



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Sandra I. Heiler
Chairman

Date: August 15, 2020

MEMORANDUM

TO: Mitra Pedoeem
Department of Permitting Services

FROM: Michael Kyne
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #920893: ~~Tree removal~~ and hardscape alterations

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved with conditions** at the August 12, 2020 HPC meeting.

- 1. The proposed oak tree removal is not included in the current approval. If the applicant chooses to pursue the proposed oak tree removal, a separate HAWP application with an assessment from a certified arborist must be submitted. If the arborist assesses the tree as dead, dying, or a hazard, the tree can be removed without a HAWP, in accordance with the HPC's tree removal policy.**

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Joseph Akman
Address: 3906 Washington Street, Kensington

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Michael Kyne at 301.563.3403 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.





**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP# _____
DATE ASSIGNED _____

APPLICANT:

Name: Joseph Akman
Address: 3906 Washington St
Daytime Phone: 646-295-4958

E-mail: jakman123@hotmail.com
City: Kensington Zip: 20895
Tax Account No.: 01023438 & 01023440

AGENT/CONTACT (if applicable):

REVIEWED

By Michael Kyne at 3:22 pm, Aug 15, 2020

Name: _____
Address: _____
Daytime Phone: _____

City: _____ Zip: _____
Contractor Registration No.: _____
Kensington Heiler

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? Yes/District Name Kensington Heiler
_____ No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application. No

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 3906 Street: Washington St
Town/City: Kensington Nearest Cross Street: Connecticut Ave
Lot: 38 & Part of Lot 37 Block: 13 Subdivision: 015 Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|--|--|--|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input checked="" type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input checked="" type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date

7/21/20

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

House was constructed in 1908. Wood shingle siding exterior, gabled roof facing east, bay window staircase facing west. Rear addition was added approximately 1988. Located in Kensington Historic District.

Description of Work Proposed: Please give an overview of the work to be undertaken:

Rear landscaping project to be undertaken. Plan to remove existing rear yard plantings and replace with grass. Removal of bamboo installation of bamboo barrier along east and south rear yard property line. Removal of existing shed. Removal of deck poured concrete pond water feature underneath deck.
Fine grading prior to seeding.

REVIEWED

By Michael Kyne at 3:22 pm, Aug 15, 2020

APPROVED

Montgomery County


Historic Preservation Commission

Sandra D. Heiler

Work Item 1: <u>Removal of bamboo\installation of barrier</u>	
Description of Current Condition: Bamboo is present on property to east and south. Bamboo has spread throughout the rear yard of the property.	Proposed Work: Remove existing bamboo in rear yard and install plastic bamboo barrier along rear yard eastern and southern property line.

Work Item 2: <u>Removal of existing shed</u>	
Description of Current Condition: Existing shed is in state of disrepair and is located in middle of rear yard.	Proposed Work: Demolish existing shed.
<div style="border: 1px solid black; border-radius: 15px; padding: 10px; background-color: #e0e0e0; display: inline-block;"> <p>REVIEWED By Michael Kyne at 3:22 pm, Aug 15, 2020</p> </div>	

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Work Item 3: <u>Removal of deck\concrete pond\water feature</u>	
Description of Current Condition: Previous owners constructed deck to cover existing poured concrete pond\water feature.	Proposed Work: Remove deck and poured concrete pond\water feature.

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HAWP APPLICATION: MAILING ADDRESSES FOR NOTHING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

3906 Washington Street
Kensington, MD 20895

Owner's Agent's mailing address

Adjacent and confronting Property Owners mailing addresses

Uhlman Family (North)
3905 Washington Street
Kensington, MD 20895

Evelyn Ullman (West)
3910 Washington Street
Kensington, MD 20895

Carr Family (East)
3904 Washington Street
Kensington, MD 20895

Kensington Baptist Church (South)
10100 Connecticut Ave
Kensington, MD 20895

THIS DOCUMENT IS CERTIFIED TO:

SETTLEMENT *Ink*

4719 Chestnut Street, Bethesda, MD 20814
Settlements for Maryland- District of Columbia - Virginia
Main Line: 301-907-8800 - Fax Line: 301-907-8200



Alana Aschenbach
Flaherty Group, Inc.
10410 Kensington Pkwy
North Suite 101
Kensington, MD 20895
Office: 301-881-9800
Mobile: 240-401-4720



