



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert K. Sutton
Chairman

Date: July 19, 2023

MEMORANDUM

TO: Rabbiah Sabbakahn
Department of Permitting Services

FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1034682 - Building Addition

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** At the July 12, 2023 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: William Ince & Mary Henderson
Address: 7102 Poplar Ave., Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Winnie Cargill at 301.495.2108 or winnie.cargill@montgomeryplanning.org to schedule a follow-up site visit.



HENDERSON-INCE ADDITION

7102 Poplar Ave, Takoma Park, MD 20912 - Project # 2222

PROJECT DESCRIPTION

THE PROJECT INVOLVES REMODELING AND EXPANDING A 1-1/2 STORY WOOD FRAME CAPE OVER A BASEMENT. THE PROPOSED ADDITIONS INCLUDE A PAIR OF TWO-STORY EXTENSIONS. THE SIDE ADDITION/REMODEL CONSISTS OF TWO BEDROOMS OVER AN EXTENSION OF THE CURRENT LIVING ROOM AS WELL AS A NEW HALF BATH. THE REAR ADDITION CONSISTS OF A NEW PRIMARY BEDROOM SUITE OVER A NEW SCREEN PORCH.

BENNETT FRANK MCCARTHY

architects, inc.
1400 Spring Street, Suite 320, Silver Spring, Maryland 20910-2755
(301) 585-2222 www.bfmarch.com fax (301) 585-8917

SPECIFICATIONS

DIVISION 1: GENERAL REQUIREMENTS

- 1.1.1 General Conditions: The general conditions of the Agreement Between the Owner and Contractor if not addressed here, shall be AIA Document A201 (most current edition).
- 1.1.2 Lien Waivers: At the time of final payment by the Owner, the Contractor shall provide lien waivers from his company as well as all major subcontractors (plumbing, electrical, mechanical, mason, roofer, etc.) and suppliers exceeding \$10,000 in value.
- 1.2.1 Contractor's Liability Insurance: The Contractor shall purchase and maintain such insurance as will protect the Contractor from claims which may arise out of or result from the Contractor's or Subcontractors' operations under the Contract. The Architect shall be named as an additional insured on the General Contractor's policy.
- 1.2.2 Owner's Liability Insurance: The Owner shall be responsible for purchasing and maintaining the Owner's usual liability insurance.
- 1.2.3 Property Insurance: The Owner shall purchase and maintain property insurance in the amount of the initial Contract Sum (as well as subsequent modifications) on a replacement cost basis. The policy shall be on an all-risk policy form and shall insure against the perils of fire and extended coverage and loss or damage including theft, vandalism, malicious mischief, collapse and falsework. The Contractor shall be responsible for paying the deductible for losses attributable to an unsecured job-site.
- 1.3 License: The Contractor and all Subcontractors shall be licensed and/or registered to perform their respective trades in the jurisdiction of the project property.
- 1.4 Permits: Owner shall obtain general building permit. General Contractor shall be responsible for all other permits including, but not limited to trade permits, right-of-way / public space permits, parking and dumpster permits, etc.
- 1.5 Warranty: All workmanship and materials shall be guaranteed for a minimum period of one year from the date of Substantial Completion.
- 1.6 Owners Manuals and Instructions: The General Contractor shall collect, consolidate and convey to the Owner all Owners Manuals, Instructions, Warranty registrations and all other pertinent information for new equipment and fixtures. The General Contractor or designated subcontractor(s) shall review with the Owner the proper operation and maintenance schedule as appropriate for all equipment and controls.
- 1.7 Interpretation: The Architect shall be the interpreter of the requirements of the Contract Documents. If the builder or subcontractor has any question about the meaning of the drawings or specifications for the Work, or should he find any discrepancy or omission therein, the Builder/subcontractor shall immediately so notify the Architect.
- 1.8 Dimensions: Verify all dimensions. All dimensions are to framing, except to existing construction or where otherwise noted. Dimensions on interior elevations are to finishes, not framing. Window opening dimensions are to rough openings; add 2 1/2" to swinging interior door sizes for rough openings. Do NOT scale drawings.

- 1.1.1 MISS UTILITY: Prior to any excavation at the site the Contractor shall contact Miss Utility, 1-800-257-7777 to ascertain the location of all underground utilities. Avoid unnecessary disturbance, conflict or interruption of services with underground utilities to the fullest extent possible.
- 1.1.2 Definitions: The Contractor shall understand that the word "provide", as used in these documents, includes the purchase of the item specified, including taxes and any associated shipping and handling charges. Also included shall be the procurement and provision of all materials, equipment and labor associated with the complete installation of the item(s) specified in good working order.
- 1.1.9 Construction by Owner or By Separate Contractors: The Owner reserves the right to perform construction or operations related to the Project with the Owner's own forces. The Contractor shall provide the Owner and separate contractors reasonable opportunity for placement and storage of materials and equipment in the performance and completion of other activities. The Contractor shall cooperate and coordinate activities as provided within the agreement between the Owner and the Contractor.
- 1.2.0 Temporary Utilities (unoccupied): During the period the house is unoccupied and under construction, the General Contractor shall reimburse the Owner for gas, electricity and water usage in excess of historical monthly averages. The intent is not to be punitive, merely to ensure utilities are used responsibly (i.e. heat not run with house wide open, etc.) Contractor shall turn the water service off at the main shut-off whenever the house is unoccupied and no work is underway (overnight, weekends, holidays, etc.). As a precaution in anticipation of temperatures below freezing, the Contractor shall thoroughly drain any idle components holding or conveying water (hot water heater, boiler, radiators, distribution system, etc.).
- 1.2.1 Coordination between Drawings and Specifications: Should a conflict exist between the drawings and specifications, the more restrictive or costly shall apply for pricing. The Owner and Architect shall be consulted to determine proper design alternative. If the less restrictive or costly item is selected the Contractor shall apply appropriate credit to the Owner under the contract.
- 1.2.2 Shop Drawings: Shop Drawings are required for, but not limited to, the following items:
 - Windows and exterior doors
 - Prefabricated floor or roof trusses
- 1.2.3 Samples: Provide samples for the following items:
 - Roof shingles
 - Hardwood floor stain and finish options
 - Paint colors, per Division 9
 - Gutter and downspout colors
 - Exterior flashing colors
- 1.2.4 Owner Supplied Items: See individual specification divisions for further information. Install the following Owner provided:
 - Bath accessories - see Division 10
 - Items salvaged for reuse as noted in Division 2 or on demolition drawings

