



## HISTORIC PRESERVATION COMMISSION

Marc Elrich  
County Executive

Robert K. Sutton  
Chairman

Date: September 19, 2023

### MEMORANDUM

TO: Rabbiah Sabbakahn  
Department of Permitting Services

FROM: Dan Bruechert  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1034991 - Partial Demolition & Building Addition

---

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** At the July 12, 2023 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: David Heath & Nadine Langlois  
Address: 7338 Carroll Ave., Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Winnie Cargill at 301.495.2108 or [winnie.cargill@montgomeryplanning.org](mailto:winnie.cargill@montgomeryplanning.org) to schedule a follow-up site visit.



# HEATH-LANGLAIS ADDITION

7338 Carroll Ave., Takoma Park, MD 20912 - Project # 2307

## PROJECT DESCRIPTION

## BENNETT FRANK MCCARTHY

architects, inc.

1400 Spring Street, Suite 320, Silver Spring, Maryland 20910-2755  
(301) 585-2222 www.bfmarch.com fax (301) 585-8917

## SPECIFICATIONS

## ZONING SITE PLAN

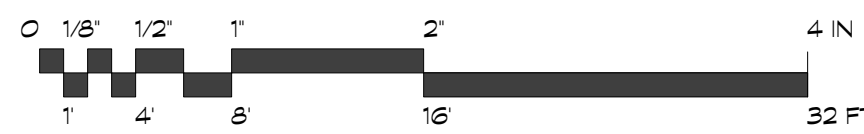
SCALE: 1/8" = 1'-0"

SITE PLAN SUMMARY			
1. LOT COVERAGE			
TOTAL LOT AREA	5,575 SF		100.0%
EXISTING LOT COVERAGE	1,230 SF		22.1%
PROPOSED LOT COVERAGE	1,930 SF		34.6%
PROPOSED INCREASE	500 SF		9.0%
2. BUILDING FLOOR AREA - STORES			
LEVEL	EX. AREA (SF)	NEW AREA	TOTAL AREA
BASEMENT	1,043 SF	356 SF	1,399 SF
FIRST	1,080 SF	500 SF	1,580 SF
SECOND	0 SF	0 SF	0 SF
TOTALS	2,123 SF	856 SF	2,979 SF
3. BUILDING HEIGHT (ABOVE AVE. FRONT GRADE)			
	EXISTING	ADDITION	
EAVE	10'-11 1/4"	17'-11"	
MEAN	14'-11 1/2"	21'-7"	
ROOF	19'-8 3/4"	24'-3"	

SITE PLAN BASED ON HOUSE LOCATION SURVEY BY WITMER ASSOCIATES, LLC DATED FEBRUARY, 2023, AND FIELD OBSERVATIONS BY BENNETT FRANK MCCARTHY ARCHITECTS, INC.

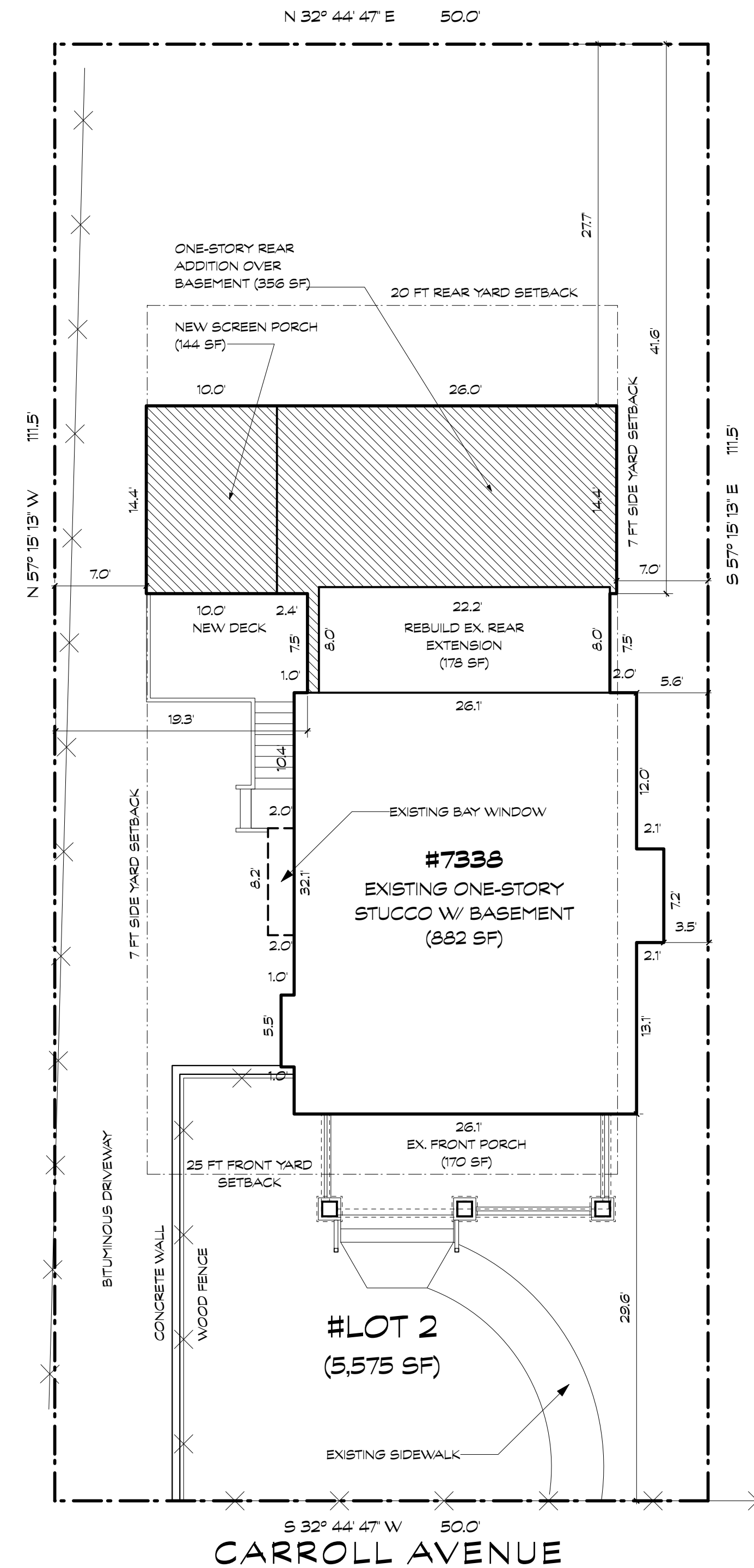
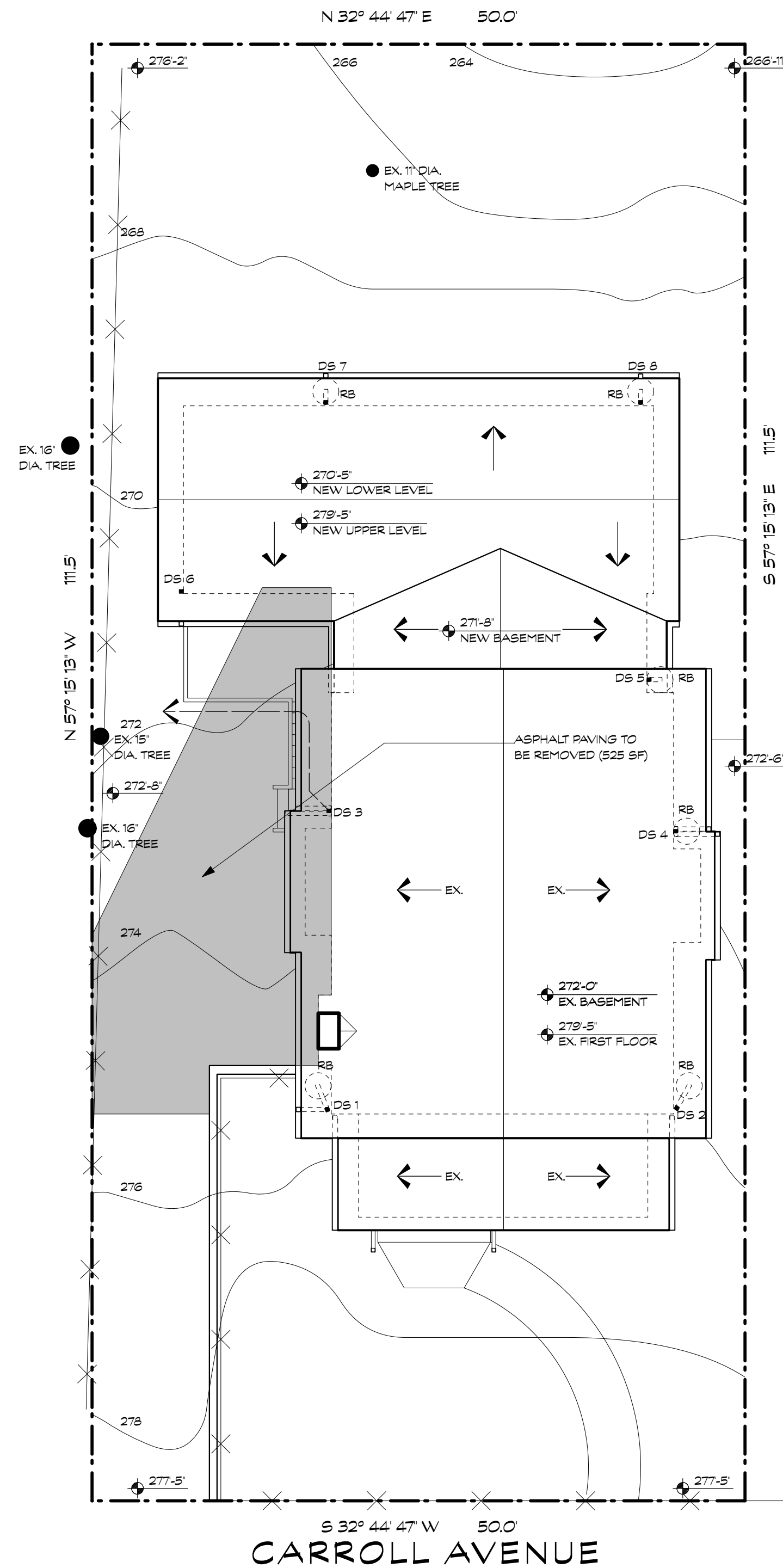
LOT 2  
PLAT BOOK 4  
PLAT NO. 300  
SUBDISTRICT: GENERAL S.S. CARROLL'S  
ADDITION TO TAKOMA PARK  
MONTGOMERY COUNTY, MD  
DISTRICT: 13  
ZONE: R-60

LEGEND	
WOOD FENCE	
SETBACK LINE	
PROPERTY LINE	
FIRST FLOOR ADDITION	



### ROOF DRAINAGE ANALYSIS

DRAINAGE LOCATION	EXISTING ROOF AREA SERVED	PROPOSED ROOF AREA SERVED	DRAINAGE DESTINATION
DOWNSPOUT #1	310 SF	310 SF	RAIN BARREL
DOWNSPOUT #2	346 SF	346 SF	RAIN BARREL
DOWNSPOUT #3	301 SF	301 SF	EX. PIPE TO DAYLIGHT
DOWNSPOUT #4	352 SF	352 SF	RAIN BARREL
DOWNSPOUT #5	190 SF	174 SF	RAIN BARREL
DOWNSPOUT #6	0 SF	280 SF	SPLASH BLOCK
DOWNSPOUT #7	0 SF	186 SF	RAIN BARREL
DOWNSPOUT #8	0 SF	185 SF	RAIN BARREL
DRIVEWAY PAVING	525 SF	0 SF	TO BE REMOVED
TOTAL	2,024 SF	2,144 SF	Δ: 120 SF



### OWNER

David Heath & Nicole Langlois  
7338 Carroll Ave.  
Takoma Park, MD 20912 (xxx) xxx-xxxx

### STRUCTURAL ENGINEER

Robert Wixson, APAC Engineering, Inc  
8555 16th St, Suite 200  
Silver Spring, MD 20910 (301) 565-0543

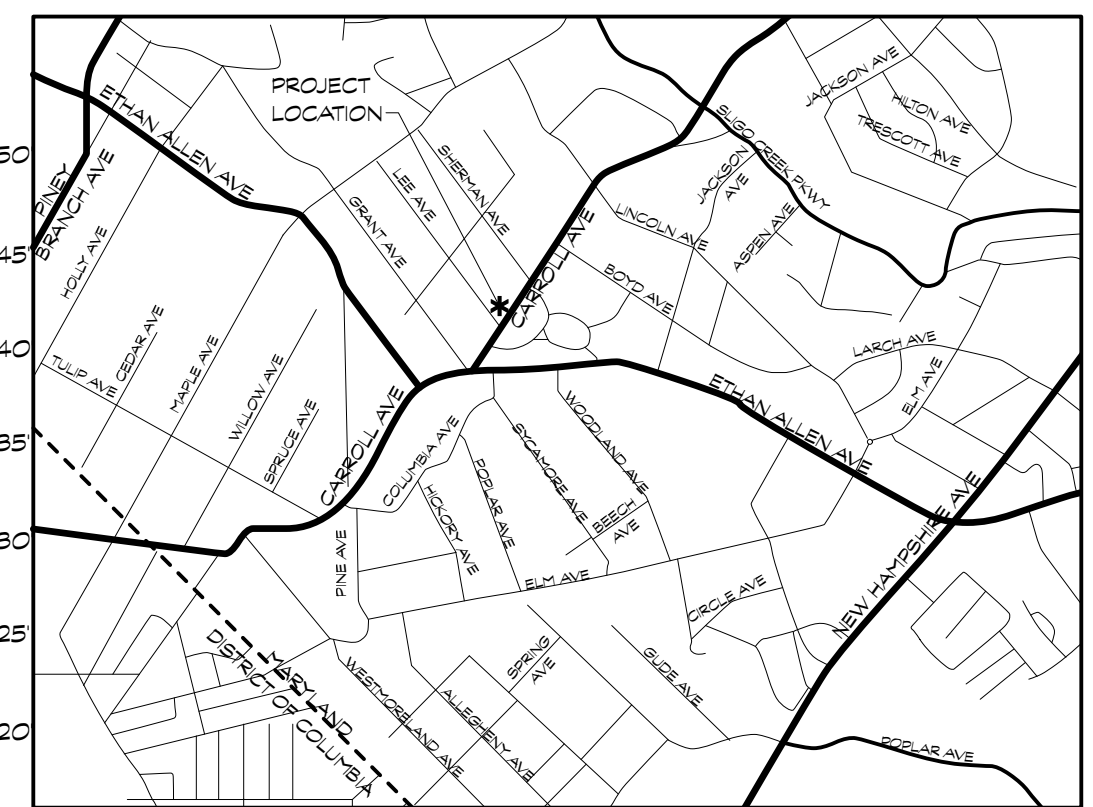
### MECHANICAL CONSULTANT

Gallant Mechanical  
13001 Cleveland Drive  
Rockville, Maryland 20850 (240) 750-4988

### DRAWING LIST

REV.	SHEET	TITLE
	0000	COVER SHEET
	SPI00	SPECIFICATIONS
	D100	DEMOLITION FLOOR PLANS
	D200	DEMOLITION ELEVATIONS
	A100	PROPOSED CELLAR & FIRST FLOOR PLANS
	A101	PROPOSED SECOND FLOOR & ROOF PLAN
	A200	ELEVATIONS & SCHEDULES
	A201	ELEVATIONS & SCHEDULES
	A300	BUILDING SECTIONS
	A301	WALL SECTION
	A302	PORCH SECTIONS
	A400	INTERIOR ELEVATIONS
	S100	FOUNDATION PLAN
	S101	FIRST FLOOR FRAMING PLAN
	S102	ROOF FRAMING PLAN
	S200	WIND FRAMING PLANS
	S201	STRUCTURAL DETAILS & NOTES
	M100	MECHANICAL PLANS & SPECIFICATIONS
	E100	ELECTRICAL PLANS & SPECIFICATIONS

### VICINITY MAP



DATE	ISSUE
AUGUST 23, 2023	PROGRESS

© 2023 Bennett Frank McCarthy Architects, Inc.



**REVIEWED**  
By Dan.Bruechert at 12:19 pm, Sep 19, 2023

### ABBREVIATIONS

AND	COND	CONDITION	ELEC	ELECTRICAL	LBW	LOAD BEARING WALL	OSB	ORIENTED STRAND BOARD	SPRK	SPRINKLER
AT	CONC	CONCRETE	EXP	EXPANSION	LVL	LAMINATED VENEER LUMBER	PLAM	PLASTIC LAMINATE PLYWOOD	STL	STEEL
ABOVE	CONT	CONTINUOUS	EQ	EQUAL	D	DRYER	PT	PRESSURE TREATED PLYWOOD	TBD	TO BE DETERMINED
FINISHED FLOOR	DH	DOUBLE HUNG	ETR	EXISTING TO REMAIN	MARB	MARBLE	PTD	PAINTED	TEG	TONGUE AND GROOVE
APARTMENT	DIAMETER	DIAMETER	EX	EXISTING	MATL	MATERIAL	R	RISER	TOS	TOP OF SLAB
BUILDING	DN	DOWN	FF	FINISH FLOOR	MAX	MAXIMUM	REF	REFRIGERATOR	TYP	TYPICAL
BASEMENT	DR	DOOR	FIN	FINISH	MDO	MEDIUM DENSITY OVERLAY	RO	ROUGH OPENING	UNO	UNLESS NOTED OTHERWISE
CONTROL JOINT	GA	GALVE	FLR	FLOOR	MIN	MINIMUM	RQD	REQUIRED	VIF	VERIFY IN FIELD
CABINET	DB	DOWNSPOUT	GA	GALVE	MANU	MANUFACTURER	RQD	REQUIRED	W	WASHER
CENTER LINE	DTL	DETAIL	GWB	GYPSUM WALL BOARD	MANU	MANUFACTURER	RM	ROOM	W	W/
CEILING	HC	HOLLOW CORE	HB	HOSE BIB	MTL	METAL	SC	SOLID CORE	WC	TOILET / WATER CLOSET
CLEAR	DWG	DRAWING	HT	HEIGHT	MECH	MECHANICAL	SHT	SHEET	WD	WOOD
CONCRETE	EIFS	EXTERIOR INSULATION FINISHING SYSTEM	HDWR	HARDWARE	NIC	NOT IN CONTRACT	SHWR	SHOWER	W/O	WITHOUT
MASONRY UNIT	EL	ELEVATION	LB	LOAD BEARING	NTS	NOT TO SCALE	SIM	SIMILAR	W/W	WELDED WIRE MESH

### SYMBOLS

	CENTERLINE		DRAWING CALL-OUT: DRAWING NUMBER SHEET REFERENCE
	DOOR TAG: DOOR REFERENCE (SEE DOOR SCHEDULE)		ELEVATION CALL-OUT: VIEW DIRECTION DRAWING NUMBER SHEET REFERENCE
	WINDOW TAG: WINDOW REFERENCE (SEE WINDOW SCHEDULE)		SECTION CUT CALL-OUT: DRAWING REFERENCE SECTION CUT LOCATION
	WALL TAG: WALL TYPE REFERENCE (SEE WALL / PARTITION TYPES)		BENCHMARK: ELEVATION LOCATION REFERENCE
			SPOT LOCATION
			DRAWING REFERENCE
			SECTION CUT LOCATION
			SHEET REFERENCE
			DIRECTION OF VIEW

### PROJECT DATA

JURISDICTION:	MONTGOMERY COUNTY, MD
BUILDING CODE:	2018 IRC & MONTGOMERY COUNTY AMENDMENTS
BUILDING USE GROUP:	SINGLE-FAMILY, DETACHED
CONSTRUCTION TYPE:	5B - COMBUSTIBLE, UNPROTECTED
FIRE SUPPRESSION SYSTEM:	NA

### CERTIFICATION

I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: \_\_\_\_\_  
EXPIRATION DATE: \_\_\_\_\_

#2307 HEATH-LANGLAIS

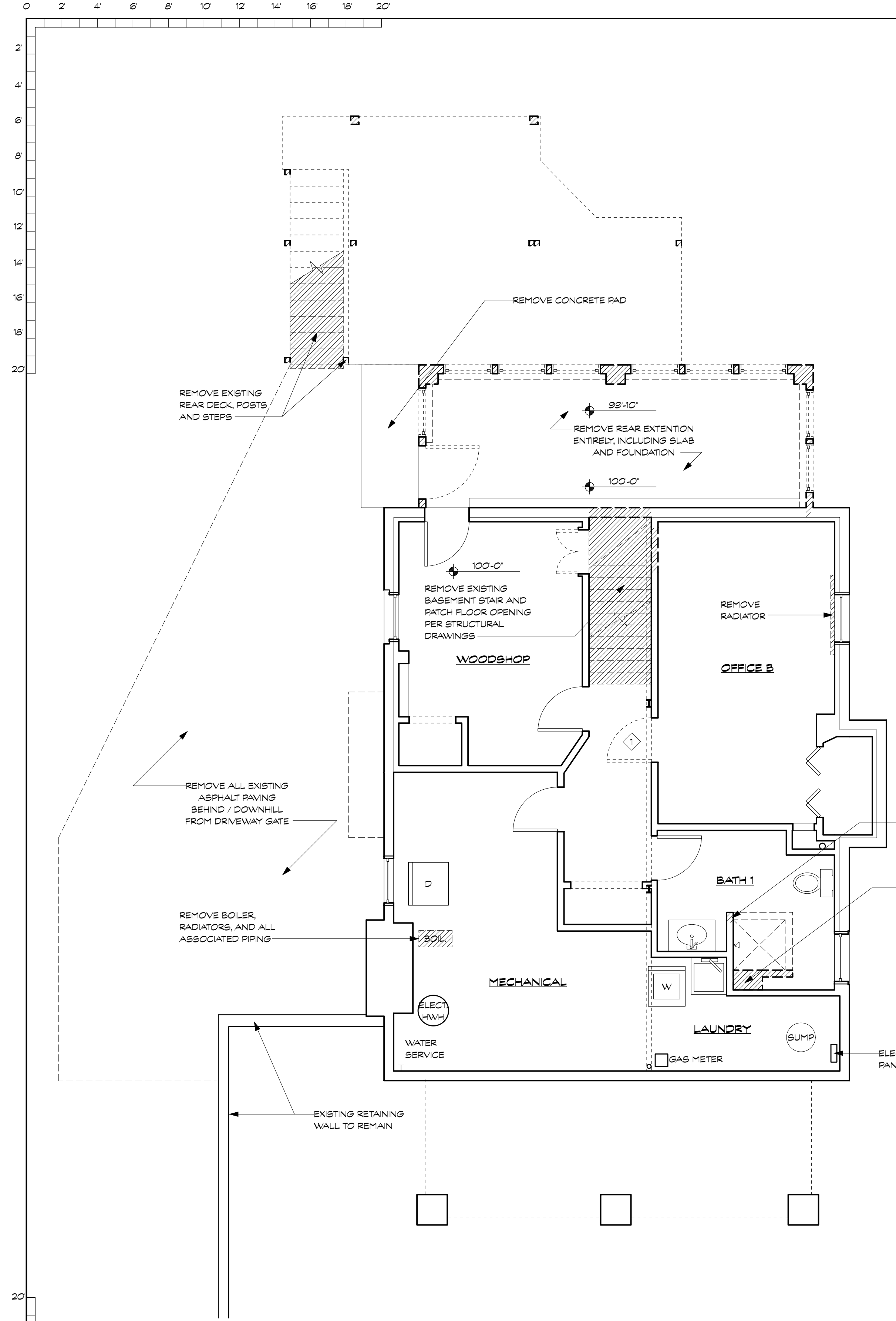


DATE	ISSUE - REMARKS

I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

© 2023 Bennett Frank McCarthy Architects, Inc.