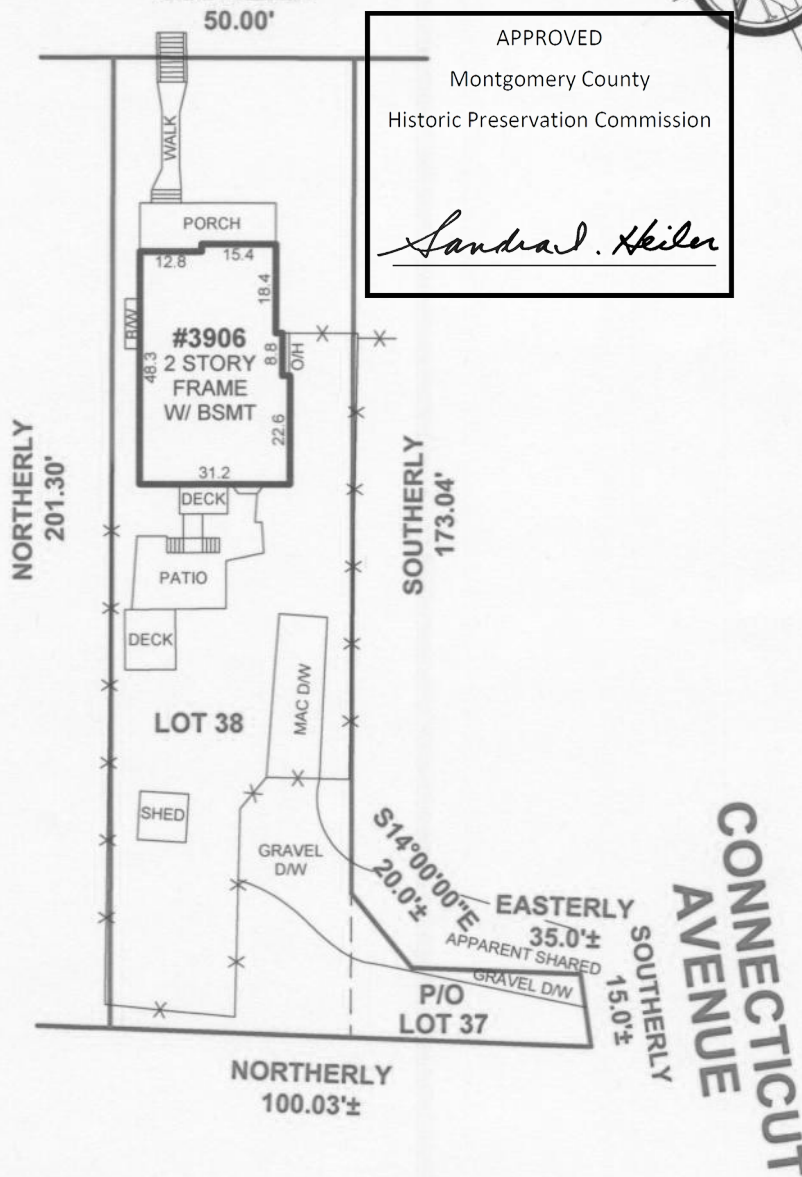
CASE #: PJS150709

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NOTE:
ENCROACHMENTS
MAY EXIST

LOCATION DRAWING OF:

**#3906 WASHINGTON STREET
LOT 38 & PART OF LOT 37
BLOCK 13
KENSINGTON PARK
PLAT BOOK B, PLAT 4
MONTGOMERY COUNTY, MARYLAND**

SCALE: 1"=40' DATE: 8-4-15

DRAWN BY: CP FILE #: 154825-667

LEGEND:

- X- FENCE
- B/E - BASEMENT ENTRANCE
- B/W - BAY WINDOW
- BR - BRICK
- BRL - BLDG. RESTRICTON LINE
- BSMT - BASEMENT
- C/S - CONCRETE STOOP
- CONC - CONCRETE
- D/W - DRIVEWAY
- FR - FRAME
- MAC - MACADAM
- O/H - OVERHANG
- PUE - PUBLIC UTILITY ESMT.

COLOR KEY:

- (RED) - RECORD INFORMATION
- (BLUE) - IMPROVEMENTS
- (GREEN) - ESMTS & RESTRICTION LINES

A Land Surveying Company



**DULEY
and
Associates, Inc.**



Serving D.C. and MD.

14604 Elm Street, Upper Marlboro, MD 20772

Phone: 301-888-1111

Fax: 301-888-1114

Email: orders@duley.biz

On the web: www.duley.biz

SURVEYOR'S CERTIFICATE

I HEREBY STATE THAT I WAS IN RESPONSIBLE CHARGE OVER THE PREPARATION OF THIS DRAWING AND THE SURVEY WORK REFLECTED HEREIN AND IT IS IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN REGULATION 12 CHAPTER 09.13.06 OF THE CODE OF MARYLAND ANNOTATED REGULATIONS. THIS SURVEY IS NOT TO BE USED OR RELIED UPON FOR THE ESTABLISHMENT OF FENCES, BUILDING, OR OTHER IMPROVEMENTS. THIS PLAT DOES NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES, BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING OR REFINANCING. THIS PLAT IS OF BENEFIT TO A CONSUMER ONLY INsofar AS IT IS REQUIRED BY A LENDER OR A TITLE INSURANCE COMPANY OR ITS AGENTS IN CONNECTION WITH THE CONTEMPLATED TRANSFER, FINANCING OR REFINANCING. THE LEVEL OF ACCURACY FOR THIS DRAWING IS 1". NO TITLE REPORT WAS FURNISHED TO NOR DONE BY THIS COMPANY. SAID PROPERTY SUBJECT TO ALL NOTES, RESTRICTIONS AND EASEMENTS OF RECORD. BUILDING RESTRICTION LINES AND EASEMENTS MAY NOT BE SHOWN ON THIS SURVEY. IMPROVEMENTS WHICH IN THE SURVEYOR'S OPINION APPEAR TO BE IN A STATE OF DISREPAIR OR MAY BE CONSIDERED "TEMPORARY" MAY NOT BE SHOWN. IF IT APPEARS ENCROACHMENTS MAY EXIST, A BOUNDARY SURVEY IS RECOMMENDED.

DULEY & ASSOC.

WILL GIVE YOU A 100% FULL CREDIT TOWARDS UPGRADING THIS SURVEY TO A "BOUNDARY/STAKE" SURVEY FOR ONE YEAR FROM THE DATE OF THIS SURVEY.

(EXCLUDING D.C. & BALT. CITY)





REVIEWED

By Michael Kyne at 3:22 pm, Aug 15, 2020

Rear Yard

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Historic Preservation Commission

Sandra J. Heiler



Shed to be removed

REVIEWED

By Michael Kyne at 3:22 pm, Aug 15, 2020

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Bamboo along southern property line

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Deck\pond underneath to be removed

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