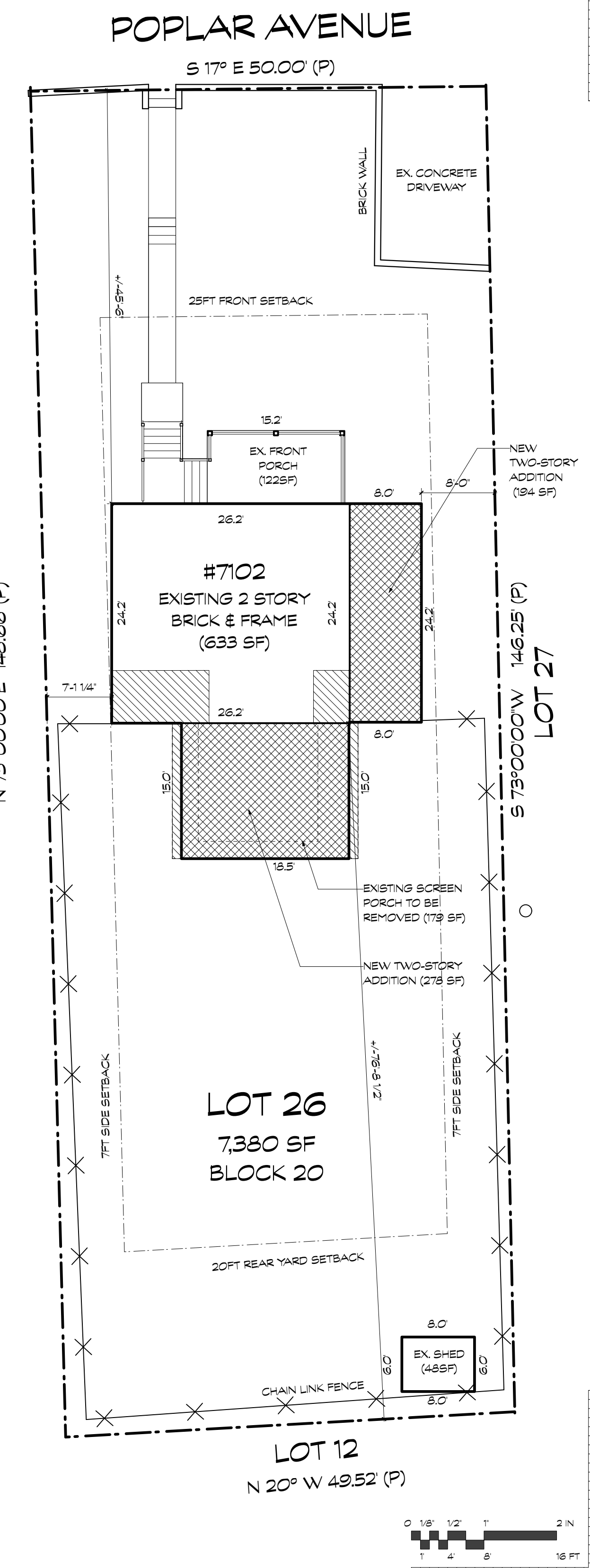
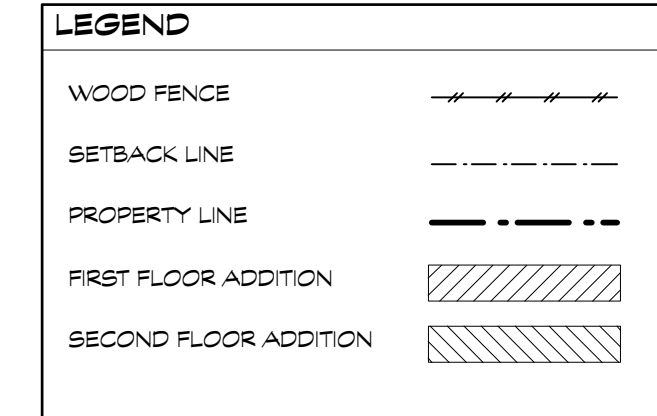
DIVISION 2: SITEWORK AND DEMOLITION

- 2.1 Utilities: Water, sewer, gas, electric, telephone and CATV utilities on site are to remain and be extended as required. Verify size and condition and remove, replace, upgrade as necessary. Locate all underground utilities. See note above regarding contact with Miss Utility.
- 2.2 Protection of Existing Landscaping: Protect from physical damage all paved / landscaped surfaces, existing trees, and vegetation that are to remain. Consult with Owner prior to removing any trees, vegetation or obstructions as indicated or which would interfere with new construction. Feeder root zones below all tree canopies shall be respected such that no heavy equipment storage/parking or grading shall occur without the permission of the Owner. See also section 1.9. Damaged elements shall be replaced or restored as appropriate. Contractor shall coordinate with Owner, Architect and Takoma Park Arborist (Urban Forest Manager) to develop a Tree Protection Plan (TPP) and will comply with this plan during construction. Any fines for failure to comply with the TPP shall be paid by the Contractor. The Takoma Park Arborist can be reached at (301) 891-7612.
- 2.3 Landscape: Landscape work shall be limited to finish grading and seeding of disturbed areas. Redistribute available topsoil. Provide finish grade that slopes approximately 1/4" per foot away from perimeter of the building.
- 2.4 Erosion Control: Provide staked hay bales and/or siltation fence, or other means as necessary to provide erosion control in accordance with requirements of the local jurisdiction.
- 2.5 Demolition: Protect all adjacent finishes to remain. Protect sensitive equipment and surfaces from dust and debris. Provide and secure plastic sheeting to isolate the area of work from occupied portions of the residence. Provide adequate shoring and bracing as necessary before removing any load bearing components. Cap/block HVAC registers in affected areas to avoid the conveyance of dust into any central systems.
- 2.6 Lead Abatement: Lead based paint is potentially present on any painted elements incorporated before 1978. Any disturbance or removal of materials containing lead-based paint shall be in compliance with all federal and state regulations prior to, during, and after such disturbance, and the Contractor shall clean all areas after such disturbance and dispose of all lead-based paint materials in compliance with federal and state regulations.
- 2.7 Salvage:
 - Interior doors and hardware (save for re-use)
 - Light fixtures (save for re-use)
- 2.8 Foundation Drainage: Provide 4" perforated, corrugated PVC foundation drain with filter cloth in gravel bed. Completely cover drains with filtering material to a width of 6" minimum on each side and 12" above top of pipe. Slope drain to daylight or sump crock pumped to daylight. (SPECIFICATIONS CONTINUED ON SPOG)