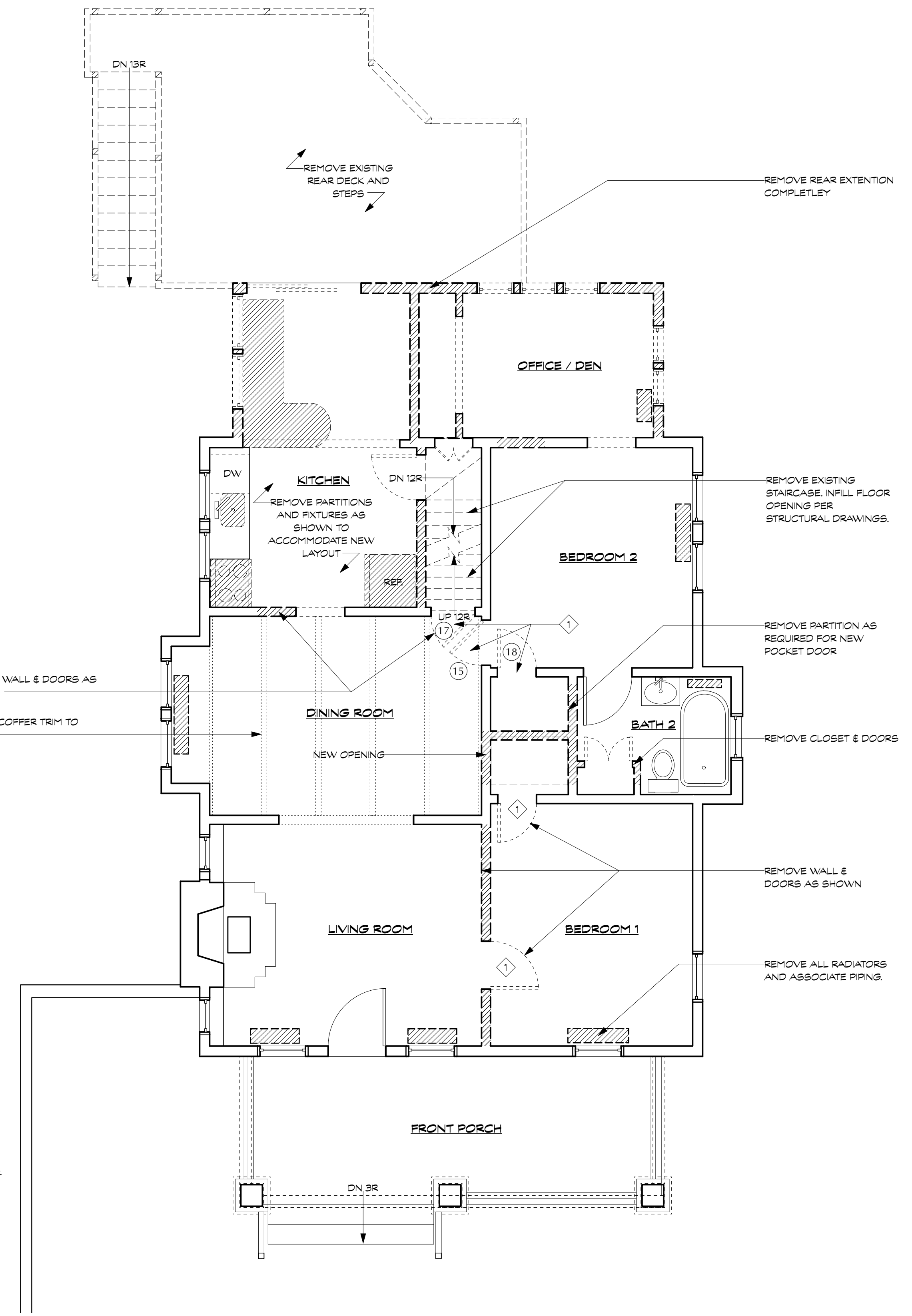
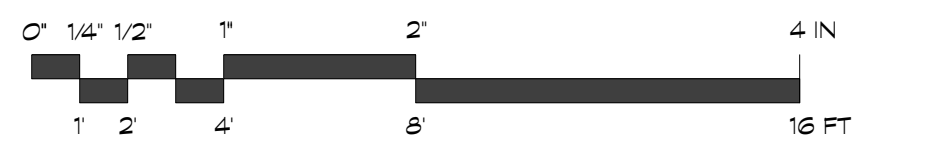


**1** CELLAR DEMOLITION PLAN  
Scale: 1/4" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission

*[Signature]*

**REVIEWED**  
By Dan.Bruechert at 12:19 pm, Sep 19, 2023

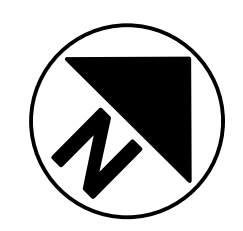


**2** FIRST FLOOR DEMOLITION PLAN  
Scale: 1/4" = 1'-0"

**WALL LEGEND**

[Solid line]	EXISTING WALLS AND PARTITIONS TO REMAIN
[Hatched pattern]	EXISTING WALLS AND PARTITIONS TO BE REMOVED
[Dotted pattern]	NEW WOOD FRAMED WALLS AND PARTITIONS
[Thin solid line]	NEW LOW WALLS
[Cross-hatched pattern]	NEW CMU WALLS

- GENERAL NOTES:**
- DO NOT SCALE THE DRAWINGS
  - NEW CONSTRUCTION DIMENSIONED TO FRAMING (U.N.O)
  - EXISTING CONSTRUCTION DIMENSIONED TO FINISH (U.N.O)



**HEATH-LANGLAIS ADDITION**

7338 Carroll Ave., Takoma Park, MD 20912  
Project # 2307

23 AUGUST 2023 - PROGRESS SET

DEMOLITION PLANS  
**D100**



DATE	ISSUE - REMARKS

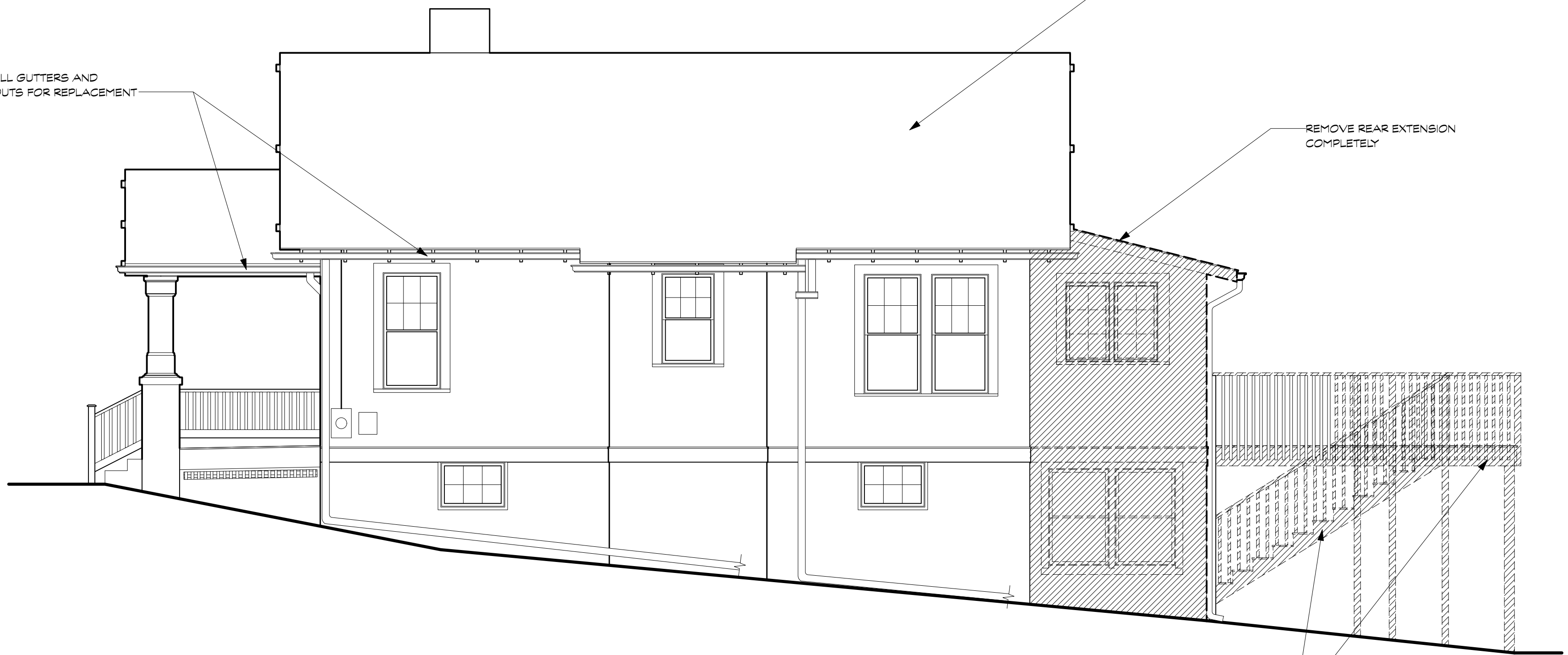
I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

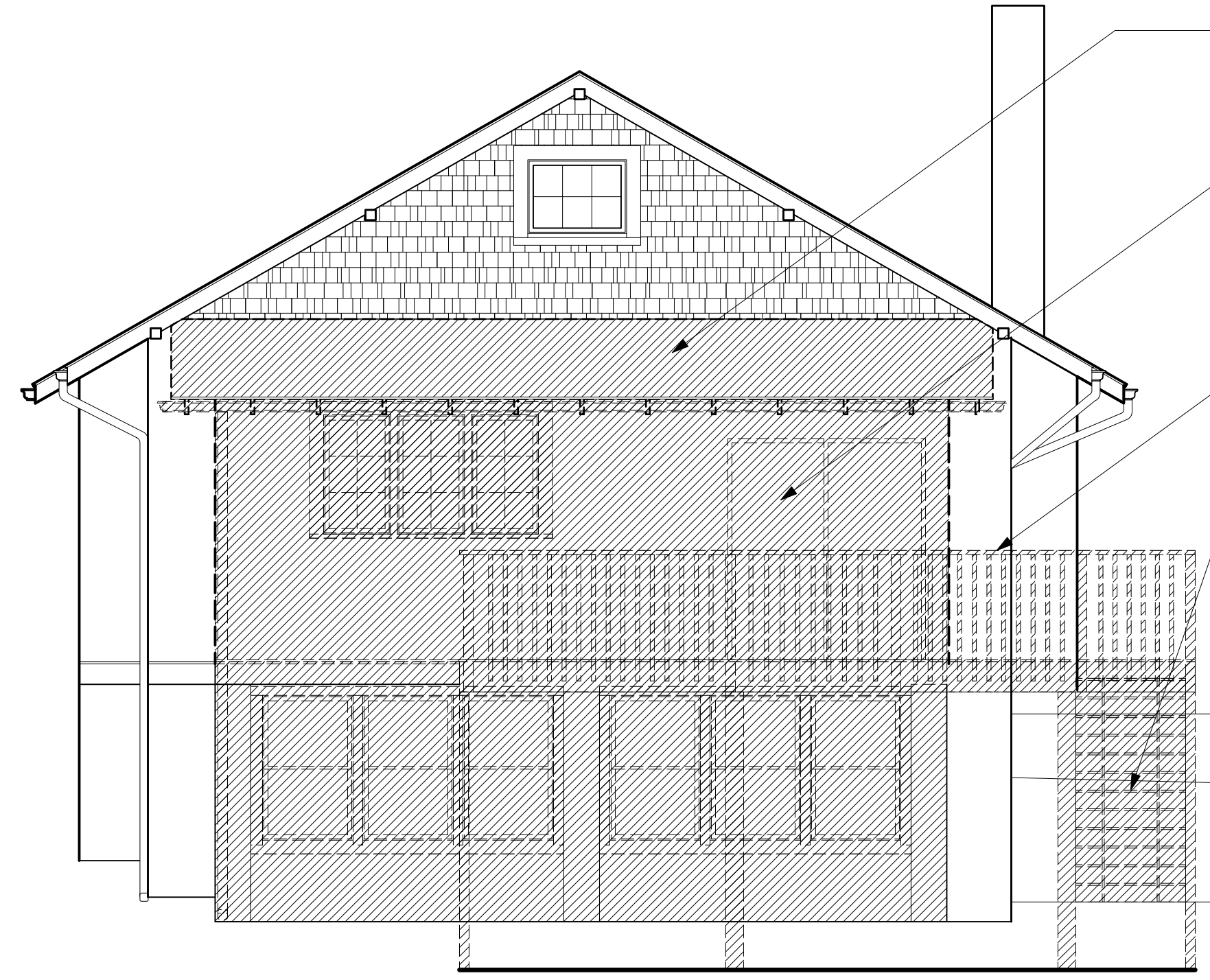
© 2023 Bennett Frank McCarthy Architects, Inc.



1 EXISTING FRONT ELEVATION  
Scale: 1/4" = 1'-0"



2 SIDE DEMOLITION ELEVATION  
Scale: 1/4" = 1'-0"



3 REAR DEMOLITION ELEVATION  
Scale: 1/4" = 1'-0"



4 SIDE DEMOLITION ELEVATION  
Scale: 1/4" = 1'-0"



APPROVED  
Montgomery County  
Historic Preservation Commission

*[Signature]*

REVIEWED  
By Dan.Bruechert at 12:20 pm, Sep 19, 2023

HEATH-LANGLAIS ADDITION

7338 Carroll Ave., Takoma Park, MD 20912  
Project # 2307

DEMOLITION ELEVATIONS  
D200

23 AUGUST 2023 - PROGRESS SET

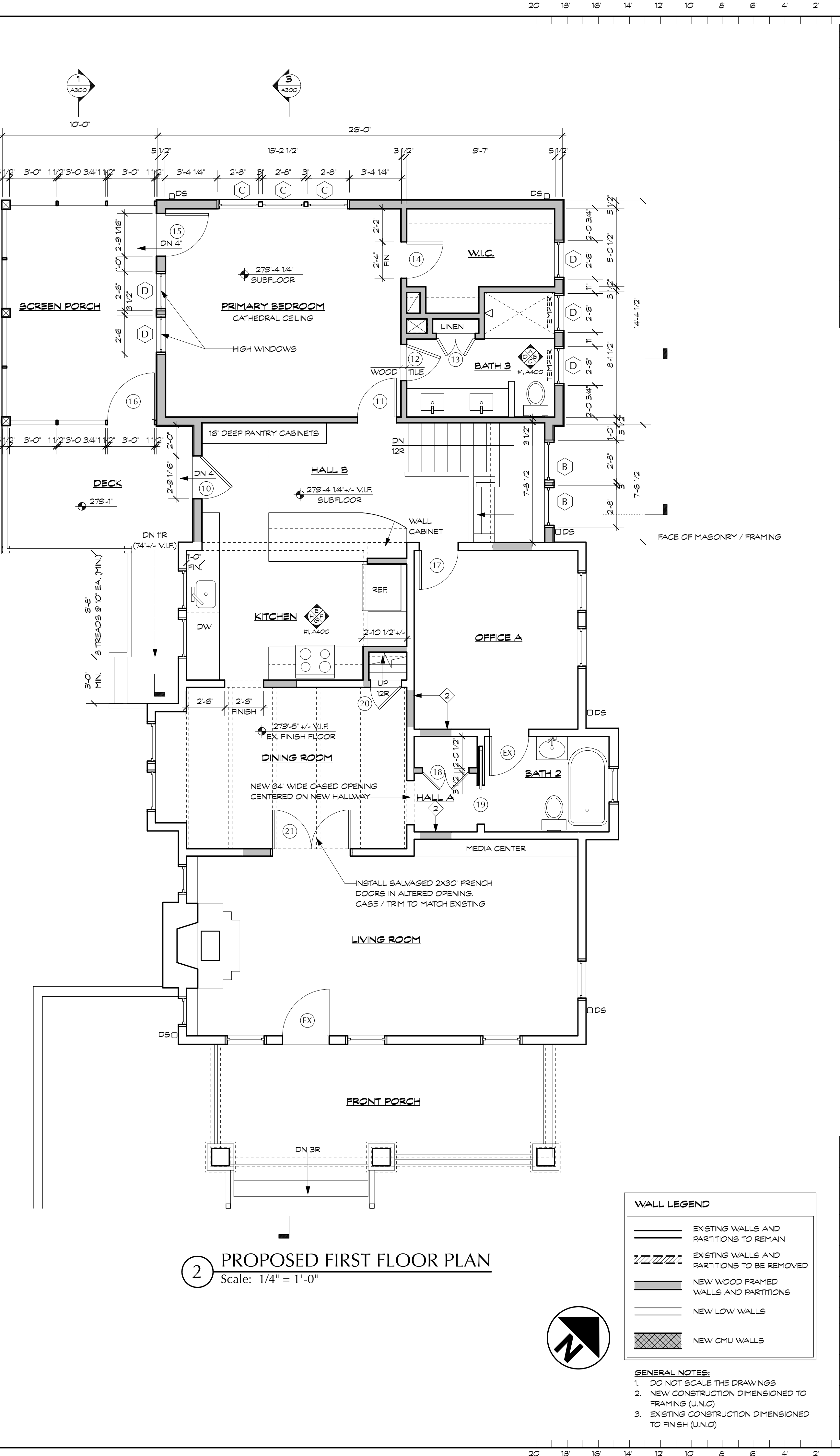
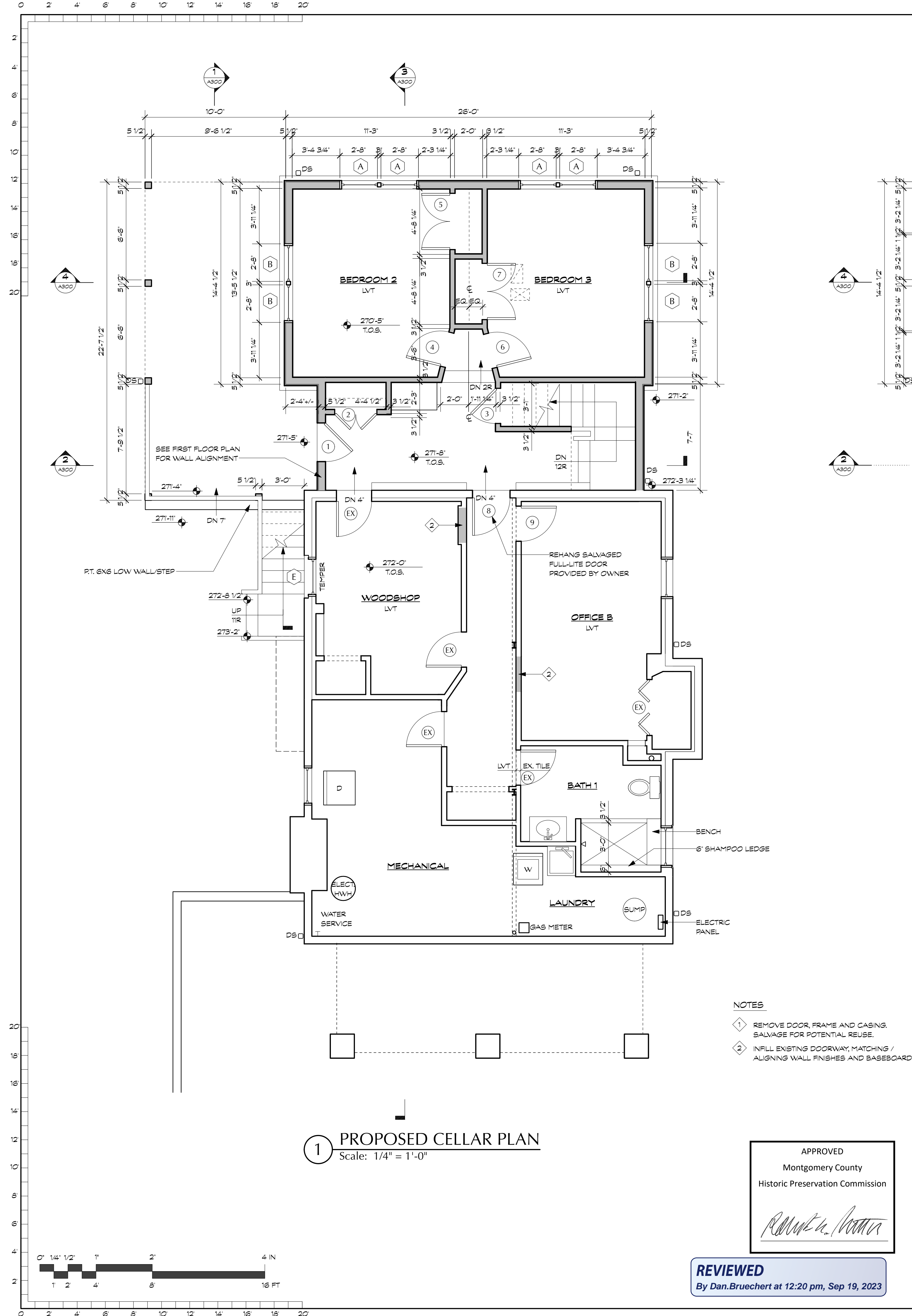


DATE	ISSUE - REMARKS

CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

© 2023 Bennett Frank McCarthy Architects, Inc.



**HEATH-LANGLAIS ADDITION**  
7338 Carroll Ave., Takoma Park, MD 20912  
Project # 2307

23 AUGUST 2023 - PROGRESS SET

**CELLAR & FIRST FLOOR PLANS**  
**A100**

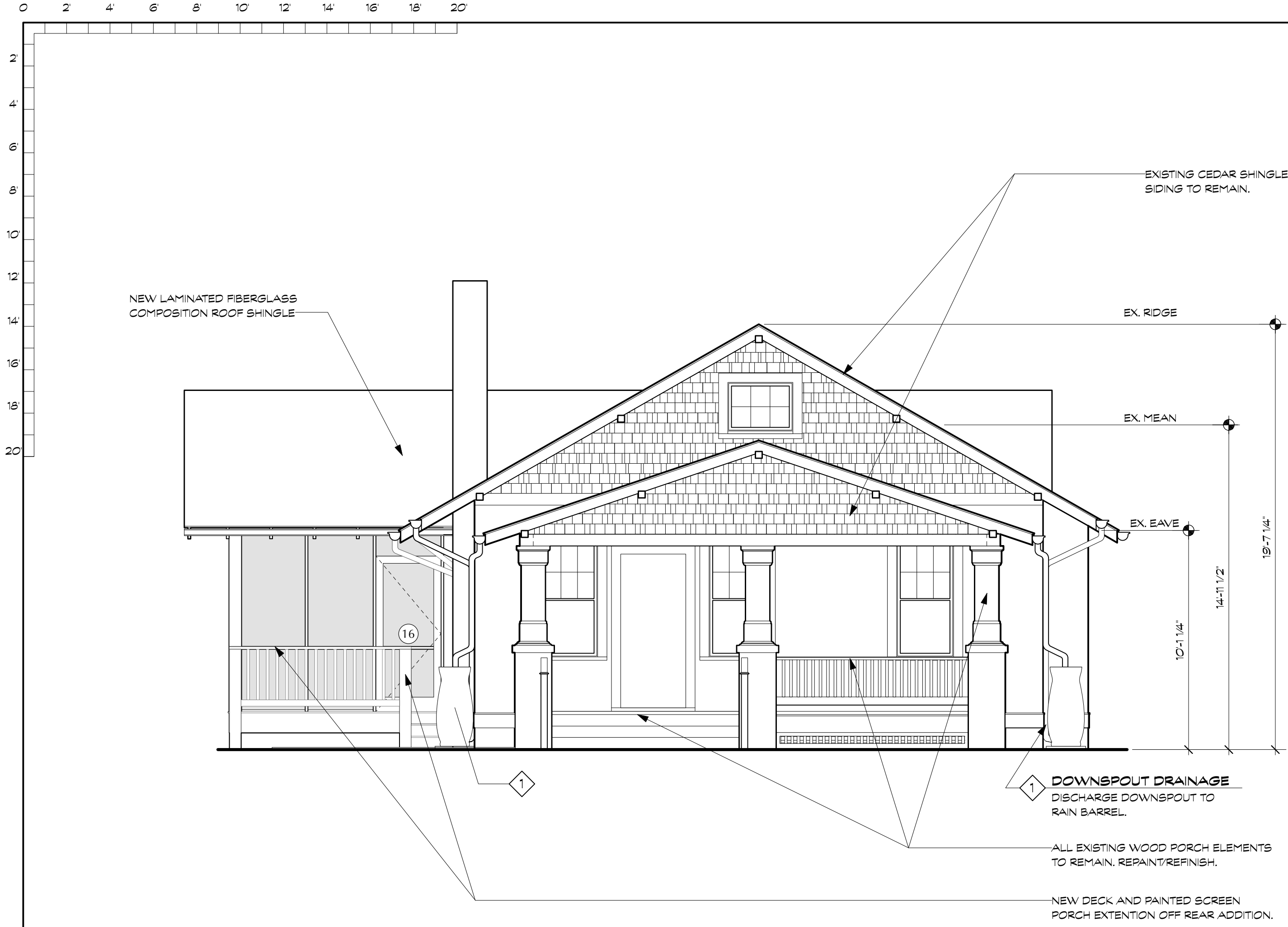


DATE	ISSUE - REMARKS

I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

© 2023 Bennett Frank McCarthy Architects, Inc.



