



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert K. Sutton
Chairman

Date: June 15, 2021

MEMORANDUM

TO: Mitra Pedoeem
Department of Permitting Services

FROM: Michael Kyne
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #951716: Rear addition, window replacement, and other alterations

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved with one (1) condition** at the June 9, 2021 HPC meeting.

- 1. The proposed replacement windows on the south (front), east (right), and west (left) elevations will be 6-over-6 wood (not clad) SDL windows with permanently-affixed 7/8" interior and exterior muntins and internal spacer bars. Final specifications must be submitted to staff for review and approval prior to submission of the final permit drawings.**

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Yalda Ghamarian
Address: 5625 Lambeth Road, Bethesda

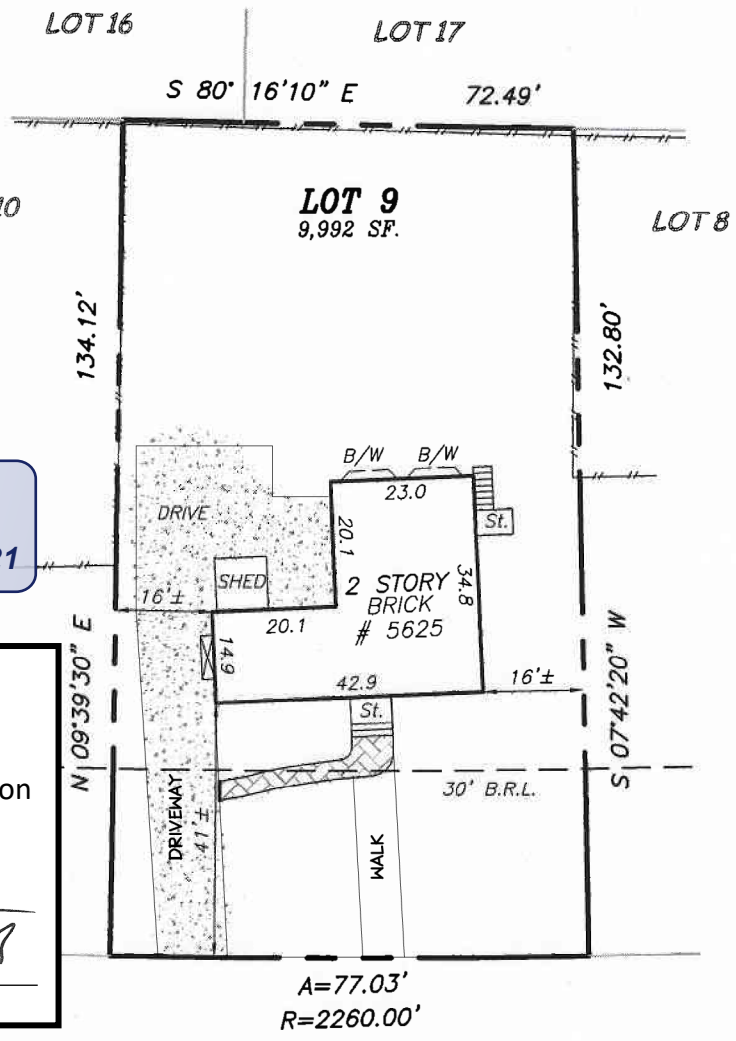
This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Michael Kyne at 301.563.3403 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



CONSUMER INFORMATION NOTES:

- 1). This drawing is a benefit to a consumer only insofar as it may be required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing;
- 2). This drawing is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements;
- 3). This drawing does not provide for the accurate identification of property boundary lines, but such identification may not be required for transfer of title or securing financing or refinancing.
- 4). The level of accuracy and accuracy of apparent setback distances is four feet, more or less.
- 5). THIS LOCATION DRAWING IS NOT TO BE USED IN CONNECTION WITH ANY TYPE OF PERMIT APPLICATION.
- 6). This location drawing was prepared without the benefit of a title report.

LEGEND	
St.	Stoop
SW.	Sidewalk
B/W	Bay Window
Wood/Vinyl Fence	
Brick Area	
Rough Asphalt	



REVIEWED
By Michael Kyne at 11:02 pm, Jun 15, 2021

APPROVED
Montgomery County
Historic Preservation Commission

[Signature]

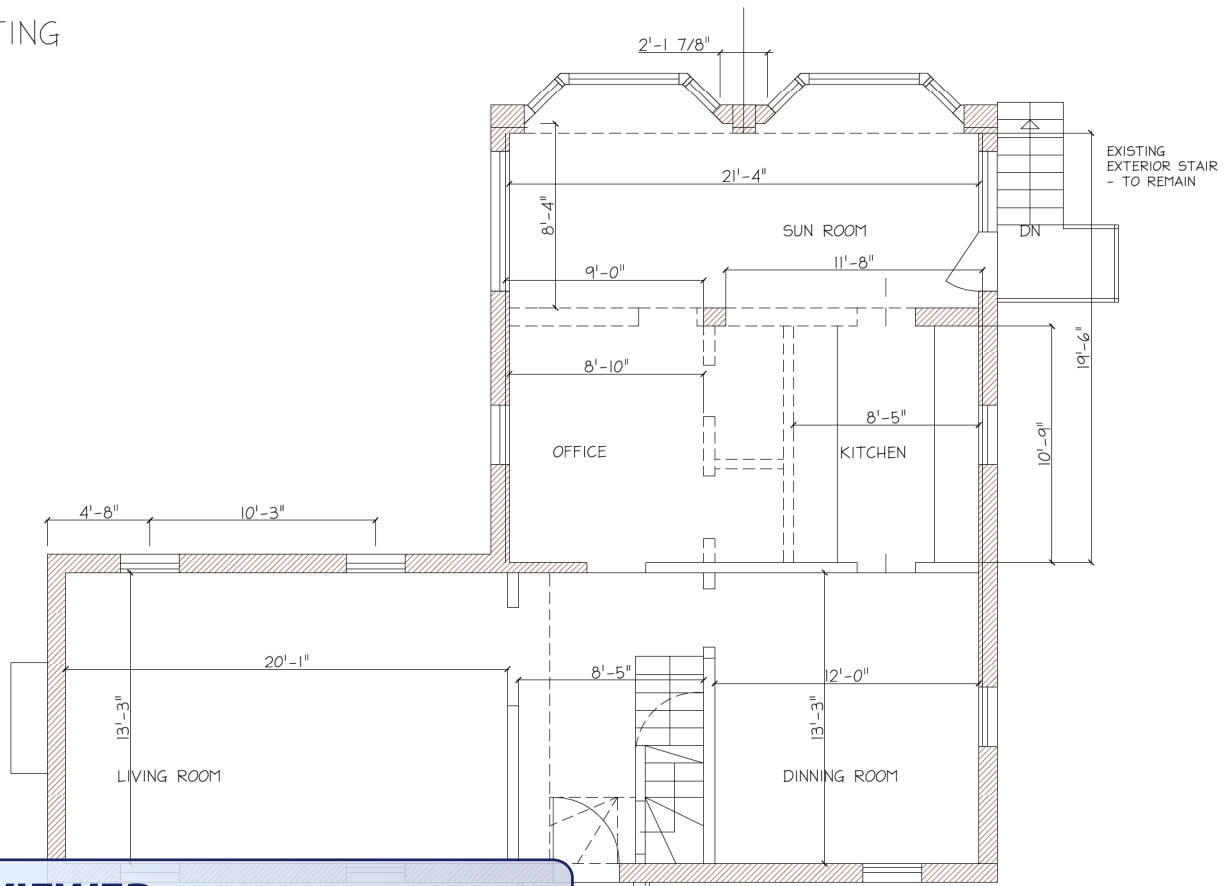


LAMBETH ROAD
(50' R/W)

LOCATION DRAWING
LOT 9, BLOCK H
GREENWICH FOREST
MONTGOMERY COUNTY, MARYLAND

SURVEYOR'S CERTIFICATE		REFERENCES		ALIMO & ASSOCIATES LLC	
This location drawing and the surveying work reflected in it were prepared by the surveyor or the surveyor was in responsible charge over its preparation, all in compliance with requirements set forth in COMAR Regulation 09.13.06.12.		PLAT BK.	10	LAND SURVEYORS 404 Blue Flax Place Gaithersburg, MD 20878 Tele.: (240) 888-7631 e-Fax: (240) 390-2445	
<i>[Signature]</i> By: Fred Alimo MD Professional Land Surveyor #21382 Expires 02-03-2022		PLAT NO.	722		
Date: 4/20/2021		LIBER		DATE OF LOCATIONS	SCALE: 1"=30'
		FOLIO		WALL CHECK:	DRAWN BY: F.A.
				HSE. LOC.: 04-20-2021	JOB NO.: 2021-066

