



## HISTORIC PRESERVATION COMMISSION

Marc Elrich  
*County Executive*

Robert K. Sutton  
*Chairman*

Date: June 26, 2023

### MEMORANDUM

TO: Rabbiah Sabbakhan, DPS Director Department of  
Permitting Services

FROM: Winnie Cargill  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1033978 - Foundation  
Repair

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** by the HPC Staff.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Shane and Areil Raybuck  
Address: 23812 Woodfield Road, Gaithersburg

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Winnie Cargill at 301.495.2108 or [winnie.cargill@montgomeryplanning.org](mailto:winnie.cargill@montgomeryplanning.org) to schedule a follow-up site visit.





## HISTORIC PRESERVATION COMMISSION

HAWP #: \_\_\_\_\_ at: \_\_\_\_\_

submitted on: \_\_\_\_\_

has been reviewed and determined that the proposal fits into the following category/categories:

Repair or replacement of a masonry foundation with new masonry materials that closely match the original in appearance;

Installation of vents or venting pipes in locations not visible from the public right-of-way;

New gutters and downspouts;

Removal of vinyl, aluminum, asbestos, or other artificial siding when the original siding is to be repaired and/or replaced in kind;

Removal of accessory buildings that are not original to the site or non-historic construction;

Repair or replacement of missing or deteriorated architectural details such as trim or other millwork, stairs or stoops, porch decking or ceilings, columns, railings, balusters, brackets shutters, etc., with new materials that match the old in design, texture, visual characteristics, and, where possible materials, so long as the applicant is able to provide one extant example, photographic evidence, or physical evidence that serves as the basis for the work proposed;

Construction of wooden decks that are at the rear of a structure and are not visible from a public right-of-way;

Roof replacement with -compatible roofing materials, or with architectural shingles replacing 3-Tab asphalt shingles;

Installation of storm windows or doors that are compatible with the historic resource or district;

Repair, replacement or installation of foundation-level doors, windows, window wells, and areaways, or foundation vents, venting pipes, or exterior grills that do not alter the character-defining features and/or the historic character of the resource;

Construction of fences that are compatible with the historic site or district in material, height, location, and design;

Fence is lower than 48" in front of rear wall plane;

Construction of walkways, parking pads, patios, driveways, or other paved areas that are not visible from a public right-of-way and measure no more than 150 square feet in size;

Replacement of existing walkways, parking pads, patios, driveways, or other paved areas with materials that are compatible with the visual character of the historic site and district and that are no greater than the dimensions of the existing hardscape;

Construction of small accessory buildings no larger than 250 square feet in size that are not visible from the public right-of-way;

Installations of skylights on the rear of a structure that will not be visible from the public right-of-way, and would not remove or alter character-defining roof materials;

Installation of solar panels and arrays in locations that are not readily visible from the public right-of-way or that are designed so as to have a minimal impact on the historic resource or the historic district (e.g., systems that are ground-mounted in areas other than the front or side yard of a corner lot, located on accessory or outbuildings, on non-historic additions, or on rear facing roof planes);

Installation of car charging stations in any location on a property or in the right-of-way;

Installation of satellite dishes;

Removal of trees greater than 6" in diameter (d.b.h.) that are dead, dying, or present an immediate hazard.

Removal of trees greater than 6" in diameter (d.b.h.) in the rear of the property that will not impact the overall tree canopy of the surrounding district or historic site;

Replacement tree required as a condition; and,

Other minor alterations that may be required by the Department of Permitting Services post-Commission approval that would have no material effect on the historic character of the property.

Staff finds the proposal complies with Chapter 24A, the Secretary of the Interior's Standards for Rehabilitation, and any additional requisite guidance. Under the authority of COMCOR No. 24A.04.01, this HAWP is approved by Christina Cargill on \_\_\_\_\_. The approval memo and stamped drawings follow.



FOR STAFF ONLY:  
HAWP# 1033978  
DATE ASSIGNED \_\_\_\_\_

# APPLICATION FOR HISTORIC AREA WORK PERMIT

HISTORIC PRESERVATION COMMISSION  
301.563.3400

**APPLICANT:**

SHANE & AREIL RAYBUCK

Name: \_\_\_\_\_  
23812 WOODFIELD RD  
Address: \_\_\_\_\_  
410-317-5383  
Daytime Phone: \_\_\_\_\_

E-mail: \_\_\_\_\_  
GAITHERSBURG 20882  
City: \_\_\_\_\_ Zip: \_\_\_\_\_  
00942950  
Tax Account No.: \_\_\_\_\_

**AGENT/CONTACT (if applicable):**

MICHELLE CLANCY

Name: \_\_\_\_\_  
PO BOX 310  
Address: \_\_\_\_\_  
4436107514  
Daytime Phone: \_\_\_\_\_

michelle@appliedandapproved.com  
E-mail: \_\_\_\_\_  
LISBON 21765  
City: \_\_\_\_\_ Zip: \_\_\_\_\_  
Contractor Registration No.: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE:** MIHP # of Historic Property \_\_\_\_\_

Is the Property Located within an Historic District? Yes/District Name \_\_\_\_\_  
No/Individual Site Name \_\_\_\_\_

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

23812 WOODFIELD RD  
Building Number: \_\_\_\_\_ Street: \_\_\_\_\_  
GAITHERSBURG PLEASANT VIEW LANE  
Town/City: \_\_\_\_\_ Nearest Cross Street: \_\_\_\_\_  
Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_ Parcel: \_\_\_\_\_

**TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:**

- |   |  |   |
|---|--|---|
| <input type="checkbox"/> New Construction   | <input type="checkbox"/> Deck/Porch          | <input type="checkbox"/> Shed/Garage/Accessory Structure            |
| <input type="checkbox"/> Addition           | <input type="checkbox"/> Fence               | <input type="checkbox"/> Solar                                      |
| <input type="checkbox"/> Demolition         | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting                      |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof                | <input type="checkbox"/> Window/Door                                |
|   |  | <input checked="" type="checkbox"/> Other: <u>FOUNDATION REPAIR</u> |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

6/9/23

Signature of owner or authorized agent

Date

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

**Owner's mailing address**  
SHANE & ARIEL RAYBUCK  
23812 WOODFIELD RD  
GAITHERSBURG MD 20882

**Owner's Agent's mailing address**  
MICHELLE CLANY  
PO BOX 310  
LISBON MD 21765

**Adjacent and confronting Property Owners mailing addresses**

SHERON DAVID W & STEPHANIE S  
23816 WOODFIELD RD  
GAITHERSBURG MD 20882-2822

HYRE ALEXANDER W  
23808 WOODFIELD RD  
GAITHERSBURG MD 20882

GREEN JONATHAN R ET AL  
  
23815 WOODFIELD RD  
GAITHERSBURG MD 20882-2823

ARIO MELISSA JEANE  
HUMBURG STEVEN  
  
23811 WOODFIELD RD  
GAITHERSBURG MD 20882-2823

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

SFD - FOUNDATION REPAIR. WORK TO BE DONE FROM THE OUTSIDE

Description of Work Proposed: Please give an overview of the work to be undertaken:

HOUSE FOUNDATION REPAIR WORK (UNDERPINNING)

**REVIEWED**

*By Winnie Cargill at 1:24 pm, Jun 26, 2023*



# VICINITY MAP (NOT TO SCALE)



# PERMIT PLANS FOR AN UNDERPINNING

## 23812 WOODFIELD ROAD GAITHERSBURG, MD 20882

### LIST OF DRAWINGS

| SHEET | DESCRIPTION                          |
|-------|--------------------------------------|
| C001  | COVER SHEET                          |
| C002  | GENERAL AND STRUCTURAL NOTES         |
| S001  | UNDERPINNING LOCATION PLAN & DETAILS |

### SCOPE OF WORK

- UNDERPIN EXISTING CRAWLSPACE FOUNDATION WALLS

### CODE SUMMARY

- 2018 INTERNATIONAL BUILDING CODE (IBC)
- 2018 INTERNATIONAL RESIDENTIAL CODE (IRC)

### COMPANY NAME:



### ENGINEER:

NADER ELHAJJ, P.E.

