1 LITE
D	D.H. 2932	30 1/8" W X 32 3/4" H	4 LITES (2W x 2H)
E	CASEMENT 2848 (MEETS EGRESS)	28 3/4" W X 48 3/4" H	4 LITES (2W x 2H)
F	CASEMENT 2W 2848 (MEETS EGRESS)	56 3/4" X 48 3/4" H	4 LITES EA. (2W x 2H)
G	CASEMENT 2836	28 3/4" W X 36 3/4" H	4 LITES (2W x 2H)
H	CASEMENT 2828	28 3/4" W X 28 3/4" H	4 LITES (2W x 2H)
J	FIXED CASEMENT	24 3/4" W X 24 3/4" H	4 LITES (2W x 2H)
K	CASEMENT 2842	28 3/4" W X 42 3/4" H	4 LITES (2W x 2H)

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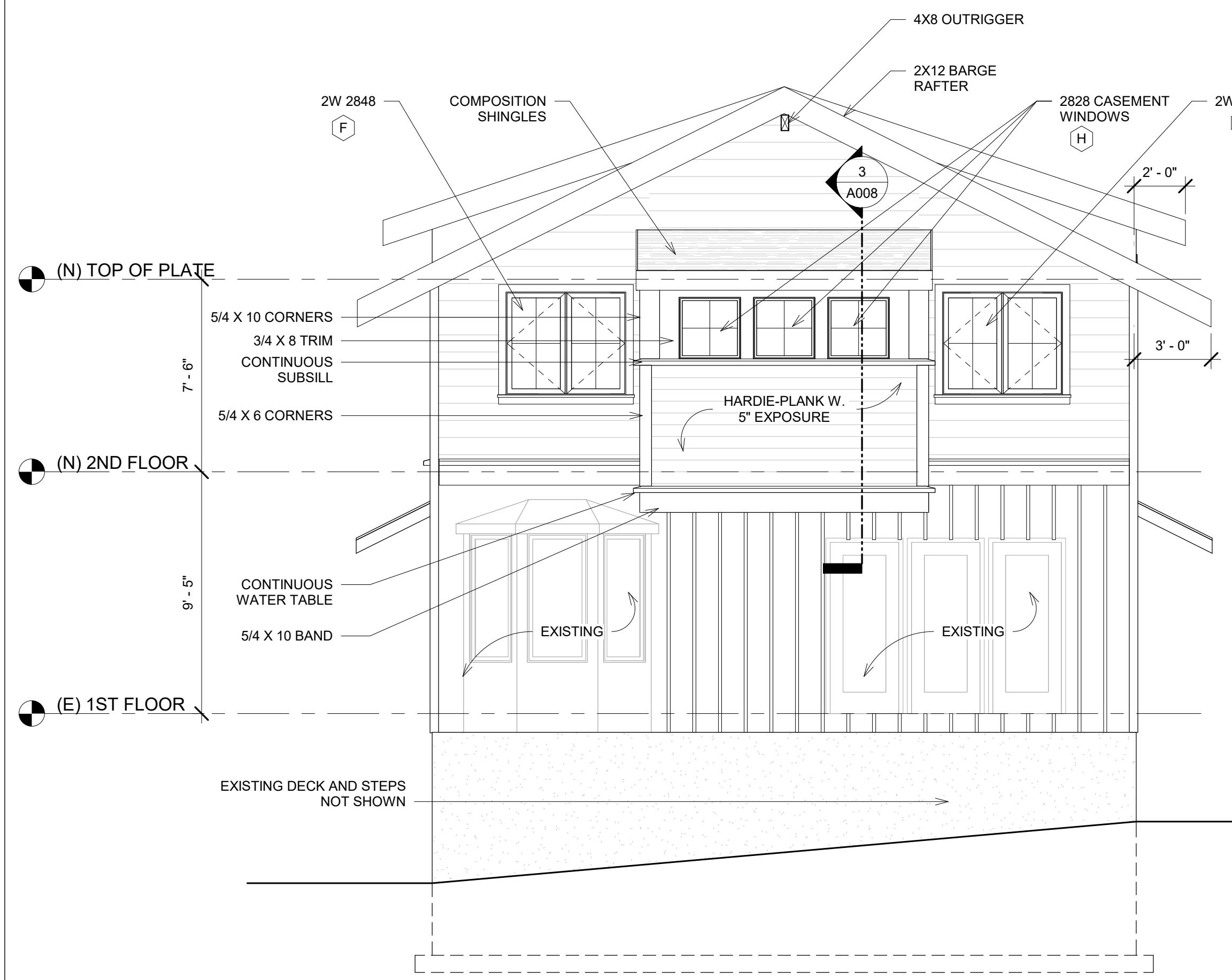
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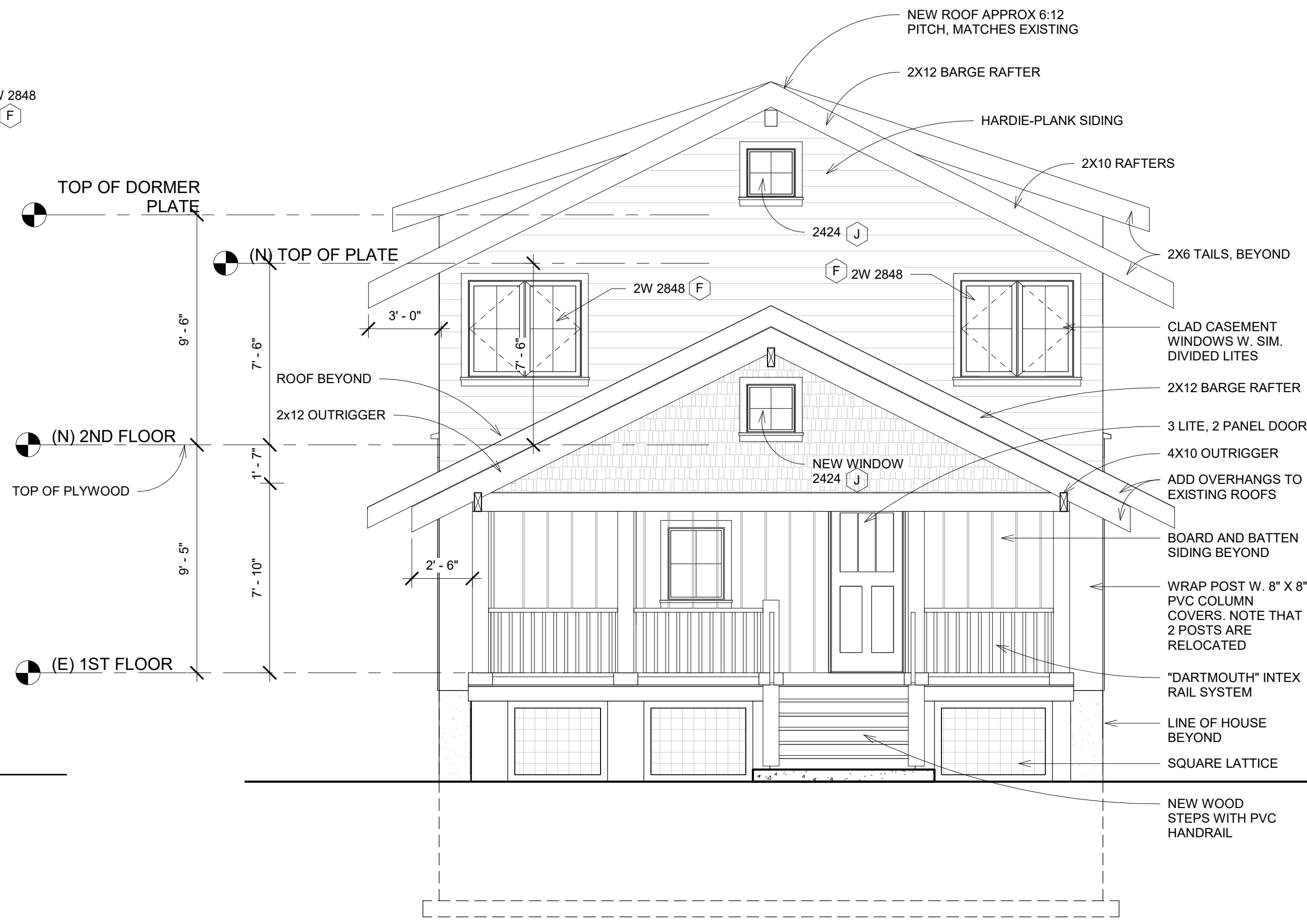