EXISTING



REVIEWED


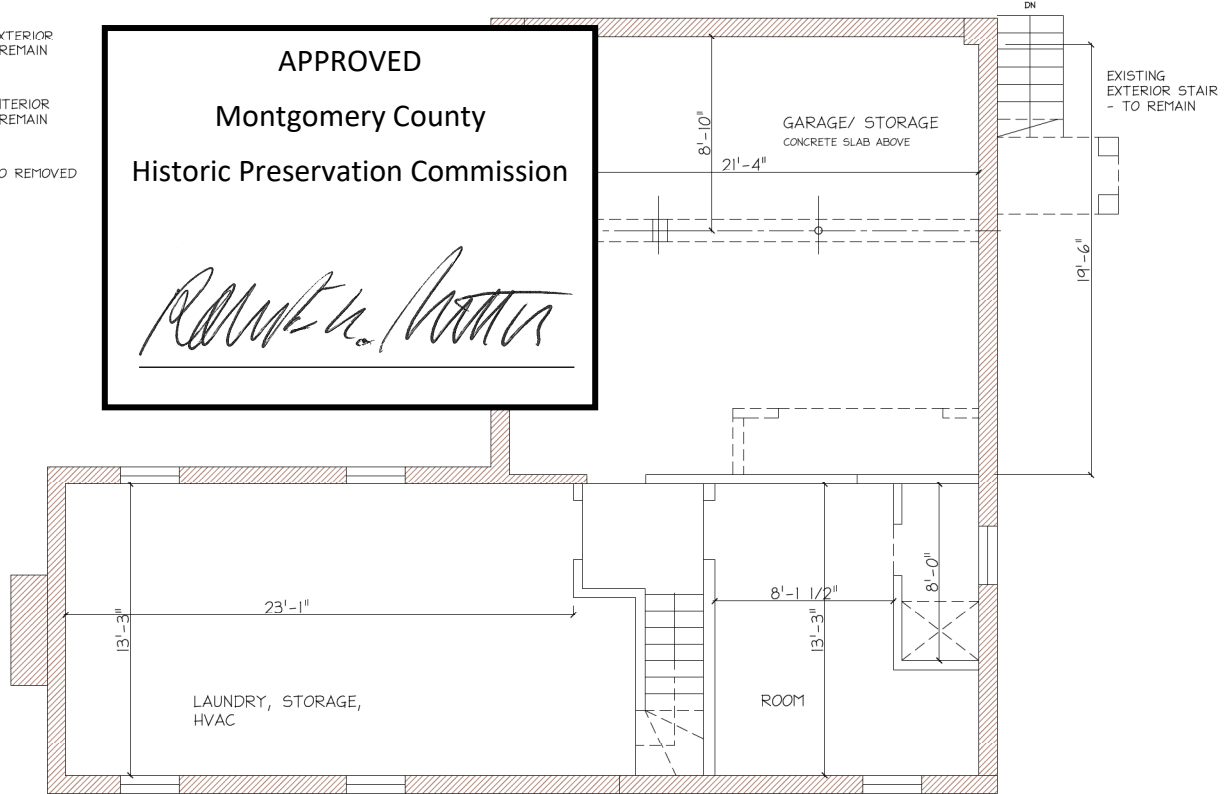
By Michael Kyne at 11:02 pm, Jun 15, 2021

EXISTING EXTERIOR WALLS TO REMAIN

EXISTING INTERIOR WALLS TO REMAIN

EXISTING TO REMOVED

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 Historic Preservation Commission

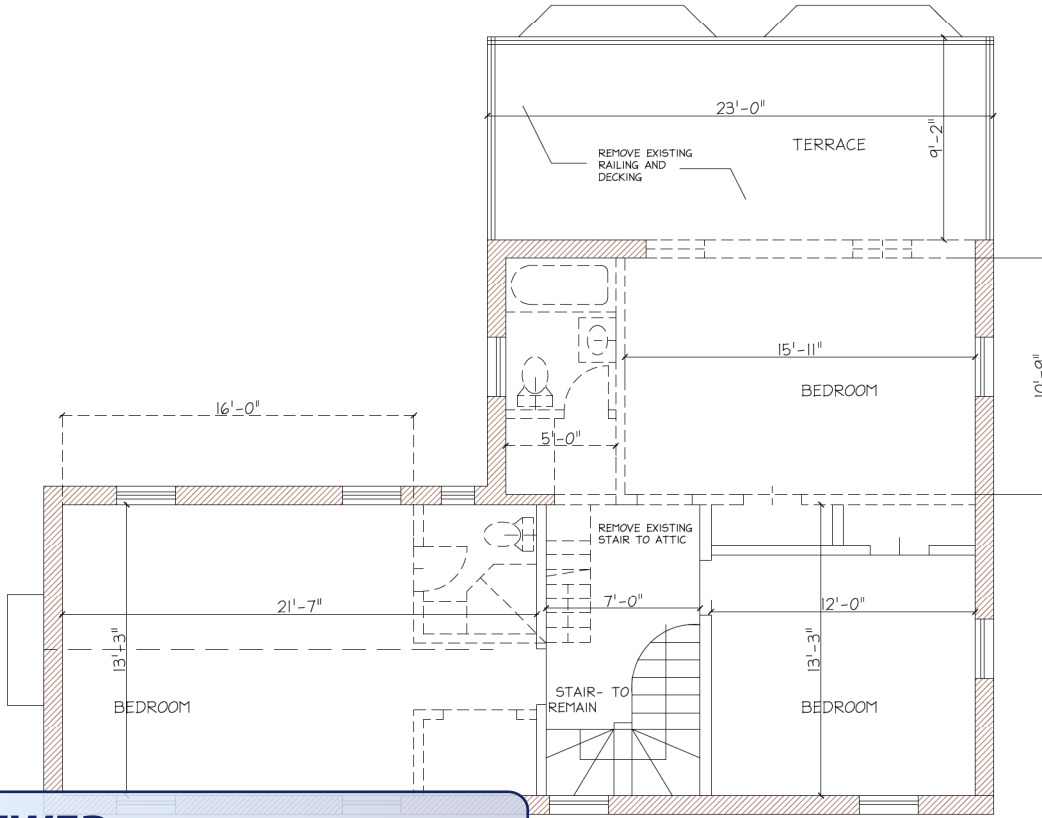



EXISTING BASEMENT PLAN

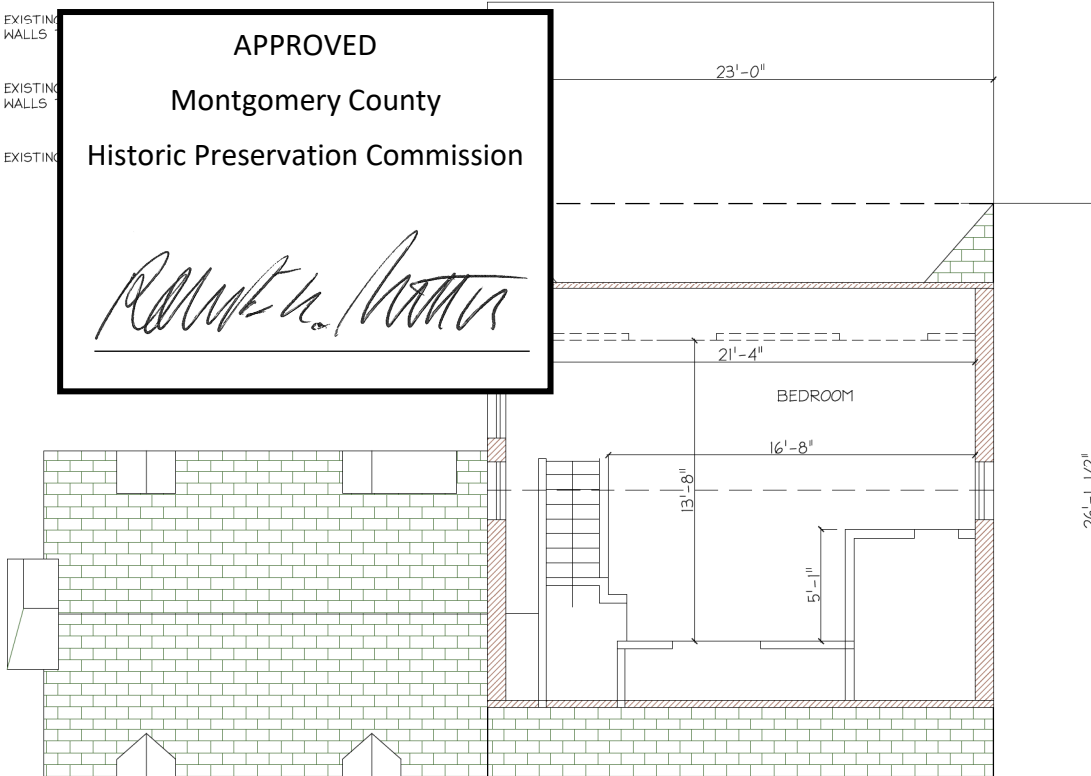
SCALE: 1/4" = 1'-0"

EXISTING FLOOR PLANS

EXISTING



REVIEWED
 SECOND FLOOR PLAN
 By Michael Kyne at 11:02 pm, Jun 15, 2021



ATTIC FLOOR PLAN

SCALE: 1/4" = 1'-0"

EXISTING FLOOR PLANS

EXISTING

EXISTING SLATE ROOF TO REMAIN

REMOVE EXISTING RAILING.

