



## HISTORIC PRESERVATION COMMISSION

Marc Elrich  
County Executive

Sandra I. Heiler  
Chairman

Date: August 15, 2020

### MEMORANDUM

TO: Mitra Pedoeem  
Department of Permitting Services

FROM: Michael Kyne  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit: Building addition and renovations

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved with conditions** at the June 24, 2020 HPC meeting.

### Conditions

**The applicants must satisfy the outstanding one (1) condition regarding the proposed renovations, as stipulated by the Maryland Historical Trust (MHT). Namely:**

- 1. A mock-up of the new field stone foundation will be undertaken to ensure that the reconstructed wall matches in-kind. Once the mock-up has been completed, photographs should be submitted for review and approval.**

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Pleasant View Historic Association (Thomas Taltavull, Architect)  
Address: 11900 Darnestown Road, Gaithersburg

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Michael Kyne at 301.563.3403 or [michael.kyne@montgomeryplanning.org](mailto:michael.kyne@montgomeryplanning.org) to schedule a follow-up site visit.



**REVIEWED**

By Michael Kyne at 4:56 pm, Aug 15, 2020

## Historic Preservation Easement Program Change/Alteration Request Application

APPROVED

Montgomery County  
 Historic Preservation Commission

*Sandra J. Heiler*

*This form is intended to be used by Maryland Historical Trust (MHT) Easement Property Owners and/or the Authorized Project Contact to initiate review of projects which require approval of the Director of the MHT as per the Deed of Easement. All Change/Alteration Request Applications must be submitted along with pertinent supplemental information in hard copy with an original signature at least one week prior to the scheduled meeting date. Easement Program staff will evaluate the application for completeness and may require additional information to facilitate review by the Easement Committee and Director. The application review period (as specified by each Deed of Easement) will not commence until Easement Program staff has deemed the application to be complete.*

**Return the Change/Alteration Request Application, and other information to:**  
**Kate Bolasky, Administrator, Historic Preservation Easement Program**  
**Maryland Historical Trust, 100 Community Place, Crownsville, MD 21032**  
**(410) 697-9537/kate.bolasky@maryland.gov**

**Easement Property Information:**

Name of Easement Property:		Quince Orchard Colored School	
Alternative Name:			
Address of Property:		11810 Darnestown Road	
		Gaithersburg, Maryland 20878	County: Montgomery
Maryland Inventory of Historic Places # (if known): M 24-13 (for more information visit <a href="http://mht.maryland.gov/research_survey.shtml">http://mht.maryland.gov/research_survey.shtml</a> )			
Scope of Easement:	<input checked="" type="checkbox"/> Exterior <input type="checkbox"/> Interior <input type="checkbox"/> Archaeology	Is the scope of work located inside the easement boundary?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
What does the Easement protect? (Check all that apply)			

\*For a copy of the easement document, please contact Kathy Monday (410) 697-9575/ [kathy.Monday@maryland.gov](mailto:kathy.Monday@maryland.gov)

**Property Owner Information:**

Name of Current Property Owner:		Pleasant View United Methodist Church c/o Gerard A. Green, Jr.	
Address of Property Owner: (If different than property address)		12410 Fellowship Lane	
		Gaithersburg, Maryland 20878	Date of Purchase: NA
Work/Home Telephone:	301-216-4630	Fax:	
Mobile Telephone:		Email:	ggreen@bwcumc.org

*If application is completed by someone other than owner (only complete if applicable):*

Name of Authorized Project Contact:		Thomas J. Taltavull	
Relationship to owner:		Architect	
Address of Authorized Project Contact:		20650 Plum Creek Court	
		Gaithersburg, Maryland 20882	
Daytime Telephone:	301-840-1847	Fax:	
Mobile Telephone:	301-466-5272	Email:	tom@tjtarchitects.com

**REVIEWED**

By Michael Kyne at 4:56 pm, Aug 15, 2020

**Project Funding Information:**

Is this project being funded by any of the following sources?  Please check all that apply:	<input type="checkbox"/> MHT Capital Grant (FY _____)	APPROVED [Signature] _____
	<input type="checkbox"/> MHT Loan (Montgomery County)	
	<input type="checkbox"/> MHAA Capital Grant (FY _____)	
	<input type="checkbox"/> AAHPP Grant (FY _____)	
	<input type="checkbox"/> Historic Tax Credits ( <input type="checkbox"/> Residential/ <input type="checkbox"/> Commercial)	
	<input checked="" type="checkbox"/> Bond Bill (Chapter _____ Year _____)	
	<input type="checkbox"/> Other State/Federal Funding _____	
	<input type="checkbox"/> Other Funding _____	

**Please check that you have included the following information as part of your complete application:**

<b>Required:</b> <input checked="" type="checkbox"/> Change/Alteration Request Application <input checked="" type="checkbox"/> Detailed Work Description <input checked="" type="checkbox"/> Printed Photographs & CD; properly labeled/identified	<b>As Necessary (Recommended):</b> <input checked="" type="checkbox"/> Site Plan/Drawings/Plans (dated _____) <input type="checkbox"/> Product Information/Specifications <input type="checkbox"/> Other _____
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The Easement Property Owner and/or the Authorized Proposal Contact is encouraged to keep a duplicated copy of all application information sent to the MHT, including photos and plans, as the MHT staff may need to discuss the application with the applicant prior to submission to the Easement Committee.

Signature of Owner or Authorized Representative/Date: \_\_\_\_\_ / \_\_\_\_\_

**Detailed Work Description Form**

(Include all construction, reconstruction, improvement, enlargement, painting and decorating, alteration, demolition, maintenance or repair, and excavation)

**Work Item # 1**

<b>Architectural/Landscape feature:</b> Brick Chimneys	<b>Describe, in detail, the proposed work and impact on existing feature:</b>
<b>Approximate date of feature:</b> circa 1902 & 1940's	<b>Be sure to include details and specifications on proposed products</b>
<b>Describe existing feature and its condition:</b>	<b>Photo no. 2,3,4,6   Drawing no. 1 thru 6</b>
The existing brick masonry chimneys that provided flues for wood coal stoves located in the original 1902 school room and the 1940's classroom addition. The chimneys are in good condition. There is an existing stove still located in the original 1902 classroom.	The existing masonry chimneys are in good condition and will be inspected, and if required will be repaired and repointed with in kind mortar. Metal flashing may need to be redone. Flashing material will be in kind with existing.

**REVIEWED**  
 By Michael Kyne at 4:56 pm, Aug 15, 2020

**Work Item #2**

<b>Architectural/Landscape feature:</b> Gutters and Downspouts	APPROVED Montgomery County Historic Preservation Board _____ <i>Sandra J. Skiles</i>	<b>Describe, in detail, the proposed work and impact on existing feature:</b>
<b>Approximate date of feature:</b> circa 1980's		<b>Be sure to include details and specifications on proposed products</b>
<b>Describe existing feature and its condition:</b>		<b>Photo no. 1-6      Drawing no. 2,3,5,6</b>
<p>The existing gutters are white half round seamless aluminum. The gutters are in fair condition, with missing and damaged sections.</p> <p>The existing downspouts are white round aluminum. The downspouts are in fair condition with some missing and damaged.</p> <p>Photograph from 1967 shows building with no gutters or downspouts.</p>		<p>The proposed work is to remove existing gutters and downspouts and replace with 6" half round and 4" diameter downspouts. Gutters and downspouts to be galvalume mill finish .</p>

**Work Item # 3**

<b>Architectural/Landscape feature:</b> Rubble field stone foundation	<b>Describe, in detail, the proposed work and impact on existing feature:</b>
<b>Approximate date of feature:</b> 1902	<b>Be sure to include details and specifications on proposed products</b>
<b>Describe existing feature and its condition:</b>	<b>Photo no. 1,2,3,6      Drawing no. 2,3,5,6</b>
<p>Original one room school section was set on rubble stone foundation. The foundation exhibits visible signs of movement and deterioration. Foundation depth is inadequate. Stones have been painted white. Mortar is failing. Foundation is in poor condition.</p>	<p>Underpin stone foundation with new concrete footing to extend wall down to frost depth at minimum 30" below finished grade. Repair and repoint stone wall with appropriate mortar to match existing in kind. Remove paint from stone.</p>

\* Please print this page again to include as many work items as necessary.

**REVIEWED**

By Michael Kyne at 4:56 pm, Aug 15, 2020

<b>Work Item # 4</b>		APPROVED
<b>Architectural/Landscape feature:</b> Concrete Foundation Wall	Montgomery County Historic Preservation Commission	<b>Describe, in detail, the proposed work and impact on existing feature:</b>
<b>Approximate date of feature:</b> circa 1940's		<b>Be sure to include details and specifications on proposed products</b>
<b>Describe existing feature and its condition:</b>	Photo no. 3,4,5,6	<b>Drawing no. 2,3,5,6</b>
The existing concrete foundation at the circa 1940"s classroom addition does not extend down to frost depth. The walls show visible signs of deformation as a result of frost heave and foundation settlement along the east,, south,and west elevations. The walls are in poor condition.	<i>Sandra Heiler</i>	Underpin the concrete foundation walls with new concrete footings to extend down to frost depth. (30" minimum below finished grade)

Work Item #5

<b>Architectural/Landscape feature:</b> Wood Siding		<b>Describe, in detail, the proposed work and impact on existing feature:</b>
<b>Approximate date of feature:</b> 1902 & 1940's		<b>Be sure to include details and specifications on proposed products</b>
<b>Describe existing feature and its condition:</b>	Photo no. 1-6 -	<b>Drawing no. 2,3,5,6</b>
The existing wood drop siding boards at or near the grade level are in poor condition. Boards are loose and deteriorated due to foundation and framing failures.		Repair all loose siding boards in good condition. Remove and replace any damaged or deteriorated wood boards with in kind material to match.

\* Please print this page again to include as many work items as necessary.

**REVIEWED**

By Michael Kyne at 4:56 pm, Aug 15, 2020

<b>Work Item # 6</b>		APPROVED	
<b>Architectural/Landscape feature:</b> Wood wall and floor framing	Montgomery County Historic Preservation Commission	<b>Describe, in detail, the proposed work and impact on existing feature:</b>	
<b>Approximate date of feature:</b> 1902 & 1940's		<b>Be sure to include details and specifications on proposed products</b>	
<b>Describe existing feature and its condition:</b>	<i>Sandra Miller</i>	<b>Photo no. 1 - 6</b>	<b>Drawing no. 1 - 6</b>
The existing wall and floor framing is visibly damaged and deteriorated in several areas. The wood timber sill shows visible signs of insect and water damage. Floor framing is located at or on ground and exhibits signs of rot and deterioration. The wall and floor framing is in poor condition.		Expose existing wall and floor framing in areas of rot and deterioration. Rotted or damaged wood floor framing to be repaired and or replaced with in kind material. The crawl space grade shall be lowered where required to a minimum 6" below bottom of wood floor framing and covered with 6 mil poly vapor barrier.	

**Work Item # 7**

<b>Architectural/Landscape feature:</b> Exterior Metal Doors		<b>Describe, in detail, the proposed work and impact on existing feature:</b>	
<b>Approximate date of feature:</b> Circa 1980		<b>Be sure to include details and specifications on proposed products</b>	
<b>Describe existing feature and its condition:</b>		<b>Photo no. 1,2,3,4,8</b>	<b>Drawing no. 1 thru 6</b>
The existing metal doors, frames trim at north and east elevations are not original and non contributing features.		Remove two (2) non contributing exterior metal doors , frames and trim. At north elevation install new solid wood three panel and two over two half lite door, frame and trim. At east porch elevation install new solid wood two panel door with six over six vision lite to match original 1960's door.	

\* Please print this page again to include as many work items as necessary.

**REVIEWED**

By Michael Kyne at 4:56 pm, Aug 15, 2020

<b>Work Item # 8</b>		APPROVED	
<b>Architectural/Landscape feature:</b> Wood windows	Montgomery Historic Preservation Commission	<b>Describe, in detail, the proposed work and impact on existing feature:</b>	
<b>Approximate date of feature:</b> 1902, 1940's and 1970's		<b>Be sure to include details and specifications on proposed products</b>	
<b>Describe existing feature and its condition:</b>	<i>Sandra J. Keiler</i>	<b>Photo no. 1-6, 8</b>	<b>Drawing no. 1 thru 6</b>
The east elevation has seven wood six over six double hung windows and trim that are in poor condition (1902, 1940's). The east porch elevation has two non contributing fixed windows in poor condition (1970's). The north elevation has two plywood boarded window openings, with trim and frames in poor condition. The north elevation also contains a non contributing modern vinyl clad wood double hung window in good condition.		All double hung wood windows in east elevation to be restored to original condition. The two fixed window sashes at the porch entrance shall be restored to six lite sashes per 1967 photograph. The plywood covering windows to be removed to investigate and determine original window configuration. Findings will be reported to MHT.	