**1 PROPOSED FRONT ELEVATION**  
Scale: 1/4" = 1'-0"

**WINDOW SCHEDULE**

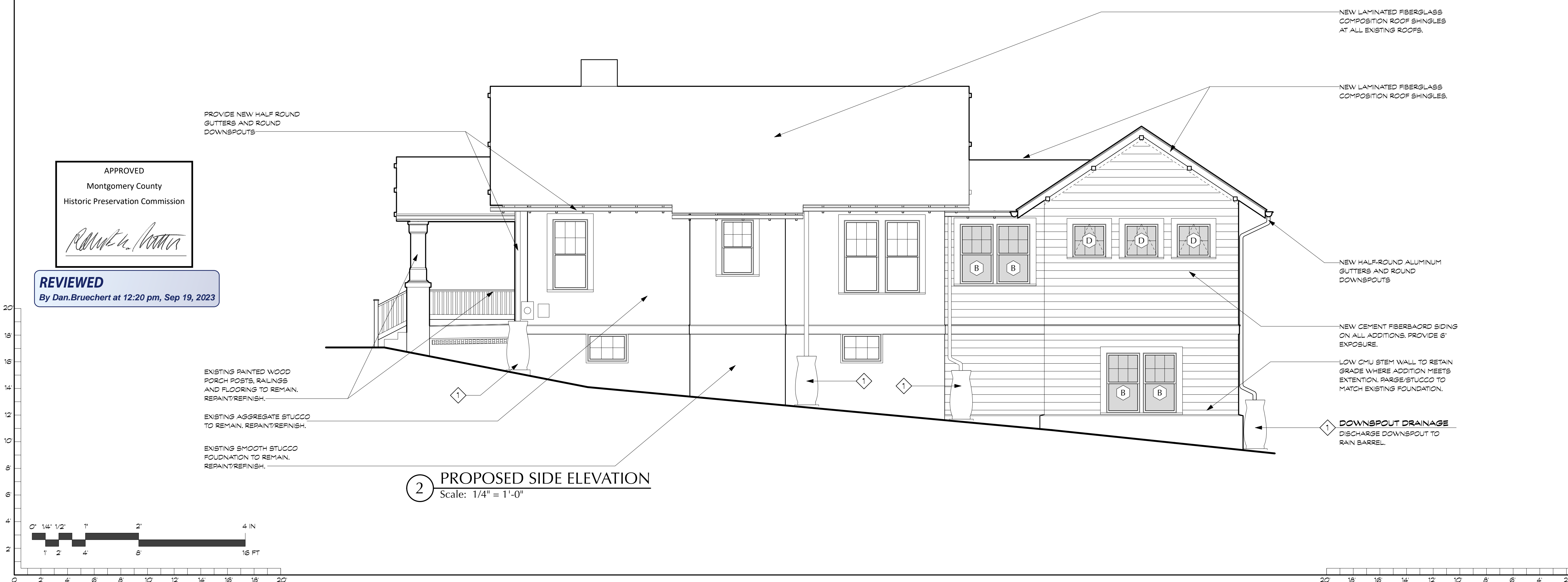
MARK	WEATHERSHIELD SERIES NO.	TYPE	UNIT SIZE (W x H)	ROUGH OPENING (W x H)	OPER.	EGRESS	GLAZING	REMARKS	MARK
A	2846 (8219)	CASEMENT	2'-7 1/2" X 4'-5 1/2"	2'-8" X 4'-6"	Y	Y	LOW-E		A
B	2850 (8222)	DOUBLE HUNG	2'-7 1/2" X 4'-5 1/2"	2'-8" X 4'-6"	Y	N	LOW-E		B
C	2850 (8219)	CASEMENT	2'-7 1/2" X 4'-11 1/2"	2'-8" X 5'-0"	Y	Y	LOW-E		C
D	2826 (8219)	AWNING	2'-5 1/2" X 2'-5 1/2"	2'-6" X 2'-6"	Y	N	LOW-E	TEMPER AS SHOWN	D
E	3030 (8222)	DOUBLE HUNG	2'-11 1/2" X 2'-11 1/2"	3'-0" X 3'-0"	Y	N	LOW-E		E

- NOTES:**
- PROVIDE TEMPERED / SAFETY GLASS IN WINDOWS & SIDELIGHTS WHERE THE SILLS ARE LESS THAN 18" ABOVE THE FINISH FLOOR.
  - PROVIDE TEMPERED / SAFETY GLASS IN WINDOWS & SIDELIGHTS WHERE GLAZING IS WITHIN 24" OF A DOOR OPENING.
  - PROVIDE TEMPERED / SAFETY GLASS IN WINDOWS & SIDELIGHTS WHERE GLAZING IS ADJACENT TO BATHUB & SHOWER ENCLOSURES.
  - PROVIDE ONE EMERGENCY EGRESS WINDOW CONFORMING W/ CODE IN EACH SLEEPING AREA & BEDROOM:  
THE MINIMUM NET CLEAR OPENING SHALL BE 5.7 SQUARE FEET. THE MINIMUM NET CLEAR WIDTH SHALL BE 20 INCHES.  
THE MINIMUM NET CLEAR HEIGHT SHALL BE 24 INCHES. THE MAXIMUM SILL HEIGHT SHALL BE 44 INCHES ABOVE THE FINISH FLOOR.
  - SEE ELEVATIONS FOR MUNTIN / GRILLE PATTERNS, AND UNIT OPERATION.
  - PROVIDE LIMITERS ON ALL WINDOWS WITH SILL HEIGHT BELOW 36" TO PREVENT PASSAGE OF A 4" SPHERE THROUGH FULLY OPENED WINDOW.
  - ALL FENESTRATION PRODUCTS SHALL BE NFRC CERTIFIED AND SHALL MEET THE PERFORMANCE CRITERIA LABELED ON THE UNIT INCLUDING U-VALUE, SHGC, AND AIR LEAKAGE RATING.
  - ALL GLAZING IN HAZARDOUS LOCATIONS AS DEFINED BY IBC 2406.3 SHALL BE LABELED PER IBC 2406.

**DOOR SCHEDULE**

NO.	LOCATION	SIZE	THICKNESS	MATERIAL	DR	FR	TYPE/STYLE	CONFIG	OPER.	HARDWARE	REMARKS	NO.
1	BASEMENT ENTRY	2'-8" X 6'-8"	1 3/4"	WD/GLASS	WD	WD	HALF-LITE	SINGLE	SWING	LOCKSET & DEADBOLT		1
2	BASEMENT ENTRY CLOSET	3'-0" X 6'-8"	1 3/8"	WD	WD	WD	FIVE-PANEL	DOUBLE	SWING	DUMMY PULLS & MAGNETIC CATCH		2
3	UNDERSTAR CLOSET	2'-6" X 6'-8"	1 3/8"	WD	WD	WD	FIVE-PANEL	SINGLE	SWING	PASSAGE		3
4	BEDROOM 2	2'-6" X 6'-8"	1 3/8"	WD	WD	WD	FIVE-PANEL	SINGLE	SWING	PRIVACY		4
5	BEDROOM 2 CLOSET	4'-0" X 6'-8"	1 3/8"	WD	WD	WD	FIVE-PANEL	DOUBLE	SWING	DUMMY PULLS & MAGNETIC CATCH		5
6	BEDROOM 3	2'-6" X 6'-8"	1 3/8"	WD	WD	WD	FIVE-PANEL	SINGLE	SWING	PRIVACY		6
7	BEDROOM 3 CLOSET	4'-0" X 6'-8"	1 3/8"	WD	WD	WD	FIVE-PANEL	DOUBLE	SWING	DUMMY PULLS & MAGNETIC CATCH		7
8	BASEMENT HALL	2'-6" X 6'-4"	1 3/8"	WD/GLASS	WD	WD	FRENCH	SINGLE	SWING	PASSAGE	NOTE 2 AND 4	8
9	OFFICE B	2'-6" X 6'-4"	1 3/8"	WD	WD	WD	FIVE-PANEL	SINGLE	SWING	PRIVACY		9
10	KITCHEN - DECK	2'-8 1/8" X 7'-2 1/2" R.O.	1 3/4"	WD/GLASS	WD	WD	FULL-LITE	SINGLE	SWING	LOCKSET & DEADBOLT		10
11	PRIMARY BEDROOM	2'-6" X 6'-8"	1 3/8"	WD	WD	WD	FIVE-PANEL	SINGLE	SWING	PRIVACY		11
12	BATH 3	2'-4" X 6'-8"	1 3/8"	WD	WD	WD	FIVE-PANEL	SINGLE	SWING	PRIVACY		12
13	LINEN CLOSET	3'-0" X 6'-8"	1 3/8"	WD	WD	WD	FIVE-PANEL	DOUBLE	SWING	DUMMY PULLS & MAGNETIC CATCH		13
14	PRIMARY W.I.C.	2'-4" X 6'-8"	1 3/8"	WD	WD	WD	FIVE-PANEL	SINGLE	SWING	PASSAGE		14
15	SCREEN PORCH - BR 1	2'-8 1/8" X 7'-2 1/2" R.O.	1 3/4"	WD/GLASS	WD	WD	FULL-LITE	SINGLE	SWING	PRIVACY		15
16	BATH 1 CLOSET	3'-0" X 6'-8"	1 3/8"	WD	WD	WD	FIVE-PANEL	DOUBLE	SWING	DUMMY PULLS & MAGNETIC CATCH		16
17	OFFICE A	2'-6" X 6'-8"	1 3/8"	WD	WD	WD	FIVE-PANEL	SINGLE	SWING	PRIVACY		17
18	HALL CLOSET	3'-0" X 6'-8"	1 3/8"	WD	WD	WD	FIVE-PANEL	DOUBLE	SWING	DUMMY PULLS & MAGNETIC CATCH	SALVAGE	18
19	BATH 2	2'-4" X 6'-8"	1 3/8"	WD	WD	WD	FIVE-PANEL	SINGLE	POCKET	CLIP PULLS & LATCH	NOTE 1 AND 5	19
20	ATTIC STAIR	2'-0" X 6'-3 3/4"	1 3/8"	WD	WD	WD	FIVE-PANEL	SINGLE	SWING	PASSAGE	NOTE 1 AND 4	20
21	DINING-LIVING	5'-0" X 6'-8"	1 3/8"	WD/GLS	WD	WD	FRENCH	DOUBLE	SWING	DUMMY PULLS WITH BALL CATCH	NOTE 2	20

- NOTES:**
- REUSE SALVAGED DOOR. SEE DEMOLITION PLANS.
  - HANG SALVAGED DOOR(S) PROVIDED BY OWNER.
  - REINSTALL DOOR IN HIGHER OPENING TO ACCOMMODATE NEW STAIR.
  - RIP / SHORTEN BOTTOM RAIL TO FIT OPENING.
  - REMOVE LOCKSET / PATCH HOLES.

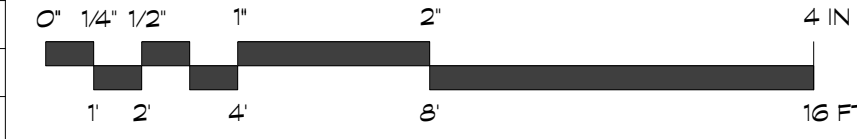


**2 PROPOSED SIDE ELEVATION**  
Scale: 1/4" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission

*Robert H. ...*

REVIEWED  
By Dan.Bruechert at 12:20 pm, Sep 19, 2023



**HEATH-LANGLAIS ADDITION**  
7338 Carroll Ave., Takoma Park, MD 20912  
Project # 2307

23 AUGUST 2023 - PROGRESS SET

ELEVATIONS  
**A200**

DATE	ISSUE - REMARKS

I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

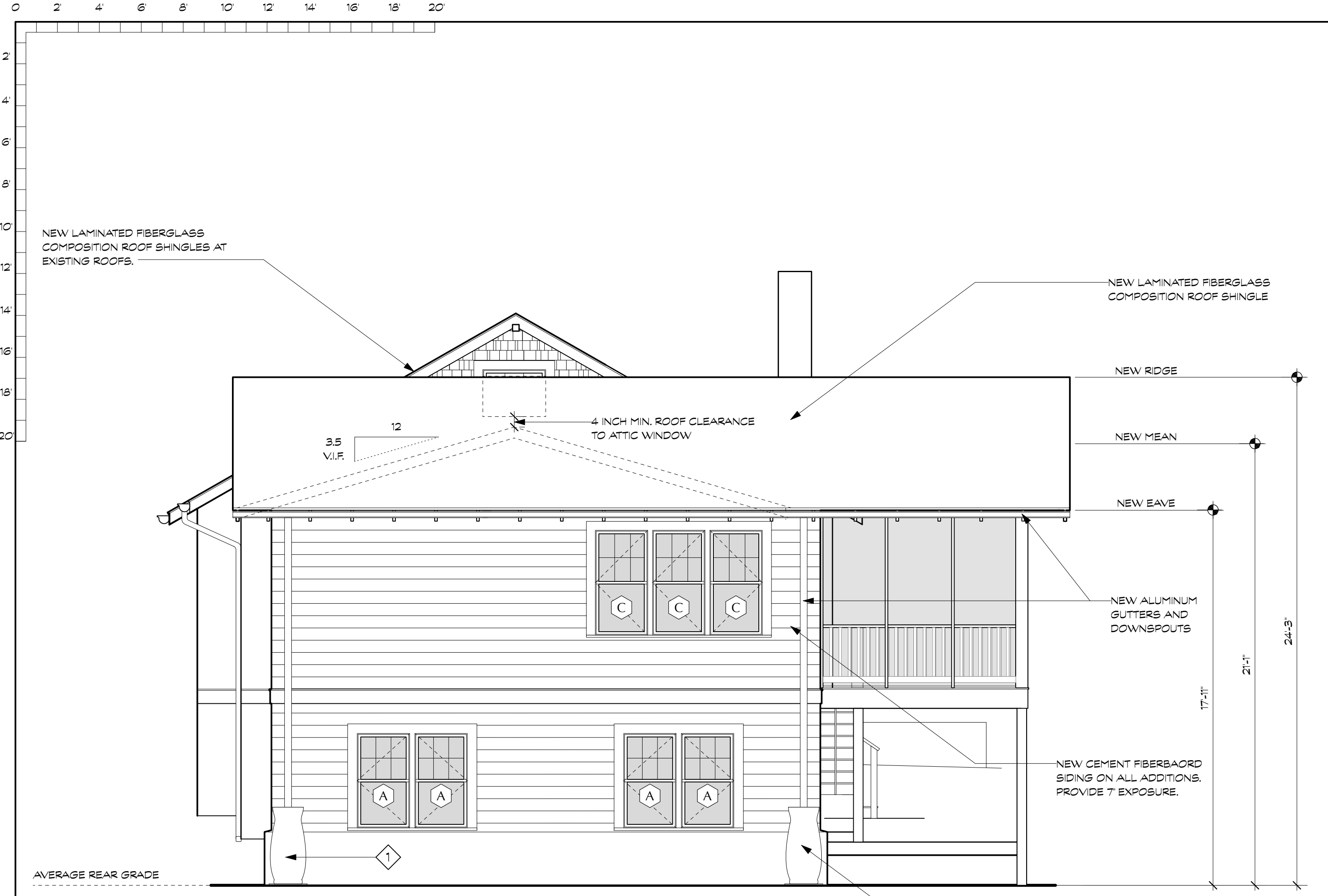
© 2023 Bennett Frank McCarthy Architects, Inc.

ROOM	FLOORING	BASE	WALLS	PAINT	CEILING	PAINT	TRIM	REMARKS
MECH / LAUNDRY	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.	
HALL	LVT	NOTE 1	NOTE 1	NOTE 1	NOTE 1	FLAT	SEMI-GLOSS	REMODEL / RECONFIGURE SHOWER
BATH 1	NEW TILE	NOTE 1	NOTE 1	SEMI-GLOSS		SEMI-GLOSS	SEMI-GLOSS	
OFFICE B	LVT	NOTE 1	NOTE 1					
WOODSHOP								
MUDROOM	LVT							
BEDROOM 2 & 3	LVT							
STAIR	NEW WOOD							
FRONT PORCH								
LIVING ROOM	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.	
DINING ROOM	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.	
HALL A								
HALL B								
BATH 2								
OFFICE A	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.	
KITCHEN								
PRIMARY BEDROOM								
BATH 3	NEW TILE							
WALK-IN-CLOSET								
DECK								
SCREEN PORCH								

**NOTES:**

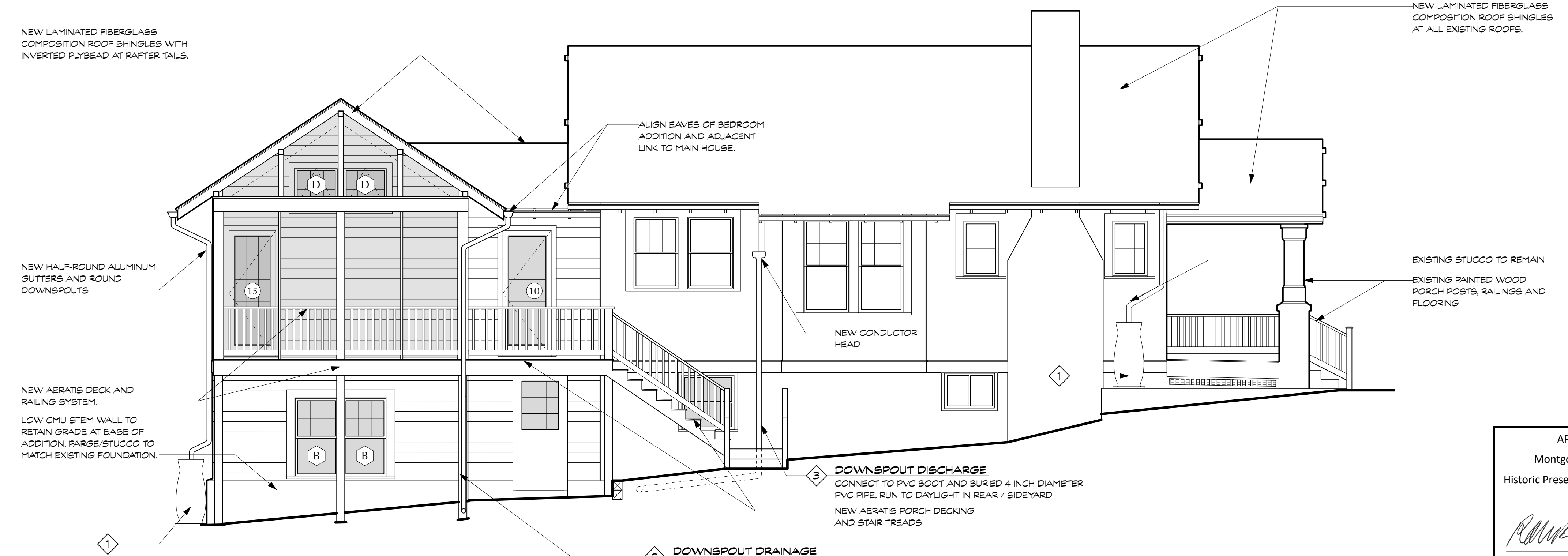
- RESTORE EXISTING FINISHES AFFECTED BY NEW WORK.
- PATCH / EXTEND / TOOTH-IN / FINISH HARDWOOD FLOOR AS REQUIRED TO MATCH EXISTING.
- SAND / REFINISH EXISTING WOOD FLOOR.
- PAINT WALLS AND TRIM.
- PAINT CEILING.
- INSTALL TILE SHOWER SURROUND.
- INSTALL TILE BACKSPLASH.
- REMOVE WALL COVERING.

**ABBREVIATIONS**  
E.T.R. = EXISTING TO REMAIN  
G.W.B. = GYPSUM WALLBOARD (DRYWALL)



**1 PROPOSED REAR ELEVATION**  
Scale: 1/4" = 1'-0"

**1 DOWNSPOUT DRAINAGE**  
DISCHARGE DOWNSPOUT TO RAIN BARREL.



**2 PROPOSED SIDE ELEVATION**  
Scale: 1/4" = 1'-0"

**2 DOWNSPOUT DRAINAGE**  
DISCHARGE DOWNSPOUT TO SPLASHBLOCK.

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]*

REVIEWED  
By Dan.Bruechert at 12:20 pm, Sep 19, 2023

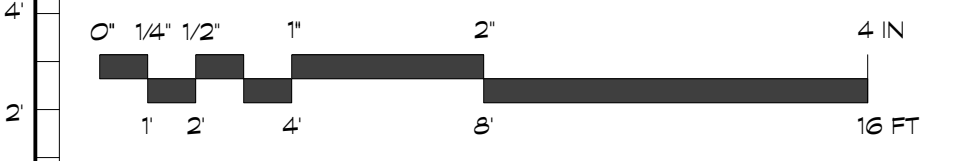
**HEATH-LANGLAIS ADDITION**

7338 Carroll Ave., Takoma Park, MD 20912  
Project # 2307

23 AUGUST 2023 - PROGRESS SET

ELEVATIONS

**A201**



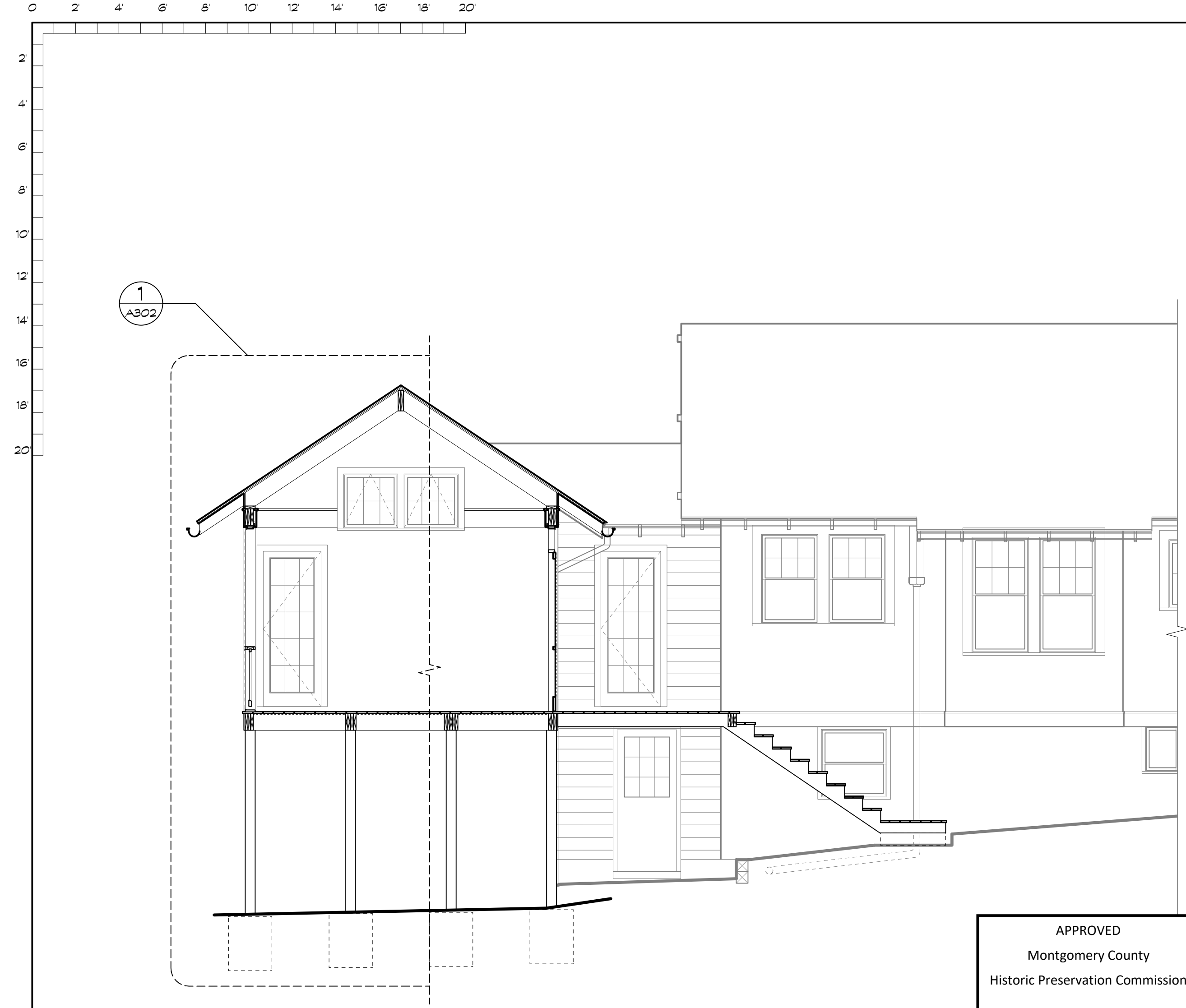


DATE	ISSUE - REMARKS

I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

© 2023 Bennett Frank McCarthy Architects, Inc.

