



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Sandra I. Heiler
Chairman

Date: November 16, 2020

MEMORANDUM

TO: Mitra Pedoeem
Department of Permitting Services

FROM: Michael Kyne
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #920944: New deck, solar panel installation, alteration of an existing accessory dwelling, construction of a new accessory dwelling, construction of a swimming pool, new hardscaping, new fencing, and grading

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the August 12, 2020 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Gillian Cadwell (Richard Vitullo, Architect)
Address: 7307 Holly Avenue, Takoma Park

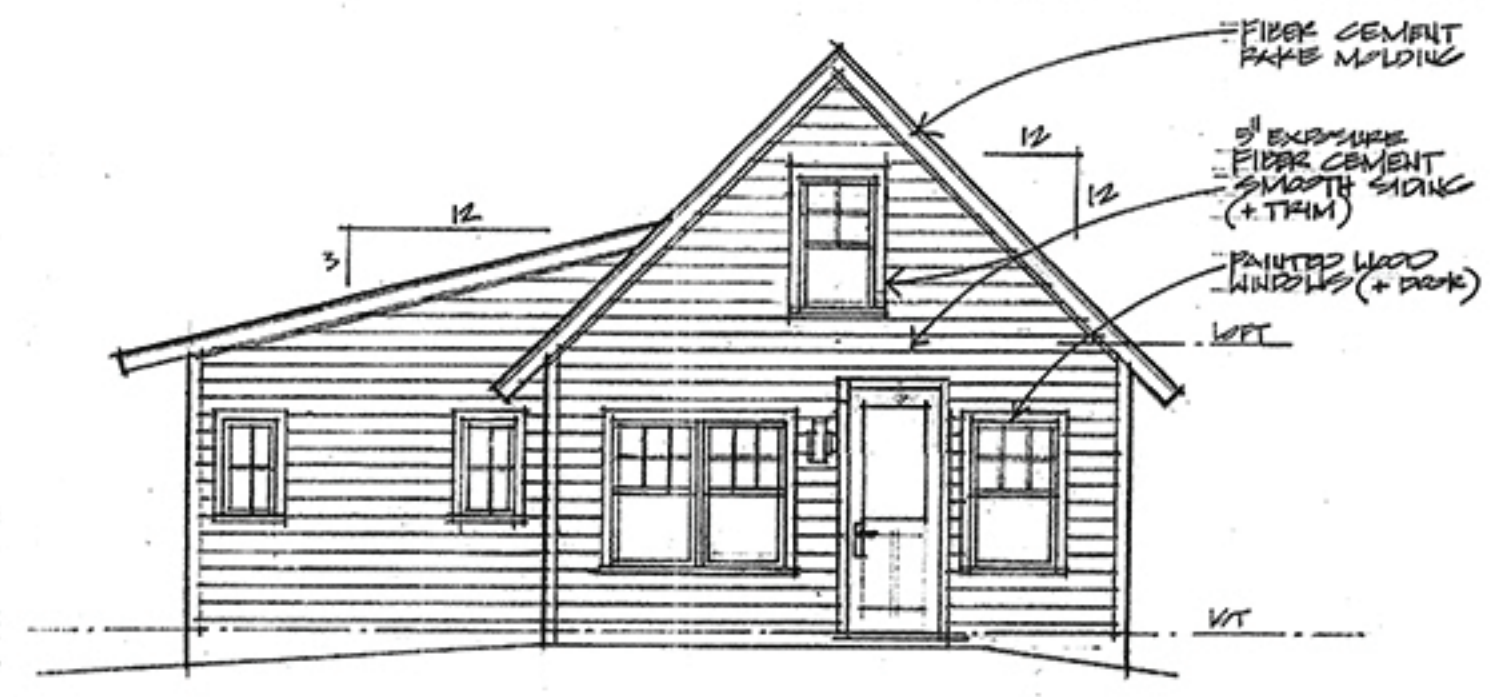
This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Michael Kyne at 301.563.3403 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



Site Work, Accessory Apartment Addition, Deck Addition & Garage Alteration for:

Caldwell/Spitzer Residence

7307 Holly Ave.
Takoma Park, MD 20912



GENERAL DEMOLITION NOTES:

- For removal of any lead paint, asbestos tile, etc., a certified asbestos or lead abatement professional must be used.
- Remove existing wall and/or floor construction as noted on plans as necessary to implement new layout; if walls are bearing walls, use temporary supports to re-direct loads until new bearing elements are constructed.
- Remove all electrical outlets, fixtures, smoke alarms, telephone wiring, exposed wiring, etc. that are to be replaced by new work.
- Dispose of all discarded material in a safe and clean manner.
- Protect all surfaces during demolition (and construction) from unnecessary damage.

GENERAL CONSTRUCTION NOTES:

- These drawings are to show only materials and layout of the design; means and methods are to be determined by contractor. The contractor shall fully acquaint him/herself with the conditions relating to construction and labor so that he/she understands the issues relating to the execution of the work.
- Contractor shall provide all materials, labor and equipment and pay all freight charges, taxes, and handling of materials necessary for the full implementation of the work herein described on these drawings unless noted otherwise.
- Contractor to verify all dimensions and assumed conditions in the field; bring any discrepancies, omissions, ambiguities or conflicts to the attention of the architect and owner as soon as possible before proceeding with any of this work in question.
- Contractor to notify architect if any existing pipes, ducts, or structural elements (or any other relevant item) that are revealed by demolition and are scheduled to be removed or re-routed for the new plan are determined to be not easily moved, or removed.
- Contractor to notify architect and/or structural engineer if any existing wood joists, sheathing, studs, etc. are damaged or deteriorated from termites, water, etc.
- All construction will meet or exceed all applicable building and health codes, unless a code modification approval is granted.
- The owner's written authorization will be required before any work is executed or materials ordered that involve a change from the original specifications affecting the contract price.
- All plan dimensions on drawings are set to edge of framing member; all finishes are not taken into account unless otherwise noted. If dimension is taken to a finish surface, it shall be noted as "FINISH DIMENSION", "FIN. DIM.", or "CLEAR DIM."
- Solid blocking required under posts or any bearing from above to solid bearing below; match bearing area of post above to bearing below; cut bearing blocks to minimum 1/16" deeper than joists.
- Install solid blocking in walls for receipt of plumbing fixtures, accessories (towel bars, toilet paper holders, etc.), hardware, cabinets, etc., as necessary; verify rough-in dimensions for plumbing fixtures prior to framing of posts, studs, beams and joists.
- All wood in contact with masonry/concrete surfaces shall be pressure-treated; install sill gasket underneath all sill plates.
- New doors, windows and hardware, are to be provided and installed by contractor.
- Install shelves and closet poles in clothes closets at 5'-6" A.F.F., typ.; sand, prime and paint shelves with gloss paint; color by owner; changes in the configuration of shelves in other closets to be confirmed by owner prior to final installation.
- In all roof rafters, and/or ceiling joists below rafters, install R-49 insulation. At new exterior walls, (2 x 6), insert insulation to R-20, minimum.
- If house-wrap and/or building paper is used, apply and lap in a shingle-fashion so that upper courses lap over lower courses; any window and door flashing is integrated into this system in the same manner. Apply Z-flashing at all heads and apply pan flashing at all sills.
- All new or existing wall surfaces are to be prepared for painting to be smooth and free of cracks, peeling paint, etc.; walls to be primed and painted (2 coats, min.) with color to be selected by owner.
- Any new flooring material (tile, etc.) to be selected by owner, installed by contractor. Make surface smooth and flat for receipt of new flooring.
- Install new interconnected AC-powered smoke and CO detectors as per drawings and per code, as necessary.
- All electrical outlets in bath, kitchen (except refrigerator) and at exterior to be ground fault circuit interrupters (GFCI); in all rooms (except kitchens), all-fault circuit interrupters (AFCI) to be installed.
- Upgrade electrical service as necessary to provide sufficient power.
- Electrical switches (dimmers, toggles, etc.), and telephone/modem to be approved by owner, installed by contractor. All decorative light fixtures to be selected by owner, installed by contractor.