Work Item # 9

<b>Architectural/Landscape feature:</b> Wood ramp and railings		<b>Describe, in detail, the proposed work and impact on existing feature:</b>	
<b>Approximate date of feature:</b> circa 1980's		<b>Be sure to include details and specifications on proposed products</b>	
<b>Describe existing feature and its condition:</b>		<b>Photo no. 2,3,4, 8 &amp; 9</b>	<b>Drawing no. 1,2,3</b>
The existing late 20th century wood ramp railings are non contributing and in poor condition.		Remove existing non contributing wood ramp and railings at east elevation.	

\* Please print this page again to include as many work items as necessary.



**REVIEWED**

By Michael Kyne at 4:56 pm, Aug 15, 2020

<b>Work Item #10</b>		APPROVED	
<b>Architectural/Landscape feature:</b> Existing Grades at Building	Montgomery County Historic Preservation Commission	<b>Describe, in detail, the proposed work and impact on existing feature:</b>	
<b>Approximate date of feature:</b> 1967		<b>Be sure to include details and specifications on proposed products</b>	
<b>Describe existing feature and its condition:</b>		<b>Photo no. 1,5,6</b>	<b>Drawing no. 2,3,5,6</b>
The existing grades at the south and west elevations are at or above the top of the foundation walls. Grades along the west wall are sloping towards the building.	<i>Sandra J. Keiler</i>	Reduce grade elevations to at minimum 6" below top of foundation wall to prevent future water and insect damage to wood framing and siding. The grade shall be adjusted to provide positive slope away from foundation walls.	

**Work Item # 11**

<b>Architectural/Landscape feature:</b> Overhead electrical service		<b>Describe, in detail, the proposed work and impact on existing feature:</b>	
<b>Approximate date of feature:</b> 1960"s		<b>Be sure to include details and specifications on proposed products</b>	
<b>Describe existing feature and its condition:</b>		<b>Photo no. 1,6</b>	<b>Drawing no. 3</b>
The existing overhead electrical service which terminates at the north wall.		Remove existing overhead electrical service wiring from street to electrical meter and install new underground electrical service and meter.	

\* Please print this page again to include as many work items as necessary.



**REVIEWED**  
 By Michael Kyne at 4:56 pm, Aug 15, 2020

<b>Work Item # 12</b>		APPROVED	
<b>Architectural/Landscape feature:</b> Existing concrete walkway	Montgomery County, Historic Preservation Commission	<b>Describe, in detail, the proposed work and impact on existing feature:</b>	
<b>Approximate date of feature:</b> circa 1960's		<b>Be sure to include details and specifications on proposed products</b>	
<b>Describe existing feature and its condition:</b>		<b>Photo no. 9</b>	<b>Drawing no. 7</b>
The existing concrete walkway from north elevation door to existing privy building is deteriorated with missing sections. The walk is in poor condition.	<i>Sandra J. Heiler</i>	Remove existing concrete walk and install new brick paver walk in same location. Pavers to be moulded sand struck type.	

<b>Work Item # 13</b>			
<b>Architectural/Landscape feature:</b> Below grade limits of demolished classroom wing		<b>Describe, in detail, the proposed work and impact on existing feature:</b>	
<b>Approximate date of feature:</b> Circa 1940's		<b>Be sure to include details and specifications on proposed products</b>	
<b>Describe existing feature and its condition:</b>		<b>Photo no. 10</b>	<b>Drawing no.</b>
Initial limited probing with steel rod found evidence of classroom wing that burned down. The condition, limits and material composition of the remaining foundation wall has not been determined. An existing concrete step indicates possible location of exterior entry door.		The Owner's are looking to the MHT Easement Committee for guidance on how to proceed with possible excavation and uncovering of area where burned down addition was said to exist. No photographs or clear oral historical recollection of what building looked like has been determined. The Owner's would like to reconstruct the addition for community use.	

\* Please print this page again to include as many work items as necessary.



**Maryland**  
**DEPARTMENT OF PLANNING**  
**MARYLAND HISTORICAL TRUST**

May 6, 2020

Gerard Green  
Pleasant View Historic Association  
12410 Fellowship Lane  
Gaithersburg, MD 20878

**REVIEWED**  
*By Michael Kyne at 4:57 pm, Aug 15, 2020*

Re: Pleasant View M.E. Church and Quince Orchard Colored School, Montgomery County  
Pending Easement  
Maryland Historical Trust Preservation Easement  
Loan of 2017, Chapter 22

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Sandra J. Heiler*

Dear Mr. Green:

The Maryland Historical Trust (MHT) is in receipt of your additional information, received on April 22, 2020, submitted in response to my April 6, 2020 letter. MHT's involvement in reviewing the proposed actions at the Quince Orchard Colored School is twofold. As a bond bill funded capital project involving state funds, MHT is reviewing the projects for their effects on historic properties to fulfill compliance with the Maryland Historical Trust Act of 1985, as amended. See Md. Code Ann., State Fin. & Proc. § 5A-325. MHT is also reviewing the project in anticipation of the recordation of the pending perpetual easement, as required by the Bond Bill. It is our understanding that the 2017 bond bill funds will be used for this project.

As the easement is not yet in place, the MHT performed a courtesy review of the submitted information.

Based on the review and recommendation of the MHT Easement Committee, I have determined the alternative SDL wood window with internal spacer bar and applied 5/8" muntins and revised site plan be determined sufficient to satisfy certain conditions of approval granted in my April 6<sup>th</sup> letter.

As an outstanding condition of approval remains unsatisfied, the request for the exterior rehabilitation of the school remains conceptually approved, provided:

- A mock-up of the new field stone foundation wall be undertaken to ensure that the reconstructed wall matches in-kind. Once the mock-up has been completed, photographs should be submitted for review and approval.

This work is consistent with the Secretary of the Interior's *Standards for the Treatment of Historic Properties, General Rehabilitation Standard 6, 8, 9, and 10.*

As no outstanding conditions of approval remain, the request to construct an addition is now fully approved. This work is consistent with the Secretary of the Interior's *Standards for the Treatment of Historic Properties, General Rehabilitation Standard 6, 8, 9, and 10.*

While plans and the scope of work for all construction associated with the proposed project for which funding was sought has been reviewed and approved by this office, the required Easement has not yet been recorded. Therefore, by copy of this letter, we are notifying the Board of Public Works (BPW) and the Department of General Services (DGS) that the project's historic preservation review and consultation remains in **progress** and no funds may be distributed until the required Easement has been recorded and a Bring-to-Date has been received by this office.

Should you require additional time to complete the project, make any changes to the scope of work as approved, or have any questions regarding this letter, please contact Kate Jaffe, Administrator of Preservation Financial Incentives at (410) 697-9537 or by email at [kate.jaffe@maryland.gov](mailto:kate.jaffe@maryland.gov).

