



## HISTORIC PRESERVATION COMMISSION

Marc Elrich  
*County Executive*

Sandra I. Heiler  
*Chairman*

Date: August 12, 2020

### MEMORANDUM

TO: Mitra Pedoeem  
Department of Permitting Services

FROM: Michael Kyne  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #917791: Construction of new rear addition, hardscape alteration

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the August 12, 2020 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: James Belikove & Vanessa Piala (Jason Arce, Agent)  
Address: 4811 Cumberland Avenue, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Michael Kyne at 301.563.3403 or [michael.kyne@montgomeryplanning.org](mailto:michael.kyne@montgomeryplanning.org) to schedule a follow-up site visit.



# Belikove-Piala Residence

## MATERIAL SYMBOLS

EARTHWORKS:	EARTH / COMPACTED FILL	POROUS FILL / GRAVEL	
CONCRETE:	CAST-IN-PLACE	PRECAST CONCRETE	
MASONRY:	BRICK	CONCRETE BLOCK	
METAL:	ALUMINUM	STEEL / OTHER METALS	BRASS / BRONZE
WOOD:	FINISHED	ROUGH	BLOCKING
GLASS:	GLASS BLOCK	GLASS	GLASS ELEVATION
INSULATION:	BATT / LOOSE FILL	RIGID	SPRAY / FOAM
FINISHES:	ACoustICAL TILE	CERAMIC TILE - SMALL SCALE	GYPSUM WALLBOARD
ELEVATION INDICATIONS:	METAL LATH & PLASTER	CARPET & PAD	CONCRETE / PLASTER



RENDERING TO SHOW DESIGN INTENT ONLY - ACTUAL DESIGN AND FINISHES MAY VARY

## DRAWING SYMBOLS

	DETAIL NUMBER		FLOOR NO.	SPOT ELEVATION SECTION OR ELEVATION
	SECTION REFERENCE		EL.	SPOT ELEVATION SECTION OR ELEVATION
	ELEVATION NUMBER BUILDING ELEVATION DRAWING NUMBER		4"	ELEVATION CHANGE
	ELEVATION NUMBER INTERIOR ELEVATION DRAWING NUMBER		12	DOOR NUMBER
	DRAWING NUMBER MULTIPLE INTERIOR ELEVATION ELEVATION NUMBER		A	WINDOW TYPE
	CENTER LINE		1	CUSTOM MILLWORK
	PROPERTY LINE		9	REVISION NUMBER
	MATCH LINE		6	SHEET NOTES
	CONSTRUCTION ABOVE			
	HIDDEN CONSTRUCTION			

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## ZONING SUMMARY

Zoning Regulations: Montgomery County Code, Zoning Ordinance, Chapter 59

**APPLICABLE ZONING REGULATIONS:**

Zoning District: R-60

**MAIN BUILDING:**

Allowable Street Setback: 25'

Existing Street Setback:

Proposed Street Setback:

Allowable Side Yard: 6' - 18' Total Minimum

Existing Side Yard:

Proposed Side Yard: 20'

Allowable Rear Yard:

Existing Rear Yard:

Proposed Rear Yard:

Allowable Building Height: 30' measured to mean height between the eaves and ridge

Existing Building Height:

Proposed Building Height:

Allowable Lot Occupancy: 35%

Existing Lot Occupancy:

Proposed Lot Occupancy:

## LIST OF DRAWINGS

CS	COVER SHEET
SP	SITE PLAN
A1	BASEMENT DEMOLITION PLAN
A2	FIRST FLOOR DEMOLITION PLAN
A3	SECOND FLOOR DEMOLITION PLAN
A4	PROPOSED BASEMENT FLOOR PLAN
A5	PROPOSED FIRST FLOOR PLAN
A6	PROPOSED SECOND FLOOR PLAN
A7	EXTERIOR ELEVATIONS

## REVISIONS

## PROJECT SUMMARY

Project Location: 4811 Cumberland Ave., Chevy Chase, Maryland 20815

Lot Description: Somerset Heights, Lot 11, Block 1

Site Area: 15,563 sf

Owner: Jim Belkove & Vanessa Piala

**SCOPE OF DESIGN**

- Addition with new Master Suite off back of house
- Renovate main floor to add new kitchen, laundry room, mud room, powder room, buller's pantry, and office
- Existing retaining wall on right side of the property to be removed and reconstructed

## CODE INFO

DESIGNED PER IRC & IECC 2015

LOADS: IRC 2015 & MONTGOMERY COUNTY AMENDMENTS

LIVE LOADS:

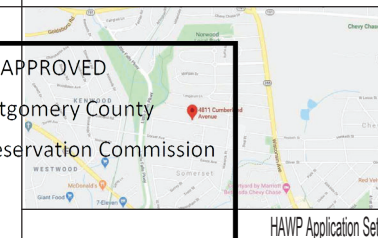
LIVING AREA: 40 PSF

ROOF: 20 PSF

LATERAL LOADS:

WIND PER IRC: 115 MPH

## VICINITY MAP



**REVIEWED**

By Michael Kyne at 12:13 am, Aug 13, 2020

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Montgomery County  
Historic Preservation Commission

*Sandra L. Skilton*

HAWP Application Set

COVER SHEET

CS

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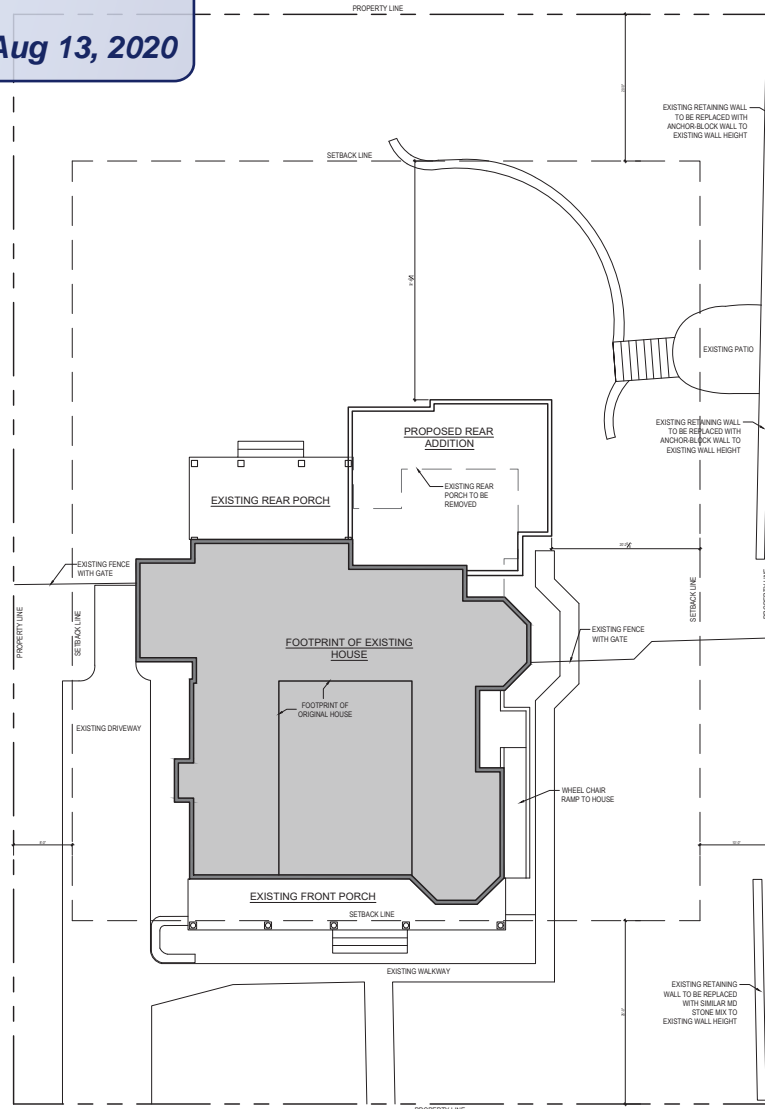
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CUMBERLAND AVE.