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ALL WINDOWS ARE MARVIN, INTEGRITY SERIES FIBERGLAS/ WOOD COMPOSITE, WITH LOW E2 GLASS, U = 0.33, SHGC = 0.32. UNITS SHALL HAVE INFILTRATION RATES PER NFRC400 THAT DO NOT EXCEED CODE LIMITS.

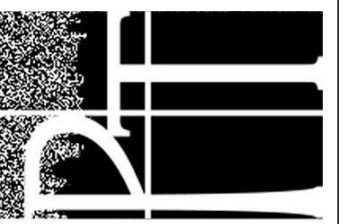


2 PROPOSED REAR ELEVATION (WEST)
1/4" = 1'-0"



1 PROPOSED FRONT ELEVATION (EAST)
1/4" = 1'-0"

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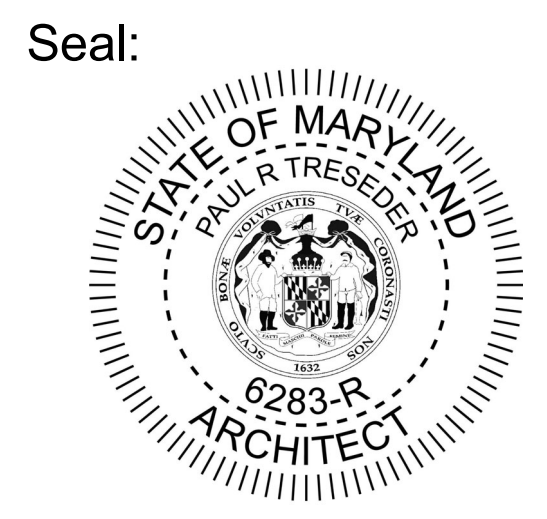
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Date	5/6/2020
Scale	1/4" = 1'-0"
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SIMPSON RESIDENCE	
Sheet Name	EXTERIOR ELEVATIONS / WINDOW SCHEDULE
Sheet	A003