Sincerely,



Elizabeth Hughes  
Director  
Maryland Historical Trust

EH/KAJ

cc: Tom Taltavull, TJT Architects

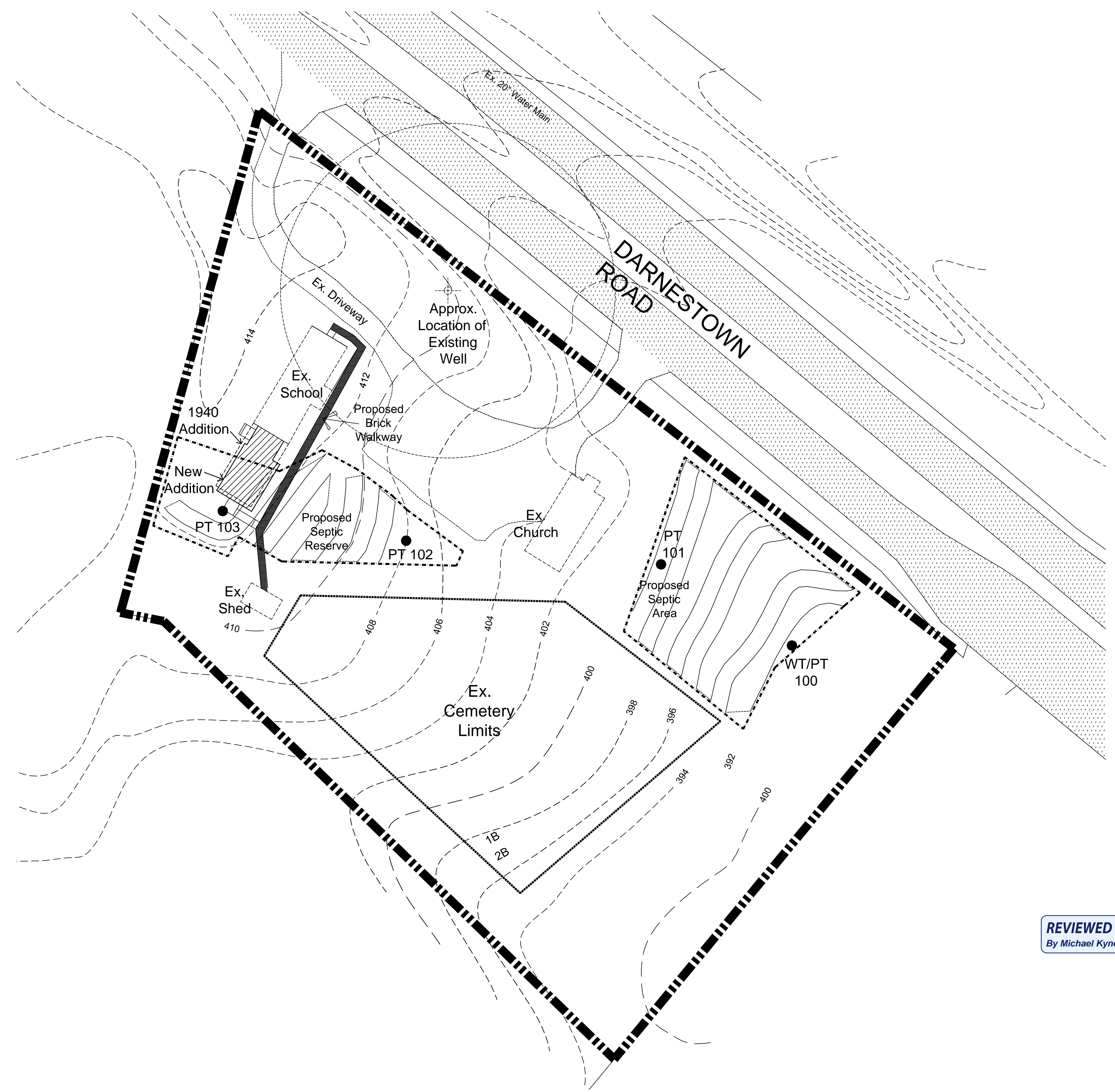
**REVIEWED**

*By Michael Kyne at 4:57 pm, Aug 15, 2020*

APPROVED

Montgomery County  
Historic Preservation Commission

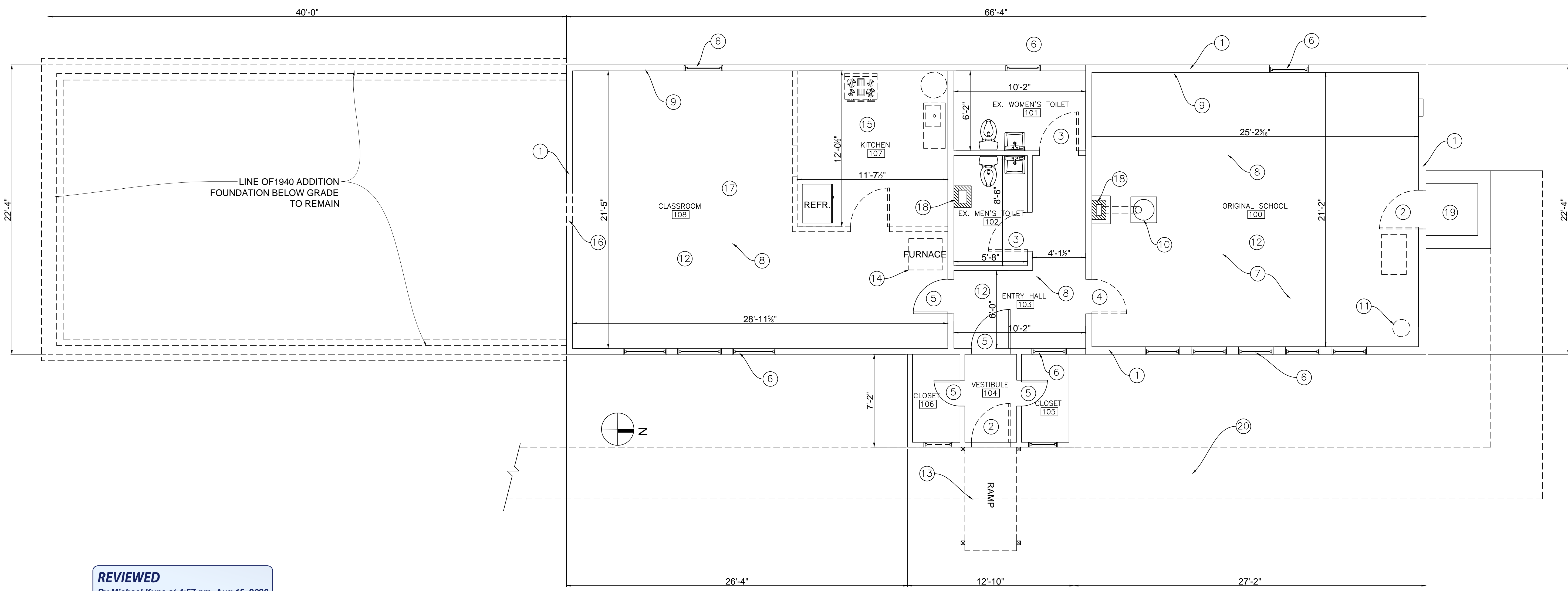




**REVIEWED**  
By Michael Kyne at 4:57 pm, Aug 15, 2020

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Sandra A. Heiler*





**REVIEWED**  
By Michael Kyne at 4:57 pm, Aug 15, 2020

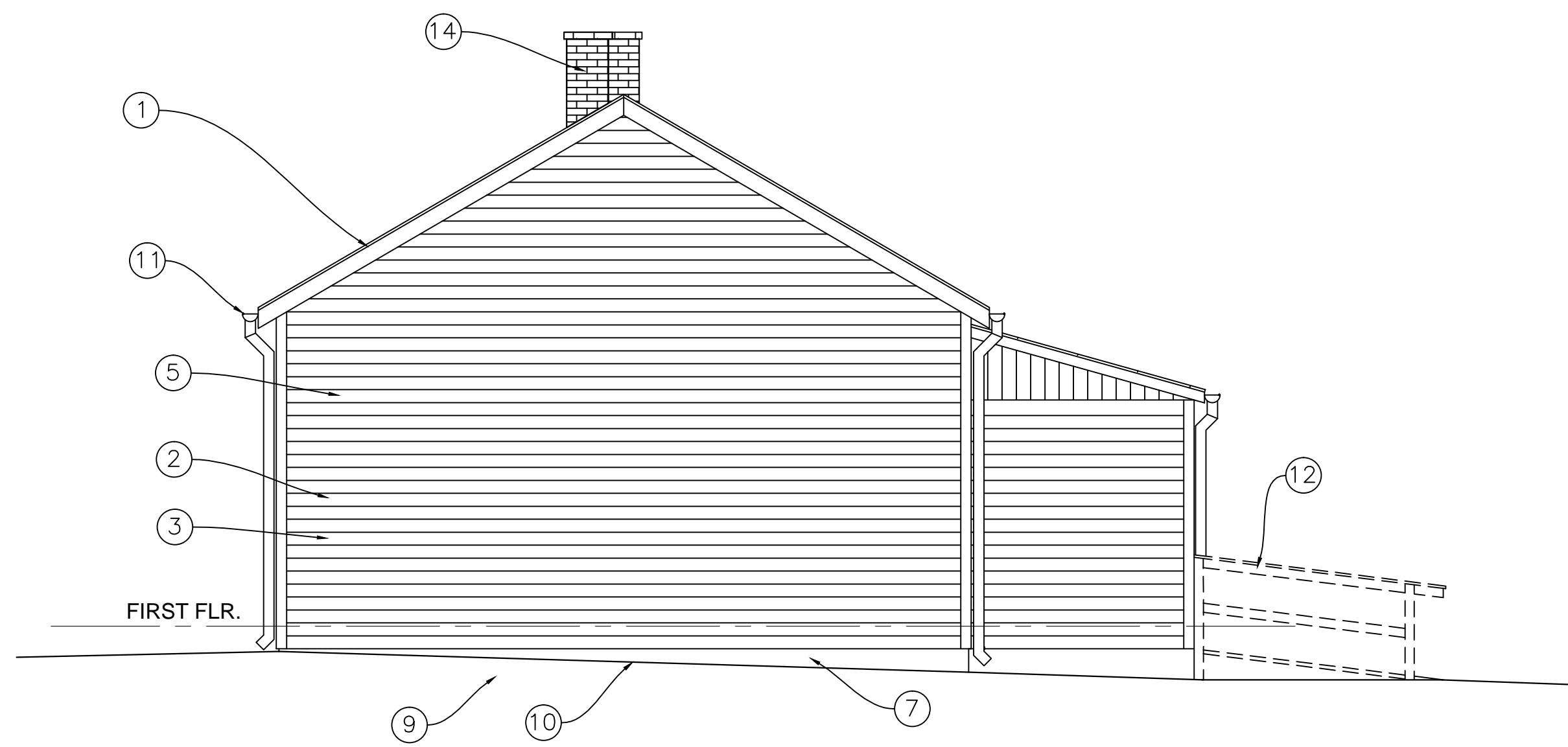
APPROVED  
Montgomery County  
Historic Preservation Commission  
*Sandra S. Heiler*

WALL LEGEND	
	NEW WALL
	EXISTING WALL
	DEMOLISH

- EXISTING FLOOR PLAN NOTES:**
- ① EXISTING EXTERIOR WALLS TO REMAIN. ALL DETERIORATED OR DAMAGED EXISTING FRAMING SHALL BE REPAIRED WITH IN KIND FRAMING.
  - ② EXISTING NON HISTORIC METAL DOOR & FRAME TO BE REMOVED AND REPLACED WITH NEW WOOD FRAME AND DOOR TO MATCH ORIGINAL.
  - ③ EXISTING NON ORIGINAL FLUSH WOOD DOORS, FRAME AND TRIM TO BE REMOVED TO ALLOW FOR INSTALLATION OF NEW WOOD PANEL DOOR, FRAME AND TRIM TO MATCH ORIGINAL.
  - ④ EXISTING NON HISTORIC MASONITE PANELED DOOR TO BE REMOVED. ORIGINAL FRAME AND TRIM TO REMAIN.
  - ⑤ EXISTING ORIGINAL WOOD PANELED DOOR, FRAME AND TRIM TO BE RESTORED.
  - ⑥ EXISTING WOOD WINDOWS AND TRIM, RESTORE TO ORIGINAL CONDITION. ANY DAMAGED, MISSING OR DETERIORATED PARTS TO BE REPLACED WITH IN KIND MATERIALS, TYPICAL ALL WINDOWS
  - ⑦ EXISTING FLOOR IN THIS AREA HAS TWO LAYERS OF WOOD FLOORING. REMOVE NON ORIGINAL FLOOR AND REPAIR ORIGINAL FLOORING.
  - ⑧ EXISTING CEILING FINISH DOES NOT APPEAR ORIGINAL, A SMALL PORTION OF CEILING TO BE REMOVED TO EVALUATE AND DETERMINE IF ORIGINAL CEILING IS PRESENT.
  - ⑨ EXISTING WALL FINISHES ABOVE ORIGINAL WOOD WAINSCOT DO NOT APPEAR TO BE ORIGINAL. A SMALL PORTION OF WALL FINISH TO BE REMOVED TO DETERMINE IF ORIGINAL WALL FINISH IS PRESENT.
  - ⑩ EXISTING WOOD STOVE, FLUE PIPING TO BE RESTORED.
  - ⑪ REMOVE EXISTING WELL WATER EXPANSION TANK AND NON HISTORIC SURFACE MOUNTED WATER PIPING.
  - ⑫ EXISTING SURFACE MOUNTED LIGHT FIXTURES TO BE REWIRED AND TO REMAIN.
  - ⑬ EXISTING NON HISTORIC WOOD RAMP TO BE REMOVED, EXISTING METAL ROOF AND CONCRETE PORCH TO REMAIN.
  - ⑭ EXISTING NON HISTORIC FURNACE AND EXPOSED METAL DUCTWORK TO BE REMOVED.
  - ⑮ EXISTING NON HISTORIC KITCHEN WALLS, APPLIANCES, LIGHTING, PLUMBING AND FLOOR TO BE REMOVED.
  - ⑯ REMOVE PORTION OF THIS WALL TO ALLOW FOR INSTALLATION OF NEW DOOR TO ADDITION.
  - ⑰ REMOVE NON HISTORIC WOOD FLOORING IN THIS ROOM TO DETERMINE IF ORIGINAL WOOD FLOORING EXISTS.
  - ⑱ EXISTING MASONRY HEATING FLUES TO REMAIN AND BE REPAIRED.
  - ⑲ EXISTING CONCRETE STOOP TO REMAIN.
  - ⑳ REMOVE EXISTING DETERIORATED CONCRETE WALK.

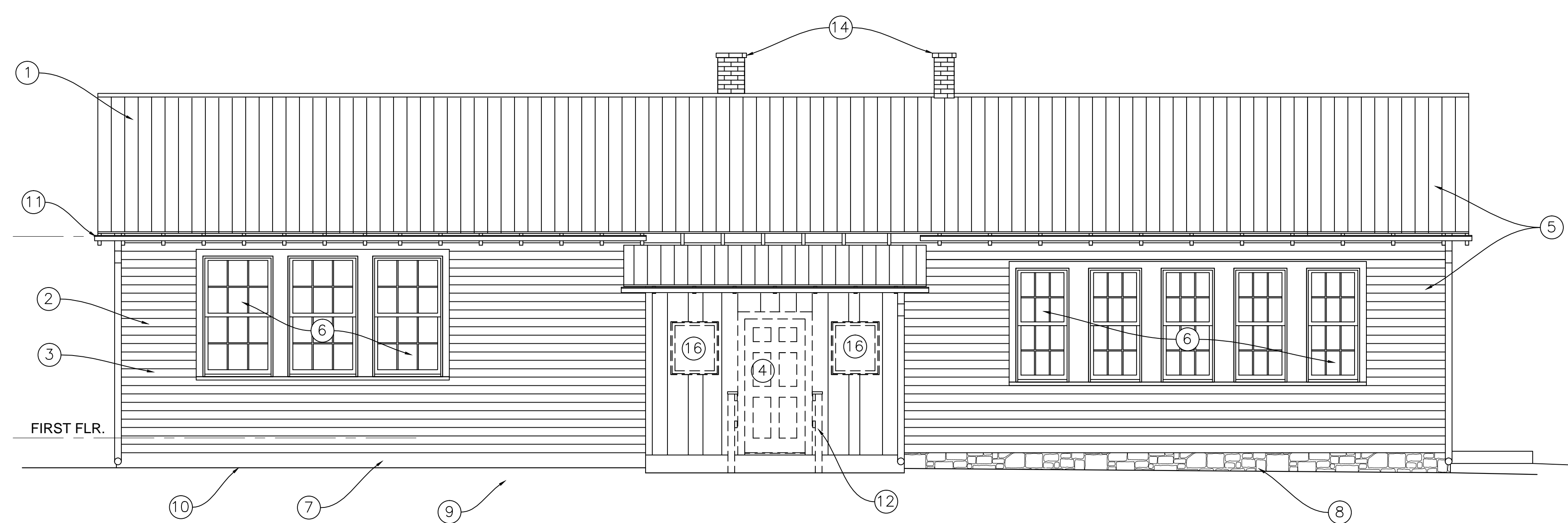
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By Michael Kyne at 4:57 pm, Aug 15, 2020

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Sandra D. Heiler*



EXISTING SOUTH ELEVATION  
1/4" = 1' - 0"

3



EXISTING EAST ELEVATION  
1/4" = 1' - 0"

2

EXISTING ELEVATION NOTES  
1/4" = 1' - 0"

- EXISTING ELEVATION NOTES:**
- ① EXISTING METAL ROOFING TO REMAIN.
  - ② EXISTING WOOD SIDING, TO BE RESTORED, REPLACE ANY DAMAGED OR DETERIORATED SIDING WITH NEW SIDING TO MATCH ORIGINAL
  - ③ EXISTING EXTERIOR WALLS TO REMAIN. ALL DETERIORATED OR DAMAGED EXISTING FRAMING SHALL BE REPAIRED WITH IN KIND FRAMING.
  - ④ EXISTING METAL DOOR & FRAME TO BE REMOVED AND REPLACED WITH NEW WOOD FRAME AND DOOR TO MATCH ORIGINAL.
  - ⑤ EXISTING WOOD WALL, FLOOR AND ROOF FRAMING TO BE EVALUATED BY STRUCTURAL ENGINEER. DETERIORATED OR DAMAGED FRAMING TO BE REPLACED WITH IN KIND FRAMING AND REINFORCED PER STRUCTURAL ENGINEERING DESIGN.
  - ⑥ EXISTING WINDOWS TO BE RESTORED
  - ⑦ EXISTING CONCRETE FOUNDATION WALL TO BE EVALUATED BY STRUCTURAL ENGINEER, UNDERPINNING MAY BE NECESSARY.
  - ⑧ EXISTING STONE FOUNDATION WALL TO BE EVALUATED BY STRUCTURAL ENGINEER, UNDERPINNING MAY BE NECESSARY.
  - ⑨ LINE OF EXISTING FOOTINGS TO BE DETERMINED.
  - ⑩ LINE OF EXISTING GRADE TO REMAIN CONTRACTOR SHALL PROVIDE POSITIVE SLOPE AWAY FROM BUILDING.
  - ⑪ EXISTING DETERIORATE OR MISSING HALF ROUND GUTTERS AND ROUND DOWNSPOUTS TO BE REMOVED.
  - ⑫ EXISTING NON HISTORIC WOOD RAMP TO BE REMOVED, EXISTING METAL ROOF AND CONCRETE PORCH TO REMAIN.
  - ⑬ REMOVE PLYWOOD AT EXISTING WINDOW FRAME OPENING. INVESTIGATE IF EXISTING WINDOW EXISTS OR REVIEW FOR EVIDENCE OF MULLIONS IN FRAME TO DETERMINE ORIGINAL WINDOW DESIGN.
  - ⑭ EXISTING MASONRY CHIMNEYS TO BE REPAIRED.
  - ⑮ EXISTING OVERHEAD ELECTRICAL SERVICE TO BE REMOVED AND REPLACED WITH UNDERGROUND SERVICE.
  - ⑯ REMOVE NON CONTRIBUTING MODERN WINDOW TO ALLOW FOR INSTALLATION OF NEW WOOD FIXED WINDOW TO MATCH ORIGINAL.