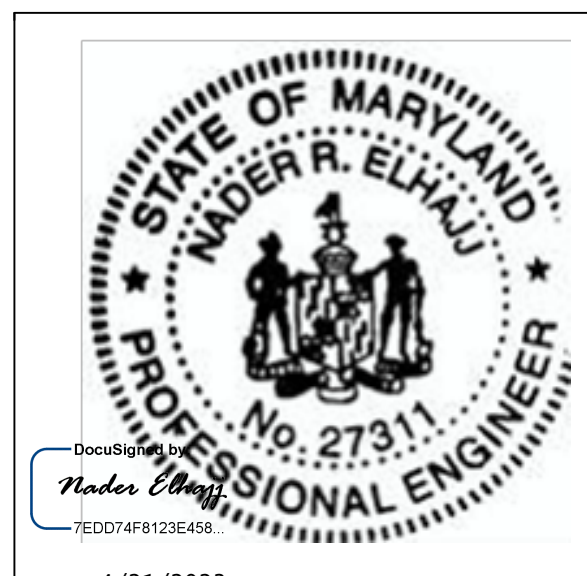
TEL: 703-615-2451  
 EMAIL: nelhajj@yahoo.com  
 ADDRESS: 3603 Mclean Ave. Fairfax, VA 22030

### NAME:

RAYBUCK SHANE & RAYBUCK ARIEL

### PROJECT ADDRESS:

23812 WOODFIELD RD. GAITHERSBURG, MD 20882

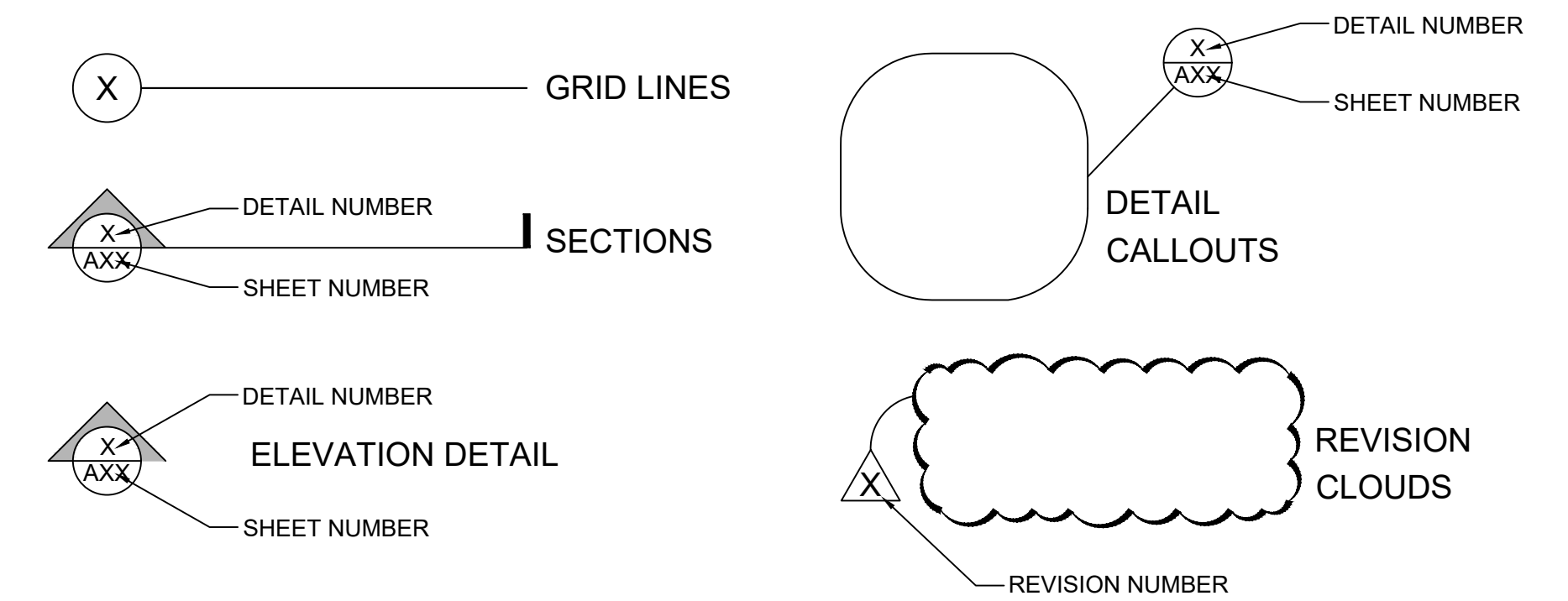


"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DUTY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 27311, EXPIRATION DATE: 04/22/2024.

### MATERIALS SYMBOLS

|  |                        |  |                  |  |               |
|--|------------------------|--|------------------|--|---------------|
|  | EARTH                  |  | BRICK            |  | WOOD ROUGH    |
|  | GRAVEL                 |  | STEEL            |  | WOOD-FINISHED |
|  | CONCRETE               |  | BATT INSULATION  |  | GLASS         |
|  | CONCRETE MASONRY UNITS |  | RIGID INSULATION |  | PLASTER       |

### DRAWINGS SYMBOLS



### PROJECT DATA

|                   |                |
|-------------------|----------------|
| MAP               | FW52           |
| GRID              | 0000           |
| PARCEL            | P453           |
| SUBDIVISION       | 0001           |
| USE               | RESIDENTIAL    |
| YEAR BUILT        | 1950           |
| STORIES           | 2              |
| BASEMENT          | NO             |
| TYPE              | STANDARD UNIT  |
| EXTERIOR          | FRAME          |
| LAND AREA         | 11,162 SQ.FT.  |
| LEGAL DESCRIPTION | RAYS ADVENTURE |

### AREAS

| EXISTING AREA |       |
|---------------|-------|
| 1.            | SQ.FT |
| 2.            | SQ.FT |
| PROPOSED AREA |       |
| 1.            | SQ.FT |
| 2.            | SQ.FT |

