



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert Sutton
Chairman

Date: May 26, 2021

MEMORANDUM

TO: Mitra Pedoeem
Department of Permitting Services

FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit # 953206 - Porch Alterations and Roof Replacement

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** by historic preservation staff.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Marwan Hishmeh
Address: 19 Montgomery Ave., Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.





HISTORIC PRESERVATION COMMISSION

HAWP #: _____ at: _____

submitted on: _____

has been reviewed and determined that the proposal fits into the following category/categories:

Repair or replacement of a masonry foundation with new masonry materials that closely match the original in appearance;

Installation of vents or venting pipes in locations not visible from the public right-of-way;

New gutters and downspouts;

Removal of vinyl, aluminum, asbestos, or other artificial siding when the original siding is to be repaired and/or replaced in kind;

Removal of accessory buildings that are not original to the site or non-historic construction;

Repair or replacement of missing or deteriorated architectural details such as trim or other millwork, stairs or stoops, porch decking or ceilings, columns, railings, balusters, brackets shutters, etc., with new materials that match the old in design, texture, visual characteristics, and, where possible materials, so long as the applicant is able to provide one extant example, photographic evidence, or physical evidence that serves as the basis for the work proposed;

Construction of wooden decks that are at the rear of a structure and are not visible from a public right-of-way;

Roof replacement with -compatible roofing materials, or with architectural shingles replacing 3-Tab asphalt shingles;

Installation of storm windows or doors that are compatible with the historic resource or district;

Repair, replacement or installation of foundation-level doors, windows, window wells, and areaways, or foundation vents, venting pipes, or exterior grills that do not alter the character-defining features and/or the historic character of the resource;

Construction of fences that are compatible with the historic site or district in material, height, location, and design;

Fence is lower than 48" in front of rear wall plane;

Construction of walkways, parking pads, patios, driveways, or other paved areas that are not visible from a public right-of-way and measure no more than 150 square feet in size;

Replacement of existing walkways, parking pads, patios, driveways, or other paved areas with materials that are compatible with the visual character of the historic site and district and that are no greater than the dimensions of the existing hardscape;

Construction of small accessory buildings no larger than 250 square feet in size that are not visible from the public right-of-way;

Installations of skylights on the rear of a structure that will not be visible from the public right-of-way, and would not remove or alter character-defining roof materials;

Installation of solar panels and arrays in locations that are not readily visible from the public right-of-way or that are designed so as to have a minimal impact on the historic resource or the historic district (e.g., systems that are ground-mounted in areas other than the front or side yard of a corner lot, located on accessory or outbuildings, on non-historic additions, or on rear facing roof planes);

Installation of car charging stations in any location on a property or in the right-of-way;

Installation of satellite dishes;

Removal of trees greater than 6" in diameter (d.b.h.) that are dead, dying, or present an immediate hazard.

Removal of trees greater than 6" in diameter (d.b.h.) in the rear of the property that will not impact the overall tree canopy of the surrounding district or historic site;