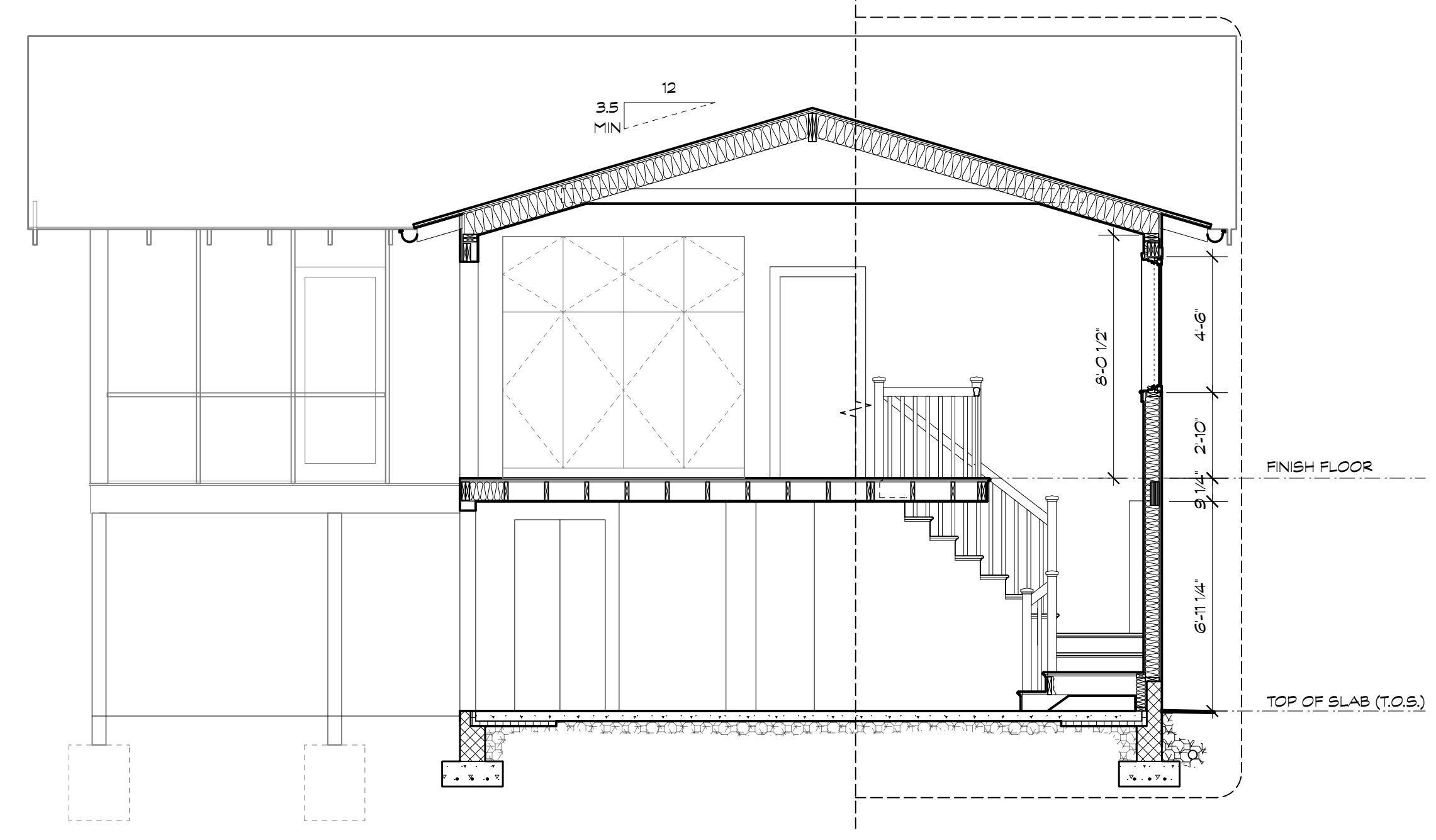


**1 BUILDING SECTION**  
Scale: 1/4" = 1'-0"

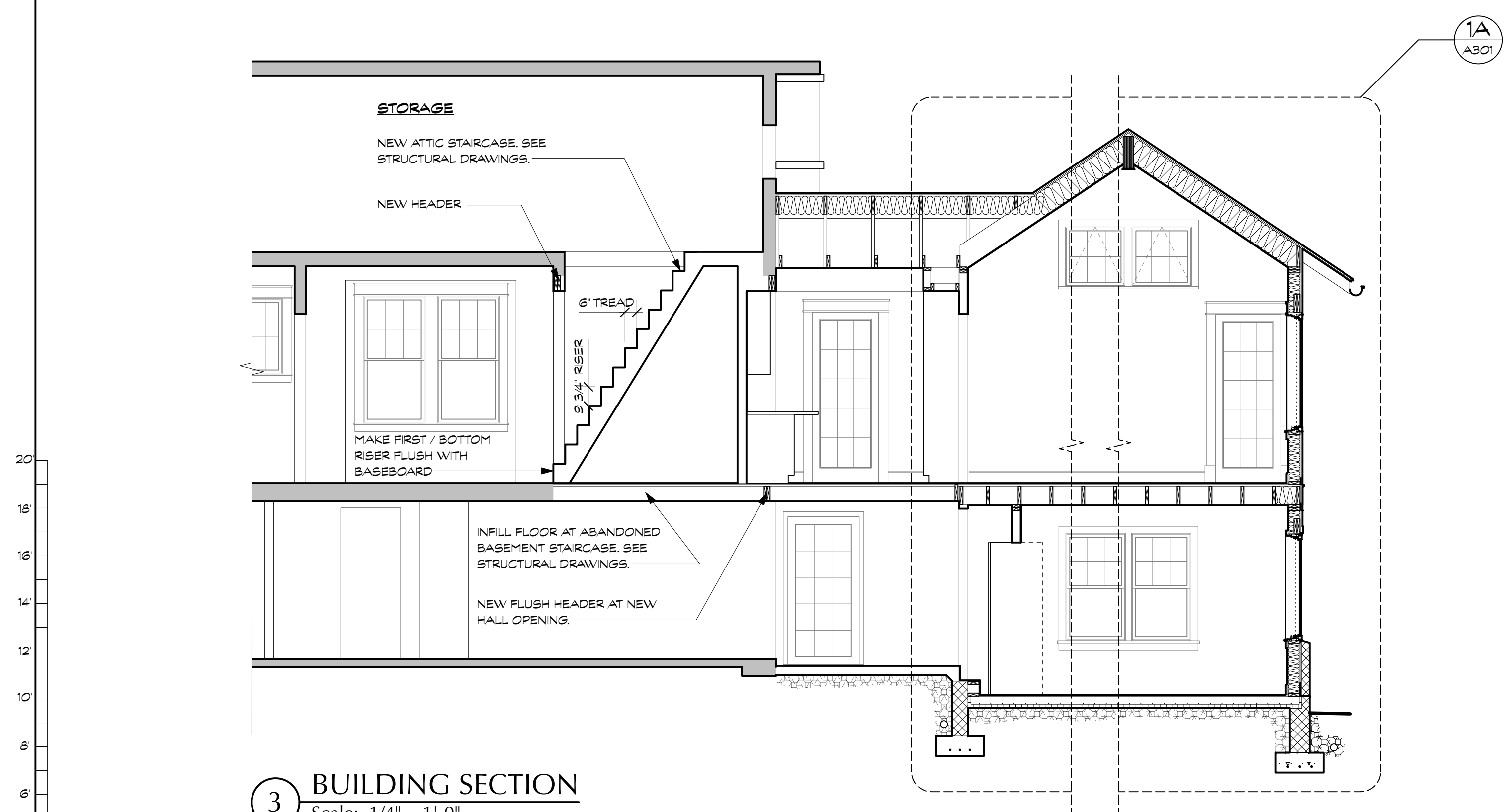
APPROVED  
Montgomery County  
Historic Preservation Commission

*[Signature]*

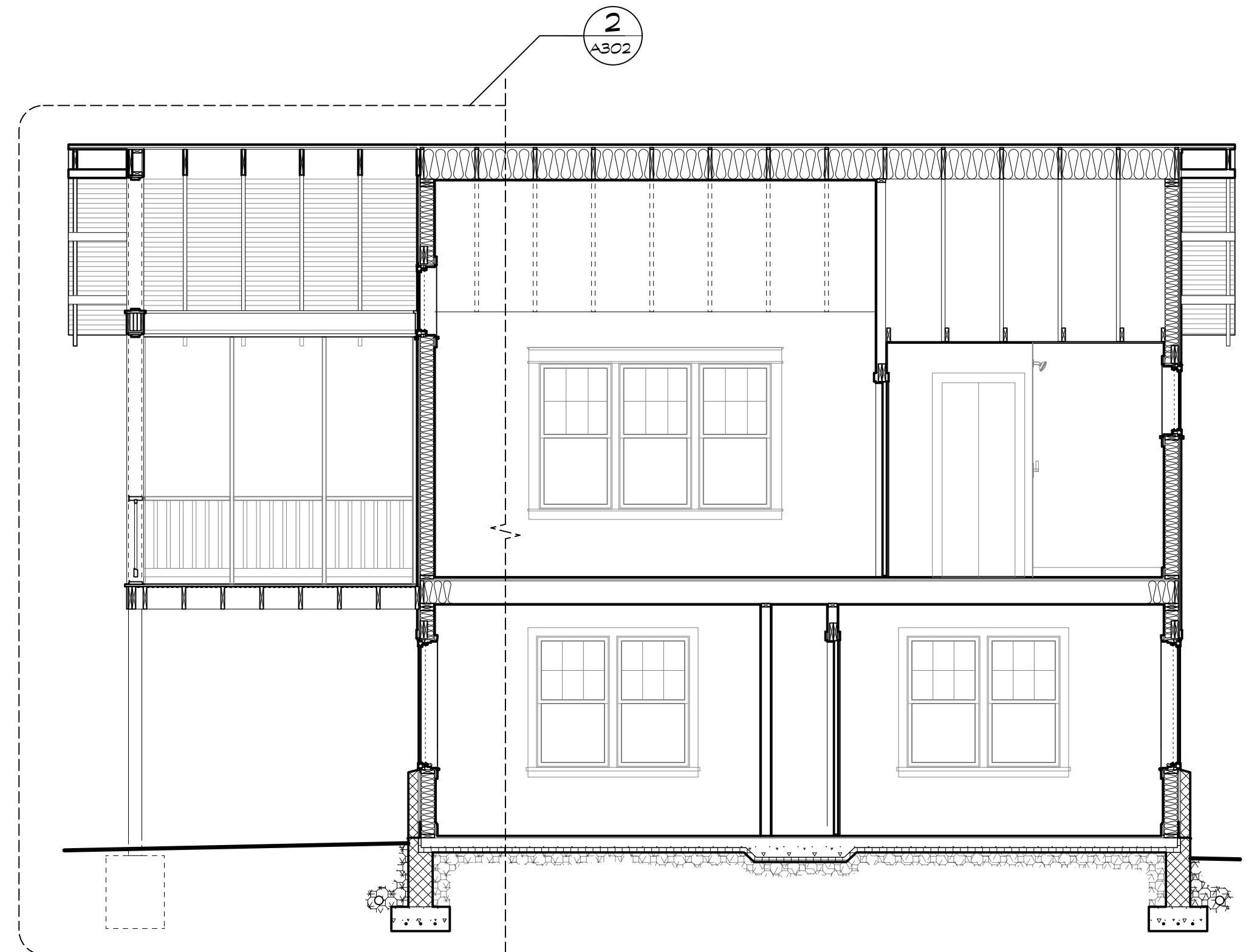
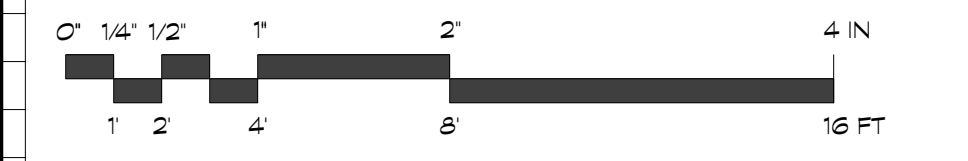
**REVIEWED**  
By Dan.Bruechert at 12:20 pm, Sep 19, 2023



**2 BUILDING SECTION**  
Scale: 1/4" = 1'-0"



**3 BUILDING SECTION**  
Scale: 1/4" = 1'-0"



**4 BUILDING SECTION**  
Scale: 1/4" = 1'-0"

**HEATH-LANGLAIS ADDITION**

7338 Carroll Ave., Takoma Park, MD 20912  
Project # 2307

23 AUGUST 2023 - PROGRESS SET

**BUILDING SECTIONS**  
**A300**

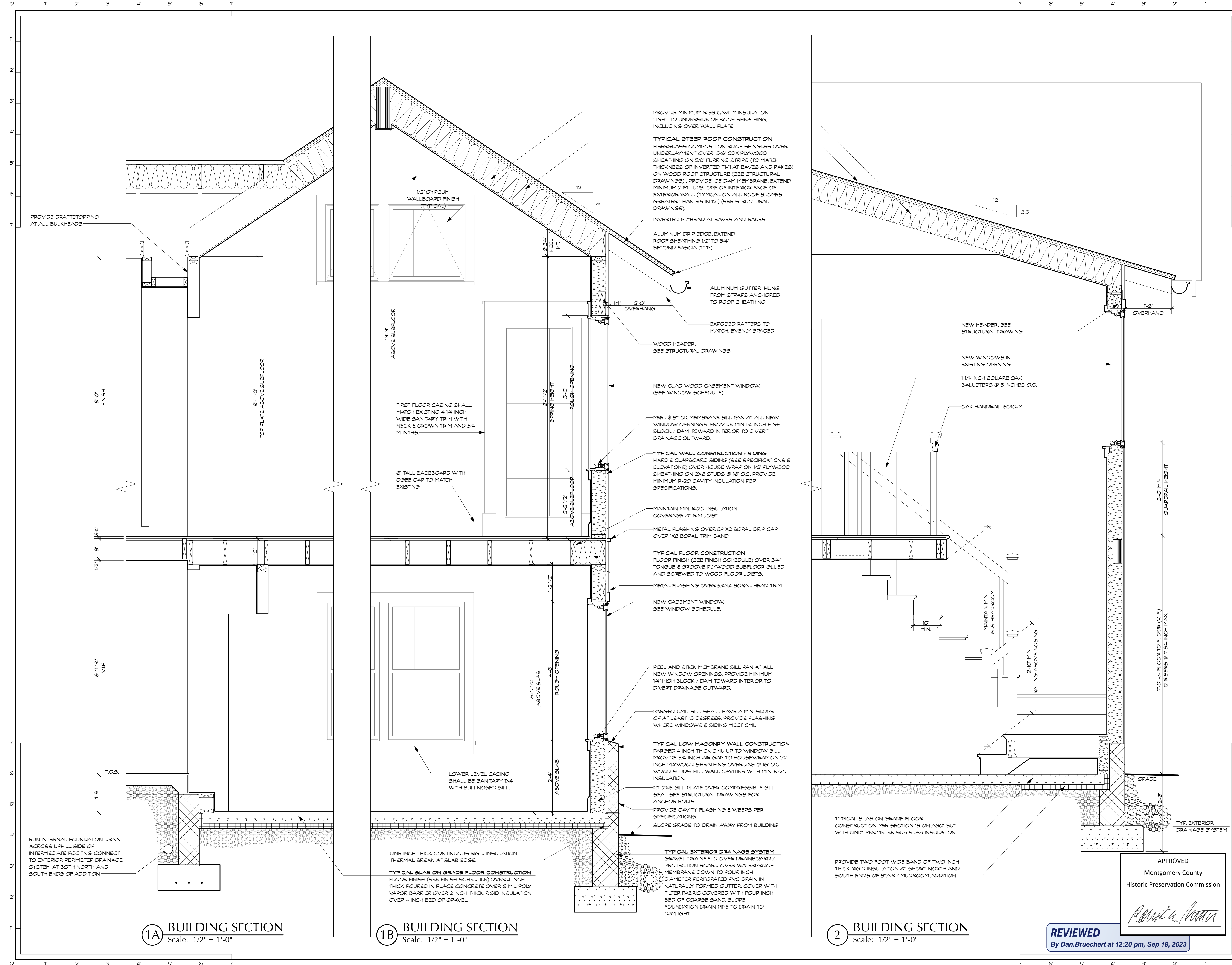


DATE	ISSUE - REMARKS

CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

© 2023 Bennett Frank McCarthy Architects, Inc.



# HEATH-LANGLAIS ADDITION

7338 Carroll Ave., Takoma Park, MD 20912  
Project # 2307

23 AUGUST 2023 - PROGRESS SET

APPROVED  
Montgomery County  
Historic Preservation Commission

*[Signature]*

**WALL SECTIONS**

**A301**

**REVIEWED**  
By Dan.Bruechert at 12:20 pm, Sep 19, 2023

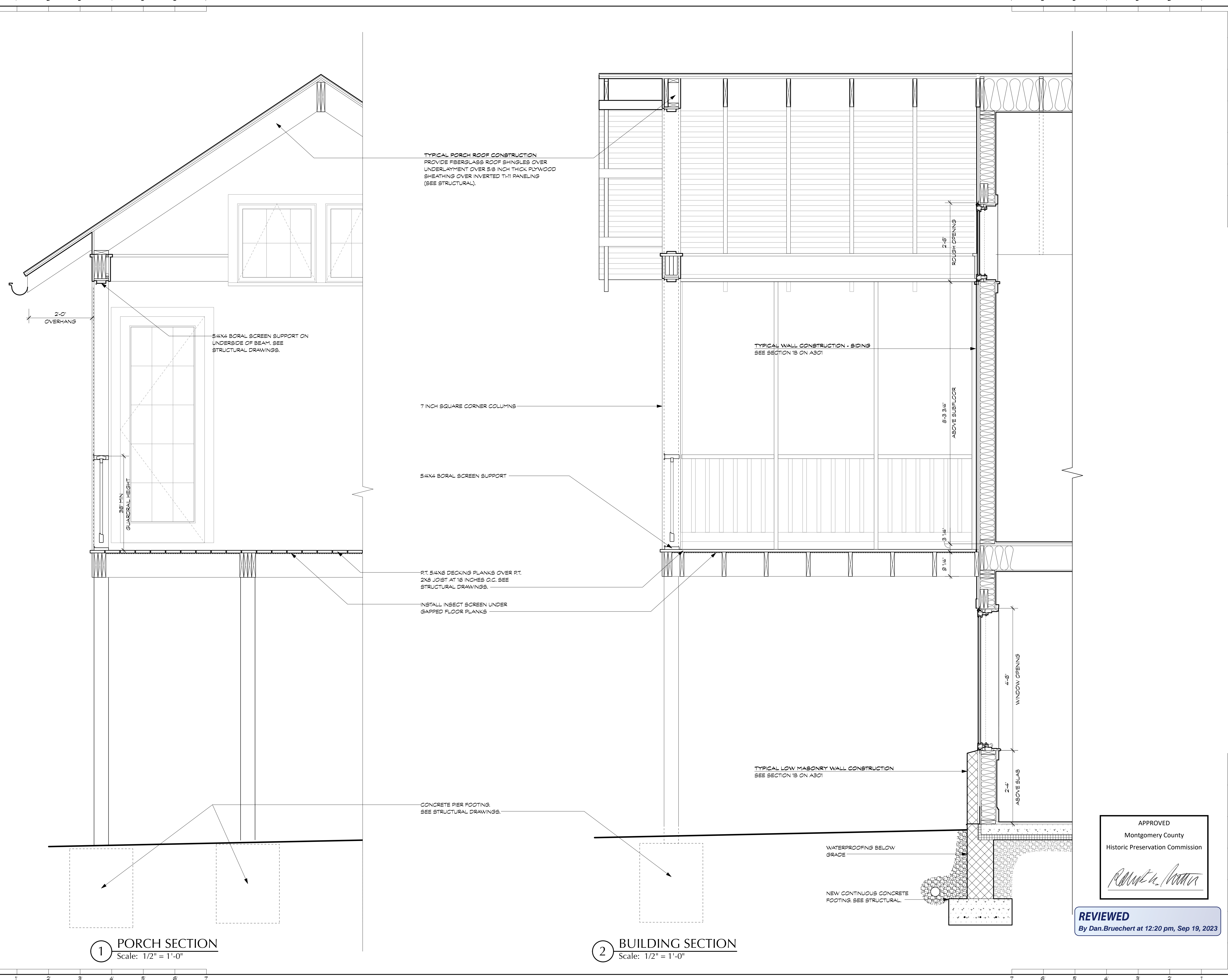


DATE	ISSUE - REMARKS

I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

© 2023 Bennett Frank McCarthy Architects, Inc.



**1** PORCH SECTION  
Scale: 1/2" = 1'-0"

**2** BUILDING SECTION  
Scale: 1/2" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission

*[Signature]*

**REVIEWED**  
By Dan.Bruechert at 12:20 pm, Sep 19, 2023

**HEATH-LANGLAIS ADDITION**

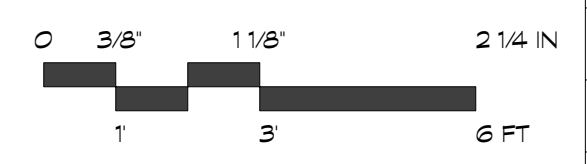
7338 Carroll Ave., Takoma Park, MD 20912  
Project # 2307