01 SITE PLAN 1/8" = 1'-0"



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**BELIKOVE-PIALA RESIDENCE**  
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Schematic Design	May 27, 2020
Design Development	June 11, 2020
Letter of Commitment	June 23, 2020
HPC Review	June 24, 2020
HPC Review Revisions	July 14, 2020
HAWP Application	Aug. 03, 2020

DESIGNED BY:  
DATE:

SITE PLAN

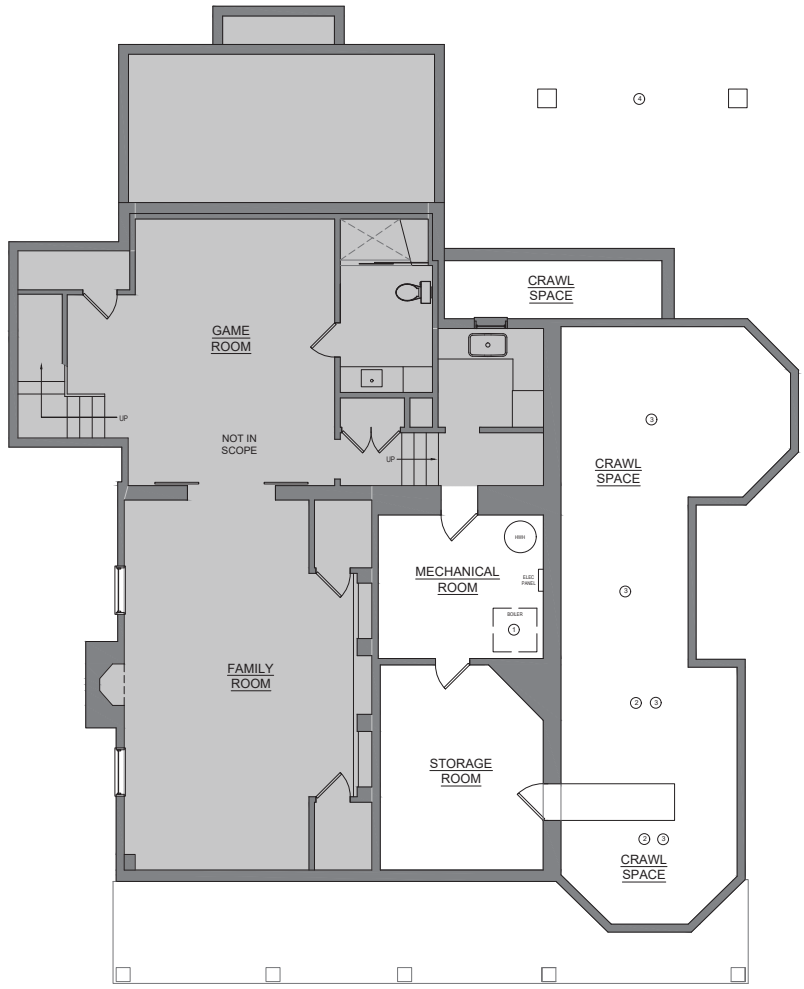
SP

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By Michael Kyne at 12:13 am, Aug 13, 2020

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Historic Preservation Commission  
*Sandra L. Heiler*



- GENERAL DEMO PLAN NOTES:
1. PROTECT ALL FLOORS, WALLS, CEILING, AND FURNITURE BUILT AS TO REMAIN UNDISTURBED DURING CONSTRUCTION.
  2. --- TO BE REMOVED.
  3. CAP PLUMBING LINES WHERE FIXTURES & APPLIANCES HAVE BEEN REMOVED.
  4. PROVIDE TEMPORARY SHORING AS REQUIRED.
- DEMO PLAN NOTES:
- 1. EXISTING BOILER TO BE REMOVED AND PREPARED FOR NEW IF NECESSARY. CONFIRM WITH LEAD CARPENTER.
  - 2. EXISTING SOIL GRADE TO BE FLATTENED FOR NEW CONCRETE PAD.
  - 3. EXISTING INSULATION TO BE REMOVED.
  - 4. EXISTING PORCH FOOTERS TO BE REMOVED.

01 BASEMENT DEMOLITION PLAN  
SCALE: 1/4" = 1'-0"

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DATE: \_\_\_\_\_

SCALE: \_\_\_\_\_

**BASEMENT DEMOLITION PLAN**

**A1**

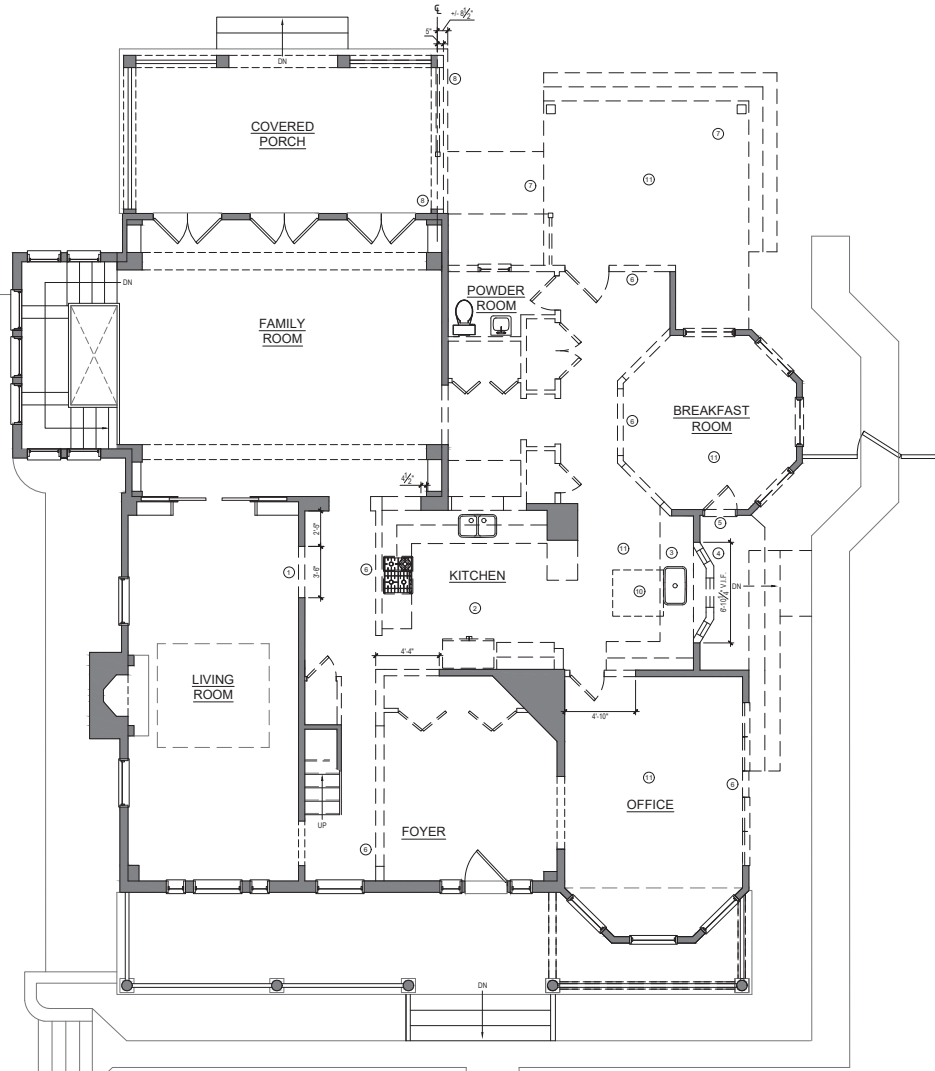
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01 FIRST FLOOR DEMOLITION PLAN 1/8" = 1'-0"

- GENERAL DEMO PLAN NOTES:
1. PROTECT ALL FLOORS, WALLS, CEILINGS, AND FURNITURE/BUILT-INS TO REMAIN UNDISTURBED DURING CONSTRUCTION.
  2. --- TO BE REMOVED.
  3. CAP PLUMBING LINES WHERE FIXTURES & APPLIANCES HAVE BEEN REMOVED.
  4. PROVIDE TEMPORARY SHORING AS REQUIRED.