ZONING SITE PLAN

SCALE: 1" = 10'-0"
SITE PLAN BASED ON HOUSE LOCATION SURVEY BY WITMER ASSOCIATES, LLC, DATED JANUARY 2023, AND FIELD OBSERVATIONS BY BENNETT FRANK MCCARTHY ARCHITECTS, INC.
LOT: 26
BLOCK: 20
SUBDIVISION: B.F. GILBERT'S
ADDITION TO TAKOMA
MONTGOMERY COUNTY, MD
ZONE: R-60

SITE PLAN SUMMARY			
1. LOT COVERAGE			
TOTAL LOT AREA	7380 SF		100.0%
EXISTING LOT COVERAGE	633 SF		12.7%
PROPOSED LOT COVERAGE	1237 SF		16.8%
PROPOSED INCREASE	293 SF		4.0%
2. BUILDING FLOOR AREA - STORES			
LEVEL	EX. AREA (SF)	NEW AREA	TOTAL AREA
BASEMENT	633 SF		633 SF
FIRST	812 SF	293 SF	1105 SF
SECOND	506 SF	577 SF	1083 SF
TOTALS	1951 SF	870 SF	2821 SF
3. BUILDING HEIGHT (ABOVE AVE. FRONT GRADE)			
	EXISTING	ADDITION	
RIDGE	27'-2 1/2"	27'-2 1/2"	
MEAN	20'-8 1/4"	21'-6 3/4"	
LEAVE	14'-2 1/4"	15'-11"	



APPROVED
Montgomery County
Historic Preservation Commission
Robert L. ...

REVIEWED
By Dan.Bruechert at 2:33 pm, Jul 19, 2023

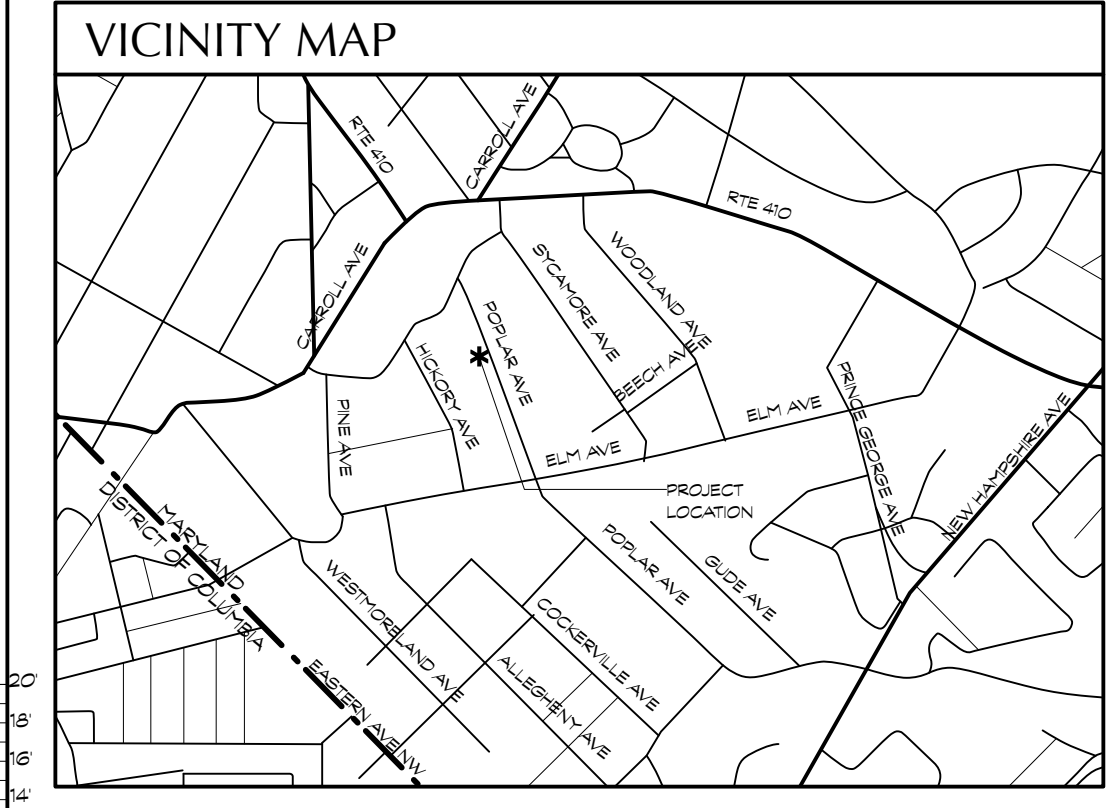
OWNER
William Ince & Mary Henderson
7102 Poplar Ave.
Takoma Park, MD 20912 (301) XXX-XXXX

STRUCTURAL ENGINEER
Robert Wixson, APAC Engineering, Inc
8555 16th St. Suite 200
Silver Spring, MD 20910 (301) 565-0543

MECHANICAL CONSULTANT
Ron Gallant, Gallant Mechanical
13001 Cleveland Drive
Rockville, Maryland 20850 (240) 750-4988

CONTRACTOR
Builder Name
Builder Street Address
City, MD 20912 MHC# XXXX
(301) XXX-XXXX