ELECTRICAL & LIGHTING LEGEND

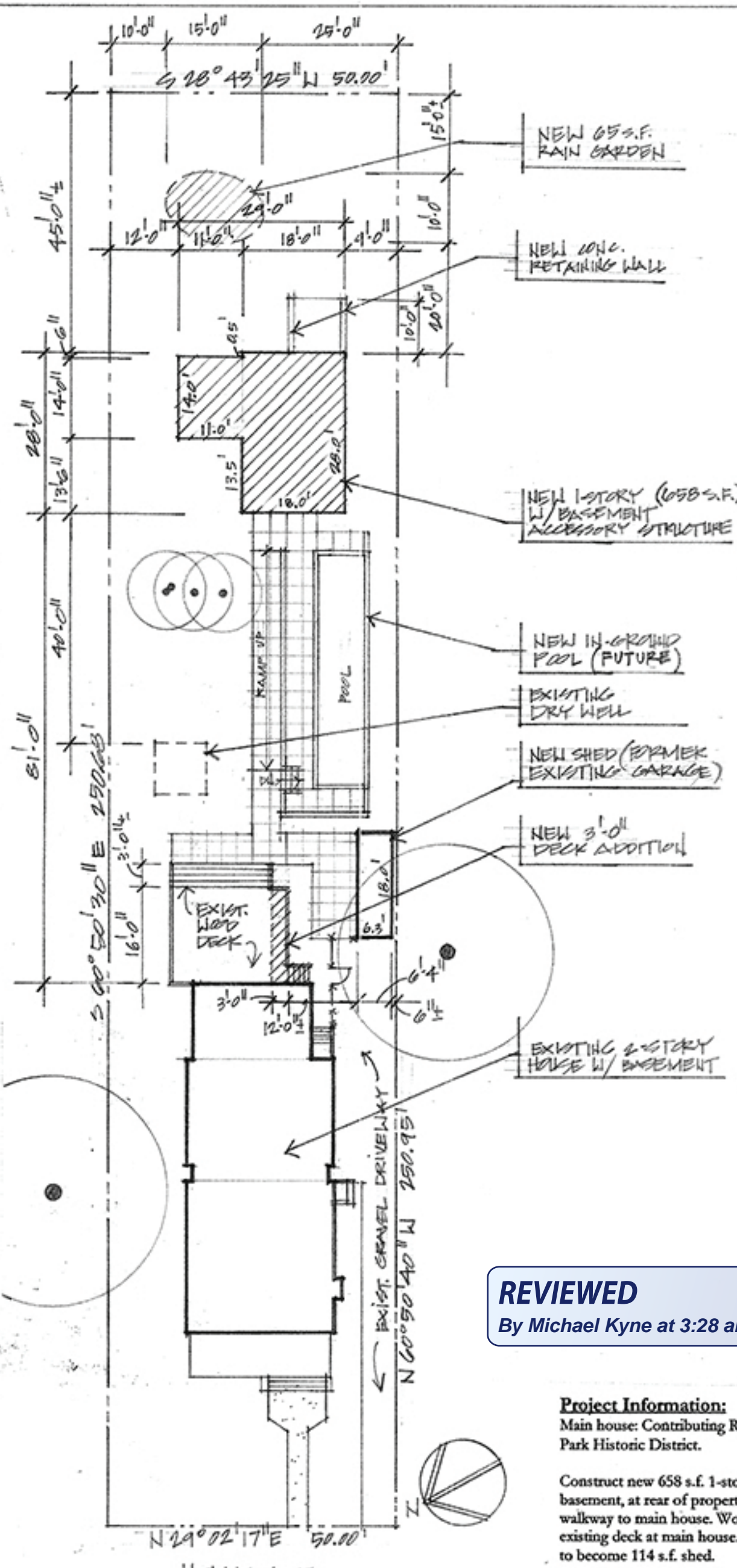
- ⊖ "E" Indicates existing unit (light or outlet) (22 outlets to be made code-compliant)
- ⊖ Duplex Outlet/new
- ⊖ AC Duplex Outlet/new/above counter
- ⊖ GFCI Duplex Outlet/new/GFCI (22 outlets in kitchen, bath, and exterior are to be GFCI)
- ⊖ AFCI Duplex Outlet/new/AFCI (All-Fault Circuit Interrupters outside for all but in Kitchen)
- ⊖ Double Duplex Outlet
- ⊖ Duplex Floor Outlet
- ⊖ 240v Outlet
- ⊖ Exhaust Fan
- ⊖ Exhaust Fan/Heat
- ⊖ Exhaust Fan/Heat/Light
- ⊖ Ceiling Fan
- ⊖ Ceiling Fan/Light
- ⊖ Pendant Light Fixture
- ⊖ Recessed Light Fixture
- ⊖ Recessed Light Fixture/Existing
- ⊖ Recessed Light Fixture/Eyeball
- ⊖ Surface Mounted Light Fixture
- ⊖ Wall Mounted Light Fixture/Sconce
- ⊖ Light Fixture /Waterproof
- ⊖ Dual Flood Light
- ⊖ Data/Telephone Jack
- ⊖ Coaxial/Cable TV
- ⊖ Audio Speaker
- ⊖ Switch
- ⊖ Switch/Dimmer
- ⊖ Three-way Switch
- ⊖ Track light
- ⊖ "Plugmold" Power Strip
- ⊖ Undercabinet Lights
- ⊖ Smoke & Carbon Monoxide Detectors (Back-wired in dedicated circuit, interconnected, with battery backup)
- ⊖ Thermostat