23 AUGUST 2023 - PROGRESS SET

PORCH SECTIONS

**A302**



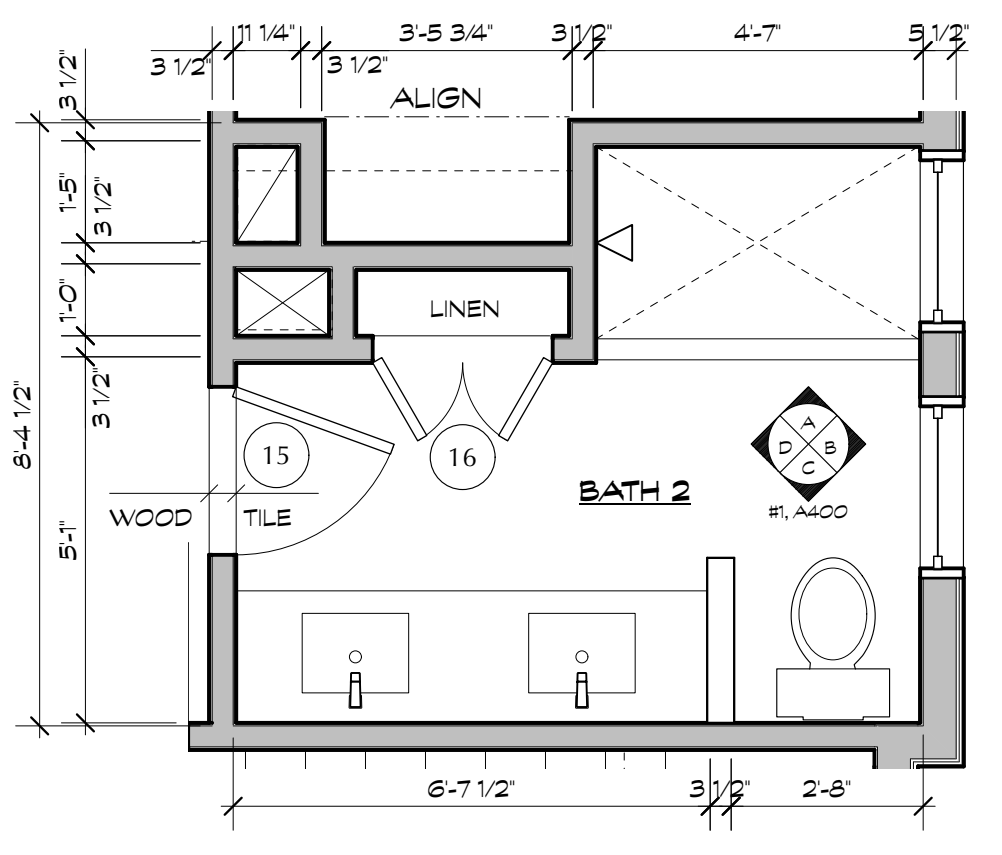


DATE	ISSUE - REMARKS

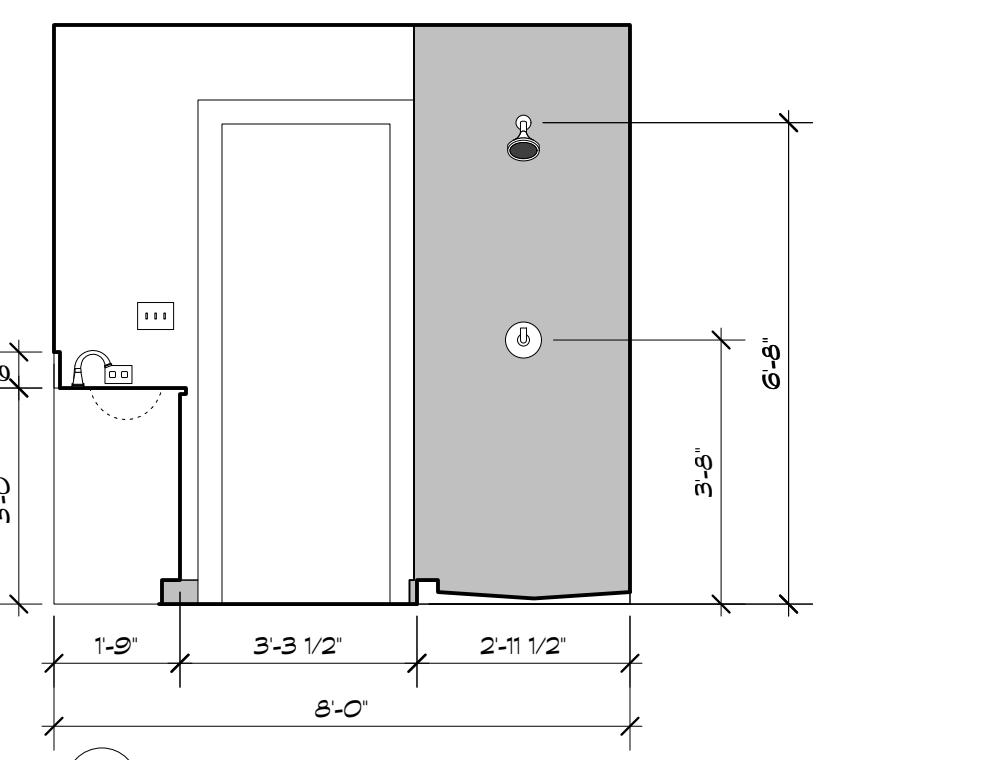
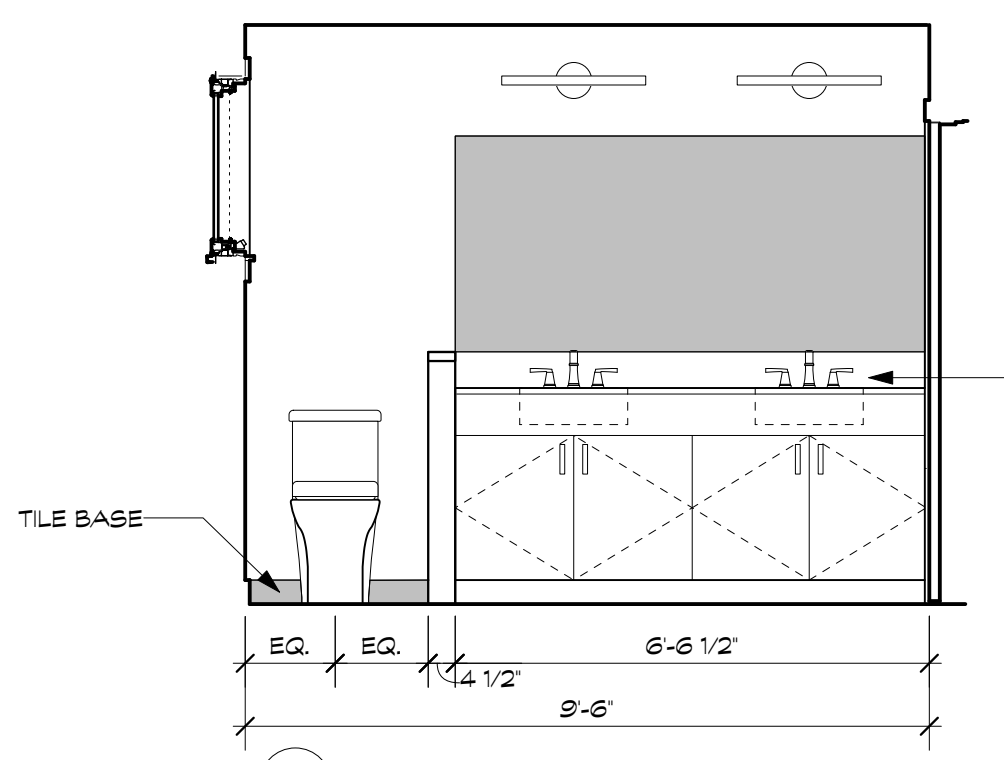
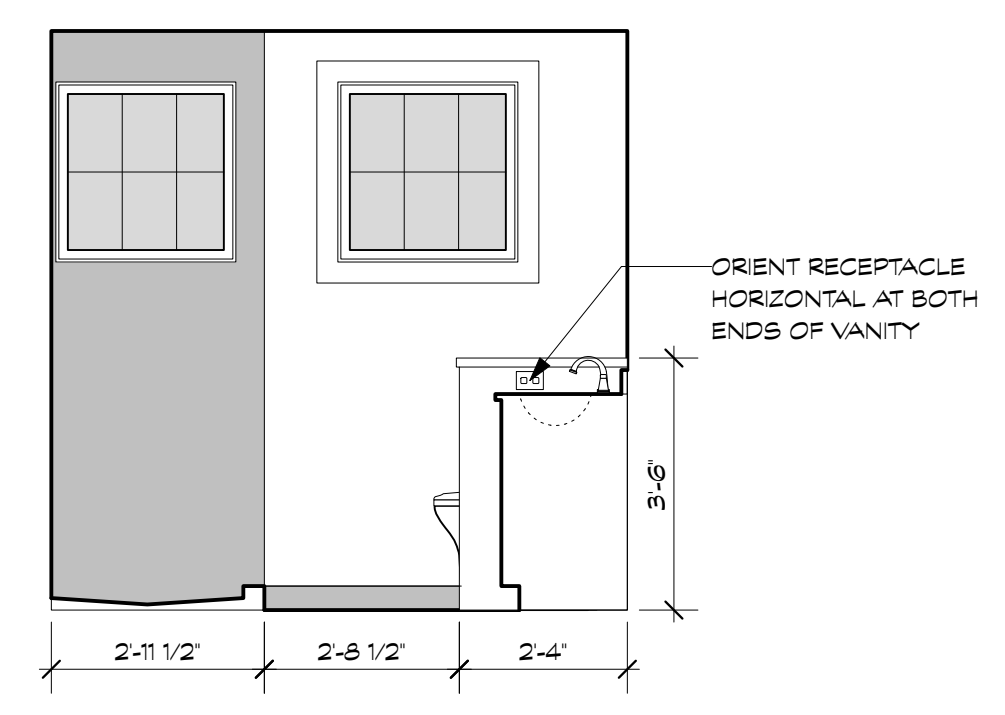
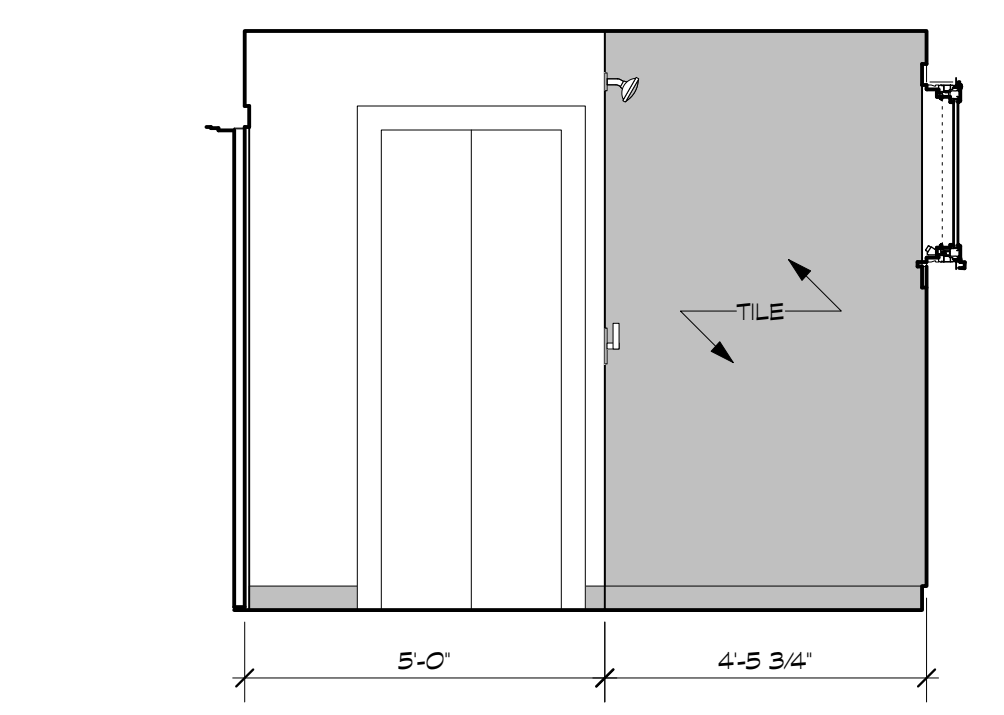
I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

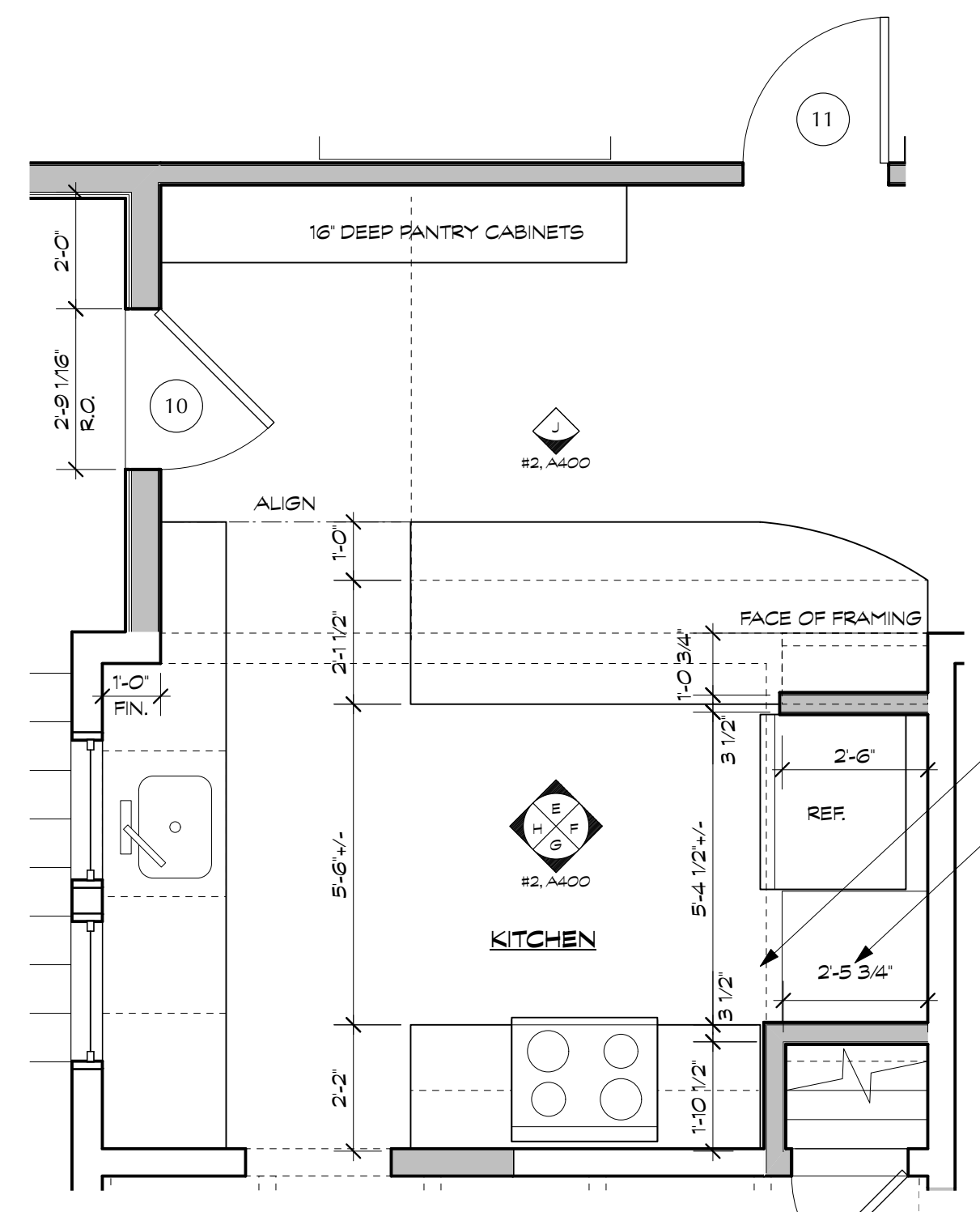
© 2023 Bennett Frank McCarthy Architects, Inc.



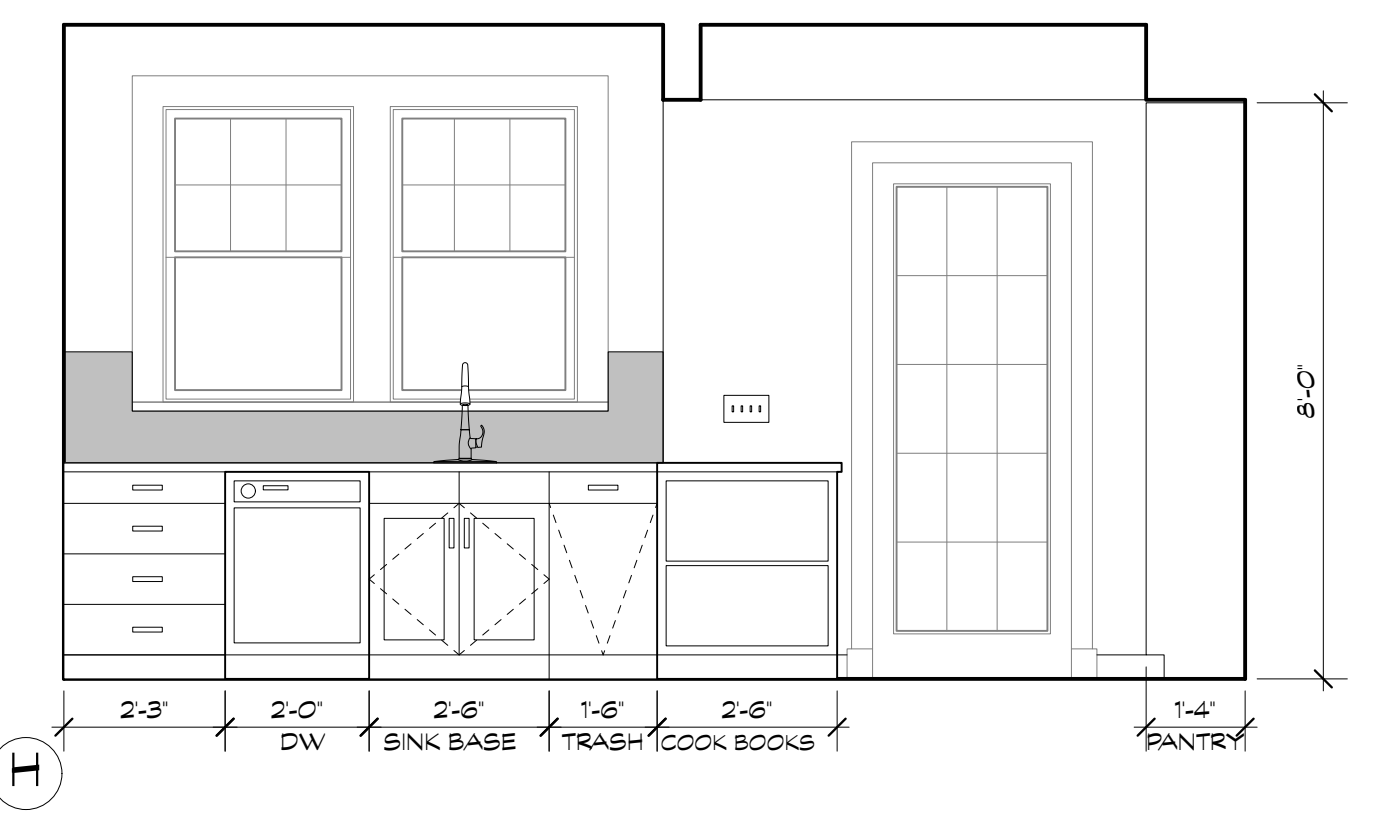
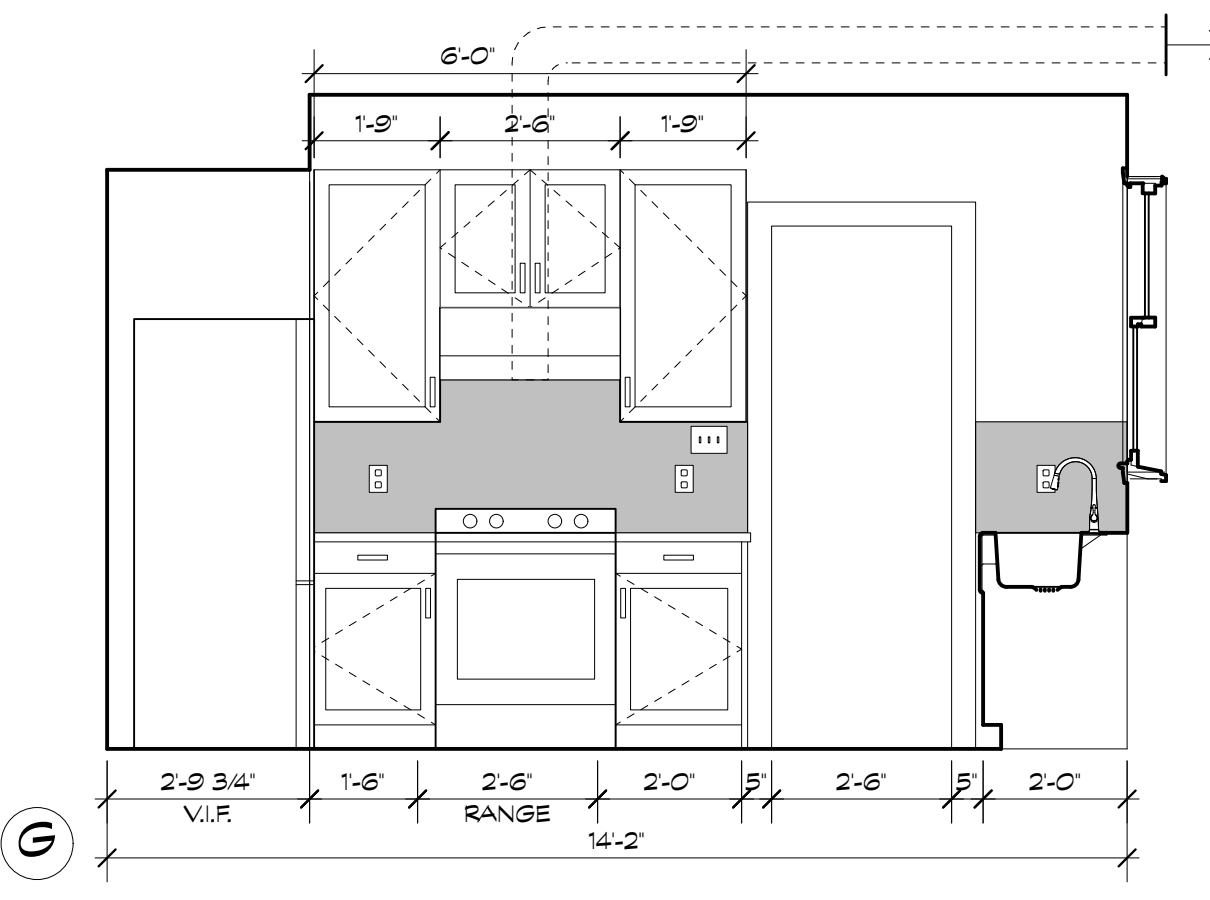
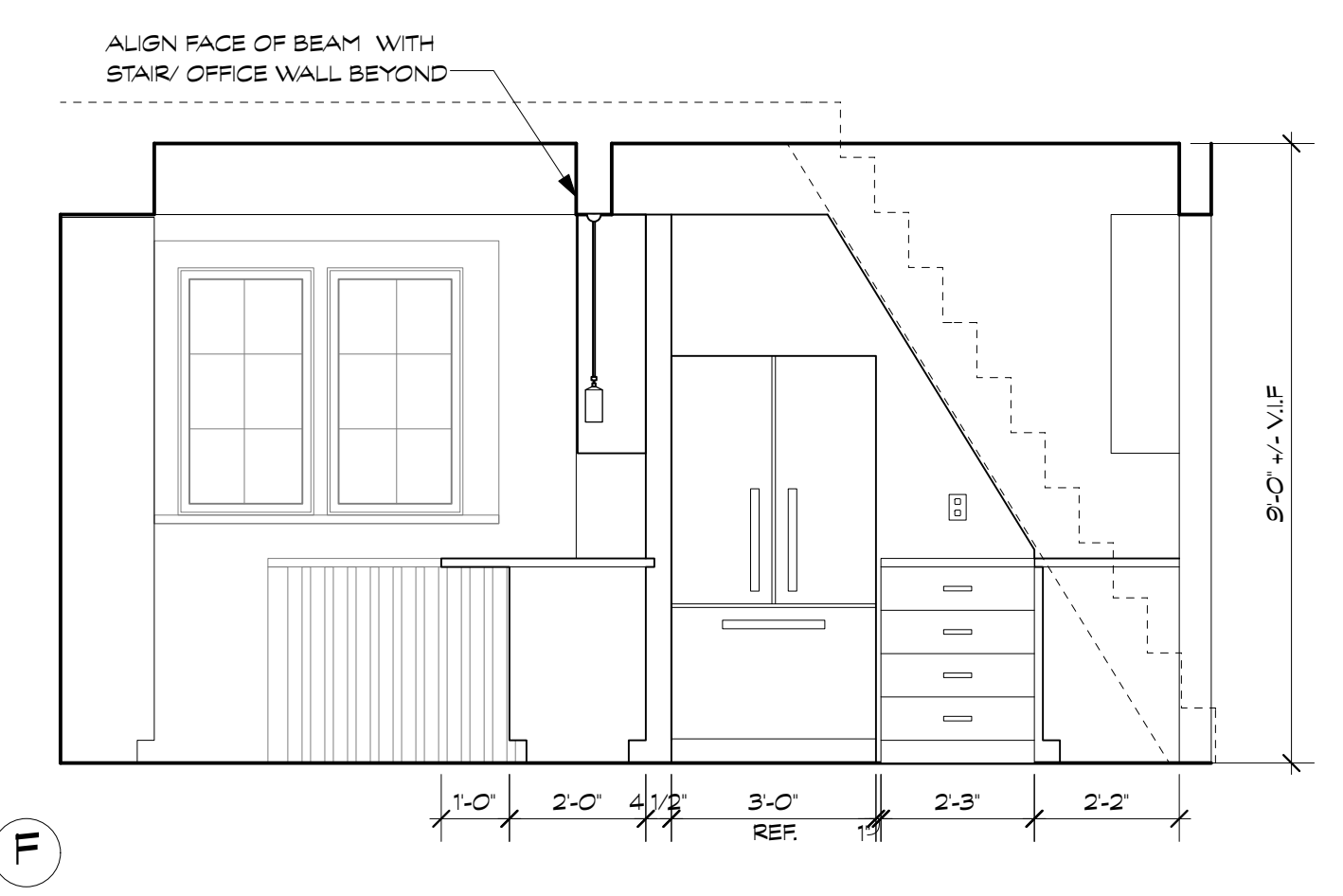
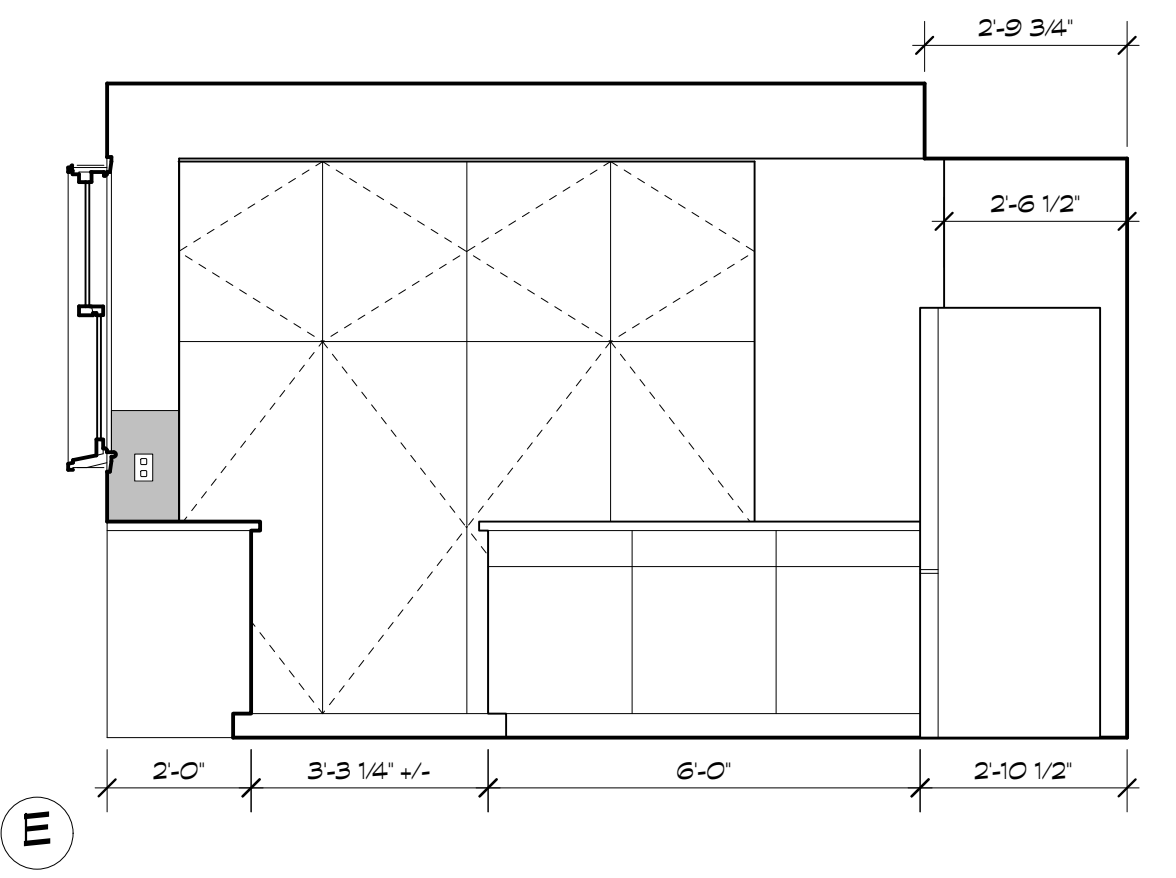
**2 BATHROOM PLAN (DIMENSIONS ARE TO FRAMING)**  
Scale: 3/8" = 1'-0"



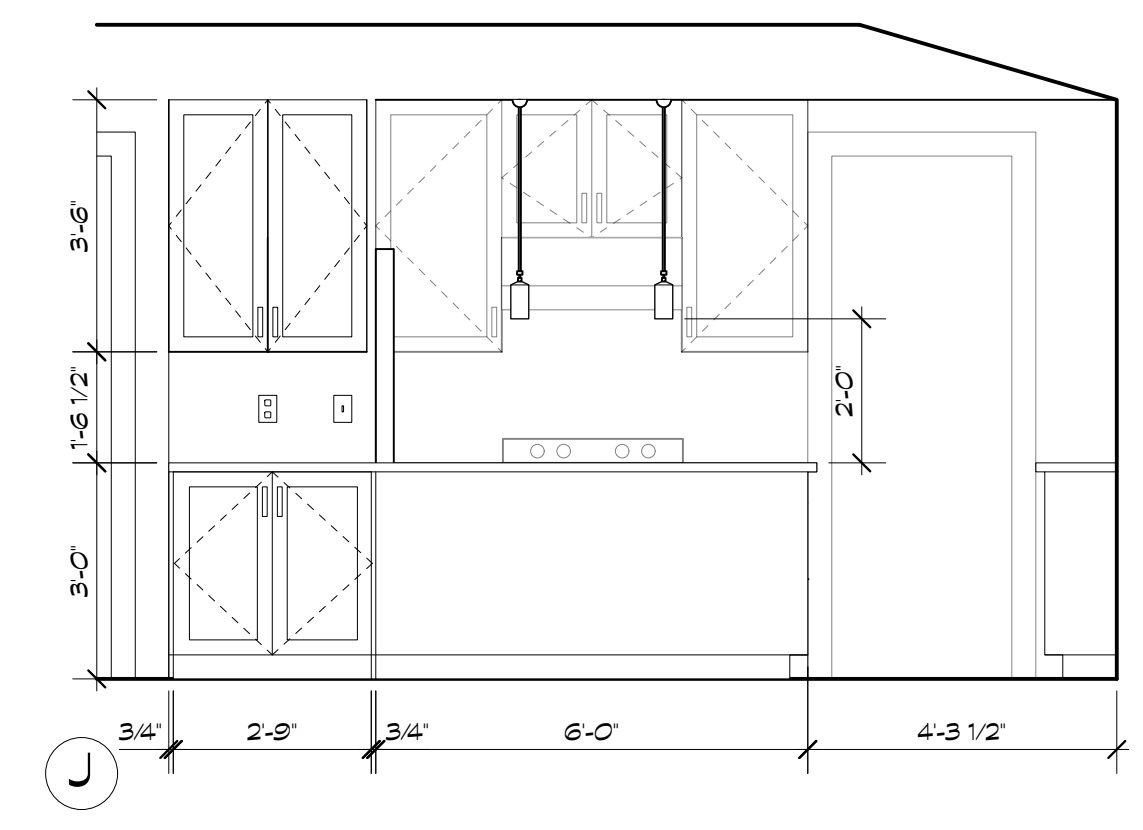
**1 BATHROOM ELEVATIONS (DIMENSIONS ARE TO FINISHES)**  
Scale: 3/8" = 1'-0"