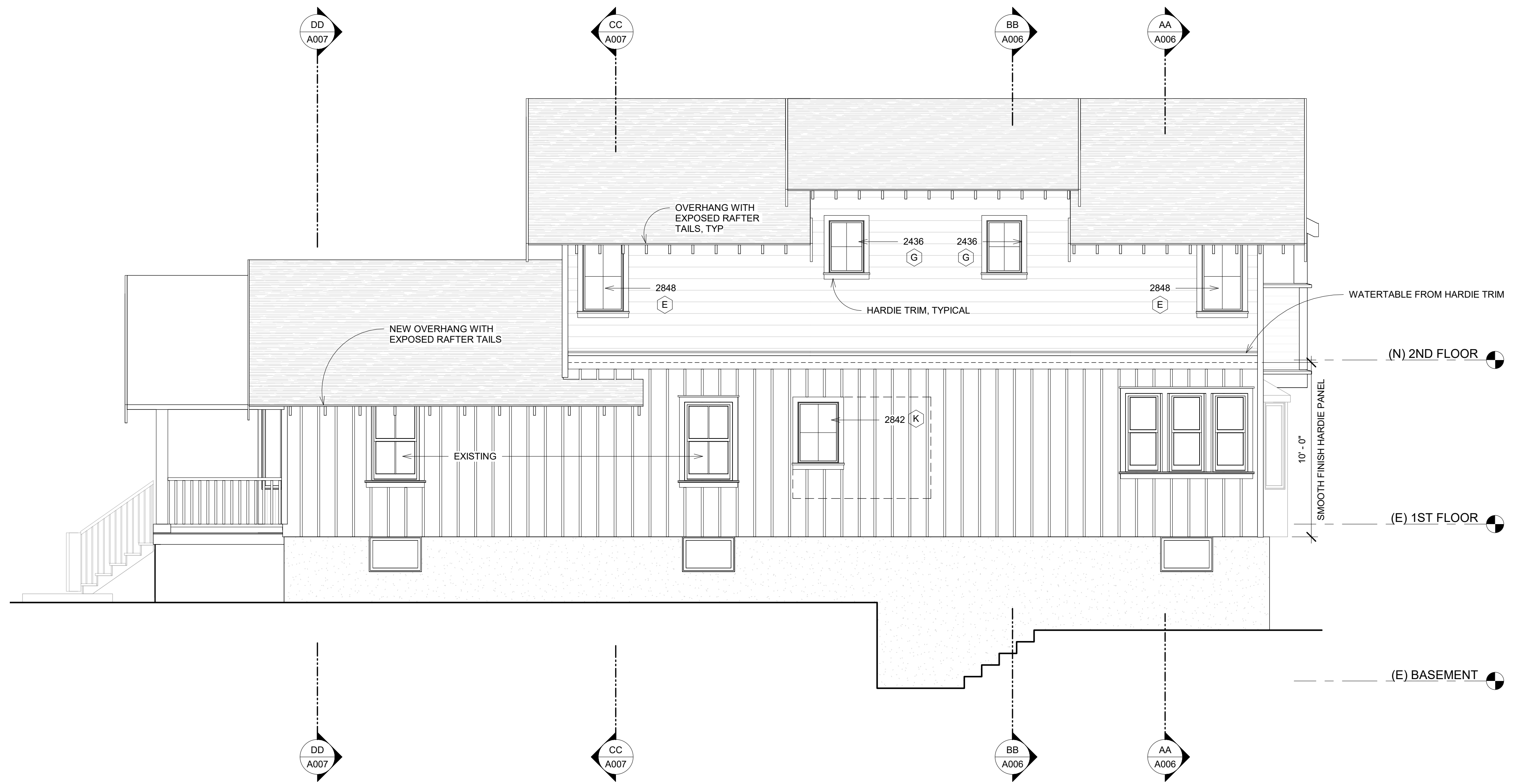
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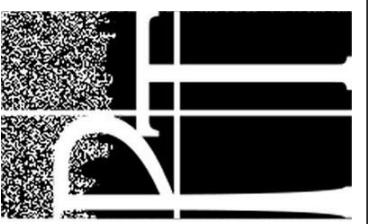


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1 PROPOSED RIGHT ELEVATION (NORTH)
 1/4" = 1'-0"

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 Scale 1/4" = 1'-0"
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SIMPSON RESIDENCE
 Sheet Name
EXTERIOR ELEVATIONS

Sheet
A004

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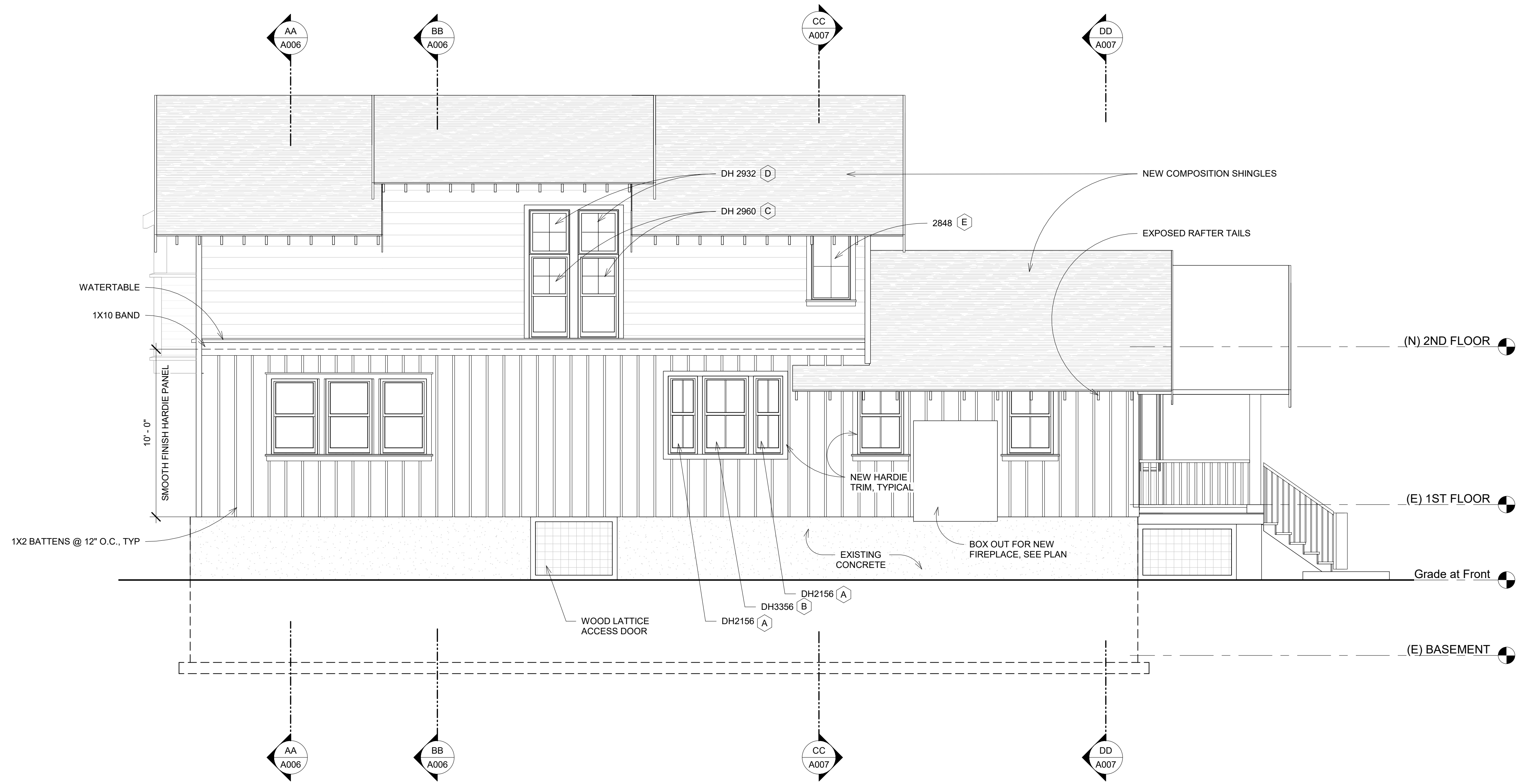
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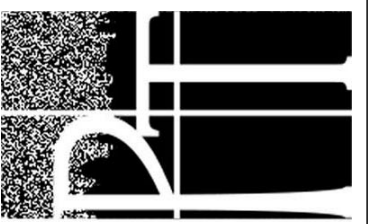
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1 LEFT SIDE ELEVATION (SOUTH)
 1/4" = 1'-0"