- DEMO PLAN NOTES:
1. CREATE 6'-0" TALL OPENING TO LIVING ROOM
  2. REMOVE ALL EXISTING CABINETS, COUNTER TOPS, AND APPLIANCES
  3. REMOVE EXISTING COUNTER AND SECOND SINK
  4. REMOVE BAY WINDOW AND EXTERIOR WALL BELOW FOR NEW DOOR AND SIDE LIGHTS. REFER TO SCHEDULE FOR R.O.
  5. REMOVE EXISTING DOOR FROM BREAKFAST NOOK TO EXTERIOR AND PREPARE FOR NEW WINDOW
  6. PROVIDE SHORING AS NECESSARY FOR REMOVAL OF WALL
  7. REMOVE EXISTING PORCH, COLUMNS AND STEPS
  8. REMOVE HALF OF COLUMNS, RAILING AND FLOORING PER DRAWING
  9. EXISTING RETAINING WALL ALONG RIGHT SIDE OF PROPERTY TO BE REMOVED AND PREPARED FOR NEW WALL
  10. REMOVE EXISTING SKYLIGHT AND PREPARE FOR NEW
  11. OFFICE, RIGHT SIDE OF KITCHEN, BREAKFAST ROOM & REAR PORCH WAS BUILT IN 1988

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Concept Design	May 27, 2020
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DATE: **FIRST FLOOR DEMOLITION PLAN**

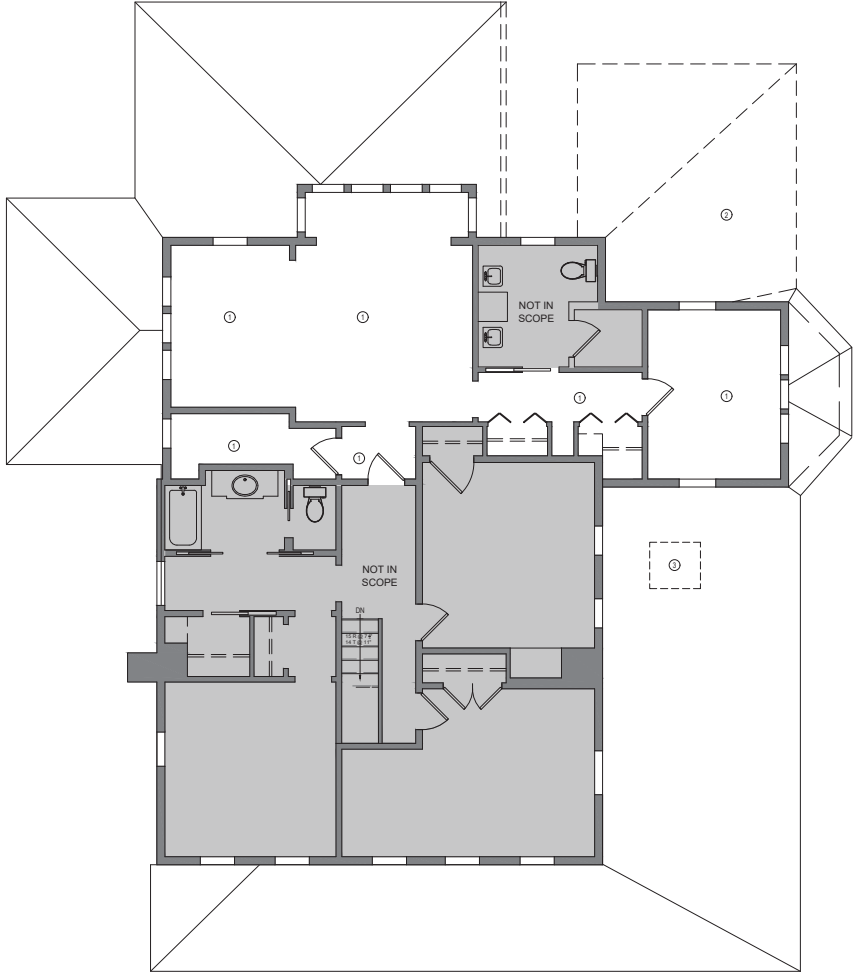
**A2**

HAWP Application Set

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01 ROOF DEMOLITION PLAN  
1/8" = 1'-0"

- GENERAL DEMO PLAN NOTES:
- PROTECT ALL FLOORS, WALLS, CEILING, AND FURNITURE/BUILDINGS TO REMAIN UNDISTURBED DURING CONSTRUCTION.
  - TO BE REMOVED.
  - CAP PLUMBING LINES WHERE FIXTURES & APPLIANCES HAVE BEEN REMOVED.
  - PROVIDE TEMPORARY SHORING AS REQUIRED.
- DEMO PLAN NOTES:
- REMOVE EXISTING CARPET
  - REMOVE EXISTING PORCH ROOF
  - REMOVE EXISTING SKYLIGHT. PREPARE FOR NEW

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DATE: \_\_\_\_\_

SCALE: \_\_\_\_\_

PROJECT: \_\_\_\_\_

ROOF DEMOLITION PLAN

A3

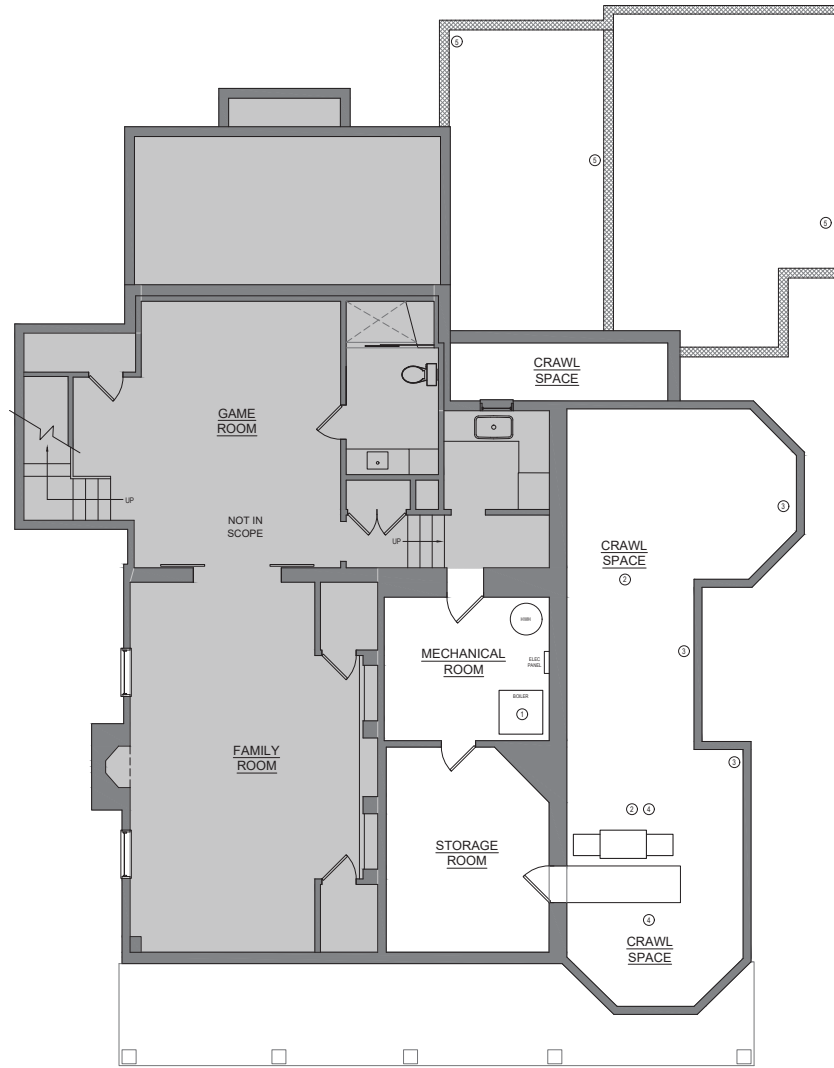
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Historic Preservation Commission

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01 PROPOSED BASEMENT PLAN  
1/8" = 1'-0"