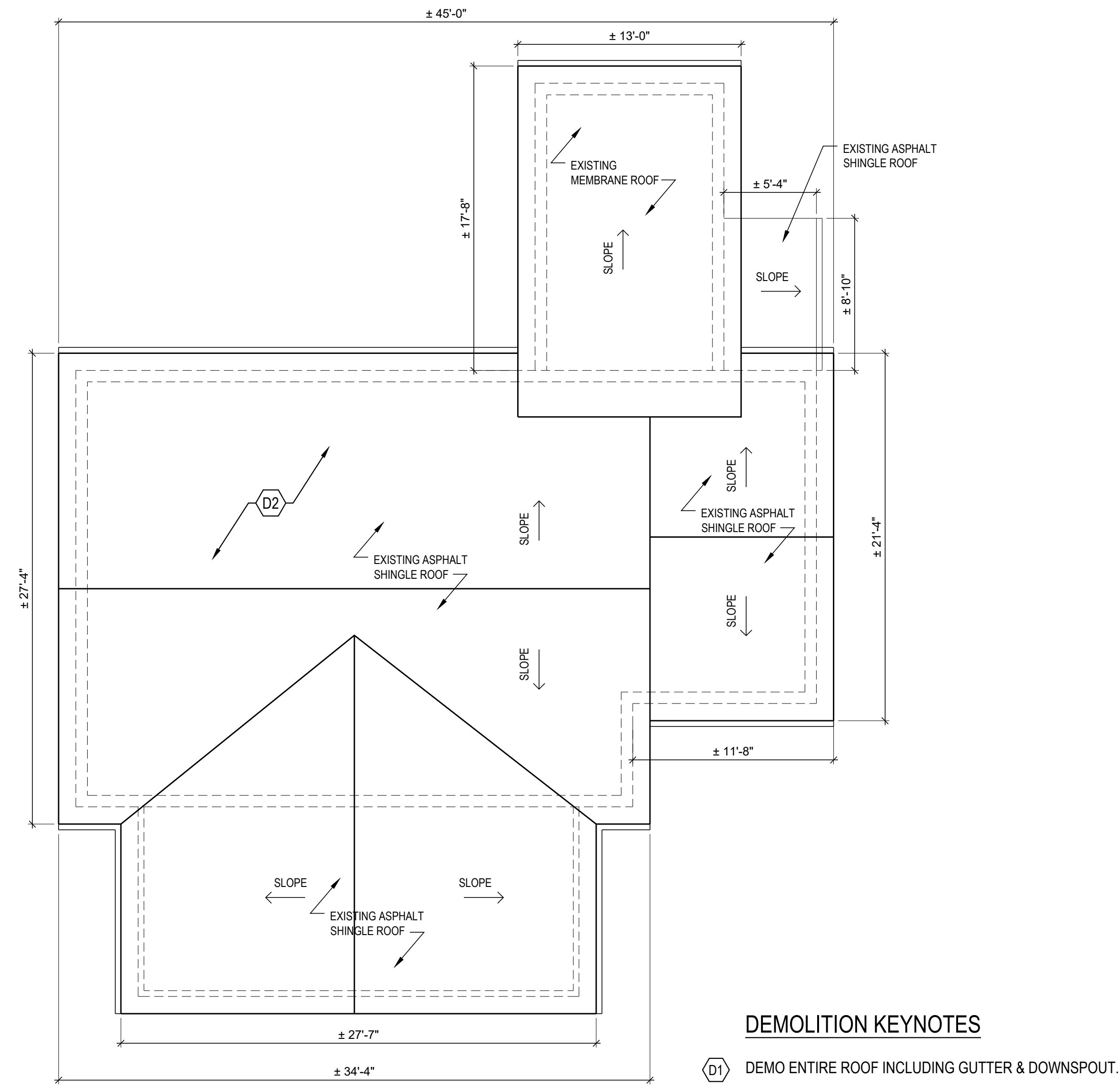
Replacement tree required as a condition; and,

Other minor alterations that may be required by the Department of Permitting Services post-Commission approval that would have no material effect on the historic character of the property.

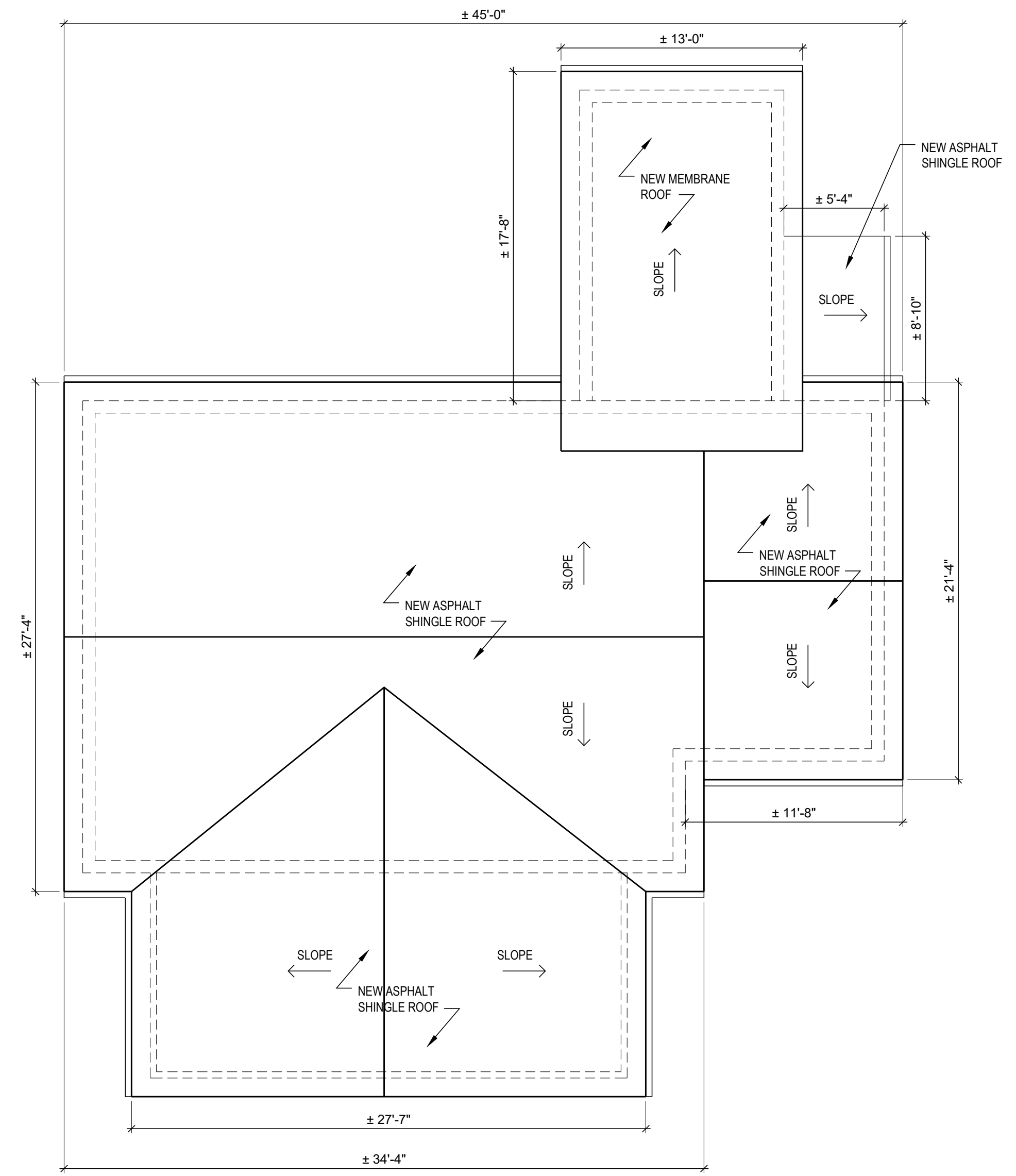
Staff finds the proposal complies with Chapter 24A, the Secretary of the Interior's Standards for Rehabilitation, and any additional requisite guidance. Under the authority of COMCOR No. 24A.04.01, this HAWP is approved by J. Brueckert on _____. The approval memo and stamped drawings follow.