Revisions  
Drawing Title  
**EXISTING ELEVATIONS**

Date: April 22, 2020

Rehabilitation to:  
QUINCE ORCHARD SCHOOL  
PLEASANT VIEW HISTORICAL SITE  
11810 Darnestown Road  
Gaithersburg, Maryland 20878

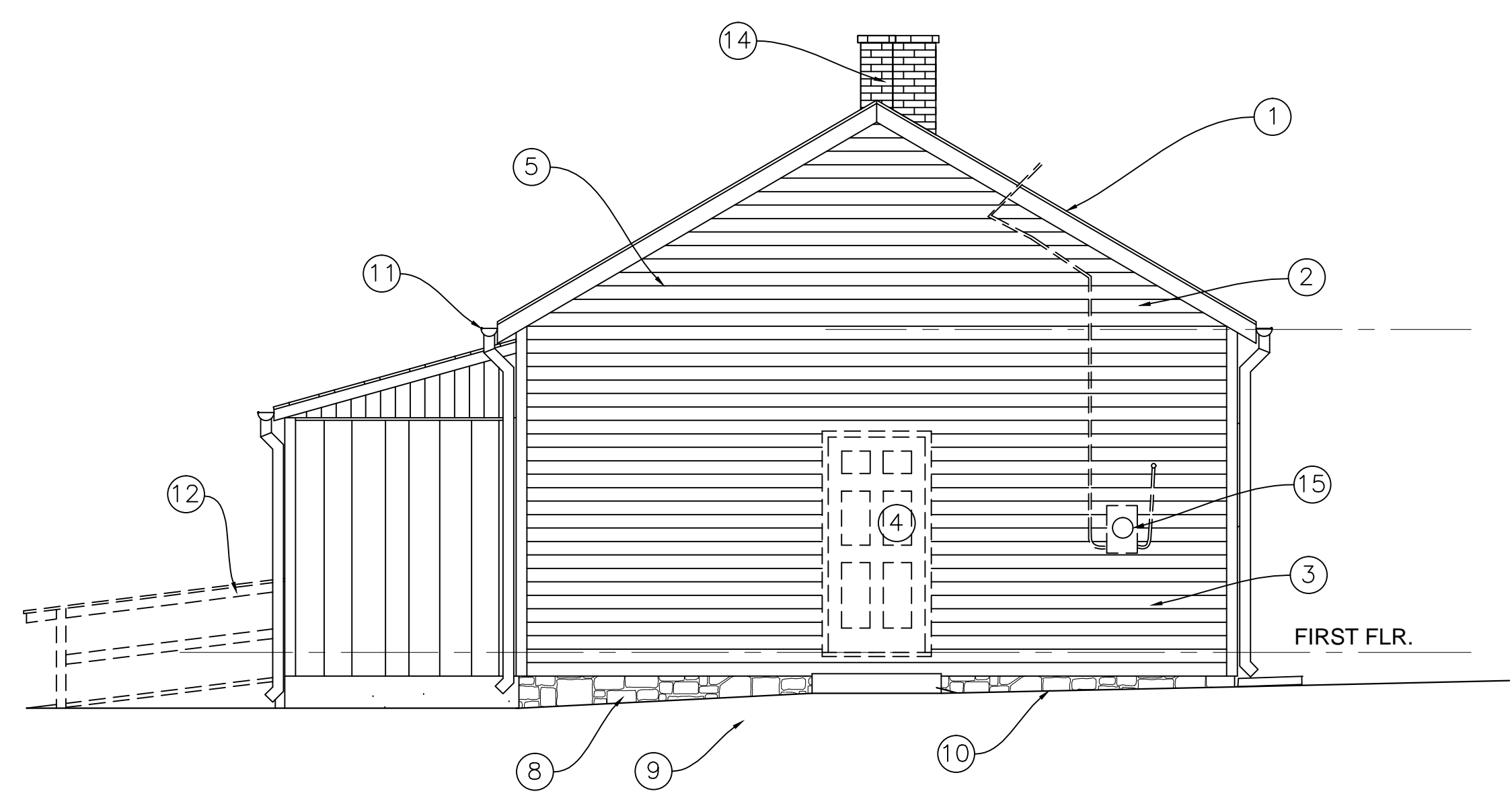
Drawing Number  
EX2.0

1



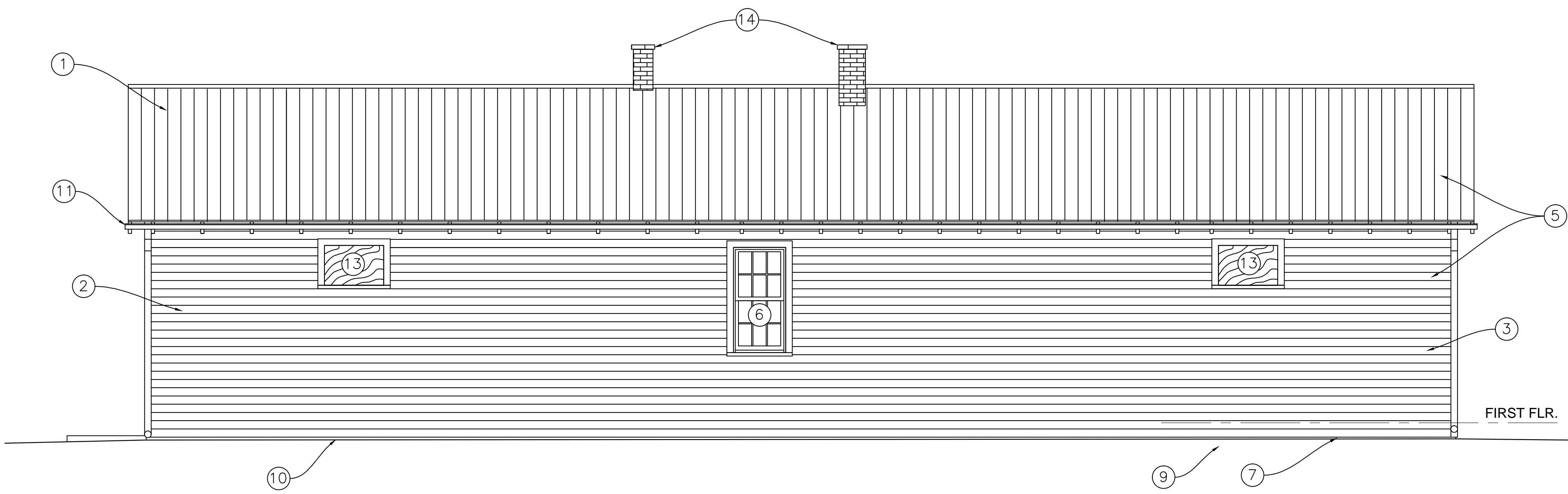
**REVIEWED**  
By Michael Kyne at 4:57 pm, Aug 15, 2020

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Sandra A. Heiler*



EXISTING NORTH ELEVATION  
1/4" = 1' - 0"

3



EXISTING WEST ELEVATION  
1/4" = 1' - 0"

2

EXISTING ELEVATION NOTES  
1/4" = 1' - 0"

- EXISTING ELEVATION NOTES:**
- ① EXISTING METAL ROOFING TO REMAIN.
  - ② EXISTING WOOD SIDING, TO BE RESTORED, REPLACE ANY DAMAGED OR DETERIORATED SIDING WITH NEW SIDING TO MATCH ORIGINAL
  - ③ EXISTING EXTERIOR WALLS TO REMAIN. ALL DETERIORATED OR DAMAGED EXISTING FRAMING SHALL BE REPAIRED WITH IN KIND FRAMING.
  - ④ EXISTING METAL DOOR & FRAME TO BE REMOVED AND REPLACED WITH NEW WOOD FRAME AND DOOR TO MATCH ORIGINAL.
  - ⑤ EXISTING WOOD WALL, FLOOR AND ROOF FRAMING TO BE EVALUATED BY STRUCTURAL ENGINEER. DETERIORATED OR DAMAGED FRAMING TO BE REPLACED WITH IN KIND FRAMING AND REINFORCED PER STRUCTURAL ENGINEERING DESIGN.
  - ⑥ EXISTING WINDOWS TO BE RESTORED
  - ⑦ EXISTING CONCRETE FOUNDATION WALL TO BE EVALUATED BY STRUCTURAL ENGINEER, UNDERPINNING MAY BE NECESSARY.
  - ⑧ EXISTING STONE FOUNDATION WALL TO BE EVALUATED BY STRUCTURAL ENGINEER, UNDERPINNING MAY BE NECESSARY.
  - ⑨ LINE OF EXISTING FOOTINGS TO BE DETERMINED.
  - ⑩ LINE OF EXISTING GRADE TO REMAIN CONTRACTOR SHALL PROVIDE POSITIVE SLOPE AWAY FROM BUILDING.
  - ⑪ EXISTING DETERIORATE OR MISSING HALF ROUND GUTTERS AND ROUND DOWNSPOUTS TO BE REMOVED.
  - ⑫ EXISTING NON HISTORIC WOOD RAMP TO BE REMOVED, EXISTING METAL ROOF AND CONCRETE PORCH TO REMAIN.
  - ⑬ REMOVE PLYWOOD AT EXISTING WINDOW FRAME OPENING. INVESTIGATE IF EXISTING WINDOW EXISTS OR REVIEW FOR EVIDENCE OF MULLIONS IN FRAME TO DETERMINE ORIGINAL WINDOW DESIGN.
  - ⑭ EXISTING MASONRY CHIMNEYS TO BE REPAIRED.
  - ⑮ EXISTING OVERHEAD ELECTRICAL SERVICE TO BE REMOVED AND REPLACED WITH UNDERGROUND SERVICE.
  - ⑯ REMOVE NON CONTRIBUTING MODERN WINDOW TO ALLOW FOR INSTALLATION OF NEW WOOD FIXED WINDOW TO MATCH ORIGINAL.