EXISTING BAY WINDOWS TO REMAIN

EXISTING BRICK FACADE



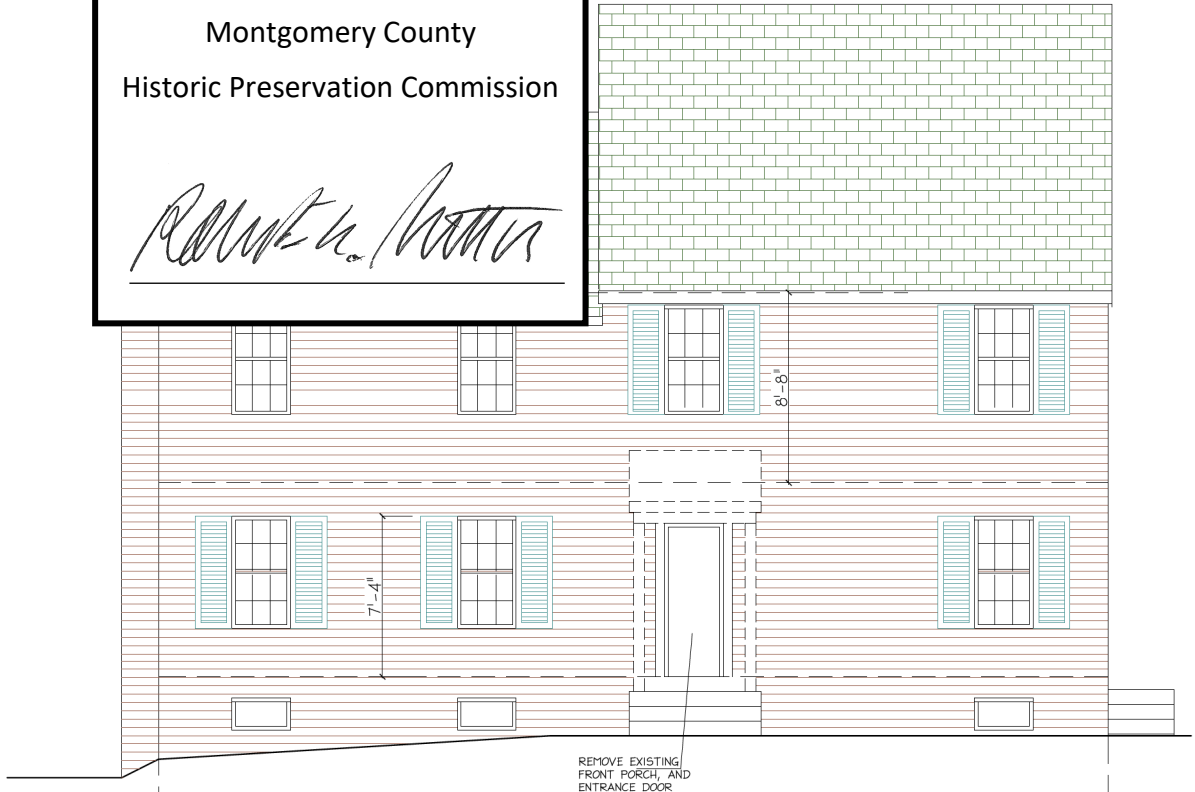
REVIEWED
 By Michael Kyne at 11:02 pm, Jun 15, 2021

REAR ELEVATION

SCALE: 1/4" = 1'-0"

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 Montgomery County
 Historic Preservation Commission

Ronald G. ...



REMOVE EXISTING FRONT PORCH, AND ENTRANCE DOOR

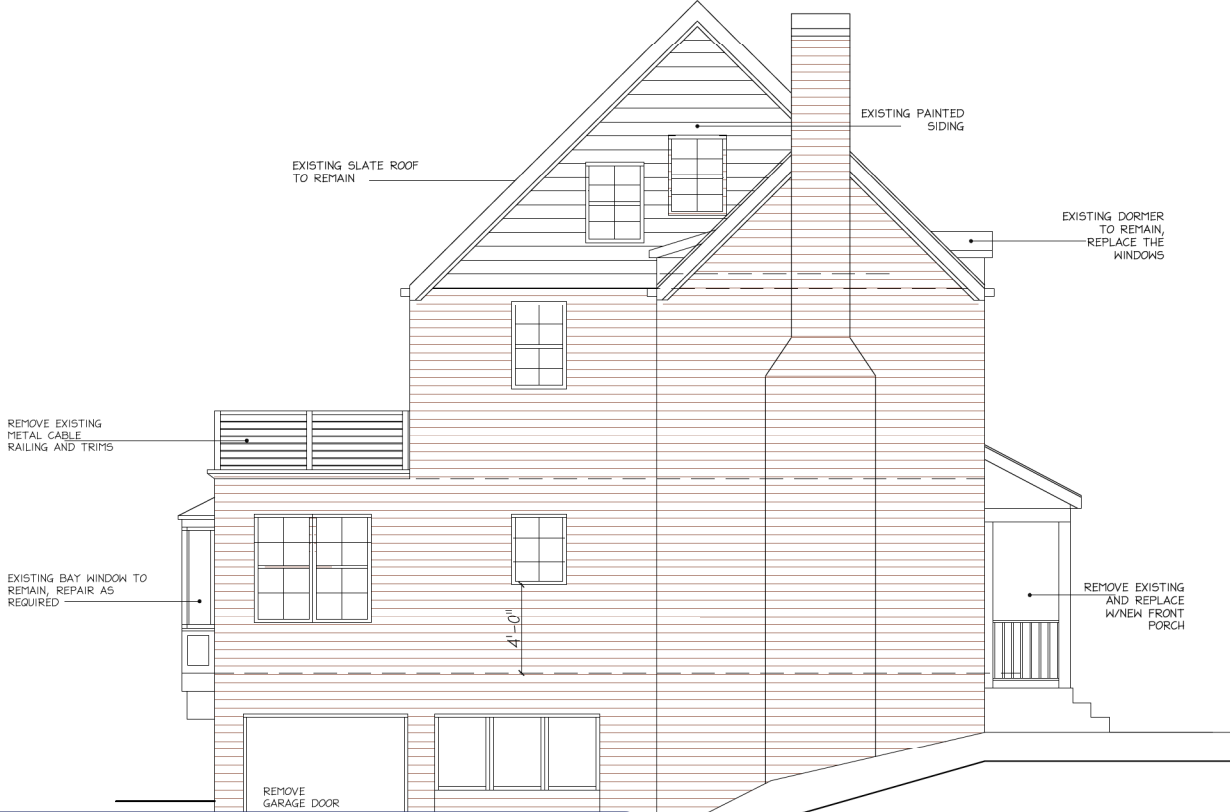
EXISTING FRONT ELEVATION

SCALE: 1/4" = 1'-0"

ELEVATIONS

5625 LAMBETH ROAD
BETHESDA MD 20814

EXISTING



REVIEWED
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EXISTING WEST ELEVATION

SCALE: 1/4" = 1'-0"

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Ronald A. ...



PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'-0"

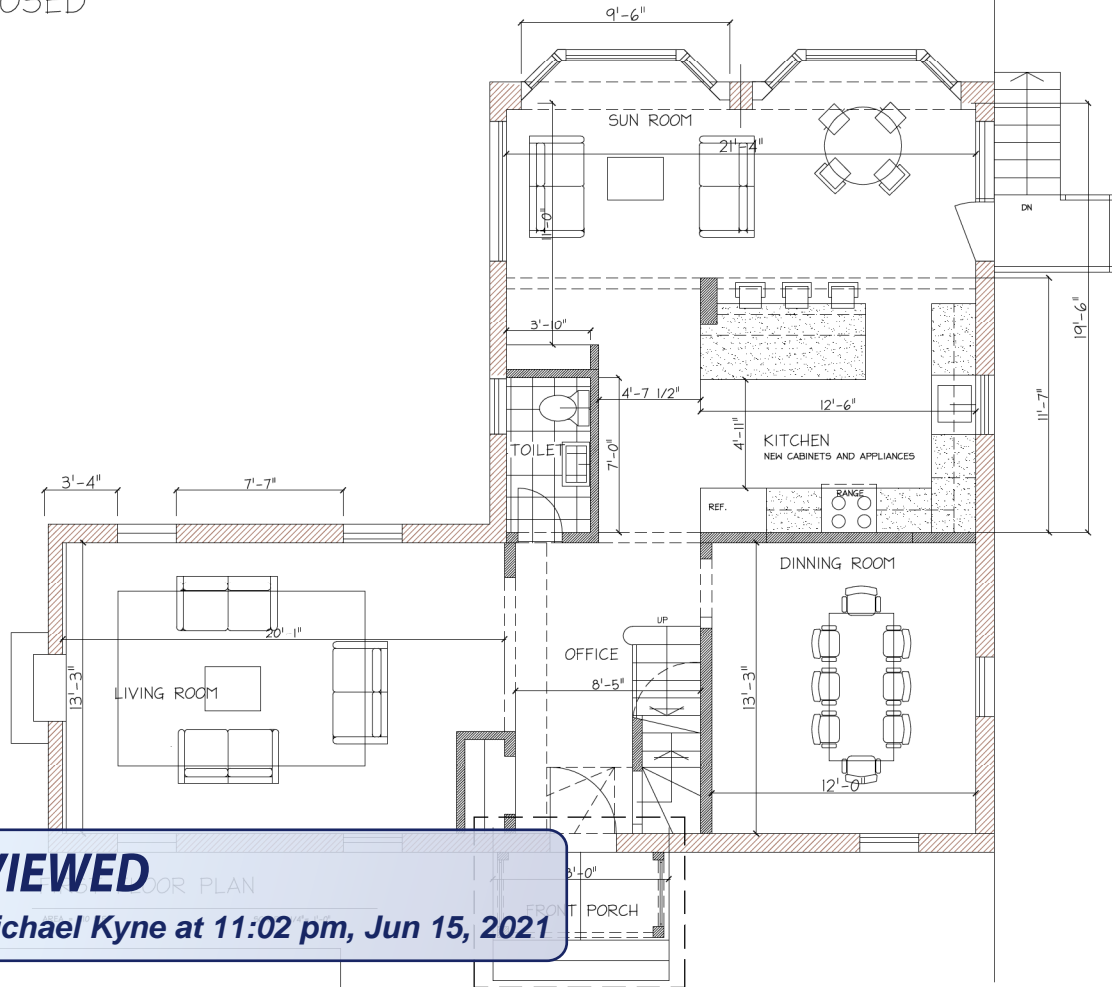
EXISTING SIDE-2 ELEVATION

SCALE: 1/4" = 1'-0"

ELEVATIONS

5625 LAMBETH ROAD
 BETHESDA MD 20814

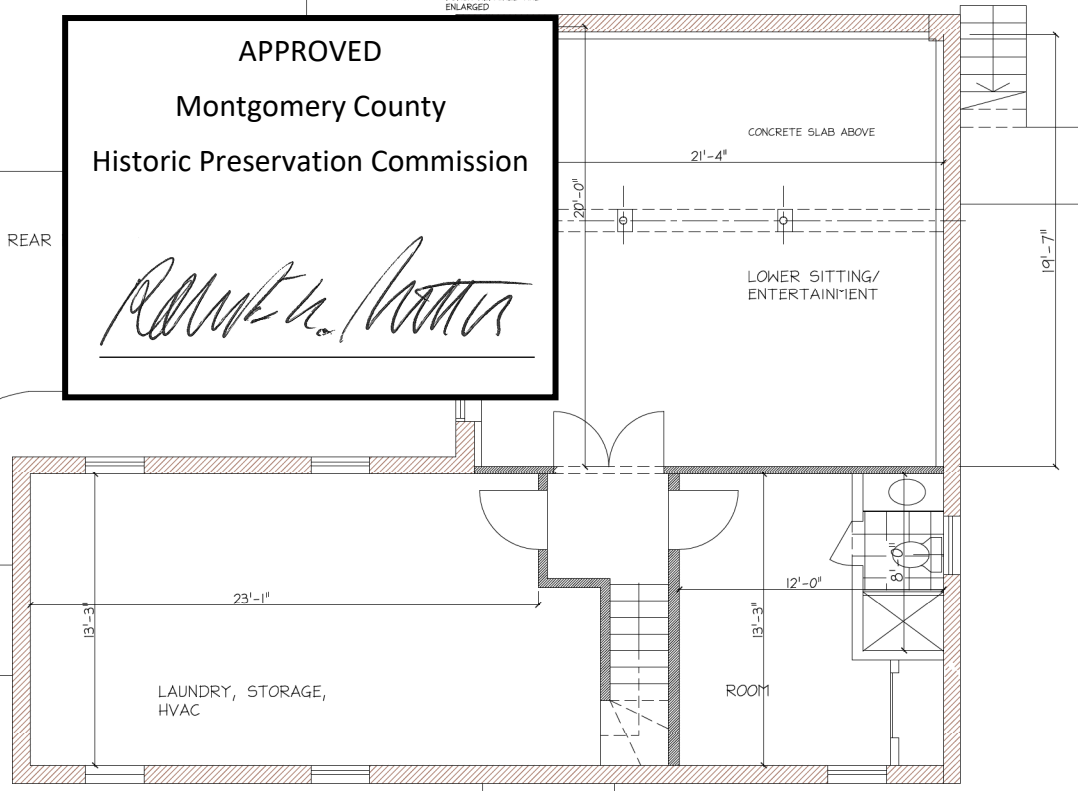
PROPOSED



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 FLOOR PLAN
 By Michael Kyne at 11:02 pm, Jun 15, 2021

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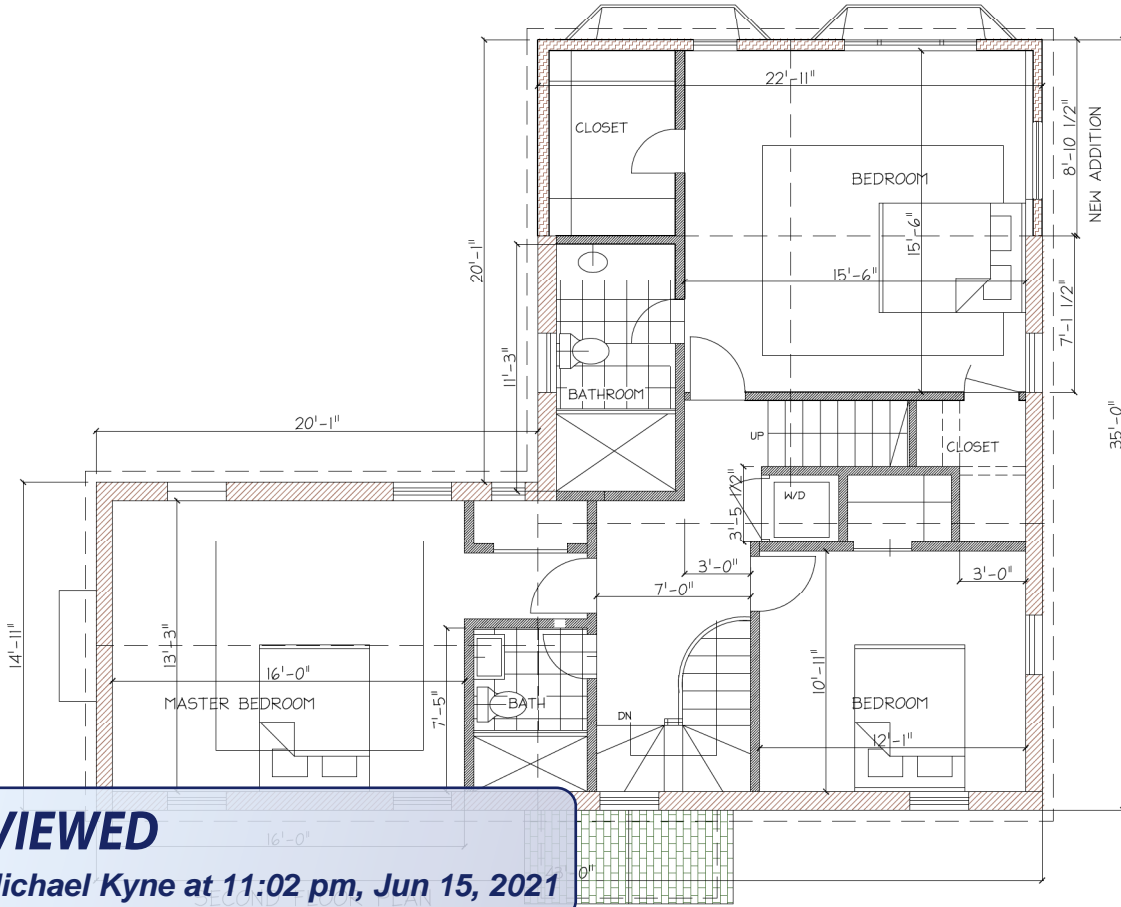
Ronald G. ...