APPROVED
 Montgomery County
 Historic Preservation Commission

Robert A. Norton
REVIEWED
 By Dan.Bruechert at 12:06 pm, May 26, 2021



1 EXISTING ROOF PLAN
 SCALE : 3/16" = 1'-0"



2 PROPOSED ROOF PLAN
 SCALE : 3/16" = 1'-0"

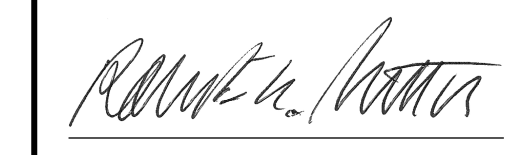
DEMOLITION KEYNOTES
 (D1) DEMO ENTIRE ROOF INCLUDING GUTTER & DOWNSPOUT.

PROJECT NAME AND ADDRESS		
SINGLE FAMILY HOME RENOVATION		
19 MONTGOMERY AVENUE SILVER SPRING, MD 20912		
No.	Revision/Issue	Date

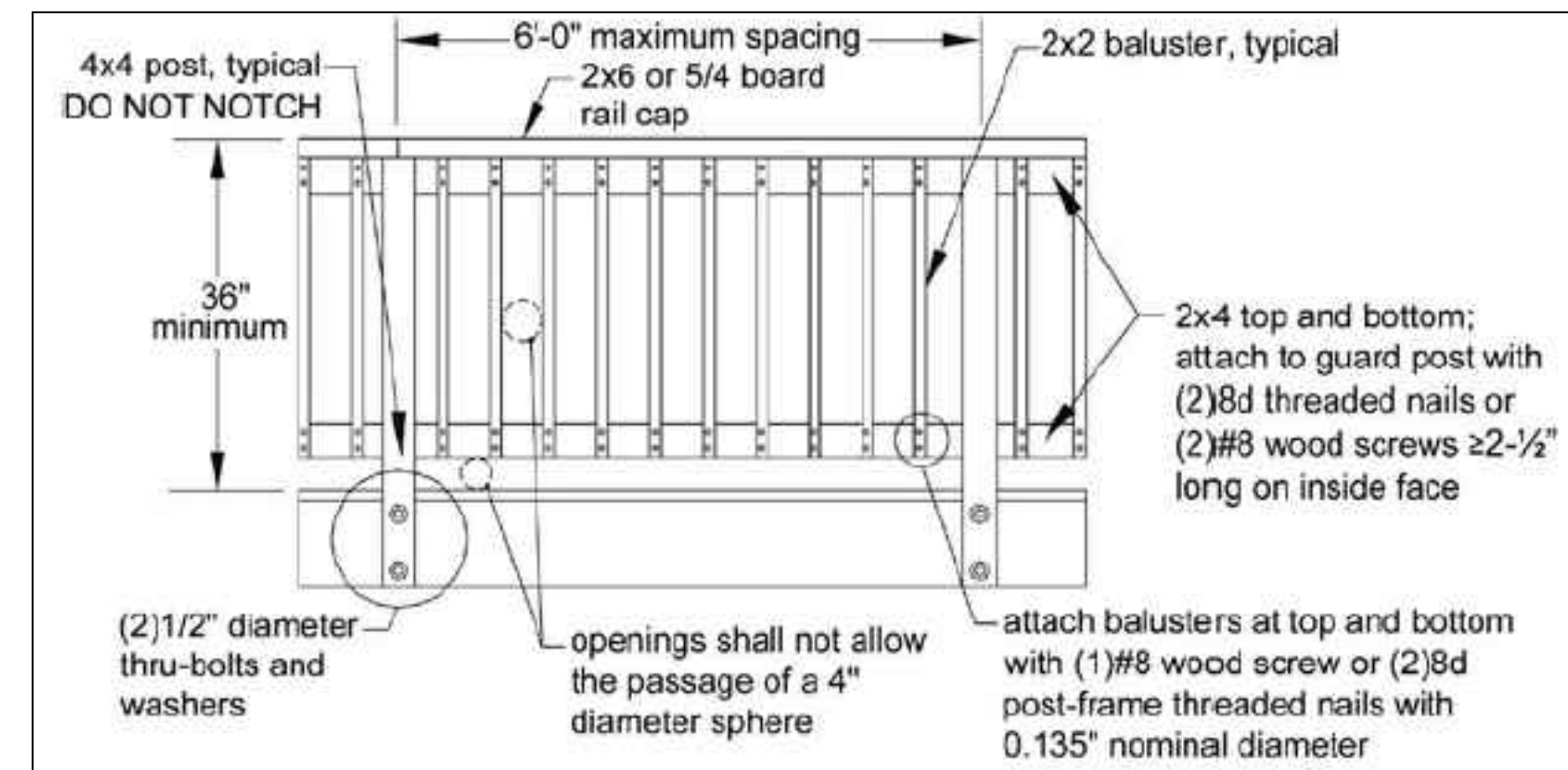
SHEET TITLE
EXISTING & PROPOSED ROOF PLAN