Revisions  
Drawing Title  
**EXISTING ELEVATIONS**

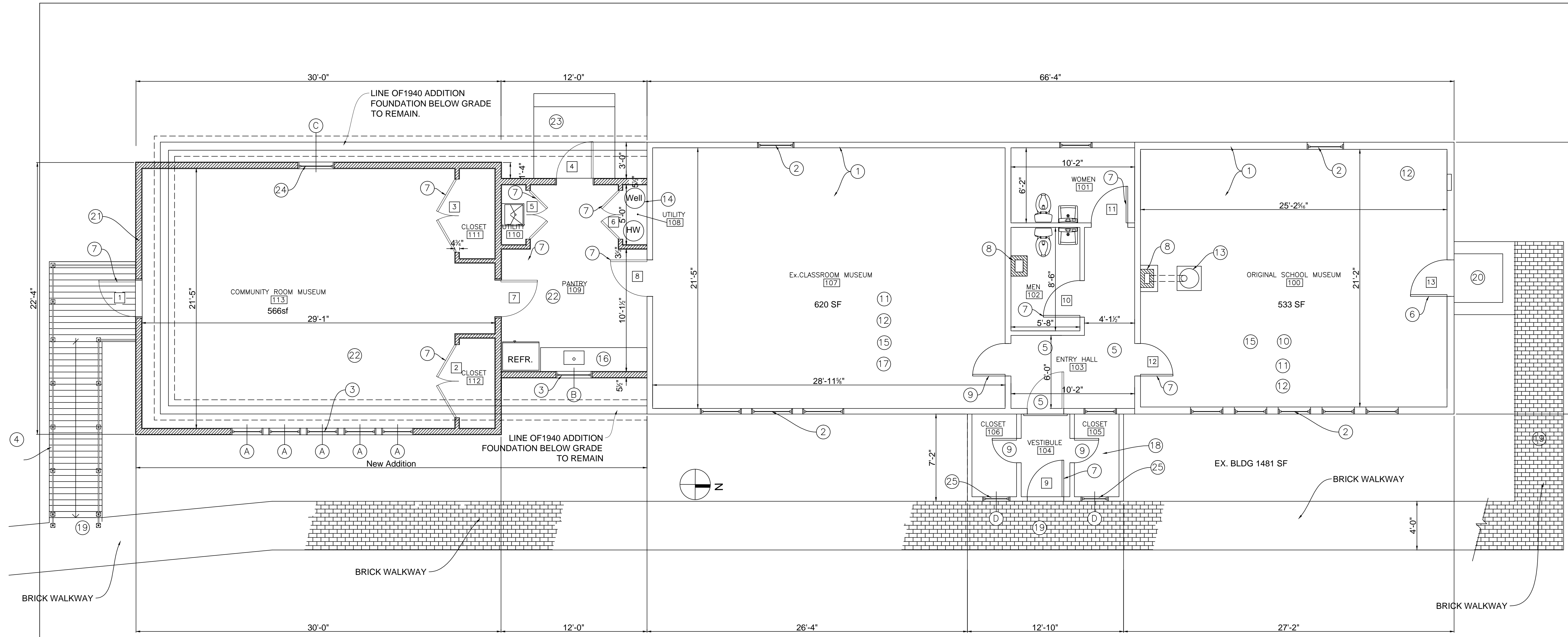
Date: April 22, 2020

Rehabilitation to:  
QUINCE ORCHARD SCHOOL  
PLEASANT VIEW HISTORICAL SITE  
11810 Darnestown Road  
Gaithersburg, Maryland 20878

Drawing Number  
EX2.1

1





WALL LEGEND	
	NEW WALL
	EXISTING WALL
	DEMOLISH

FLOOR PLAN NOTES:

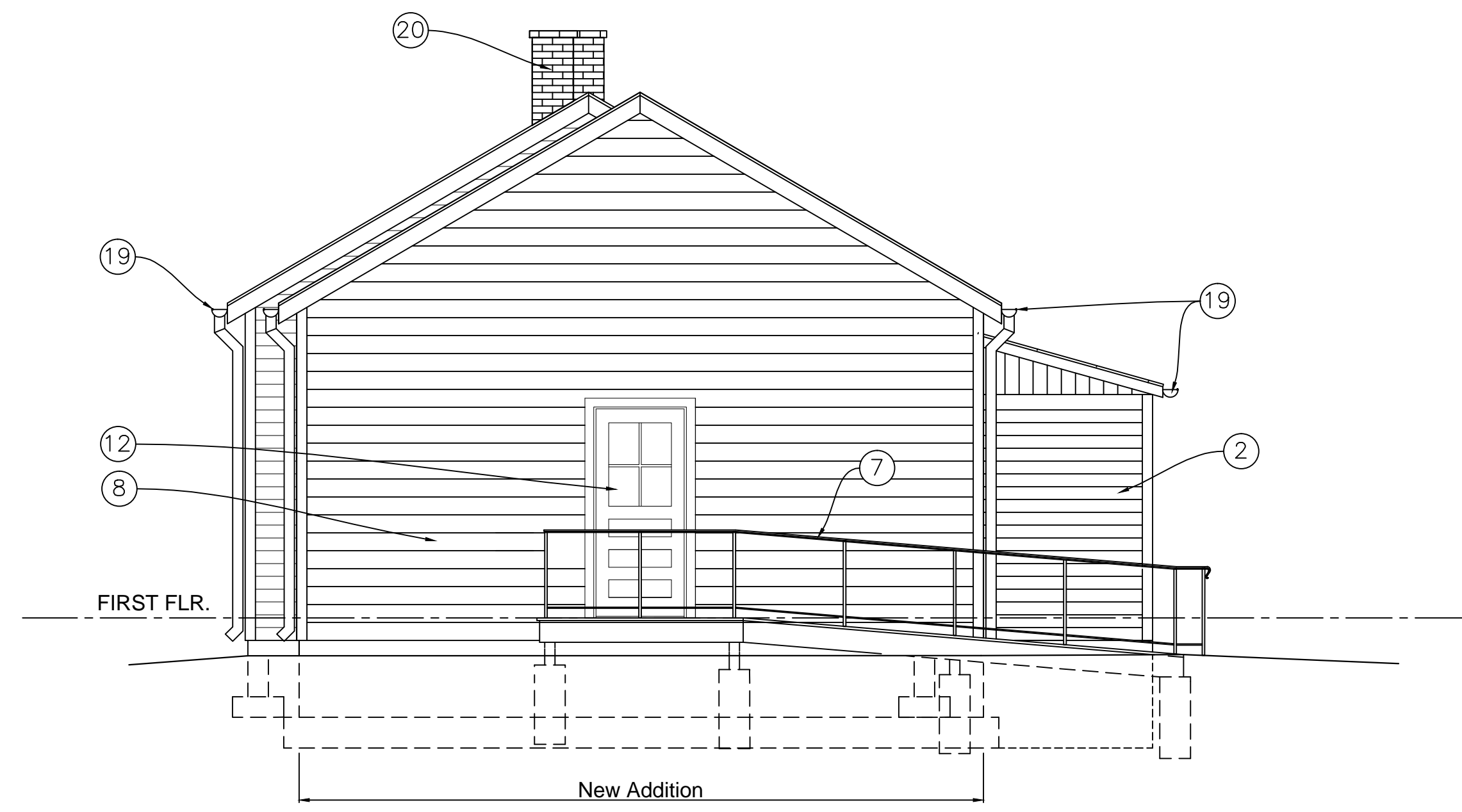
- ① EXISTING WOOD WALL, FLOOR AND ROOF FRAMING TO BE EVALUATED BY STRUCTURAL ENGINEER. DETERIORATED OR DAMAGED FRAMING TO BE REPLACED WITH IN KIND FRAMING AND REINFORCED PER STRUCTURAL ENGINEERING DESIGN.
- ② EXISTING WOOD WINDOWS AND TRIM, RESTORE TO ORIGINAL CONDITION. ANY DAMAGED, MISSING OR DETERIORATED PARTS TO BE REPLACED WITH IN KIND MATERIALS, TYPICAL ALL WINDOWS
- ③ NEW WOOD DOUBLE HUNG WINDOW(S) AND TRIM TO MATCH ORIGINALS.
- ④ NEW WOOD ADA RAMP AND LANDING WITH STEEL HANDRAILS
- ⑤ EXISTING WOOD PANEL DOOR WITH TWO OVER TWO LITES, WOOD FRAME AND TRIM TO BE RESTORED.
- ⑥ NEW WOOD PANEL DOOR WITH TWO OVER TWO LITES, FRAME AND TRIM TO MATCH EXISTING ENTRY DOOR.
- ⑦ NEW WOOD PANEL DOOR, FRAME AND TRIM TO MATCH ORIGINAL DOOR.

- ⑧ EXISTING MASONRY CHIMINEYS TO BE REPAIRED.
- ⑨ EXISTING ORIGINAL WOOD PANELED DOOR, FRAME AND TRIM TO BE RESTORED.
- ⑩ EXISTING FLOOR IN THIS AREA HAS TWO LAYERS OF WOOD FLOORING. REMOVE NON ORIGINAL FLOOR AND REPAIR ORIGINAL FLOORING. PORTIONS OF EXISTING FLOOR TO BE REMOVED TO ALLOW FOR INSPECTION OF EXISTING FLOOR FRAMING.
- ⑪ IF ORIGINAL CEILING IS PRESENT IT IS TO BE REPAIRED AND OR REPLACED WITH IN KIND CEILING..
- ⑫ EXISTING WALL FINISHES ABOVE ORIGINAL WOOD WAINSCOT DO NOT APPEAR TO BE ORIGINAL. A SMALL PORTION OF WALL FINISH TO BE REMOVED TO DETERMINE IF ORIGINAL WALL FINISH IS PRESENT. IF ORIGINAL WALL FINISHES ARE PRESENT THEY ARE TO BE REPAIRED AND RESTORED TO ORIGINAL CONDITION. ANY NEW WALL FINISHES TO MATCH ORIGINAL.
- ⑬ EXISTING WOOD STOVE, FLUE PIPING TO BE RESTORED.
- ⑭ NEW WELL WATER EXPANSION TANK, MOP SINK AND HOT WATER HEATER, SEE MECHANICAL DRAWINGS.

- ⑮ EXISTING SURFACE MOUNTED LIGHT FIXTURES TO BE REWIRED AND TO REMAIN. SEE ELECTRICAL DRAWINGS.
- ⑯ NEW PANTRY CABINETS, SINK AND REFRIGERATOR.
- ⑰ REMOVE NON HISTORIC WOOD FLOORING IN THIS ROOM TO DETERMINE IF ORIGINAL WOOD FLOORING EXISTS. PORTIONS OF EXISTING FLOOR IF PRESENT TO BE REMOVED TO ALLOW FOR INSPECTION OF EXISTING FLOOR FRAMING.
- ⑱ EXISTING CONCRETE SLAB TO REMAIN.
- ⑲ NEW BRICK WALKWAY ON 4" CRUSHED STONE ON APPROVED SUBGRADE.
- ⑳ EXISTING ORIGINAL CONCRETE STOOP TO REMAIN.
- ㉑ NEW 2 x 6 WOOD FRAMED WALLS WITH 5.5" BATT INSULATION.
- ㉒ NEW T&G HARDWOOD FLOORING TO MATCH EXISTING.
- ㉓ NEW CONCRETE STOOP
- ㉔ NEW WOOD WINDOW TO MATCH EXISTING WEST WALL AWNING WINDOWS.

**REVIEWED**  
By Michael Kyne at 4:57 pm, Aug 15, 2020





- ELEVATION NOTES:**
- ① EXISTING METAL ROOFING TO REMAIN.
  - ② EXISTING WOOD SIDING, TO BE RESTORED, REPLACE ANY DAMAGED OR DETERIORATED SIDING WITH NEW SIDING TO MATCH ORIGINAL
  - ③ EXISTING WOOD WALL, FLOOR AND ROOF FRAMING TO BE EVALUATED BY STRUCTURAL ENGINEER. DETERIORATED OR DAMAGED FRAMING TO BE REPLACED WITH IN KIND FRAMING AND REINFORCED PER STRUCTURAL ENGINEERING DESIGN.
  - ④ EXISTING WINDOWS TO BE RESTORED
  - ⑤ NEW WOOD WINDOW(S) AND TRIM TO MATCH ORIGINALS.
  - ⑥ NEW WOOD TWO OVER TWO WINDOW. TRIM TO MATCH EXISTING.
  - ⑦ NEW WOOD ADA RAMP AND LANDING WITH STEEL HANDRAILS
  - ⑧ NEW FIBER CEMENT SIDING, AND 1 x 4 WOOD CORNER BOARDS.
  - ⑨ NEW WOOD FASCIA, RAKE AND SOFFIT.
  - ⑩ NEW CONCRETE FOUNDATION WALL AND FOOTING .
  - ⑪ NEW WOOD TWO PANEL DOOR WITH SIX LITES, WOOD FRAME AND TRIM TO MATCH ORIGINAL.
  - ⑫ NEW WOOD PANEL DOOR WITH TWO OVER TWO LITE, FRAME AND TRIM TO MATCH EXISTING ENTRY DOOR.
  - ⑬ EXISTING CONCRETE FOUNDATION WALL TO BE UNDERPINNED
  - ⑭ EXISTING STONE FOUNDATION WALL TO BE UNDERPINNED.
  - ⑮ LINE OF EXISTING FOOTINGS TO BE DETERMINED.
  - ⑯ LINE OF NEW RAMP CONCRETE PIER FOOTINGS.
  - ⑰ LINE OF EXISTING GRADE TO REMAIN CONTRACTOR SHALL PROVIDE POSITIVE SLOPE AWAY FROM BUILDING.
  - ⑱ NEW METAL LOW SEAM ROOFING.
  - ⑲ NEW HALF ROUND GUTTERS AND ROUND DOWNSPOUTS.
  - ⑳ EXISTING MASONRY CHIMINEYS TO BE REPAIRED.