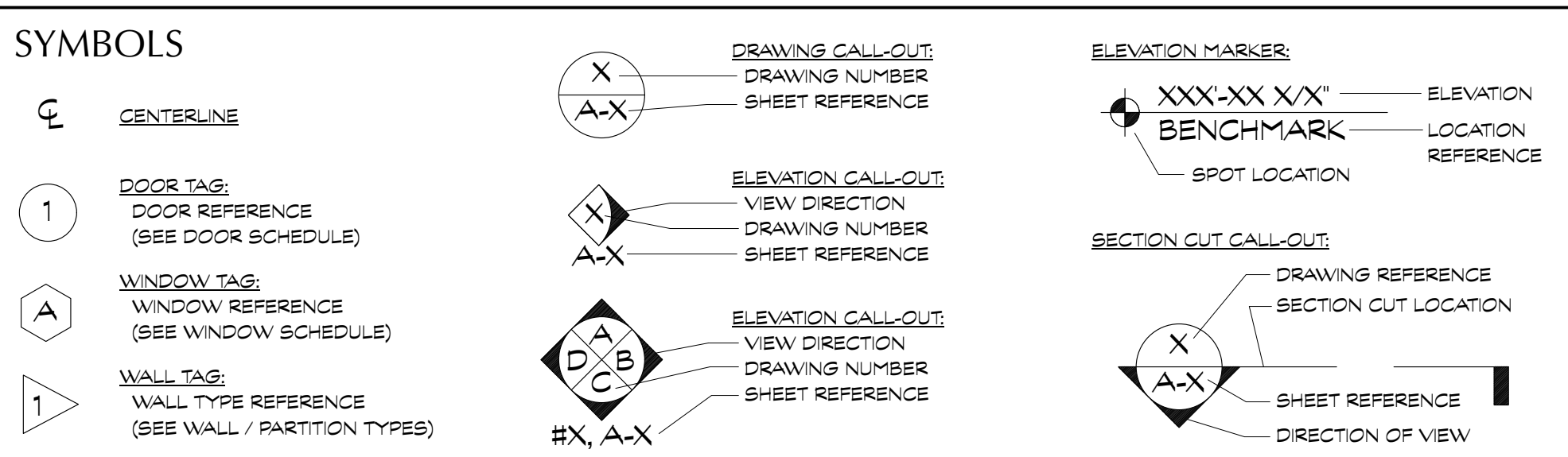
REV.	SHEET	TITLE
	A000	COVERSHEET
	SPI00	SPECIFICATIONS
	D100	DEMOLITION PLANS
	D200	DEMOLITION ELEVATIONS
	A100	PROPOSED CELLAR & FIRST FLOOR PLANS
	A101	PROPOSED SECOND FLOOR PLAN
	A102	PROPOSED ROOF PLAN
	A200	PROPOSED ELEVATIONS
	A300	BUILDING SECTIONS
	A301	WALL SECTIONS
	A302	AREAWAY SECTION DETAIL
	A400	INTERIOR ELEVATIONS
	S100	FOUNDATION & FIRST FLOOR FRAMING PLANS
	S101	SECOND FLOOR FRAMING PLAN
	S102	ROOF FRAMING PLAN
	S200	WIND BRACING PLANS
	S201	STRUCTURAL NOTES & DETAILS
	S201	STRUCTURAL DETAILS
	MP100	CELLAR & FIRST FLOOR MECHANICAL / PLUMBING PLANS
	MP101	SECOND FLOOR MECHANICAL / PLUMBING PLANS
	E100	CELLAR & FIRST FLOOR ELECTRICAL PLANS
	E101	SECOND FLOOR ELECTRICAL PLAN



DATE	ISSUE
6/12/2023	PERMIT/BID SET

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ABBREVIATIONS	COND	CONDITION	ELEC	ELECTRICAL	LWB	LOAD BEARING WALL	OSB	ORIENTED STRAND BOARD	SPRK	SPRINKLER
&	AND	CONC	CONCRETE	EXP	EQUAL	LUMBER	PLAM	PLASTIC LAMINATE	STL	STEEL
@	AT	CONT	CONTINUOUS	EQ	DRYER	MARB	MARBLE	PLYWD	TBD	TO BE DETERMINED
AFF	ABOVE	D	DRYER	ETR	EXISTING TO REMAIN	MAT	MATERIAL	PT	TSP	TOP OF SLAB
	FINISHED FLOOR	DIA	DIAMETER	FF	FINISH FLOOR	MAX	MAXIMUM	PTD	TYP	TYPICAL
APT	APARTMENT	DM	DIMENSION	FIN	FINISH	MDO	MEDIUM DENSITY	R	UNC	UNLESS NOTED OTHERWISE
BLDG	BUILDING	DN	DOWN	FLR	FLOOR	MIN	MINIMUM	REF	VIF	VERIFY IN FIELD
BSMT	BASEMENT	DR	DOOR	GA	GAUGE	MANU	MANUFACTURER	RQD	W	WASHER
CJ	CONTROL JOINT	DS	DOWNSPOUT	GWB	GYPSUM WALL BOARD	MTL	METAL	RM	W	WITH
CAB	CABINET	DTL	DETAIL	HSB	HOSE BIB	MECH	MECHANICAL	SC	WC	TOILET / WATER CLOSET
CL	CENTER LINE	DW	DISHWASHER	HC	HOLLOW CORE	NC	NOT IN CONTRACT	SHT	WD	WOOD
CLS	CEILING	DWS	DRYING	HT	HIGH	NTE	NOT TO SCALE	SWR	WO	WITHOUT
CLR	CLEAR	EPS	EXTERIOR INSULATION FINISHING SYSTEM	HDWR	HARDWARE	OC	ON CENTER	SM	WWM	WELDED WIRE MESH
CMU	CONCRETE MASONRY UNIT	EL	ELEVATION	LB	POUND	OH	OPPOSITE HAND	SPEC		



PROJECT DATA	
JURISDICTION:	MONTGOMERY COUNTY, MD
BUILDING CODE:	2018 IRC & MONTGOMERY COUNTY AMENDMENTS
BUILDING USE GROUP:	SINGLE-FAMILY, DETACHED
CONSTRUCTION TYPE:	SB - COMBUSTIBLE, UNPROTECTED
FIRE SUPPRESSION SYSTEM:	NA

CERTIFICATION
I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE #: 7632-A
EXPIRATION DATE: 5-21-25