Project	Sheet #
Date MARCH 23, 2021	A-100
Scale AS NOTED	

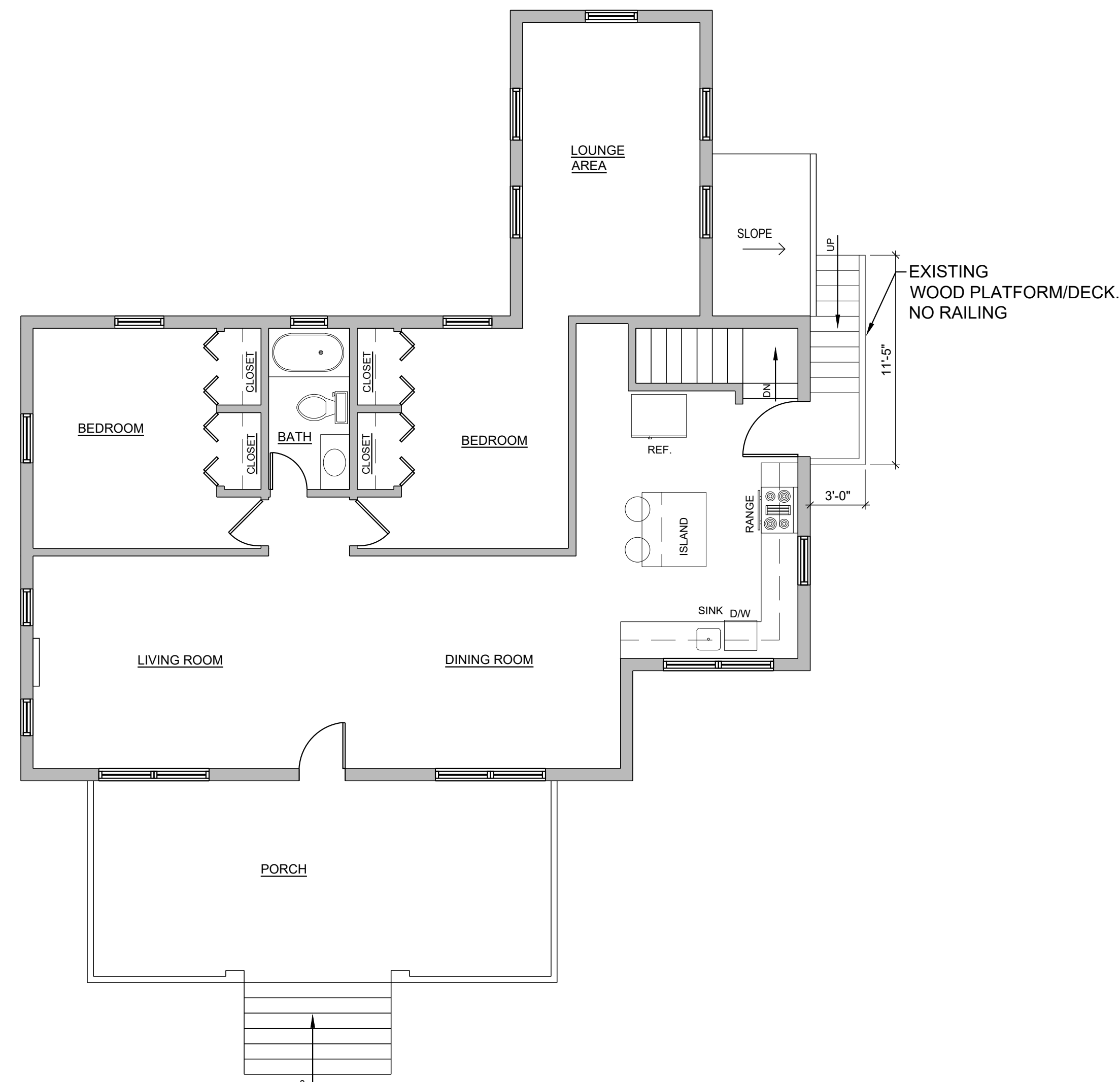
APPROVED
 Montgomery County
 Historic Preservation Commission



