



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert Sutton
Chairman

Date: August 9, 2023

MEMORANDUM

TO: Rabbiah Sabbakhan
Department of Permitting Services

FROM: Michael Kyne
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit: #1031400 - New accessory building, fence, and hardscape alterations.

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved with four (4) conditions** at the June 14, 2023 Historic Preservation Commission meeting.

Conditions:

1. The applicant shall submit all material specifications for the accessory building as outlined by staff on page 5 of this report.
2. The applicant shall submit all details and material specifications for the stone patio, concrete stairs, and drain bed as outlined in page 5 of this report.
3. The applicant shall submit all details and material specifications for the wood privacy fence as outlined in page 6 of this report.
4. The applicant shall submit a Tree Impact Assessment to the City of Takoma Park, forward the response to staff, and follow all recommendations and requirements of the urban forester.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Justin & Catherine Ramsdell (Richard J. Vitello – Architect)
Address: 7310 Maple Avenue, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Michael Kyne at 301.563.3403 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



New Accessory Building, Hardscaping & Fence

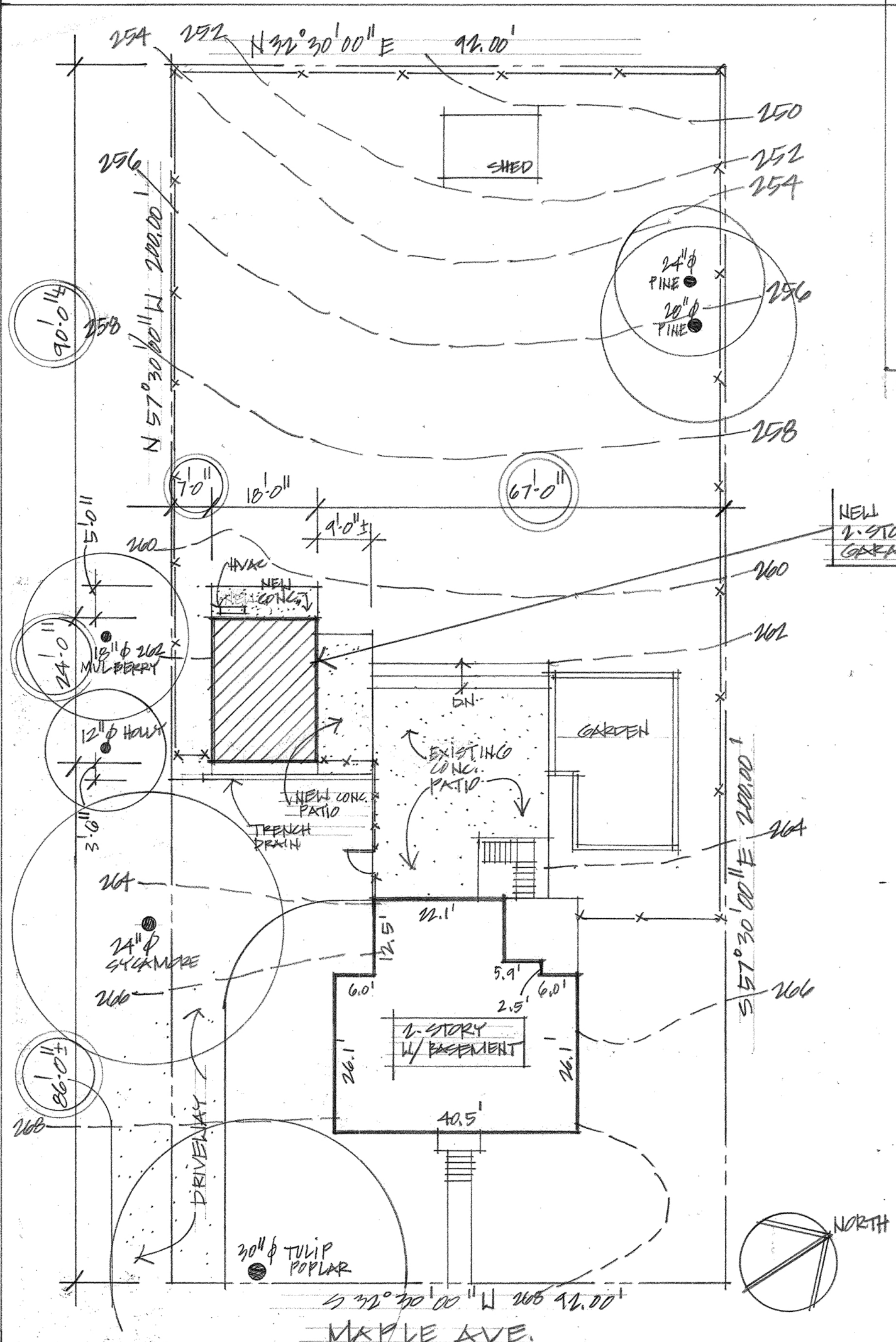
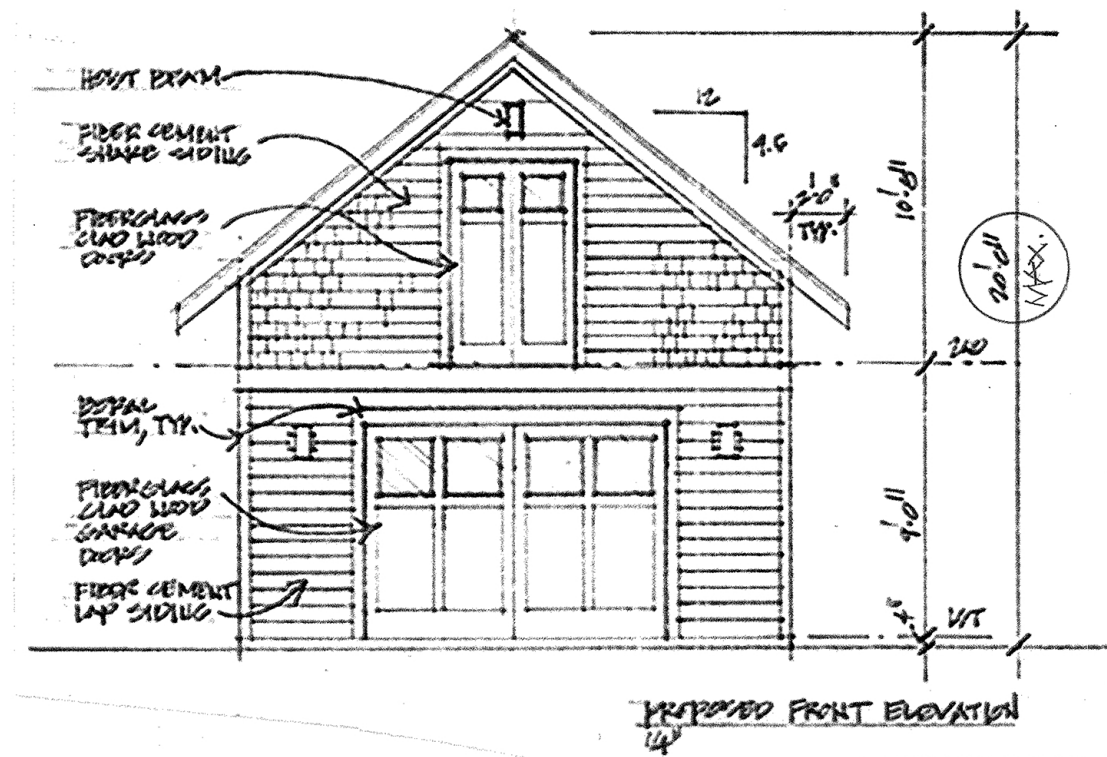
Ramsdell Residence

7310 Maple Avenue, Takoma Park, MD 20912

REVIEWED

By Michael Kyne at 1:48 pm, Aug 09, 2023

APPROVED
Montgomery County
Historic Preservation Commission

Site Plan

1" = 20'-0"

House/Site Information:

Lot: 19 Block: 5
Address: 7310 Maple Ave., Takoma Park, MD 20912
Year built: 1888
Zoning: R-60
Historic District: Takoma Park

Project Information:

"Contributing Resource" property in the Takoma Park Historic District; construct new 2-story Garage with 432 s.f. footprint in rear yard. Install new 728 SF stone/concrete patio at rear yard adjacent to new Garage. **HAWP (#1031400) approved at HPC meeting on 6/14/23.**

Residential Code Information:

All construction shall be in conformance with the International Residential Code (IRC), 2018 Edition, as Amended by Mont. Co., Reg. 31-19, adopted 5/20/2020.