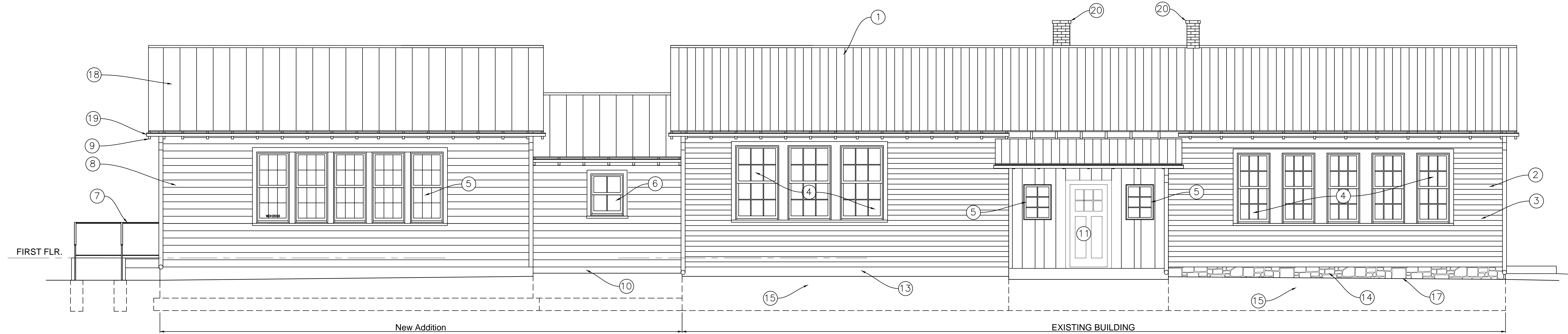
**REVIEWED**  
By Michael Kyne at 4:57 pm, Aug 15, 2020

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Sandra A. Heiler*

PROPOSED SOUTH ELEVATION  
1/4 = 1' - 0"

2 PROPOSED ELEVATION NOTES  
1/4 = 1' - 0"

3

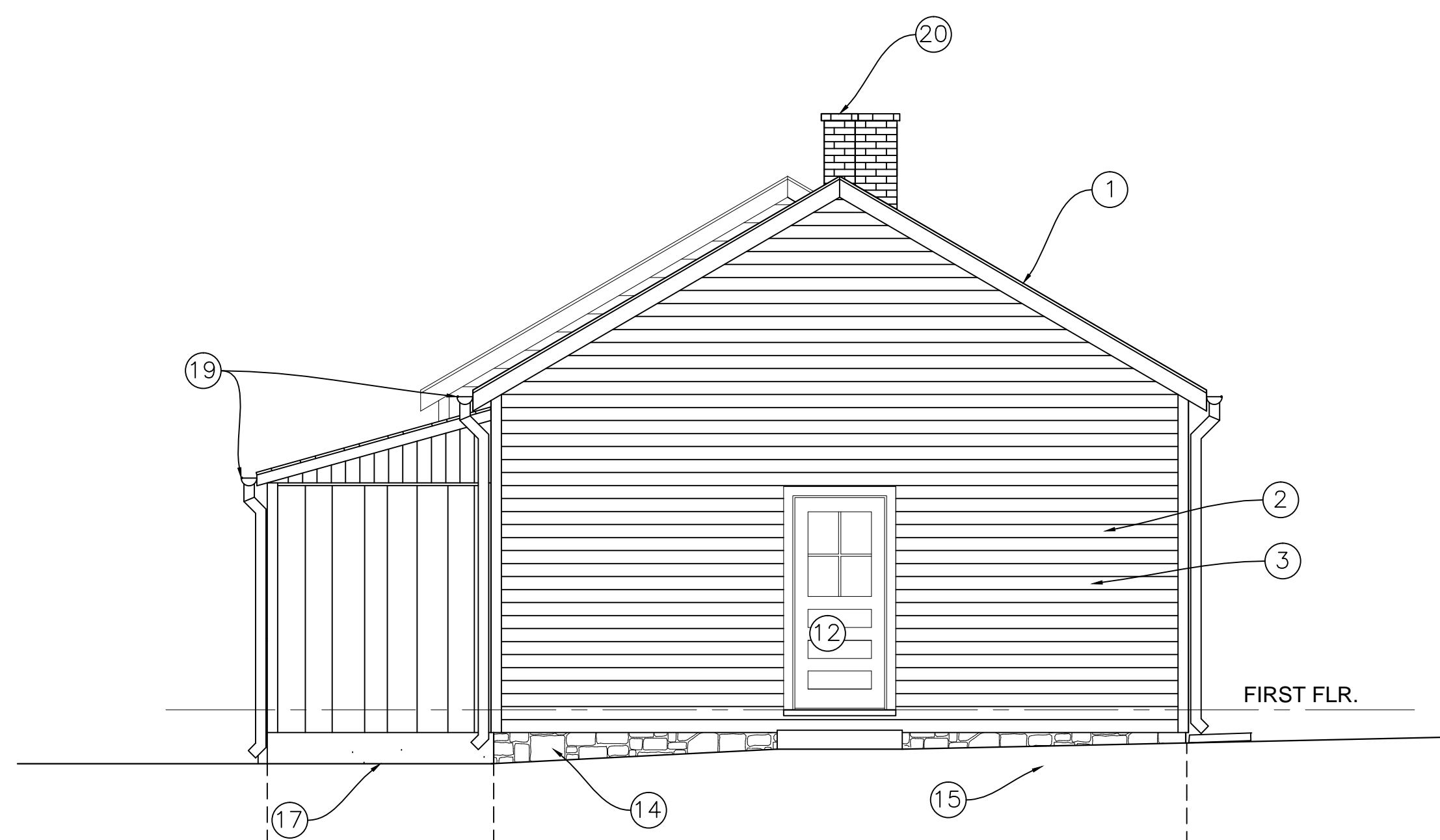


CONTRACTOR NOTE:  
1. A MOCK UP OF THE REBUILT FIELD STONE FOUNDATION WALL TO BE REVIEWED AND APPROVED BY OWNER AND THE MARYLAND HISTORICAL TRUST.

PROPOSED EAST ELEVATION  
1/4 = 1' - 0"

1





CONTRACTOR NOTE:  
1. A MOCK UP OF THE REBUILT FIELD STONE FOUNDATION WALL TO BE REVIEWED AND APPROVED BY OWNER AND THE MARYLAND HISTORICAL TRUST.

**ELEVATION NOTES:**

- ① EXISTING METAL ROOFING TO REMAIN.
- ② EXISTING WOOD SIDING, TO BE RESTORED, REPLACE ANY DAMAGED OR DETERIORATED SIDING WITH NEW SIDING TO MATCH ORIGINAL.
- ③ EXISTING WOOD WALL, FLOOR AND ROOF FRAMING TO BE EVALUATED BY STRUCTURAL ENGINEER. DETERIORATED OR DAMAGED FRAMING TO BE REPLACED WITH IN KIND FRAMING AND REINFORCED PER STRUCTURAL ENGINEERING DESIGN.
- ④ EXISTING WINDOWS TO BE RESTORED
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- ⑦ NEW WOOD ADA RAMP AND LANDING WITH STEEL HANDRAILS
- ⑧ NEW FIBER CEMENT SIDING, AND 1 x 4 WOOD CORNER BOARDS.
- ⑨ NEW WOOD FASCIA, RAKE AND SOFFIT.
- ⑩ NEW CONCRETE FOUNDATION WALL AND FOOTING .
- ⑪ NEW WOOD TWO PANEL DOOR WITH SIX LITES, WOOD FRAME AND TRIM TO MATCH ORIGINAL.
- ⑫ NEW WOOD PANEL DOOR WITH TWO OVER TWO LITE, FRAME AND TRIM TO MATCH EXISTING ENTRY DOOR.
- ⑬ EXISTING CONCRETE FOUNDATION WALL TO BE UNDERPINNED
- ⑭ EXISTING STONE FOUNDATION WALL TO BE UNDERPINNED.
- ⑮ LINE OF EXISTING FOOTINGS TO BE DETERMINED.
- ⑯ LINE OF NEW RAMP CONCRETE PIER FOOTINGS.
- ⑰ LINE OF EXISTING GRADE TO REMAIN CONTRACTOR SHALL PROVIDE POSITIVE SLOPE AWAY FROM BUILDING.
- ⑱ NEW METAL LOW SEAM ROOFING.
- ⑲ NEW HALF ROUND GUTTERS AND ROUND DOWNSPOUTS.
- ⑳ EXISTING MASONRY CHIMNEYS TO BE REPAIRED.

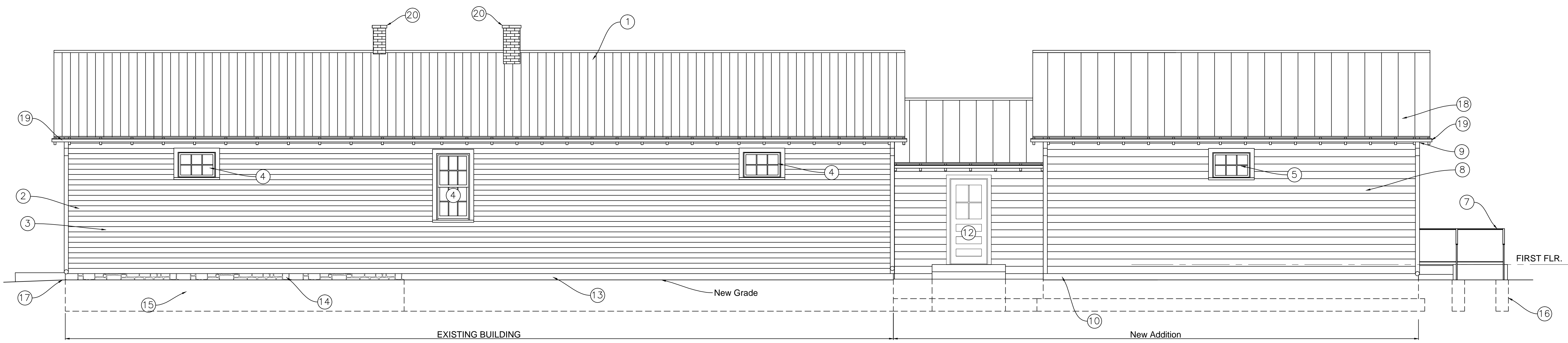
**REVIEWED**  
By Michael Kyne at 4:57 pm, Aug 15, 2020

PROPOSED NORTH ELEVATION  
1/4 = 1' - 0"

2 PROPOSED ELEVATION NOTES  
1/4 = 1' - 0"

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Sandra D. Heiler*

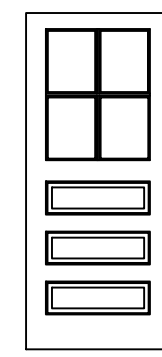
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CONTRACTOR NOTE:  
1. A MOCK UP OF THE REBUILT FIELD STONE FOUNDATION WALL TO BE REVIEWED AND APPROVED BY OWNER AND THE MARYLAND HISTORICAL TRUST.

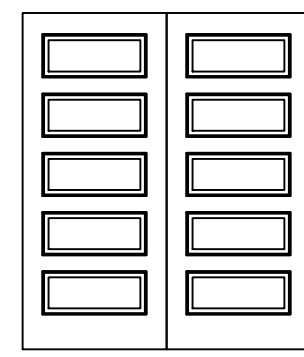
PROPOSED WEST ELEVATION  
1/4 = 1' - 0"

1



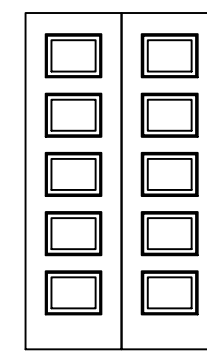
①

3'-0" x 7'-0" x 1 3/4"  
Solid Wood Paneled  
Self Closing Door w/  
Tempered Insulating  
True Divided Glass  
Lites, with Wood  
Frame.



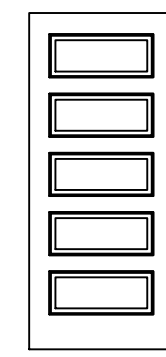
②

3'-0" x 7'-0" x 1 3/4"  
Solid Wood Paneled  
Self Closing Door w/  
Tempered Insulating  
Glass lites, with  
Wood Frame.



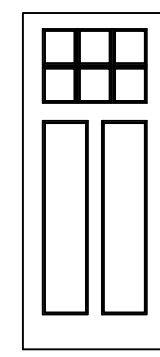
③

3'-0" x 7'-0" x 1 3/4"  
Solid Wood Paneled  
Self Closing Door w/  
Tempered Insulating  
Glass lites, with  
Wood Frame.



④

3'-0" x 7'-0" x 1 3/4"  
Solid Wood Paneled  
Self Closing Door w/  
Tempered Insulating  
Glass lites, with  
Wood Frame.



