



## HISTORIC PRESERVATION COMMISSION

Marc Elrich  
*County Executive*

Robert K. Sutton  
*Chairman*

Date: September 15, 2021

### MEMORANDUM

TO: Mitra Pedoeem  
Department of Permitting Services

FROM: Dan Bruechert  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit # 954009 - Building Addition and Other Alterations

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** at the July 14, 2021 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Debbie Shepherd  
Address: 7 E. Melrose St., Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3400 or [dan.bruechert@montgomeryplanning.org](mailto:dan.bruechert@montgomeryplanning.org) to schedule a follow-up site visit.







1 Existing Rear View



2 Proposed Rear View

MONTGOMERY COUNTY DIGITAL STAMP AREA

**GENERAL NOTES**

- ALL WORK SHALL COMPLY WITH THE 2018 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE (IRC), THE 2018 EDITION OF THE INTERNATIONAL ENERGY CONSERVATION CODE AND ALL OTHER APPLICABLE CODES, REGULATIONS & ORDINANCES.
- ALL WORK SHALL BE COMPLETED BY EXPERIENCED TRADESMEN.
- ANY INCONSISTENCIES FOUND BETWEEN THE DRAWINGS AND EXISTING CONDITIONS OR BETWEEN THE DRAWINGS THEMSELVES SHALL BE REPORTED TO THE ARCHITECT. ANY WORK DONE WITHOUT NOTIFICATION OF THE ARCHITECT WILL BE AT THE CONTRACTOR'S RISK AND EXPENSE.
- WHEN MULTIPLE SPECIFICATIONS ARE GIVEN, CONTRACTOR SHOULD ASSUME MORE EXPENSIVE OPTION FOR PRICING PURPOSES AND NOTIFY ARCHITECT.
- ANY SUBSTITUTIONS IN MATERIALS, FINISHES OR FIXTURES FROM THE SPECIFICATIONS OF THE DRAWINGS SHALL BE SUBMITTED IN WRITING DURING THE BID PROCESS FOR OWNER AND ARCHITECT APPROVAL.
- DRAWINGS ARE TO BE READ AND NEVER SCALED.
- PROTECT ALL JOBSITE CONDITIONS NOT SPECIFICALLY AFFECTED BY THE WORK.
- THE CONTRACTOR SHALL MAINTAIN THE JOBSITE FREE AND CLEAR OF TRASH & DEBRIS.
- ALL METAL FLASHING INSTALLATIONS PER SMACNA.
- FOLLOW INDUSTRY GUIDELINES & REGULATIONS FOR SELECTION, APPLICATION AND INSTALLATION OF EACH MATERIAL.
- ONE YEAR WARRANTY SHALL BEGIN AT SUBSTANTIAL COMPLETION.
- FIELD VERIFY ALL DIMENSIONS BEFORE BEGINNING THE WORK.
- THE CONTRACTORS SHALL BE REQUIRED TO MAKE PROPER AND COMPLETE WORK WHICH IS SHOWN SINGLE OR PARTIALLY INDICATED TO AVOID NEEDLESS REPETITION FOR THE SAKE OF BREVITY AND FOR REASONS OF CLARITY.
- CONTRACTORS SHALL FURNISH AND INSTALL ALL WORK AND MATERIALS AS MAY BE PROPER AND SUITABLE PREPARATION BASIS, SUPPORT OR FINISH FOR THE WORK WHICH IS SHOWN ON THE DRAWINGS WHETHER OR NOT THE SAME IS SPECIFICALLY MENTIONED.

**DRAWING LIST**

SHEET TITLE	SHEET NUM.
Cover Sheet	A000
Existing and Demolition Plans	A100
Existing and Demolition Plans	A101
Existing Elevations	A102
Proposed Plans	A200
Elevations	A300
Structural Notes and Details	S100
Structural Plans	S101
Structural Plans	S102

**CONTACT INFORMATION**

**OWNER:**

**DEBBIE SHEPHERD**  
7 E MELROSE STREET  
CHEVY CHASE, MD 20815

**ARCHITECT:**

**MCD STUDIO, LLC**  
4948 ST. ELMO AVENUE, SUITE 304  
BETHESDA, MD 20814  
CONTACT: MATT MCDONALD  
PHONE: 301-215-7277

**STRUCTURAL ENGINEER:**

**APAC ENGINEERING, INC**  
2110 SEMINARY ROAD  
SILVER SPRING, MD 20910  
CONTACT: ROBERT WIXSON  
PHONE: 301-565-0543

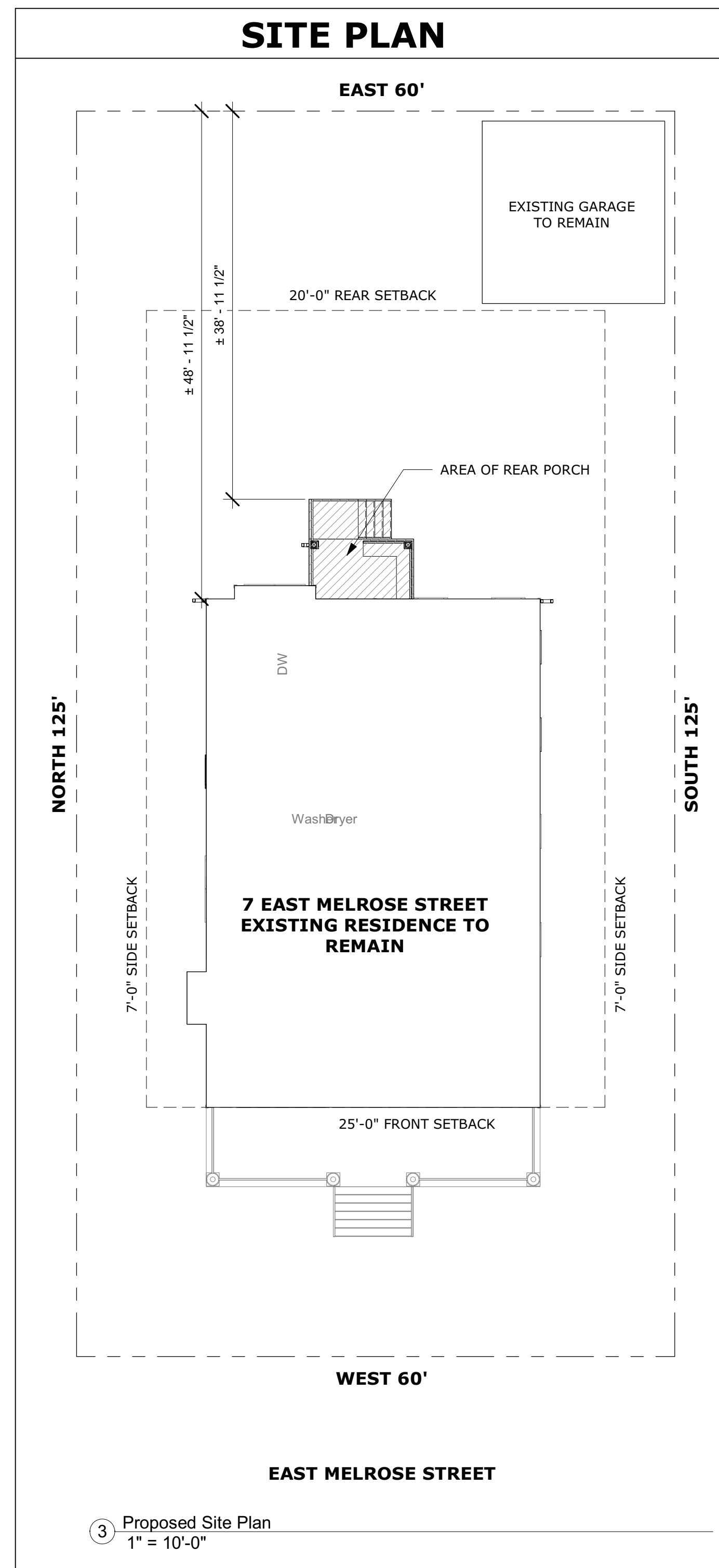
**APPLICABLE CODES**

- IRC 2018 W/ LOCAL AMENDMENTS
- NFPA-101 / 2015 W/ LOCAL AMENDMENTS
- NFPA NATIONAL ELECTRICAL CODE / 2014 W/ LOCAL AMENDMENTS
- INTERNATIONAL MECHANICAL CODE / 2018 W/ LOCAL AMENDMENTS
- INTERNATIONAL PLUMBING CODE / 2018 W/ LOCAL AMENDMENTS
- IECC 2018 W/ LOCAL AMENDMENTS

**BUILDING DATA**

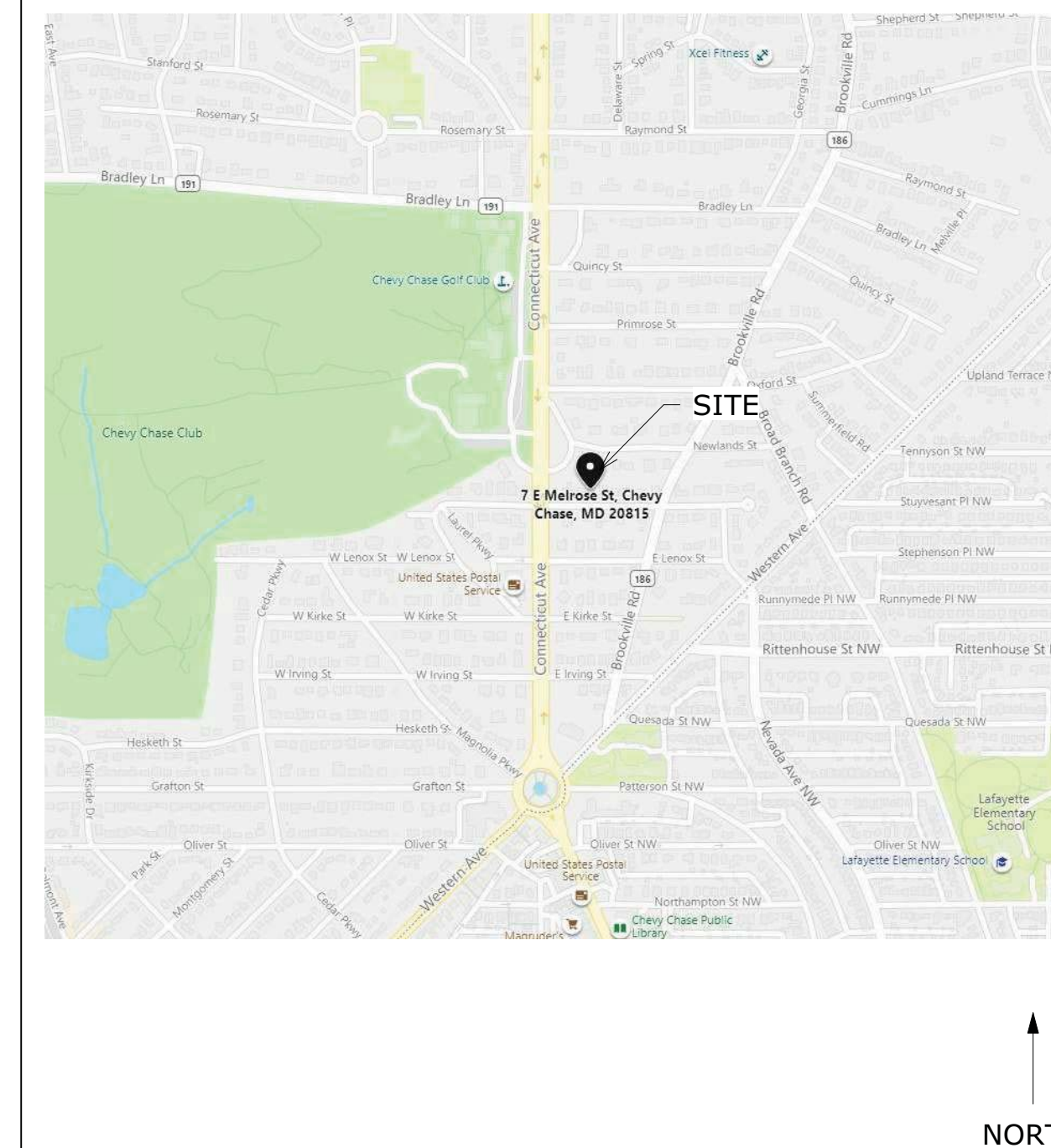
- ZONING:** R-60
- USE:** RESIDENTIAL - SINGLE FAMILY DETACHED
- LOT SIZE:** 7,500 SQUARE FEET
- LOT COVERAGE:** 2,428 S.F. /32.3% PROPOSED (2,625 S.F. /35% ALLOWED)
- FRONT SET BACK:** ±25" TO FRONT OF HOUSE (25' REQUIRED) NO CHANGE PROPOSED
- SIDE SET BACK:** ±13' SIDE SETBACK ONE SIDE ±13'-6" SIDE SETBACK ONE SIDE (7' EACH SIDE REQUIRED - LOT RECORDED BEFORE 1/1/54) NO CHANGE PROPOSED
- REAR SET BACK:** 48'-11.5" HOUSE (20' REQUIRED) NO CHANGE PROPOSED 38'-11.5" REAR SETBACK TO REAR PORCH STRUCTURE
- AREA OF REAR PORCH:** 95 S.F. LESS THAN 400; NO DRAINAGE PLAN REQUIRED

**SITE PLAN**



3 Proposed Site Plan  
1" = 10'-0"

**LOCATION MAP**



**SCOPE OF WORK**

- MAIN LEVEL:**
  - REPLACE TWO WINDOWS AT REAR RIGHT ELEVATION;
  - NEW SHORTER WINDOW AT REAR LEFT ELEVATION IN EXISTING OPENING.
  - REPLACE ROOF AT REAR ONE-STORY AREA
  - REPLACE REAR PORCH AND STEPS TO YARD
- SECOND LEVEL:**
  - REPLACE TWO WINDOWS AT REAR ELEVATION

APPROVED  
Montgomery County  
Historic Preservation Commission

**REVIEWED**  
By Dan.Bruechert at 2:26 pm, Sep 15, 2021

**mcdstudio**  
4948 St. Elmo Ave., Suite 304  
Bethesda, MD 20814  
P: (301) 215-7277  
www.mcdstudio.com

**Architect's Professional Certification**  
"I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, License number 17724, Expiration Date: 5/30/2022



**Shepherd Residence**  
7 E Melrose Street  
Chevy Chase, MD 20815

Project Number: 21-013  
Client Name: Debbie Shepherd

Project Status:  
 As Built Conditions  
 Preliminary Design  
 Design Development  
 Permit Submission  
 Construction Documents  
 Construction Administration  
 Bid Set