AREA CALCULATIONS

EXISTING:

| | |
|-------------------------------------|-------------|
| Lot Area: | 18,400 s.f. |
| Lot Coverage/Building Area (House): | 1347 s.f. |
| % of Lot Coverage: | 7.3% |

PROPOSED (net. after garage built):

| | |
|--|-----------|
| Lot Coverage/Building Area (Garage): | 432 s.f. |
| Lot Coverage/Building Area (House + Garage): | 1779 s.f. |
| % of Lot Coverage: | 9.6% |

TOTAL NET NEW ROOF AREA:

| | |
|--|----------|
| | 432 s.f. |
|--|----------|

GENERAL CONSTRUCTION NOTES:

- These drawings are to show only materials and layout of the design; means and methods are to be determined by contractor. The contractor shall fully acquaint him/herself with the conditions relating to construction and labor so that he/she understands the issues relating to the execution of the work.
- Contractor shall provide all materials, labor and equipment and pay all freight charges, taxes, and handling of materials necessary for the full implementation of the work herein described on these drawings unless noted otherwise.
- Contractor to verify all dimensions and assumed conditions in the field; bring any discrepancies, omissions, ambiguities or conflicts to the attention of the architect and owner as soon as possible before proceeding with any of this work in question.
- Contractor to notify architect if any existing underground pipes (or any other relevant item) that are revealed by demolition and are scheduled to be removed or re-routed for the new plan are determined to be not easily moved, or removed.
- All construction will meet or exceed all applicable building and health codes, unless a code modification approval is granted.
- The owner's written authorization will be required before any work is executed or materials ordered that involve a change from the original specifications affecting the contract price.
- All plan dimensions on drawings are set to edge of framing members; all finishes are not taken into account unless otherwise noted. If dimension is taken to a finish surface, it shall be noted as "FINISH DIMENSION", "FIN. DIM.", or "CLEAR DIM."
- Solid blocking required under posts or any bearing from above to solid bearing below; match bearing area of post above to bearing below; cut bearing blocks to minimum 1/16" deeper than joists.
- Install solid blocking in walls for receipt of hardware, cabinets, etc., as necessary.
- All wood in contact with masonry/concrete surfaces shall be pressure-treated; install sill gasket underneath all sill plates.
- Contractor shall not backfill against walls until supporting floors are securely in place; brace all walls until adequately supported by structure. Backfill of walls shall be performed by lightweight equipment, with a maximum of 1-ton total weight allowed within the critical zone (defined as beginning at the base of the wall and widening out from wall at a 1:1 slope (45-degree angle)).
- New doors, windows and hardware, are to be provided and installed by contractor; verify window and door manufacturers' rough opening dimensions prior to framing.
- If house-wrap and/or building paper is used, apply and lap in a shingle-fashion so that upper courses lap over lower courses; any window and door flashing is integrated into this system in the same manner. Apply Z-flashing at all heads and apply pan flashing at all sills.
- All new wall surfaces are to be prepared for painting to be smooth and free of cracks; walls to be primed and painted (2 coats, min.) with color to be selected by owner, as necessary.
- Install new hard-wired interconnected AC-powered smoke and CO detectors as per drawings and per code, as necessary.
- All electrical outlets at exterior to be ground fault circuit interrupters (GFCI); in all rooms, all-fault circuit interrupters (AFCI) to be installed.
- Electrical switches (dimmers, toggles, etc.), and telephone/modem to be approved by owner, installed by contractor. All decorative light fixtures to be selected by owner, installed by contractor.
- All recessed light enclosures and junction boxes installed in thermal/insulated ceilings shall be IC-rated for insulation contact and are to be sealed against air infiltration. Seal all openings in box with fire-rated foam (3M Fire Block Foam FB-Foam; meets ASTM E 84 Class 1).

SPECIFICATIONS:

- Exterior wall/roof sheathing:** Huber Engineered Woods LLC, "Zip System" combination wall sheathing, water-resistive barrier, and air barrier, thicknesses as specified in drawings: 7/16" for wall sheathing, 5/8" for roof sheathing.
- Lap Siding:** HardiPlank Fiber Cement Primed Lap Siding; 7 1/2" (6" exposure) x 0.312" thickness; primed and pre-painted, UNO (unless noted otherwise). (Painted)
- Shake Siding:**
Cedar shakes, tapersawn, with a 1/2-inch minimum dimension on bottom of shake. 6-inch minimum exposure, stained or painted.
- Exterior Trim:** Boral poly-ash "TruExterior Trim", or HardieTrim Boards, 4/4 and 5/4 NT3 Smooth. (Painted)
- Trim Accessories:** Azek PVC (drip caps, rake moulding, etc.) (Painted)
- Undersoffit/Porch Ceiling:** Boral "TruExterior Beadboard"; 5/8" x 6 x 16'. (Painted)
- Roofing:** 40-year CertainTeed Architectural asphalt shingles. Color TBD.
- Garage Doors, Upper Floor Exterior Doors & Side Entry Door:** RealCraft Carriage Doors, all wood doors (see Window & Door schedule for sizes, etc.), or equivalent.
- Windows:** Marvin Elevate windows (see Window & Door schedule for sizes, etc.)
- Lighting Fixtures (flanking each side of garage doors):** Lumens "Lighthouse Wall Lantern", by Generation Lighting (small size).
- Lighting Fixture (over side entry door):** Kichler "Pier Outdoor Wall Light", Finish: "Olde Bronze".
- Linear Trench Drain:** Trenchify 6" wide NDS Duraslope HDPE Grate Trench Drain, Model #NDL150-661-32. 32'-0" long; Color #661-Gray; pre-slope channels, or equivalent.

All other selections by owner and/or architect TBD.

Sheet No. Sheet Title

| Cover | Site Plan/Project Description /General Notes |
|-------|---|
| C-1 | Drainage Plan (1"=10'-0") |
| A-1 | 1 st Floor Plan (1/4"=1'-0")/ 2 nd Floor Plan (1/4"=1'-0")/ Roof Plan (1/4"=1'-0") / Electrical & Lighting Legend |
| A-2 | Exterior Elevations (1/4"=1'-0")/ |
| A-3 | Building Sections (1/4"=1'-0")/ Wall Section @ Side (1"=1'-0") |
| A-4 | Window & Door Schedule/ Rake Detail Section (1"=1'-0") |
| EC-1 | Air Barrier, Insulation & Thermal Barrier Schedule And Diagrams |
| S-000 | Calculations/ Structural Notes |
| S-100 | Foundation, 2 nd Floor & Roof Framing Plans (1/4"=1'-0") |
| S-200 | Wind Brace Plans & Schedule |

Professional Certification:
I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland.
License #: 8221-R, Exp. Date: 7/22/2024

Vitullo Architecture Studio, PC
7016 Woodland Ave.
Takoma Park, MD 20912
(301)806-6447 cell