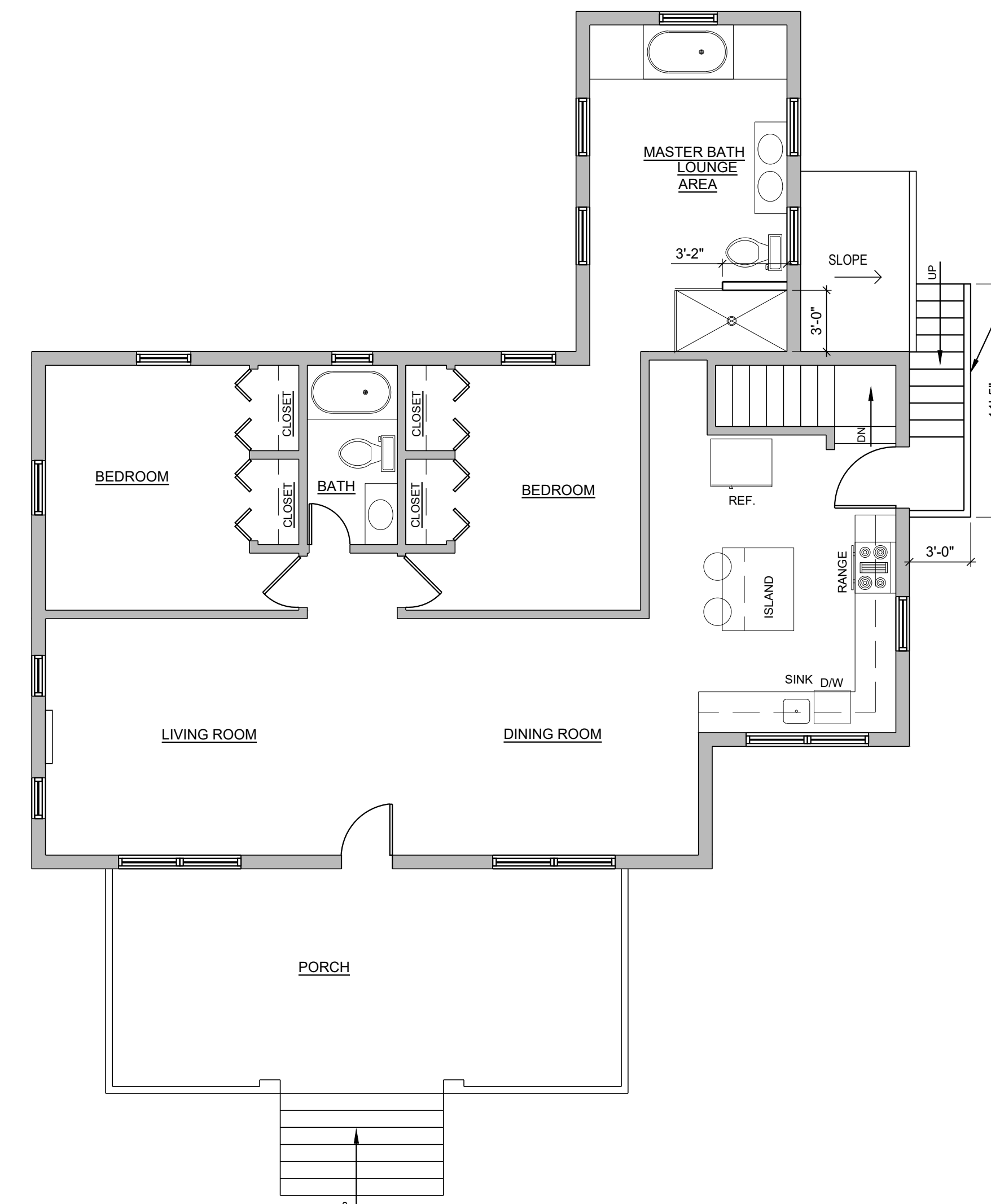
REVIEWED
 By Dan.Bruechert at 12:06 pm, May 26, 2021