BASEMENT PLAN - PROPOSED
 AREA = 110 S.F. SCALE: 1/4" = 1'-0"

PROPOSED FLOOR PLANS

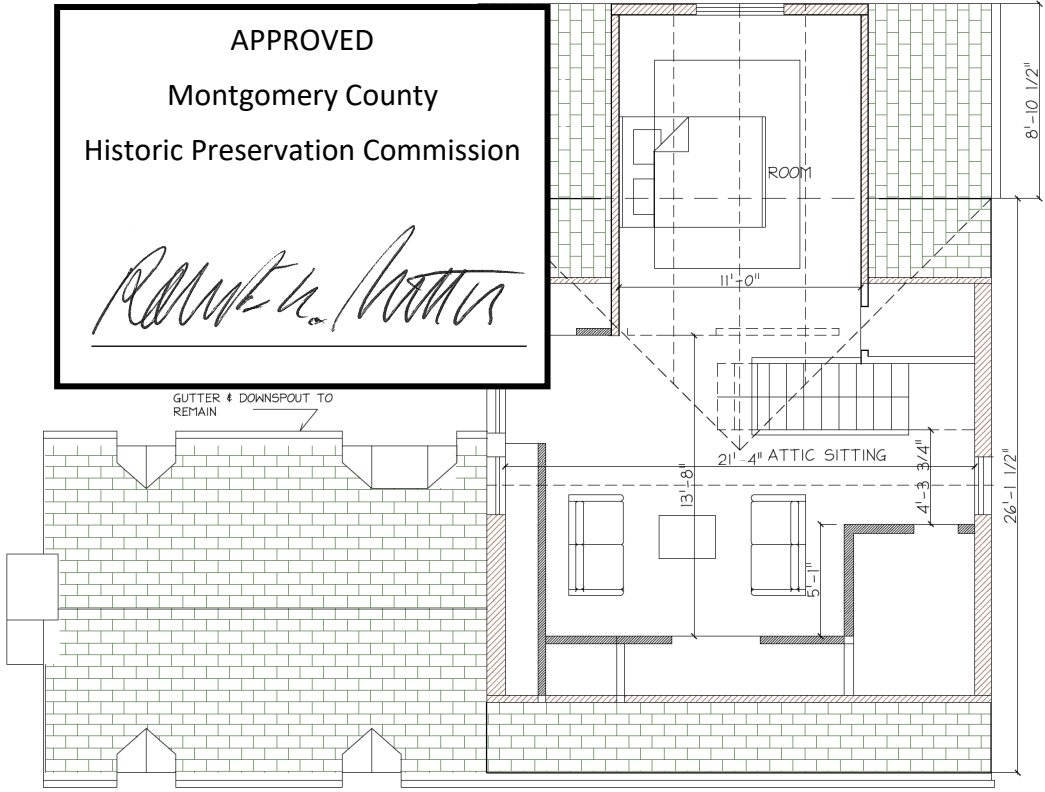
PROPOSED



AREA = 1110 S.F. SCALE: 1/4" = 1'-0"

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Historic Preservation Commission

Ronald A. ...



ATTIC FLOOR PLAN AREA = 588 S.F. SCALE: 1/4" = 1'-0"

PROPOSED FLOOR PLANS



PROPOSED REAR ELEVATION

SCALE: 1/4" = 1'-0"

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 By Michael Kyne at 11:02 pm, Jun 15, 2021