- GENERAL ARCHITECTURE PLAN NOTES:
1. DRAWINGS ARE GRAPHIC REPRESENTATIONS OF EXISTING CONDITIONS AND DESIGN INTENT. ACTUAL FIELD CONDITIONS MAY VARY FROM WHAT IS SHOWN.
  2. PROTECT ALL FLOORS, WALLS, CEILINGS, AND FURNITURE/BUILT-INS TO REMAIN UNDISTURBED DURING CONSTRUCTION.
  3. WALLS TO REMAIN.
  4. NEW WALLS - EXTERIOR WALLS 2x6 @ 16" O.C. U.O.N.; NON BEARING AND BEARING INTERIOR WALLS 2x4 @ 24" @ 16" O.C.
  5. ALL DIMENSIONS ARE TO FACE OF STUD. U.O.N. VERIFY ALL DIMENSIONS IN FIELD.
  6. RELOCATE MECHANICAL DUCTS AND PLUMBING AS REQUIRED.
  7. PROVIDE NEW WOOD FLOOR TO MATCH EXISTING IF NOT ENOUGH EXISTING CAN BE SALVAGED DURING DEMO.
  8. WINDOW AND DOOR TRIM, BASE AND CROWN: SEE FINISH SCHEDULE.
  9. TEMPORARY KITCHENETTE TO BE LOCATED UP STAIRS.
  10. NEW DOORS SIMILAR TO EXISTING DOORS IN THE HOUSE: PROFILE T.B.D.
  11. PROVIDE BLOCCING WITHIN WALLS AT WALL VTD. FIXTURES: TOWEL RACKS, SCONES, CABINETS ETC. - AS REQUIRED.
  12. SEE MEP AND STRUCTURAL PLANS FOR ADDITIONAL NOTES AND INFORMATION.
  - 12.1. GLASS SHOWERS ENCLOSURES
  - 12.2. MINIMUM 3/4" THICK DOORS
  - 12.3. MINIMUM 1/2" THICK STATIONARY PANELS
- ARCHITECTURE PLAN NOTES (P):
- ⊙ BOILER/FURNACE TO BE REPLACED IF NECESSARY
  - ⊖ EXISTING CRAWL SPACE TO BE INSULATED AND SEMI-CONDITIONED
  - ⊕ FOUNDATION TO BE INSPECTED FOR WATER DAMAGE
  - ⊗ LOOK INTO CONCRETE PAD IN EXISTING CRAWL SPACE
  - ⊘ NEW FOUNDATION WALL PER STRUCTURAL PLANS

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PROPOSED  
BASEMENT  
PLAN

**A4**

HAWP Application Set

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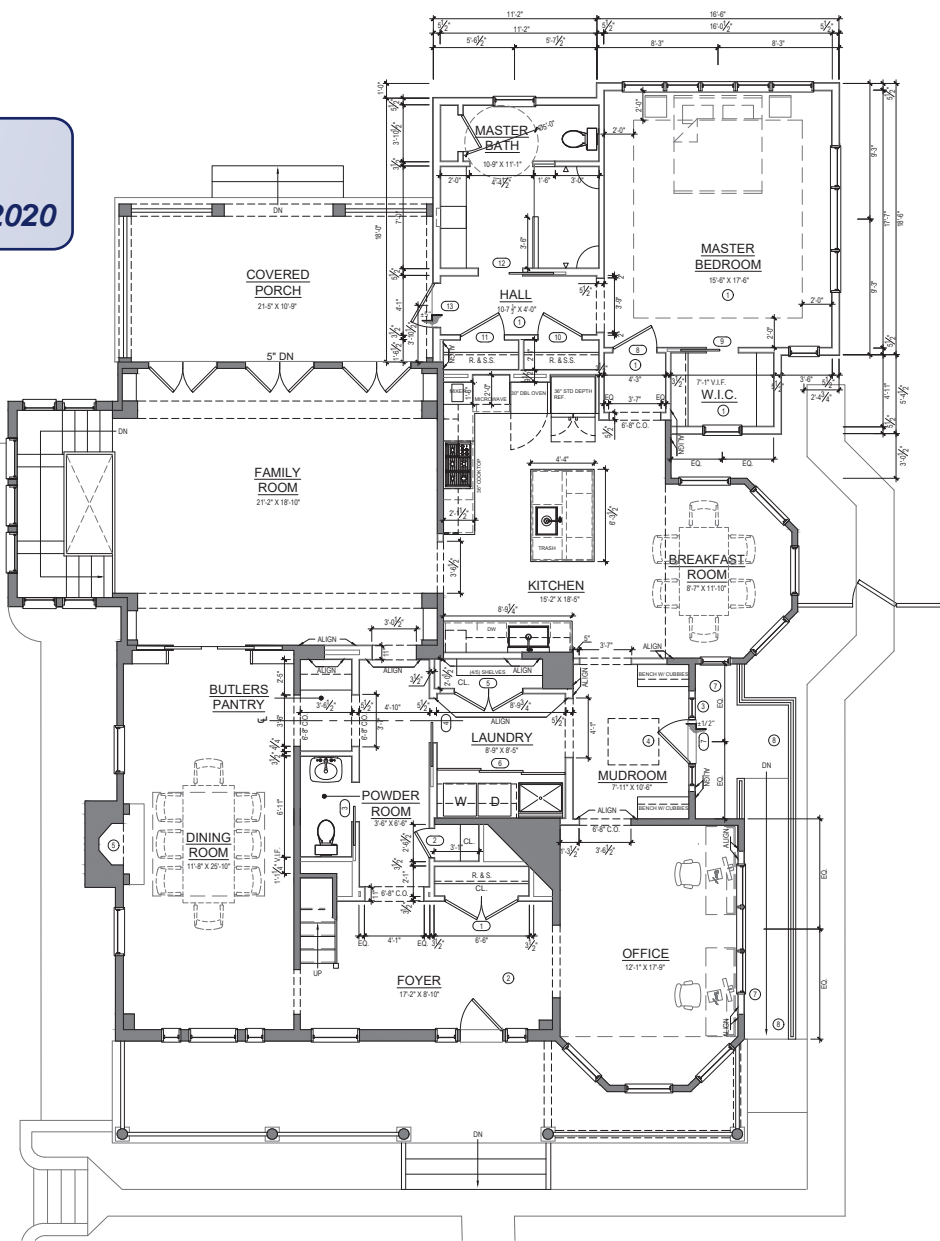
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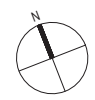
By Michael Kyne at 12:13 am, Aug 13, 2020

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 Montgomery County  
 Historic Preservation Commission

*Sandra L. Heiler*



01 PROPOSED FIRST FLOOR PLAN  
 1/8" = 1'-0"



- GENERAL ARCHITECTURE PLAN NOTES:**
- DRAWINGS ARE GRAPHIC REPRESENTATIONS OF EXISTING CONDITIONS AND DESIGN INTENT. ACTUAL FIELD CONDITIONS MAY VARY FROM WHAT IS SHOWN.
  - PROTECT ALL FLOORS, WALLS, CEILING, AND FURNITURE/BUILT-INS TO REMAIN UNDISTURBED DURING CONSTRUCTION.
  - WALLS TO REMAIN:  
 NEW WALLS - EXTERIOR WALLS 2x6 @ 16" O.C. U.O.N. NON BEARING AND BEARING INTERIOR WALLS 2x4 @ 24" @ 16" O.C.
  - ALL DIMENSIONS ARE TO FACE OF STUD IO U.O.N. VERIFY ALL DIMENSIONS IN FIELD.
  - RELOCATE MECHANICAL, DUCTS AND PLUMBING AS REQUIRED.
  - PROVIDE NEW WOOD FLOOR TO MATCH EXISTING IF NOT ENOUGH EXISTING CAN BE SALVAGED DURING DEMO.
  - WINDOW AND DOOR TRAIL BASE AND CROWN. SEE FINISH SCHEDULE.
  - TEMPORARY KITCHENETTE TO BE LOCATED UP STAIRS.
  - NEW DOORS SIMILAR TO EXISTING DOORS IN THE HOUSE. PROFILE T.B.D.
  - PROVIDE BLOCCING WITHIN WALLS AT WALL MTD. FIXTURES, TONGUE BRACKS, SCREWS, CABINETS, ETC. AS REQUIRED.
  - SEE MEP AND STRUCTURAL PLANS FOR ADDITIONAL NOTES AND INFORMATION.
  - GLASS SHOWERS ENCLOSURES
  - MINIMUM 3/4" THICK DOORS
  - MINIMUM 1/2" THICK STATIONARY PANELS
- ARCHITECTURE PLAN NOTES:**
- NEW HARDWOOD FLOORS TO BE INSTALLED
  - REPLACE 2-3 DAMAGED HARDWOOD FLOOR PLANKS
  - FILL IN EXISTING WALL FLUSH WITH NEW FRENCH DOOR W/ SIDELIGHTS
  - NEW SKYLIGHT TO REPLACE EXISTING
  - NEW GAS FIREPLACE INSERT
  - NEW RETAINING WALLS TO REPLACE EXISTING. FRONT WALL TO BE SIMILAR MID MIX STONE WALL TO EXISTING HEIGHT. REAR WALL TO BE REPLACED WITH NEW ANCHOR BLOCK WALL TO EXISTING HEIGHTS.
  - FRAME BELOW NEW WINDOW. INSULATE AND ADD NEW EXTERIOR SIDING AS NECESSARY
  - NEW ADA CONCRETE RAMP W/ PARASIS & PAINTED WALLS. BLACK PAINTED METAL RAILS ABOVE.