**4 KITCHEN PLAN (DIMENSIONS ARE TO FRAMING)**  
Scale: 3/8" = 1'-0"



**3 KITCHEN ELEVATIONS (DIMENSIONS ARE TO FINISHES)**  
Scale: 3/8" = 1'-0"



APPROVED  
Montgomery County  
Historic Preservation Commission

*[Signature]*

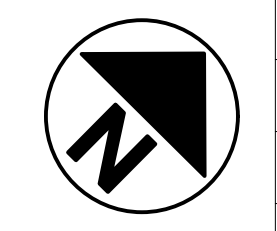
REVIEWED  
By Dan.Bruechert at 12:20 pm, Sep 19, 2023

**HEATH-LANGLAIS ADDITION**

7338 Carroll Ave., Takoma Park, MD 20912  
Project # 2307

23 AUGUST 2023 - PROGRESS SET

INTERIOR ELEVATIONS  
**A400**

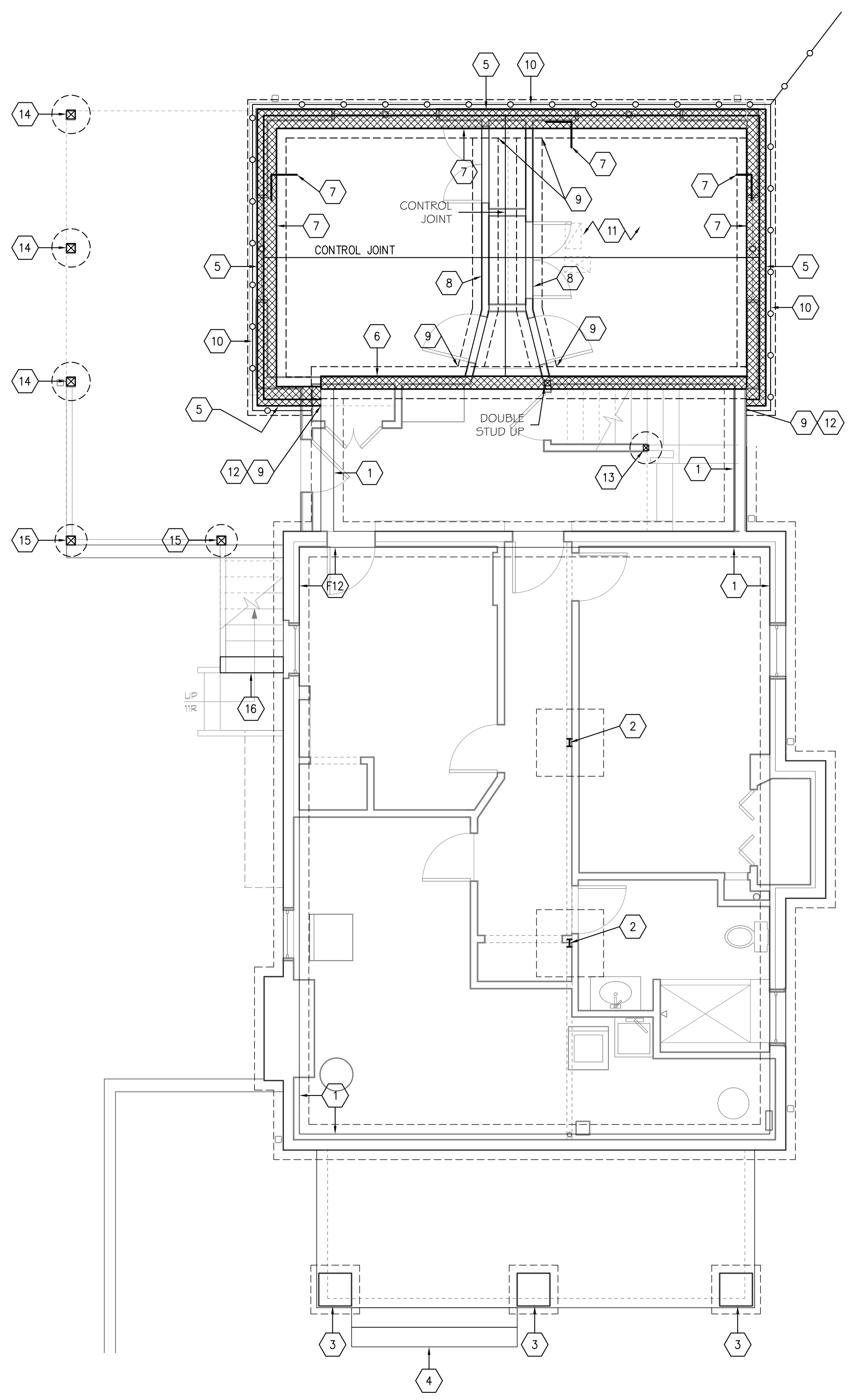


DATE	ISSUE - REMARKS

I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED STRUCTURAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

© 2023 Bennett Frank McCarthy Architects, Inc.



**1 FOUNDATION PLAN**  
 Scale: 1/4" = 1'-0"

**FRAMING NOTES:**

1. THE BOTTOM OF ALL FOOTINGS SHALL BE 30" MINIMUM BELOW GRADE.
2. ALL HEADERS ARE ASSUMED TO BE SUPPORTED BY A DOUBLE JACK AND SINGLE KING STUD, UNLESS NOTED OTHERWISE.
3. PROVIDE SQUASH BLOCKING AS NEEDED BELOW ALL POSTS, COLUMNS, AND MULTIPLE STUDS.
4. ATTACH ALL QUADRUPLE AND QUINTUPLE BEAMS TOGETHER WITH 2 ROWS OF 1/2" BOLTS AT 16" O.C. STAGGERED.
5. CONTRACTOR SHALL PROVIDE TEMPORARY SHORING DURING CONSTRUCTION AS NEEDED FOR THE EXISTING STRUCTURAL ELEMENTS THAT WILL REMAIN.
6. ALL NAILS USED FOR EXTERIOR APPLICATIONS SHALL BE RING SHANK NAILS.
7. ALL NAILS, HANGERS, BOLTS, AND SCREWS EXPOSED TO THE EXTERIOR SHALL BE GALVANIZED.
8. ALL LUMBER EXPOSED TO EXTERIOR CONDITIONS SHALL BE TREATED SOUTHERN PINE #2.
9. ALL SLAB CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 4500PSI AND HAVE 6%±1% AIR ENTRAINMENT.
10. WHEN ATTACHING EXISTING JOISTS TO FLUSH BEAMS USE OVERSIZED SIMPSON LUS HANGERS. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE JOIST AND THE HANGER.
11. THE CONTRACTOR SHALL SURVEY ALL EXPOSED MASONRY IN THE HOME AND POINT ANY DETERIORATED JOINT THAT IS DISCOVERED AND REPLACE ANY DETERIORATED BRICKS OR BLOCKS.
12. TYPICAL JOIST HANGER SHALL BE A SIMPSON IUS OR SIMPSON LUS HANGER.
13. TYPICAL RAFTER TO RIDGE HANGER SHALL BE A SIMPSON LSSR.
14. TYPICAL RAFTER TO FLUSH BEAM HANGER SHALL BE A SIMPSON L70 ON EACH SIDE OF THE RAFTER.
15. TYPICAL POST TO BEAM CONNECTOR SHALL BE A SIMPSON LPC ON EACH SIDE.
16. TYPICAL POST TO FLOOR PLATE CONNECTOR SHALL BE A SIMPSON L30 ON EACH SIDE OF THE POST.
17. TYPICAL STRINGER TO FRAMING CONNECTOR SHALL BE A SIMPSON MTS15 ON EACH SIDE.
18. TYPICAL DIMENSIONAL BEAM TO BEAM HANGER SHALL BE A SIMPSON HU MAX.
19. TYPICAL LVL TO LVL BEAM HANGER SHALL BE A SIMPSON HHUS.
20. SEE THE MONTGOMERY COUNTY TYPICAL DECK DETAILS FOR ITEMS NOT SHOWN ON THESE PLANS SUCH AS GUARD RAILS, STAIRS, LEDGER BOARD ATTACHMENTS ETC.
21. PLACE A DOUBLE JOIST BELOW ALL WALLS THAT RUN PARALLEL TO THE FLOOR FRAMING. ALTERNATE: PLACE BLOCKING BETWEEN THE ADJACENT JOISTS BELOW THE WALL AT 16" O.C.

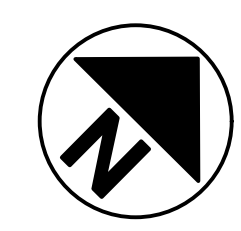
- 1 EXISTING FOUNDATION WALL AND FOOTING. IF THE EXISTING WALL IS FOUND TO BOW INWARD BY 3/8" OR MORE, NOTIFY THE STRUCTURAL ENGINEER SO THAT REPAIR DETAILS CAN BE PROVIDED.
- 2 EXISTING COLUMN AND FOOTING.
- 3 EXISTING PIER AND FOOTING.
- 4 EXISTING FRONT PORCH STAIRS UNCHANGED.
- 5 12" CMU WALL BELOW THE CONCRETE SLAB AND 4" CMU WALL ABOVE THE SLAB. FILL ALL CELLS SOLID IN THE WALL. REINFORCE THE WALL WITH #4 BARS AT 48" O.C. DOWEL EACH REBAR INTO THE FOOTING. PLACE THE WALL ON A 24X10 FOOTING REINFORCED WITH (3)#4 BARS.
- 6 NEW 8" CMU WALL AT THE JOINT BETWEEN THE NEW BASEMENT AND THE EXISTING BASEMENT. PATCH THE EXISTING BASEMENT SLAB PER THE STRUCTURAL DETAIL. FILL ALL CELLS SOLID IN THE WALL. REINFORCE THE WALL WITH #4 BARS AT 48" O.C. DOWEL EACH REBAR INTO THE FOOTING. PLACE THE WALL ON A 24X10 FOOTING REINFORCED WITH (3)#4 BARS.
- 7 PLACE THE NEW SLAB ON THE INSULATION PLACED ON THE SHELF IN THE NEW FOUNDATION WALL. PLACE #4 BAR DOWELS BETWEEN THE NEW SLAB AND THE NEW WALL AT 24" O.C. EACH LEG SHALL BE 16" O.C. PLACE A PT2X6 SILL PLATE ON THE SLAB. ATTACH THE SILL PLATE TO THE SLAB WITH 1/2" SIMPSON TITEN SCREWS AT 16" O.C.
- 8 20" WIDE THICKENED SLAB FOOTING. REINFORCE THE FOOTING WITH (2)#4 BARS. PLACE A PT2X4 SILL PLATE ON THE SLAB. ATTACH THE SILL PLATE TO THE FOOTING WITH 1/2" KWK BOLT 3'S AT 48" O.C. WITH 7" EMBEDMENT.
- 9 THE BOTTOM OF THE THICKENED SLAB FOOTING SHALL MATCH THE BOTTOM OF THE WALL FOOTING. DOWEL THE THICKENED SLAB FOOTING REBAR INTO THE WALL FOOTING WITH SIMPSON SET-XP EPOXY WITH 3" EMBEDMENT.
- 10 BACKFILL THE WALL WITH GRAVEL COVERED WITH FILTER FABRIC. PLACE A 4" PERFORATED DRAIN WRAPPED WITH FILTER FABRIC IN THE GRAVEL BACKFILL. EXIT THE DRAIN TO DAYLIGHT.
- 11 4" CONCRETE SLAB ON A 6 MIL POLY VAPOR BARRIER ON INSULATION ON 4" GRAVEL PLACED ON STABLE SOIL. REINFORCE THE SLAB WITH 6X6 W2.OXW2.O WWF.
- 12 PLACE THE NEW FOOTING BELOW THE EXISTING FOOTING. PLACE N-S GROUT BETWEEN THE TOP OF THE NEW FOOTING AND THE BOTTOM OF THE EXISTING FOOTING. ATTACH THE NEW CMU WALL TO THE EXISTING WALL WITH METAL TIES AT 16" O.C. CAULK THE JOINT BETWEEN THE NEW CMU WALL AND THE EXISTING WALL WITH WATERSTOP-RX BY CETCO.

- 13 4X4 PSL POST UP ON A 20"X10" THICK FOOTING. ATTACH THE POST TO THE FOOTING WITH A SIMPSON ABA44.
- 14 PT6X6 POST UP ON A 24" FOOTING. THE TOP OF THE FOOTING SHALL BE 1" BELOW GRADE. ATTACH THE POST TO THE FOOTING WITH A SIMPSON ABA66.
- 15 PT6X6 POST UP ON A 20" FOOTING. THE TOP OF THE FOOTING SHALL BE 1" BELOW GRADE. ATTACH THE POST TO THE FOOTING WITH A SIMPSON ABA66.
- 16 PLACE THE STAIRS ON FOOTINGS PER THE MONTGOMERY COUNTY TYPICAL DECK DETAILS.

APPROVED  
 Montgomery County  
 Historic Preservation Commission

*R. Bruce*

REVIEWED  
 By Dan.Bruechert at 12:20 pm, Sep 19, 2023



**HEATH-LANGLAIS ADDITION**  
 7338 Carroll Ave., Takoma Park, MD 20912  
 Project # 2307

22 AUGUST 2023 - POGRESS SET

FOUNDATION &  
 FIRST FLOOR  
 FRAMING PLANS  
**S100**

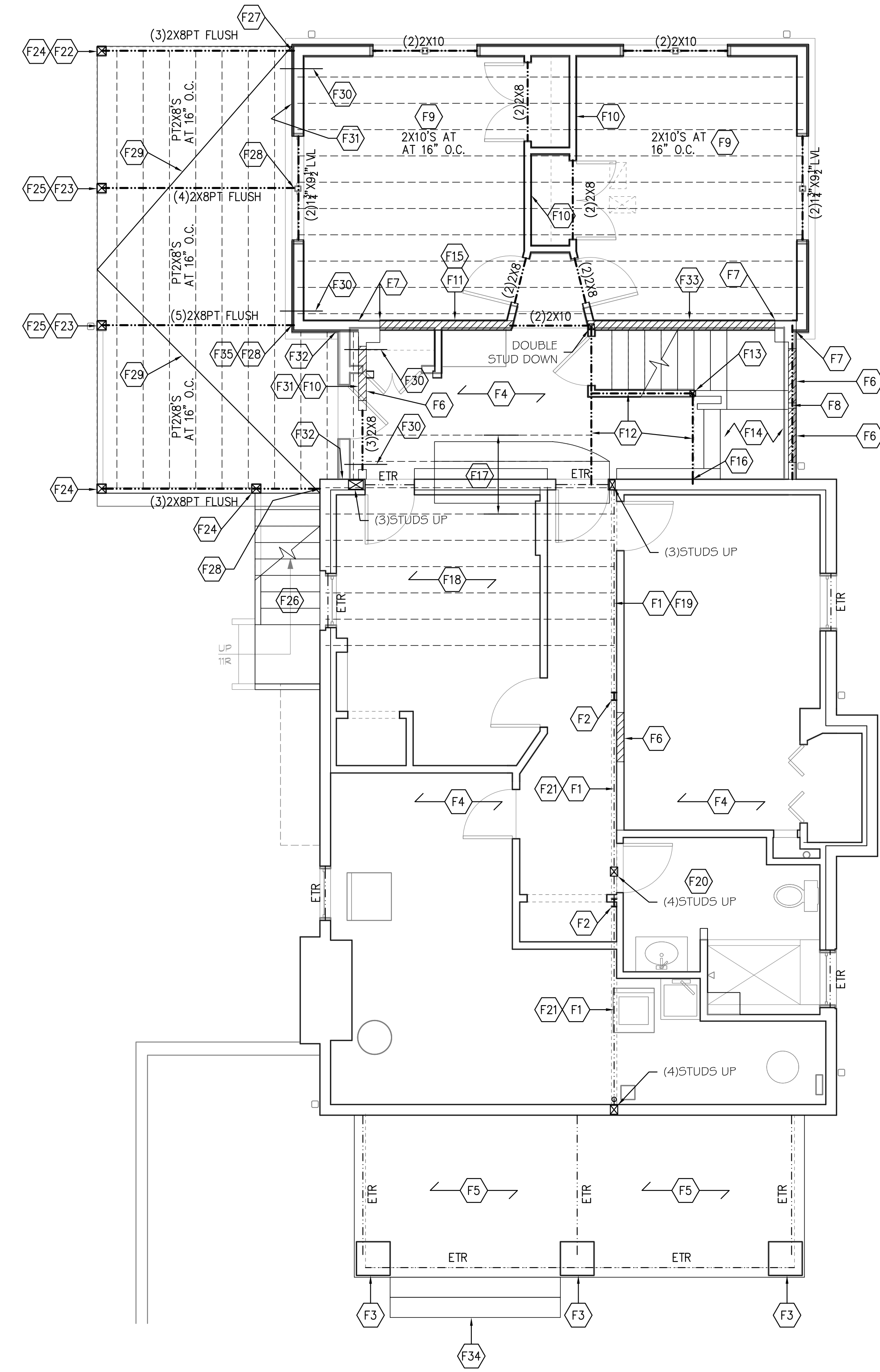


DATE	ISSUE - REMARKS

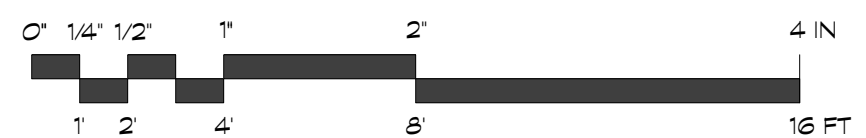
I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED STRUCTURAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

© 2023 Bennett Frank McCarthy Architects, Inc.



**1 FIRST FLOOR FRAMING PLAN**  
 Scale: 1/4" = 1'-0"



**FRAMING NOTES:**

- THE BOTTOM OF ALL FOOTINGS SHALL BE 30" MINIMUM BELOW GRADE.
- ALL HEADERS ARE ASSUMED TO BE SUPPORTED BY A DOUBLE JACK AND SINGLE KING STUD, UNLESS NOTED OTHERWISE.
- PROVIDE SQUASH BLOCKING AS NEEDED BELOW ALL POSTS, COLUMNS, AND MULTIPLE STUDS.
- ATTACH ALL QUADRUPLE AND QUINTUPLE BEAMS TOGETHER WITH 2 ROWS OF 3/8" BOLTS AT 16" O.C. STAGGERED.
- CONTRACTOR SHALL PROVIDE TEMPORARY SHORING DURING CONSTRUCTION AS NEEDED FOR THE EXISTING STRUCTURAL ELEMENTS THAT WILL REMAIN.
- ALL NAILS USED FOR EXTERIOR APPLICATIONS SHALL BE RING SHANK NAILS.
- ALL NAILS, HANGERS, BOLTS, AND SCREWS EXPOSED TO THE EXTERIOR SHALL BE GALVANIZED.
- ALL LUMBER EXPOSED TO EXTERIOR CONDITIONS SHALL BE TREATED SOUTHERN PINE #2.
- ALL SLAB CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 4500PSI AND HAVE 6%±1% AIR ENTRAINMENT.
- WHEN ATTACHING EXISTING JOISTS TO FLUSH BEAMS USE OVERSIZED SIMPSON LUS HANGERS. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE JOIST AND THE HANGER.
- THE CONTRACTOR SHALL SURVEY ALL EXPOSED MASONRY IN THE HOME AND POINT ANY DETERIORATED JOINT THAT IS DISCOVERED AND REPLACE ANY DETERIORATED BRICKS OR BLOCKS.
- TYPICAL JOIST HANGER SHALL BE A SIMPSON IUS OR SIMPSON LUS HANGER.
- TYPICAL RAFTER TO RIDGE HANGER SHALL BE A SIMPSON LSSR.
- TYPICAL RAFTER TO FLUSH BEAM HANGER SHALL BE A SIMPSON L70 ON EACH SIDE OF THE RAFTER.
- TYPICAL POST TO BEAM CONNECTOR SHALL BE A SIMPSON LPC ON EACH SIDE.
- TYPICAL POST TO FLOOR PLATE CONNECTOR SHALL BE A SIMPSON L30 ON EACH SIDE OF THE POST.
- TYPICAL STRINGER TO FRAMING CONNECTOR SHALL BE A SIMPSON MTS15 ON EACH SIDE.
- TYPICAL DIMENSIONAL BEAM TO BEAM HANGER SHALL BE A SIMPSON HU MAX.
- TYPICAL LVL TO LVL BEAM HANGER SHALL BE A SIMPSON HHUS.
- SEE THE MONTGOMERY COUNTY TYPICAL DECK DETAILS FOR ITEMS NOT SHOWN ON THESE PLANS SUCH AS GUARD RAILS, STAIRS, LEDGER BOARD ATTACHMENTS ETC.
- PLACE A DOUBLE JOIST BELOW ALL WALLS THAT RUN PARALLEL TO THE FLOOR FRAMING. ALTERNATE: PLACE BLOCKING BETWEEN THE ADJACENT JOISTS BELOW THE WALL AT 16" O.C.

- F1 EXISTING BEAM.
- F2 EXISTING COLUMN.
- F3 EXISTING PIER.
- F4 EXISTING 1ST FLOOR FRAMING. SISTER ANY DAMAGED JOIST THAT IS FOUND WITH A DOUBLE 2X8.
- F5 EXISTING FRONT PORCH FRAMING UNCHANGED.
- F6 INFILL THE EXISTING WALL WITH 2X STUDS AT 16" O.C. USE STUDS THAT MATCH THE SIZE OF THE EXISTING WALL STUDS.
- F7 ATTACH THE 1ST STUD TO THE EXISTING WALL WITH #10 SCREWS AT 6" O.C.
- F8 PLACE A DOUBLE LVL BEAM AT THE 1ST FLOOR LEVEL IN THE WALL AT THE NEW STAIRS FOR LATERAL STABILITY. THE LVL SHALL BE CONTINUOUS FROM THE WALL BETWEEN THE STAIRS AND OFFICE B AND THE WALL BETWEEN THE STAIRS AND BEDROOM 3. ATTACH THE BEAM TOGETHER WITH (2)ROWS OF #10 SCREWS AT 6" O.C. DRIVEN FROM EACH SIDE OF THE BEAM. ATTACH THE BEAM TO THE EXISTING WALL AT OFFICE AND TO THE NEW RIM BOARD AT BEDROOM 3 WITH A SIMPSON HU HANGER.
- F9 PLACE BLOCKING BETWEEN THE JOISTS AT THE MID-POINT OF THE SPAN.
- F10 NEW LOAD BEARING WALL IN THE BASEMENT. USE 2X4 STUDS AT 16" O.C. THE JOISTS CAN SPLICE OVERTOP OF THE WALL.
- F11 2X10 CLEAT FOR THE FLOOR DECKING. ATTACH THE CLEAT TO THE EXISTING WALL OR RIM BOARD WITH (2)#10 SCREWS AT 6" O.C.
- F12 DOUBLE 2X8 BEAM AT THE NEW STAIRS. PLACE FURRING STRIPS ON THE BOTTOM OF THE BEAM AS NEEDED TO PATCH THE CEILING.
- F13 4X4 PSL POST DOWN. ATTACH THE POST TO THE BEAMS WITH A SIMPSON LCE IN EACH DIRECTION.
- F14 BUILD THE NEW STAIRS ON THE BASEMENT SLAB BELOW.
- F15 PROVIDE TEMPORARY SHORING DURING CONSTRUCTION AND REMOVE AND REPLACE THE EXISTING REAR WALL OF THE BASEMENT WITH A BEARING WALL MADE WITH 2X4 STUDS AT 16" O.C. SET THE EXISTING 1ST FLOOR FRAMING ON TOP OF THE NEW WALL. ATTACH EACH EXISTING 1ST FLOOR JOIST TO THE WALL WITH A SIMPSON H2.5A HURRICANE TIE. ATTACH EACH EXISTING BEAM TO THE WALL WITH A SIMPSON H2.5A HURRICANE TIE ON EACH SIDE OF THE BEAM. PLACE A RIPPED 2X RIM BOARD ON THE WALL OR PLACE RIPPED 2X BLOCKING BETWEEN THE EXISTING JOISTS OVERTOP OF THE WALL.
- F16 SET THE NEW BEAM ON THE EXISTING SILL PLATE. NOTCH THE BOTTOM OF THE BEAM OR PLACE PLYWOOD SHIMS BETWEEN THE BOTTOM OF THE BEAM AND THE SILL PLATE AS NEEDED TO SET THE BEAM.
- F17 IF THE EXISTING JOISTS SPAN SIDE TO SIDE, SISTER EACH EXISTING JOIST BELOW THE KITCHEN ISLAND WITH A 2X8.