### ABBREVIATIONS

|                             |        |  |          |                             |        |                               |        |
|-----------------------------|--------|--|----------|-----------------------------|--------|-------------------------------|--------|
| Above finished floor        | AFF    | Engineer                                 | ENGR     | Material                    | MATL   | Roof                          | RF     |
| Acoustic                    | ACST   | Entrance                                 | ENTR     | Maximum                     | MAX    | Roofing                       | RFG    |
| Acoustic Panel Ceiling      | APC    | Equal                                    | EQ       | Mechanical                  | MECH   | Room                          | RM     |
| Addendum                    | ADD    | Equipment                                | EQUIP    | Membrane                    | MEMB   | Rubber                        | RBR    |
| Alternate                   | ALT    | Exhaust                                  | EXH      | Mezzanine                   | MEZZ   | Schedule                      | SCHED  |
| Aluminum                    | AL     | Existing                                 | EXIST    | Minimum                     | MIN    | Schematic                     | SCHEM  |
| Angle                       | L      | Expansion joint                          | EXP-JT   | Miscellaneous               | MISC   | Section                       | SECT   |
| Approximate                 | APPROX | Exposed                                  | EXP      | Mounted                     | MTD    | Service                       | SVCE   |
| Architecture, architectural | ARCH   | Exterior                                 | EXT      | Mounting                    | MTG    | "Sheet, sheeting"             | SHT    |
| Asbestos                    | ASB    | Fabricate                                | FAB      | Necessary                   | NEC    | Shower                        | SH     |
| Asphalt                     | ASPH   | Face of Stud                             | F. OF S. | Noise-reduction coefficient | NRC    | Siding                        | SDG    |
| Assistant                   | ASST   | Fiberglass-reinforced plastics           | FRP      | Nominal                     | NOM    | Similar                       | SIM    |
| Association                 | ASSN   | Finish                                   | FIN      | Non Combustible NC.         | NONCOM | Slope                         | SL     |
| Automatic                   | AUTO   | Finished Floor                           | FF       | North                       | N      | Sound-transmission class      | STC    |
| Average                     | AVG    | Fire Extinguisher                        | FE       | Not in Contract             | NIC    | South                         | S      |
| Base plate                  | BP     | Fire Extinguisher & Cabinet              | PEC      | Not to scale                | NTS    | Specification                 | SPEC   |
| Basement                    | BSMT   | Fire Retardant Treated                   | FRFT     | Not available               | NA     | Sprinkler                     | SPR    |
| Beam                        | BM     | Fireproof                                | FP       | Number                      | NO     | Square                        | SQ     |
| Bearing                     | BRG    | Fixture                                  | FXTR     | Office                      | OFF    | Stainless steel               | SS     |
| Bedroom                     | BR     | Flange                                   | FLG      | On center                   | OC     | Standard                      | STD    |
| Benchmark                   | BM     | Floor                                    | FL       | Opening                     | OPNG   | Standpipe                     | SP     |
| Board                       | BD     | Floor drain                              | FD       | Opposite                    | OPP    | Steel                         | STL    |
| Boiler                      | BLR    | Flooring                                 | FLG      | Outside diameter            | OD     | Storage                       | STOR   |
| Bottom                      | BOT    | Fluorescent                              | FLUOR    | Overall                     | OA     | Structural Glazed Facing Tile | SGFT   |
| Brick                       | BRK    | Footing                                  | FTG      | Overhead                    | O/HOT  | STRUCT                        | STRUCT |
| Building line               | BL     | Foundation                               | FDN      | Page                        | P      | Structural, structure         | STRUCT |
| Building                    | BLDG   | Furnish(ed), furniture                   | FURN     | Painted                     | PTD    | Substitute                    | SUBST  |
| Built-up-roof               | BUR    | Furring                                  | FURR     | Pair                        | PR     | Surface                       | SURF   |
| Cabinet                     | CAB    | Gage (gauge)                             | GA       | Panel                       | PNL    | Suspend(ed)                   | SUSP   |
| Catalog                     | CAT    | Galvanized(d)                            | GALV     | Perforate(d)                | PERF   | Switch                        | SW     |
| Ceiling height              | CH     | Galvanized Iron                          | GALVI    | Permanent                   | PERM   | Symmetrical                   | SYM    |
| Ceiling                     | CLG    | Glazed Wall Tile                         | GWT      | Perpendicular               | PERP   | System                        | SYS    |
| Center                      | CTR    | Grade                                    | GR       | Perpendicular               | PERP   | Tackboard                     | TB     |
| Centerline                  | CL     | Gravel                                   | GVL      | Place                       | PLC    | Telephone                     | TEL    |
| Clear                       | CLR    | Gypsum Wallboard                         | GWB      | Plate                       | PL     | Television                    | TV     |
| Closet                      | CLO    | Gypsum                                   | GYP      | Plumbing                    | PLMB   | Temporary                     | TEMP   |
| Coated                      | CTD    | Hardware                                 | HDW      | Plywood                     | PLYWD  | Thick                         | THK    |
| Cold rolled                 | COL    | Heating ventilating and air conditioning | HVAC     | Point                       | PT     | Through                       | THRU   |
| Column                      | CO     | Height                                   | HGT      | Precast                     | PRCST  | Top and bottom                | T&B    |
| Company                     | CO     | Height                                   | HGT      | Prefabricated               | PREFAB | Top chord                     | TC     |
| Composition                 | COMP   | Hollow Metal                             | HMT      | Preliminary                 | PRELIM | Top of Masonry Parapet        | TMPP   |
| Concrete Masonry Unit       | CMU    | Horizontal                               | HORIZ    | Preparation, prepare        | PREP   | Top of Bearing                | T&B    |
| Concrete                    | CONC   | Included(e), inclusive                   | INCL     | Program                     | PRGM   | Top of Steel                  | T.O.S. |
| Construction joint          | CJ     | Incorporated                             | INC      | Projection Screen           | PS     | Topping                       | TOPG   |
| Construction                | CONSTR | Information                              | INFO     | Project                     | PROJ   | Total                         | TOT    |
| "Continuous, Continuous"    | CONT   | Inside diameter                          | ID       | Property                    | PROP   | Transformer                   | TRFM   |
| Corridor                    | CORR   | Install(ed), installation                | INSTL    | Public Address              | PA     | Transom                       | TRNSM  |
| Dampproofing                | DP     | Insulation                               | INSUL    | Quality control             | QC     | Transparent                   | TRNS   |
| Degree                      | DEG    | Interior                                 | INT      | Quantity                    | QAL    | Tread                         | TRD    |
| Department(al)              | DEPT   | Janitor                                  | JAN      | Quantity                    | QTY    | Threshold                     | THRESH |
| Detail                      | DET    | Joint                                    | JT       | Radius                      | RAD    | Typical                       | TYP    |
| Diagonal                    | DIAG   | Joint J.                                 | JST      | Rain Leader                 | RL     | Underground                   | UG     |
| Diameter                    | DIA    | Laboratory                               | LAB      | Received                    | RCVD   | Underwriters Laboratories     | UL     |
| Dimension                   | DM     | Lavatory                                 | LAV      | Receptacle                  | RCPT   | Unfinished                    | UNF    |
| Dishwasher                  | DW     | Left Hand                                | LH       | Receptionist                | RECP   | Unit Ventilator               | UV     |
| Dispenser                   | DISP   | Left                                     | L        | Recess(ed)                  | REC    | Unless Otherwise Noted        | UON    |
| Door                        | DR     | Length                                   | LG       | Refer, reference            | REF    | Vertical                      | VERT   |
| Double                      | DBL    | Light                                    | LT       | Refrigerate, refrigerator   | REFR   | Vestibule VEST.               | V      |
| Double-hung                 | DH     | Machine                                  | MACH     | Reinforce                   | REINF  | Water closet                  | WC     |
| Down                        | DN     | Maintenance                              | MAINT    | Reinforced concrete         | RC     | Waterproof                    | WP     |
| Downspout                   | DS     | Manager                                  | MGR      | Remove                      | RMV    | Weight                        | WT     |
| Drain                       | DR     | Manual                                   | MNL      | Repair                      | RPR    | Welded                        | WLD    |
| Drawing                     | DWG    | Manufacturing                            | MFG      | Required                    | REQD   | Welded Wire Mesh              | WWM    |
| Each                        | EA     | Markerboard                              | MB       | Revise, revision            | REV    | With                          | W      |
| East                        | E      | Masonry opening                          | MO       | Right hand                  | RH     | Without                       | WO     |
| Elevation                   | EL     | Masonry                                  | MSNRY    | Road                        | RD     | Wood                          | WD     |
| Elevator                    | ELEV   | Master bedroom                           | MBR      | Roof Drain                  | RD     |                               |        |