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Date 5/6/2020

Scale 1/4" = 1'-0"

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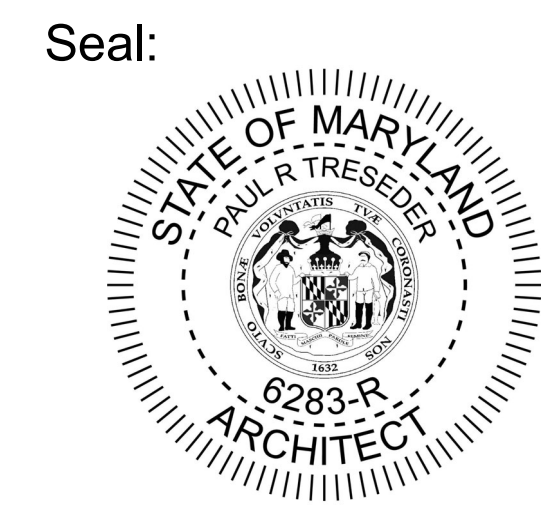
Sheet Name
EXTERIOR ELEVATIONS

Sheet
A005

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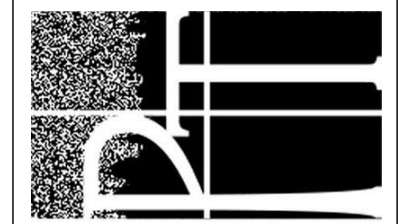
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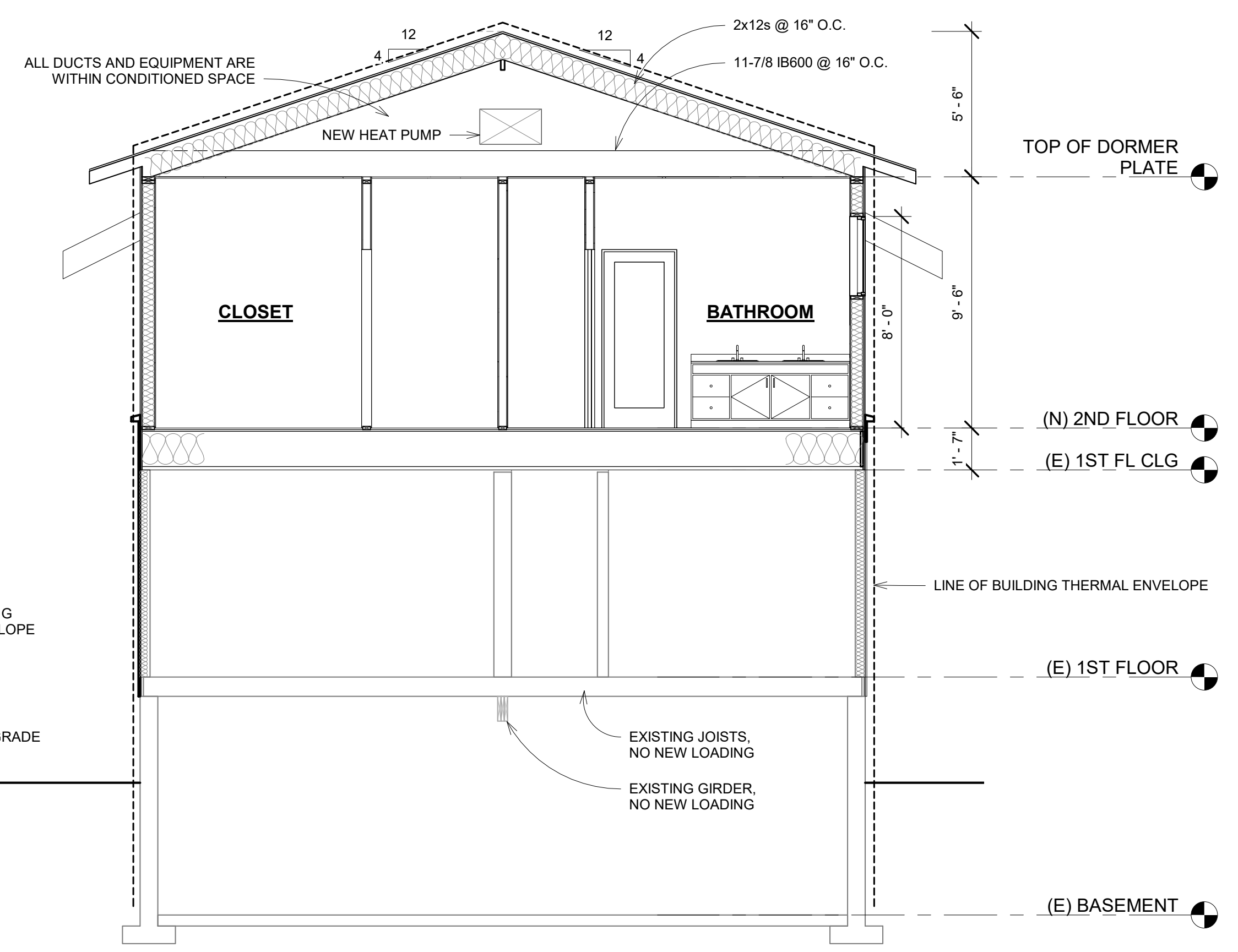
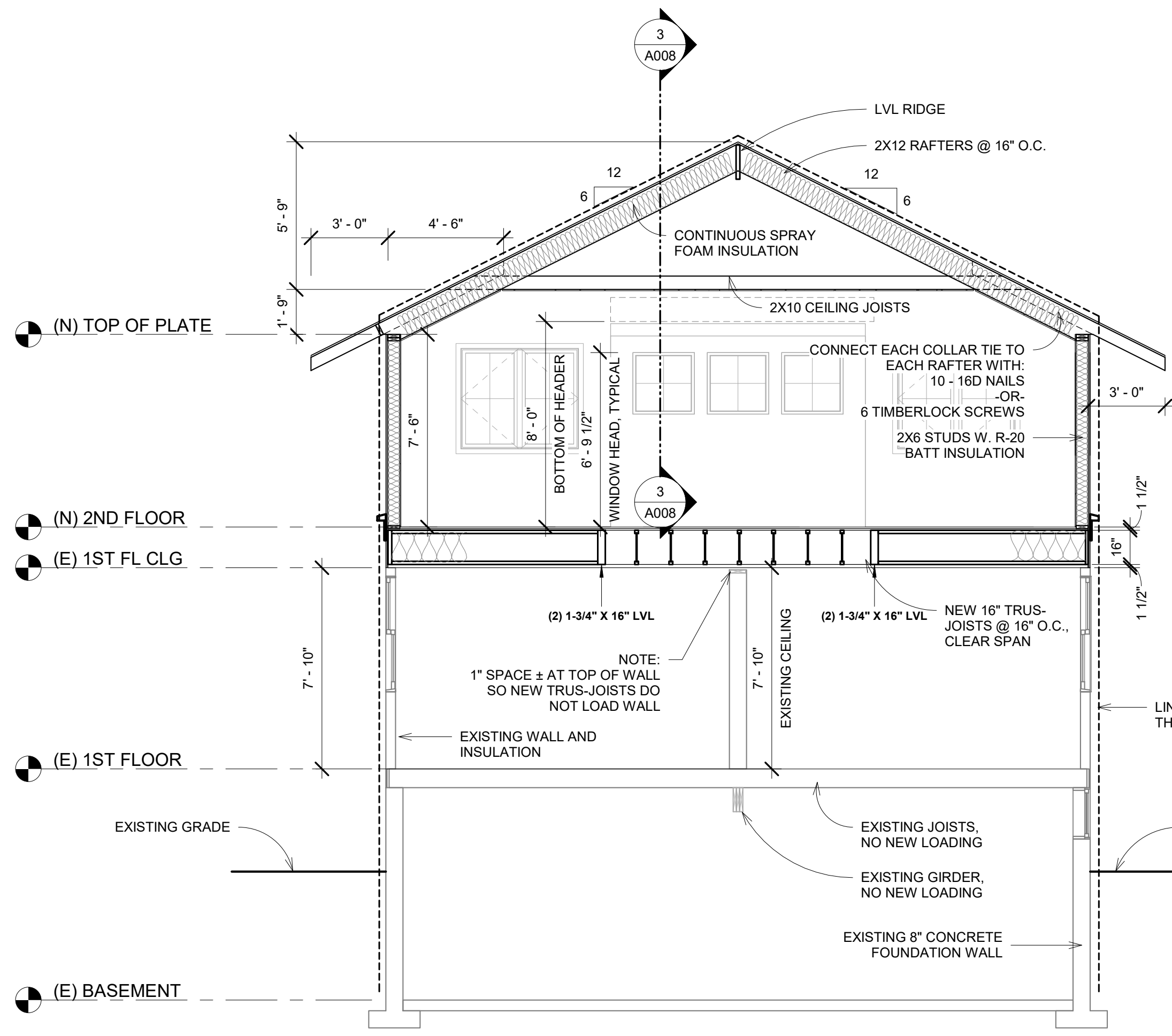