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Schematic Design	May 27, 2020
Design Development	June 11, 2020
Letter of Commitment	June 23, 2020
HPC Review	June 26, 2020
HPC Review Resubmission	July 14, 2020
HAWP Application	Aug. 03, 2020

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PROPOSED  
 FIRST FLOOR  
 PLAN

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**A5**

HAWP Application Set



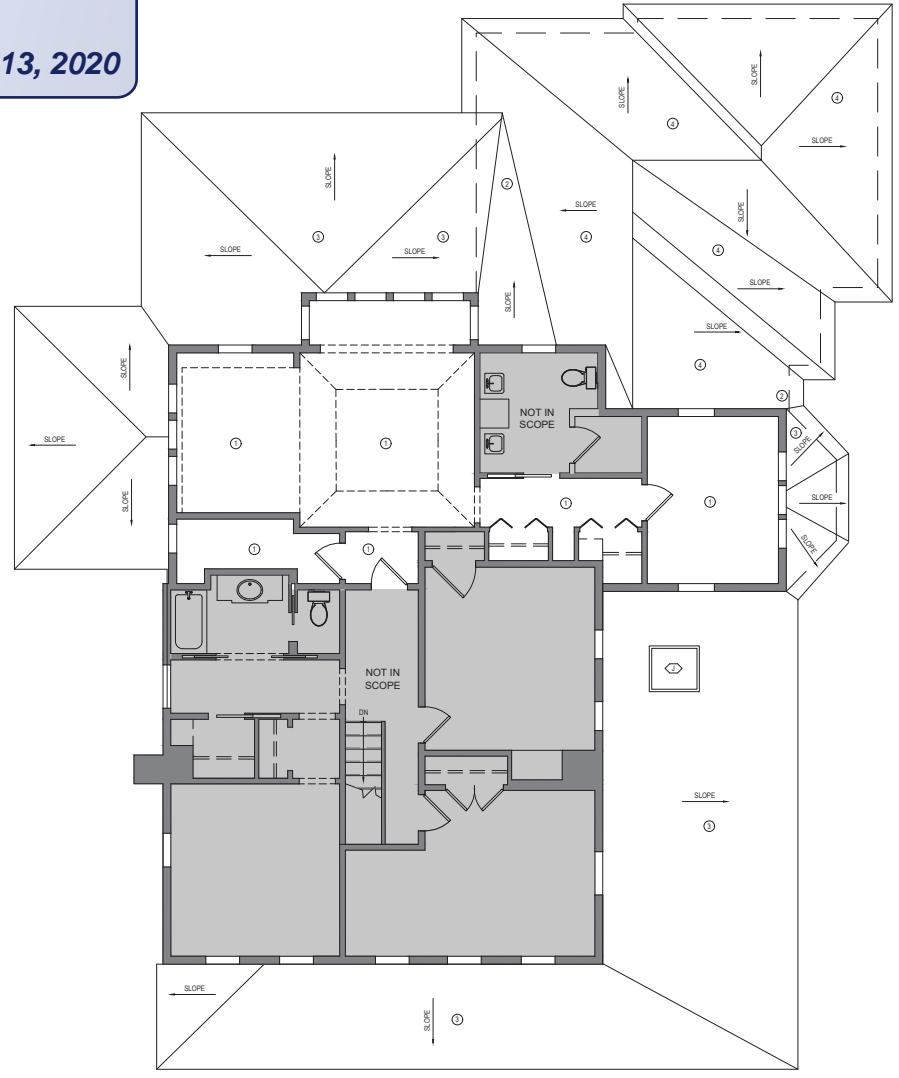
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By Michael Kyne at 12:13 am, Aug 13, 2020

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 Montgomery County  
 Historic Preservation Commission

*Sandra L. Heiler*



01 EXISTING SECOND FLOOR & PROPOSED ROOF PLAN  
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  - NEW WALLS - EXTERIOR WALLS 2x6 @ 16" O.C. U.O.N. NON-BEARING AND BEARING INTERIOR WALLS 2x4 @ 24" @ 16" O.C.
  - ALL DIMENSIONS ARE TO FACE OF STUD U.O.N. VERIFY ALL DIMENSIONS IN FIELD.
  - RELOCATE MECHANICAL DUCTS AND PLUMBING AS REQUIRED.
  - PROVIDE NEW WOOD FLOOR TO MATCH EXISTING IF NOT ENOUGH EXISTING CAN BE SALVAGED DURING DEMO.
  - WINDOW AND DOOR TRIM, BASE AND CROWN. SEE FINISH SCHEDULE.
  - TEMPORARY KITCHENETTE TO BE LOCATED UP STAIRS.
  - NEW DOORS SIMILAR TO EXISTING DOORS IN THE HOUSE. PROFILE T.B.D.
  - PROVIDE BLOCKING WITHIN WALLS AT WALL MTD. FIXTURES - TOWEL RACKS, SCONES, CABINETS ETC. - AS REQUIRED.
  - SEE MEP AND STRUCTURAL PLANS FOR ADDITIONAL NOTES AND INFORMATION.
  - GLASS SHOWERS ENCLOSURES
  - MINIMUM 2" THICK DOORS
  - MINIMUM 1/2" THICK STATIONARY PANELS
- ARCHITECTURE PLAN NOTES:**
- NEW HARDWOOD FLOORS TO BE INSTALLED
  - NEW ROOF OVER ADDITION TO THE INTO EXISTING
  - EXISTING ROOFS TO REMAIN
  - NEW 3-TAB ASPHALT SHINGLES SIMILAR TO EXISTING

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**PROPOSED SECOND FLOOR PLAN**