### GENERAL NOTES

- THESE PLANS ARE DONE TO OBTAIN A BUILDING PERMIT (BY OTHERS).
- AREA SQUARE FOOTAGE CALCULATIONS FOR THE ADDITION OR HOUSE (IF DONE) WERE CALCULATED BASED ON PLAN DIMENSIONS AND MAY VARY FROM THE FINISHED SQUARE FOOTAGE OF THE AS BUILT CONDITIONS.
- ZONING, SETBACKS, BUILDING HEIGHTS, HOA RESTRICTIONS & REQUIREMENTS, RPA'S, BRL'S, SITE OR GRADING PLANS, DRAINAGE PLANS, & SOIL TESTS ARE NOT WITHIN THE SCOPE OF THESE PLANS AND MUST BE CHECKED FIRST BY OTHERS.
- SIZE, LOCATION AND DIRECTION OF ALL EXISTING STRUCTURES HAVE BEEN TAKEN FROM THE BEST AVAILABLE INFORMATION AND EVIDENCE. CONTRACTOR SHALL CONFIRM PRIOR TO BEGINNING WORK.

### DISCLAIMERS

- INFORMATION PROVIDED BY OTHERS. ELENCON LLC MAY USE SUCH INFORMATION, REQUIREMENTS, REPORTS, DATA, SURVEYS, AND INSTRUCTIONS IN PERFORMING ITS SERVICES AND IS ENTITLED TO RELY UPON THE ACCURACY AND COMPLETENESS THEREOF. ELENCON OR NADER ELHAJJ SHALL NOT BE HELD RESPONSIBLE OR LIABLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUSLY OR INCOMPLETE INFORMATION PROVIDED BY THE CLIENT OR THE CLIENT'S CONSULTANTS, CONTRACTORS OR OTHERS.
- ANY PARTY OR INDIVIDUAL MAKING CHANGES TO THE STRUCTURAL DRAWINGS WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE STRUCTURAL ENGINEER, ELENCON LLC, WILL ASSUME FULL RESPONSIBILITY FOR THE STRUCTURAL DOCUMENTATION IN ITS ENTIRETY, AND ELENCON LLC CERTIFICATION OF THIS PROJECT WILL BECOME NULL AND VOID.
- THE CLIENT AGREES, TO THE FULLEST EXTENT PERMITTED BY LAW, TO INDEMNIFY AND HOLD HARMLESS ELENCON LLC, ITS OFFICERS, DIRECTORS, EMPLOYEE, CONTRACTORS AND SUBCONTRACTORS (COLLECTIVELY, CONSULTANTS) AGAINST ALL DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, TO THE EXTENT CAUSED BY THE CLIENT'S NEGLIGENT ACTS IN CONNECTION WITH THE PROJECT AND THE ACTS OF ITS CONTRACTORS, SUBCONTRACTORS OR CONSULTANTS OR ANYONE FOR WHOM THE CLIENT IS LEGALLY LIABLE.

CALL MISS UTILITY BEFORE ANY DIGGING OR EXCAVATIONS.

### DESIGN LOADS

|                                    |           |
|------------------------------------|-----------|
| FLOOR LIVE LOAD                    | 40 PSF    |
| ROOF LIVE LOAD                     | 30 PSF    |
| FLOOR DEAD LOAD                    | 10 PSF    |
| STAIR LOAD                         | 40 PSF    |
| PRESUMPTUOUS SOIL BEARING CAPACITY | 1,500 PSF |
| SOIL LATERAL LOAD                  | 60 PCF    |
| LIVE LOAD DEFLECTION               | L/360     |
| TOTAL LOAD DEFLECTION              | L/240     |

### LOCAL DESIGN CRITERIA

|                                 |                    |
|---------------------------------|--------------------|
| EARTHQUAKE SPECIAL RESPONSE     | SS=0.16 / S1=0.053 |
| WEATHERING PROBABILITY          | SEVERE             |
| TERMITE INFESTATION PROBABILITY | MODERATE TO HEAVY  |
| DECAY PROBABILITY               | SLIGHT TO MODERATE |
| FLOOD HAZARD                    | 29038              |
| WINTER DESIGN TEMPERATURE       | 13°F               |
| AIR FREEZING INDEX              | 300                |
| MEAN ANNUAL TEMPERATURE         | 55°F               |
| WIND SPEED                      | 115 MPH            |
| SDC                             | B                  |
| GROUND SNOW LOAD                | 30 PSF             |
| FROST LINE DEPTH                | 30"                |
| ICE SHIELD UNDERLAYMENT         | REQUIRED           |

### LEGEND

|  |  |
|--|--|
|  | MAIN ELECTRIC PANEL                            |
|  | SMOKE/CARBON MONOXIDE DETECTOR WIRED IN SERIES |
|  | SEWER PIPE                                     |
|  | HOT WATER HEATER                               |
|  | ROUND STEEL POST                               |
|  | GAS METER                                      |
|  | WATER SHUT OFF VALVE                           |
|  | SINGLE POLE SWITCH                             |

### REVISION

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| △   |      |             |

DATE: APRIL 17, 2023

DRAWN BY: N.E

SCALE: AS NOTED

### SHEET TITLE

# COVER SHEET

© THE DRAWINGS AND IDEAS CONTAINED HEREIN ARE THE PROPERTY OF NADER ELHAJJ, P.E. THEIR REPRODUCTION OR USE IN WHOLE OR IN PART IS STRICTLY PROHIBITED WITHOUT EXPRESS WRITTEN PERMISSION.

SHEET NO.

# C001

# GENERAL & STRUCTURAL NOTES

## GENERAL REQUIREMENTS

- The conditions and assumptions stated in these documents shall be verified by the Contractor. In the event of a discrepancy between these plans and specifications and as-built conditions, the Contractor shall notify the Designer/engineer/architect in writing of the discrepancy.
- Contractor shall have a copy of the approved plans on site at all times.
- Contractor to provide any temporary bracing and shoring where required. Temporary bracing shall remain in place until permanent connections and structure are installed and structure is stabilized.
- In accordance with generally accepted construction practices, the contractor shall be solely responsible for conditions of the job site including safety of all persons and property during performance of the work. This requirement will apply continuously and not be limited to normal working hours.
- All work shall conform to all applicable building codes, ordinances, and regulations as adopted by the local jurisdiction.
- Details noted as typical (Typ.) shall apply at all similar conditions unless otherwise noted.
- Contractor shall be responsible for means, methods, techniques and procedures employed in the performance of work on or about the job site.
- The contractor shall coordinate and verify all work performed by subcontractors.
- Where applicable civil, structural, plumbing, mechanical, electrical, landscape drawings are supplemental to the architectural drawings the contractor shall review all drawings and report any discrepancies or omissions to the architect for clarification prior to commencing or continuing any work.
- The contractor shall assume sole and complete responsibility for job site safety conditions during the course of construction of the project and this requirement shall apply continuously and not be limited to normal working hours, the contractor shall defend, indemnify, and hold harmless the engineer and the architect from any and all liability, real, or alleged, in connection with performance of work on this project.
- The structure is designed as a stable unit after all components are in place. the contractor shall provide all shoring and bracing necessary to ensure the stability of any and all parts of the building during construction.
- Unless specifically shown or noted on the drawings, no structural member shall be cut, notched, bored, or otherwise modified without permission of the designer/engineer/architect.
- Neither the engineer's or architect's review nor approval of the shop drawings shall relieve the general contractor from responsibility for deviations from drawings or specifications unless the engineer or the architect are informed (in writing) of such deviations at the time of submission, nor shall it relieve him of responsibility for errors of any sort in the shop drawings.
- Details are not intended to show method and manner of accomplishing the work. Minor modifications may be required to suit the job dimensions or conditions and shall be included as part of the work. Engineer's or Architect's approval is required prior to proceeding with deviation from details.
- Contractor shall be responsible for verifying the exact location of all utility lines (where required).
- General contractor to remove and dispose of all construction debris off site.