⑤

3'-0" x 7'-0" x 1 3/4"  
Solid Wood Paneled  
Self Closing Door w/  
Tempered Insulating  
Glass lites, with  
Wood Frame.

DOOR , FRAME & HARDWARE NOTES:

1. ALL DOOR HARDWARE TO MEET ADA STANDARDS
2. LOCKS SHALL COMPLY WITH NFPA 101 7.2.2.5.3
3. PROVIDE WEATHERSTRIPPING ON ALL SIDES AND BOTTOM OF ALL EXTERIOR DOORS.
4. NEW FOUR PANEL SOLID CLEAR FIRE DOOR
5. FABRICATE AND INSTALL NEW ADA COMPLIANT WOOD SILL AT DOOR NO. 13.
6. FIELD VERIFY ROUGH OPENINGS.
7. TRIM TO MATCH WINDOWS, PRIME & PAINT DOOR AND FRAME AND TRIM.
8. DOOR HARDWARE SHALL BE AS MANUFACTURED BY BALDWIN HARDWARE INC.
9. ENTRANCE DOOR AND COMPLY WITH THE BUILDING, FIRE CODE AND ADA.
10. DOOR HARDWARE FINISH SHALL BE OIL RUBBED BRONZE.

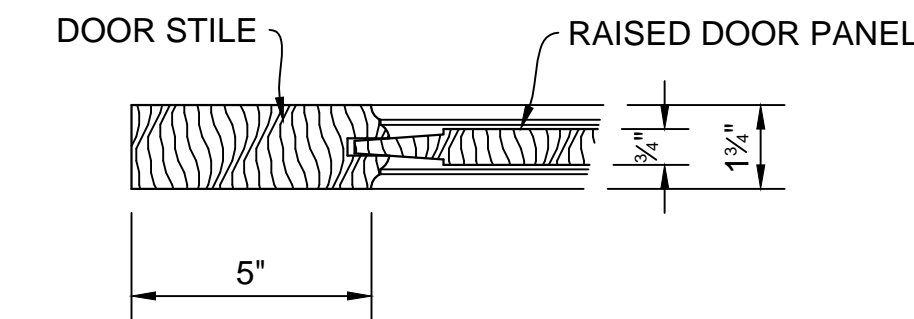
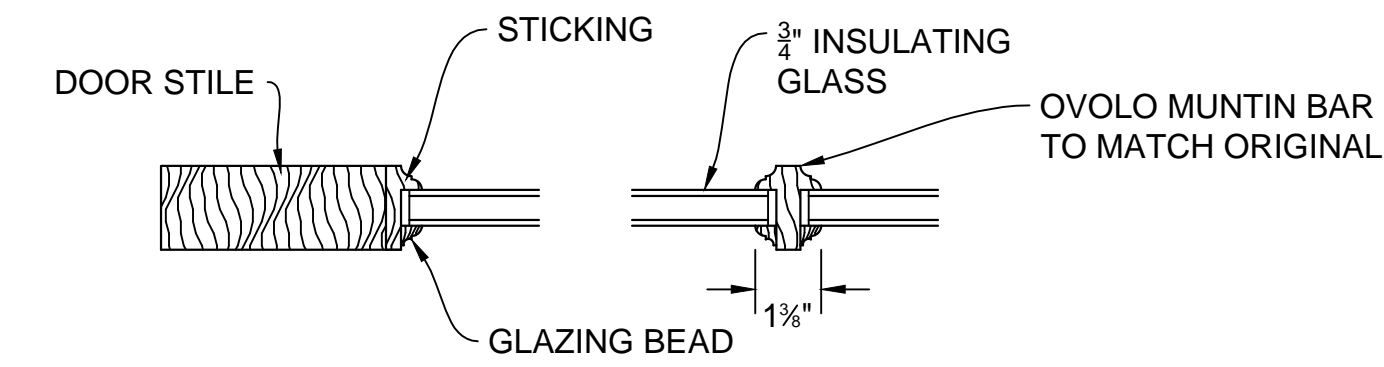
HARDWARE SETS :

- NO. 1  
HINGES - BALDWIN # 1041. (3 PER DOOR)  
LEVER HANDLE - BALDWIN ESTATE LEVER # 5106.  
ROSES - BALDWIN 5017  
LOCK - BALDWIN 8231  
1- ALUMINUM THRESHOLD ADA  
1- WEATHERSTRIP KIT

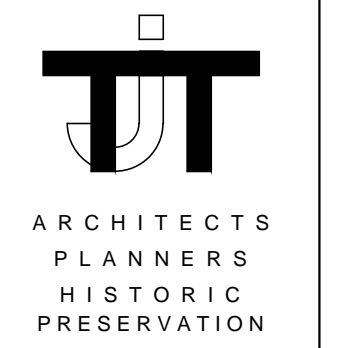
- NO. 2  
HINGES - BALDWIN # 1041. (3 PER DOOR)  
FLUSH BOLTS - BALDWIN # 0600 ON INACTIVE LEAF  
LEVER HANDLES - BALDWIN ESTATE LEVER # 5106.  
ROSES - BALDWIN 5017  
LOCK - BALDWIN 8231

- NO. 3  
HINGES - BALDWIN # 1041. (3 PER DOOR)  
LEVER HANDLE - BALDWIN ESTATE LEVER # 5106.  
ROSES - BALDWIN 5017  
LOCK - BALDWIN 0419 PRIVACY LATCH WITH EMERGENCY  
RELEASE TRIM.

NOTE: Door Lockset hardware to be ADA compliant lever set AND lock bolts to be readily openable from the egress side without the use of a key.



REVIEWED  
By Michael Kyne at 4:57 pm, Aug 15, 2020



THOMAS J. TALTAVULL  
ARCHITECT  
2060 PLUM CREEK COURT  
GAITHERSBURG, MARYLAND 20878  
301.840.1847

Professional Certification.  
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, License No. 9083, Expiration Date: 6-13-2020.

Professional Seal

Revisions  
Drawing Title  
DOOR AND WINDOW SCHEDULES

Date: April 22, 2020

Rehabilitation to:  
QUINCE ORCHARD SCHOOL  
PLEASANT VIEW HISTORICAL SITE  
11810 Darnestown Road  
Gaithersburg, Maryland 20878

Drawing Number

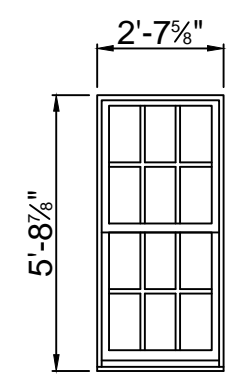
A4.0

DOOR SCHEDULE

1/4" = 1' - 0"

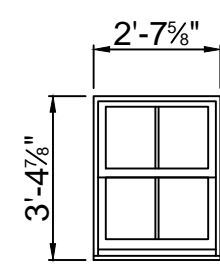
DOOR DETAIL

3" = 1' - 0"



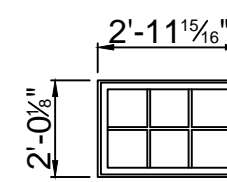
Ⓐ

Solid All Wood  
Double Hung  
Window w/ Insulating  
SDL Glass Lites, with  
Wood Frame.



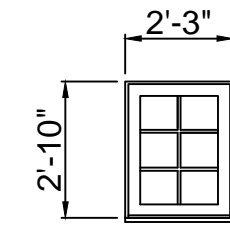
Ⓑ

Solid All Wood  
Double Hung  
Window w/ Insulating  
SDL Glass Lites, with  
Wood Frame.



Ⓒ

Solid All Wood  
Awning Window w/  
Insulating SDL Glass  
Lites, with Wood  
Frame.



Ⓓ

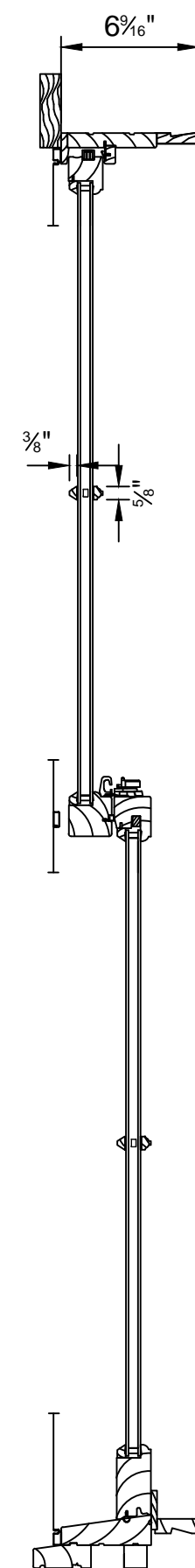
Solid All Wood Fixed  
Window w/ SDL  
Glass Lites, with  
Wood Frame.

WINDOW SCHEDULE

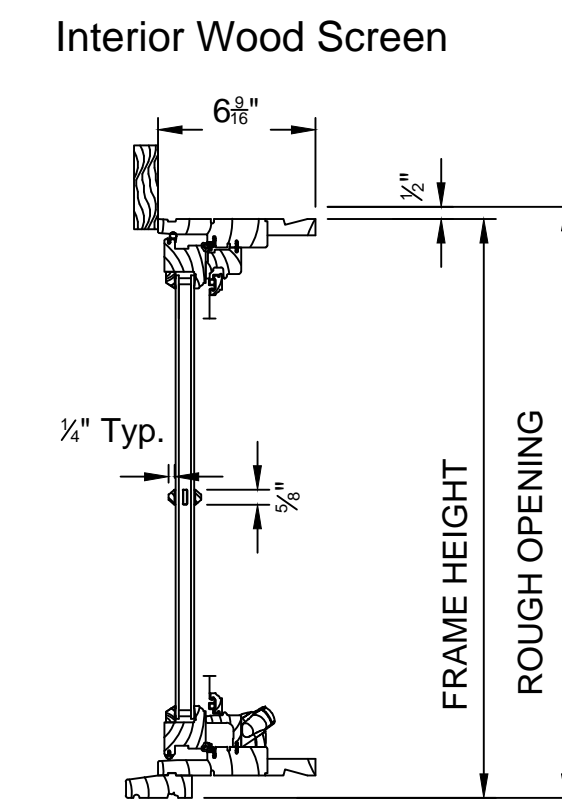
1/4" = 1' - 0"

WINDOW DETAILS

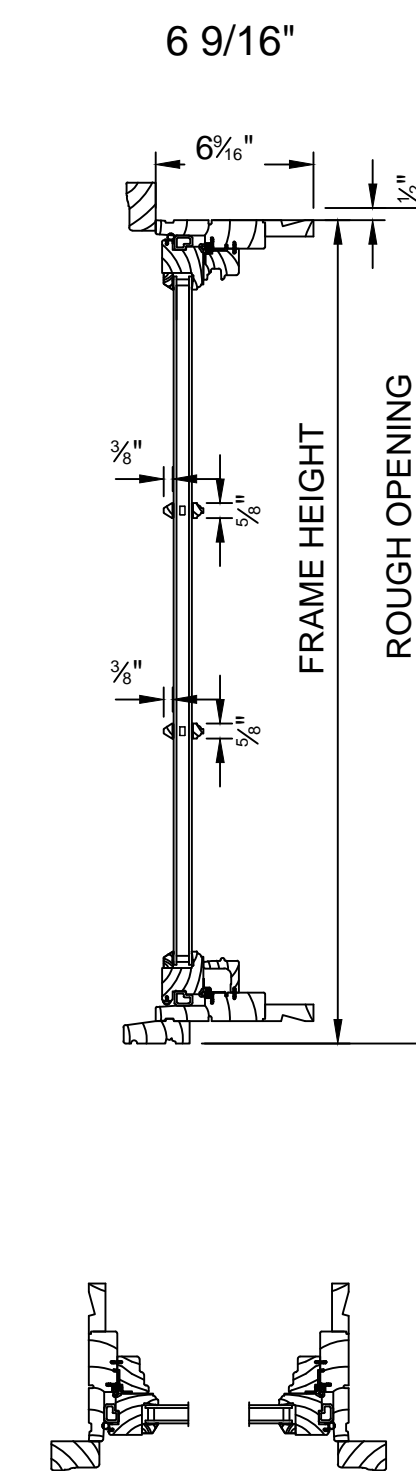
1 1/2" = 1' - 0"



DETAIL - WINDOW TYPE "A & B"



DETAIL - WINDOW TYPE "C"



DETAIL - WINDOW TYPE "D"





**REVIEWED**

*By Michael Kyne at 4:58 pm, Aug 15, 2020*

APPROVED  
Montgomery County  
Historic Preservation Commission

*Sandra L. Heiler*

Quince Orchard School Addition  
April 22, 2020 TjT Architects

**REVIEWED**

*By Michael Kyne at 4:58 pm, Aug 15, 2020*

APPROVED  
Montgomery County  
Historic Preservation Commission



## Part 1 General

### 1.1 Section Includes

- A. Wood Double Hung & Awning windows complete with hardware, glazing, weather strip, insect screen, simulated divided lite, jamb extension, and standard anchors, trim, and attachments