3 NEW RAILING DETAIL
 SCALE : NTS



1 EXISTING FIRST FLOOR PLAN
 SCALE : 1/4" = 1'-0"



2 PROPOSED FIRST FLOOR PLAN
 SCALE : 1/4" = 1'-0"

PROJECT NAME AND ADDRESS		
SINGLE FAMILY HOME RENOVATION		
19 MONTGOMERY AVENUE SILVER SPRING, MD 20912		
No.	Revision/Issue	Date

SHEET TITLE
PROPOSED FLOOR PLAN & DETAIL

Project	Sheet #
Date	A-101
Scale	
AS NOTED	

ABBREVIATIONS

ABV Above	EF Each face	KPL Kickplate	QT Quarry tile
AFF Above finished floor	E East	KO Knockout	QTY Quantity
ACT Acoustical ceiling tile	ELEC Electric (all)	KD Knock down	
ADJ Adjustable / Adjacent	EP Electrical Panel	KIT Kitchen	RBT Rabbet
A/C Air Conditioning	ECW Elec water cooler		RAD Radius
ALT Alternate	EMER Emergency	LBL Label	REF Reference
AL Aluminum	EQ Equal	LAB Laboratory	REFR Refrigerator
ANC Anchor, Anchorage	EOP Equipment	LAD Ladder	REG Register
AB Anchor bolt	EXCA Excavate	LB (S) Leg bolt / pounds	RE Reinforce (d),(ing)
ANOD Anodized	EXH Exhaust	LAM Laminate	RCP Reinf concrete pipe
APPA Approximate	EXG Existing	LAV Lavatory	REM Remove
ARCH Architect (usual)	EXMP Expanding metal plate	LH Left hand	REQD Required
AD Area drain	EB Expanding bolt	L Length	RES Resilient
ASPH Asphalt	EXP Exposed	LT Light	RET Return
AUTO Automatic	EXT Exterior	LC Light control	RA Return Air
	EA Each face	LP Lightproof	RVS Reverse
BRG Bearing	EL Elevation	LW Lightweight	REV Revision (s), revised
BPL Bearing plate		LWC Lightweight concrete	RH Right hand
BM Bench mark, Beam	FB Face brick	LMS Limestone	ROW Right of way
BEL Beltw	FCC Face of concrete	LTL Lintel	R Raiser
BET Between	FOF Face of finish	LL Live load	RD Roof drain
BVL Beveled	FOM Face of masonry	LVR Louver	RFH Roof hatch
BIT Bituminous	FOS Face of stud	LPT Low point	RM Room
BLK Block	FIN Finish (ed)	LF Linear foot	ROW Rough opening
BLKG Blocking	FFE Finished floor elevation		RBT Rubber base
BD Board	FFL Finished floor line	MAINT Maintenance	
BS Both sides	FA/F/A Fire alarm	MB Machine bolt	S Sink
BW Both ways	FE Fire extinguisher	MI Malleable iron	SCH Schedule
BOT Bottom	FEC Fire exting. cabinet	MH Manhole	SEC Section
BRK Brick	FP Fireproof	MFR Manufacture (f)	SSK Service Sink
BRZ Bronze	FRT Fire retardant	MRB Marble	SIM Similar
BLDG Building	FXT Fixture	MAS Masonry	SKL Skylight
BUR Built up roof	FLG Flashing	MO Masonry opening	SCH Solid Core
	FLR Floor (ing)	MTL Material (s)	SCW Solid core wood
CAB Cabinet	FD Floor drain	MAX Maximum	SP Soundproof
CSMT Casement	FLUOR Fluorescent	MECH Mechanical	S South
CI Cast Iron	FTG Footing	MC Medicine Cabinet	SF Square foot (feet)
CPC Cast-in-place concrete	FND Foundation	MED Medium	SPK Speaker
CST Cast Stone	FRT Frame, (d), (ing)	MBR Member	SPEC Secification (s)
CK Caulk, Caulking	FRA Fresh Air	MMB Membrane	SST Stainless steel
CLG Ceiling	GA Gauge, gauge	MET Metal	STD Standard
CHT Ceiling Hgt	GV Galvanized	MFD Metal floor deck'g	STA Station
CEM Cement	GI Galvanized iron	MFR Metal furring	ST Steel
CM Centimeters	GP Galvanized pipe	MRD Metal roof deck'g	STOS Storage
CER Ceramic	GSS Galv steel sheet	MTR Metal threshold	SD Storm drain
CT Ceramic Tile	GKT Gasket	MM Millimeter	STR Structural
CHBD Chalk Board	GEN General	MWK Millwork	SUS Suspended
CHAM Chamfer	GC General contractor	MIN Minimum	SYM Symmetrical
CIR Circle	GLB Glass block	MIS Miscellaneous	SYS System
CIRC Circumfnc, Circulation	GLF Glass fiber	MOD Modular	TKBD Tackboard
CLR Clear (trane)	GCMU Glazed CMU	MLD Molding	TKS Tackstrip
COL Column	GST Glazed Struct Tile	MR Moisture resistant	TEL Telephone
CONF Conference	GB Grab bar	MTD Mount (d)	TV Television
CONC Concrete	CMU Concrete Mas. Unit	MOV Movable	TC Terra cotta
CONJ Concrete Jct	GRN Granite	MULL Mullion	THK Thick
CONST Construction	GVL Gravel	MTG Mounting	THR Threshold
CONT Continuous, Continue	GF Ground face	NOM Nominal	TPTN Toilet partition
CONTR Contract (or)	GT Grout	N North	TPD Toilet part'n disp
CTR Center, Counter	CJT Control Joint GYP, BD or GWB	NIC Not in contract	TOL Tolerance
CG Corner Guard		NTS Not to scale	T&G Tongue & groove
CORR Corrugated	HVAC Heating,cooling & A/C	NO Number	TSL Top of slab
CFL Counterflashing	HT Height	OC On Center	TST Top of steel
CRS Course (s)	HML Hollow metal	OPG Opening	TW Top of wall
CFT Cubic foot	HR Handrail	OPH Opposite hand	TB Towel bar
CYD Cubic yard	HC Hollow core	OD Outside diameter	TYP Typical
DRP Damper	HWH Hot water heater	OA Overall	UC Undercut
DP Dampproofing	HWD Hardware	OH Overhead	UNO Unless noted otherwise
DL Dead load	HTG Heating	PTD Paint (d)	UR Urinal
DEMO Demolish, Demolition		PNL Panel	VB Vapor Barrier
DEP Depressed		PB Panic bar	VCT Vinyl Comp Tile
DTL Detail		PTD Paper towel disp'r	VERT Vertical
DIA Diagonal		PTN Partition	VNR Veneer
DIAM Diameter		PLAM Plastic Laminate	VIF Verify in field
DIM Dimension		PL Plate	WR Water repellent
DPR Dispenser		PG Plate glass	WWF Welded wire fab
DIV Division		PWD Plywood	W West, wide
DR Door		PVC Polyvinyl Chloride	WF Wide flange
DWG Drawing		PF Pounds per cubic foot	WIN Window
DF Drinking Fountain		PLF Lbs per linear foot	WM Wire mesh
DN Down		PSF Lbs per square foot	W With
DIFF Diffuser		PSI Lbs per square inch	WC Water closet
DEPT Department		PL Property Line	W/O Without
DEG Degree			