#2222 HENDERSON-INCE

DATE	ISSUE - REMARKS

I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

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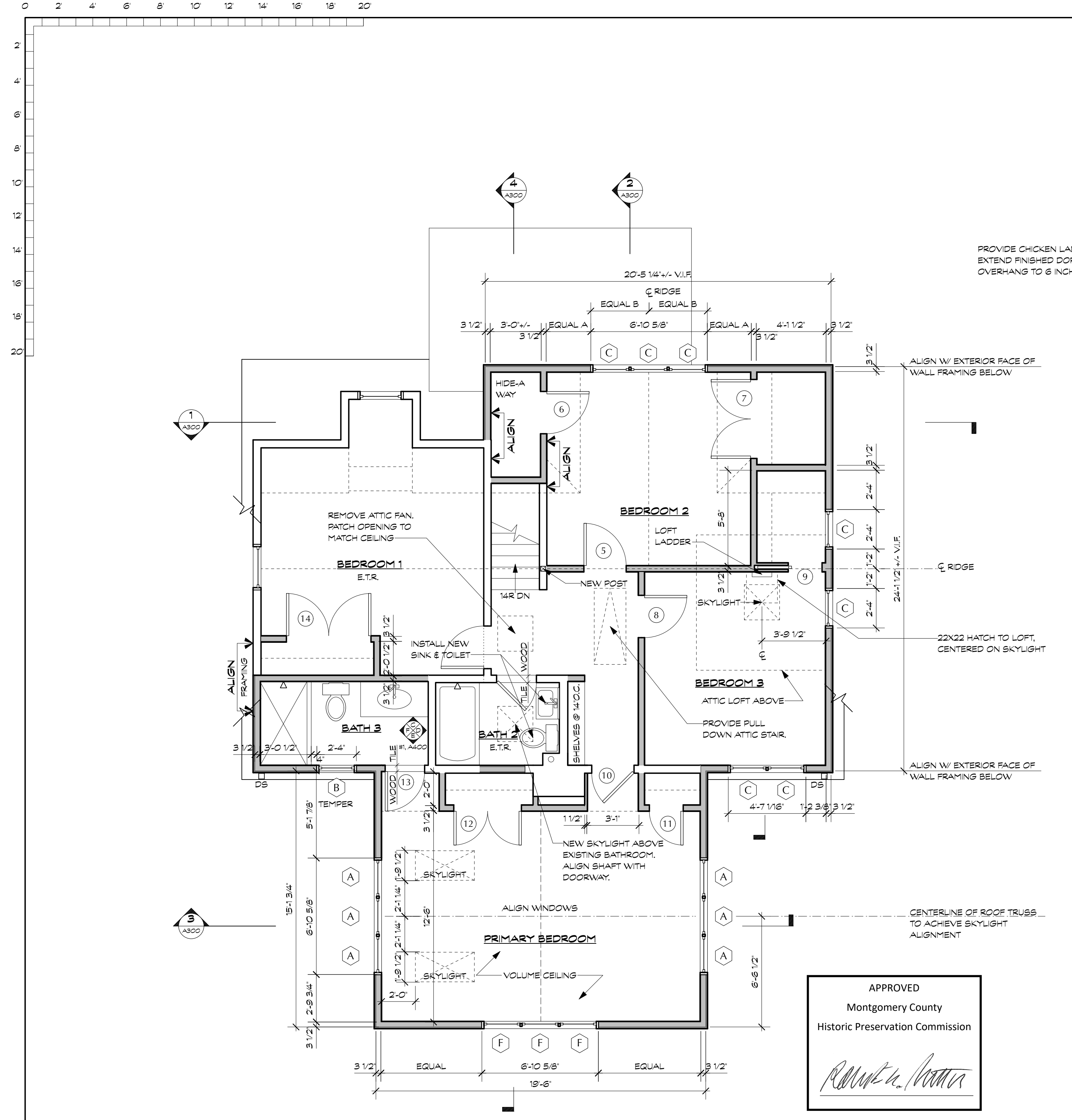
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WALL LEGEND

- EXISTING WALLS AND PARTITIONS TO REMAIN
- EXISTING WALLS AND PARTITIONS TO BE REMOVED
- NEW WOOD FRAMED WALLS AND PARTITIONS
- NEW LOW WALLS
- NEW CMU WALLS

GENERAL NOTES:

- DO NOT SCALE THE DRAWINGS
- NEW CONSTRUCTION DIMENSIONED TO FRAMING (U.N.O)
- EXISTING CONSTRUCTION DIMENSIONED TO FINISH (U.N.O)

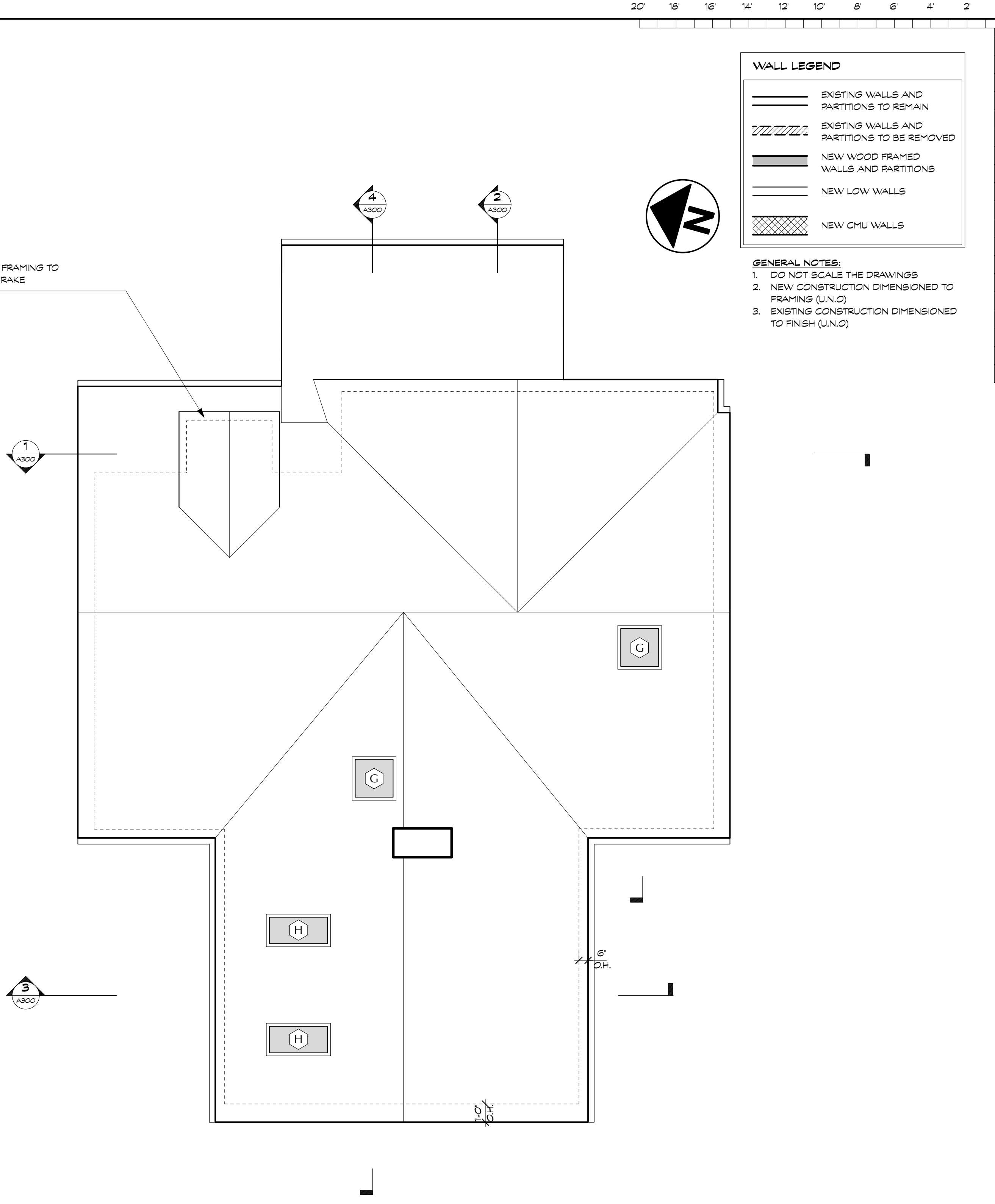


1 PROPOSED SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission

[Signature]

