



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert K. Sutton
Chairman

Date: June 15, 2021

MEMORANDUM

TO: Mitra Pedoeem
Department of Permitting Services

FROM: Michael Kyne
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #953365: Alteration to install garage door

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the June 9, 2021 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

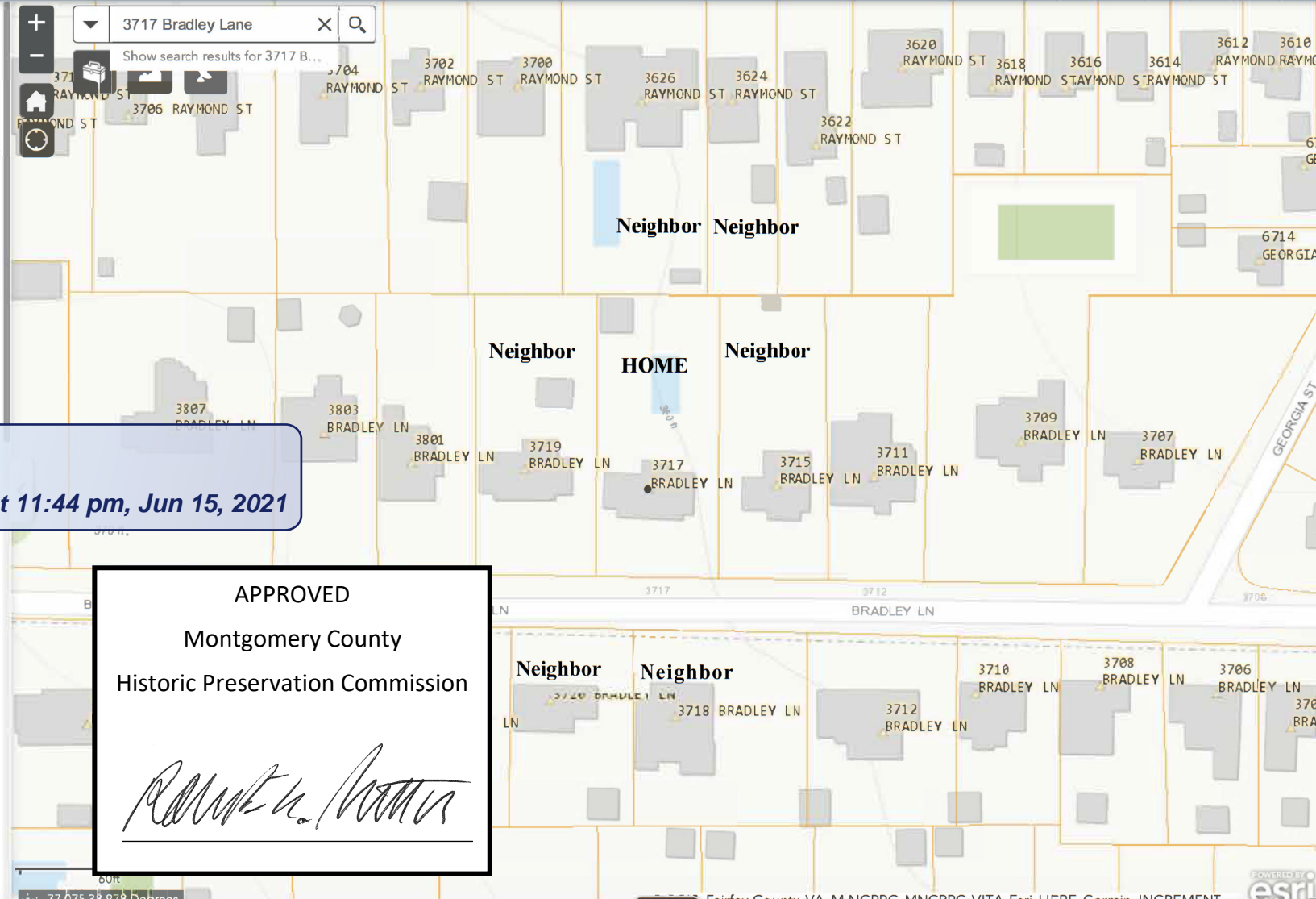
THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Darren Binder
Address: 3717 Bradley Lane, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Michael Kyne at 301.563.3403 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



- Layers**
- County Boundary
 - Master Plans (Adopted)
 - Pipeline
 - Commercial Permits (FY10-FY15)
 - Dwelling Unit Permits (FY10-FY15)
 - Other Permits (FY10-FY15)
 - State Priority Funding Area
 - Property (Points)
 - Special Protection Areas
 - Metro Station B
 - Metro Station B
 - Opportunity Zones
 - Historic Area Work Permits
 - Address_Labels
 - Plat Index
 - Property (Polygons)
 - Zoning
 - Places of Interest
 - Regulatory Plans