PROPERTY IDENTIFIER

District - 13 Account Number - 01079053
 Lot 10 Block 17 7,800 SQUARE FEET.

PROJECT DESCRIPTION

- THE SCOPE OF WORK IS:
1. REPLACE EXISTING BROWNISH ASPHALT ROOF SHINGLE WITH A NEW GREY ASPHALT ROOF SHINGLE SYSTEM.
 2. PROVIDE NEW PRESSURE TREATED WOOD RAILING SYSTEM AND REPLACE ANY DAMAGED TREAD OR WOOD POST.

PROJECT TITLE

HISTORIC AREA WORK PERMIT FOR ROOF REPLACEMENT AND RAILING REPAIR

19 MONTGOMERY AVENUE SILVER SPRING, MD 20912

**OWNER:
 ACE CONSTRUCTION LLC
 c/o MARWAN HISHMEH
 19 MONTGOMERY AVENUE
 SILVER SPRING, MD 20912**

BUILDING DATA

IBC Use Group: R-3
 IBC Const Type: 5-B
 No. of Stories: 1
 ZONE : R-60

EXISTING BUILDING AREA:

BASEMENT = 1,691 S.F.
 FIRST FLOOR = 1,659 S.F.

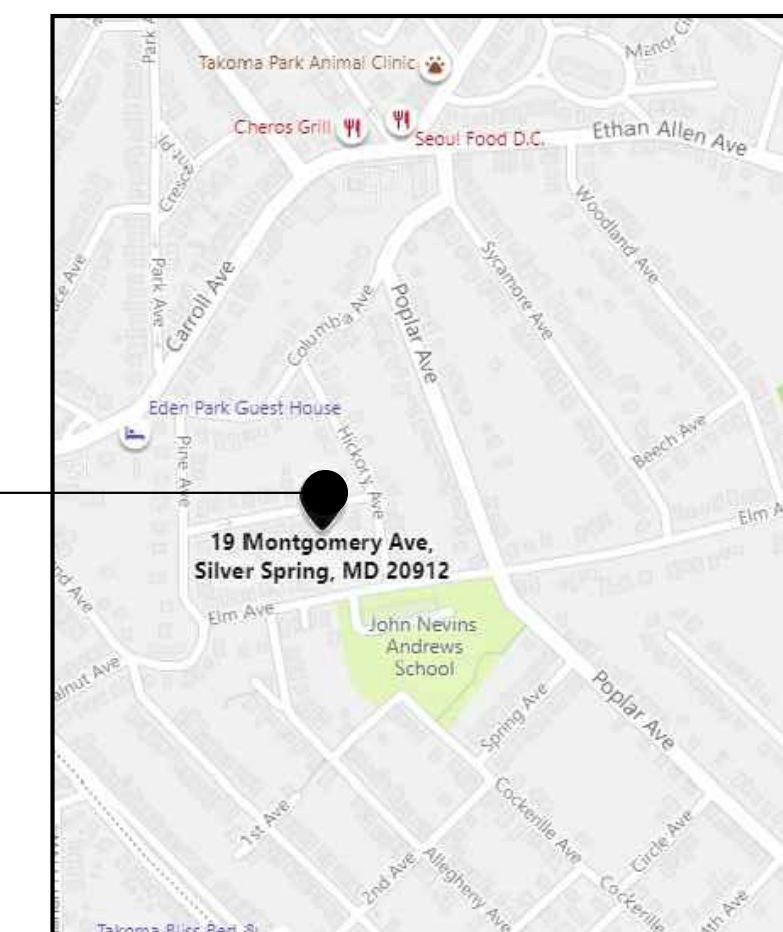
TOTAL EXISTING BUILDING AREA = 3,350 S.F.

APPLICABLE COUNTY CODES

RESIDENTIAL BUILDING - IRC 2018 AS AMENDED BY MONTGOMERY COUNTY INTERNATIONAL EXISTING BUILDING CODE

GENERAL NOTES

1. ALL DIMENSIONS SHOWN ON THE ARCHITECTURAL PLANS ARE TO THE FACE OF STUDS OR MASONRY, UNLESS OTHERWISE NOTED.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO PROCEEDING WITH THE WORK.
3. ANY DISCREPANCY WHICH IS FOUND BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES.
4. DEMOLITION CONTRACTOR IS TO BE FAMILIAR WITH COMPLETE PROJECT AND SET OF DRAWINGS AND THEIR INTENT BEFORE PROCEEDING WITH THE WORK.
5. WHERE EXISTING CONSTRUCTION IS REMOVED - CONTRACTOR IS TO PATCH ALL DISTURBED AREAS TO MATCH ADJACENT SURFACES IN MATERIAL, COLOR AND TEXTURE, UNLESS OTHERWISE NOTED.
6. WHERE ELECTRICAL AND/OR PLUMBING LINES ARE ABANDONED, REMOVE ALL SUCH WORK, CAP OFF LINES AT FINAL INACCESSIBLE PENETRATION. ALL NEW PLUMBING / ELECTRICAL WORK IS TO BE RECESSED BEHIND FINISHED SURFACES UNLESS OTHERWISE NOTED.
7. IT IS TYPICALLY THE INTENTION OF THE OWNER TO MAINTAIN OPERATION OF THE FACILITY DURING THE CONSTRUCTION PROCESS. THE GENERAL CONTRACTOR SHALL REVIEW THE CONSTRUCTION SEQUENCE WITH THE OWNER AND COORDINATE TO THE FULLEST EXTENT POSSIBLE IN ORDER TO MINIMIZE THE INCONVENIENCE TO THE OCCUPANTS OF THE BUILDING OR TENANT SPACE (IF SUCH SPACE IS OCCUPIED).
8. THE CONTRACTOR SHALL NOT SCALE THESE DRAWINGS.
9. THE CONTRACTOR SHALL OBTAIN AND PAY FEES FOR ALL TRADE PERMITS REQUIRED FOR THE PROPER APPROVAL AND FINAL INSPECTION OR ACCEPTANCE OF THIS PROJECT. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
10. THE CONTRACTOR SHALL VISIT THE SITE AND CAREFULLY EXAMINE ALL EXISTING CONDITIONS THAT MAY AFFECT HIS WORK (PRIOR TO BIDDING THIS PROJECT).
11. THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTORS FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.



PROJECT SITE

VICINITY MAP

G-100 COVER SHEET
 A-100 EXISTING & PROPOSED ROOF PLAN
 A-101 PROPOSED FLOOR PLAN & DETAIL

APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature]

REVIEWED
 By Dan.Bruechert at 12:06 pm, May 26, 2021

PROJECT NAME AND ADDRESS		SHEET TITLE		Project	Sheet #
SINGLE FAMILY HOME RENOVATION		COVER SHEET			G-100
19 MONTGOMERY AVENUE SILVER SPRING, MD 20912				Date MARCH 23, 2021	
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