REVIEWED
By Dan.Bruechert at 2:34 pm, Jul 19, 2023



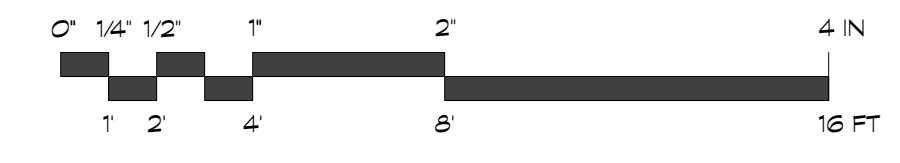
2 PROPOSED ROOF PLAN
Scale: 1/4" = 1'-0"

NO.	LOCATION	SIZE	THICKNESS	MATERIAL	TYPE/STYLE	CONFIG	OPER.	U-VALUE	SHGC	HARDWARE	REMARKS	NO.
1	SCREEN PORCH DOOR	6'-0" X 6'-5"	1 1/4"	WD	SCREEN	DOUBLE	SWING			SPRING HINGE & PULL		1
2	LIVING ROOM ENTRY	2'-3 1/8" X 7 2 1/2" R.O.	1 3/4"	WD/GL	FULL-LITE	SINGLE	OUT-SWING	0.30		LOCKSET & DEADBOLT	WEATHERSHIELD 1-2B72 (6610)	2
3	FOYER CLOSET	4'-0" X 6'-5"	1 3/8"	WD	TWO-PANEL	DOUBLE	SWING			DUMMY PULLS & MAGNETIC CATCH		3
4	POWDER ROOM	2'-4" X 6'-5"	1 3/8"	WD	TWO-PANEL	SINGLE	SWING			PRIVACY		4
5	BEDROOM 2 DOOR	2'-6" X 6'-5"	1 3/8"	WD	TWO-PANEL	SINGLE	SWING			PRIVACY		5
6	BEDROOM 2 CLOSET	2'-6" X 5'-0"	1 3/8"	WD	TWO-PANEL	SINGLE	SWING			PASSAGE		6
7	BEDROOM 2 CLOSET	4'-8" X 5'-0"	1 3/8"	WD	TWO-PANEL	DOUBLE	SWING			DUMMY PULLS & MAGNETIC CATCH		7
8	BEDROOM 3	2'-6" X 6'-5"	1 3/8"	WD	TWO-PANEL	SINGLE	SWING			PRIVACY		8
9	BEDROOM 3 CLOSET	2'-0" X 6'-5"	1 3/8"	WD	TWO-PANEL	SINGLE	POCKET			JOHNSON HEAVY DUTY TRACK		9
10	PRIMARY BEDROOM	2'-6" X 6'-5"	1 3/8"	WD	TWO-PANEL	SINGLE	SWING			PASSAGE		10
11	PRIMARY BEDROOM CLOSET	2'-4" X 6'-5"	1 3/8"	WD	TWO-PANEL	SINGLE	SWING			PASSAGE		11
12	PRIMARY BEDROOM CLOSET	4'-0" X 6'-5"	1 3/8"	WD	TWO-PANEL	DOUBLE	SWING			DUMMY PULLS & MAGNETIC CATCH		12
13	BATH 3	2'-6" X 6'-5"	1 3/8"	WD	TWO-PANEL	SINGLE	SWING			PRIVACY		13
14	BEDROOM 1 CLOSET	5'-0" X 6'-5"	1 3/8"	WD	TWO-PANEL	DOUBLE	SWING			DUMMY PULLS & MAGNETIC CATCH		14
15	BASEMENT ENTRY	2'-8" X 6'-5"	1 3/4"	WD	TWO-PANEL	SINGLE	SWING			LOCKSET & DEADBOLT		15
16												16

CELLAR	ROOM	AREA	FLOORING	BASE	WALLS	PAINT	CEILING	PAINT	TRIM	REMARKS
	REC ROOM / LAUNDRY	103 SF	ETR NOTE 4	ETR	ETR NOTE 4	FLAT	ETR NOTE 4	FLAT	ETR	
	BATH 1	48 SF	ETR	ETR	ETR	ETR	ETR	ETR	ETR	
	BEDROOM / OFFICE	189 SF	ETR	ETR	ETR	ETR	NOTE 4	FLAT	ETR	
	MECHANICAL	67 SF	ETR	ETR	ETR	NA	NA	NA	ETR	
	FRONT PORCH	122 SF	AREATIS T&S PLANKS	SEMI-GLOSS	ETR	SATIN	ETR	SEMI-GLOSS		
	FOYER	82 SF	NOTE 1	MATCH EXISTING	GYP WALLBOARD	FLAT	ETR NOTE 4	FLAT	SEMI-GLOSS	
	POWDER ROOM	20 SF	TILE	WOOD	GYP WALLBOARD	EGGSHELL	GYP WALLBOARD	FLAT	SEMI-GLOSS	
	LIVING ROOM	278 SF	HARDWOOD	MATCH EXISTING	GYP WALLBOARD	FLAT	GYP WALLBOARD	FLAT	SEMI-GLOSS	
	SCREEN PORCH	122 SF	AREATIS PLANKS	N/A	SCREEN	SEMI-GLOSS	BEADBOARD	SEMI-GLOSS	ETR	
	KITCHEN	139 SF	ETR	ETR	ETR	ETR	ETR	ETR	ETR	
	HALL	69 SF	ETR NOTE 1	ETR MATCH EX.	ETR GWB	EGGSHELL	ETR	FLAT	SEMI-GLOSS	
	BEDROOM 1	236 SF	ETR	ETR	ETR GWB	FLAT	ETR	FLAT	SEMI-GLOSS	
	BATH 2	37 SF	ETR	ETR	ETR	SEMI-GLOSS	ETR	SEMI-GLOSS		
	BEDROOM 2	171 SF	HARDWOOD	WOOD	GYP WALLBOARD	FLAT	GYP WALLBOARD	FLAT	SEMI-GLOSS	
	BEDROOM 3	131 SF	HARDWOOD	WOOD	GYP WALLBOARD	FLAT	GYP WALLBOARD	FLAT	SEMI-GLOSS	
	PRIMARY BEDROOM	336 SF	HARDWOOD	WOOD	GYP WALLBOARD	FLAT	GYP WALLBOARD	FLAT	SEMI-GLOSS	
	BATH 3	48 SF	TILE	WOOD	GYP WALLBOARD	SEMI-GLOSS	GYP WALLBOARD	SEMI-GLOSS	SEMI-GLOSS	NOTE 2