Drawing Issue Date: 8/26/2021

Client Approval:  
Signature: \_\_\_\_\_  
Date: \_\_\_\_\_

Revision Schedule		
No.	Description	Date

Drawn by: JV  
Checked by: MM  
Scale: As indicated  
Sheet Name:

Cover Sheet

Sheet Number:  
**A000**

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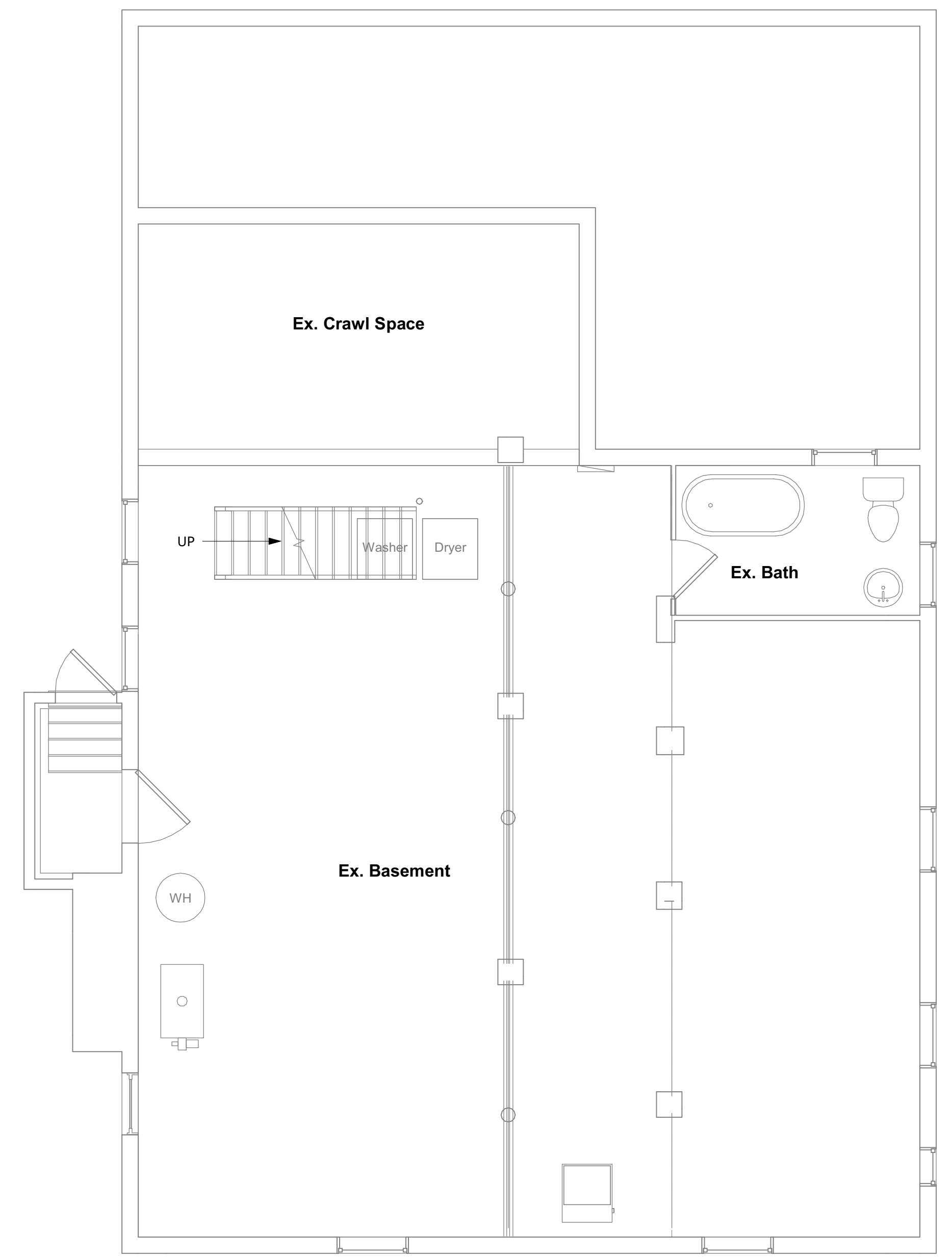
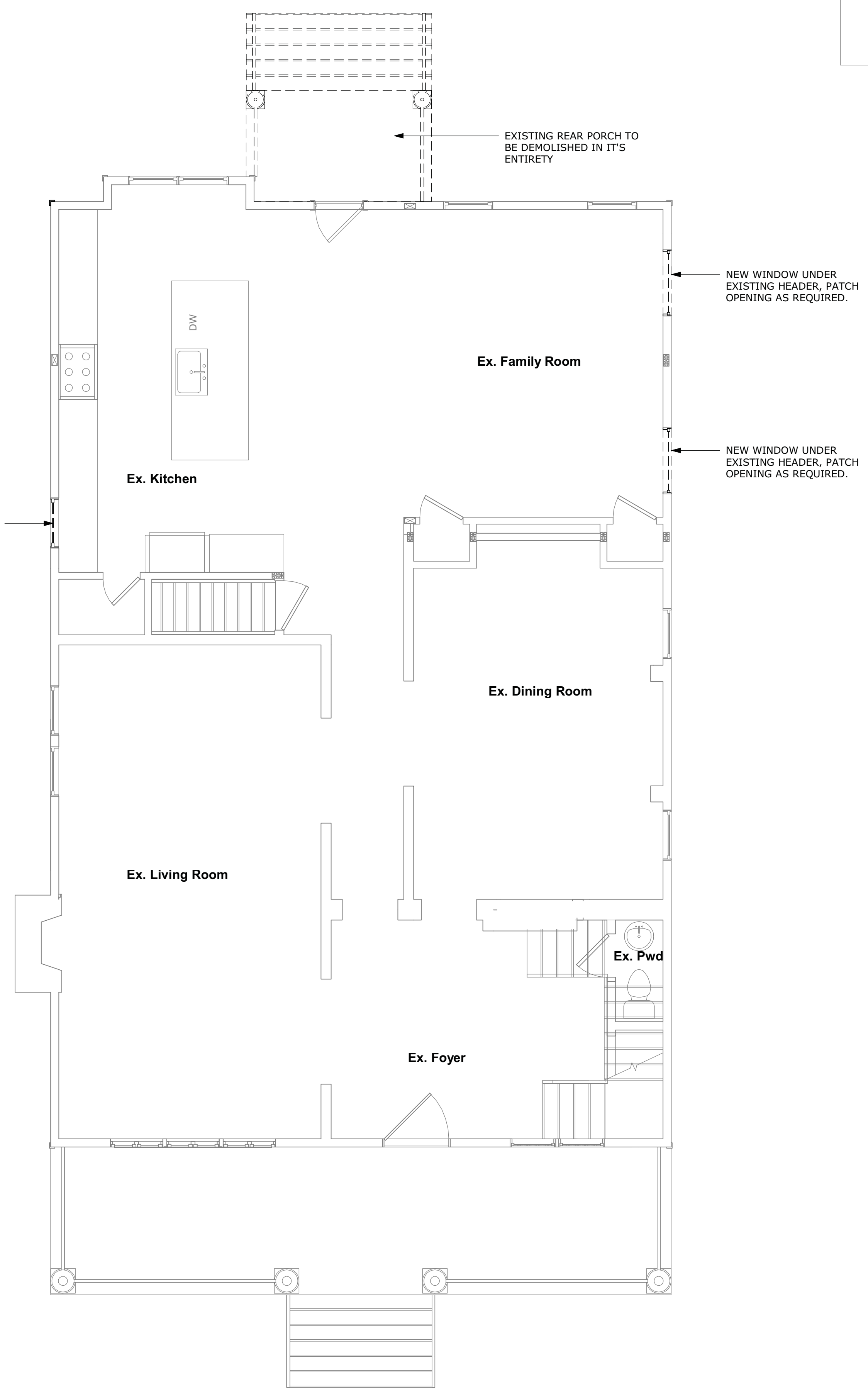


MONTGOMERY COUNTY DIGITAL STAMP AREA

- GENERAL DEMOLITION NOTES**
- MCD STUDIO LLC DOES NOT WARRANT THE ABSOLUTE ACCURACY OF THE DELINEATION OF EXISTING CONDITIONS AS SHOWN ON THESE DRAWINGS. ACTUAL FIELD CONDITIONS MAY VARY. EXISTING CONDITIONS SHALL BE FIELD VERIFIED PRIOR TO COMMENCEMENT OF THE WORK AND ANY DISCREPANCIES, HIDDEN AND UNFORESEEN CONDITIONS DISCOVERED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
  - ALL DASHED WALLS, FIXTURES, WALLS, ETC. ARE TO BE REMOVED.
  - ALL DEMOLITION IS TO BE DONE IN COMPLIANCE WITH APPLICABLE CODES AND LOCAL ORDINANCES.
  - ERECT TEMPORARY WALLS AND DUST BARRIERS AS NECESSARY TO PREVENT CIRCULATION OF DIRT AND DUST INTO PORTIONS OF THE HOUSE THAT ARE NOT PART OF THE WORK.
  - PROTECT EXISTING HVAC AND ALL OTHER HOME SYSTEMS DURING DEMOLITION. COVER AND PROTECT ALL VENTS, DUCTS, ETC. FROM DAMAGE.
  - PROTECT ALL EXISTING FINISHES TO REMAIN. ANY DAMAGE CAUSED BY CONTRACTOR TO BE REPAIRED TO MATCH PRE-CONSTRUCTION CONDITIONS BY SUBSTANTIAL COMPLETION OF PROJECT.
  - PROVIDE AND MAINTAIN SHORING, BRACING, OR STRUCTURAL SUPPORTS TO PRESERVE BUILDING STABILITY AND PREVENT ANY STRUCTURAL FAILURE AT ALL TIMES.
  - PROTECT BUILT STRUCTURE AND INTERIOR FROM WEATHER AND MAINTAIN IN WATERTIGHT CONDITION AT ALL TIMES.
  - BUILDER TO COORDINATE ANY ITEMS TO BE SAVED OR DONATED WITH HOMEOWNER.
  - CAP OR RELOCATE EXISTING UTILITIES IF REQUIRED, THIS MAY BE PERMANENT OR TEMPORARY PER SCOPE OF WORK.

**DEMOLITION LEGEND**

---	WALL TO BE REMOVED
---	EXISTING TO REMAIN



APPROVED  
Montgomery County  
Historic Preservation Commission

*[Signature]*

**REVIEWED**  
By Dan.Bruechert at 2:26 pm, Sep 15, 2021

② First Floor Existing and Demolition Plan  
1/4" = 1'-0"

① Basement Existing and Demolition Plan  
1/4" = 1'-0"

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Signature: \_\_\_\_\_  
Date: \_\_\_\_\_

**Revision Schedule**

No.	Description	Date

Drawn by: JV  
Checked by: MM  
Scale: 1/4" = 1'-0"  
Sheet Name:

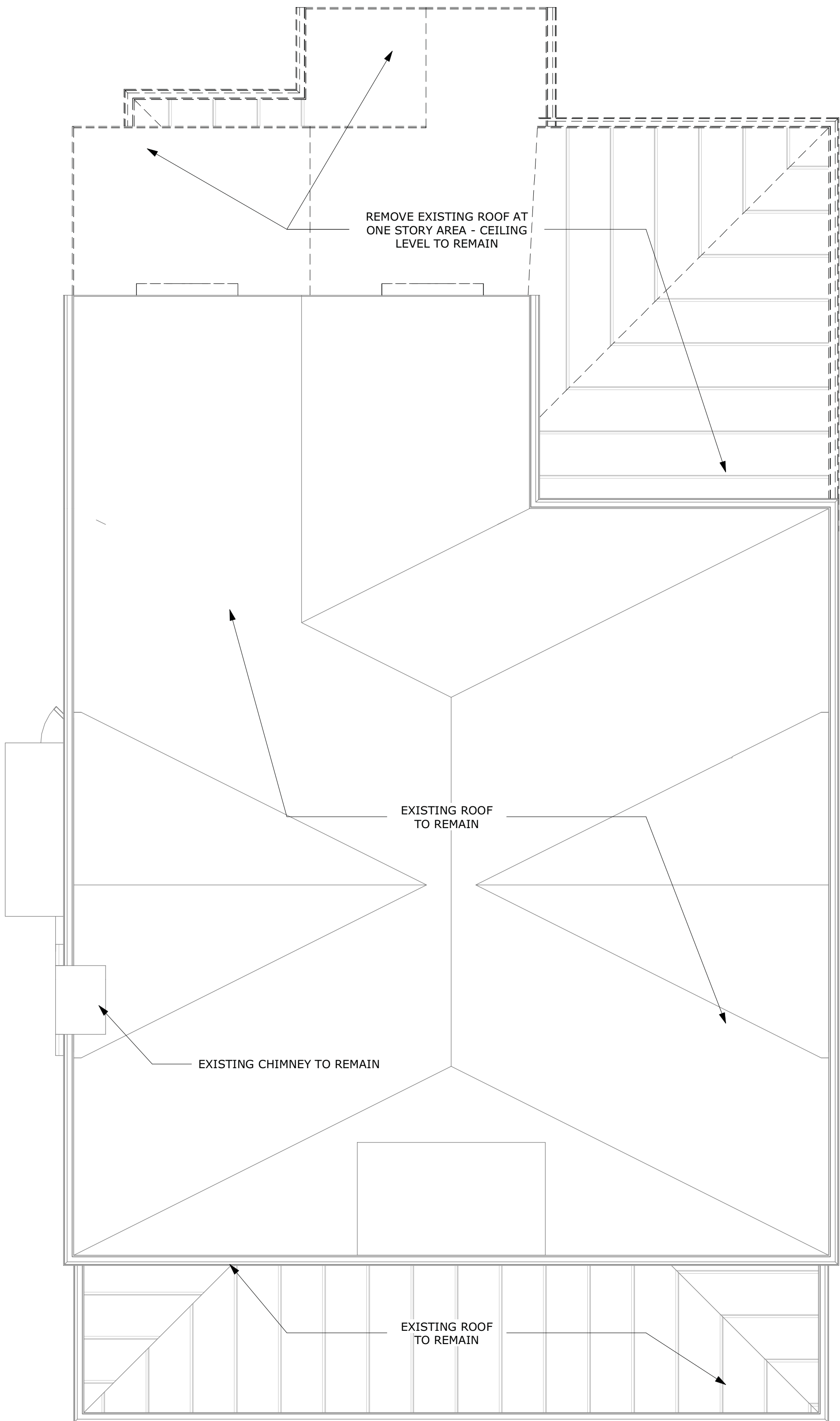
Existing and Demolition Plans

Sheet Number: **A100**

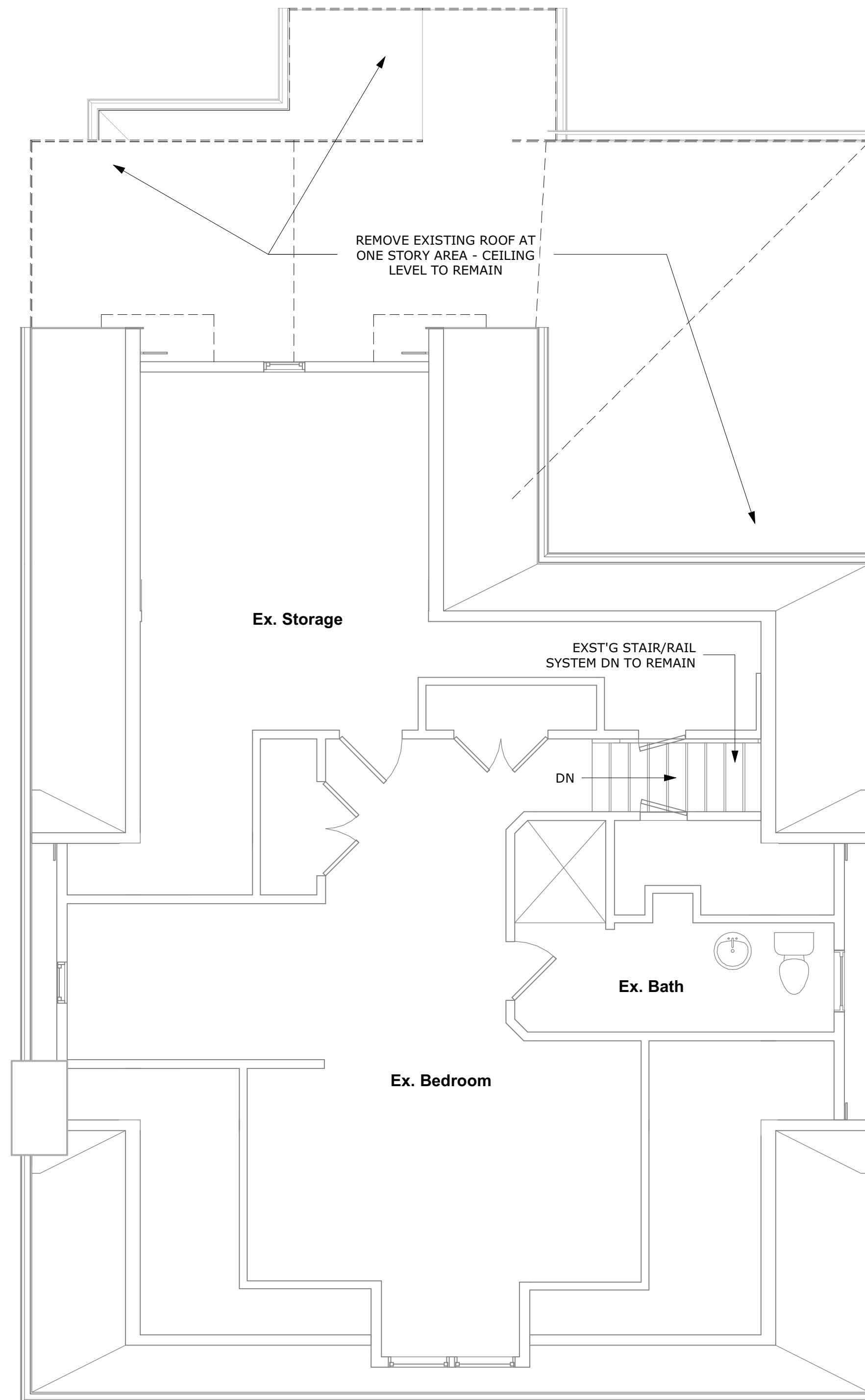
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**GENERAL DEMOLITION NOTES**

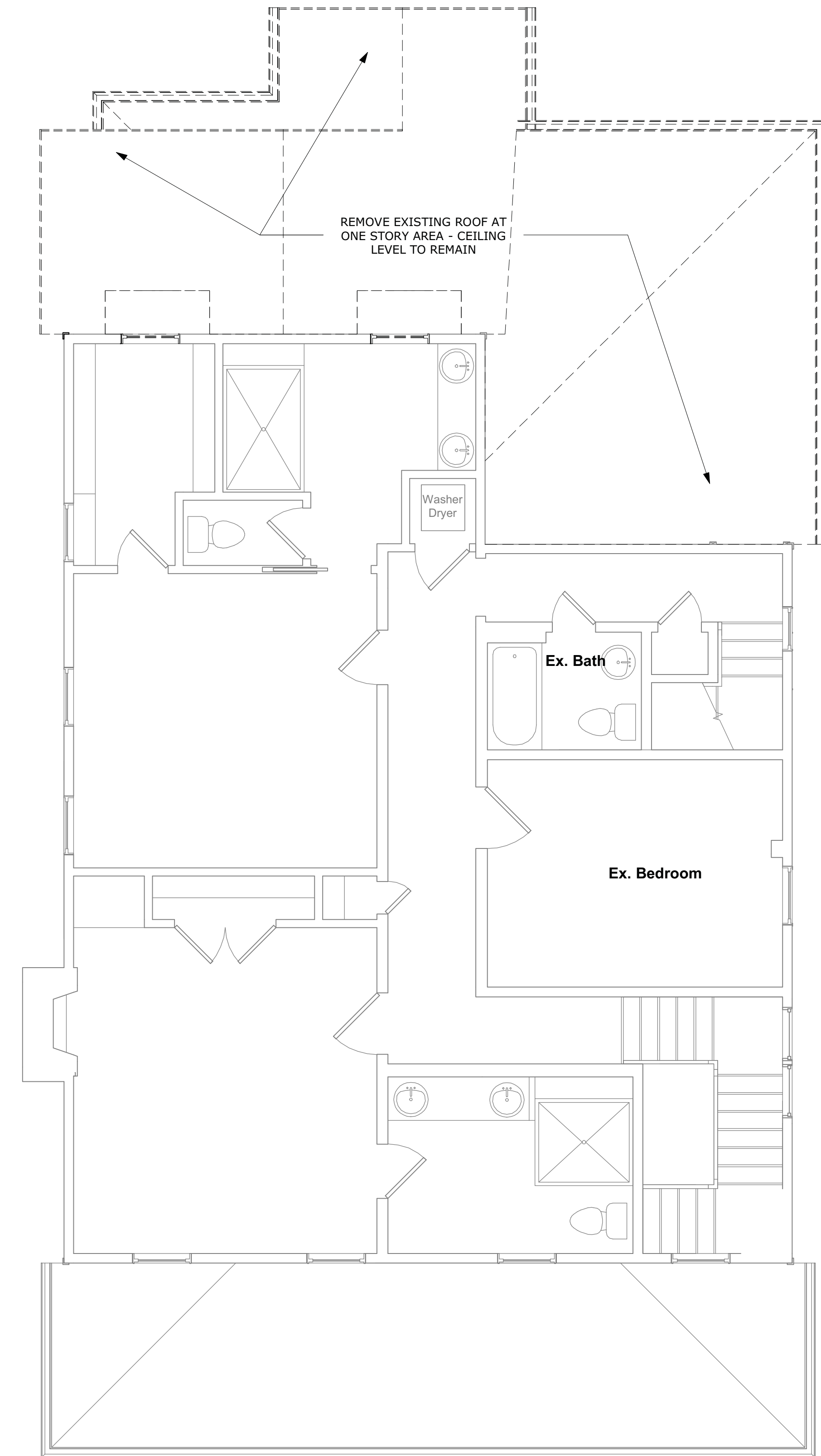
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② Roof Existing and Demolition Plan  
1/4" = 1'-0"



③ Third Floor Existing and Demolition Plan  
1/4" = 1'-0"



① Second Floor Existing and Demolition Plan  
1/4" = 1'-0"

MONTGOMERY COUNTY DIGITAL STAMP AREA

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Robert H. [Signature]*

**REVIEWED**  
By Dan.Bruechert at 2:26 pm, Sep 15, 2021

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Client Approval:  
Signature: \_\_\_\_\_  
Date: \_\_\_\_\_

Revision Schedule		
No.	Description	Date

Drawn by: AP  
Checked by: MM  
Scale: 1/4" = 1'-0"  
Sheet Name:

Existing and Demolition Plans

Sheet Number:

**A101**

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APPROVED  
 Montgomery County  
 Historic Preservation Commission



**REVIEWED**  
 By Dan.Bruechert at 2:27 pm, Sep 15, 2021



④ Existing Right Elevation  
 1/4" = 1'-0"



② Existing Left Elevation  
 1/4" = 1'-0"

MONTGOMERY COUNTY DIGITAL STAMP AREA

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③ Existing Rear Elevation  
 1/4" = 1'-0"



① Existing Front Elevation  
 1/4" = 1'-0"

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Revision Schedule		
No.	Description	Date

Drawn by: AP  
 Checked by: MM  
 Scale: 1/4" = 1'-0"  
 Sheet Name:

Existing Elevations

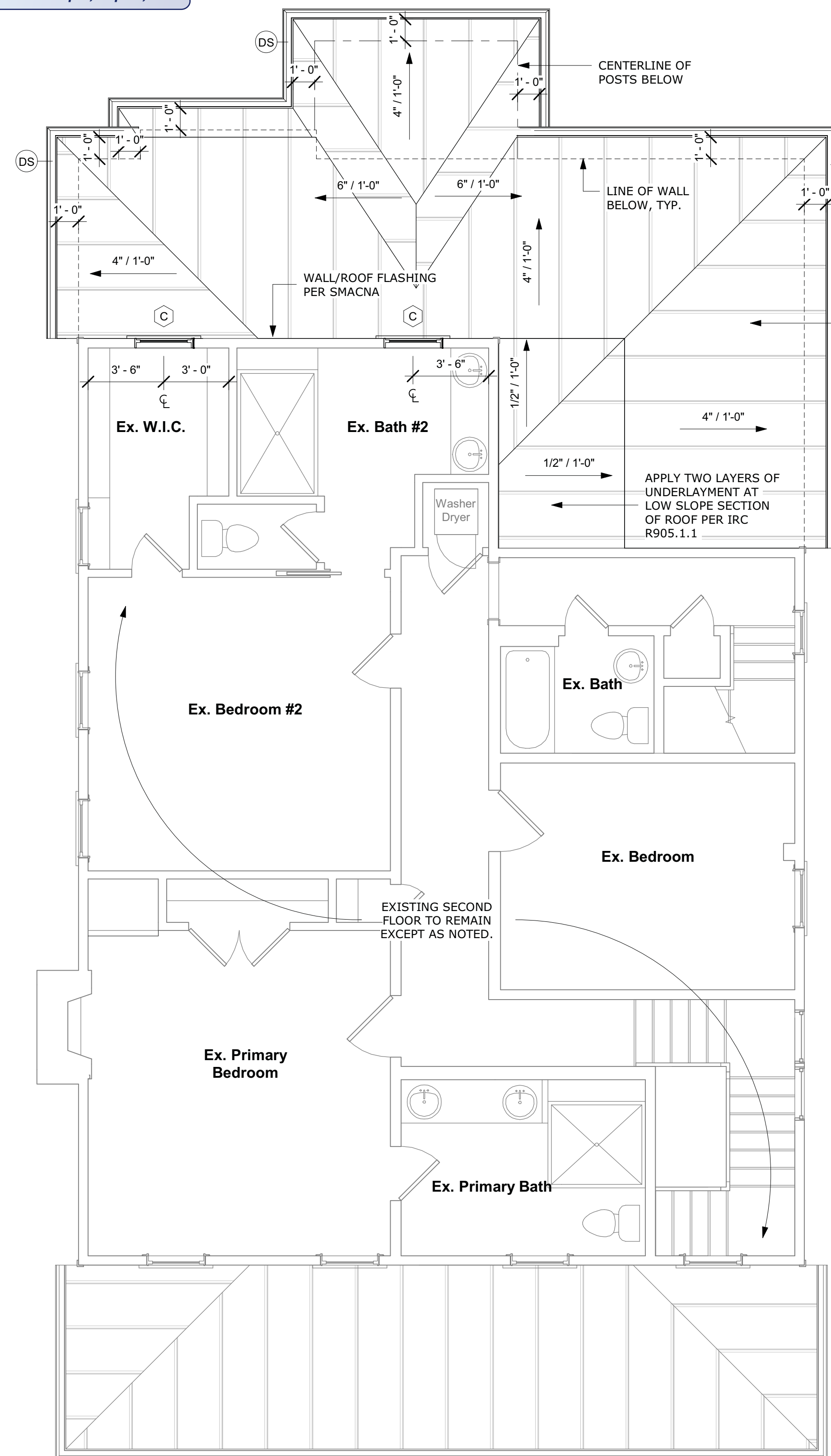
Sheet Number:

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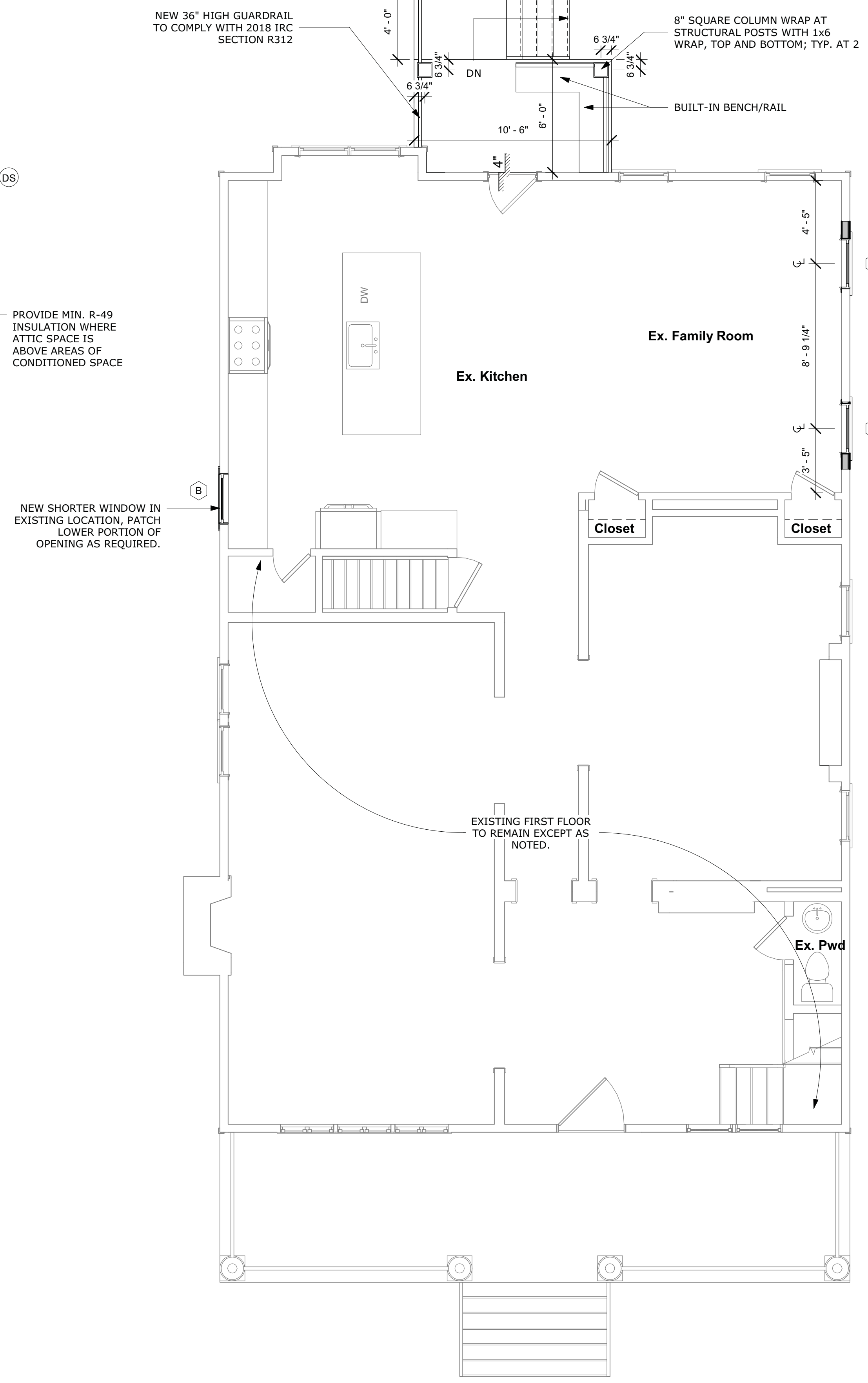
NOTE: BASEMENT, THIRD FLOOR AND ROOF ARE EXISTING TO REMAIN

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Robert A. ...*

REVIEWED  
By Dan.Bruechert at 2:27 pm, Sep 15, 2021



1 Proposed Second Floor Plan  
1/4" = 1'-0"



2 Proposed First Floor Plan  
1/4" = 1'-0"

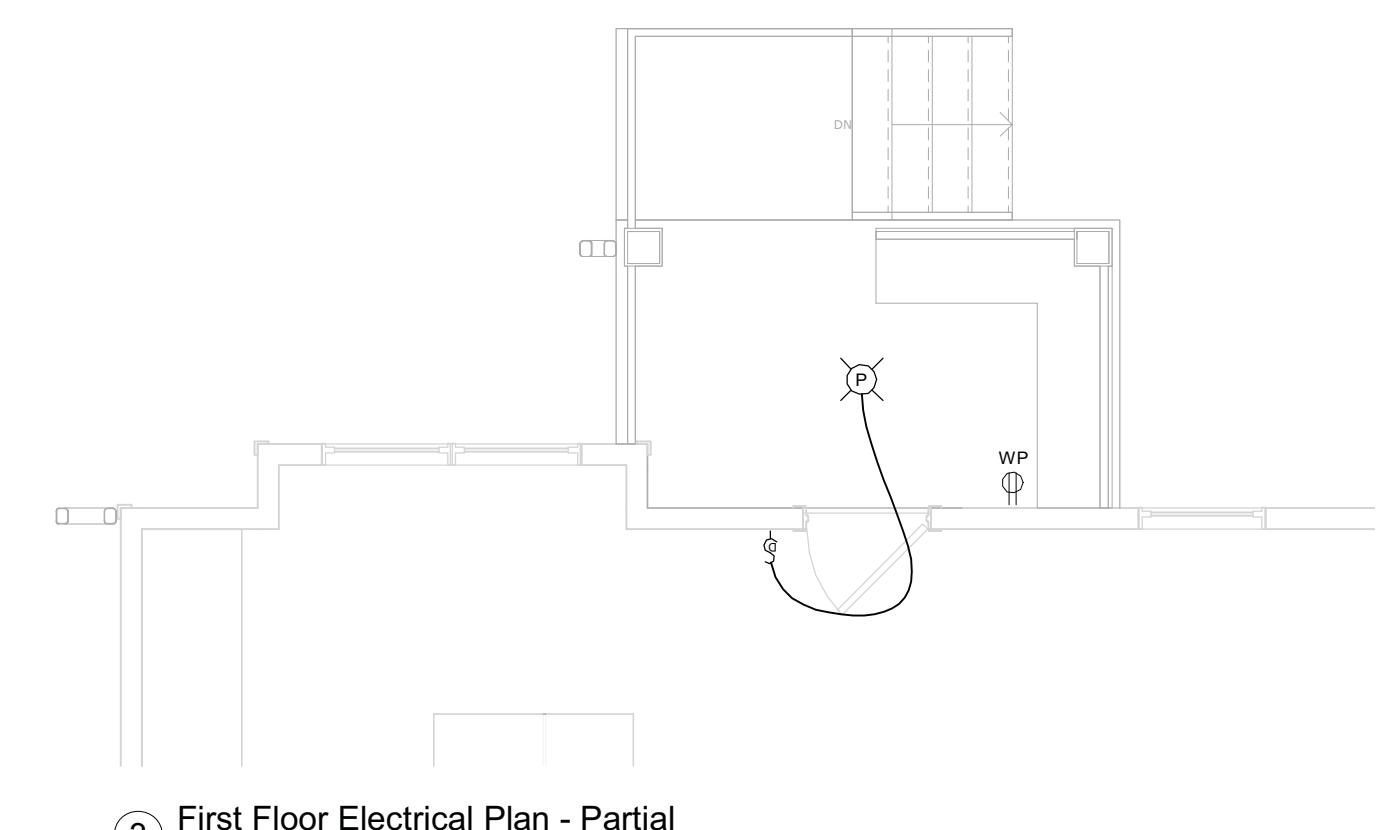
- GENERAL PLAN NOTES**
- ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, UNLESS NOTED OTHERWISE.
  - ALL INTERIOR WALLS SHALL BE NOM. 2X4 WOOD STUD @ 16" O.C. WITH 1/2" GWB ON BOTH SIDES, U.N.O.
  - ALL EXTERIOR WALLS SHALL BE NOM. 2X6 WOOD STUD @ 16" O.C. WITH 1/2" GWB ON INTERIOR SIDE, R-21 MIN. BATT INSULATION WITHIN STUD CAVITIES AND 7/16" OSB ON EXTERIOR SIDE, U.N.O.
  - ALL BATHROOMS WITHOUT WINDOWS SHALL BE VENTED TO THE OUTSIDE.
  - GLASS DOORS, SIDE GLASS PANELS, TUB AND SHOWER ENCLOSURES AND OTHER GLAZING IN HAZARDOUS LOCATIONS SHALL BE SAFETY GLAZED PER CURRENT BUILDING CODES.
  - CLOTHES DRYER VENT SYSTEMS SHALL BE INDEPENDENT OF ALL OTHER SYSTEMS AND SHALL BE VENTED TO THE EXTERIOR OF THE BUILDING. FLEXIBLE DUCT CONNECTORS SHALL NOT BE CONCEALED WITHIN WALLS OR CEILING.
  - THE MAXIMUM LENGTH OF A 4" DIAMETER EXHAUST VENT SHALL NOT EXCEED 25' FROM THE DRYER TO THE WALL OR ROOF TERMINATION. A REDUCTION OF 2.5' FOR EACH 45 DEGREE BEND AND 5' FOR EACH 90 DEGREE BEND SHALL APPLY.
  - REVIEW ALL DROPPED BEAM HEIGHTS WITH ARCHITECT PRIOR TO FINAL CLOSE-IN.

- GENERAL ROOF NOTES**
- ALL GUTTERS AND LEADERS TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
  - PROVIDE ROOF VENTING IF REQUIRED BASED ON TYPE OF INSULATION USED.
  - IN AREAS OF OVERFRAMING, SHEATHING SHALL BE INTERRUPTED FOR CONTINUITY OF ATTIC VENTING.
  - APPLY ICE AND WATER SHIELD AT ALL EAVES, RIDGES AND VALLEYS.
  - ROOF MATERIAL AT REAR ROOF TO BE STANDING SEAM METAL ROOF.
- DS INDICATES PROPOSED DOWNSPOUT LOCATION. SIZE & LOCATION OF DOWNSPOUTS AND GUTTERS TO BE VERIFIED BY INSTALLER.

- ELECTRICAL NOTES**
- CONTRACTOR TO CONFIRM EXISTING ELECTRICAL CAN SUPPORT PROPOSED LOAD - INCREASE PANEL SIZE IF REQUIRED.
  - CONFIRM SMOKE DETECTORS IN ALL HALLWAYS AND BEDROOMS COMPLY WITH 2018 IRC - INSTALL AS REQUIRED.
  - CONFIRM CARBON MONOXIDE DETECTOR AT EACH LEVEL - INSTALL AS REQUIRED.
  - OUTLETS LOCATED IN BATHROOM, EXTERIOR, OR OTHER TO BE GFI AND/OR WEATHER PROOF AS REQUIRED BY 2018 IRC.
  - ALL OTHER OUTLETS AND FIXTURES IN OTHER AREAS OF THE HOME ARE EXISTING TO REMAIN. OUTLETS NOT SPECIFICALLY SHOWN IN AREAS OF WORK ARE ALSO TO BE EXISTING TO REMAIN.
  - FIXTURE LAYOUT SHOWN IS GENERAL, COORDINATE WITH EXISTING FIELD CONDITIONS AND CONDUCT OWNER/ARCHITECT WALK THROUGH AT ROUGH-IN.

**ELECTRICAL SYMBOLS**

	PENDANT FIXTURE		WATERPROOF OUTLET
	SINGLE DIMMER SWITCH		



3 First Floor Electrical Plan - Partial  
1/4" = 1'-0"

NOTE: NO OTHER CHANGES TO ELECTRICAL.

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**Revision Schedule**

No.	Description	Date

Drawn by: JV  
Checked by: MM  
Scale: 1/4" = 1'-0"  
Sheet Name:

Proposed Plans

Sheet Number:  
**A200**



APPROVED  
Montgomery County  
Historic Preservation Commission

*R. Bruechert*

**REVIEWED**  
By Dan.Bruechert at 2:27 pm, Sep 15, 2021

MONTGOMERY COUNTY DIGITAL STAMP AREA

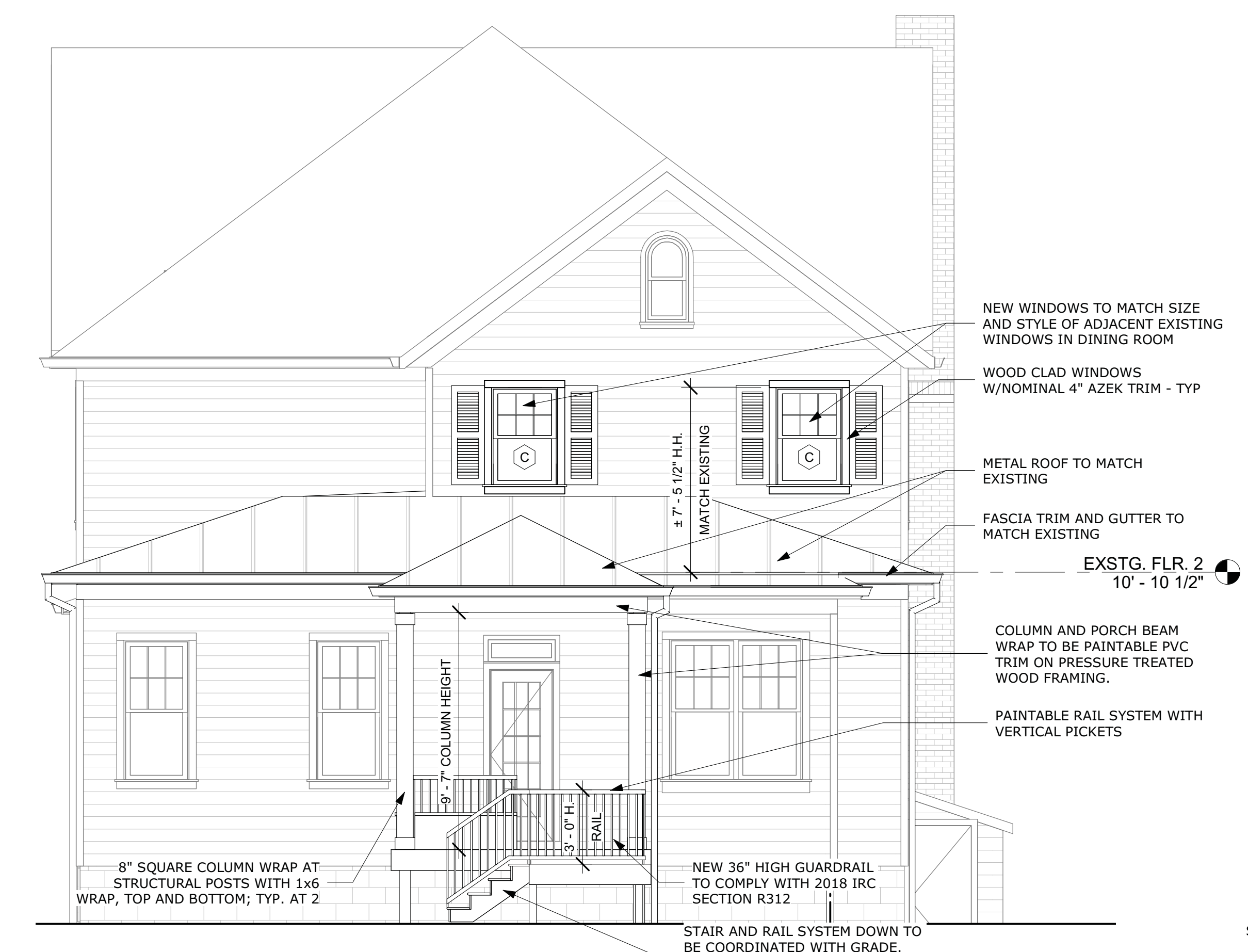
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Type Mark	Count	Rough Opening		Description	Comments
		Width	Height		
A	2	2' - 7 1/2"	5' - 8 1/2"	DOUBLE HUNG	MATCH ADJACENT EXST'G WINDOW SIZE AND STYLE
B	1	2' - 8"	4' - 6"	DOUBLE HUNG	
C	2	2' - 8"	4' - 0"	DOUBLE HUNG	
Total: 5					

- GENERAL ELEVATION NOTES**
- SEE ROOF PLAN FOR ROOF VENTING NOTES.
  - SEE ROOF PLAN FOR ROOF FINISH AND INSTALLATION NOTES.
  - ALL GUTTERS AND DOWNSPOUTS TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS. SEE ROOF PLAN FOR LOCATIONS AND ADDITIONAL INFORMATION.
  - ROOF FLASHING PER SMACNA
  - ALL EXTERIOR TRIM AND FASCIA TO MATCH EXISTING
  - EXTERIOR WINDOW AND DOOR TRIM TO MATCH EXISTING
  - ALL WINDOWS AND DOORS TO HAVE HEAD AND SILL FLASHING, AND END DAMS WHERE APPLICABLE PER SMACNA.
  - CHIMNEYS SHALL EXTEND A MINIMUM OF 2'-0" ABOVE ANY PORTION OF BUILDINGS WITHIN 10'-0" AND A MINIMUM OF 3'-0" ABOVE THE HIGHEST POINT WHICH THE CHIMNEY PASSES THROUGH THE ROOF.
  - PATCH AND REPAIR ALL EXISTING EXTERIOR FINISHES AFFECTED BY DEMOLITION AND CONSTRUCTION.