## EARTH WORK & FOUNDATIONS

- Soil bearing value at the bottom of all footings is assumed to be 1500 psf.
- Unless otherwise noted, footings shall extend a minimum of 12" into original undisturbed soil and a minimum of 30" below finished grade or compacted fill (frost line).
- Where required, step footings with ratio of 2 horizontal to 1 vertical is permitted.
- Footings within 5 feet of existing house footings shall be at the same depth as existing footings.
- All soil fill material shall be approved by a licensed professional engineer prior to placement. Material to be free from organic material, trash, muck, concrete, asphalt or other deleterious substances. Prior to placing fill, the existing surface shall be cleared of all refuse or organic materials. Fill material shall be placed in layers not to exceed 8" and shall be compacted to min. 95% of the dry max. density as determined by ASTM D698.
- The water table shall be a minimum 2'-0" below the bottom of all footings and slabs.
- No footings or slabs shall be placed on or in marine clay, peat or other organic materials.
- Footings shall not be cast against frozen, wet, or loose ground.
- All footing excavations shall be inspected by the building official or an approved third party inspector prior to placing of any concrete.
- All bearing strata shall be adequately drained prior to placing of any concrete. Clay, if found, must be removed and replaced with suitable fill at least 2 feet below the footing.

## CONCRETE

- Concrete shall have min. 28-day compressive strength (f'c) of 3500 psi.
- Concrete shall be designed, specified & poured in accordance with ACI-318, ACI 301 & ACI 332.
- Concrete exposed to weather to be air entrained. All concrete work shall be protected from freezing for not less than 48 hours after installation and shall not be constructed below 40 °F without precautions necessary to prevent freezing. No antifreeze admixtures may be added to the concrete without written approval of a licensed professional engineer.
- All reinforcing steel shall conform to ASTM A-615 Grade 60. Support bars and all required accessories shall be furnished in accordance with C.R.S.I. standards. All reinforcing to be spliced a minimum of 30 bar diameters.
- U.N.O. provide clear distance to outermost reinforcing bars as follows:
 

|                                    |                |
|------------------------------------|----------------|
| Footings Cast Against The Ground:  | 3" from bottom |
| Exterior Wall With Formed Surfaces | 2"             |
| Slabs Exposed To Weather           | 1-1/2"         |

## REINFORCING STEEL

- Reinforcing steel shall be deformed bars conforming to ASTM A615 Welded wire fabric shall conform to ASTM A185.
- All steel reinforcement : 60 Fy = KSI.
- Detailing ,fabricating and placing of reinforcement Steel shall be in accordance with ACI 315- "Manual of Standard Practice for Detailing Reinforced Concrete Structures."
- All reinforcing bars which intercept perpendicular elements shall terminate in hooks ,(2) placed two inches clear from outer face of adjoining structural member.

## FASTENERS

- All fasteners in exterior applications shall be hot-dipped galvanized.
- Anchor bolts shall be S.R.E 1/2" diameter per ASTM A307.
- Joist hangers shall be used to support all purlins, joists, and beams not framed over supporting members unless noted otherwise.
- Machine bolt and carriage bolt holes in wood shall be drilled 1/16" larger than diameter of the bolt.
- Lag screws shall be square head, of structural grade steel, and shall be placed with washers under thread.
- Use Simpson Strong-Tie SDW truss-ply screws for fastening built-up wood columns together. Follow Simpson truss-ply schedule for installation number and type of fasteners.

## UNDERPINNING

- Underpinning plans and details are designed for specific installation sequence as noted on these plans. any alternative approach shall include drawings and a detailed sequence for the alternative underpinning system.
- These notes are to be used in conjunction with the typical underpinning details shown on sheet S001.
- Bottom of existing foundation wall footing elevations are approximate and will require field verification by the contractor prior to beginning work. Notify engineer immediately if field conditions differ from design documents.
- Underpinning shall be installed by the lagged approach pit and dug shaft method. This method requires installation of underpinning shafts in an alternating sequence as shown on sheet S001. The dug shafts shall be limited to 4' in length and the soil remaining between shafts in order to maintain the integrity of the existing foundations.
- The bottom of underpinning shall bear on on subgrade having a bearing capacity equal to or greater than the allowable soil bearing pressure as indicated in these plans.
- Subgrade inspection(s) and underpinning sequence inspection (s) shall be done for each underpinning pier.

## COMPANY NAME:



## ENGINEER:

NADER ELHAJJ, P.E.

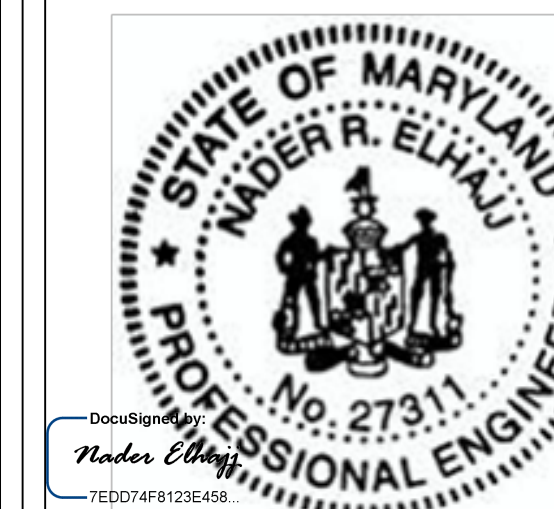
**TEL.:** 703-615-2451  
**EMAIL:** nelhajj@yahoo.com  
**ADDRESS:** 3603 Mclean Ave.  
 Fairfax, VA 22030

## NAME:

RAYBUCK SHANE &  
RAYBUCK ARIEL

## PROJECT ADDRESS:

23812 WOODFIELD RD.  
GAITHERSBURG, MD 20882



\*PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DUTY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 27311, EXPIRATION DATE: 04/22/2024.