Ramsdell Residence
7310 Maple Ave.
Takoma Park, MD 20912

COVER

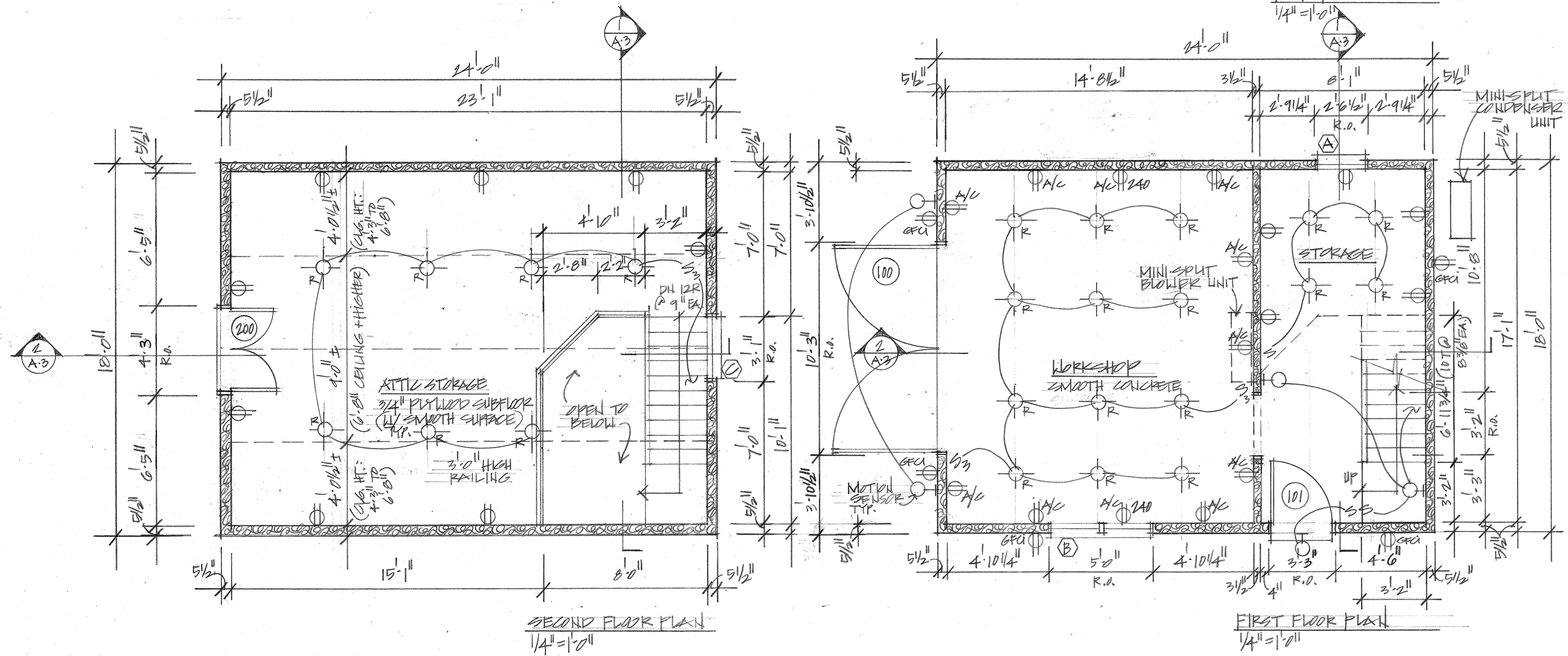
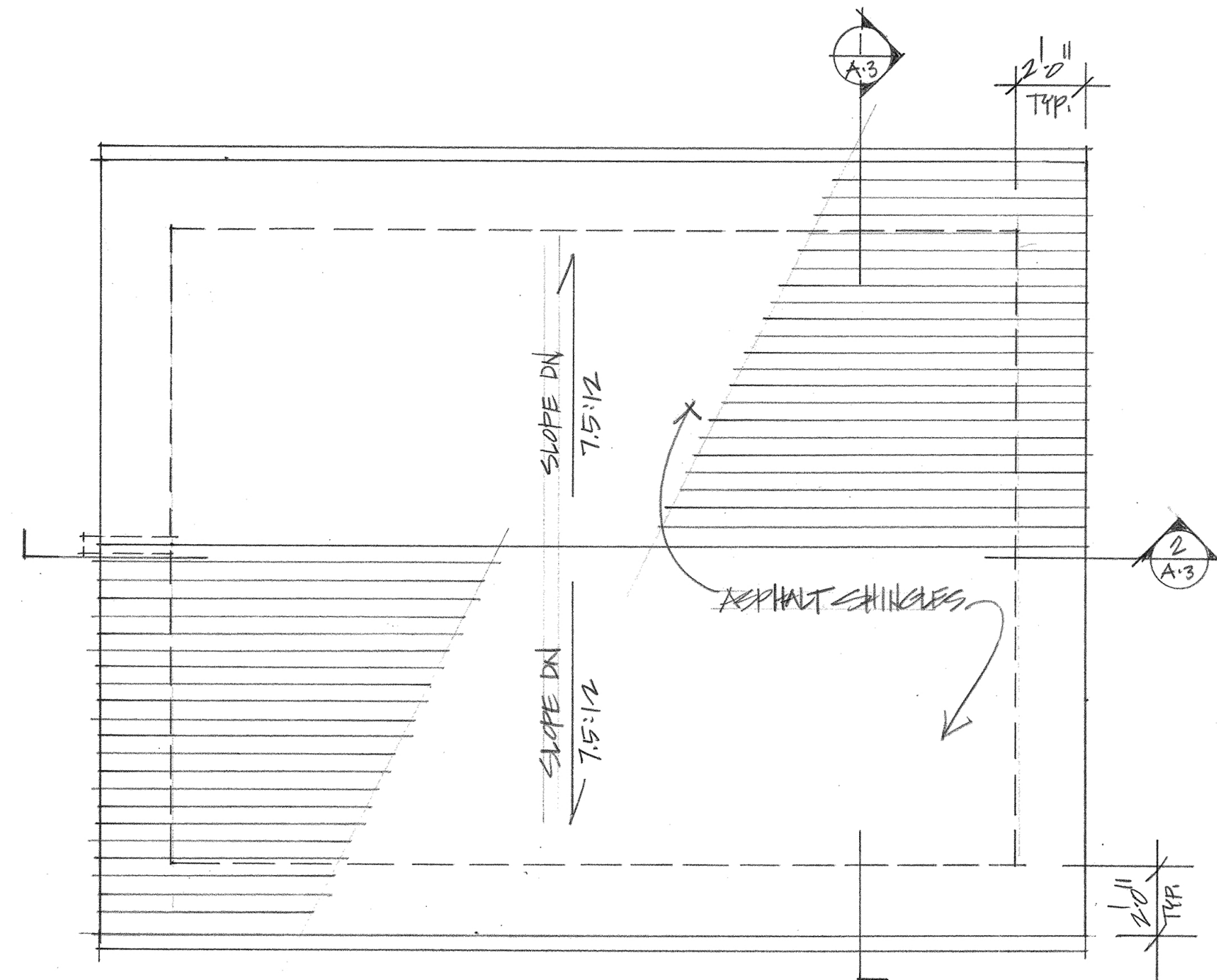
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ELECTRICAL & LIGHTING LEGEND

- “E” Indicates existing unit (light or outlet)
(all outlets to be made code-compliant)
- ⊕ Duplex Outlet/new
- ⊕_{A/C} Duplex Outlet/new/above counter
- ⊕_{GFCI} Duplex Outlet/new/GFCI
(all outlets in kitchens, baths, and exterior are to be GFCI)
- ⊕_{AFCI} Duplex Outlet/new/AFCI
(All-Fault Circuit Interrupter outlets: for all but in Kitchen)
- ⊕ Double Duplex Outlet
- ⊕_F Duplex Floor Outlet
- ⊕₂₄₀ 240v Outlet
- ⊕_{EF} Exhaust Fan
- ⊕_{EF/H} Exhaust Fan/Heat
- ⊕_{EF/H/L} Exhaust Fan/Heat/Light
- ⊕_{CF} Ceiling Fan
- ⊕_{CF/L} Ceiling Fan/Light
- ⊕_P Pendant Light Fixture
- ⊕_R Recessed Light Fixture
- ⊕_R Recessed Light Fixture/Existing
- ⊕_{R/E} Recessed Light Fixture/Eyeball
- ⊕_{SM} Surface Mounted Light Fixture
- ⊕_W Wall Mounted Light Fixture/Sconce
- ⊕_{WP} Light Fixture /Waterproof
- ⊕_{FL} Dual Flood Light
- ⊕_{DSL} Data/Telephone Jack
- ⊕_{TV} Coaxial/Cable TV
- ⊕_{SP} Audio Speaker
- S Switch
- S_D Switch/Dimmer
- S₃ Three-way Switch
- ⊕_T Track light
- ⊕_P “Plugmold” Power Strip
- ⊕_{U/C} Undercabinet Lights
- ⊕ Smoke & Carbon Monoxide Detectors
(hard-wired in dedicated circuit, interconnected,
with battery backup)
- ⊕_T Thermostat

REVIEWED
By Michael Kyne at 1:48 pm, Aug 09, 2023

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Montgomery County
Historic Preservation Commission
Robert H. Votaw