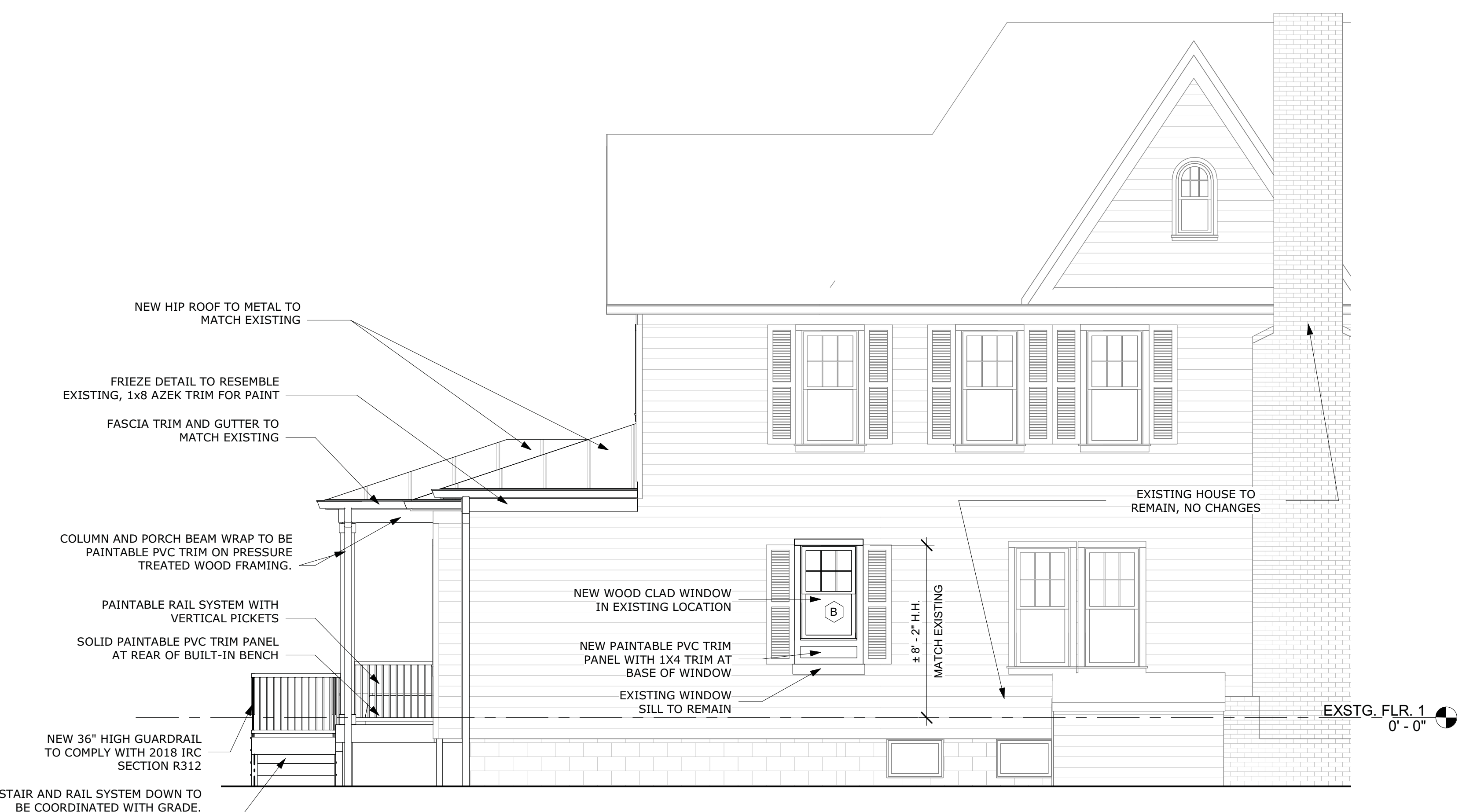
- GENERAL WINDOW NOTES**
- GIVEN WINDOW SIZES SHOWN ARE GENERAL SIZES, MATCH BUILT OPENINGS TO SELECTED MANUFACTURER'S STANDARD SIZES UNLESS NOTED OTHERWISE.
  - SAFETY GLAZING TO BE USED IN ALL WINDOWS AS NEEDED IN ACCORDANCE WITH 2018 IRC CHAPTER 3.
  - WINDOWS LISTED AS EGRESS WINDOWS TO COMPLY WITH REQUIREMENTS OF 2018 IRC CHAPTER 3. CONFIRM WITH MANUFACTURER PRIOR TO ORDERING AS EACH MANUFACTURER'S SIZING AND SPECIFICATIONS MAY DIFFER SLIGHTLY.
  - GENERAL WINDOW MUNTIN PATTERN IS SHOWN. CONFIRM SPECIFIC PATTERN WITH OWNERS PRIOR TO ORDERING.
  - WINDOWS ARE TO BE MINIMUM DOUBLE PANE INSULATED GLASS, LOW-E, ENERGY EFFICIENT WINDOWS; MAX. U-FACTOR = 0.32; MAX. SHGC = 0.40.
  - ALL WINDOWS AND DOORS TO HAVE HEAD AND SILL FLASHING, AND END DAMS WHERE APPLICABLE PER SMACNA.
  - WINDOWS NOT SPECIFICALLY NOTED OR LISTED ARE EXISTING TO REMAIN
  - CONTRACTOR TO CONFIRM WINDOW ORDER WITH OWNERS AND ARCHITECTS PRIOR TO ORDERING - CONTRACTOR ASSUMES ALL RESPONSIBILITY IF NO ARCHITECT REVIEW OCCURS



3 Proposed Right Elevation  
1/4" = 1'-0"



2 Proposed Rear Elevation  
1/4" = 1'-0"



1 Proposed Left Elevation - Partial  
1/4" = 1'-0"

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**Architect's Professional Certification**

"I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, License number 17724, Expiration Date: 5/30/2022



**Shepherd Residence**  
7 E Melrose Street  
Chevy Chase, MD 20815

Project Number: 21-013  
Client Name: Debbie Shepherd

- Project Status:
- As Built Conditions
  - Preliminary Design
  - Design Development
  - Permit Submission
  - Construction Documents
  - Construction Administration
  - Bid Set

Drawing Issue Date: 8/26/2021

Client Approval:  
Signature: \_\_\_\_\_  
Date: \_\_\_\_\_

**Revision Schedule**

No.	Description	Date

Drawn by: JV  
Checked by: MM  
Scale: 1/4" = 1'-0"  
Sheet Name:

Elevations

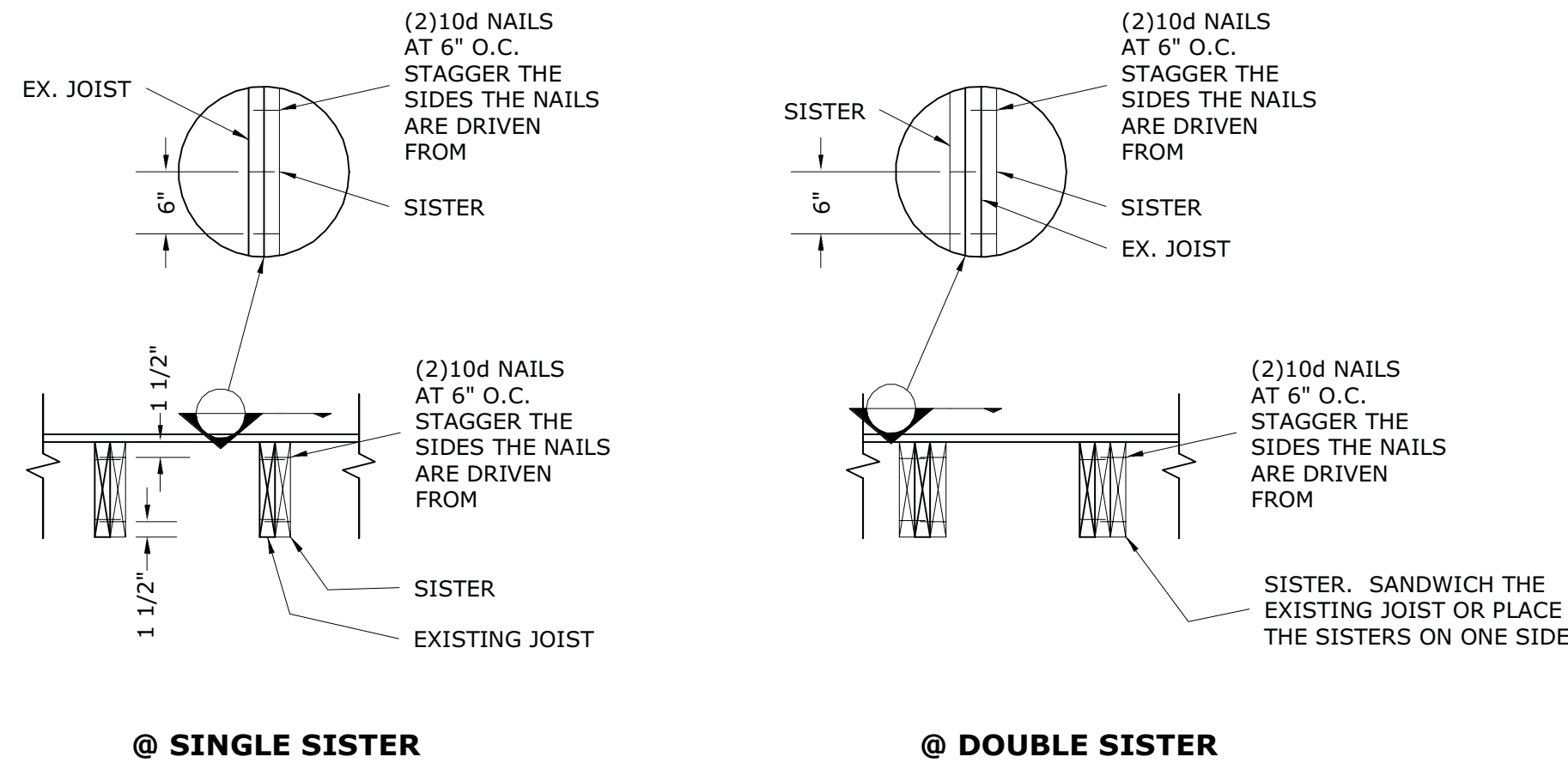
Sheet Number:  
**A300**



APPROVED  
Montgomery County  
Historic Preservation Commission



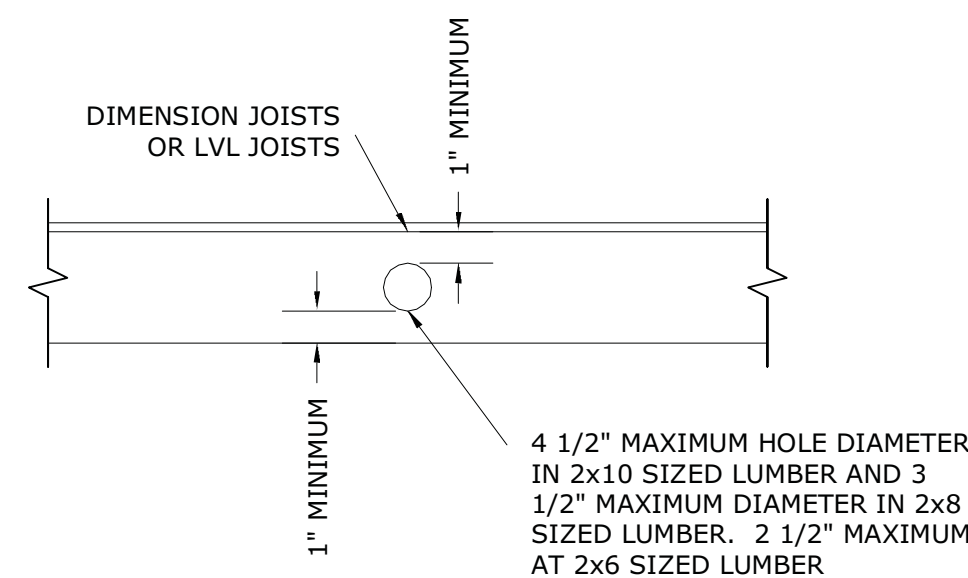
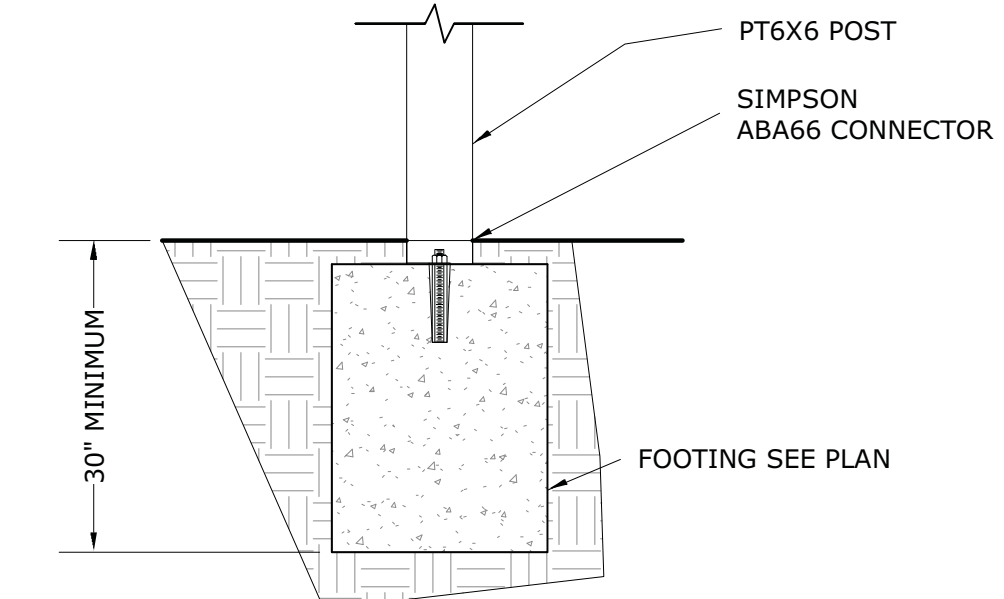
**REVIEWED**  
By Dan.Bruechert at 2:27 pm, Sep 15, 2021