## REVISION

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
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**DATE:** APRIL 17, 2023  
**DRAWN BY:** N.E  
**SCALE:** AS NOTED

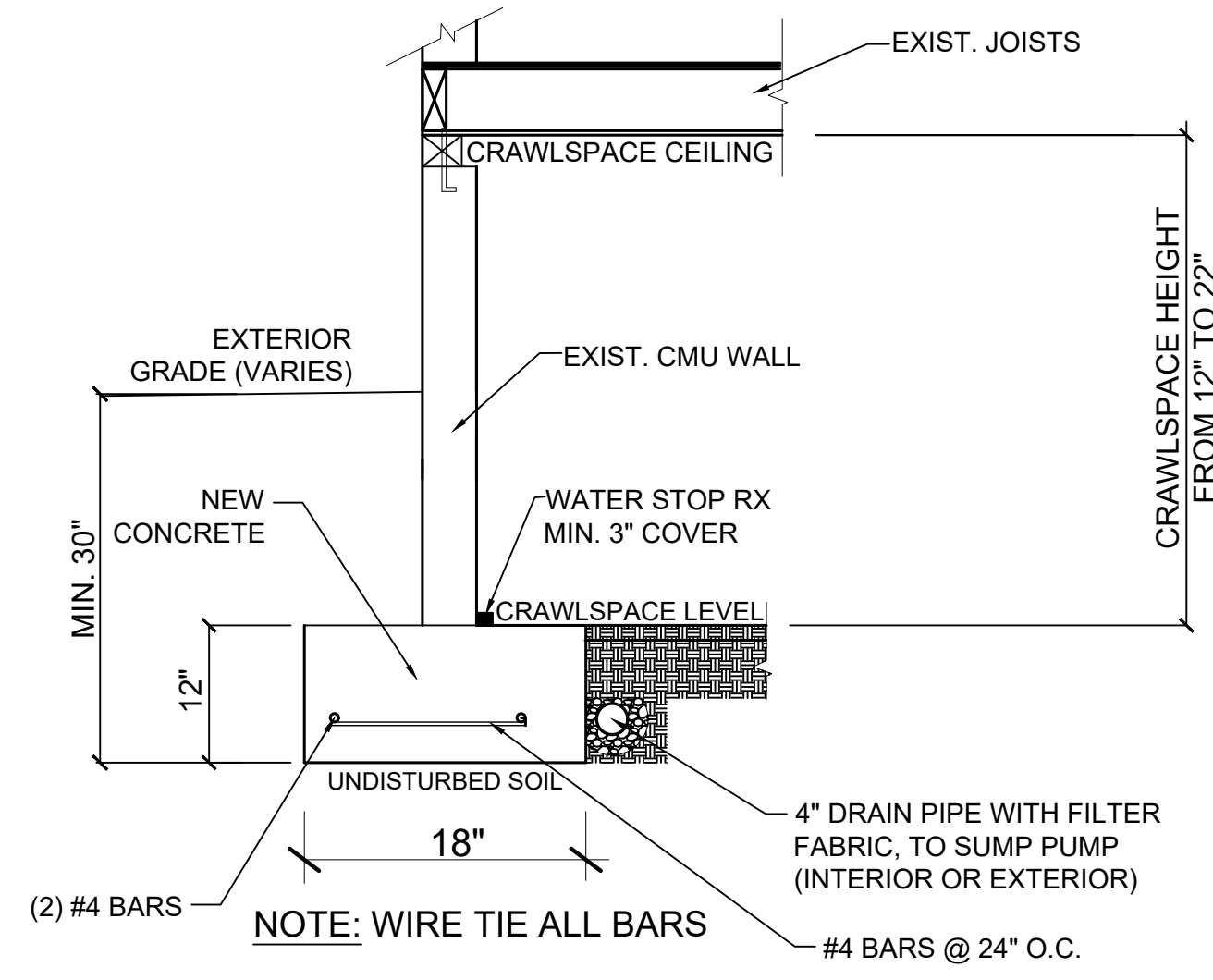
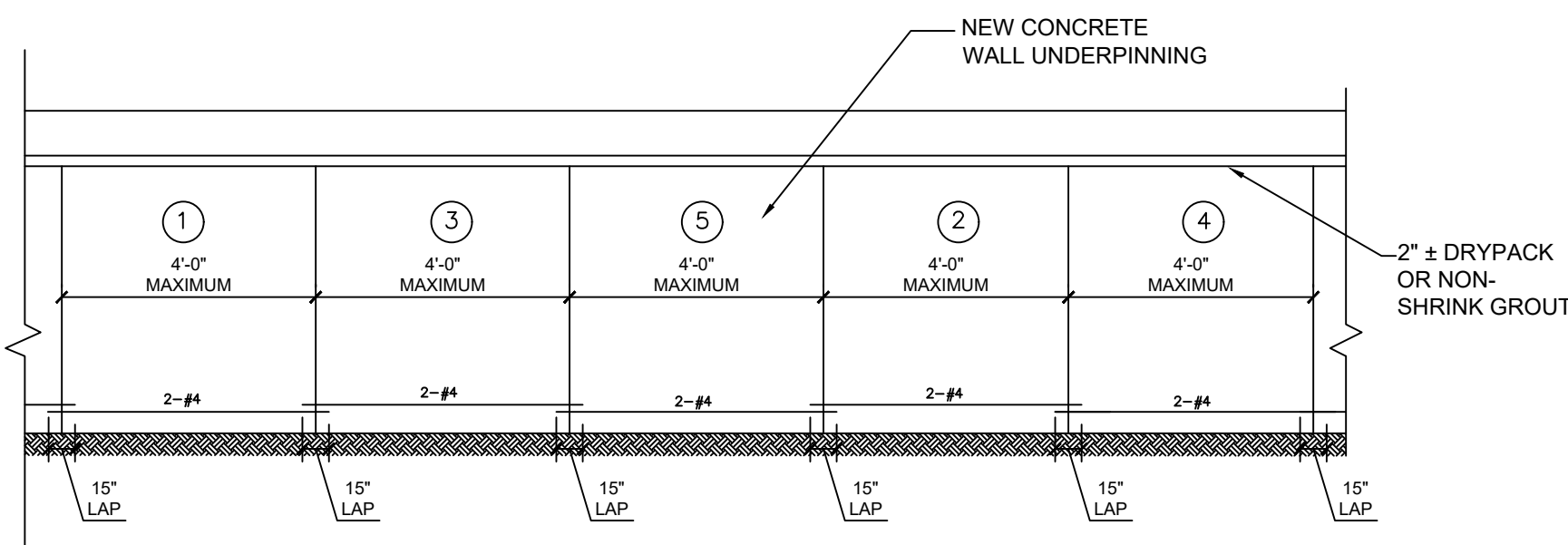
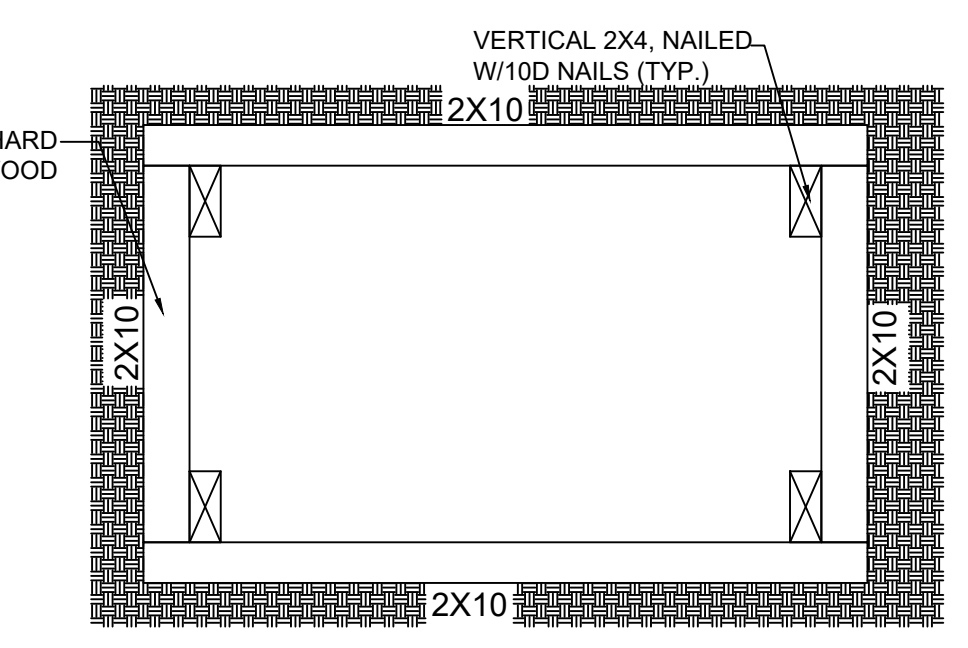
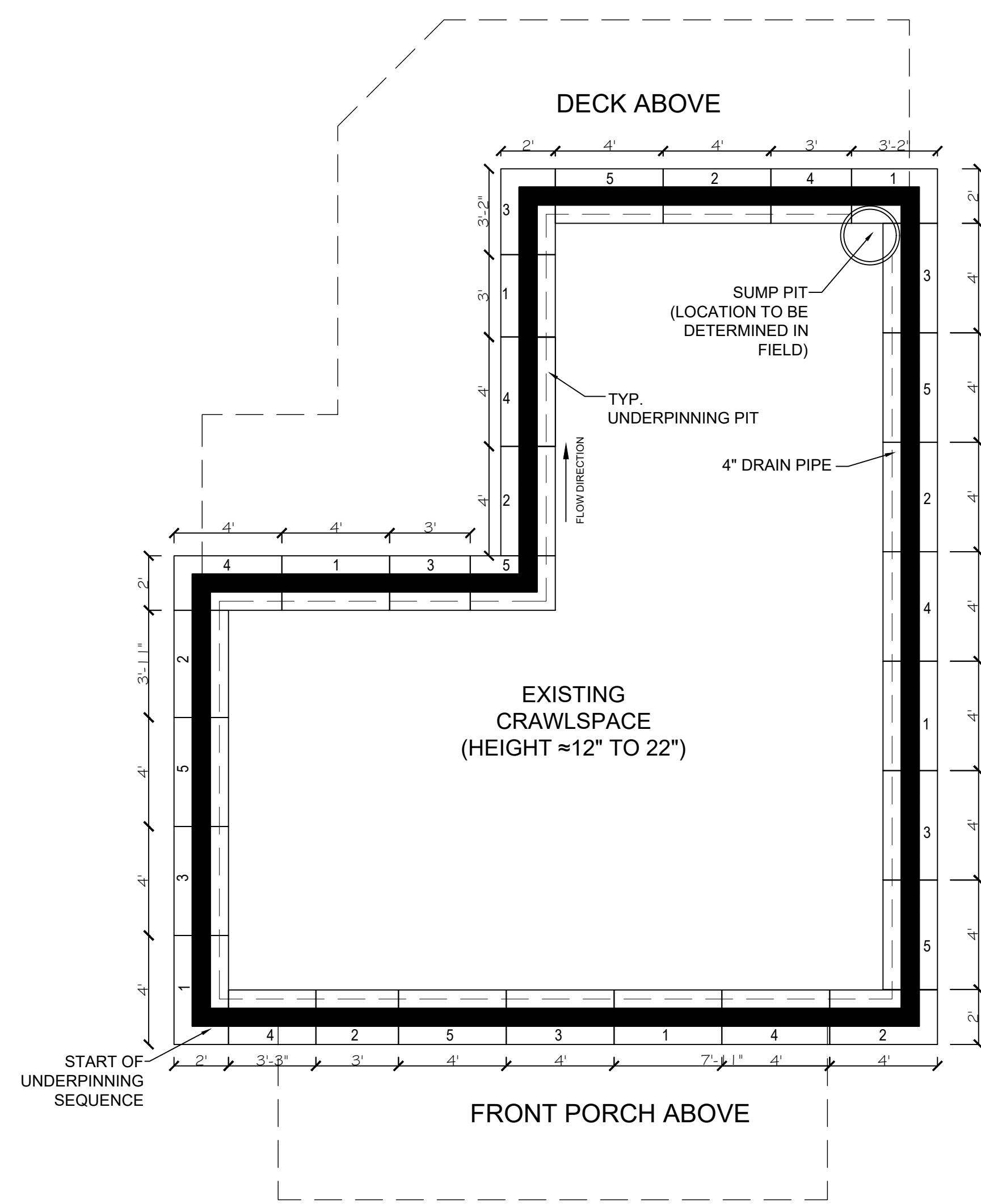
## SHEET TITLE