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Date	5/6/2020
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SIMPSON RESIDENCE	
Sheet Name BUILDING SECTIONS	
Sheet A006	

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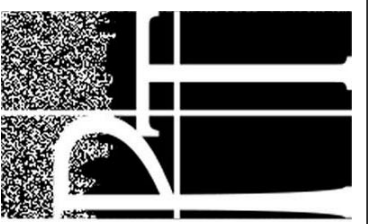
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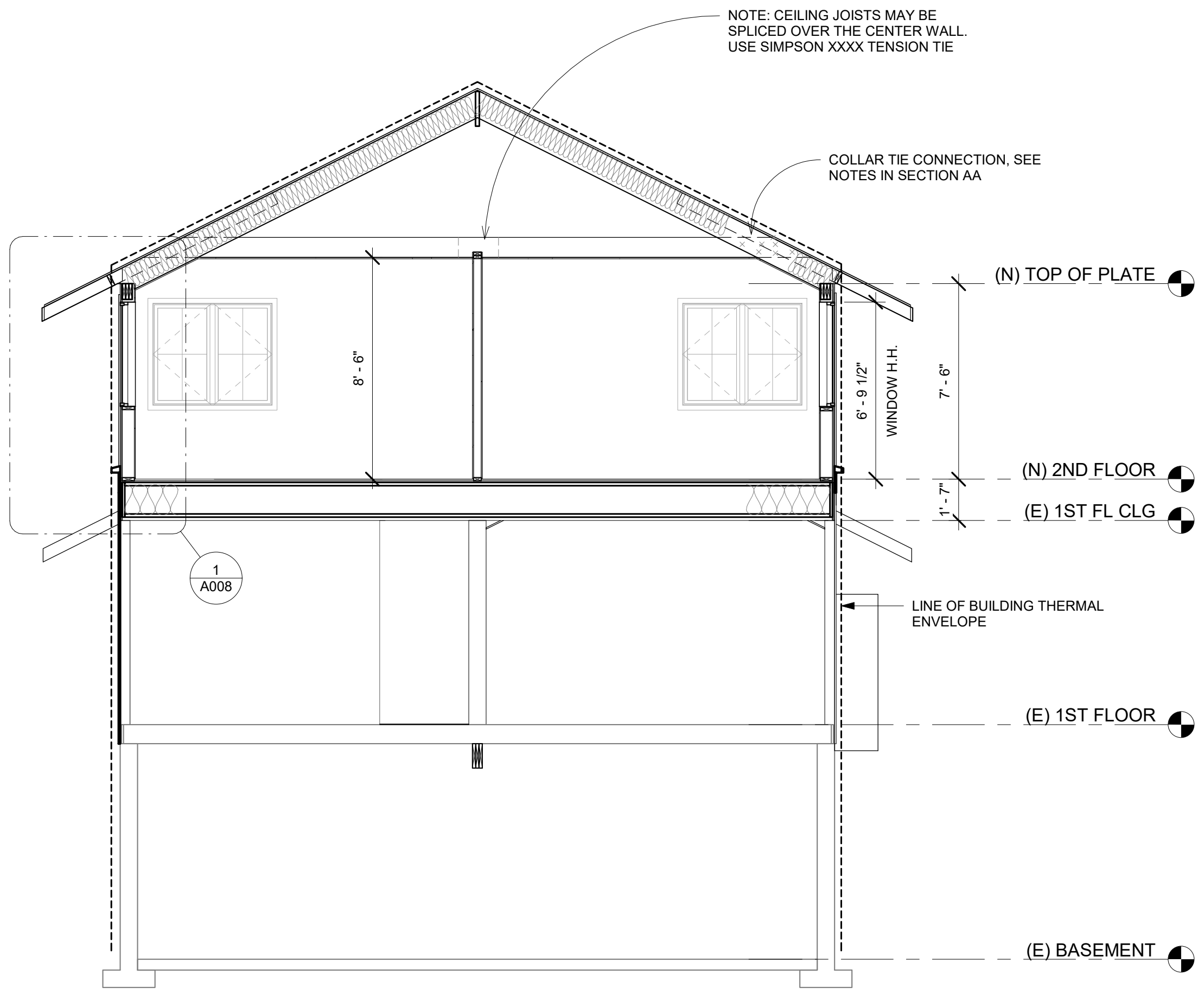
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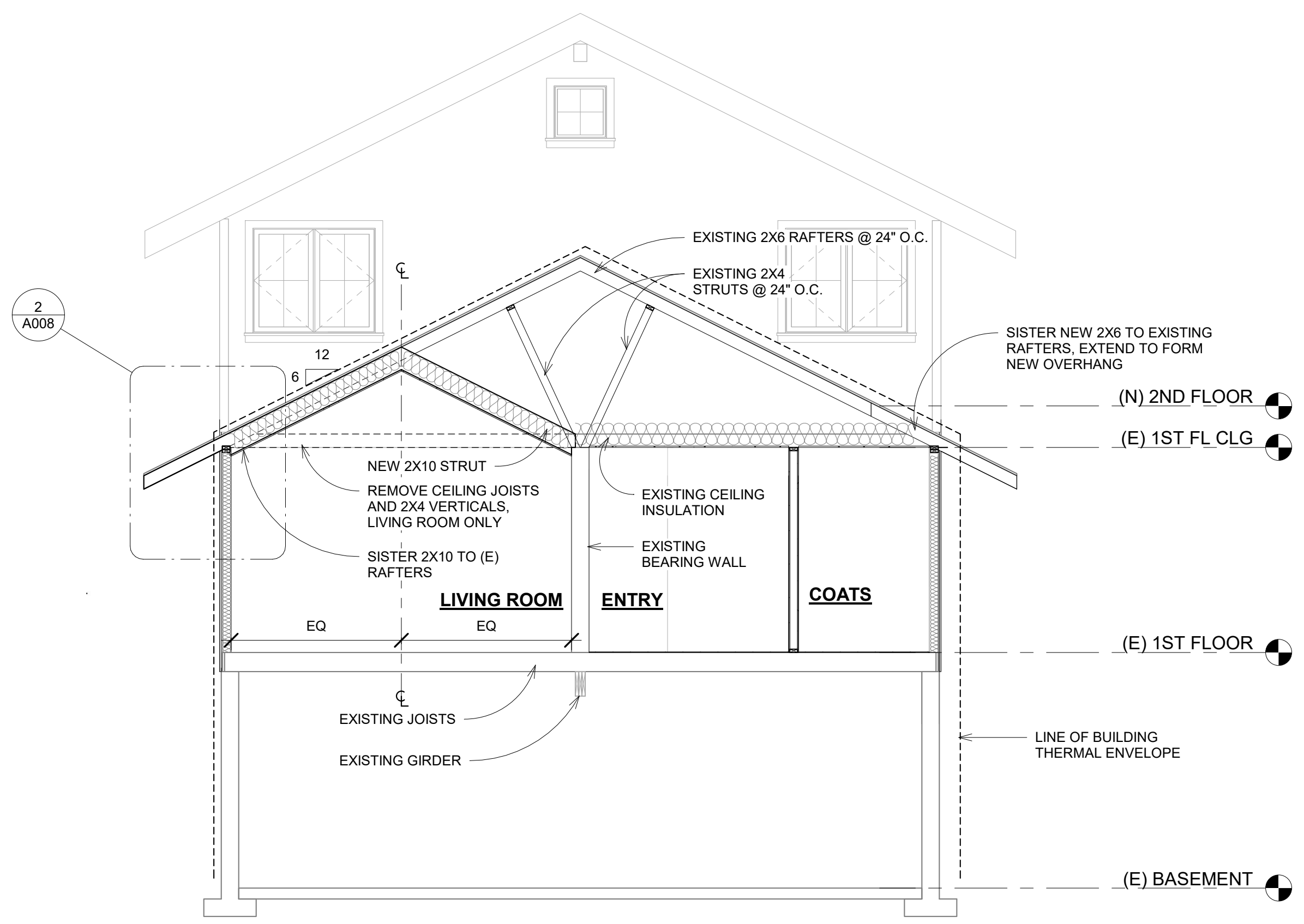
Sheet Name
BUILDING SECTIONS

Sheet
A007

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CC BUILDING SECTION CC
 1/4" = 1'-0"



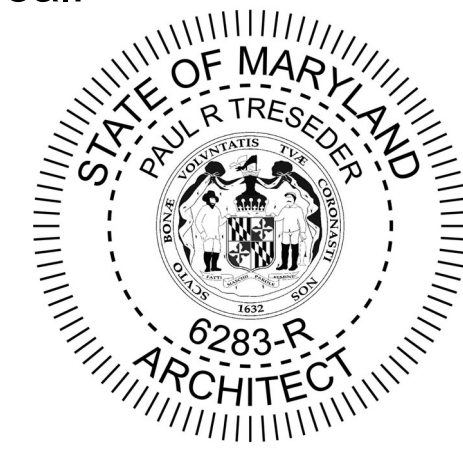
DD BUILDING SECTION DD
 1/4" = 1'-0"