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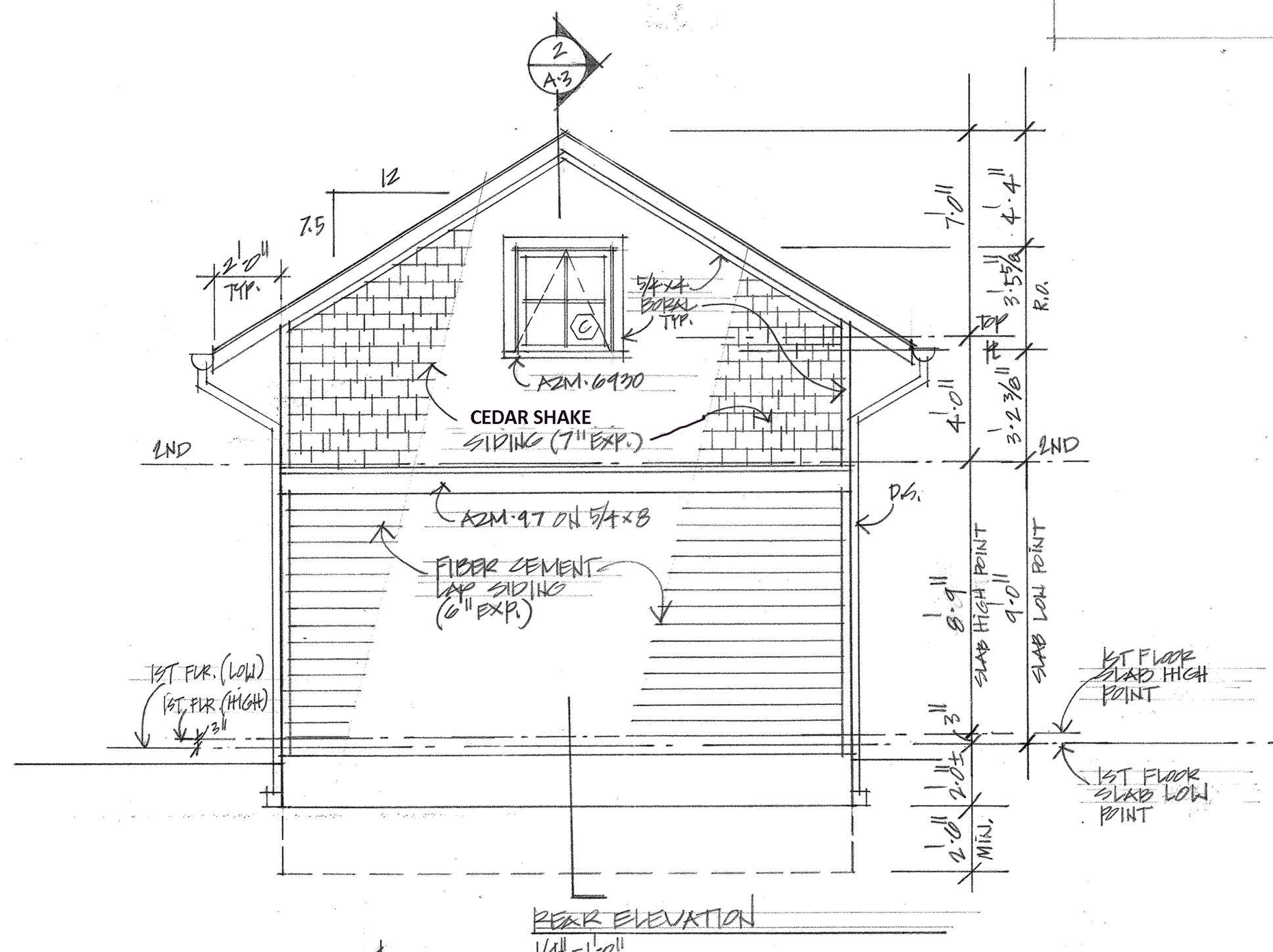
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A-1

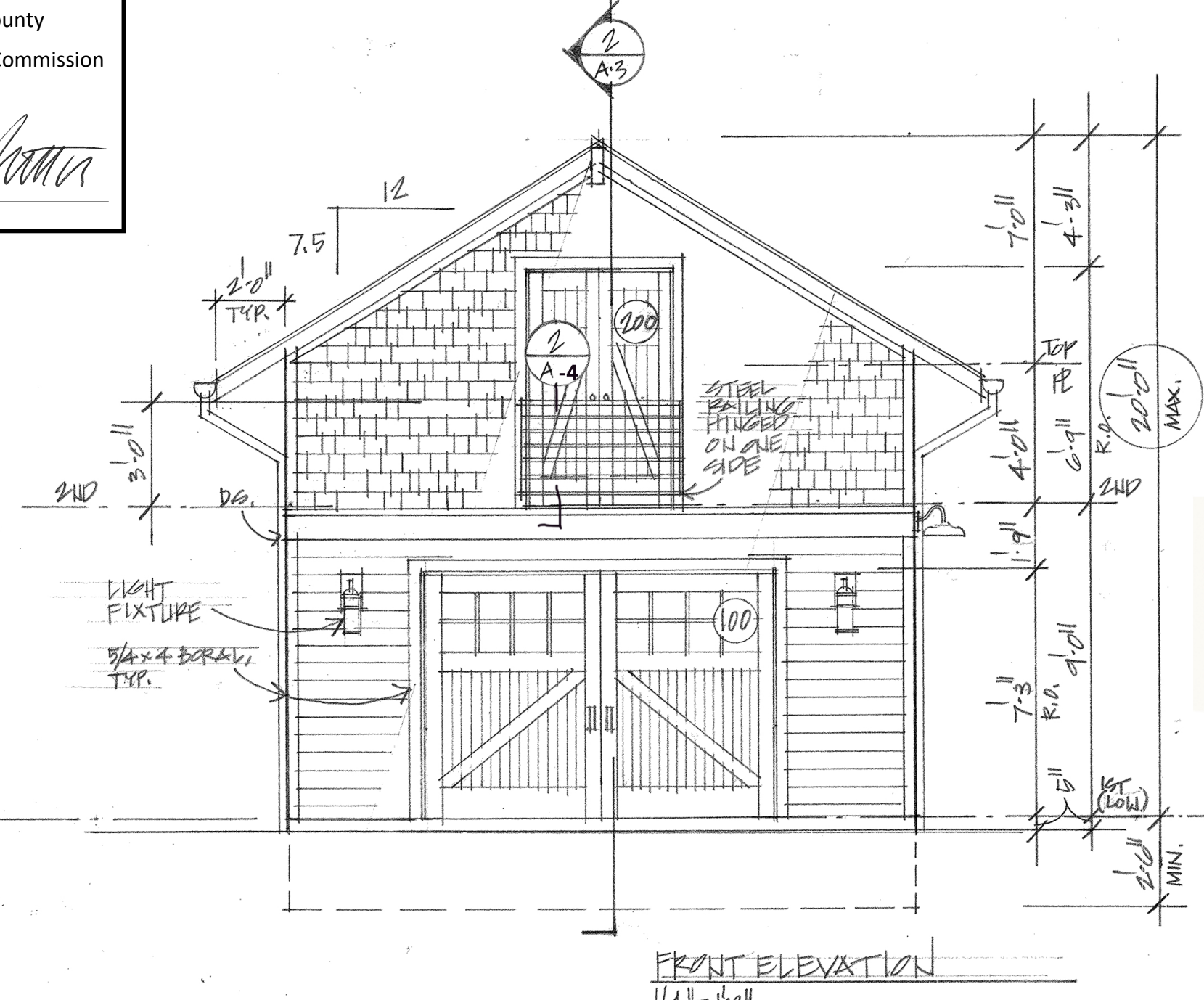
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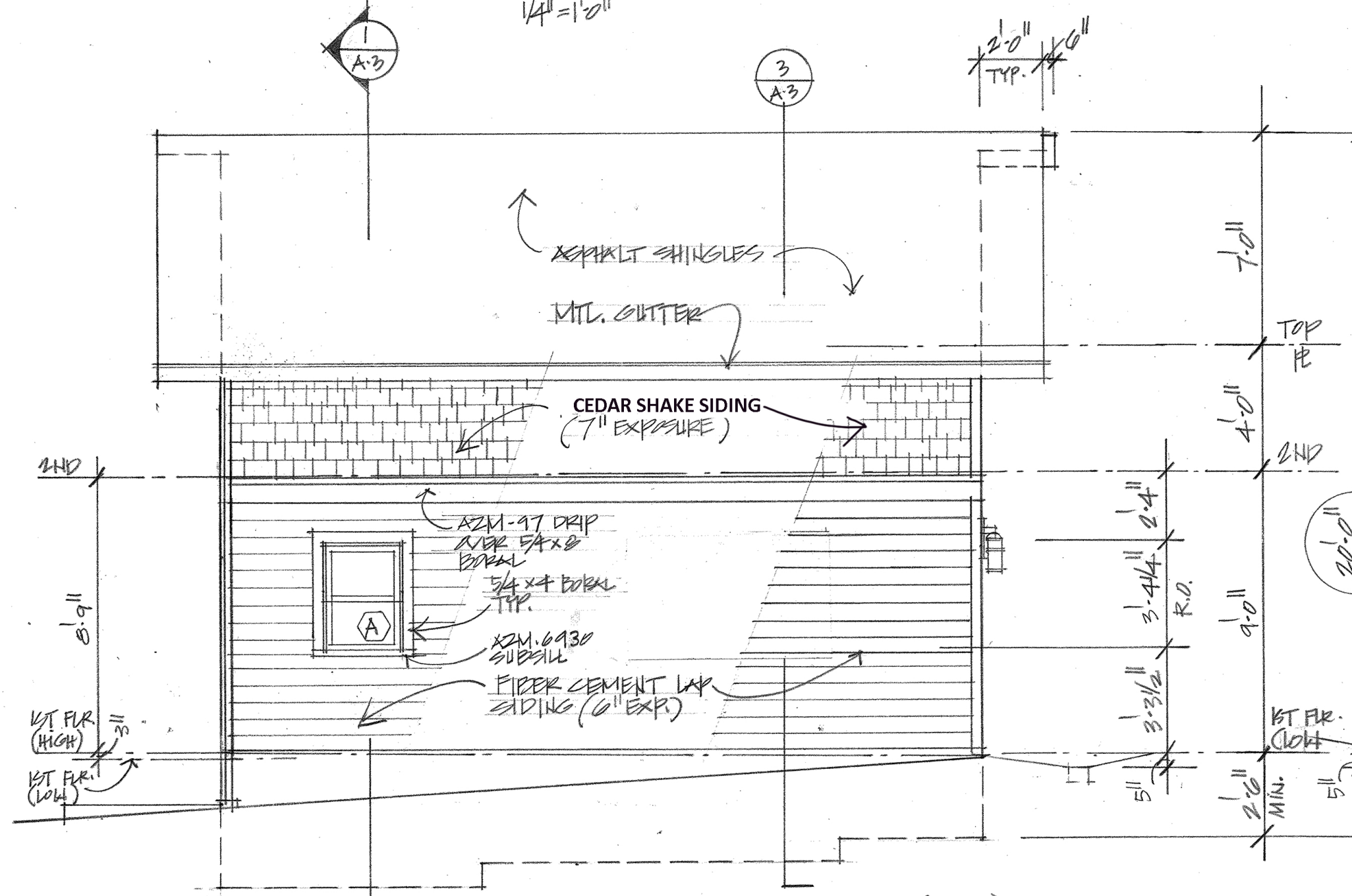
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Robert A. Adams