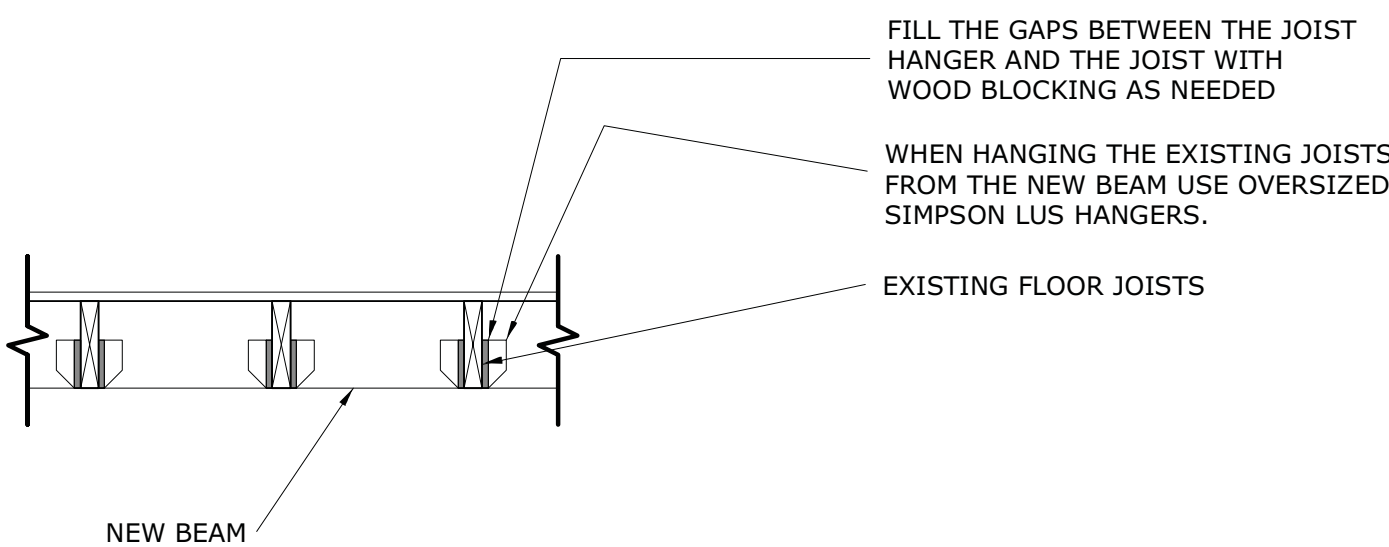
3 Typical Sistering Details  
N.T.S.



5 Typical Wood Post to Wood Beam Details  
N.T.S.



2 Typical Detail at Floor Joist Holes  
N.T.S.



1 Typical Existing Joist to New Beam Detail  
N.T.S.

**STRUCTURAL NOTES**

- Structural Notes**
- All work and materials to comply with the requirements of the 2018 IBC and IRC codes as revised by Montgomery County. Codes: the following design standards are applicable by reference: TMS 402-2016 Build Code Requirements for Masonry Structures. AWC NDS - 2018 - Wood Frame Construction Manual for One and Two Family Dwellings. ACI 318-14 Building Code Requirements for Reinforced Concrete. AISC - 360-16 Specifications for Steel Buildings.
  - Foundations: footings, underpinning and slab on grades are designed to bear on native soil type SM or SC with an allowable bearing pressure of 2000 psf. A qualified soil-bearing inspector prior to placement of concrete shall verify all bearing values.
  - Structural steel:**
    - All structural steel, including detail material shall conform to ASTM A572 Fy = 50ksi, U.N.O.
    - All structural tubing shall conform to ASTM A500, grd.B
    - All steel pipe shall be ASTM A53, type E or S, grade B
    - All welders shop and field, shall be certified. Use E70xx electrodes only.
    - All steel exposed to weather and exterior masonry support shall receive one shop coat of corrosion-inhibiting primer.
    - Detailing, fabrication and erection shall be in accordance with AISC. Adequately brace all steel against lateral loads during erection.
    - All exterior structural steel shall receive rust preventative paint.
    - Connections:**
    - All beam connections shall be simple shear connections, U.N.O. Where no reaction is provided, the beam shall be assumed to carry 120 % of the allowable uniform load in Kips for beams laterally supported, as given in the AISC steel construction manual.
    - Except as noted, all fasteners shall be 3/4" diameter ASTM A325 bolts, designed to act in bearing type connections with threads included.
  - Lumber:**
    - Lumber shall be SPF #2 with a min. Fb = 875psi Min. Fv = 135psi and min. E = 1,400,000psi.
    - LVL and PSL shall have a min. Fb = 2850psi; Fv = 285psi; E = 2,000,000psi.
    - Floor decking shall be 3/4" APA rated decking. Roof decking shall be 5/8" APA rated decking. Wall sheathing shall be 1/2" APA rated sheathing. Glue and screw the floor decking to the joists.
    - Interior wood walls shall be 2x4 studs at 16" O.C. and exterior walls shall be 2x6 studs at 16" O.C. with a double top plate and single bottom plate. Provide solid blocking at the midheight of each wall and at a minimum of 48" O.C. vertically. Provide double joists under all walls that run parallel to floor framing.
    - Nail all multiple members together per the manufacturer's recommendations and at a minimum use 2-10d nails at 6" O.C. stagger sides that nails are driven from. Provide bridging at center of all joist spans Exceeding 8'-0" and at 1/3 points of all joist spans exceeding 16'-0". Provide solid blocking at all bearing points on top of walls or beams.
    - Provide solid blocking below all wood posts.
    - All posts shall have Simpson Cap and Base Plates typ.
    - All joists shall have Simpson Hangers where applicable.
    - Glue all multiple studs together. Nail together with 2-10d nails at 3" O.C. Stagger the sides of the studs that the nails are driven from.
    - All lumber in contact with masonry or concrete or within 8" of soil shall be pressure treated. All lumber to conform to IRC R317 and R319 for protection against corrosion and termite damage.
    - All lumber shall be kiln dried. Store lumber on site in such a manner as to prevent the seepage of water into the wood.
    - Wood Lintels shall be as follows:  
Opening ≤ 3'-0" - 2-2x6  
3'-0" < Opening ≤ 5'-0" - 2-2x8  
5'-0" < Opening ≤ 8'-0" - 2-2x10  
Greater than 8'-0" - See plans
  - Fasteners:**
    - All prefabricated angles, bearing plates, and joist hangers shall be installed per the manufacturer recommendations.
    - Follow the manufacturer recommendations for setting epoxy bolts.
    - Expansion bolts shall be rawl power studs.
  - Masonry:**
    - Masonry construction shall be in conformance with the applicable sections of TMS 402-2016 "Building Code Requirements for Masonry Structures"
    - Concrete masonry units shall be hollow load bearing units (ASTM C90) grade n-1 with a net strength of 2000psi and F'm - 1500psi.
    - All joints to be filled solid with mortar.
    - Mortar to comply with ASTM C270 (type M or S).
    - Provide corrugated masonry ties between brick fascia and wood walls or cmu walls at 16" O.C. in each direction.
    - Provide 9ga truss style joint reinforcement @ 16" O.C. vertically.
    - Lintels shall be as follows:  
Opening ≤ 3'-0" - L4x31/2 x1/4 LLV/ 4" of wall  
3'-0" < Opening ≤ 7'-0" - L6x31/2x5/16 LLV/ 4" of wall.  
Opening > 7'-0" - See Plan
  - Cast in place concrete:**
    - Concrete construction shall be in conformance with the applicable sections of ACI 318-14, "Part 3 - Construction Requirements."
    - Concrete shall have a minimum compressive strength at 28 days of 3000psi, UNO (unless noted otherwise).
    - All concrete shall be placed with a slump of 4" (± 1/2")
    - All concrete shall be normal weight, UNO.
    - All concrete exposed to weather shall have 6% ±1% entrained air.
    - Contractor shall pour extra concrete to account for the deflection of the formwork to provide a flat finished surface.
    - Concrete cover for reinforcement shall be:  
Columns and beams 1 1/2"  
Slabs 3/4"  
Footings 3"
  - Reinforcement:**
    - Reinforcing bars shall be deformed bars conforming to ASTM A615, grade 60 (Fy = 60ksi)
    - Welded wire fabric (w/f) shall conform to ASTM a185. Lap edges of wire fabric at least 6" in each direction.
  - Dimensions:** The contractor shall field verify all dimensions prior to fabrication of structural components.
  - Coordination:** The contractor shall coordinate all sleeves, duct openings and holes between trades. Any conduits or pipes embedded in concrete must be in accordance with ACI 318-14, chapter 6. Where sleeves are closely spaced in a group, the group shall be treated as an opening and reinforced accordingly. Submit drawings showing all opening sizes and locations for the approval by the structural engineer.
- | Dead Loads:        |         |
|--------------------|---------|
| SPF #2 -           | 25 PCF  |
| 1/2 Decking -      | 1.7 PSF |
| 3/4" Decking -     | 2.5 PSF |
| Asphalt Shingles - | 2.5 PSF |
| Slate Shingles -   | 15 PSF  |
| 1/2" Drywall -     | 2.2 PSF |
| Insulation -       | 1.5 PSF |
| Siding -           | 2.0 PSF |
| CMU -              | 87 PCF  |
| Brick -            | 130 PCF |
- | LIVE LOADS: |       |
|-------------|-------|
| DECK:       | 40PSF |
| ATTIC:      | 20PSF |
| FLOOR:      | 40PSF |
| BALCONY:    | 60PSF |
| BEDROOM:    | 40PSF |
| ROOF:       | 30PSF |
- | WIND LOADS:                  |                             |
|------------------------------|-----------------------------|
| WIND SPEED:                  | Vult = 115mph; Vasd = 89mph |
| WIND LOAD IMPORTANCE FACTOR: | 1.0                         |
| WIND EXPOSURE FACTOR:        | B                           |
| WIND DESIGN PRESSURE:        | 11PSF                       |
- | SNOW LOADS:                 |       |
|-----------------------------|-------|
| GROUND SNOW LOAD (PG):      | 30PSF |
| FLAT ROOF SNOW LOAD(PF):    | 30PSF |
| SNOW EXPOSURE FACTOR (CE):  | 0.9   |
| SNOW IMPORTANCE FACTOR (I): | 1.0   |
- | Deflection Limitations:                         |       |
|---|-------|
| Rafters:  | L/240 |
| Interior Walls and Partitions:                  | H/180 |
| Floors and Plastered Ceilings:                  | L/360 |
| All Other Structural Members:                   | L/240 |
| Ext. Walls with plaster or stucco finishes:     | L/360 |
| Ext. Walls - Wind Loads with Brittle Finishes:  | L/240 |
| Ext. walls - Wind Loads with Flexible Finishes: | L/120 |
- | SEISMIC DESIGN DATA:                   |                      |
|--|----------------------|
| SEISMIC IMPORTANCE FACTOR (Ie):        | 1.0                  |
| SPECTRAL RESPONSE ACCELERATIONS: (Ss): | 20.0%                |
| (S1):                                  | 8.0%                 |
| SPECTRAL RESPONSE COEFFICIENTS: (Sds): | 33%                  |
| (Sd1):                                 | 18.7%                |
| SEISMIC DESIGN CATEGORY:               | B                    |
| SEISMIC SITE CLASSIFICATION:           | D                    |
| SEISMIC COEFFICIENT (Cs):              | 0.05                 |
| SEISMIC MODIFICATION FACTOR (R):       | 6.5                  |
| BASE SHEAR:                            | 1.5k                 |
| ANALYSIS PROCEDURE:                    | EQUIV. LATERAL FORCE |
| BASIC SFRS:                            | LIGHT FRAMED WALLS   |

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Date: \_\_\_\_\_

Revision Schedule		
No.	Description	Date

Drawn by: JV  
Checked by: APAC  
Scale: As indicated  
Sheet Name: Structural Notes and Details