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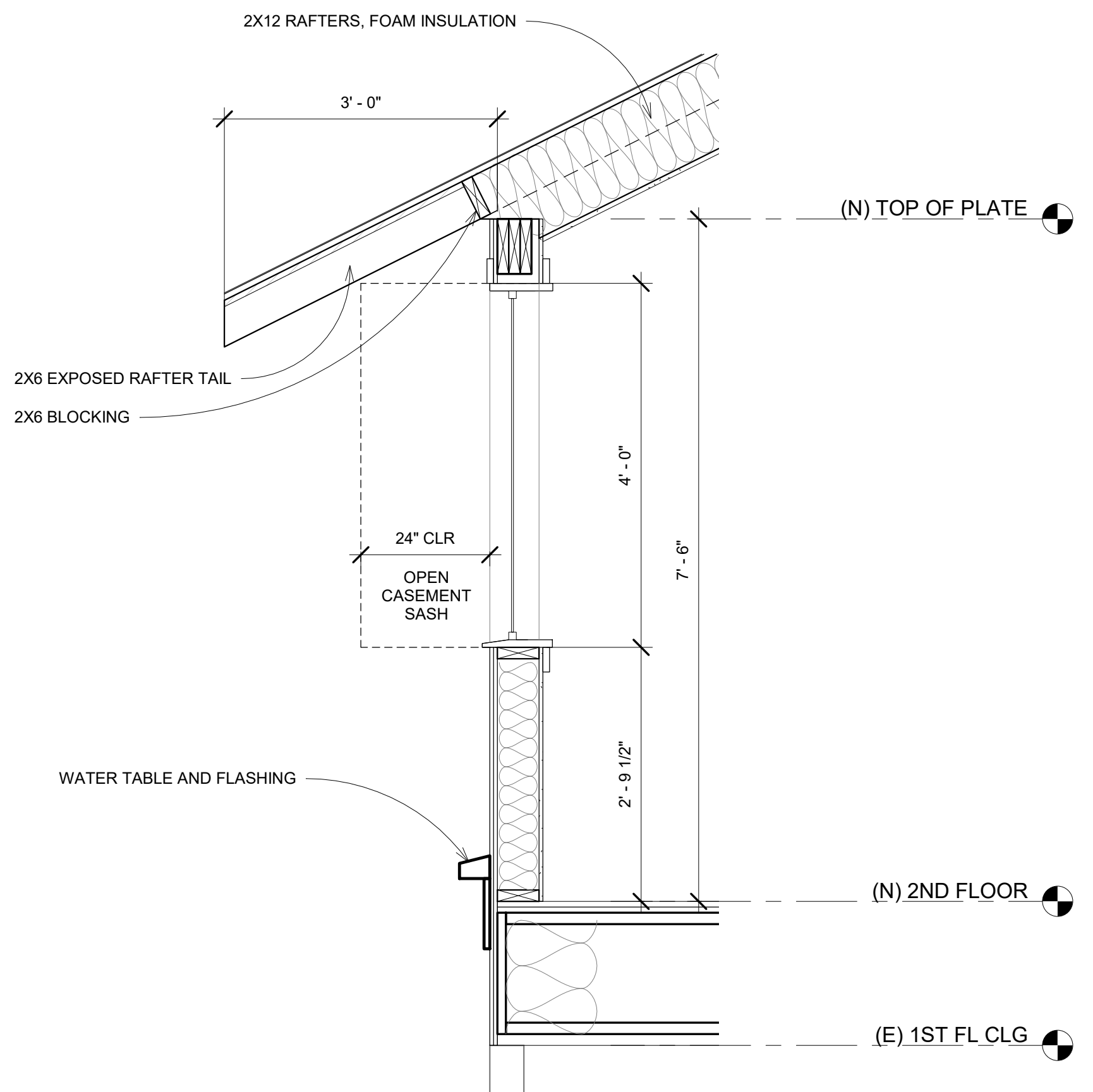
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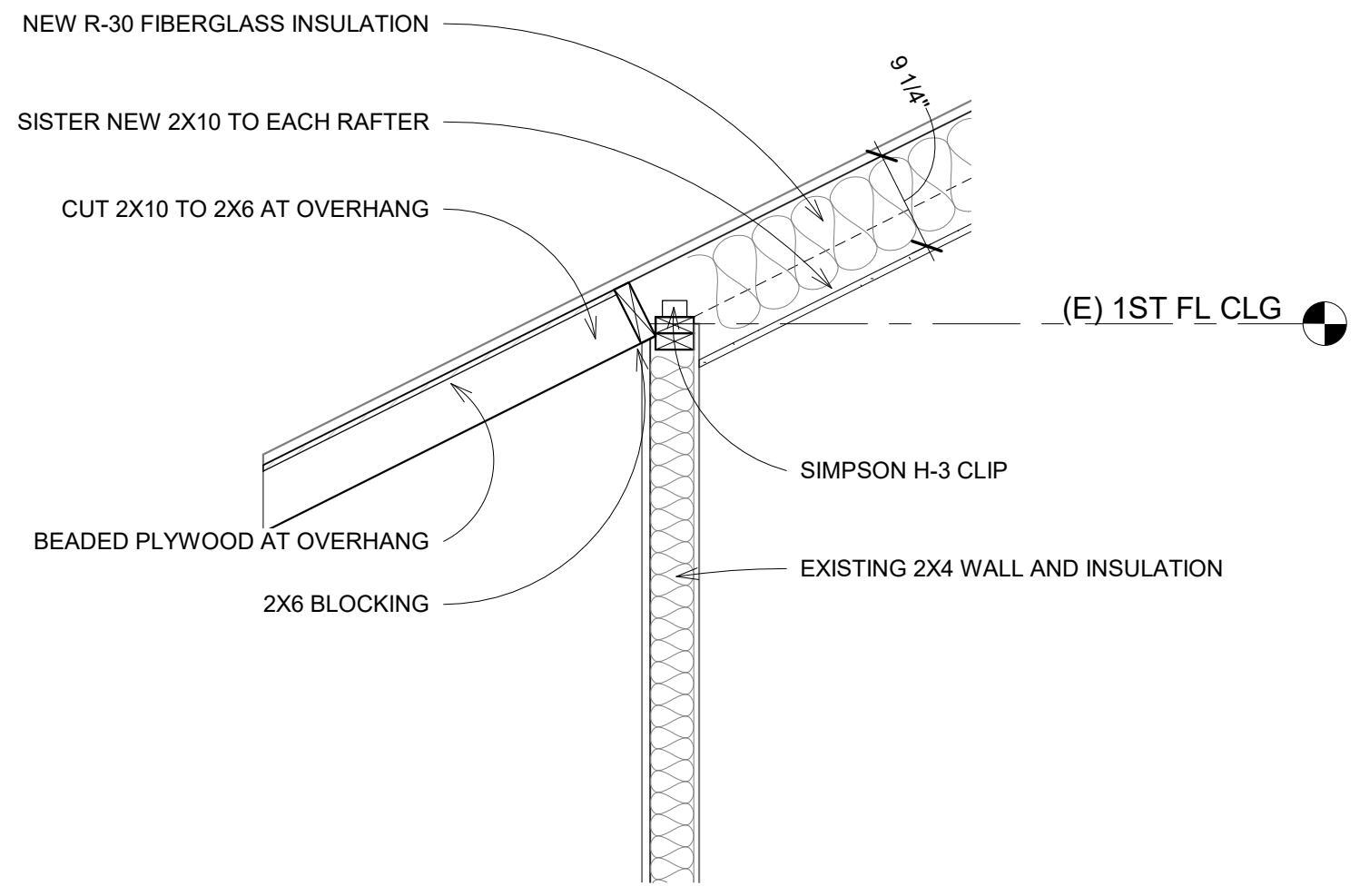