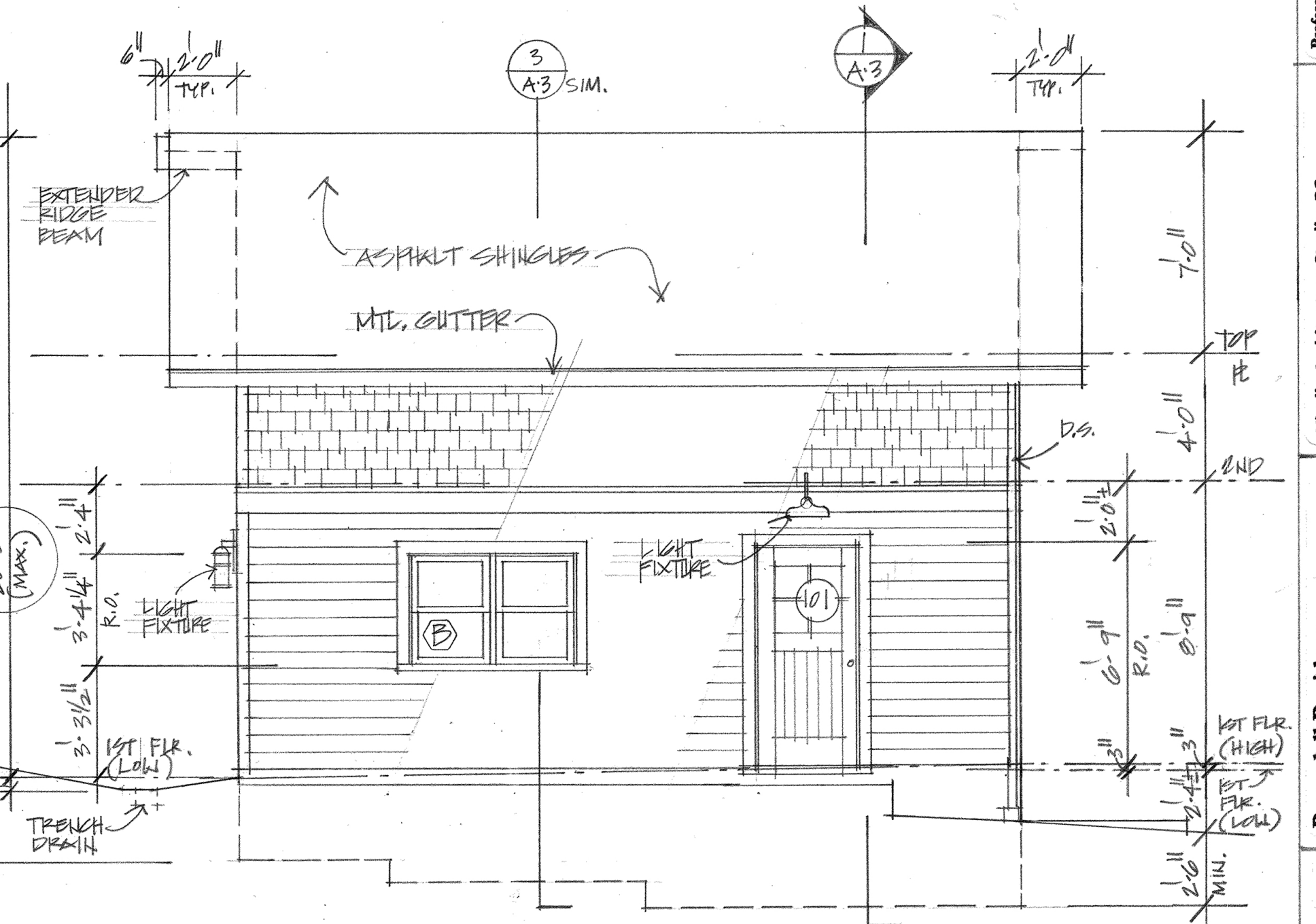
REAR ELEVATION
1/4" = 1'-0"



FRONT ELEVATION
1/4" = 1'-0"



SIDE ELEVATION (SOUTH)
1/4" = 1'-0"



SIDE ELEVATION (NORTH)
1/4" = 1'-0"



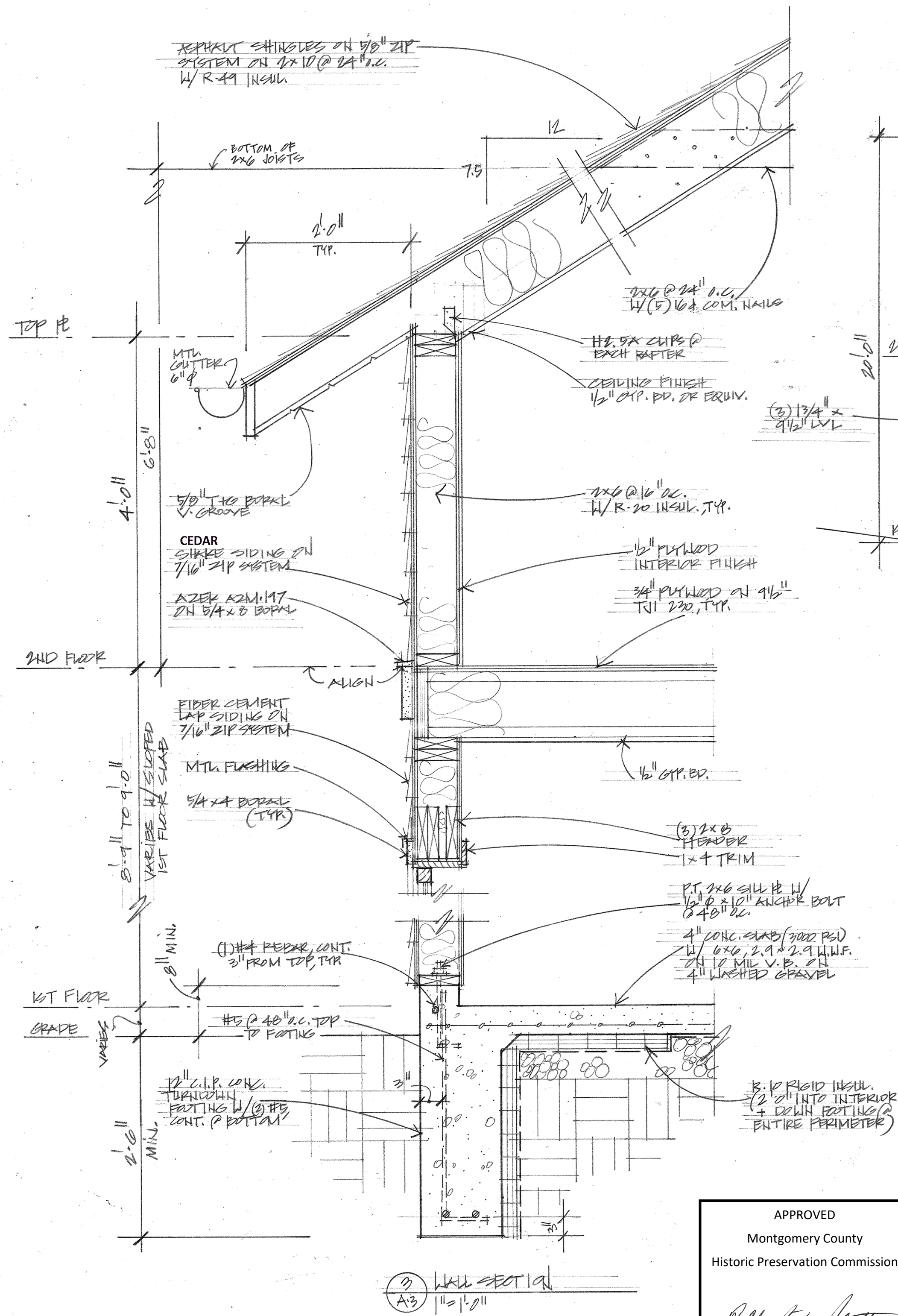
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A-2