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**A6**

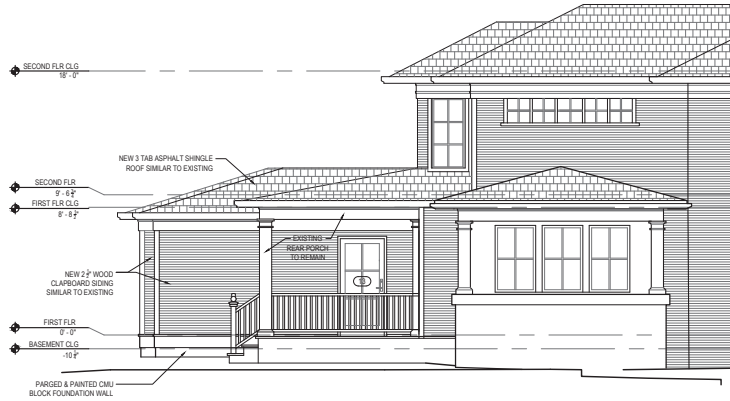
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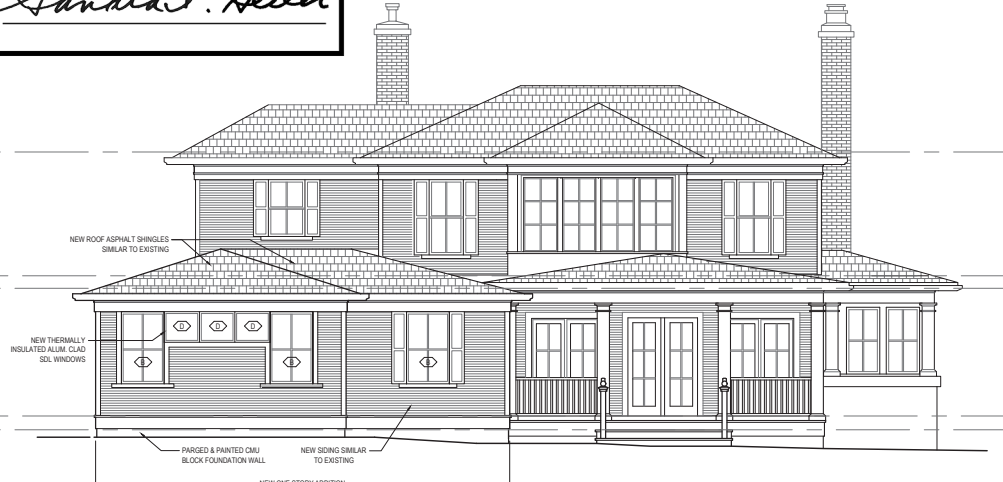
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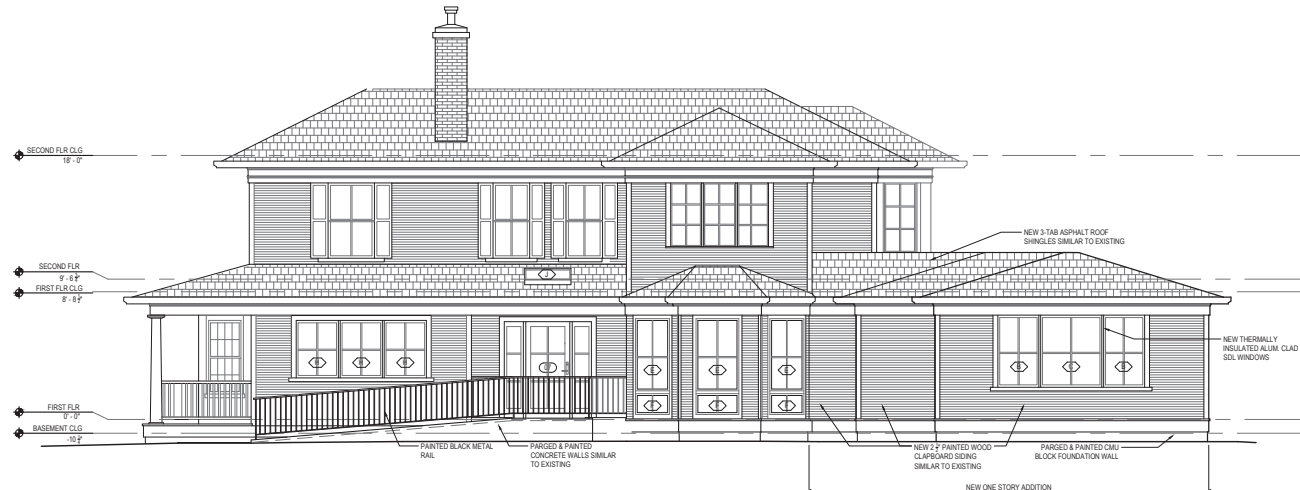
*Sandra L. Heiler*



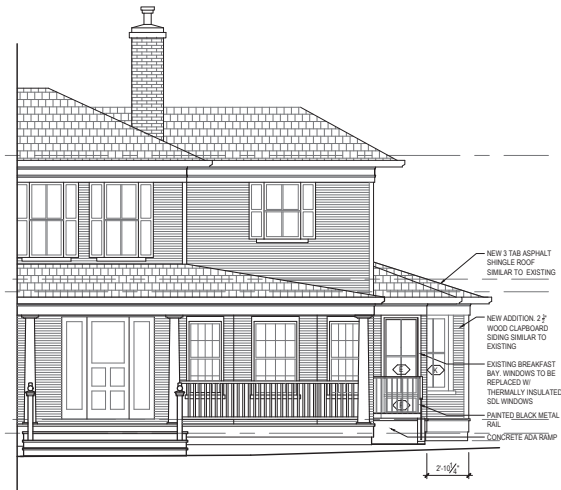
04 LEFT SIDE ELEVATION  
1/4" = 1'-0"



03 REAR ELEVATION  
1/4" = 1'-0"



02 RIGHT SIDE ELEVATION  
1/4" = 1'-0"



01 FRONT ELEVATION  
1/4" = 1'-0"

**ANTHONY WILDER**  
ARCHITECTURE | INTERIORS | CONSTRUCTION

**BELIKOVE-PIALA RESIDENCE**  
4811 CUMBERLAND AVENUE, CHEVY CHASE, MD 20815

7915 SANDCASTLE BLVD. SUITE 600, C&H JOHN, MD 20818  
WWW.ANTHONYWILDER.COM

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Conceptual Design	May 27, 2020
Design Development	June 11, 2020
Letter of Commitment	June 23, 2020
HPC Review	June 24, 2020
HPC Review Resubmission	July 14, 2020
HAWP Application	Aug. 03, 2020

EXTERIOR ELEVATIONS

**A7**

HAWP Application Set

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# ANTHONY WILDER

ARCHITECTURE | INTERIORS | CONSTRUCTION

8.03.20

## Materials Specification for the addition at 4811 Cumberland Avenue

- The addition will be integrated to the existing house through design and the use of materials.

### Siding Material

- 2 ½" Painted wood clapboard siding similar to existing

### Roofing Material

- CertainTeed 3-Tab Asphalt roof shingles similar to existing

### ADA Ramp

- Concrete ramp with parged and painted side walls
- Black painted metal rail

### Foundation

- Reinforced CMU block wall parged and painted exterior similar to existing

### Windows & Exterior Doors

- Pella Architect Series Traditional Windows and Doors
  - Aluminum-clad wood
  - 7/8" Simulated-divided-light grilles (Integral Light Technology)
    - [http://media.pella.com/professional/adm/Clad-Wood/Pella-ArchitectSeriesTrad\\_DoubleHung.pdf?\\_ga=2.186225129.1393718313.159586275-0-1390266628.1545322561](http://media.pella.com/professional/adm/Clad-Wood/Pella-ArchitectSeriesTrad_DoubleHung.pdf?_ga=2.186225129.1393718313.159586275-0-1390266628.1545322561)
    - [http://media.pella.com/professional/adm/Clad-Wood/Pella-ArchitectSeriesTrad\\_InSwingDoor.pdf?\\_ga=2.114335431.1393718313.159586275-0-1390266628.1545322561](http://media.pella.com/professional/adm/Clad-Wood/Pella-ArchitectSeriesTrad_InSwingDoor.pdf?_ga=2.114335431.1393718313.159586275-0-1390266628.1545322561)

**REVIEWED**

*By Michael Kyne at 12:15 am, Aug 13, 2020*

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Montgomery County  
Historic Preservation Commission

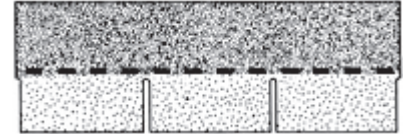
# Technical Data Sheet

## XT™ 30 IR (Impact Resistant) Shingles



### PRODUCT INFORMATION

CertainTeed XT 30 IR (Impact Resistant) offers the classic look of three-tab shingles, but have a super tough reinforcement added to its back surface, allowing them to meet UL 2218 Class 4 Impact Resistance (the highest rating), at time of manufacture.



**Colors:** Please refer to the product brochure or CertainTeed website for colors available in your region.

**Limitations:** Use on roofs with slopes greater than 2" per foot. Low slope applications (2" to 4" per foot) require additional underlayment. In areas where icing along the eaves can cause a backup of water, apply CertainTeed WinterGuard® Waterproofing Shingle Underlayment, or its equivalent, according to application instructions provided with the product and on the shingle package. For Class 4 impact resistance, XT 30 IR shingles must be applied according to the instructions indicated below, in a new roof or tear-off application, and *not* by "roofing over" existing shingles.

On slopes greater than 21" per foot, apply a spot of roofing cement under each shingle tab corner according to instructions provided on the shingle package.

**Product Composition:** These shingles are composed of a fiber glass mat base. Ceramic-coated mineral granules are tightly embedded in carefully refined, water-resistant asphalt. These 3-tab shingles have self-sealing adhesive.