# GENERAL & STRUC. NOTES

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## SHEET NO.

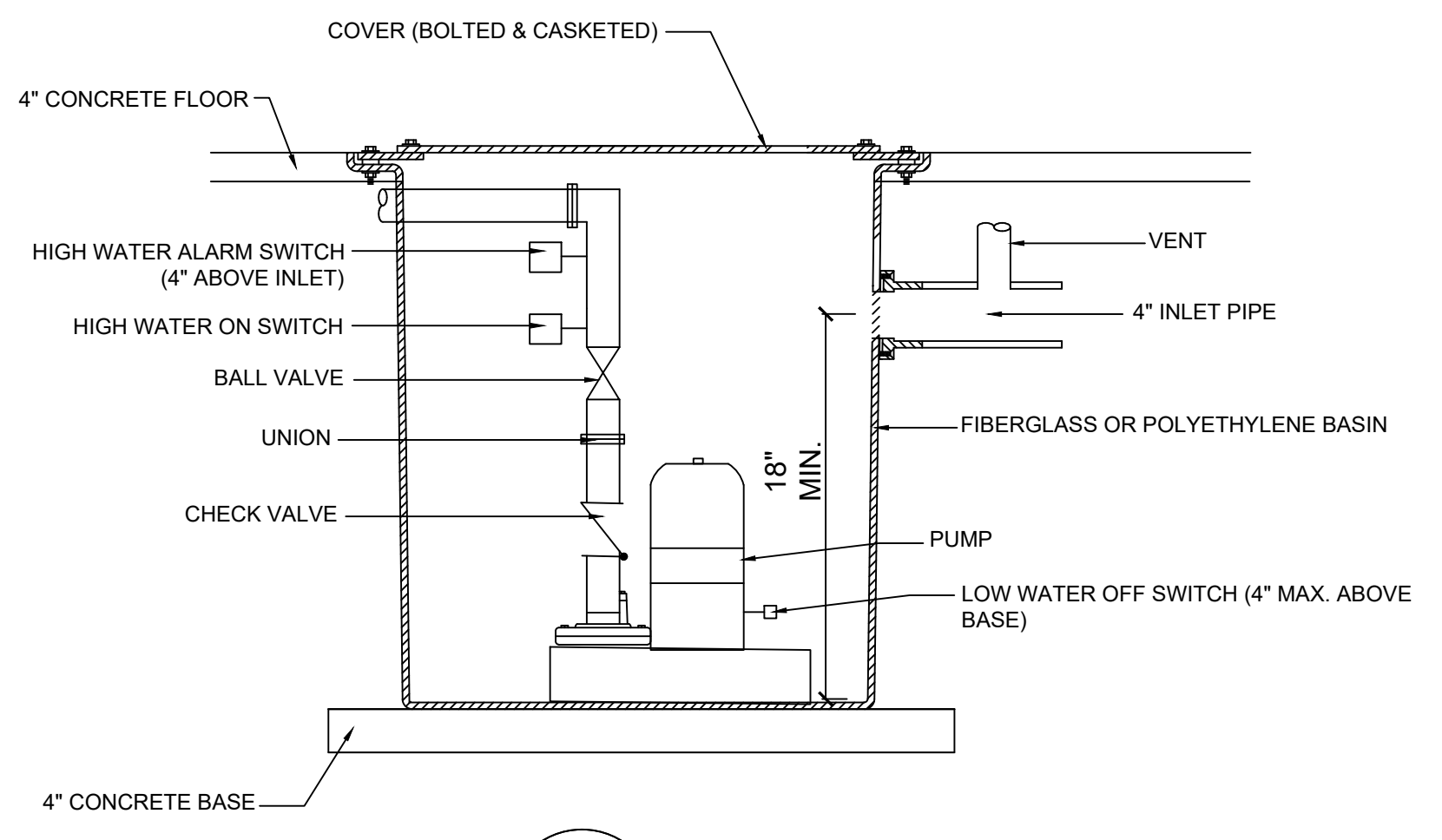
# 0002



**REVIEWED**  
By Winnie Cargill at 1:28 pm, Jun 26, 2023

APPROVED  
Montgomery County  
Historic Preservation Commission

*Robert A. ...*



- NOTE:
1. THE SUMP PIT SHALL BE NOT LESS THAN 18 INCHES (457 MM) IN DIAMETER AND 24 INCHES (610 MM) DEEP, UNLESS OTHERWISE APPROVED.
  2. THE PIT SHALL BE ACCESSIBLE AND LOCATED SO THAT DRAINAGE FLOWS INTO THE PIT BY GRAVITY.
  3. THE SUMP PIT SHALL BE CONSTRUCTED OF TILE, CONCRETE, STEEL, PLASTIC OR OTHER APPROVED MATERIALS.
  4. THE PIT BOTTOM SHALL BE SOLID AND PROVIDE PERMANENT SUPPORT FOR THE PUMP.
  5. THE SUMP PIT SHALL BE FITTED WITH A GAS-TIGHT REMOVABLE COVER THAT IS INSTALLED ABOVE GRADE LEVEL OR FLOOR LEVEL, OR NOT MORE THAN 2 INCHES (51 MM) BELOW GRADE OR FLOOR LEVEL.
  6. THE COVER SHALL BE ADEQUATE TO SUPPORT ANTICIPATED LOADS IN THE AREA OF USE.
  7. THE SUMP PIT SHALL BE VENTED IN ACCORDANCE WITH CHAPTER 31 PF THE IRC.

**UNDERPINNING SEQUENCE AND EXECUTION**

1. Underpin of wall shall be of concrete having a 28-day compressive strength of 3,500 psi.
2. Underpinning shall be continuous along the walls and bear on undisturbed soil.
3. The underpinning sequence shall be as follows: 1, 3, 5, 2, 4. The spacing between the units shall be no more than 48". Adjacent units shall not be placed within 1 day of each other.
4. Contractor shall review the construction documents for any conflicts with the existing conditions before proceeding with the underpinning work. Contractor shall protect all existing structural and architectural building elements and utilities/services from damage during underpinning work.
5. Follow the sequence of underpinning in the direction specified for each sequence group. Do not move to the next sequence group until all segments in the sequence undertaken are underpinned.
6. Complete all segments marked "1" first, followed by "2" second, followed by "3" third, followed by "4" fourth, followed by "5" last. Do not open pits in other sequence group until the segments undertaken has been completed, cured, dry packed and able to support the existing wall and the loads carried by it.
7. Unstable excavations shall be braced/supported immediately.
8. Excavation shall be limited to the segment undertaken. If soft or weak soils are encountered at elevation of bottom of proposed underpinning footing, undercut and replace with #57 stone or gravel or approved granular fill SM or better. Do not excavate the entire crawlspace in the beginning.
9. Excavated earth shall be removed from the site. If stored on the site, it shall be stockpiled away from the exterior walls of the house such that it does not obstruct the free drainage of storm water.
10. For segment to segment dowel installation footing and wall segments, drill holes in the existing earth in both sides of the footing segments undertaken if the earth is present on both sides and on one side if the earth is present on one side of the segments undertaken. Protect part of the dowels in dirt with a plastic wrap which shall be removed prior to placing concrete in adjacent segment. Thoroughly clean surfaces of underpinned footings and walls segments already completed and to be in contact with new work new segment, dry pack, isolation joint materials, etc.) of all loose materials and dirt. Place reinforcement including dowels, construction joint keys between segments, RX water stops and dowels for the segments undertaken. place, vibrate and consolidate concrete to fill all voids. Place enough concrete to make sure that the void space on the adjoining neighbor's side is completely filled.
11. Dry packing shall proceed only 24 hours minimum after concrete pour for the segments.
12. Repeat the process for each segment until underpinning of all segments is completed.
13. Then place the perimeter drain (with clean outs as needed). The drain shall be connected to a sump pump or shall drain to daylight.

COMPANY NAME:



ENGINEER:

NADER ELHAJJ, P.E.  
TEL.: 703-615-2451  
EMAIL: nelhajj@yahoo.com  
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Fairfax, VA 22030

NAME:

RAYBUCK SHANE &  
RAYBUCK ARIEL

PROJECT ADDRESS:

23812 WOODFIELD RD.  
GAITHERSBURG, MD 20882



\*PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DUTY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 27311, EXPIRATION DATE: 04/22/2024.

| REVISION |      |             |
|----------|------|-------------|
| NO.      | DATE | DESCRIPTION |
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|          |      |             |
|          |      |             |

DATE: APRIL 17, 2023  
DRAWN BY: N.E. SCALE: AS NOTED

SHEET TITLE  
**UNDERPINNING  
LOCATION PLAN &  
DETAILS**

SHEET NO.  
**5001**



FOUNDATION REPAIR  
Work Item 1: \_\_\_\_\_

Description of Current Condition:  
FAILING FOUNDATION WALLS

Proposed Work:  
FOUNDATION REPAIR (UNDERPINNING)

**REVIEWED**  
By Winnie Cargill at 1:28 pm, Jun 26, 2023



Work Item 2: \_\_\_\_\_

Description of Current Condition:

Proposed Work:

Work Item 3: \_\_\_\_\_

Description of Current Condition:

Proposed Work:

**HISTORIC AREA WORK PERMIT  
CHECKLIST OF  
APPLICATION REQUIREMENTS**

|                                    | Required Attachments   |              |                         |                            |                |                |                             |
|------------------------------------|------------------------|--------------|-------------------------|----------------------------|----------------|----------------|-----------------------------|
| Proposed Work                      | I. Written Description | 2. Site Plan | 3. Plans/<br>Elevations | 4. Material Specifications | 5. Photographs | 6. Tree Survey | 7. Property Owner Addresses |
| New Construction                   | *                      | *            | *                       | *                          | *              | *              | *                           |
| Additions/<br>Alterations          | *                      | *            | *                       | *                          | *              | *              | *                           |
| Demolition                         | *                      | *            | *                       |                            | *              |                | *                           |
| Deck/Porch                         | *                      | *            | *                       | *                          | *              | *              | *                           |
| Fence/Wall                         | *                      | *            | *                       | *                          | *              | *              | *                           |
| Driveway/<br>Parking Area          | *                      | *            |                         | *                          | *              | *              | *                           |
| Grading/Excavation/<br>Landscaping | *                      | *            |                         | *                          | *              | *              | *                           |
| Tree Removal                       | *                      | *            |                         | *                          | *              | *              | *                           |
| Siding/ Roof Changes               | *                      | *            | *                       | *                          | *              |                | *                           |
| Window/<br>Door Changes            | *                      | *            | *                       | *                          | *              |                | *                           |
| Masonry Repair/<br>Repoint         | *                      | *            | *                       | *                          | *              |                | *                           |
| Signs                              | *                      | *            | *                       | *                          | *              |                | *                           |