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Ronald G. Hunter

EXISTING SLATE ROOF TO REMAIN, REPAIR AS REQUIRED

REPLACE EXISTING WINDOWS, SAME STYLE AND SIZE - TYPICAL

EXISTING BRICK FAÇADE

EXISTING SHUTTERS TO BE REPAIRED, PAINTED

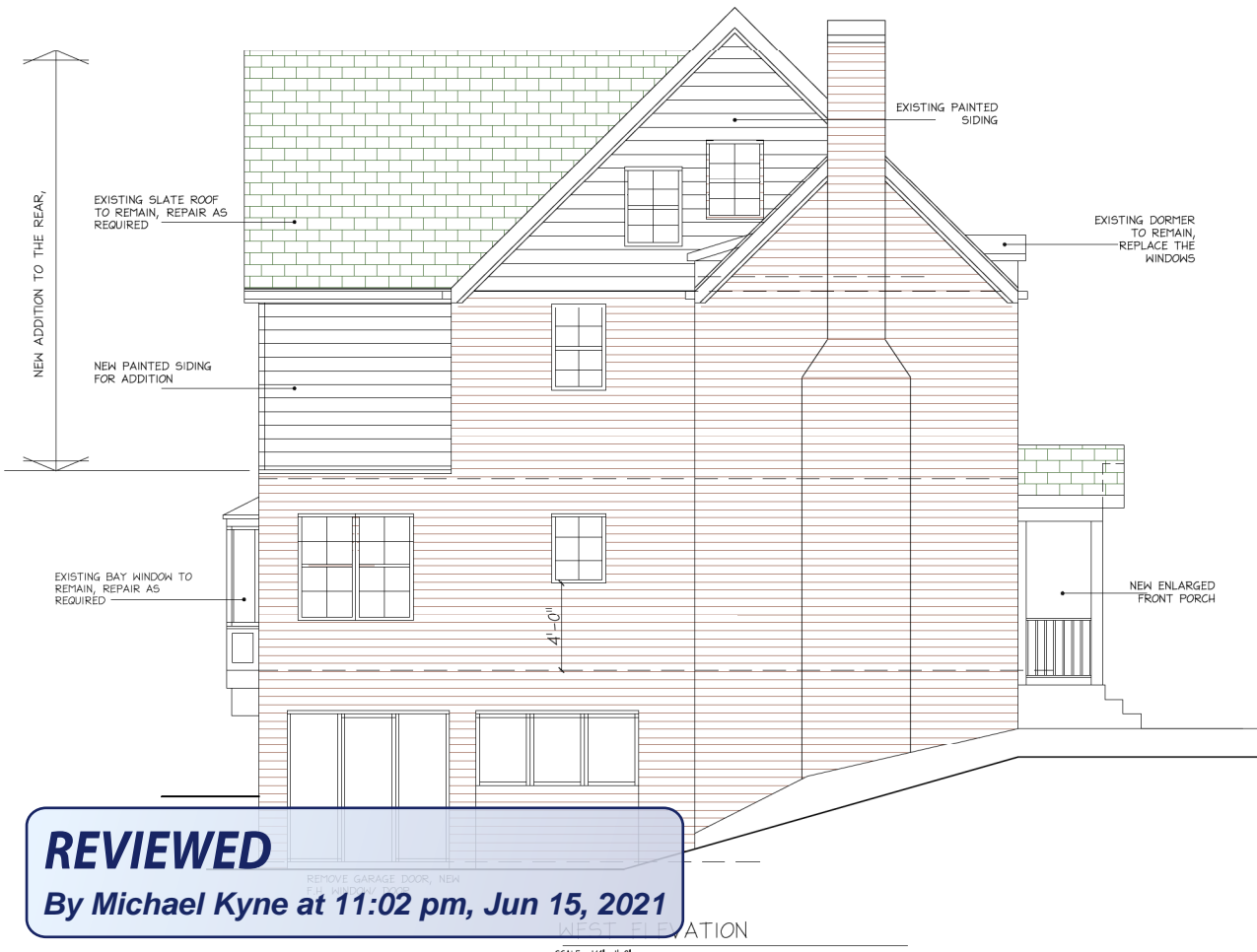
WINDOW REPLACEMENT, SAME SIZE & STYLE

EXISTING SHUTTERS TO BE REPAIRED, PAINTED

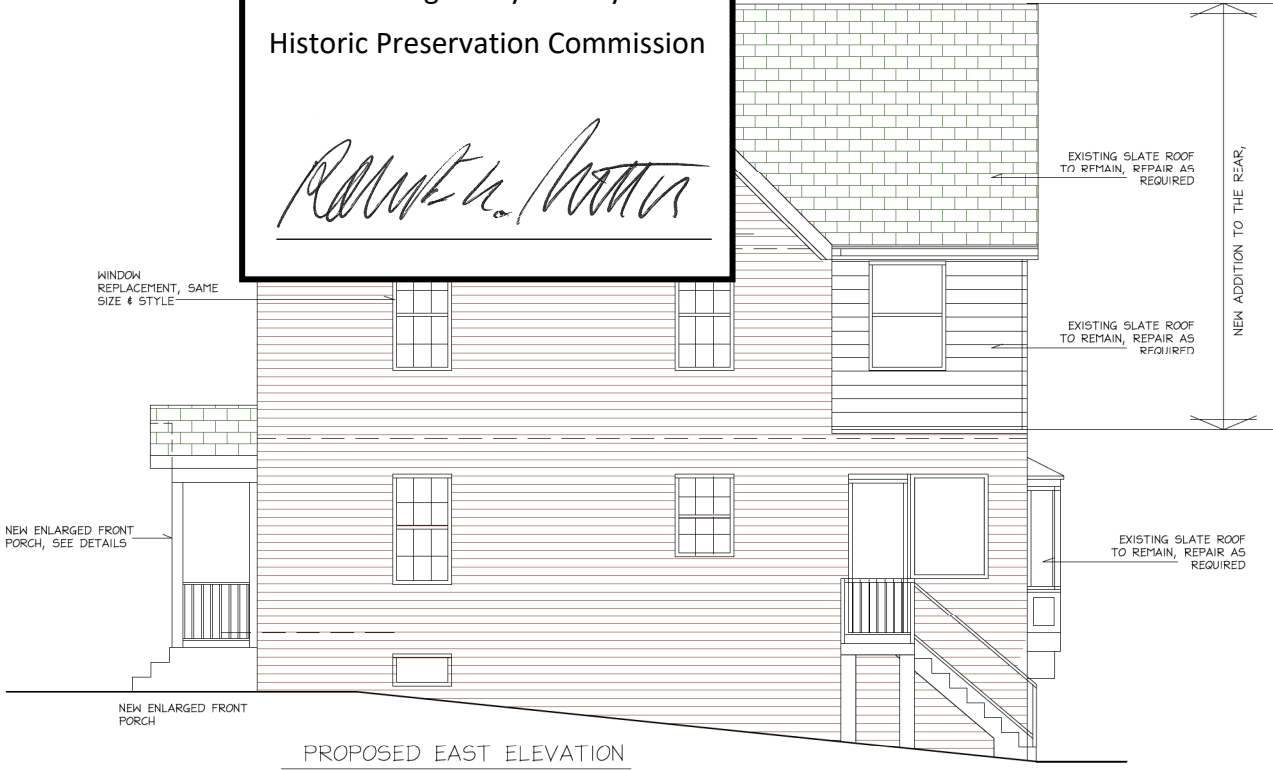
NEW ENLARGED FRONT PORCH, SEE DETAILS

PROPOSED FRONT ELEVATION

SCALE: 1/4" = 1'-0"



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PROPOSED SIDE-2 ELEVATION
 SCALE: 1/4" = 1'-0"

PROPOSED

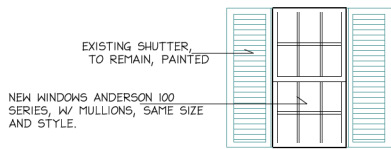


EXISTING EXTER. WINDOW

NEW PORCH ROOF, SEE DETAILS

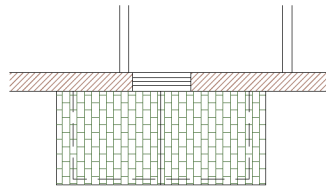
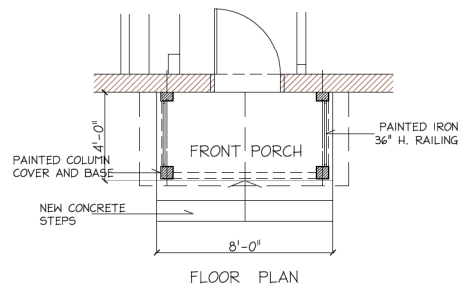
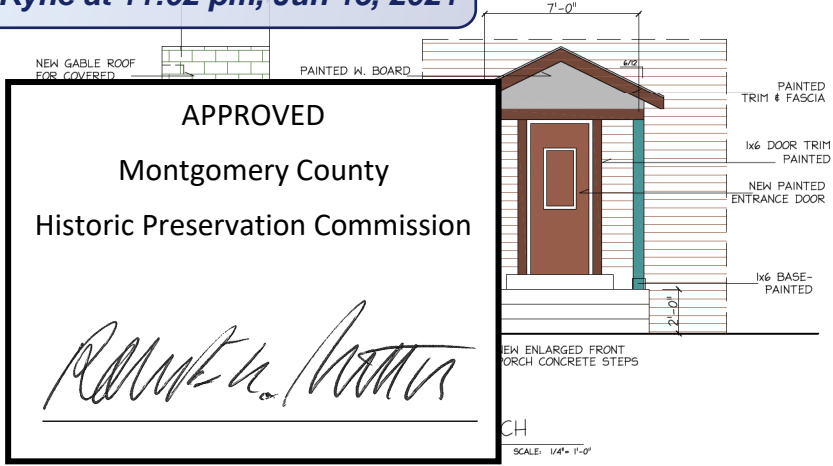


EXISTING FRONT PORCH



PROPOSED WINDOW & EXIST. SHUTTER

REVIEWED
 By Michael Kyne at 11:02 pm, Jun 15, 2021





Contract - Detailed

Pella Windows & Doors of Annapolis
910 Bestgate Road Suite D
Annapolis, MD 21401
Phone: (301) 261-2054 Fax: (410) 224-3532

Sales Rep Name: Riordan, Matt
Sales Rep Phone: 240-508-6961
Sales Rep Fax: 877 220 5287
Sales Rep E-Mail: mriordan@kc-pella.com

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By Michael Kyne at 11:10 pm, Jun 15, 2021

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A handwritten signature in black ink, appearing to read "Robert H. [unclear]", is written over a horizontal line.

Customer Information	Project/Delivery Address	Order Information
Ahmad Ghamarian 5625 Lambeth Rd Bethesda, MD 20814-1140 Primary Phone: (202) 2109292 Mobile Phone: Fax Number: E-Mail: ghamarian@aol.com Contact Name: Great Plains #: 1006299009 Customer Number: 1010139359 Customer Account: 1006299009	5625 Lambeth Rd, Bethesda MD 20814 5625 Lambeth Rd Lot # Bethesda, MD 20814 County: Owner Name: Owner Phone:	Quote Name: 5625 Lambeth Rd, Bethesda MD 20814 Order Number: 060 Quote Number: 14185894 Order Type: Non-Installed Sales Wall Depth: Payment Terms: C.O.D. Tax Code: MARYLAND8 Cust Delivery Date: None Quoted Date: 6/8/2021 Contracted Date: Booked Date: Customer PO #:

Customer Notes: WOOD RESERVE WINDOWS****
 PRIMED WOOD EXTERIOR*****
 PREFINISHED WHITE INTERIOR*****
 7/8 ILT GRILLS*****
 NO JAMB EXTENSIONS*****
 NO BRICKMOULD OR SUBSILL*****
 SCREENS INCLUDED***

REVIEWED
By Michael Kyne at 11:10 pm, Jun 15, 2021

ALL SIZES ARE TO BE CONFIRMED*****
 PLEASE CONFIRM

Note: All Pella products are custom built for your specific project, designed for professional installation and
 It is the responsibility of the purchaser to verify all sizes and window attributes prior to ordering. Pella Mid-
 Installers will often have different preferences on how they measure or install windows and doors. Due to the
 measuring process.

 Initial

Please inspect all shipments immediately upon delivery. Missing and damage claims must be made within 72 hours of delivery or Pella Mid-Atlantic will not be responsible.

 Initial

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ements.
 ived in the

Customer: Ahmad Ghamarian

Project Name: 5625 Lambeth Rd, Bethesda MD 20814

Order Number: 060

Quote Number: 14185894

Line #	Location:	Attributes
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10 None Assigned

Pella® Reserve, Traditional, Casement Left, 20 X 36

Item Price	Qty	Ext'd Price
\$854.44	2	\$1,708.88



PK #
2089

Viewed From Exterior

1: Traditional, Non-Standard Size Non-Standard Size Left Casement
 Frame Size: 20 X 36
 General Information: Standard, Wood, Pine, 4 3/8", 4 3/16", No Certification
 Exterior Color / Finish: Primed
 Interior Color / Finish: Prefinished White Paint Interior
 Sash / Panel: Putty Glaze, Ogee, Standard
 Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
 Hardware Options: Wash Hinge Hardware, Fold-Away Crank, White, No Window Opening Control Device, No Limited Opening Hardware, No Integrated Sensor
 Screen: Full Screen, White, InView™
 Performance Information: U-Factor 0.27, SHGC 0.24, VLT 0.43, CPD PEL-N-39-19056-00002, Performance Class LC, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 11, Egress Does not meet typical United States egress, but may comply with local code requirements
 Grille: ILT, No Custom Grille, 7/8", Traditional (2W3H), Putty Glaze, Ogee
 Wrapping Information: No Exterior Trim, 4 3/16", 4 3/8", Factory Applied, Pella Recommended Clearance, Perimeter Length = 112".