### Applicable Standards:

- |                                    |                                     |
|------------------------------------|-------------------------------------|
| ASTM D3018, Type I                 | UL 790 Class A Fire Resistance      |
| ASTM D3462                         | ICC-ES ESR-1389 and ESR-3537        |
| ASTM E108 Class A Fire Resistance  | CSA Standard A123.5                 |
| ASTM D3161 Class F Wind Resistance | Miami-Dade Product Control Approved |
| ASTM D7158 Class H Wind Resistance | Florida Product Approval # FL5444   |
| TDI Windstorm Resistance           | UL 2218 Impact Resistance Class 4   |

### Technical Data:

- |                          |           |
|--------------------------|-----------|
| Weight/Square (approx.): | 230 lbs   |
| Dimensions (overall):    | 12" x 36" |
| Shingles/Square:         | 80        |
| Weather Exposure:        | 5"        |

### INSTALLATION

The following is a general summary of the installation methods. Detailed installation instructions are supplied on each bundle of XT30 IR shingles and must be followed. Separate application sheets may also be obtained from CertainTeed.

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**Roof Deck Requirements:** Apply shingles to minimum 3/8" thick plywood, minimum 7/16" thick non-veneered plywood or non-veneer. The plywood or non-veneer must comply with the specifications of APA - The Engineered Wood Association.

By Michael Kyne at 12:15 am, Aug 13, 2020

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**Ventilation:** Provisions for ventilation should meet or exceed current HUD Standards. To ensure adequate balance ventilation, use a combination of continuous ridge ventilation (using CertainTeed Ridge Vent products, or a comparable product with an external baffle) combined with soffit venting.

**Valleys:** Valley liner must be applied before shingles. The Closed-Cut valley application method is recommended, using CertainTeed WinterGuard Waterproofing Shingle Underlayment, or its equivalent, to line the valley prior to being fully covered by the shingles.

**Underlayment:**

On slopes 4" per foot or greater, CertainTeed recommends one layer of DiamondDeck® Synthetic Underlayment, or Roofers' Select® High-Performance shingle underlayment, or shingle underlayment meeting ASTM D226, D4869 or ASTM D6757. Always ensure sufficient deck ventilation, and take particular care when DiamondDeck or other synthetic underlayment is installed. For UL fire rating, underlayment may be required. Corrosion-resistant drip edge is recommended and should be placed over the underlayment at the rake and beneath the underlayment at the eaves. Follow manufacturer's application instructions.

On low slopes (2" up to 4" per foot), one layer of CertainTeed's WinterGuard Waterproofing Shingle Underlayment (or equivalent meeting ASTM D1970) or two layers of 36" wide felt shingle underlayment (Roofers' Select High-Performance Underlayment or product meeting ASTM D226, D4869 or ASTM D6757) lapped 19" must be applied over the entire roof, ensure sufficient deck ventilation. When DiamondDeck or other synthetic underlayment is installed, weather-lap at least 20" and ensure sufficient deck ventilation. When WinterGuard is applied to the rake area, the drip edge may be installed under or over WinterGuard. At the eave, when WinterGuard does not overlap the gutter or fascia, the drip edge should be installed under WinterGuard. When WinterGuard overlaps the fascia or gutter, the drip edge or other metal must be installed over it. Follow manufacturer's application instructions.

**Fastening:** Four nails are required per shingle, located 5/8" above the top of each cutout and 1" and 12" in from each side of the shingle. They must be of sufficient length to penetrate into the deck 3/4" or through the thickness of the decking, whichever is less. Nails are to be 11 or 12 gauge, corrosion-resistant roofing nails with 3/8" heads. On steep slopes greater than 21" per foot, apply a spot of roofing cement under each shingle tab corner according to application instructions provided on the shingle package.

**Application:** The recommended application method is the Six-Course, 6" Stepped-Off Diagonal Method found on each bundle of shingles. These shingles may also be applied using the 5" Stepped-Off Diagonal Method, or the 6" Offset, Single-Column Vertical-Racking Method, instructions for which may be obtained from CertainTeed. For Class 4 impact resistance, XT 30 IR shingles must be applied according to the instructions indicated above, in a new roof or tear-off application, and *not* by "roofing-over" existing shingles.

**Flashing:** Use corrosion-resistant metal flashing.

**Hips and Ridges:** Use XT 30 IR impact resistant roofing shingles of the same color for capping hips and ridges.

**MAINTENANCE**

These shingles do not require maintenance when installed according to manufacturer's application instructions. However, to protect the investment, any roof should be routinely inspected at least once a year. Older roofs should be looked at more frequently.

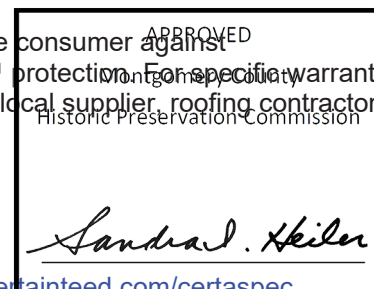
**WARRANTY** **REVIEWED**  
XT 30 IR shingles carry a 30-year limited transferable warranty to the consumer against manufacturer's product. For specific warranty details and limitations, refer to the warranty itself (available from the local supplier, roofing contractor or on-line at [www.certainteed.com](http://www.certainteed.com)).  
By Michael Kyne at 12:15 am, Aug 13, 2020

**FOR MORE INFORMATION**

Sales Support Group: 800-233-8990

Web site: [www.certainteed.com](http://www.certainteed.com)

See us at our on-line specification writing tool, CertaSpec, at [www.certainteed.com/certaspec](http://www.certainteed.com/certaspec)



**CertainTeed Roofing**

20 Moores Road, Malvern, PA 19355

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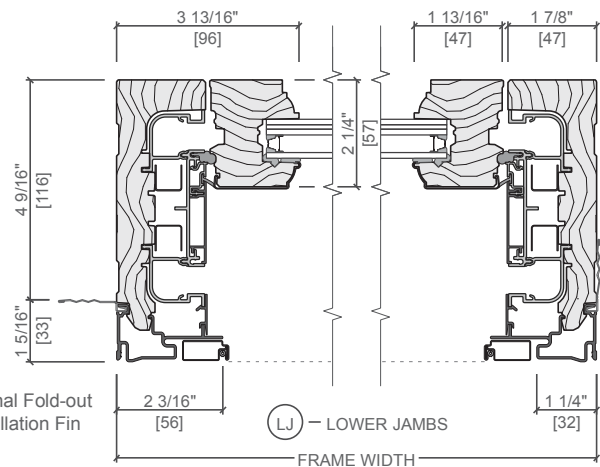
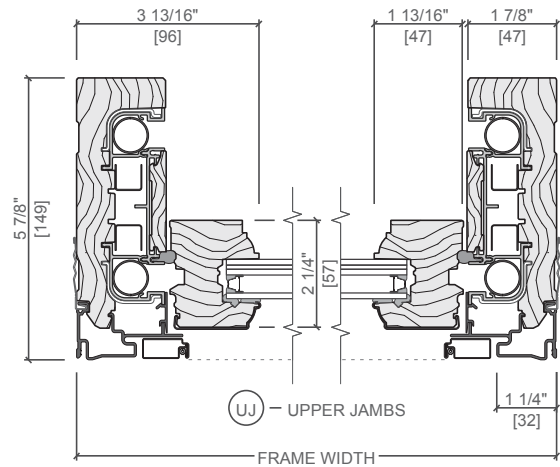
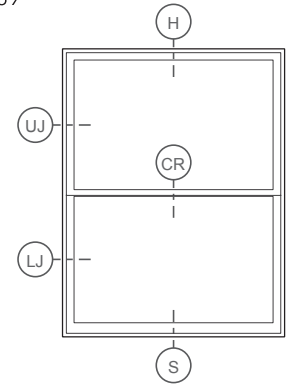
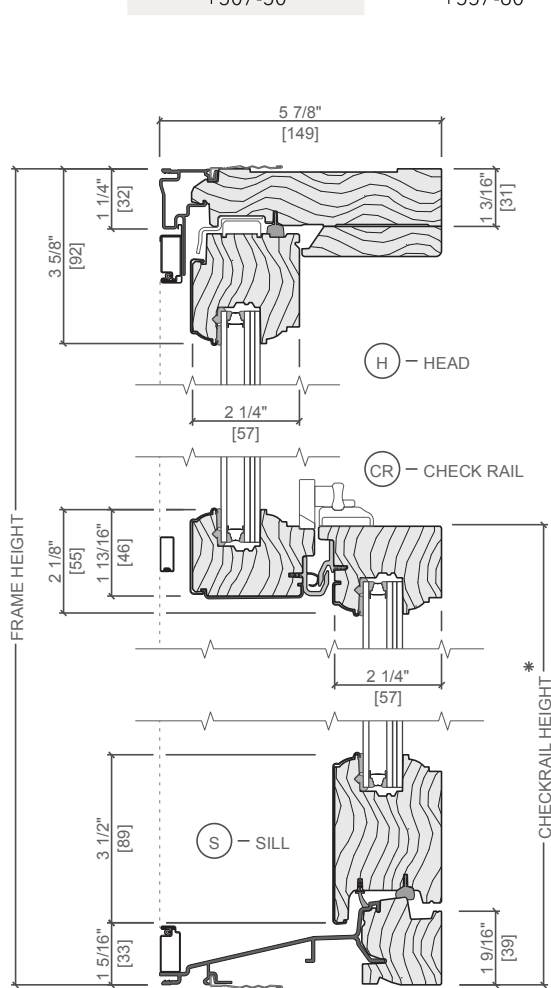