NEW PLUMBING FIXTURES

Fixture Type	Fixture Count
Shower	1
Toilet	1
Lavatory	1
Kitchen Sink	1
Dishwasher	1
Clothes Washer	1
Hose Bibb	1
TOTAL	7

Sheet No. Sheet Title

- Cover Site Plan/Project Description /General & Demolition Notes/Specifications/ Electrical & Lighting Legend
- SP-1 Site Plan/Drainage Plan (1"=10'-0")/ Drainage Area Calculations/ Rain Garden Section (3/4"=1'-0")
- A-1 Basement & First Floor Plan (1/4"=1'-0") Loft Plan (1/4"=1'-0")
- A-2 Roof Plan (1/4"=1'-0")/Building Section (1/4"=1'-0")/ Bath Elevations (3/8"=1'-0") Shower Section (1 1/2"=1'-0")
- A-3 Exterior Elevations/Front & Side (1/4"=1'-0")/ Kitchen Elevations (3/8"=1'-0")
- A-4 Exterior Elevations/Rear & Side (1/4"=1'-0")/ Wall Section (1"=1'-0")
- A-5 Building Sections (1/4"=1'-0")/ Wall Section (1"=1'-0")/ Ladder Truss (1"=1'-0")/ Collar Tie Detail (3"=1'-0")
- A-6 Window & Door Schedule/Finish Schedule
- A-7 Air Barrier, Insulation & Thermal Barrier Schedule And Diagrams
- A-8 Garage Demolition Plan (1/4"=1'-0")/ Shed Floor Plan (1/4"=1'-0")/ Shed Roof Plan (1/4"=1'-0")/Shed Exterior Elevations (1/4"=1'-0")/ Main House Wood Deck Extension Plan (1/4"=1'-0")
- S-1 Foundation & 1st Floor Framing Plan (1/4"=1'-0")/ Retaining Wall Section (1"=1'-0")/ Wood Deck Extension Framing Plan (1/4"=1'-0")
- S-2 Loft Floor & Roof Framing Plan (1/4"=1'-0")/ Wind Brace Diagram & Schedule/ Structural Calculations



REVIEWED
By Michael Kyne at 3:28 am, Nov 16, 2020

APPROVED
Montgomery County
Historic Preservation Commission
Sandra L. Heiler

Project Information:

Main house: Contributing Resource House in the Takoma Park Historic District.
Construct new 658 s.f. 1-story Accessory Apartment, with basement, at rear of property with pervious and impervious walkway to main house. Wood deck addition to be added to existing deck at main house. Garage alteration, reducing its size to become 114 s.f. shed.