REVIEWED
By Michael Kyne at 11:44 pm, Jun 15, 2021

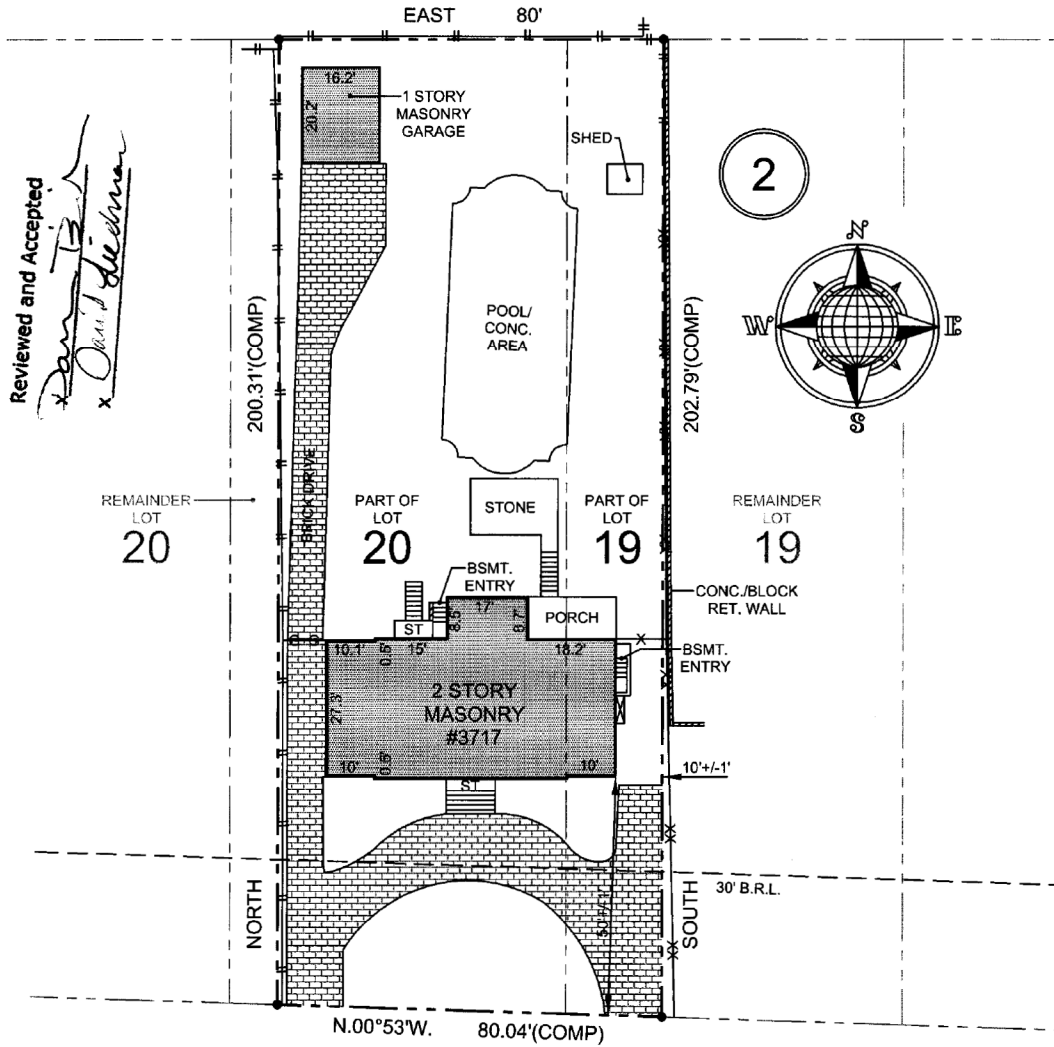
APPROVED
Montgomery County
Historic Preservation Commission

[Handwritten Signature]

- 3626 Raymond St, Purvis & Pacholski
- 3624 Raymond St, Murchison
- 3719 Bradley Ln, Leggett
- 3715 Bradley Ln, Armstrong
- 3718 Bradley Ln, Donnelly
- 3720 Bradley Ln, Nichols

Landtech Associates, Inc.

10260 Old Columbia Road Rivers Center - Suite "J"
 Columbia, Md. 21046
 Phone: 410-290-8099 Fax: 410-290-8299
 NOTE: NOT TO BE USED FOR ISSUANCE OF PERMITS



Reviewed and Accepted
[Signature]
[Signature]

Bradley Lane

Property Line survey recommended to
REVIEWED exact configuration of property,
 exact location of improvements, and
 By Michael Kyne at 11:45 pm, Jun 15, 2021

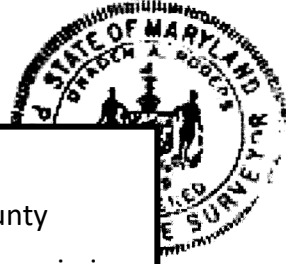
- NOTES:
- 1) This plat is of benefit to the consumer only insofar as it is required by a lender or insurance company or its agent in connection with contemplated transfer, financing.
 - 2) This plat is not to be relied upon for the establishment or location of fences, gar or other existing or future improvements.
 - 3) This plat does not provide for the accurate identification of property lines, but such identification may not be required for the transfer of title or securing financing.
 - 4) No title report furnished.
 - 5) Property line survey recommended to determine the exact location of improvements.
 - 6) Property subject to any / all rights-of-way, easements, and / or covenants of record.