Sheet Number: **S100**

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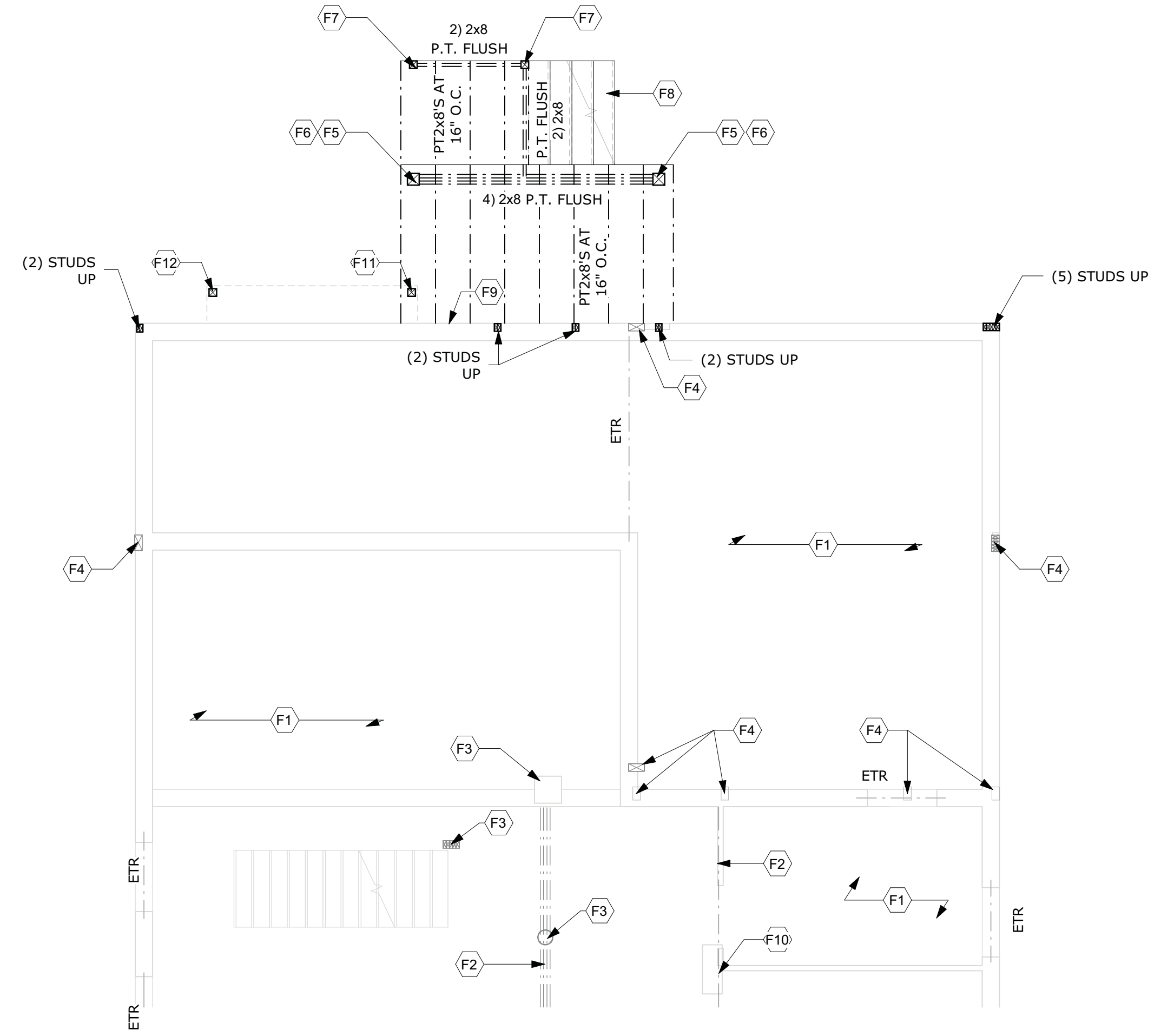
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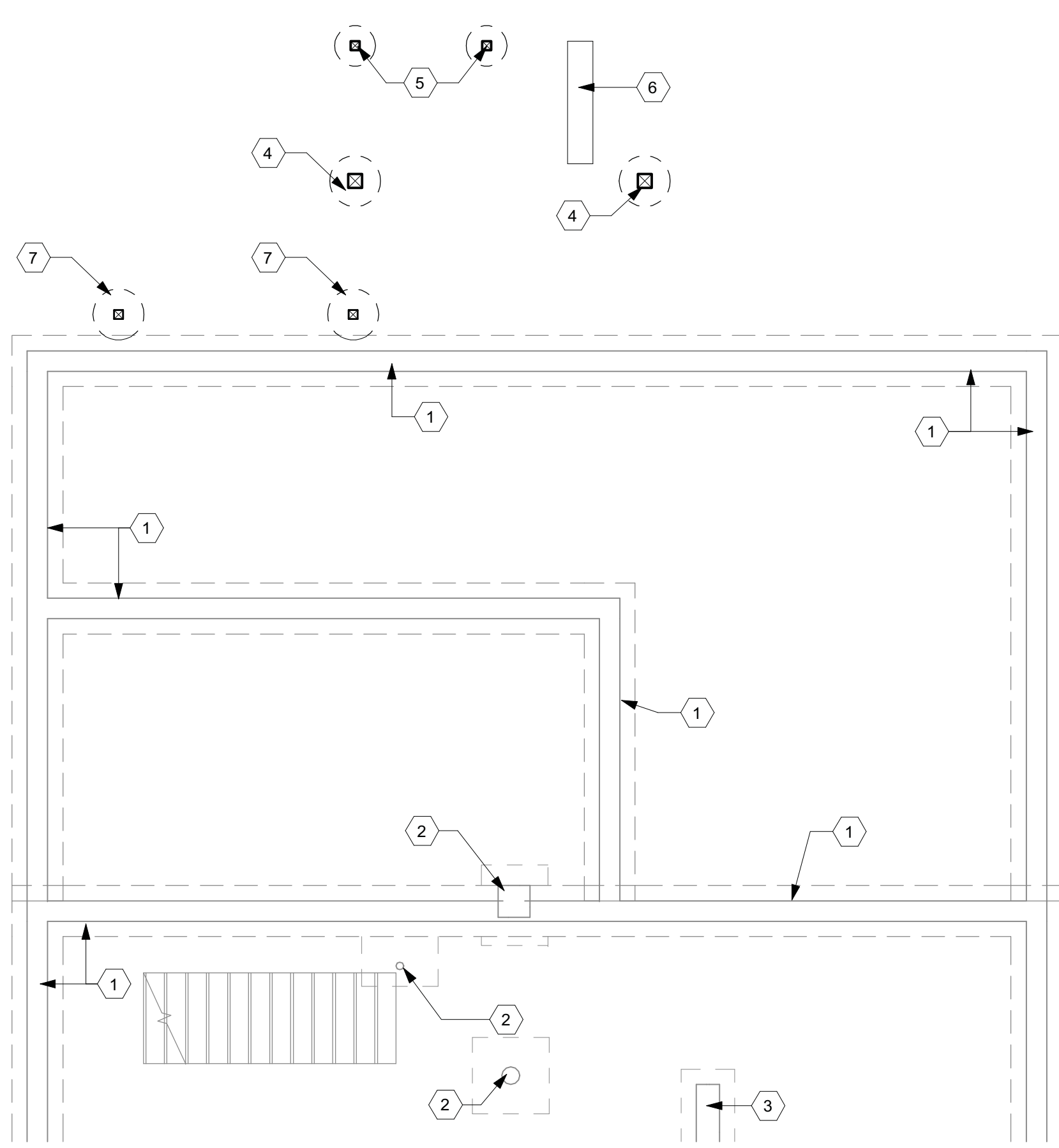
APPROVED  
Montgomery County  
Historic Preservation Commission

**REVIEWED**  
By Dan.Bruechert at 2:27 pm, Sep 15, 2021

MONTGOMERY COUNTY DIGITAL STAMP AREA



2 First Floor Deck Framing Plan - Partial  
1/4" = 1'-0"



1 Foundation Plan - Partial  
1/4" = 1'-0"

- FRAMING NOTES**
- THE BOTTOM OF ALL FOOTINGS SHALL BE 30" MINIMUM BELOW GRADE.
  - ALL HEADERS ARE ASSUMED TO BE SUPPORTED BY A DOUBLE JACK AND SINGLE KING STUD, UNLESS NOTED OTHERWISE.
  - PROVIDE SQUASH BLOCKING AS NEEDED BELOW ALL POSTS, COLUMNS, AND MULTIPLE STUDS.
  - EPOXY BOLTS SHALL BE SIMPSON "SET". FOLLOW MANUFACTURERS INSTRUCTIONS FOR INSTALLATION AND THE INSTRUCTIONS OF ESR 1772. EPOXY BOLTS SHALL HAVE A 6" EMBEDMENT WITH SCREEN TUBES WHEN PLACED IN HOLLOW MASONRY UNLESS NOTED OTHERWISE.
  - CONTRACTOR SHALL PROVIDE TEMPORARY SHORING DURING CONSTRUCTION AS NEEDED FOR THE EXISTING STRUCTURAL ELEMENTS THAT WILL REMAIN.
  - ALL NAILS USED FOR EXTERIOR APPLICATIONS SHALL BE RING SHANK NAILS.
  - ALL NAILS, HANGERS, BOLTS, AND SCREWS EXPOSED TO THE EXTERIOR SHALL BE GALVANIZED.
  - ALL LUMBER EXPOSED TO EXTERIOR CONDITIONS SHALL BE TREATED SOUTHERN PINE #2.
  - WHEN ATTACHING EXISTING JOISTS TO FLUSH BEAMS USE OVERSIZED SIMPSON LUS HANGERS. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE JOIST AND THE HANGER.
  - THE CONTRACTOR SHALL SURVEY ALL EXPOSED MASONRY IN THE HOME AND POINT ANY DETERIORATED JOINT THAT IS DISCOVERED AND REPLACE ANY DETERIORATED BRICKS OR BLOCKS.
  - TYPICAL JOIST HANGER SHALL BE A SIMPSON LUS HANGER.
  - TYPICAL RAFTER TO RIDGE HANGER SHALL BE A SIMPSON LSU.
  - TYPICAL RAFTER TO FLUSH BEAM HANGER SHALL BE A SIMPSON L70 ON EACH SIDE OF THE RAFTER.
  - TYPICAL POST TO BEAM CONNECTOR SHALL BE A SIMPSON LPC ON EACH SIDE.
  - TYPICAL POST TO FLOOR PLATE CONNECTOR SHALL BE A SIMPSON L30 ON EACH SIDE OF THE POST.
  - TYPICAL STRINGER TO FRAMING CONNECTOR SHALL BE A SIMPSON MTS15 ON EACH SIDE.
  - TYPICAL DIMENSIONAL BEAM TO BEAM HANGER SHALL BE A SIMPSON HU MAX.
  - TYPICAL LVL TO LVL BEAM HANGER SHALL BE A SIMPSON HHUS.
  - SEE THE MONTGOMERY COUNTY TYPICAL DECK DETAILS FOR ITEMS NOT SHOWN ON THESE PLANS SUCH AS GUARD RAILS, STAIRS, LEDGER BOARD ATTACHMENTS ETC.

- FOUNDATION NOTES**
- EXISTING FOUNDATION WALL AND FOOTING.
  - EXISTING COLUMN AND FOOTING.
  - EXISTING MASONRY PIER AND FOOTING.
  - PT6x6 POST ON A 20" Ø FOOTING. THE TOP OF THE FOOTING SHALL BE 1" BELOW GRADE. ATTACH THE POST TO THE FOOTING WITH A SIMPSON ABA66.
  - PT4x4 POST ON A 16" Ø FOOTING. THE TOP OF THE FOOTING SHALL BE 1" BELOW GRADE. ATTACH THE POST TO THE FOOTING WITH A SIMPSON ABA44.
  - PLACE THE STAIRS ON FOOTING PER THE MONTGOMERY COUNTY TYPICAL DECK DETAILS.
  - PT4x4 POST ON A 20" Ø FOOTING. THE TOP OF THE FOOTING SHALL BE 1" BELOW GRADE. ATTACH THE POST TO THE FOOTING WITH A SIMPSON ABA44. THE BOTTOM OF THE FOOTING SHALL BE 30" BELOW GRADE OR MATCH THE DEPTH OF THE EXISTING ADJACENT FOOTING WHICHEVER IS DEEPER.

- FIRST FLOOR FRAMING NOTES**
- EXISTING FIRST FLOOR FRAMING SISTER ANY DAMAGED JOIST THAT IS FOUND WITH A DOUBLE 2x8 OR A 2x10.
  - EXISTING BEAM.
  - EXISTING COLUMN.
  - EXISTING POST UNCHANGED.
  - PT4x4 POST UP. ATTACH THE POST TO THE BEAM WITH A SIMPSON LPC4 ON EACH SIDE OF THE BEAM. NOTCH THE TOP AND SIDE OF THE BEAM AS NEEDED TO PLACE THE CONNECTORS.
  - PT6x6 POST DOWN. ATTACH THE POST TO THE BEAM WITH A SIMPSON LPC6 ON EACH SIDE OF THE BEAM.
  - PT4x4 POST DOWN. ATTACH THE POST TO THE DECK FRAMING WITH A SIMPSON LCE IN EACH DIRECTION.
  - FRAME THE STAIRS PER THE MONTGOMERY COUNTY DECK DETAILS.
  - PT2x8 LEDGER WITH 1/2" Ø THRU BOLTS AT 16" O.C. TOP AND BOTTOM STAGGERED. ATTACH EACH JOIST TO THE LEDGER WITH A SIMPSON LUS HANGER. PLACE FLASHING PER THE MONTGOMERY COUNTY TYPICAL DECK DETAILS.
  - EXISTING MASONRY PIER.
  - DOUBLE STUD UP AND PT4x4 POST DOWN. HANG THE RIM BOARD FROM THE EXISTING WALL WITH A SIMPSON LUS HANGER. PLACE FLASHING AROUND THE RIM BOARD AND HANGER. ATTACH THE PT4x4 POST TO THE EXISTING FLOOR FRAMING WITH A SIMPSON LCE IN EACH DIRECTION.
  - PT4x4 POST DOWN. ATTACH THE POST TO THE EXISTING FLOOR FRAMING WITH A SIMPSON LCE IN EACH DIRECTION.