# Architect Series® Traditional Hung Window

Products with Impact-Resistant Glass

For a complete list of ratings, refer to the Impact-Resistant product section.

Material	Design Pressure Large Missile Rating D		Hallmark Certified	Florida Product Approval System
	Minimum	Maximum		
PVB				
Clad	+50/-50	+55/-60	411-H-1478	FL17769



\* Dimension required for ordering units with unequal sash.

**REVIEWED**  
By Michael Kyne at 12:15 am, Aug 13, 2020

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*Sandra L. Heiler*



Click to view Clad-Wood Section

[Double-Hung Downloadable PDF](#)

(1) All impact sizes and glass types are certified for wind zone 3, large missile rating D. Not approved for use in Miami-Dade County.

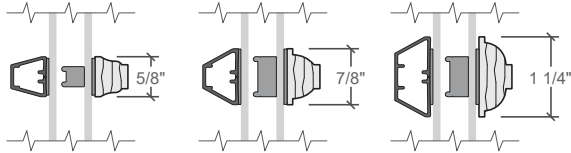


# Architect Series® Traditional Hung Window

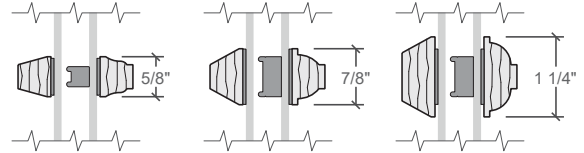
## Grille Profiles

### Integral Light Technology®

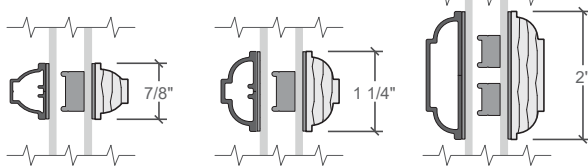
Putty and Ogee Glaze Grilles  
Clad Exterior - Wood Interior



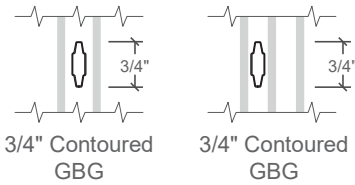
Putty and Ogee Glaze Grilles  
Wood Exterior - Wood Interior



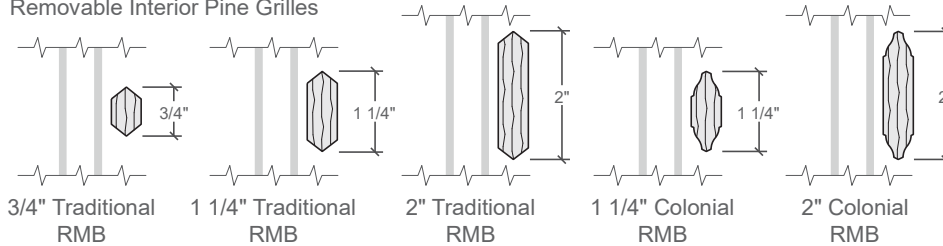
Ogee Glaze Grilles  
Clad Exterior - Wood Interior



Contoured Aluminum -  
Grilles-Between-the-Glass



Removable Interior Pine Grilles



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*By Michael Kyne at 12:15 am, Aug 13, 2020*

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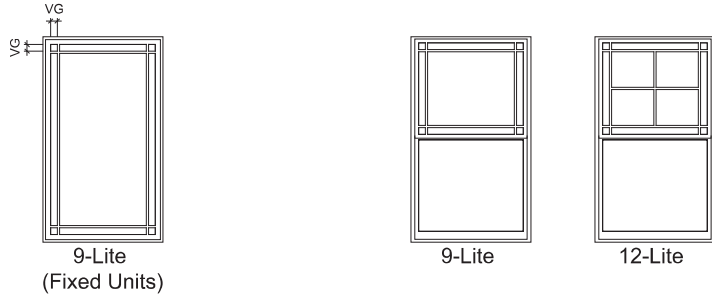
*Sandra D. Heiler*

Interior wood ILT grilles available in Pine, Mahogany or Douglas Fir to match complete unit.  
Exterior wood ILT grilles available in Pine or Mahogany to match complete unit.



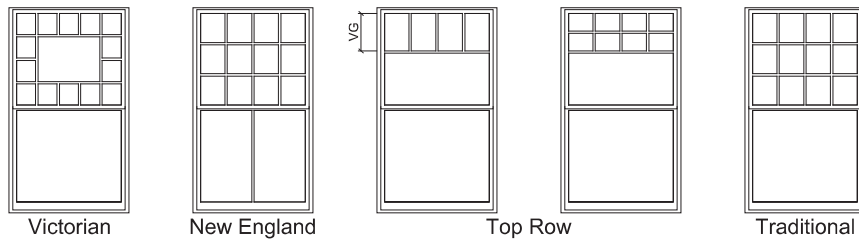
Integral light technology® Grilles and Roomside Removable Grilles

Prairie Lite Patterns



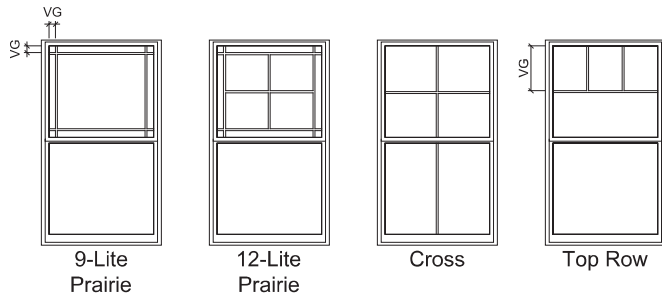
Standard corner lite dimension for Prairie patterns = 2-1/2" VG.  
Available in transoms ≥ 1'3" height and width.  
Available in all standard and special sizes.

Other Available Patterns



VG = Visible Glass  
Lite dimensions noted can vary.  
For size and pattern availability contact your local Pella sales representative.

Grilles-Between-the-Glass



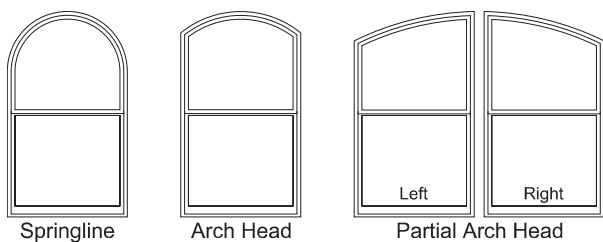
- Prairie**
  - Standard corner lite dimension for Prairie patterns = 2-1/2" VG.
  - Available in transoms ≥ 1'3" height and width.
- Cross**
  - Minimum DH frame height 35".
  - Horizontal bar will be at 1/2" of the VG height of the top sash.
- Top Row**
  - Minimum DH frame height 35".
  - Horizontal bar will be at 1/2" of the VG height of the top sash.

For traditional patterns, see size tables.

**REVIEWED**  
By Michael Kyne at 12:15 am, Aug 13, 2020

Custom shapes

Pella Reserve single-hung windows are available in custom shapes shown below, and additional shapes per drawing. For specifications, size limitations, and details on these units, contact your local Pella sales representative.



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