Residential Code Information:

All construction shall be in conformance with the International Residential Code (IRC), 2018 Edition, as Amended by Mont. Co. Reg. 31-19, adopted 5/20/2020.

Area Calculations

Existing:	
Lot Area:	12,600 s.f.
Lot Coverage/Building Area (House + Garage):	1866 s.f.
% of Lot Coverage:	14.8%
Proposed:	
Lot Coverage/Building Area (net gain, interior space):	465 s.f.
Total Lot Coverage:	2331 s.f.
% of Lot Coverage:	18.5%
TOTAL NET NEW ROOF AREA:	465 s.f.

SPECIFICATIONS

- Strip Lighting on top of collar ties: Lengths to be determined for full illumination of lighted surfaces; insert lights to fit entire length of collar tie; use all accessories, power supplies and dimming modules as required. Accepted manufacturers, or equivalent:
 - A. Armacost Ribbon LED: Pro Accent Lighting/White LED Tape Light for Indirect Lighting. (18 LEDs per foot: Model #RF352806);
 - B. Vava Free Form Tunable White: IP40, 2700K Model #316-200019-02
- Track Lighting on bottom of collar ties: TBD
- Toilet: Toto "Drake II" CST7454CEFG; elongated bowl, two-piece toilet.
- Bath Faucets: Grohe EuroStyle, Parkfield or Cosmopolitan lines are recommended styles.
- Shower Linear Drain: Infinity Drain: Model #S-AG 3860 Series, site-sizeable PVC drain, 60" long stainless steel grate
- Medicine Cabinet/Mirror: Jensen Recessed-Mount Medicine Cabinet/Frameless Mirror (with "pencil edge"), in Basic White: Model #R335P34WH (16"W x 36"H)
- Exhaust Fan (for Bath): Panasonic WhisperGreen 80 cfm Ceiling Mounted Fan #FV-08VKS2.
- Exterior wall/roof sheathing: Huber Engineered Woods LLC, "Zip System" combination wall sheathing, water-resistant barrier, and air barrier, thicknesses as specified in drawings: 7/16" for wall sheathing, 5/8" for roof sheathing.
- Attic Stair: Fakro Attic Ladder LST-66820, insulated, metal scissor attic ladder, with anti-slip treads (22 1/2" x 47" R.O.)

All other selections by owner and/or architect TBD.

Site Plan

1" = 20'-0"

House/Site Information:

Lot: Part of Lot 23 Block: 6
Plat Book: JA 21 Plat No.: 198
Liber: 14766 Folio: 35
Address: 7307 Holly Ave., Takoma Park, MD 20912
Year built: 1921
Zoning: R-60

Professional Certification:
I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland.
License #: 8221-R, Exp. Date: 7/22/2022

Vitullo Architecture Studio, PC
7016 Woodland Ave.
Takoma Park, MD 20912
(301)806-6447 cell

Caldwell/Spitzer Residence
7307 Holly Ave.
Takoma Park, MD 20912

COVER

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DRAINAGE AREA CALCULATIONS

EXISTING (Lot Area: 12,600 s.f.):

TOTAL Net Area of impervious surfaces (masonry hardscape):	98 s.f.
TOTAL Net Area of impervious surfaces (roof area):	2431 s.f.
TOTAL of all impervious surfaces:	2529 s.f.

PROPOSED:

TOTAL Net Area of impervious surfaces (masonry hardscape):	480 s.f.
TOTAL Net Area of impervious surfaces (roof area, includes demolition of some existing roof + addition of new roof):	465 s.f.
TOTAL Net Area of pervious surfaces (pervious pavers in walkway):	320 s.f.