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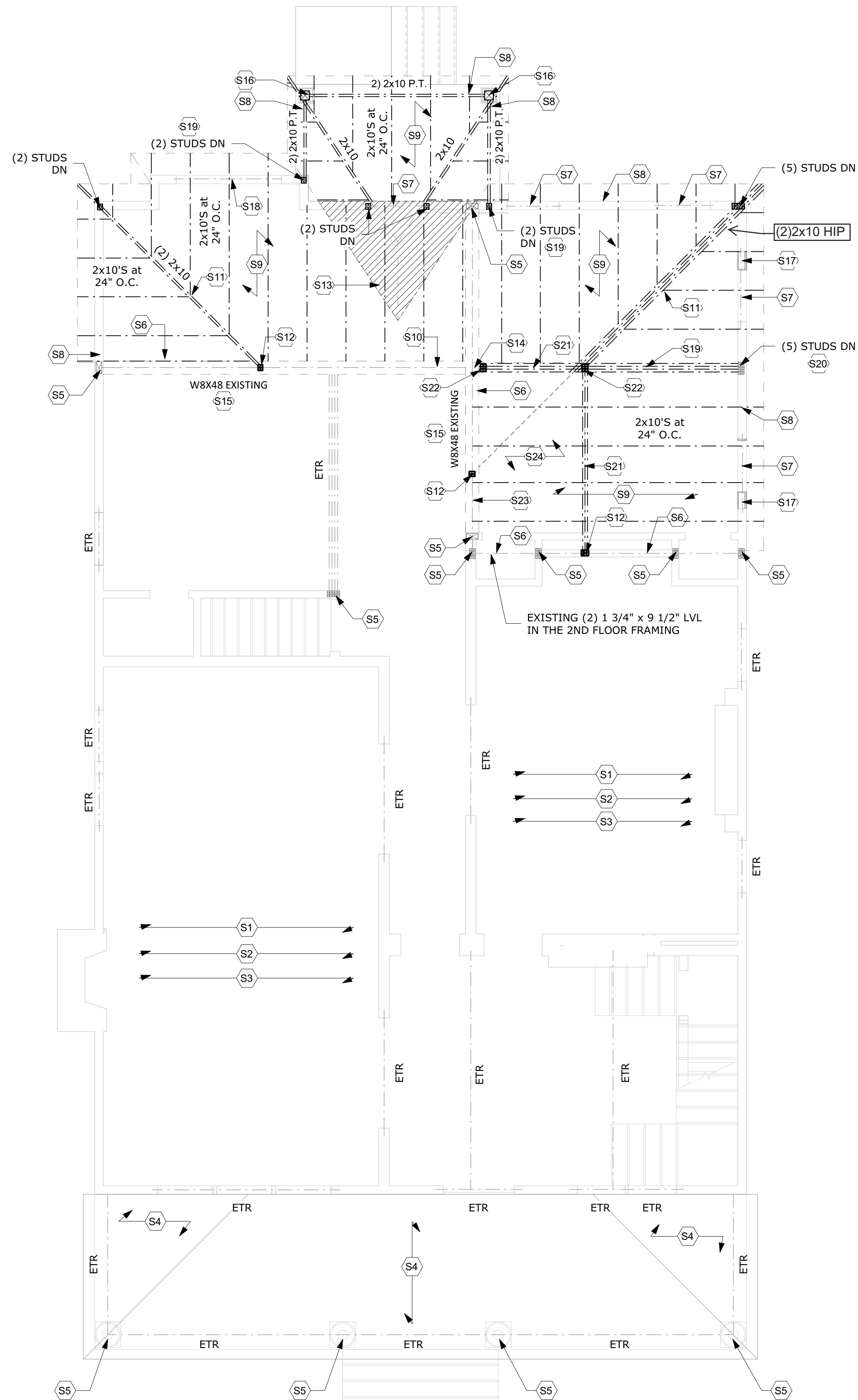
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Checked by: APAC  
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Sheet Name:

Structural Plans  
Sheet Number: **S101**

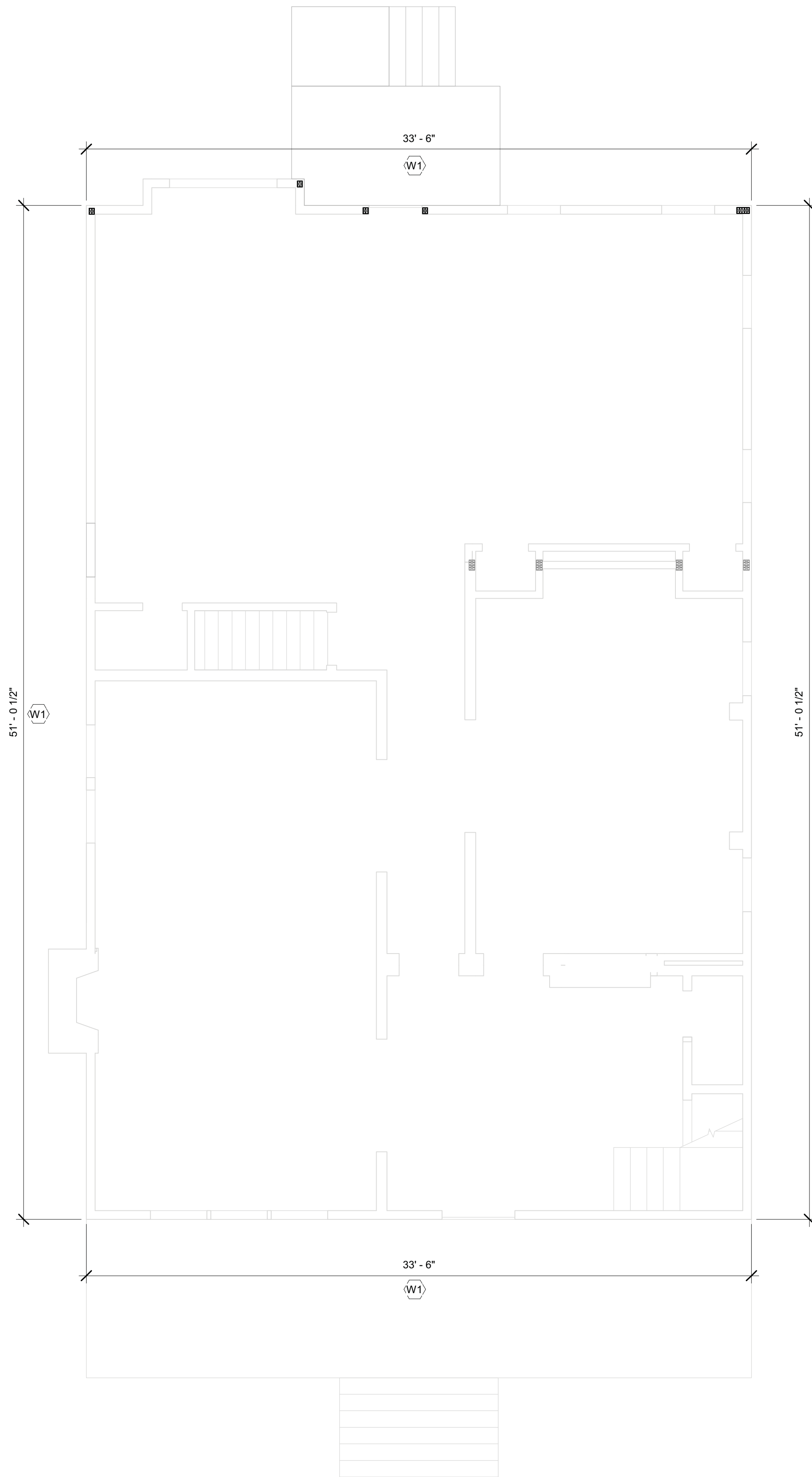
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**REVIEWED**  
By Dan.Bruechert at 2:27 pm, Sep 15, 2021



1 Second Floor Deck Framing Plan  
1/4" = 1'-0"



2 First Floor Wall Bracing Plan  
1/4" = 1'-0"

- WIND BRACING NOTES**
- WALLS BRACED PER IRC R602.10 AND R301.1.3 "ENGINEERED DESIGN".
  - THE HOME IS BRACED BY THE EXISTING WOOD SHEAR WALLS AS SHOWN ON THE PLAN. THEREFORE NO NEW WIND BRACING WORK IS REQUIRED.
- WIND BRACING NOTES**
- (W1) EXISTING PERFORATED WOOD SHEAR WALL

- FRAMING NOTES**
- THE BOTTOM OF ALL FOOTINGS SHALL BE 30" MINIMUM BELOW GRADE.
  - ALL HEADERS ARE ASSUMED TO BE SUPPORTED BY A DOUBLE JACK AND SINGLE KING STUD, UNLESS NOTED OTHERWISE. PROVIDE SQUASH BLOCKING AS NEEDED BELOW ALL POSTS, COLUMNS, AND MULTIPLE STUDS.
  - EPOXY BOLTS SHALL BE SIMPSON "SET". FOLLOW MANUFACTURERS INSTRUCTIONS FOR INSTALLATION AND THE INSTRUCTIONS OF ESR 1772. EPOXY BOLTS SHALL HAVE A 6" EMBEDMENT WITH SCREEN TUBES WHEN PLACED IN HOLLOW MASONRY UNLESS NOTED OTHERWISE. CONTRACTOR SHALL PROVIDE TEMPORARY SHORING DURING CONSTRUCTION AS NEEDED FOR THE EXISTING STRUCTURAL ELEMENTS THAT WILL REMAIN.
  - ALL NAILS USED FOR EXTERIOR APPLICATIONS SHALL BE RING SHANK NAILS.
  - ALL NAILS, HANGERS, BOLTS, AND SCREWS EXPOSED TO THE EXTERIOR SHALL BE GALVANIZED.
  - ALL LUMBER EXPOSED TO EXTERIOR CONDITIONS SHALL BE TREATED SOUTHERN PINE #2.
  - WHEN ATTACHING EXISTING JOISTS TO FLUSH BEAMS USE OVERSIZED SIMPSON LUS HANGERS. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE JOIST AND THE HANGER.
  - THE CONTRACTOR SHALL SURVEY ALL EXPOSED MASONRY IN THE HOME AND POINT ANY DETERIORATED JOINT THAT IS DISCOVERED AND REPLACE ANY DETERIORATED BRICKS OR BLOCKS.
  - TYPICAL JOIST HANGER SHALL BE A SIMPSON LUS HANGER.
  - TYPICAL RAFTER TO RIDGE HANGER SHALL BE A SIMPSON LSU.
  - TYPICAL RAFTER TO FLUSH BEAM HANGER SHALL BE A SIMPSON L70 ON EACH SIDE OF THE RAFTER.
  - TYPICAL POST TO BEAM CONNECTOR SHALL BE A SIMPSON LPC ON EACH SIDE.
  - TYPICAL POST TO FLOOR PLATE CONNECTOR SHALL BE A SIMPSON L30 ON EACH SIDE OF THE POST.
  - TYPICAL STRINGER TO FRAMING CONNECTOR SHALL BE A SIMPSON MTS15 ON EACH SIDE.
  - TYPICAL DIMENSIONAL BEAM TO BEAM HANGER SHALL BE A SIMPSON HU MAX.
  - TYPICAL LVL TO LVL BEAM HANGER SHALL BE A SIMPSON HHUS.
  - SEE THE MONTGOMERY COUNTY TYPICAL DECK DETAILS FOR ITEMS NOT SHOWN ON THESE PLANS SUCH AS GUARD RAILS, STAIRS, LEDGER BOARD ATTACHMENTS ETC.

- SECOND FLOOR FRAMING NOTES**
- EXISTING SECOND FLOOR FRAMING SISTER ANY DAMAGED JOIST THAT IS FOUND WITH A DOUBLE 2x8 OR A 2x10.
  - EXISTING 3RD FLOOR FRAMING ABOVE UNCHANGED.
  - EXISTING ROOF FRAMING ABOVE UNCHANGED.
  - EXISTING ROOF FRAMING UNCHANGED.
  - EXISTING POST UNCHANGED.
  - PLACE A 2X10 CLEAT FOR THE ROOF. ATTACH THE CLEAT TO THE WALL WITH (2) #8 SCREWS AT 6" O.C.
  - VERIFY THAT THE EXISTING HEADER IS A DOUBLE 2x6. IF NOT THEN REPLACE THE EXISTING HEADER WITH A DOUBLE 2x6.
  - ATTACH EACH RAFTER TO THE WALL OR BEAM WITH A SIMPSON H2.5A HURRICANE TIE.
  - 2x8 CEILING JOISTS AT 24" O.C. ATTACH EACH CEILING JOIST TO EACH RAFTER WITH (4)10d NAILS.
  - PLACE A 2x10 LEDGER FOR THE ROOF WITH (2) LEDGERLOK SCREWS AT EACH STUD. ATTACH EACH RAFTER TO THE LEDGER WITH A SIMPSON LSU HANGER.
  - ATTACH EACH RAFTER TO THE HIP WITH (8)10d TOE NAILS.
  - PLACE A TRIPLE STUD BETWEEN THE NEW TRIPLE 2x10 OR HIP BEAM IN THE ROOF AND THE EXISTING LVL OR STEEL BEAM IN THE 2ND FLOOR FRAMING.
  - OVERBUILT ROOF. RIP THE RAFTERS AND PLACE THEM ON THE LOWER ROOF. ATTACH EACH RAFTER TO THE LOWER ROOF WITH (3)10d TOE NAILS AND A SIMPSON L550 ON EACH SIDE OF THE RAFTER.
  - HANG THE SIDE TO SIDE BEAM FROM THE FRONT TO BACK BEAM WITH A SIMPSON HHUS HANGER. FILL THE WEB OF THE SIDE TO SIDE BEAM WITH SOLID WOOD BLOCKING AS NEEDED.
  - HANG THE CEILING JOISTS FROM THE BLOCKING IN THE EXISTING STEEL BEAM WITH SIMPSON LUS HANGERS.
  - PT4x4 POST DOWN. ATTACH THE POST TO THE BEAMS WITH A SIMPSON LCE IN EACH DIRECTION.
  - INFILL THE EXISTING WALL WITH 2x STUDS AT 16" O.C. USE STUDS THAT MATCH THE SIZE OF THE EXISTING WALL STUDS.
  - VERIFY THE EXISTING HEADER IS A DOUBLE 2x8. REPLACE THE HEADER IF NEEDED.
  - UPSET QUADRUPLE 1 3/4x 9 1/2" LVL BEAM IN THE CEILING.
  - TAPER CUT TO THE TOP OF THE BEAM AS NEEDED TO FIT BELOW THE ROOF.
  - FLUSH TRIPLE 2x10 BEAM. ATTACH THE FLAT ROOF RAFTERS TO THE BEAM WITH SIMPSON LUS HANGERS. ATTACH THE SLOPED ROOF RAFTERS TO THE BEAM WITH SIMPSON LSU HANGERS.
  - PLACE A TRIPLE STUD BETWEEN THE TRIPLE 2x10 BEAM IN THE ROOF AND THE 9 1/2" LVL BEAM IN THE CEILING. WHEN APPLICABLE PLACE A DOUBLE STUD BETWEEN THE HIP AND THE LVL BEAM
  - 2x10 LEDGER. ATTACH THE LEDGER TO THE WALL WITH (2) LEDGERLOK SCREWS AT EACH STUD. ATTACH EACH RAFTER TO THE LEDGER WITH A SIMPSON LUS HANGER.
  - 2x10 FLAT ROOF RAFTERS AT 24" O.C. MAKE THE SLOPE BY PLACING RIGID INSULATION ON THE ROOF DECKING.

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No.	Description	Date

Drawn by: JV  
 Checked by: APAC  
 Scale: 1/4" = 1'-0"  
 Sheet Name: Structural Plans

Sheet Number: **S102**