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 By Michael Kyne at 11:10 pm, Jun 15, 2021

Rough Opening: 20 - 3/4" X 36 - 3/4"

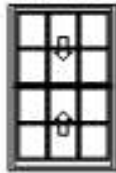
Customer Notes: VERIFY HINGING

Line #	Location:	Attributes
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15 None Assigned

Pella® Reserve, Traditional, Double Hung, 32 X 54

Price
365.44



PK #
2089

Viewed From Exterior

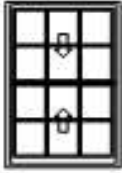
1: Traditional, Non-Standard Size Non-Standard Size Double Hung, Equal
 Frame Size: 32 X 54
 General Information: Standard, Luxury, Wood, Pine, 4 3/8", 4 3/16", No Certification
 Exterior Color / Finish: Primed, [REDACTED]
 Interior Color / Finish: Prefinished White Paint Interior
 Sash / Panel: Putty Glaze, Ogee, Standard, No Sash Lugs
 Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
 Hardware Options: Cam-Action Lock, White, No Window Opening Control Device, No Limited Op
 Screen: Full Screen, Standard EnduraClad, White, Standard, InView™
 Performance Information: U-Factor 0.29, SHGC 0.25, VLT 0.47, CPD PEL-N-234-00255-00001, Performance Class CW, PG 45, Calculated Positive DP Rating 45, Calculated Negative DP Rating 45, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements
 Grille: ILT, No Custom Grille, 7/8", Traditional (3W2H / 3W2H), Putty Glaze, Ogee
 Wrapping Information: No Exterior Trim, 4 3/16", 4 3/8", Factory Applied, Pella Recommended Clearance, Perimeter Length = 172".

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Rough Opening: 32 - 3/4" X 54 - 3/4"

Line #	Location:	Attributes
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20	None Assigned	Pella® Reserve, Traditional, Double Hung, 34 X 54	Item Price	Qty	Ext'd Price
			\$1,309.40	7	\$9,165.80



PK #
2089

Viewed From Exterior

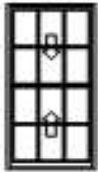
1: Traditional, Non-Standard Size Non-Standard Size Double Hung, Equal
 Frame Size: 34 X 54
 General Information: Standard, Luxury, Wood, Pine, 4 3/8", 4 3/16", No Certification
 Exterior Color / Finish: Primed, [REDACTED]
 Interior Color / Finish: Prefinished White Paint Interior
 Sash / Panel: Putty Glaze, Ogee, Standard, No Sash Lugs
 Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
 Hardware Options: Cam-Action Lock, White, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
 Screen: Full Screen, Standard EnduraClad, White, Standard, InView™
 Performance Information: U-Factor 0.29, SHGC 0.25, VLT 0.47, CPD PEL-N-234-00255-00001, Performance Class CW, PG 45, Calculated Positive DP Rating 45, Calculated Negative DP Rating 45, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements
 Grille: ILT, No Custom Grille, 7/8", Traditional (3W2H / 3W2H), Putty Glaze, Ogee
 Wrapping Information: No Exterior Trim, 4 3/16", 4 3/8", Factory Applied, Pella Recommended Clearance, Perimeter Length = 176".

Rough Opening: 34 - 3/4" X 54 - 3/4"

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 By Michael Kyne at 11:10 pm, Jun 15, 2021

Line #	Location:	Attributes
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25	None Assigned	Pella® Reserve, Traditional, Double Hung, 36 X 74	Item Price	Qty	Ext'd Price
			\$1,460.35	1	\$1,460.35



PK #
2089

Viewed From Exterior

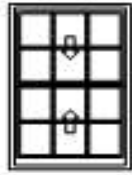
1: Traditional, Non-Standard Size Non-Standard Size Double Hung, Equal
 Frame Size: 36 X 74
 General Information: Standard, Luxury, Wood, Pine, 4 3/8", 4 3/16", No Certification
 Exterior Color / Finish: Primed, [REDACTED]
 Interior Color / Finish: Prefinished White Paint Interior
 Sash / Panel: Putty Glaze, Ogee, Standard, No Sash Lugs
 Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
 Hardware Options: Cam-Action Lock, White, No Window Opening Control Device, No Limited Open
 Screen: Full Screen, Standard EnduraClad, White, Standard, InView™
 Performance Information: U-Factor 0.29, SHGC 0.25, VLT 0.47, CPD PEL-N-234-00255-00001, P
 Rating 45, Calculated Negative DP Rating 45, Year Rated 08|11, Egress Meets Typical 5.7 sqft (E) (U
 Grille: ILT, No Custom Grille, 7/8", Traditional (3W2H / 3W2H), Putty Glaze, Ogee
 Wrapping Information: No Exterior Trim, 4 3/16", 4 3/8", Factory Applied, Pella Recommended Clea

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Rough Opening: 36 - 3/4" X 74 - 3/4"

Line #	Location:	Attributes
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Line #	Location:	Attributes	Item Price	Qty	Ext'd Price
30	None Assigned	Pella® Reserve, Traditional, Double Hung, 32 X 48	\$1,254.51	3	\$3,763.53



PK #
2089

Viewed From Exterior

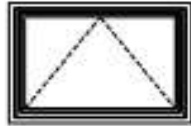
1: Traditional, Non-Standard Size Non-Standard Size Double Hung, Equal
 Frame Size: 32 X 48
 General Information: Standard, Luxury, Wood, Pine, 4 3/8", 4 3/16", No Certification
 Exterior Color / Finish: Primed, [REDACTED]
 Interior Color / Finish: Prefinished White Paint Interior
 Sash / Panel: Putty Glaze, Ogee, Standard, No Sash Lugs
 Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
 Hardware Options: Cam-Action Lock, White, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
 Screen: Full Screen, Standard EnduraClad, White, Standard, InView™
 Performance Information: U-Factor 0.29, SHGC 0.25, VLT 0.47, CPD PEL-N-234-00255-00001, Performance Class CW, PG 45, Calculated Positive DP Rating 45, Calculated Negative DP Rating 45, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements
 Grille: ILT, No Custom Grille, 7/8", Traditional (3W2H / 3W2H), Putty Glaze, Ogee
 Wrapping Information: No Exterior Trim, 4 3/16", 4 3/8", Factory Applied, Pella Recommended Clearance, Perimeter Length = 160".

Rough Opening: 32 - 3/4" X 48 - 3/4"

REVIEWED
 By Michael Kyne at 11:10 pm, Jun 15, 2021

Line #	Location:	Attributes	Item Price	Qty	Ext'd Price
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35	None Assigned	Pella® Reserve, Traditional, Awning, Vent, 33 X 24			
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PK #
2089

Viewed From Exterior

1: Traditional, Non-Standard Size Non-Standard Size Vent Awning
 Frame Size: 33 X 24
 General Information: Standard, Wood, Pine, 4 3/8", 4 3/16", No Certification
 Exterior Color / Finish: Primed
 Interior Color / Finish: Prefinished White Paint Interior
 Sash / Panel: Putty Glaze, Ogee, Standard
 Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
 Hardware Options: Wash Hinge Hardware, Fold-Away Crank, White, No Limited Opening Hardware, No Integ
 Screen: Full Screen, White, InView™
 Performance Information: U-Factor 0.27, SHGC 0.26, VLT 0.48, CPD PEL-N-40-07615-00002, Performance
 Rating 50, Calculated Negative DP Rating 50, Year Rated 11, Egress Not Applicable
 Grille: No Grille,
 Wrapping Information: No Exterior Trim, 4 3/16", 4 3/8", Factory Applied, Pella Recommended Clearance, Per

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Rough Opening: 33 - 3/4" X 24 - 3/4"

Customer Notes: NO GRILLS*****

Line #	Location:	Attributes	Item Price	Qty	Ext'd Price
40	None Assigned	TRFUELSURCHARGE - Fuel Surcharge - TRADE	\$25.00	1	\$25.00

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By Michael Kyne at 11:10 pm, Jun 15, 2021

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Montgomery County

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Thank You For Purchasing Pella® Products

PELLA WARRANTY:

Pella products are covered by Pella's limited warranties in effect at the time of sale. All applicable product warranties are incorporated into and become a part of this contract. Please see the warranties for complete details, taking special note of the two important notice sections regarding installation of Pella products and proper management of moisture within the wall system. Neither Pella Corporation nor the Seller will be bound by any other warranty unless specifically set out in this contract. However, Pella Corporation will not be liable for branch warranties which create obligations in addition to or obligations which are inconsistent with Pella written warranties.