EXISTING + PROPOSED:

TOTAL Net Area of impervious surfaces (masonry hardscape):	578 s.f.
TOTAL Net Area of impervious surfaces (roof area, includes demolition of some existing roof + addition of new roof):	2896 s.f.
TOTAL Net Area of pervious surfaces (pervious pavers at walkway):	320 s.f.
TOTAL of all impervious surfaces:	3376 s.f.
(Change in impervious surfaces (masonry hardscape): +480 s.f.)	
(Change in impervious surfaces (roof): +465 s.f.)	

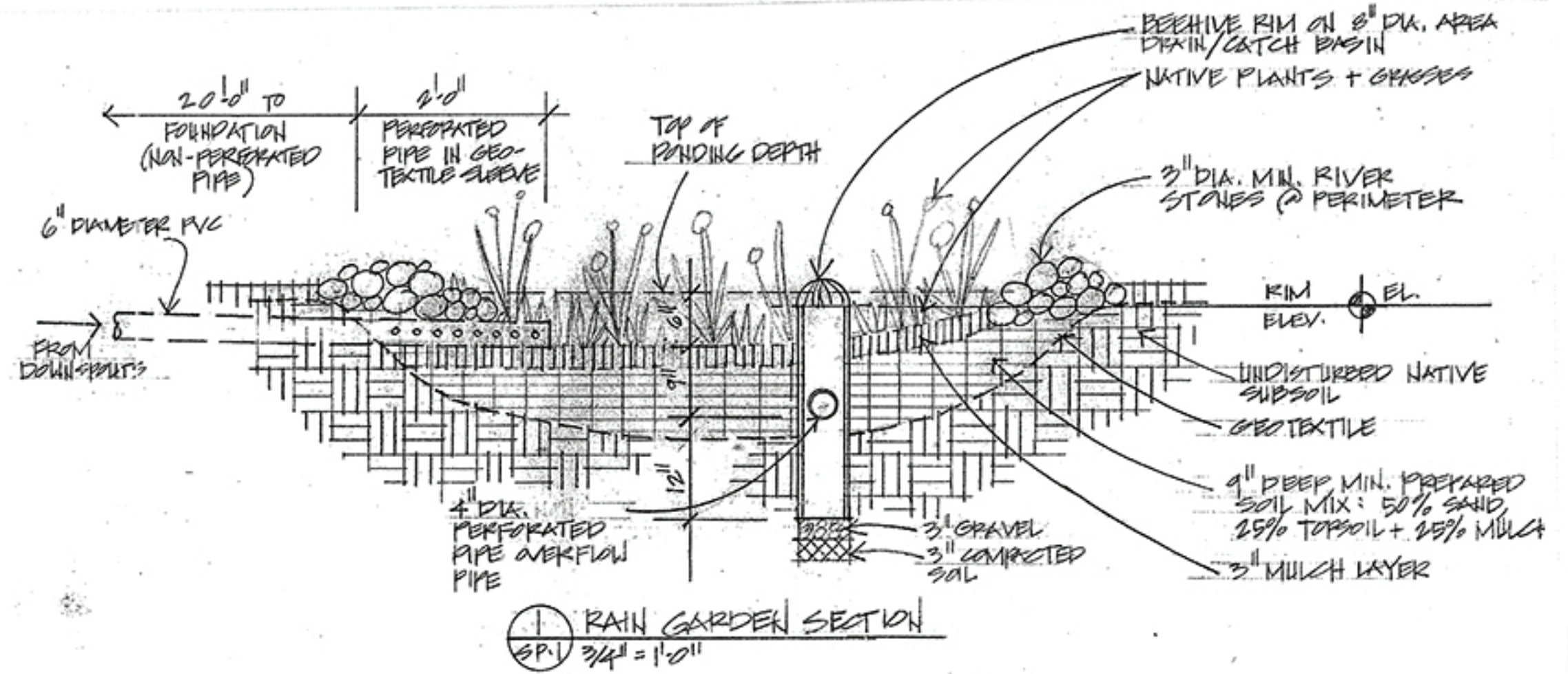
METHOD OF RUNOFF CONTROL FOR 465 s.f. ROOF AREAS