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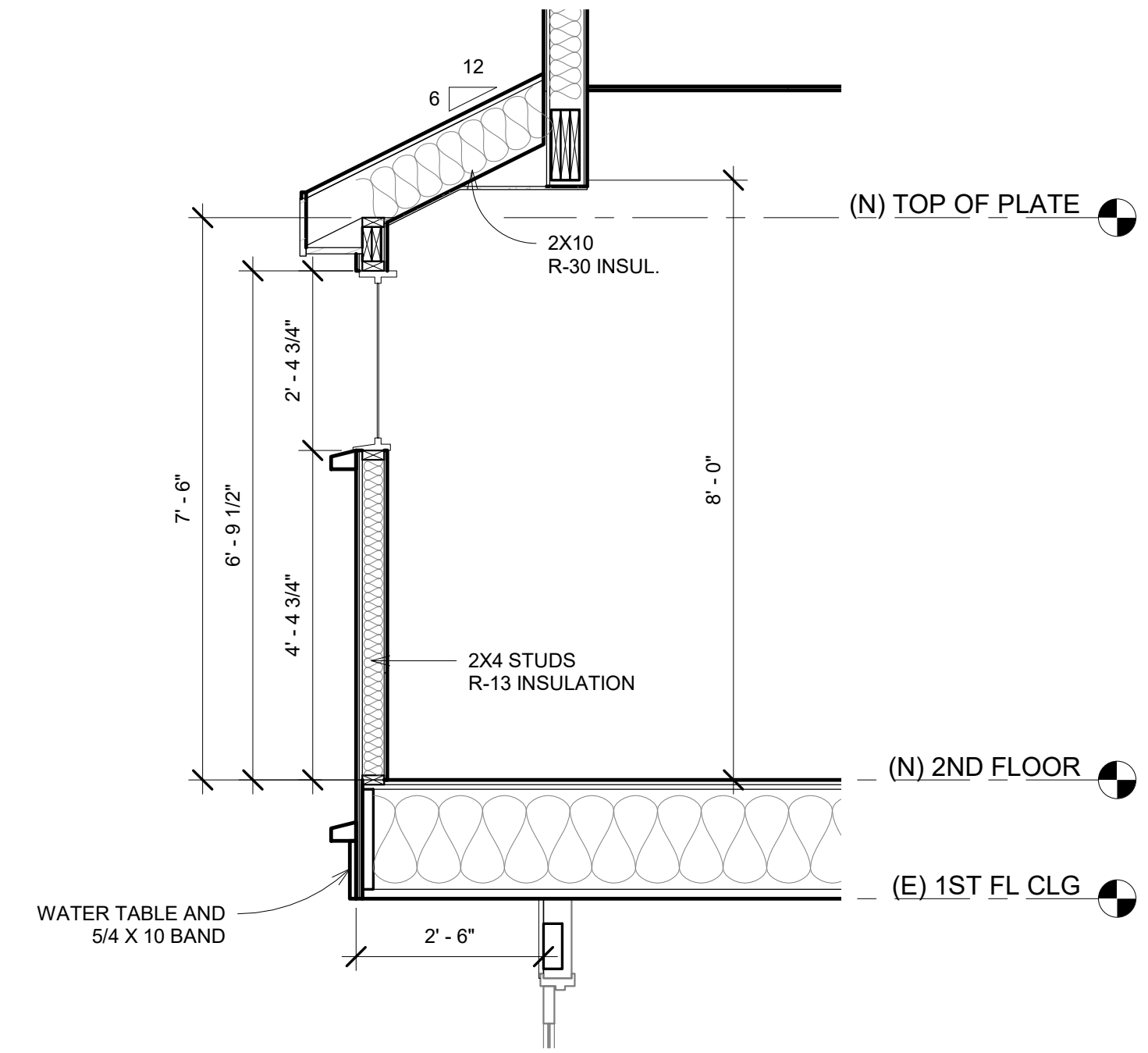
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1 DETAIL AT WINDOW HEAD
 3/4" = 1'-0"

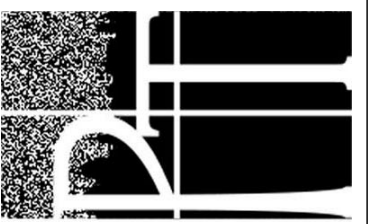


2 DETAIL AT EXISTING WALL
 3/4" = 1'-0"



3 DETAIL AT NEW 2ND FL BAY
 1/2" = 1'-0"

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Date	5/6/2020
Scale	As indicated
Drawn by	PT
SIMPSON RESIDENCE	
Sheet Name WALL DETAILS	
Sheet	A008