### 1.2 Related Sections

- A. Section 01 33 23 – Submittal Procedures, Shop Drawings, Product Data and Samples
- B. Section 01 62 00 – Product Options
- C. Section 01 65 00 – Product Delivery
- D. Section 01 66 00 – Storage and Handling Requirements
- E. Section 01 71 00 – Examination and Preparation
- F. Section 01 73 00 - Execution
- G. Section 01 74 00 – Cleaning and Waste Management
- H. Section 01 76 00 – Protecting Installed Construction
- I. Section 06 22 00 – Millwork: Wood trim other than furnished by window manufacturer
- J. Section 07 92 00 – Joint Sealant: Sill sealant and perimeter caulking
- K. Section 09 90 00 – Painting and Coasting: Paint and stain other than factory-applied finish

### 1.3 References

- A. American Society for Testing Materials (ASTM):
  - 1. E283: Standard Test method for Rate of Air Leakage through Exterior Windows, Curtain Walls and Doors
  - 2. E330: Standard Test Method for Structural Performance of Exterior Windows, Curtain Walls and Door by Uniform Static Air Pressure Difference
  - 3. E547: Standard Test Method for Water Penetration of Exterior Windows, Curtain Walls and Doors by Cyclic Static Air Pressure Differential
  - 4. E2190: Specification for Sealed Insulated Glass Units
  - 5. C1036: Standard Specification for Flat Glass

- 6. E2068: Standard Test Method for Determination of Operating Force of Sliding Windows and Doors
- B. American Architectural Manufacturer's Association/Window and Door Manufacturer's Association (AAMA/WDMA/CSA):
  - 1. AAMA/WDMA/CSA 101/I.S.2/A440-08, North American Fenestration, Standard/Specification for window, doors and skylights
  - 2. AAMA/WDMA/CSA 101/I.S.2/A440-11,NAFS 2011 – North American Fenestration, Standard/Specification for windows, doors and skylights
- C. WDMA I.S.4: Industry Standard for Water Repellant Preservative Treatment for Millwork
- D. Window and Door Manufacturer's Association (WDMA): 101/I.S.2 WDMA Hallmark Certification Program
- E. Sealed Insulating Glass Manufacturer's Association/Insulating Glass Certification Council (SIGMA/IGCC)
- F. American Architectural Manufacturer's Association (AAMA): 2605: Voluntary Specification for High Performance Organic Coatings on Architectural Extrusions and Panels
- G. National Fenestration rating Council (NFRC):
  - 1. 101: Procedure for Determining Fenestration Product thermal Properties
  - 2. 200: Procedure for Determining Solar Heat Grain Coefficients at Normal Incidence
- H. Window Covering Manufacturer's Association
  - 1. A100.1: Standard for safety of corded covering products

1.4 System Description

**REVIEWED**

By Michael Kyne at 4:58 pm, Aug 15, 2020

A. Design and Performance Requirements:

APPROVED  
Montgomery County  
Historic Preservation Commission

*Sandra J. Heiler*

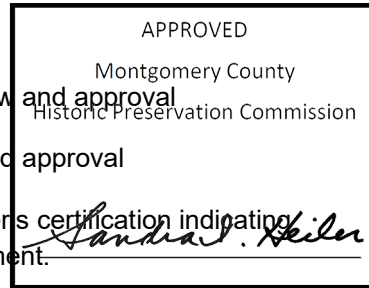
Product	Air Tested to psf	Water Tested to psf	Structural Tested to psf	Certification Rating	Design Pressure (DP)	Overall Width		Overall Height	
						in	mm	in	mm
Ultimate Wood Double Hung Window 3644	1.57	6	60	LC-PG40-H	40	41 3/8	(1051)	97	(2464)
Ultimate Wood Awning (Full Frame)	1.57	7.5	75	LC-PG50-AP	50	40"		48 1/16"	



**REVIEWED**

1.5 Submitted By Michael Kyne at 4:58 pm, Aug 15, 2020

- A. Shop Drawings: Submit shop drawings to architect for review and approval
- B. Product Data: Submit catalog data to architect for review and approval
- C. Quality Control Submittals: Certificates: submit manufacturer's certification indicating compliance with specified performance and design requirements.



## 1.6 Quality Assurance

- 1. Requirements: comply with local code for IBC [International Building Code]

## 1.7 Delivery

- A. Deliver in original packaging and protect from weather

## 1.8 Storage and Handling

- A. Prime and seal wood surfaces, including to be concealed by wall construction, if more than thirty (30) days will expire between delivery and installation
- B. Store window units in an upright position in a clean and dry storage area above ground to protect from weather

## 1.9 Warranty

Complete and current warranty information is available at [marvin.com/warranty](http://marvin.com/warranty). The following summary is subject to the terms, condition, limitations and exclusions set forth in the Marvin Windows and Door Limited Warranty and Products in Coastal Environments Limited Warranty Supplement:

- A. Clear insulating glass with stainless steel spacers is warranted against seal failure caused by manufacturing defects and resulting in visible obstruction through the glass for twenty (20) years from the original date of purchase. Glass is warranted against stress cracks caused by manufacturing defects from ten (10) years from the original date of purchase.
- B. Factory applied interior finish is warranted to be free from finish defects for a period of five (5) years from the original date of purchase.
- C. Hardware and other non-glass components are warranted to be free from manufacturing defects for ten (10) years from the original date of purchase.

Part

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*By Michael Kyne at 4:58 pm, Aug 15, 2020*



### 1.10 Manufactured Units

- A. Description: Ultimate Wood Double Hung, as Manufactured by Marvin Windows and Doors, Warroad, Minnesota.
- B. Description: Factory-assembled Ultimate Wood Awning, operating exterior top pivoting awning as manufactured by Marvin Windows and Doors, Warroad, Minnesota.

### 1.11 Frame Description

- A. Non Finger-Jointed Pine, Mahogany or Vertical Grain Douglas Fir
  - 1. Kiln-dried to moisture content no greater than 12 percent at the time of fabrication
  - 2. Water repellant, preservative treated in accordance with ANSI/WDMA I.S.4.
- B. Frame thickness: Double Hung -11/16" (17mm) head and side jambs and 1 3/16" for Awning.
- C. Frame depth: Frame depth had an overall 5 21/32" jamb (144mm). 4 9/16" (116mm) jamb depth from the nailing fin plane to the interior face of the frame for new construction.
- D. Frame bevel: 8 degree bevel on sill and subsill
- E. Subsill: 1 3/32" (28mm)

### 1.12 Sash Description

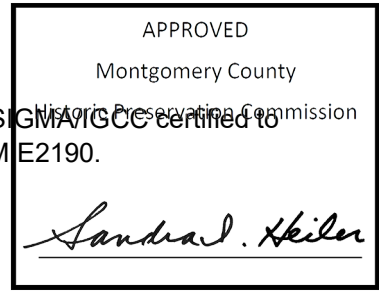
- A. Interior: Non Finger-Jointed Pine or Mahogany or Vertical Grain Douglas Fir
  - 1. Kiln-dried to moisture content no greater than twelve (12) percent at the time of fabrication.
  - 2. Water repellant preservative treated with accordance with WDMA I.S.4.
- B. Sash thickness: 1 5/8" (41mm) for operable units for Double Hung and 1 3/4" and 2 for Awning
- C. Operable sash tilt to interior for cleaning or removal at double hung.
- D. Interior Sash Sticking
  - 1. Standard: Ovolo for Double Hung and Awning

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### 1.13 Glazing

- A. Select quality complying with ASTM C1036. Insulating glass SIGMA/IGCC certified to performance level CBA when tested in accordance with ASTM E2190.
- B. Glazing method: Insulating glass
- C. Glazing seal: Silicone glazed
- D. Glass Type: Clear, Low E2 with Argon



### 1.14 Finish

- A. Interior/Exterior: Treated bare wood
  - 1. Prime: factory-applied enamel primer. Available on Pine product only.
- B. Interior Finish options:
  - 1. Painted Interior Finish. Available on Pine product only.

### 1.15 Hardware

- A. Double Hung Windows
  - 1. Balance System: Coil spring block and tackle with nylon cord and fiber filled nylon clutch
  - 2. Jamb Carrier: Vinyl extrusion with wood inserts
  - 3. Color: beige
  - 4. Lock: High pressure zinc die-cast cam lock and keeper
  - 5. Finish: Phosphate coated and electrostatically painted Satin Taupe, Bronze, White, Brass, Satin Chrome, Satin Nickel, Antique Brass, Oil Rubbed Bronze
  - 6. Check rail guide
  - 7. Optional Window Operating Control Device
- B. Awning hardware:
  - 1. Hinges: Two hinges that connect the stiles of the sash to the jambs of the frame. Hinges are steel coated with E-Gard™ and the hinge track is stainless steel. Hinges designed to support up to a 210 lb sash.
  - 2. Handles: The standard operating handle is a folding handle, zinc painted with the standard folding cover being molded plastic. Available colors: standard, Oil Rubbed Bronze (plated),

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3. Locks: Uses a multipoint sequential concealed locking system in both jambs. Lock handles are removable, non-handed and are available in the same finishes as the handles. Standard tie bars and cams – steel coated with E-Gard™. Standard keepers – steel coated with E-Gard™. Keeper features a roller for reduce average lock force and dies not easily disengage with the cam even under severe loading.

*Sandra Heiler*

### 1.16 Weather Strip

- A. Double Hung Operating units:
  - 1. Continuous, leaf weather strip at head jamb, parting stop, dual durometer bulb at check rail, foam bulb type dual durometer weather strip on vertical sash edge; dual durometer bulb weather strip at bottom rail
- B. Awning units:
- C. Weather strip at the frame is a hollow foamed material bent around 90 degree corner to allow for seamless corner joints
  - 1. Color: Beige
- D. Sash weather strip: Bulb shaped glass filled material
  - 1. Color: White.

### 1.17 Jamb Extension

- A. Provide factory-applied Jamb extensions for wall thickness indicated on drawings
- B. Finish: Match interior frame finish

### 1.18 Insect Screen

- A. Factory-installed full screen..
  - 1. Screen Mesh: Charcoal fiberglass,
- B. Aluminum frame finish:
  - 1. Color: Stone White,

### 1.19 Simulated Divided Lites (SDL)

- A. 5/8" (16mm) wide, internal spacer bar
- B. Muntins: Pine, Mahogany, or Vertical Grain Douglas Fir

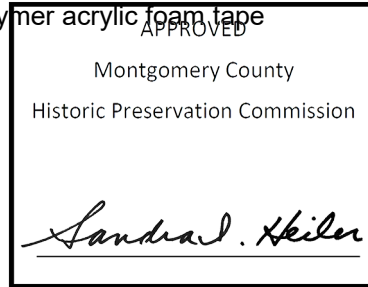
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D. Sticking:

1. Standard: Ovolo

E. Finish: Match panel finish



### 1.20 Accessories and Trim

A. Installation Accessories:

1. Factory installed vinyl nailing/drip cap

B. Exterior Wood Moulding:

1. Profile: Flat Casing 5/4 x 4

2. Finish: Match exterior frame finish

## Part 3 Execution

### 1.21 Examination

A. Verification of Condition: Before installation, verify openings are plumb, square and of proper dimensions. Report frame defects or unsuitable conditions to the General contractor before proceeding.

B. Acceptance of Condition: Beginning on installation confirms acceptance of existing conditions.

### 1.22 Installation

A. Assemble and install window unit(s) according to manufacturer's instruction and reviewed shop drawing.

B. Install sealant and related backing materials at perimeter of unit or assembly in accordance with Section 07 92 00 Joint Sealants. Do not use expansive foam sealant.

C. Install accessory items as required.

D. Use finish nails to apply wood trim and mouldings.

### 1.23 Field Quality Control

A. Remove visible labels and adhesive residue according to manufacturer's instruction.

- B. Unless otherwise specified, air leakage resistance tests shall be conducted at a uniform static pressure of 75 Pa (~1.57 psf). The maximum allowable rate of air leakage shall not exceed 2.3 L/sm<sup>2</sup> (~0.45 cfm/ft<sup>2</sup>).
- C. Unless otherwise specified, water penetration resistance testing shall be conducted per AAMA 502 and ASTM E1105 at 2/3 of the fenestration products design pressure (DP) rating using "Procedure B" – cyclic static air pressure difference. Water penetration shall be defined in accordance with the test method(s) applied.

### 1.24 Cleaning

- A. Remove visible labels and adhesive residue according to manufacturer's instruction.
- B. Leave windows and glass in a clean condition. Final cleaning as required in Section 01 74 00.

### 1.25 Protecting Installed Construction

- A. Protecting windows from damage by chemicals, solvents, paint or other construction operations that may cause damage.

End of Section

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