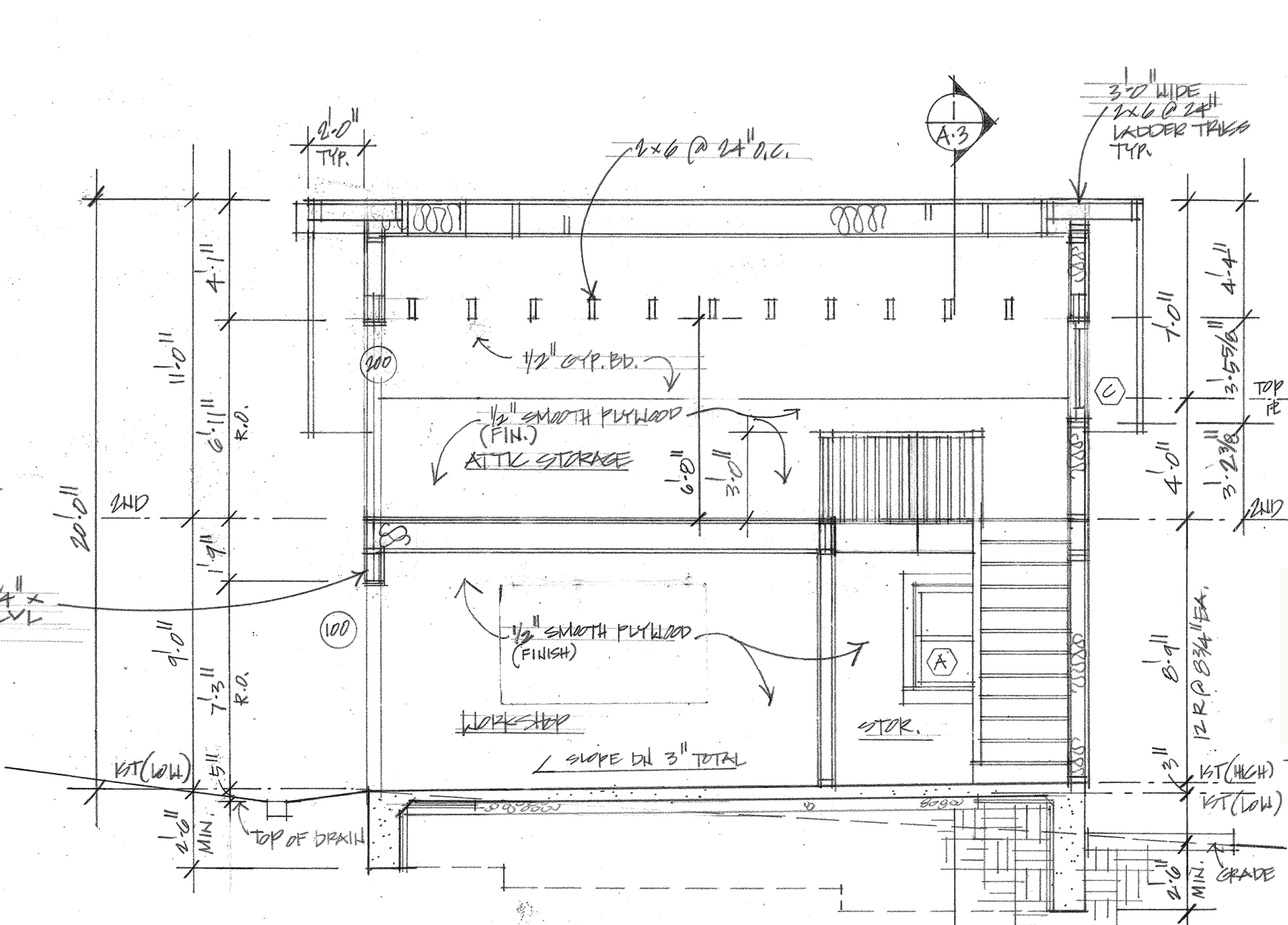
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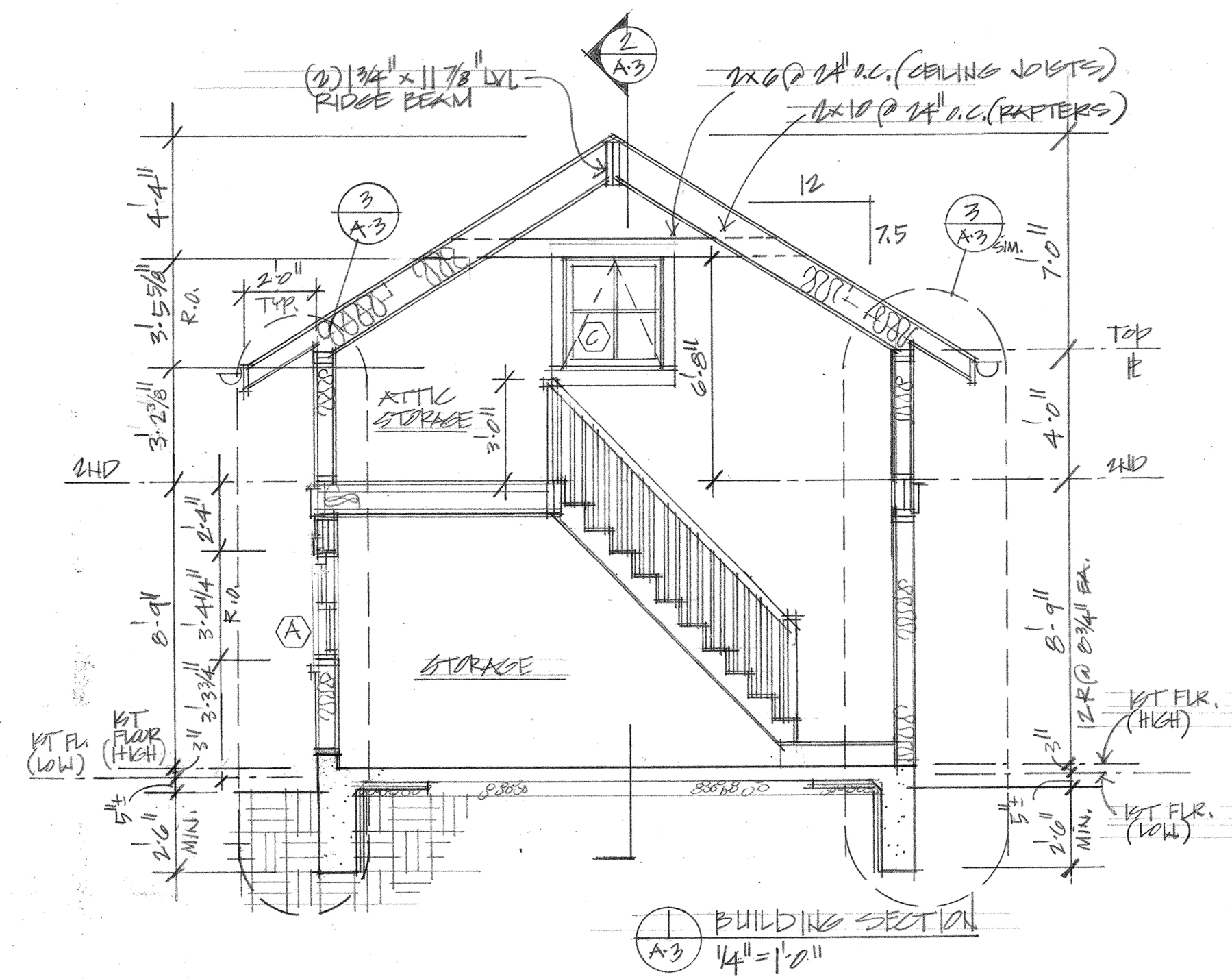
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Michael Kyne

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2 BUILDING SECTION
 A-3 1/4" = 1'-0"