Clear opening (egress) information does not take into consideration the addition of a Rolscreen [or any other accessory] to the product. You should consult your local building code to ensure your Pella products meet local egress requirements.

Per the manufacturer's limited warranty, unfinished mahogany exterior windows and doors must be finished upon receipt prior to installing and refinished annually, thereafter. Variations in wood grain, color, texture or natural characteristics are not covered under the limited warranty.

INSYNCTIVE PRODUCTS: In addition, Pella Insynctive Products are covered by the Pella Insynctive Products Software License Agreement and Pella Insynctive Products Privacy Policy in effect at the time of sale, which can be found at [Insynctive.pella.com](https://www.pella.com). By installing or using Your Insynctive Products you are acknowledging the Insynctive Software Agreement and Privacy Policy are part of the terms of sale.

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By Michael Kyne at 11:10 pm, Jun 15, 2021

Notice of Collection of Personal Information: We may collect your personal information when you interact with us. Under the California Consumer Privacy Act (CCPA), California residents have specific rights to request this information, request to delete this information, and opt out of the sharing or sale of this information to third parties. To learn more about our collection practices and your rights under the CCPA please visit our link <https://www.pella.com/california-rights-policy/> at [pella.com](https://www.pella.com).

ARBITRATION AND CLASS ACTION WAIVER ("ARBITRATION AGREEMENT")

YOU and Pella and its subsidiaries and the Pella Branded Distributor AGREE TO ARBITRATE ALL DISPUTES ARISING OUT OF OR RELATING TO YOUR PELLA PRODUCTS. You may opt out of this Arbitration Agreement, which are incorporated herein by reference, please visit www.pella.com/arbitration or call (877) 473-5527. D'ARBITRAGE ET RENONCIATION AU RECOURS COLLECTIF EN FRANÇAIS SEE PELLA.COM/ARBITRATION. DE ARBITRAJE Y RENUNCIA COLECTIVA ("acuerdo de arbitraje") EN ESPAÑOL VER PELLA.COM/ARBITRATION.

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Seller shall not be held liable for failure or delay in the performance of its obligations under this Agreement, if such performance is hindered or delayed by the occurrence of an act or event beyond the Seller's reasonable control (force majeure event), including but not limited to earthquakes, unusually severe weather and other Acts of God, fire, strikes and labor unrest, epidemics, riots, war, civil unrest, and government interventions. Seller shall give timely notice of a force majeure event and take such reasonable action to mitigate the impacts of such an event.

Product Performance Information:

U-Factor, Solar Heat Gain Coefficient (SHGC), and Visible Light Transmittance (VLT) are certified by the National Fenestration Rating Council (NFRC).

For more information regarding the finishing, maintenance, service and warranty of all Pella® products, visit the Pella® website at www.pella.com

Manufacturer stipulates that these ratings conform to applicable NFRC procedures for determining whole product performance. NFRC ratings are determined for a fixed set of environmental conditions and a specific product size. NFRC does not recommend any products and does not warrant the suitability of any product for any specific use.

Design Pressure (DP), Performance Class, and Performance Grade (PG) are certified by a third party organization, in many cases the Window and Door Manufacturers Association (WDMA). The certification requires the performance of at least one product of the product line to be tested in accordance with the applicable performance standards and verified by an independent party. The certification indicates that the product(s) of the product line passed the applicable tests. The certification does not apply to mulled and/or product combinations unless noted. Actual product results will vary and change over the products life.

For more performance information along with information on Florida Product Approval System (FPAS) Number and Texas Dept. of Insurance (TDI) number go to www.pella.com/performance.

REVIEWED

By Michael Kyne at 11:10 pm, Jun 15, 2021

APPROVED

Montgomery County

Historic Preservation Commission



Pella Mid-Atlantic, Inc.

QUOTE:

Due to unprecedented volatility in the market, home improvement materials pricing, due in part to supply chain shortages of resin, metals and other items, this quote is subject to change based on increases from Pella Corporation and our other suppliers. In turn, we cannot guarantee these prices until the project is purchased. As a valued partner we will do our very best to honor the original pricing but based on circumstances out of our control, this may not be always possible. The seller will not be responsible for delays due to labor troubles, fire, accidents, transportation, or other causes beyond its control.

CONTRACT:

This contract constitutes the sole and complete agreement between the purchaser and Pella Mid-Atlantic, Inc. the seller, and is subject to additional charges should changes be required. No statement, representation or agreement written or verbal, not appearing on the face of this Contract is binding on the seller. This contract is binding upon the seller only upon acceptance by an authorized executive of the company at the home office. All agreements are subject to prior sale, government regulations and requirements. If contract is not approved the purchaser will be notified within fourteen (14) days of contract date, otherwise the same is automatically approved.

MATERIALS TO BE FURNISHED:

Contract is based upon quantities, unit sizes, and unit numbers as sketched and listed on enclosed proposal, as well as equipment and fittings as specified. Drawings are as viewed from the exterior. Purchaser should carefully check quantities, sizes, and specifications. Standard jamb extension is applied, unless otherwise noted. The products ordered in this contract will be made and assembled to these specific requirements, and therefore this order is not cancelable, and these units may not be returned without a charge to be determined by the seller. All Pella wood windows and sliding glass doors are factory primed on the exterior (excludes Mahogany). Units with wood exterior, assembled by the seller will include: standard brickmould, subsill and outside mullion covers (unless otherwise noted herein).

DELIVERY:

CUSTOMER MUST FURNISH HELP TO UNLOAD AT TIME OF DELIVERY. Customer is responsible for furnishing map to job site. Seller will deliver the goods covered by this contract within a reasonable time from the date of contract ratification, unless otherwise expressly stated in this written contract.

REVIEWED
By Michael Kyne at 11:10 pm, Jun 15, 2021

Anticipated Delivery Date: _____

PAYMENT TERMS:

100% payment is due upon the execution of this Agreement.

Alternatively, a 50 % Deposit must be made upon execution of this Agreement.

(Internal Use Only): 50% Deposit in the amount of \$ _____ received on __ day of _____ 20__.

If a 50% deposit is made, the 50% remaining balance must be received from Purchaser not less than two days prior to Anticipated Delivery Date.

(Internal Use Only): 50% Balance received \$ _____ on __ day of _____ 20__.

NET 30 DAYS (if applicable): Net 30 day terms are subject to approval by Pella Mid-Atlantic, Inc. of customer's credit. A one and one half percent charge will apply to all payments over thirty (30) days past due computed on the basis of the balance outstanding at the end of each monthly statement. A ten percent late charge will apply to all payments over thirty (30) days past due computed on the basis of the balance outstanding at the end of each monthly statement.

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]

SELLER REMEDIES:

Seller reserves a security interest in the goods sold pursuant to this contract under the applicable provisions of article 9 -Secured Transactions-Uniform Commercial Code. Seller further reserves the right to perfect and enforce any statutory lien, including any mechanic's contractor's or materialmen's lien, arising under local law to secure payment of the account debt arising under this contract. In the event Seller employs an attorney-at-law after Buyer has defaulted in its payment as agreed under the terms of this contract, then Buyer shall pay Seller a collection fee in a fixed and stipulated sum equal to twenty percent (20%) of the outstanding principal account balance at time of buyers default, or two thousand five hundred dollars (\$2,500.00), whichever is greater, together with any court or litigation costs incurred by seller in collecting the account debt arising under this contract.

LIMITATION OF WARRANTIES AND DAMAGES:

Seller expressly warrants the goods sold under this contract will be as described in this contract. ALL OTHER WARRANTIES, INCLUDING THE IMPLIED WARRANTIES OF MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE, ARE EXPRESSLY DISCLAIMED. Buyer's remedy for breach shall be limited to replacement of the goods sold or to a return of the goods and a refund of their purchase price, at Buyer's option, which shall be the Buyer's sole remedy in the event of seller's breach in the performance of this contract. Seller shall not be liable for any consequential or incidental damages for breach of any warranty.

Project Checklist has been reviewed

Customer Name (Please print)

Pella Sales Rep Name (Please print)

Customer Signature

Pella Sales Rep Signature

Date

Date

Credit Card Approval Signature

Order Totals	
Taxable Subtotal	\$27,180.75
Sales Tax @ 6%	\$1,630.85
Non-taxable Subtotal	\$25.00
Total	\$28,836.60
Deposit Received	\$0.00
Amount Due	\$28,836.60

REVIEWED
By Michael Kyne at 11:10 pm, Jun 15, 2021

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 Montgomery County
 Historic Preservation Commission