NOTES:

- RATCH TO MATCH EXISTING HARDWOOD FLOOR AS NECESSITATED BY NEW WORK, SAND / REFINISH ENTIRE FLOOR TO UNIFORM APPEARANCE
- TILE SHOWER SURROUND
- TILE BACKSPLASH
- RATCH / RESTORE EXISTING WHERE DISTURBED BY NEW WORK
- AREA SHOWN IN TABLE FOR REFERENCE. CONTRACTOR SHALL BE RESPONSIBLE TO CONFIRM QUANTITIES.



HENDERSON-INCE ADDITION
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Project # 2222

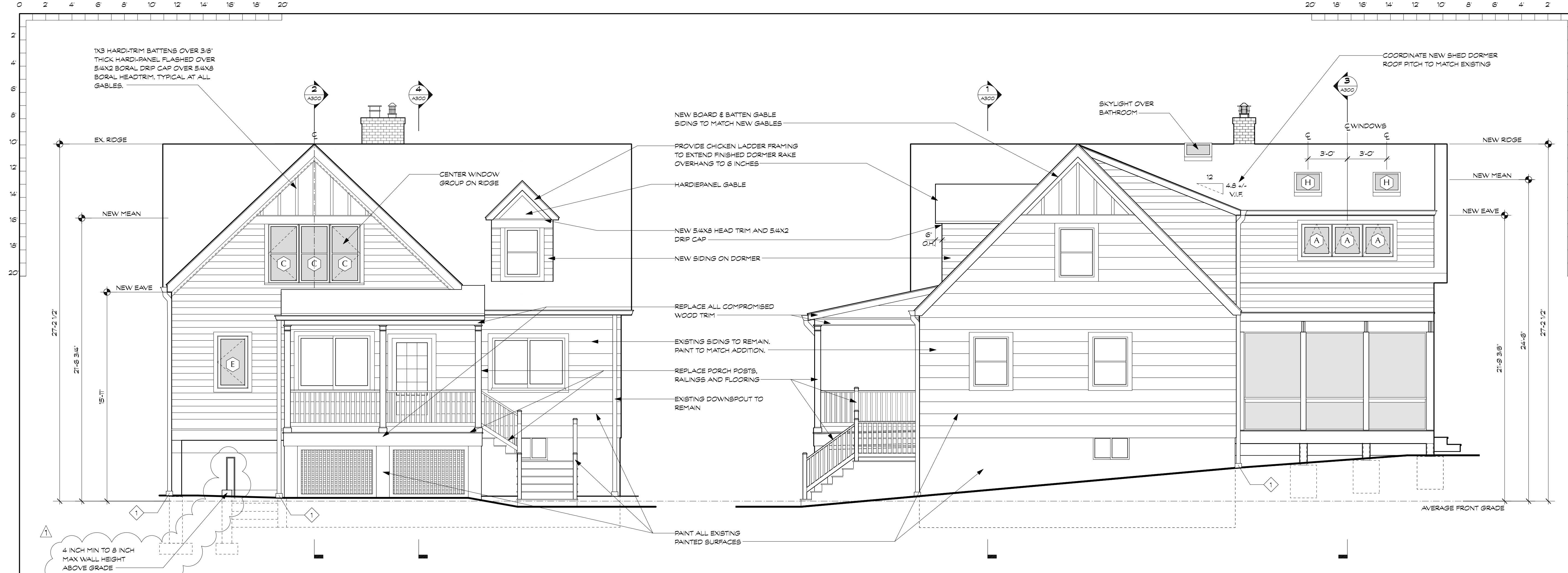
SECOND FLOOR & ROOF PLAN
A101

12 JUNE 2023

DATE	ISSUE - REMARKS

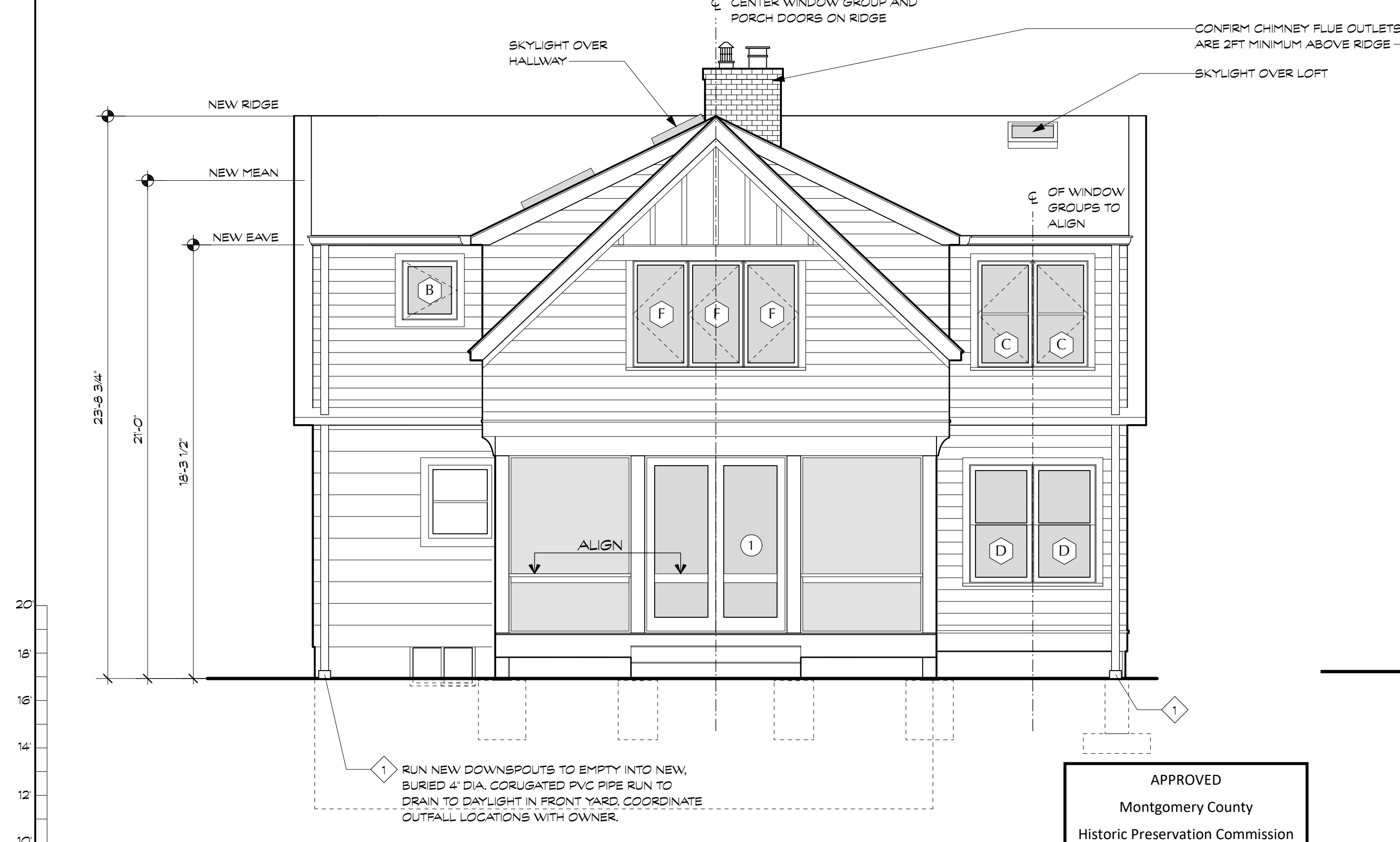