- F18 REMOVE THE EXISTING STAIR HEADER AND SISTER EACH EXISTING JOIST WITH TWO 2X8'S TO INFILL THE EXISTING STAIR OPENING. PLACE BLOCKING BETWEEN THE SISTERED JOISTS AT THE 1/4 POINTS OF THE SPAN. PLACE FURRING STRIPS ON THE UNDERSIDE OF THE SISTERS AS NEEDED TO PLACE THE CEILING.
- F19 SET THE SISTERED JOISTS ON THE EXISTING BEAM. PLACE PLYWOOD SHIMS BETWEEN THE EXISTING BEAM AND THE BOTTOM OF THE NEW JOISTS. PLACE SOLID BLOCKING BETWEEN THE NEW JOISTS AND THE EXISTING JOISTS OVERTOP OF THE BEAM.
- F20 VERIFY THAT THE POST ALIGNS WITH THE EXISTING STEEL BEAM. IF IT DOES, PLACE SQUASH BLOCKING BETWEEN THE TOP OF THE BEAM AND THE FLOOR DECKING BELOW THE POST. IF IT DOES NOT, PLACE TRIPLE 2X8 BLOCKING BETWEEN THE EXISTING JOISTS BELOW THE NEW POST. HANG THE BLOCKING FROM THE EXISTING JOISTS WITH SIMPSON HU-MAX HANGERS.
- F21 VERIFY THAT THE EXISTING 1ST FLOOR LOAD BEARING WALL ALIGNS WITH THE EXISTING STEEL BEAM. IF IT DOES, PLACE SQUASH BLOCKING BETWEEN THE TOP OF THE BEAM AND THE FLOOR DECKING BELOW ALL NEW DOOR JAMBS IN THE 1ST FLOOR BEARING WALL. IF IT DOES NOT, PLACE TRIPLE 2X8 BLOCKING BETWEEN THE EXISTING JOISTS BELOW THE NEW JAMBS IN THE 1ST FLOOR BEARING WALL. HANG THE BLOCKING FROM THE EXISTING JOISTS WITH SIMPSON HU-MAX HANGERS.
- F22 PT6X6 POST UP. ATTACH THE POST TO THE DECK FRAMING WITH A SIMPSON LCE IN EACH DIRECTION.
- F23 PT6X6 POST UP. ATTACH THE POST TO THE BEAM WITH A SIMPSON LPC6 ON EACH SIDE OF THE BEAM. NOTCH THE SIDES OF THE BEAM AS NEEDED TO PLACE THE CONNECTORS.
- F24 PT6X6 POST DOWN. ATTACH THE POST TO THE DECK FRAMING WITH A SIMPSON LCE IN EACH DIRECTION.
- F25 PT6X6 POST DOWN. ATTACH THE POST TO THE BEAM WITH A SIMPSON LPC6 ON EACH SIDE OF THE BEAM. NOTCH THE SIDES OF THE BEAM AS NEEDED TO PLACE THE CONNECTORS.
- F26 FRAME THE STAIRS PER THE MONTGOMERY COUNTY TYPICAL DECK DETAILS.
- F27 HANG THE BEAM FROM THE NEW OR EXISTING RIM BOARD WITH A SIMPSON HUC CONCEALED FLANGE HANGER. PLACE FLASHING AROUND THE CONNECTION.
- F28 HANG THE BEAM FROM THE NEW OR EXISTING RIM BOARD WITH A SIMPSON HU-MAX HANGER. PLACE FLASHING AROUND THE CONNECTION.
- F29 PLACE FLAT PT1X6 BRACING ON THE UNDERSIDE OF THE DECK. ATTACH THE BRACING TO EACH JOIST WITH (2)#8 SCREWS.
- F30 SIMPSON DTT2Z TENSION ANCHOR.
- F31 PT2X8 CLEAT. ATTACH THE CLEAT TO THE NEW OR EXISTING WALL WITH LEDGERLOK SCREWS AT 16" O.C. TOP AND BOTTOM STAGGERED. PLACE FLASHING OVER THE CLEAT PER THE MONTGOMERY COUNTY TYPICAL DECK DETAILS.
- F32 PT2X8 LEDGER FOR THE DECK JOISTS. ATTACH THE LEDGER TO THE NEW OR EXISTING RIM BOARD WITH 3/8" THRU BOLTS AT 16" O.C. TOP AND BOTTOM STAGGERED. IF THE EXISTING WALL IS BALLOONED FRAMED, PLACE SOLID BLOCKING BETWEEN THE JOISTS AND THE STUDS ON TOP OF THE SILL PLATE TO RECEIVE THE THRU BOLTS. ATTACH EACH JOIST TO THE LEDGER WITH A SIMPSON LUS HANGER. PLACE FLASHING OVERTOP OF THE LEDGER PER THE MONTGOMERY COUNTY TYPICAL DECK DETAILS. EACH LEDGER SHALL HAVE A MINIMUM OF (3) BOLTS.
- F33 PROVIDE TEMPORARY SHORING DURING CONSTRUCTION AND REMOVE AND REPLACE THE EXISTING REAR WALL OF THE BASEMENT WITH A BEARING WALL MADE WITH 2X4 STUDS AT 16" O.C. SET THE NEW 1ST FLOOR FRAMING ON TOP OF THE NEW WALL. PROVIDE A RIM BOARD AT THE EDGE OF THE WALL FOR THE NEW FLOOR FRAMING.
- F34 EXISTING STAIRS UNCHANGED.
- F35 NOTCH THE SIDES OF THE 5-PLY BEAM AS NEEDED TO FIT IN THE CONNECTOR.

APPROVED  
 Montgomery County  
 Historic Preservation Commission

*[Signature]*

**REVIEWED**  
 By Dan.Bruechert at 12:20 pm, Sep 19, 2023



**HEATH-LANGLAIS ADDITION**  
 7338 Carroll Ave., Takoma Park, MD 20912  
 Project # 2307

FOUNDATION &  
 FIRST FLOOR  
 FRAMING PLANS  
**S100**

22 AUGUST 2023 - POGRESS SET

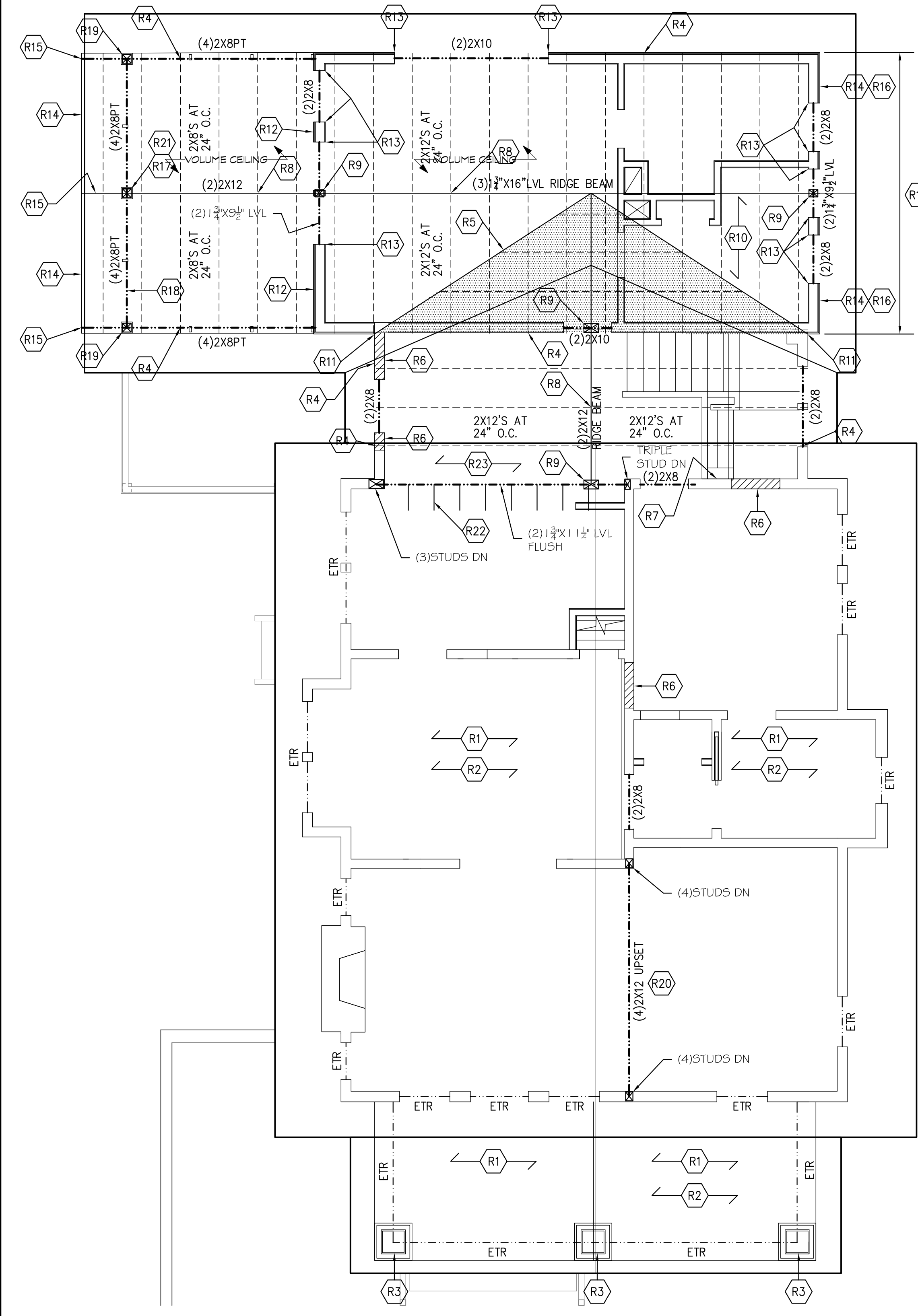


DATE	ISSUE - REMARKS

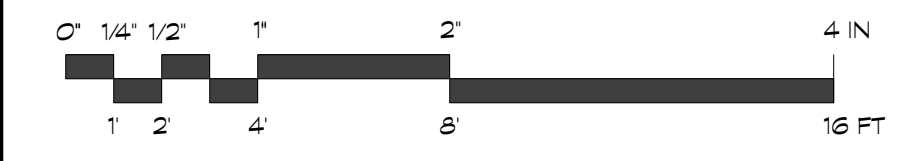
I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED STRUCTURAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

© 2023 Bennett Frank McCarthy Architects, Inc.



**1 ROOF FRAMING PLAN**  
 Scale: 1/4" = 1'-0"



**FRAMING NOTES:**

- THE BOTTOM OF ALL FOOTINGS SHALL BE 30" MINIMUM BELOW GRADE.
- ALL HEADERS ARE ASSUMED TO BE SUPPORTED BY A DOUBLE JACK AND SINGLE KING STUD, UNLESS NOTED OTHERWISE.
- PROVIDE SQUASH BLOCKING AS NEEDED BELOW ALL POSTS, COLUMNS, AND MULTIPLE STUDS.
- ATTACH ALL QUADRUPLE AND QUINTUPLE BEAMS TOGETHER WITH 2 ROWS OF 3/8" BOLTS AT 16" O.C. STAGGERED.
- CONTRACTOR SHALL PROVIDE TEMPORARY SHORING DURING CONSTRUCTION AS NEEDED FOR THE EXISTING STRUCTURAL ELEMENTS THAT WILL REMAIN.
- ALL NAILS USED FOR EXTERIOR APPLICATIONS SHALL BE RING SHANK NAILS.
- ALL NAILS, HANGERS, BOLTS, AND SCREWS EXPOSED TO THE EXTERIOR SHALL BE GALVANIZED.
- ALL LUMBER EXPOSED TO EXTERIOR CONDITIONS SHALL BE TREATED SOUTHERN PINE #2.
- ALL SLAB CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 4500PSI AND HAVE 6%±1% AIR ENTRAINMENT.
- WHEN ATTACHING EXISTING JOISTS TO FLUSH BEAMS USE OVERSIZED SIMPSON LUS HANGERS. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE JOIST AND THE HANGER.
- THE CONTRACTOR SHALL SURVEY ALL EXPOSED MASONRY IN THE HOME AND POINT ANY DETERIORATED JOINT THAT IS DISCOVERED AND REPLACE ANY DETERIORATED BRICKS OR BLOCKS.
- TYPICAL JOIST HANGER SHALL BE A SIMPSON IUS OR SIMPSON LUS HANGER.
- TYPICAL RAFTER TO RIDGE HANGER SHALL BE A SIMPSON LSSR.
- TYPICAL RAFTER TO FLUSH BEAM HANGER SHALL BE A SIMPSON L70 ON EACH SIDE OF THE RAFTER.
- TYPICAL POST TO BEAM CONNECTOR SHALL BE A SIMPSON LPC ON EACH SIDE.
- TYPICAL POST TO FLOOR PLATE CONNECTOR SHALL BE A SIMPSON L30 ON EACH SIDE OF THE POST.
- TYPICAL STRINGER TO FRAMING CONNECTOR SHALL BE A SIMPSON MTS15 ON EACH SIDE.
- TYPICAL DIMENSIONAL BEAM TO BEAM HANGER SHALL BE A SIMPSON HU MAX.
- TYPICAL LVL TO LVL BEAM HANGER SHALL BE A SIMPSON HHUS.
- SEE THE MONTGOMERY COUNTY TYPICAL DECK DETAILS FOR ITEMS NOT SHOWN ON THESE PLANS SUCH AS GUARD RAILS, STAIRS, LEDGER BOARD ATTACHMENTS ETC.
- PLACE A DOUBLE JOIST BELOW ALL WALLS THAT RUN PARALLEL TO THE FLOOR FRAMING. ALTERNATE: PLACE BLOCKING BETWEEN THE ADJACENT JOISTS BELOW THE WALL AT 16" O.C.

- R1** EXISTING RAFTERS. SISTER ANY DAMAGED RAFTER THAT IS FOUND WITH A 2X8 OR A DOUBLE 2X6.
- R2** EXISTING ATTIC JOISTS. SISTER ANY DAMAGED JOIST THAT IS FOUND WITH A 2X8 OR A DOUBLE 2X6.
- R3** EXISTING POST.
- R4** ATTACH EACH RAFTER TO THE SUPPORTING WALL OR BEAM WITH A SIMPSON H2.5A HURRICANE TIE. WHEN APPLICABLE HOLD THE TOP OF THE RAFTERS UP AS NEEDED FOR VENTILATION AND INSULATION AT THE EAVE.
- R5** OVERBUILT ROOF. RIP THE RAFTERS AND PLACE THEM ON THE LOWER ROOF. ATTACH EACH RAFTER TO THE LOWER ROOF WITH (3)10d TOE NAILS AND A SIMPSON LSS0 ON EACH SIDE OF THE RAFTER.
- R6** INFILL THE EXISTING WALL WITH 2X WOOD STUDS AT 16" O.C. USE STUDS THAT MATCH THE WIDTH OF THE EXISTING WALL STUDS.
- R7** PLACE A 2X12 CLEAT FOR THE NEW ROOF DECKING. ATTACH THE CLEAT TO THE EXISTING OR NEW WALL WITH (2)#10 SCREWS AT 6" O.C.
- R8** ATTACH EACH RAFTER TO THE RIDGE WITH A SIMPSON LSSR HANGER. HOLD THE TOP OF THE RIDGE DOWN AS NEEDED FOR VENTILATION AND SO THAT THE BOTTOM OF THE RIDGE IS EVEN WITH OR DEEPER THAN THE BOTTOM OF THE RAFTERS.
- R9** PLACE A TRIPLE STUD BETWEEN THE RIDGE AND THE HEADER OR BEAM BELOW.
- R10** 2X8 CEILING JOISTS AT 24" O.C. THE CEILING JOISTS SHALL ALIGN WITH THE NEW RAFTERS. WHEN APPLICABLE ATTACH EACH CEILING JOIST TO EACH RAFTER WITH (8)10d NAILS.
- R11** ATTACH THE 1ST STUD TO THE EXISTING WALL WITH (2)#10 SCREWS AT 6" O.C.
- R12** FRAME THE WALL WITH 2X6 STUDS AT 16" O.C. THE STUDS SHALL BE CONTINUOUS FROM THE 1ST FLOOR TO THE CEILING FOR LATERAL STABILITY.
- R13** PLACE THE HEADER ON A DOUBLE JACK STUD AND DOUBLE KING STUD. THE KING STUDS SHALL BE CONTINUOUS FROM THE 1ST FLOOR TO THE CEILING FOR LATERAL STABILITY.
- R14** THE ROOF DECKING SHALL CANTILEVER OVER THE END WALL TO THE SUPPORT THE RAKE. NO SPLICE SHALL OCCUR IN THE ROOF DECKING WITHIN 48" OF THE END WALL. PLACE A 2X6 FLY RAFTER AT THE EDGE OF THE ROOF. PLACE OUTLOOK BRACKETS TO SUPPORT THE FLY RAFTER AT THE EAVE AND AT THE MID-HEIGHT OF THE ROOF PER THE TYPICAL DETAIL. ATTACH EACH FLY RAFTER TO THE LOOK OUT BRACKET WITH (3)#10 TOE SCREWS WITH 2" MINIMUM EMBEDMENT IN THE BRACKET.
- R15** EXTEND THE RIDGE OR EXTEND THE PORCH BEAM AT THE EAVE SO THAT IT FORMS AN OUTLOOK BRACKET FOR THE FLY RAFTERS PER THE ARCHITECTURAL DRAWINGS. ATTACH EACH FLY RAFTER TO THE LOOK OUT BRACKET WITH (3)#10 TOE SCREWS WITH 2" MINIMUM EMBEDMENT IN THE BRACKET.

- R16** EXTEND THE GABLE END WALL TO THE ROOF DECKING. PLACE A 2X12 CLEAT NEXT TO THE WALL FOR THE CEILING. ATTACH THE CLEAT TO EACH STUD WITH A #10 SCREW AND TO THE TOP PLATE OF THE WALL WITH #10 SCREWS AT 16" O.C.
- R17** PT4X4 POST BETWEEN THE RIDGE AND THE BEAM IN THE CEILING. ATTACH THE POST TO THE RIDGE BEAM WITH A SIMPSON LPC4 ON EACH SIDE OF THE RIDGE. ATTACH THE POST TO THE BEAM IN THE CEILING WITH A SIMPSON L30 ON EACH SIDE OF THE POST.
- R18** THE BEAM IN THE CEILING SHALL BE CONTINUOUS FROM CORNER TO CORNER. ATTACH THE PLYS OF THE BEAM TOGETHER WITH (2)5" LONG LEDGERLOCK SCREWS AT 6" O.C. DRIVEN FROM EACH SIDE OF THE BEAM FOR LATERAL STABILITY.
- R19** PT6X6 POST DOWN. THE SIDE TO SIDE BEAM SHALL BE CONTINUOUS AT THE POST. ATTACH THE POST TO THE SIDE TO SIDE BEAM WITH A SIMPSON LPC6 ON EACH SIDE OF THE BEAM. NOTCH THE SIDES OF THE BEAM AS NEEDED TO PLACE THE CONNECTORS. ATTACH THE FRONT TO BACK BEAM TO THE SIDE TO SIDE BEAM WITH A SIMPSON LUS HANGER.
- R20** THE HEADER SHALL BE UPSET IN THE ATTIC FRAMING. PLACE TENSION STRAPS BELOW THE HEADER PER THE TYPICAL DETAIL.
- R21** PT6X6 POST DOWN. ATTACH THE POST TO THE BEAM WITH A SIMPSON LPC6 ON EACH SIDE OF THE BEAM. NOTCH THE SIDES OF THE BEAM AS NEEDED TO PLACE THE CONNECTORS. THE BEAM SHALL BE CONTINUOUS OVER THE POST FOR LATERAL STABILITY.
- R22** PLACE BLOCKING BETWEEN THE NEW BEAM AND THE 1ST EXISTING ATTIC JOIST AT 24" O.C. IN THE 1ST BAY.

APPROVED  
 Montgomery County  
 Historic Preservation Commission

*[Signature]*

**REVIEWED**  
 By Dan.Bruechert at 12:20 pm, Sep 19, 2023



**HEATH-LANGLAIS ADDITION**  
 7338 Carroll Ave., Takoma Park, MD 20912  
 Project # 2307

**ROOF FRAMING PLANS**  
**S102**

22 AUGUST 2023 - POGRESS SET

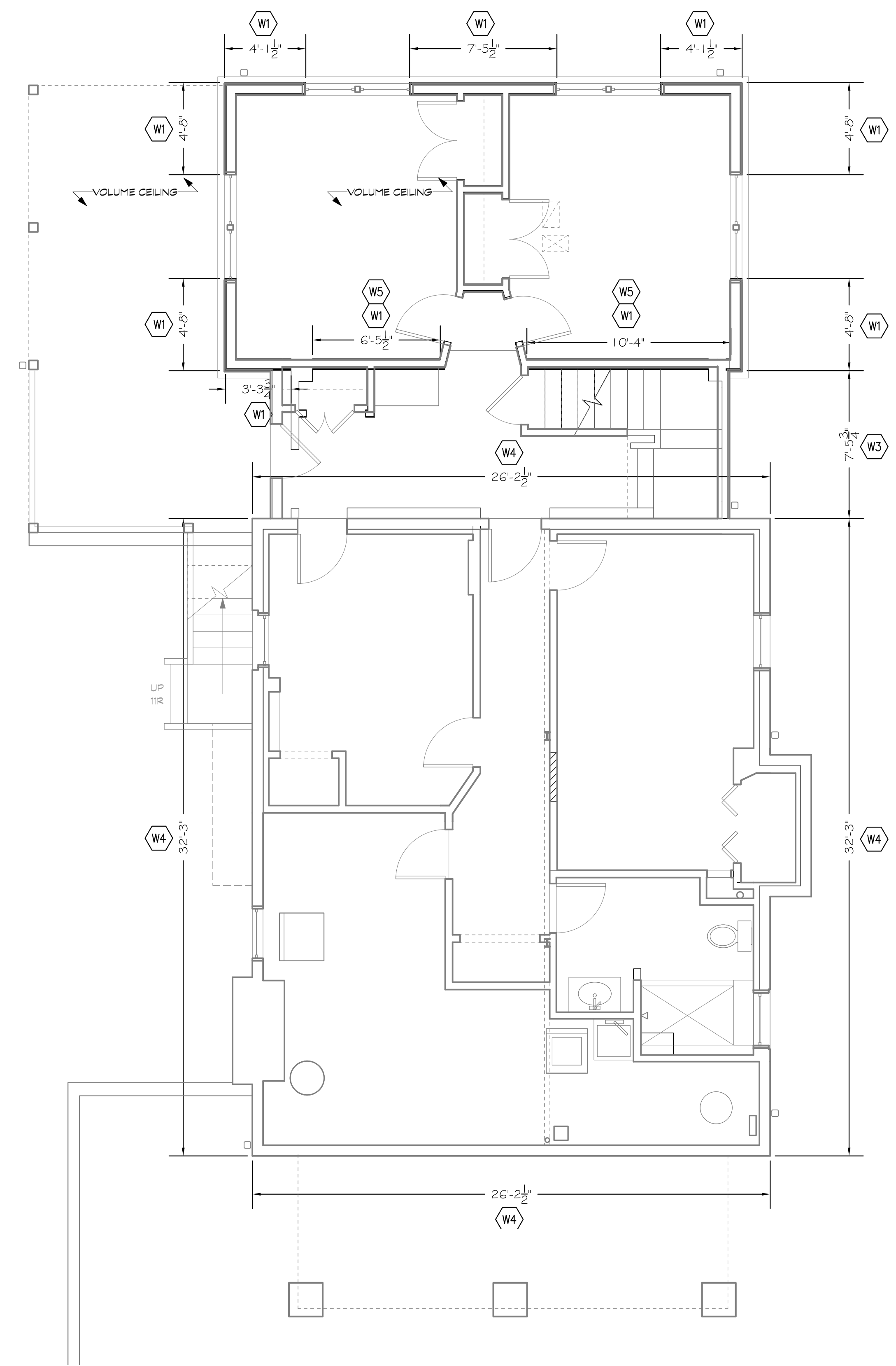


DATE	ISSUE - REMARKS

I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A FULLY LICENSED STRUCTURAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

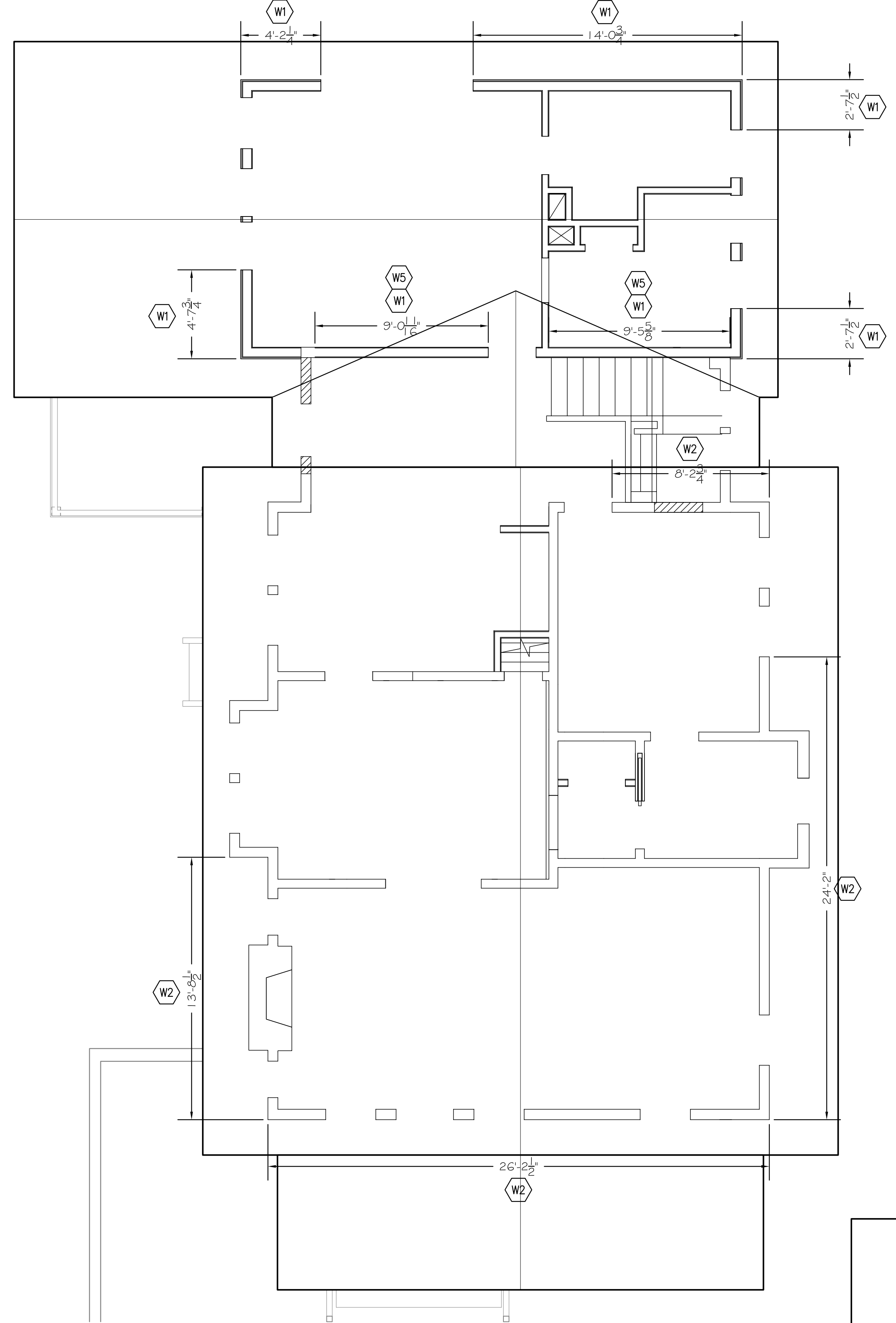
LICENSE #: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

© 2023 Bennett Frank McCarthy Architects, Inc.