Certification: This is to certify that the improvements indicated here

LIBER:	FOLIO:
LOT: Part of 19,20	BLOCK: 2 SECTION: 3
PLAT ENTITLED: Chevy Chase	
RECORDED IN: Montgomery County, Maryland	
PLAT BOOK: 1	PAGE:

APPROVED
 Montgomery County
 Historic Preservation Commission

[Signature]

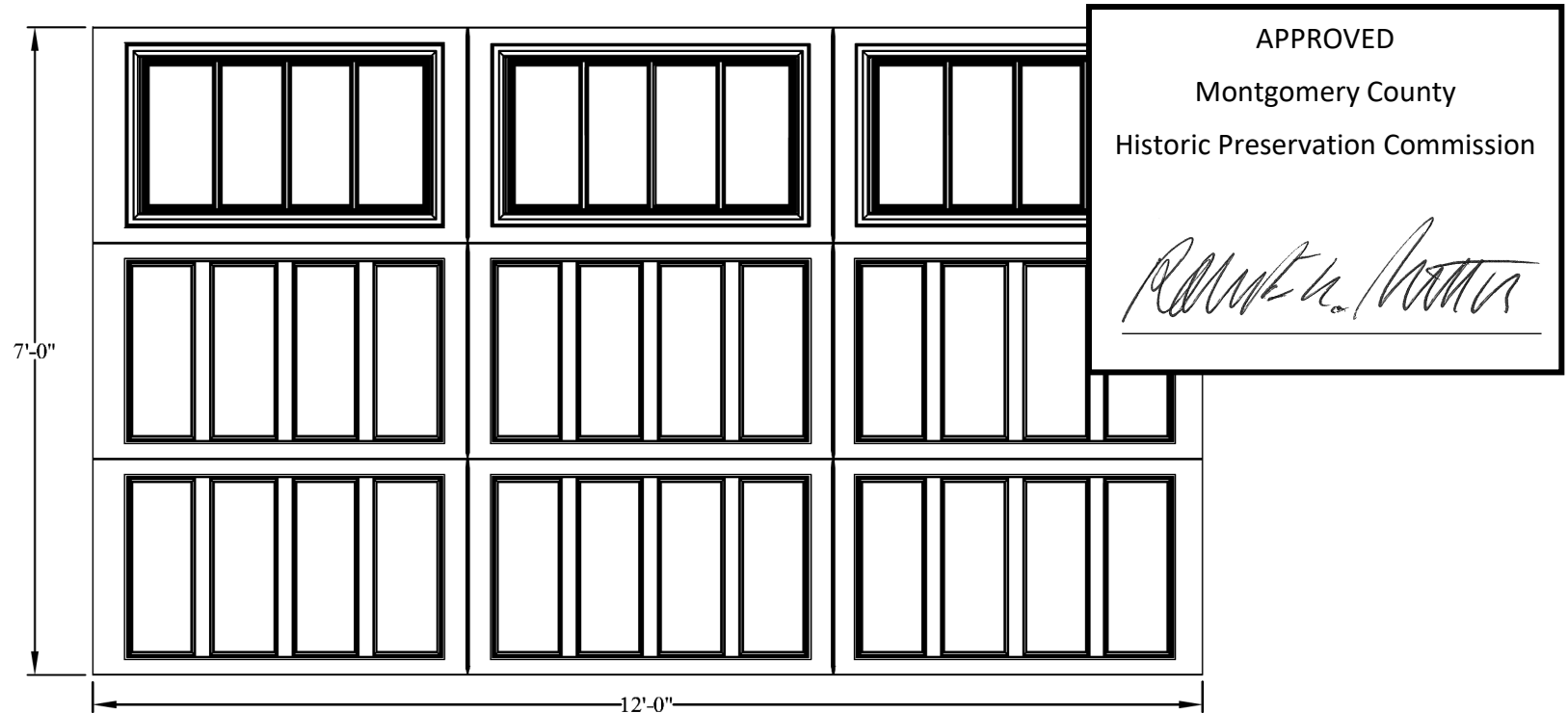


3/28/2018
 S. MD. Lic. No 119
 Lane
 170005PM
 JOB NO: LT2170009

Classica Collection

REVIEWED

By Michael Kyne at 11:44 pm, Jun 15, 2021



Classica NorthHampton N10

Elevation

Scale: 1/2" = 1'



GARAGE DOORS

165 CARRIAGE COURT WINSTON-SALEM, N.C. 27105



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Historic Preservation Commission
Ronald H. [Signature]

Images shown for most models are based on the door width and height selected. Images for Amarr Carriage Court models are 8' or 16' wide by 7' tall - design patterns may vary on other widths and heights.

*Door color and glass transparency may vary from actuals; **ask your dealer for samples before***

🔍 Zoom In

🔄 Rotate Image

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Robert W. Adams

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Ronald H. Adams

REVIEWED

By Michael Kyne at 11:44 pm, Jun 15, 2021

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Robert H. [Signature]

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Robert H. [Signature]

2017 MRIS