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LICENSE #: 7632-A EXPIRATION DATE: 5-21-25
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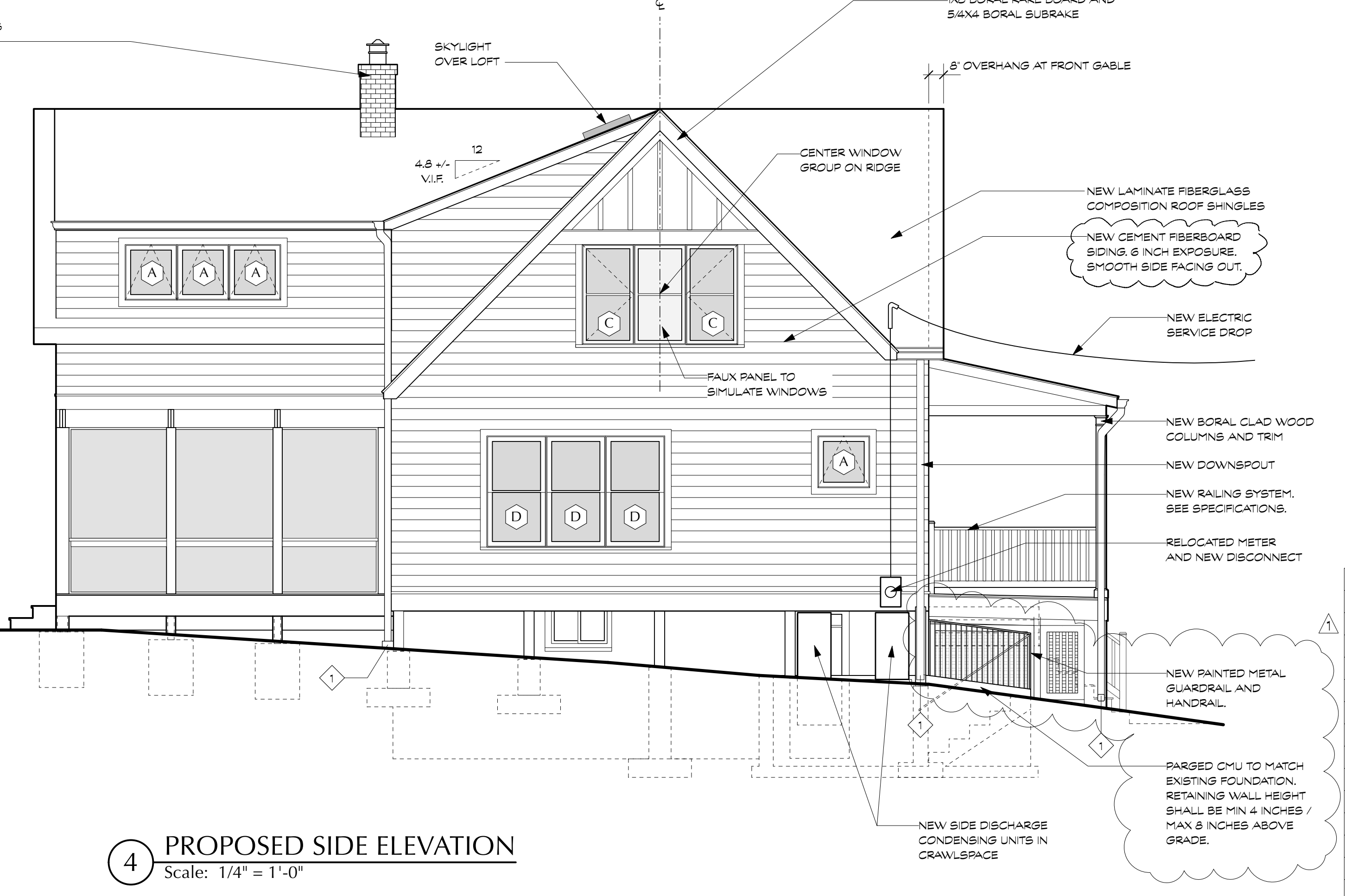


1 PROPOSED FRONT ELEVATION
Scale: 1/4" = 1'-0"

2 PROPOSED SIDE ELEVATION
Scale: 1/4" = 1'-0"



3 PROPOSED REAR ELEVATION
Scale: 1/4" = 1'-0"



4 PROPOSED SIDE ELEVATION
Scale: 1/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
Ronald A. Norton

REVIEWED
By Dan.Bruechert at 2:23 pm, Jul 19, 2023

HENDERSON-INCE ADDITION

7102 Poplar Ave, Takoma Park, MD 20912
Project # 2222

7 JULY 2023
12 JUNE 2023

PROPOSED ELEVATIONS
A200