- WIND BRACING NOTES:**
1. WALLS BRACED PER IRC R602.10 AND R301.1.3 "ENGINEERED DESIGN".
  2. APPLY 7/8" OSB SHEATHING TO ALL EXTERIOR WALLS. ATTACH OSB TO WOOD FRAMING WITH 8d NAILS AT 4" O.C. AT PANEL EDGES AND 8" O.C. ELSEWHERE.
  3. EDP DENOTES "ENGINEERED DESIGNED PANEL".
  4. ATTACH THE BOTTOM PLATE OF THE WALL TO THE JOISTS OR BLOCKING WITH 1-16d (0.135X3 1/2) NAIL. ATTACH THE BOTTOM PLATE TO THE RIM BOARD WITH 16d NAILS AT 12" O.C.
  5. ATTACH EACH JOIST AND RAFTER TO THE TOP PLATE OF THE WALL WITH 2-16d (0.135X3 1/2) TOE NAILS.
  6. ATTACH THE RIM BOARD TO THE TOP PLATE OF THE WALL WITH 16d (0.135X3 1/2) TOE NAILS AT 12" O.C.
  7. ATTACH RIM BOARD TO SILL PLATE WITH 16d (0.135X3 1/2) TOE NAILS AT 12" O.C.

- W1 EDP WIND BRACING PANEL.
- W2 EXISTING PERFORATED WOOD SHEAR WALL.
- W3 EXISTING WOOD SHEAR WALL.
- W4 EXISTING FOUNDATION WALL/MASONRY SHEAR WALL OR PERFORATED SHEAR WALL.
- W5 PLACE 7/8" OSB SHEATHING ON THE INTERIOR WALL TO MAKE THE WIND BRACING PANEL.



APPROVED  
 Montgomery County  
 Historic Preservation Commission

*[Signature]*

**REVIEWED**  
 By Dan.Bruechert at 12:20 pm, Sep 19, 2023



**HEATH-LANGLAIS ADDITION**  
 7338 Carroll Ave., Takoma Park, MD 20912  
 Project # 2307

WIND BRACING  
 PLANS  
**S200**

22 AUGUST 2023 - PROGRESS SET







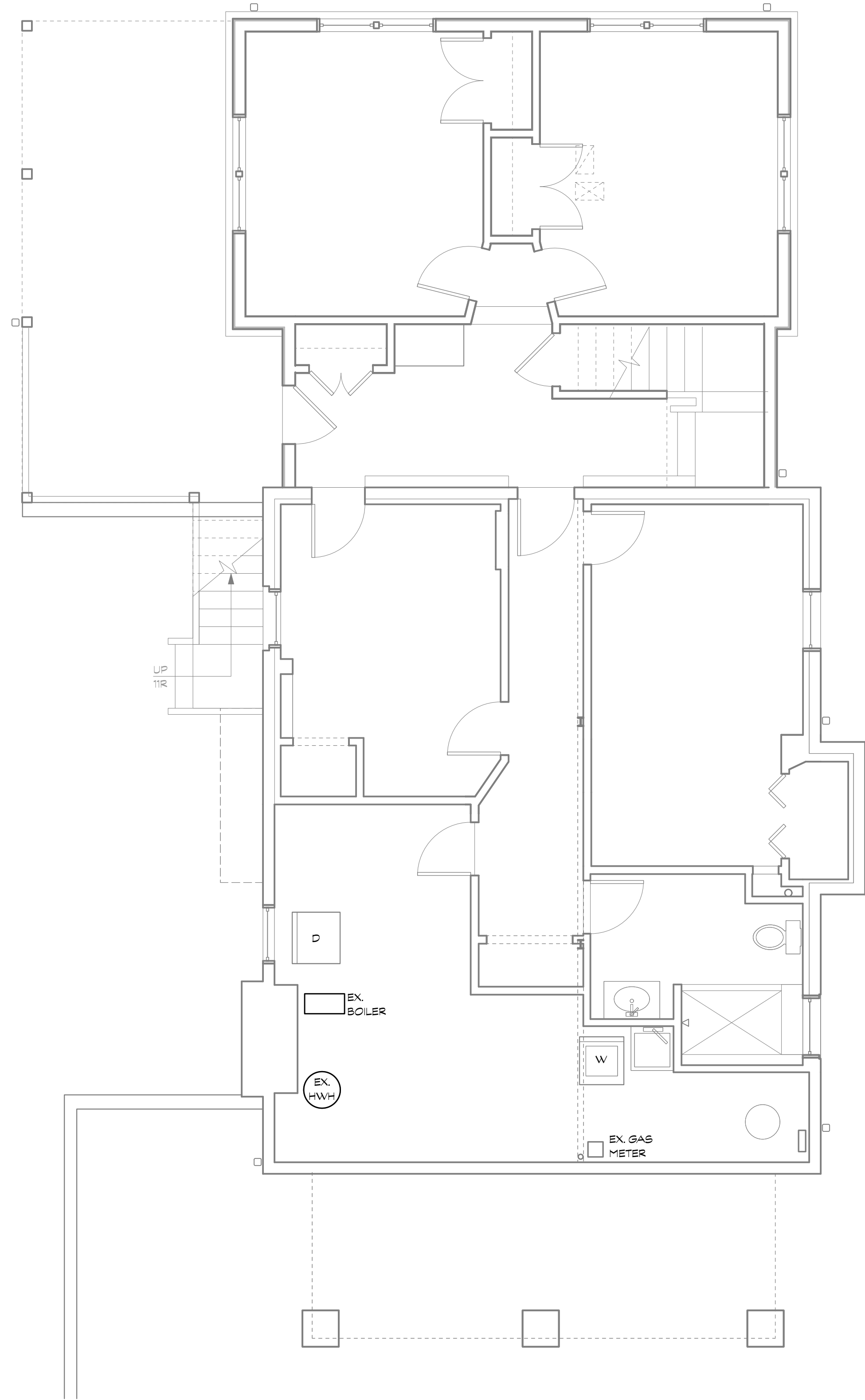
DATE	ISSUE - REMARKS

I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

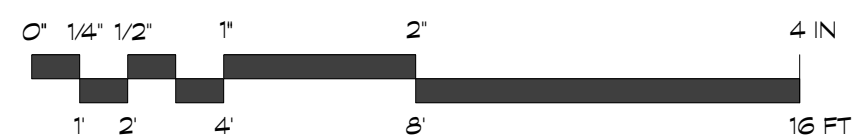
LICENSE #: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

© 2023 Bennett Frank McCarthy Architects, Inc.

**MECHANICAL CONSULTANT**  
Ron Gallant, Gallant Mechanical  
13001 Cleveland Drive  
Rockville, Maryland 20850 (240) 750-4988



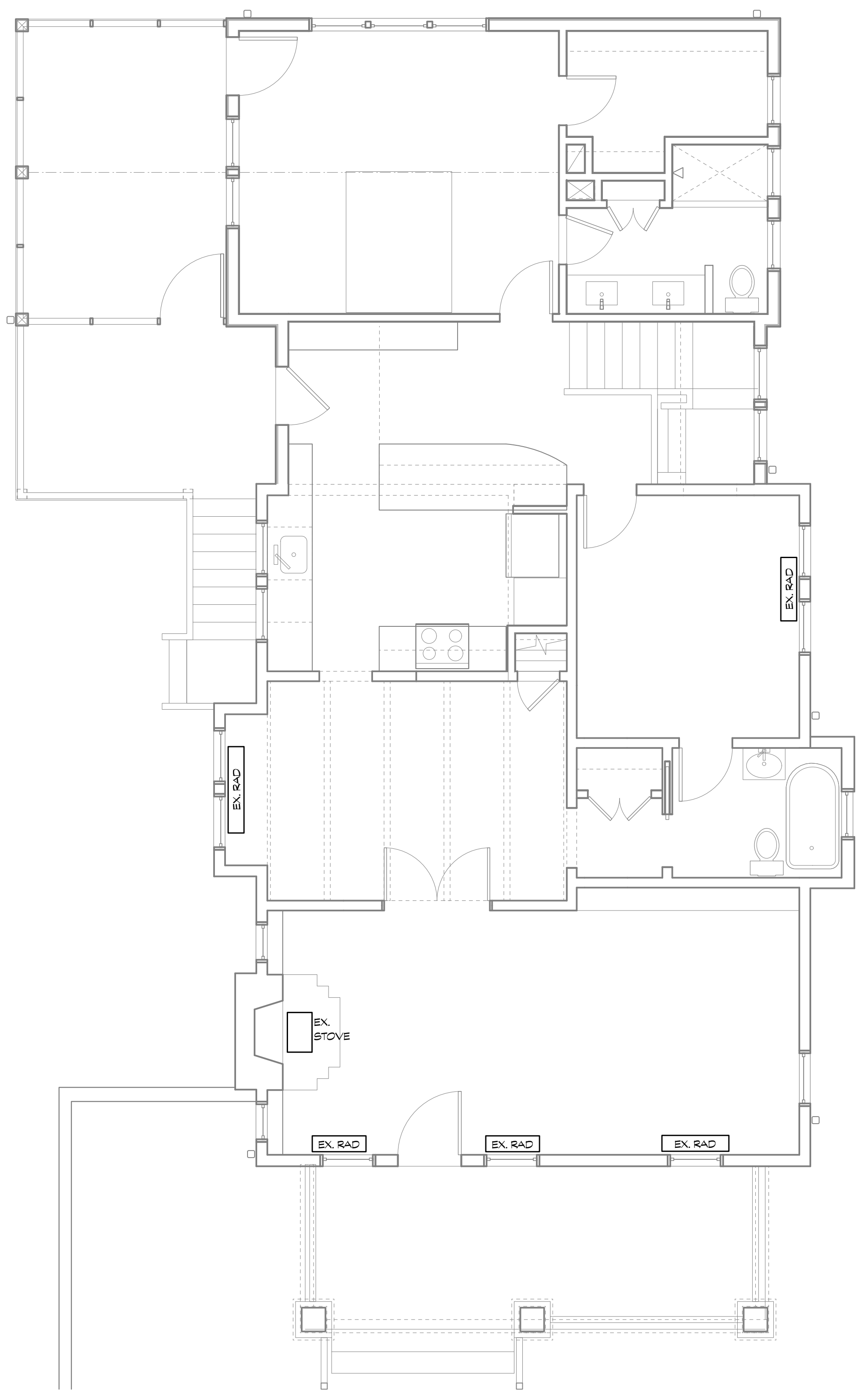
**1** CELLAR MECHANICAL PLAN  
Scale: 1/4" = 1'-0"



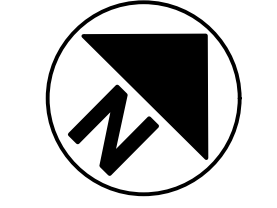
APPROVED  
Montgomery County  
Historic Preservation Commission

*[Signature]*

**REVIEWED**  
By Dan.Bruechert at 12:21 pm, Sep 19, 2023



**2** FIRST FLOOR MECHANICAL PLAN  
Scale: 1/4" = 1'-0"



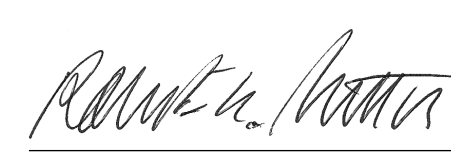
**HEATH-LANGLAIS ADDITION**  
7338 Carroll Ave., Takoma Park, MD 20912  
Project # 2307

23 AUGUST 2023 - PROGRESS SET

MECHANICAL / PLUMBING  
**MP100**



APPROVED  
Montgomery County  
Historic Preservation Commission



**REVIEWED**  
By Dan.Bruechert at 12:21 pm, Sep 19, 2023

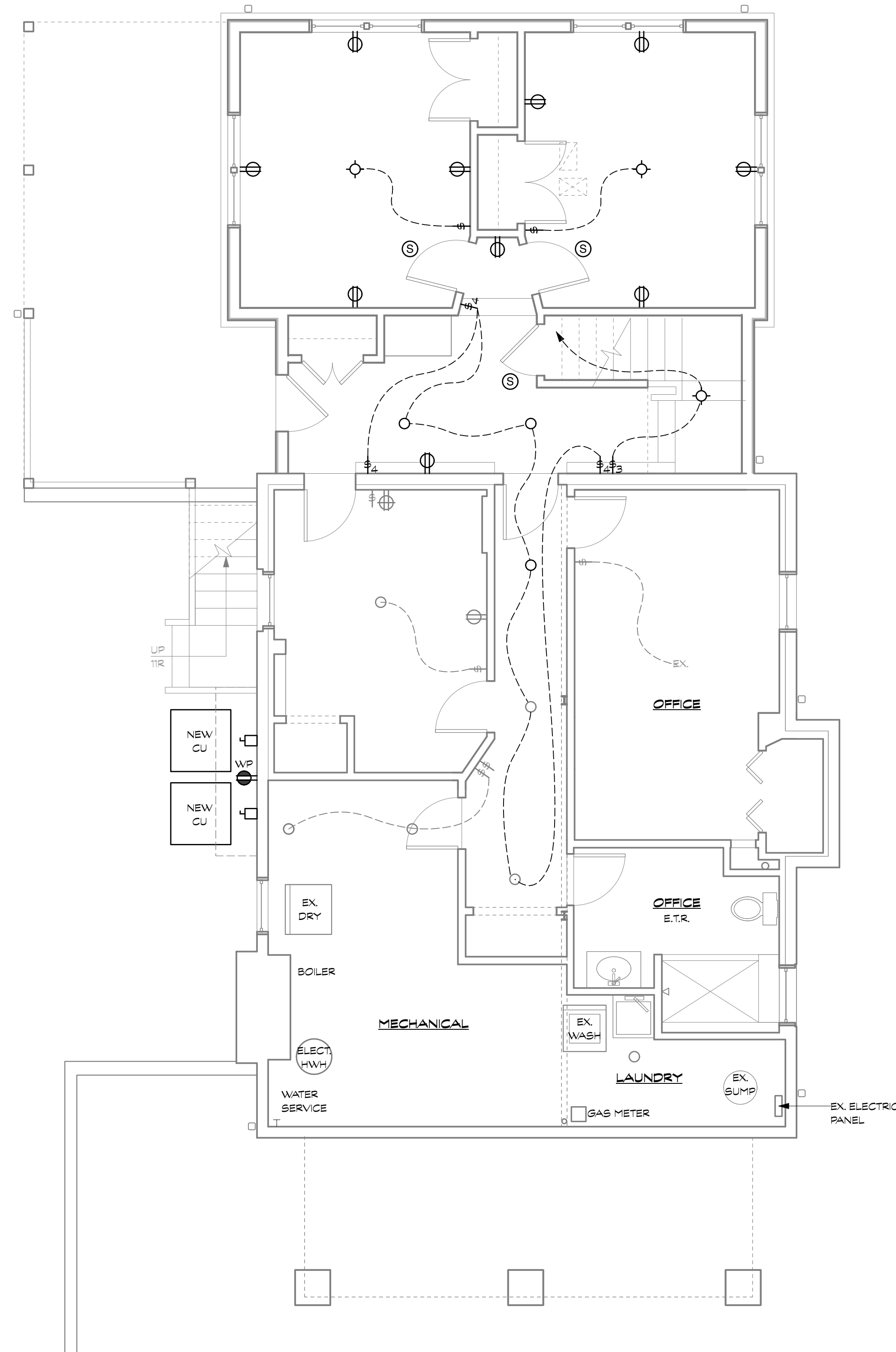
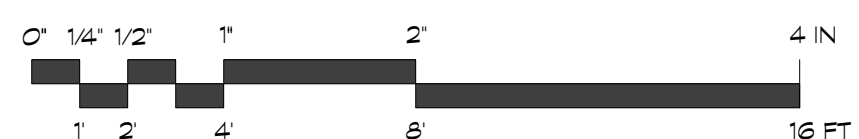
**ELECTRICAL SYMBOLS**

	DUPLEX RECEPTACLE (OUTLET) - 15/20 AMP @ 15' A.F.F. COORDINATE W/ PANEL & EQUIP.
	GFI DUPLEX RECEPTACLE (OUTLET) - 15/20 AMP EXTERNALLY MOUNTED IN WATERPROOF HOUSING
	DUPLEX RECEPTACLE (OUTLET) - 15/20 AMP @ 45' A.F.F. COORDINATE W/ PANEL & EQUIP.
	GFI OUTLET - 20 AMP @ 15' A.F.F.
	GFI OUTLET - 20 AMP @ 45' A.F.F.
	HALF-SWITCH OUTLET - 20 AMP @ 15' A.F.F.
	QUAD RECEPTACLE 15/20 AMP @ 15' A.F.F. (U.N.O.)
	FLOOR MOUNTED DUPLEX RECEPTACLE W/ FLUSH DECORATIVE COVER
	JUNCTION BOX - SIZE AS REQUIRED
	ELECTRIC DRYER RECEPTACLE
	DATA/TELEPHONE JACK - MOUNT @ 15' A.F.F. (U.N.O.)
	CABLE TV OUTLET
	EXISTING SMOKE DETECTOR - REPLACE/RELOCATE AS NECESSARY TO MEET CODE
	SMOKE DETECTOR - HARDWIRED INTERCONNECT PER CODE
	EXHAUST FAN-CEILING MOUNTED
	EXHAUST FAN-WALL MOUNTED

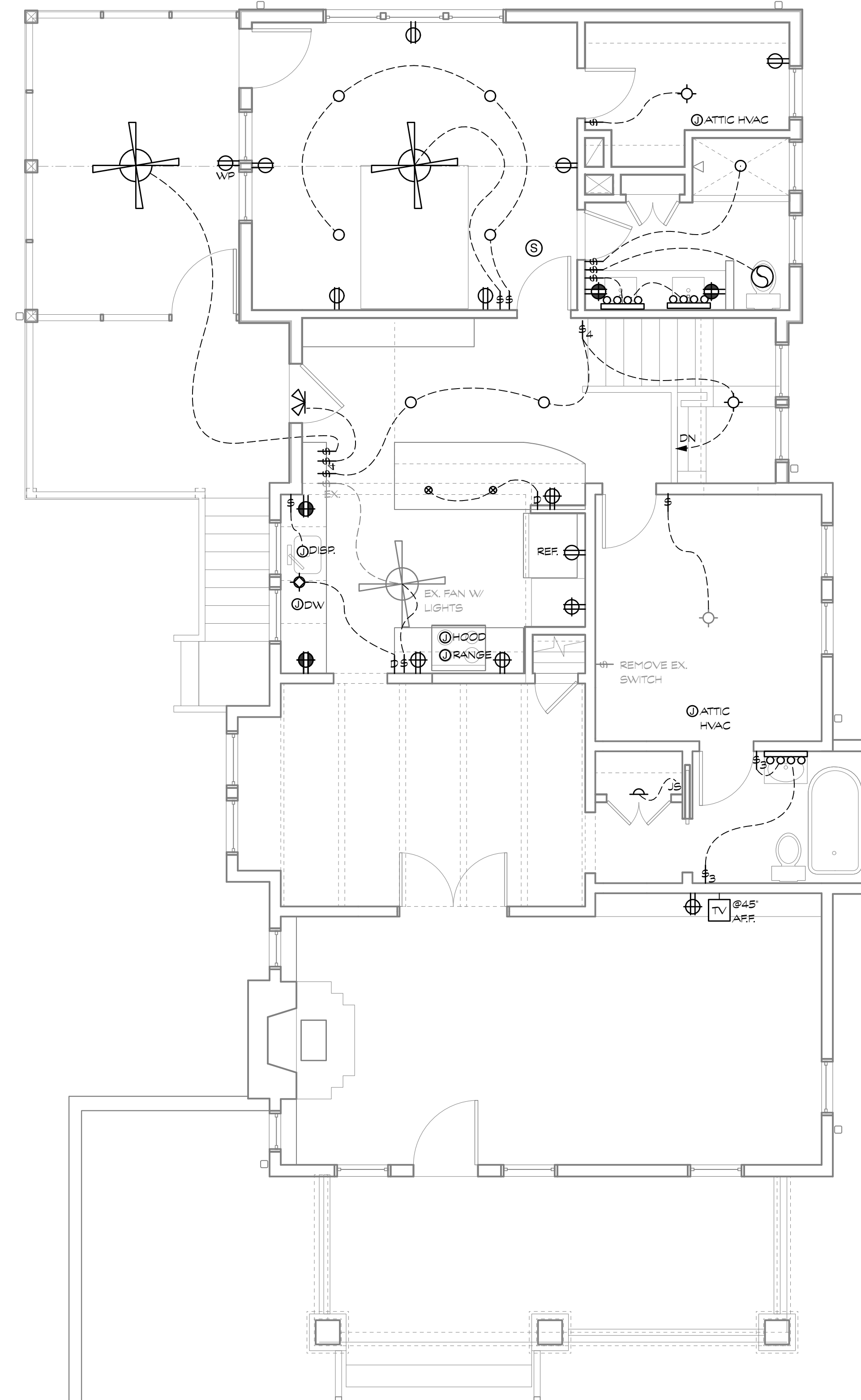
**LIGHTING SYMBOLS**

	SURFACE MOUNTED CEILING LIGHT FIXTURE
	FULLY RECESSED LED LIGHT
	UNDER CABINET MOUNTED FIXTURE
	SUSPENDED PENDANT FIXTURE
	FULLY RECESSED INCANDESCENT WALL WASH LIGHT - MOUNT 2'-0" FROM WALL U.N.O.
	PENDANT FIXTURE
	VANITY LIGHT
	WALL-MOUNTED LIGHT FIXTURE
	SCONCE FIXTURE
	CEILING FAN/LIGHT
	LED LIGHT FIXTURE
	SWITCH
	THREE WAY SWITCH
	DIMMER SWITCH
	DIMMER THREE WAY SWITCH
	JAMB SWITCH
	SECURITY FLOODLIGHT ON MOTION DETECTOR

GENERAL: PROVIDE I.C. HOUSING AS NECESSARY IN INSULATED CAVITIES



1 CELLAR ELECTRICAL PLAN  
Scale: 1/4" = 1'-0"



2 FIRST FLOOR ELECTRICAL PLAN  
Scale: 1/4" = 1'-0"

DATE	ISSUE - REMARKS

CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

© 2023 Bennett Frank McCarthy Architects, Inc.

**HEATH-LANGLAIS ADDITION**  
7338 Carroll Ave., Takoma Park, MD 20912  
Project # 2307

23 AUGUST 2023 - PROGRESS SET

CELLAR & FIRST FLOOR ELECTRICAL  
**E100**