1 BUILDING SECTION
 A-3 1/4" = 1'-0"



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A-3

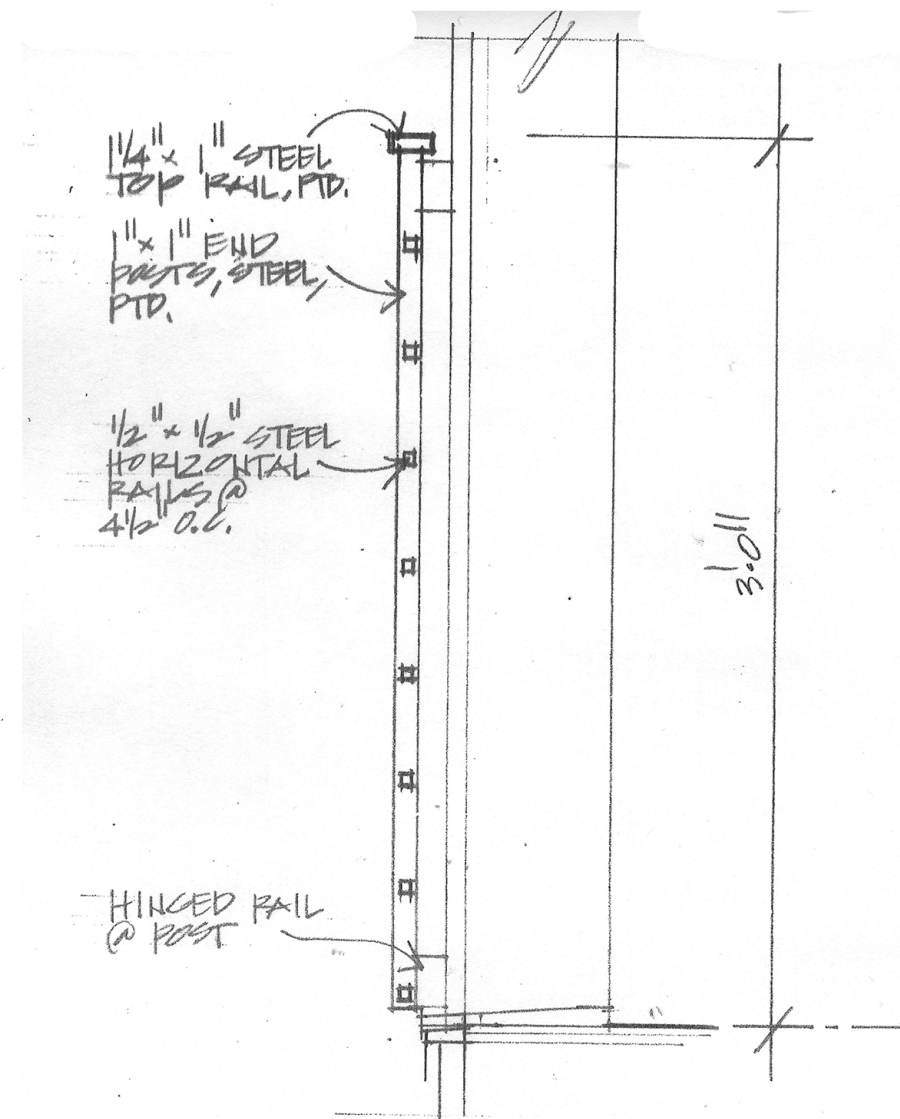
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| WINDOW SCHEDULE | | | | | | Manufacturer- Windows: Marvin Elevate | | | | | | | | | | |
|-----------------|-----------------------------|----------------------------|-----------------------------|------------|---|--|------------------|-------------------|----------------|---------------------|-----------------------|-------------------------|-----------------------|--------------------|---|---------|
| No. | Mfr. Window Line/ Model No. | Height, Unit (R.O.) | Width, Unit (R.O.) | Jamb Depth | Window Type/Material | Glazing Type | Grille Structure | Mullion Divisions | Interior Color | Exterior Clad Color | Screens / Screen Door | Hardware | SHGC-value Total Unit | U-value Total Unit | Egress window | Quant. |
| A | Elevate ELDH 3040 | 3'-3 3/4" (3'-4 1/4" R.O.) | 2'-5 1/2" (2'-6 1/2" R.O.) | 2 X 6 wall | DOUBLE HUNG /wood interior & fiberglass-clad exterior | TEMPERED 11/16" Insulating glass Low E2 w/ Argon | none | none | White | White | YES | TBD | 0.27 | 0.27 | n/a | 1 |
| B | Elevate ELDH 3040 2W | 3'-3 3/4" (3'-4 1/4" R.O.) | 4'-11" (5'-0" R.O.) | 2 X 6 wall | DOUBLE HUNG /wood interior & fiberglass-clad exterior | TEMPERED 11/16" Insulating glass Low E2 w/ Argon | none | none | White | White | YES | TBD | 0.27 | 0.27 | n/a | 1 pair |
| C | Elevate ELAWN 3739 | 3'-3 1/8" (3'-5 5/8" R.O.) | 3'-0" (3'-1" R.O.) | 2 X 6 wall | AWNING /wood interior & fiberglass-clad exterior | TEMPERED 11/16" Insulating glass Low E2 w/ Argon | 7/8" SDL | 4 lites | White | White | YES | TBD | 0.27 | 0.27 | n/a | 1 |
| SUBTOTAL | | | | | | | | | | | | | 0.28 avg. | 0.27 avg. | | 3 units |
| DOOR SCHEDULE | | | | | | Manufacturer- Doors: TBD | | | | | | | | | | |
| No. | Mfr. No. | Height, Unit (R.O.) | Width, Unit (R.O.) | Jamb Depth | Door Type / Material | Glazing Type | Grille Structure | Mullion Divisions | Interior Color | Exterior Clad Color | Screens / Screen Door | Hardware/ Sill Material | SHGC-value Total Unit | U-value Total Unit | Swing direction (shown from outside room) | Quant. |
| 100 | TBD | 7'-0" (7'-1" R.O.) | Pair of 5'-0" (10'-2" R.O.) | 2 x 6 wall | OUTSWING Garage Doors | TEMPERED Clear Glass | n/a | 8 lites each door | TBD | Paintable (TBD) | n/a | TBD | 0.27 | 0.28 | n/a | 1 pair |
| 101 | TBD | 7'-0" (7'-1" R.O.) | 3'-0" (3'-2 1/2" R.O.) | 2 x 6 wall | INSWING Door | n/a | n/a | 4 lites | TBD | Paintable (TBD) | n/a | TBD | n/a | n/a | n/a | 1 |
| 200 | TBD | 6'-8" (6'-9" R.O.) | Pair of 2'-0" (4'-2" R.O.) | 2 x 6 wall | INSWING Upper Barn Doors | n/a | n/a | none | TBD | Paintable (TBD) | n/a | TBD | n/a | n/a | Left Hand | 1 pair |
| SUBTOTALS | | | | | | | | | | | | | 0.28 avg. | 0.28 avg. | | 3 units |
| TOTALS | | | | | | | | | | | | | 0.28 avg. | 0.27 avg. | | 6 units |

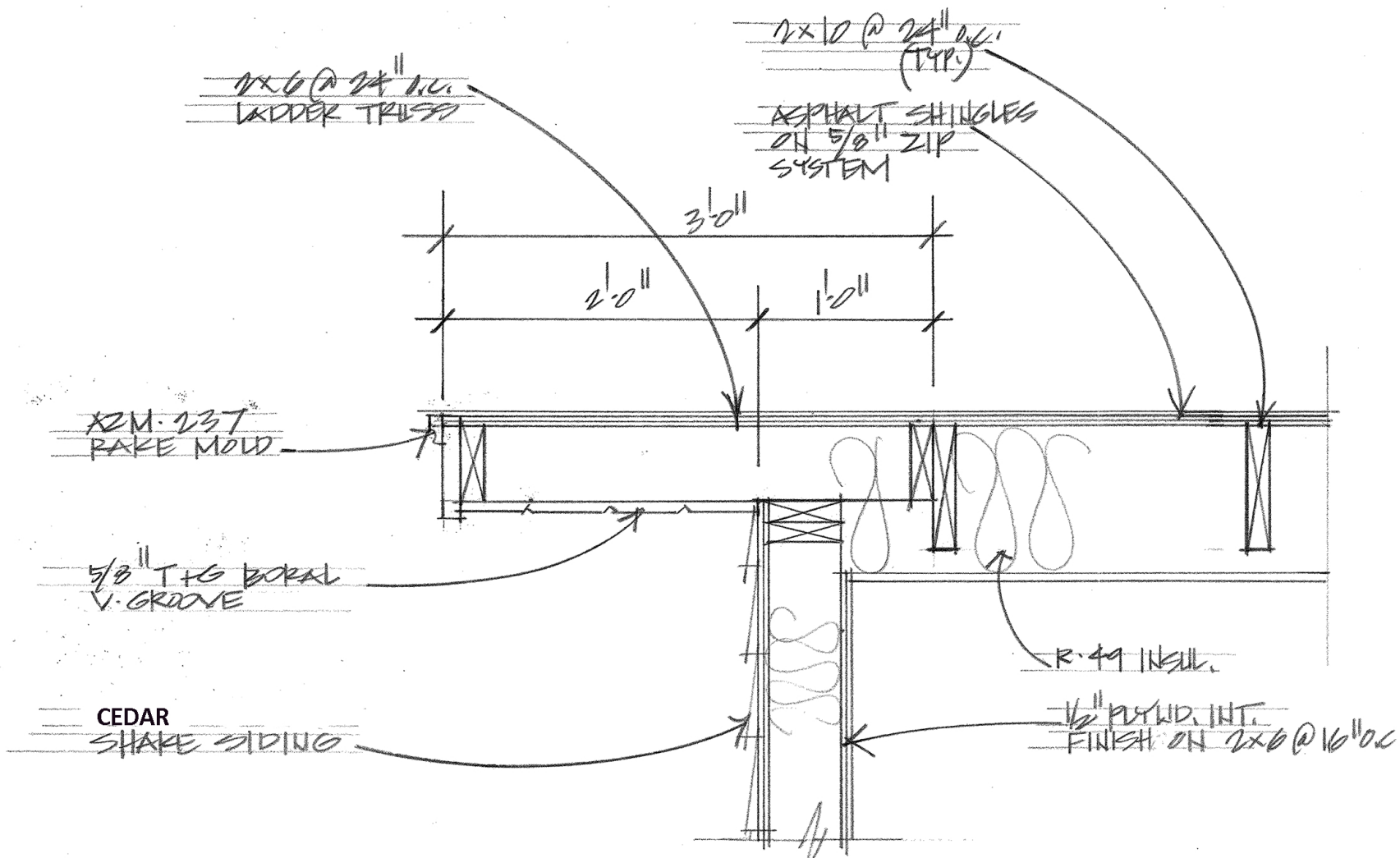


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Richard J. Vitullo



2 STEEL RAILING DETAIL
1/2" = 1'-0"



1 RAKE DETAIL SECTION
1/2" = 1'-0"

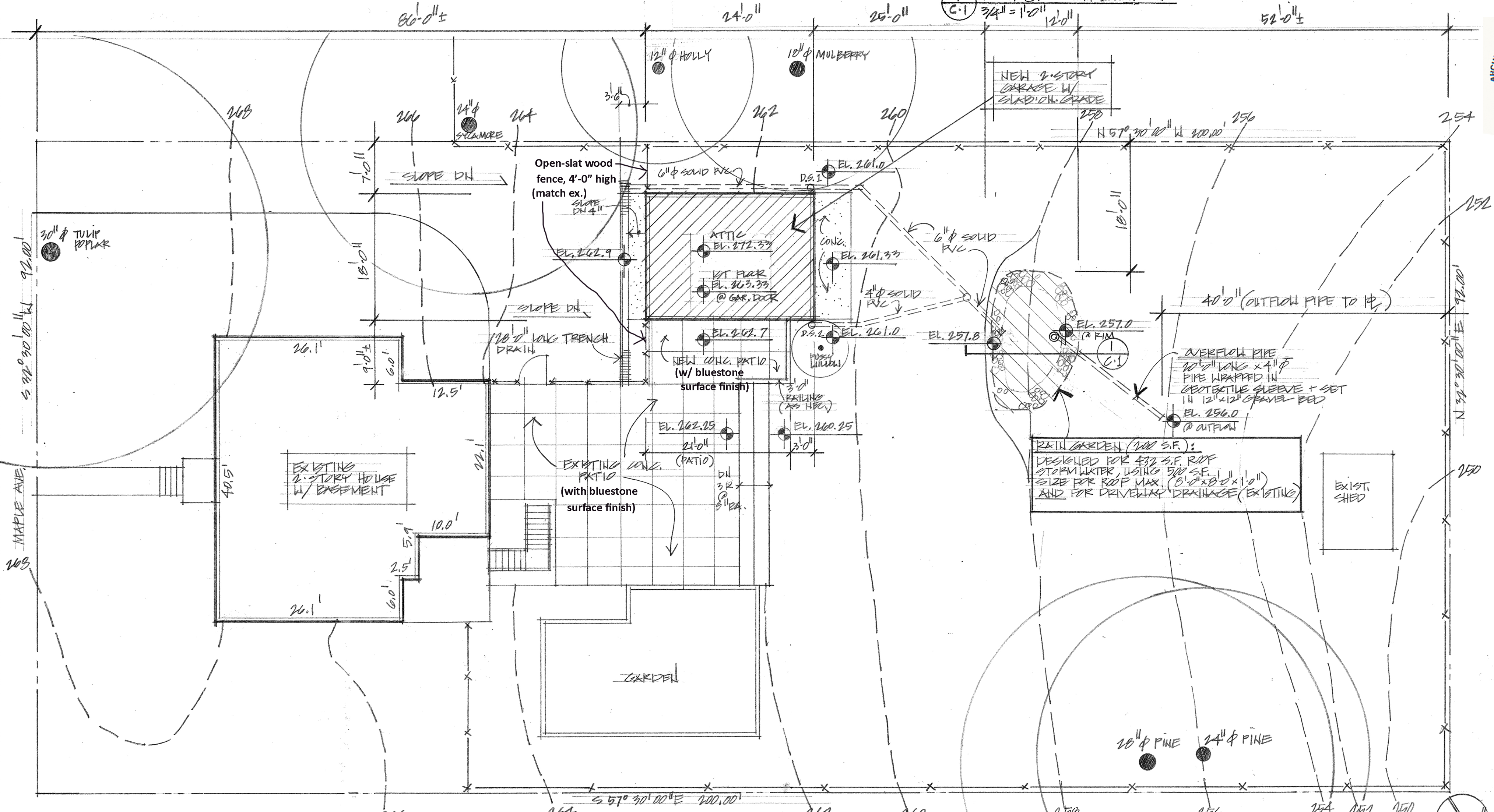
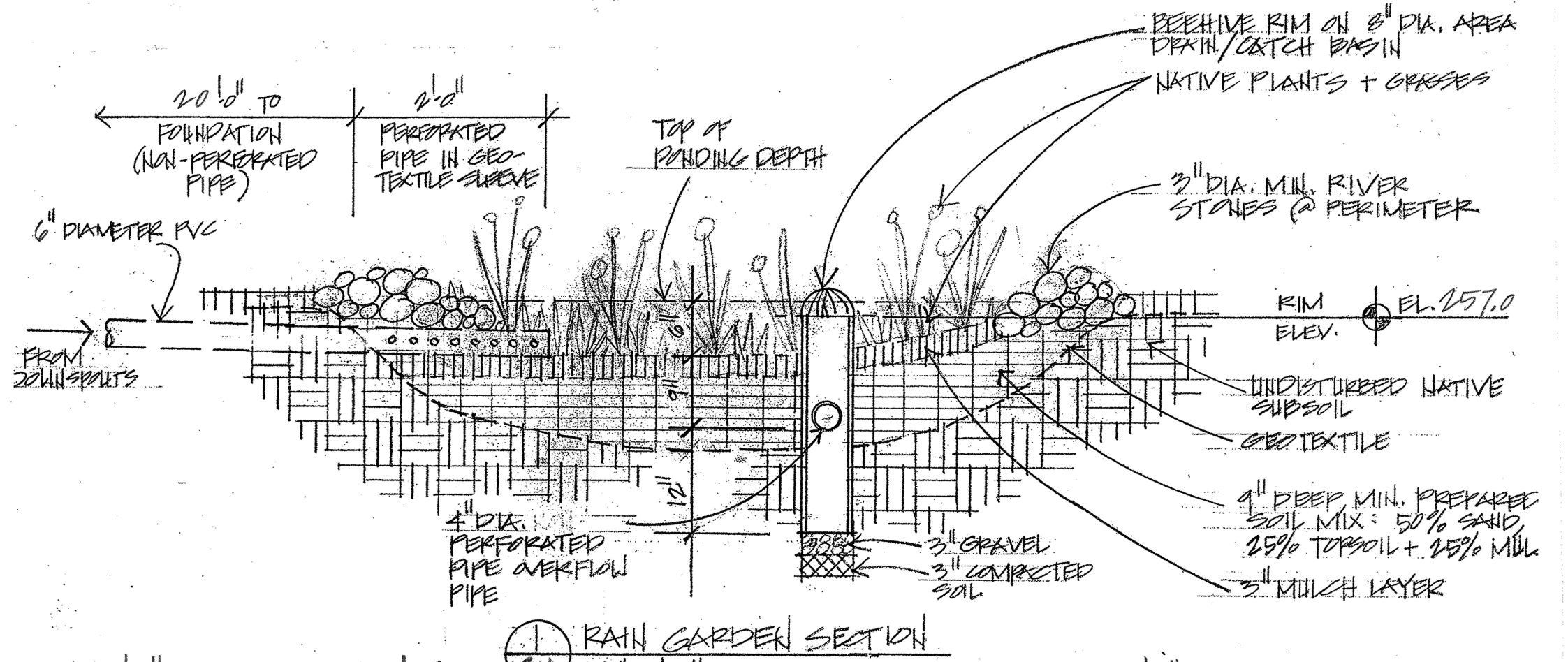
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C-1

Drainage Plan
1" = 10'-0"

7.6.23