Average Elevation (above sea level) at bottom of proposed downspouts: 249.00'

Rain Garden:

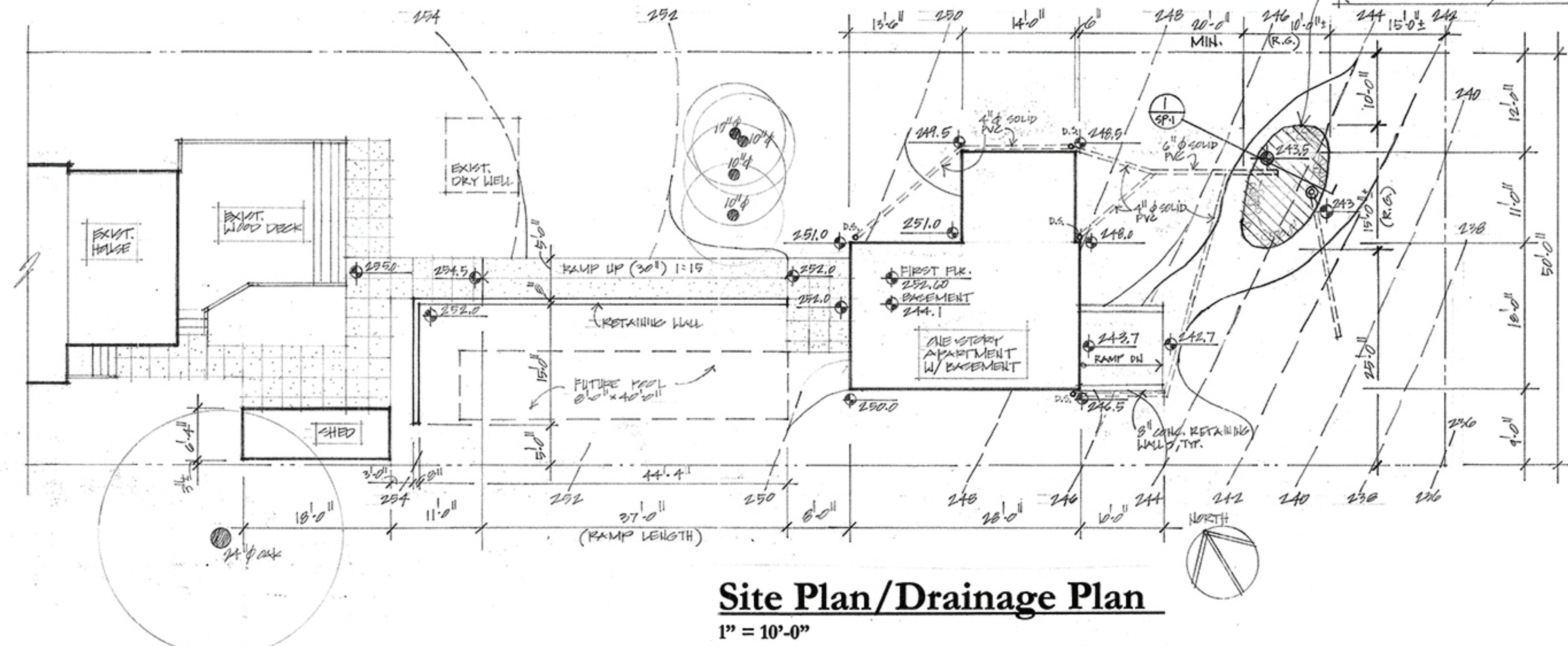
6" half-round metal gutters lead to 4" diameter downspouts (4 total); these lead to 4" diameter solid PVC pipes, which then feed into a 6" diameter solid PVC pipes, ending up at a 8'-0" x 8'-0" (or any 65 s.f. shape) x 1'-0" deep rain garden in rear yard.

(See plan and detail on SP-1)



REVIEWED
By Michael Kyne at 3:28 am, Nov 16, 2020

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Site Plan/Drainage Plan
1" = 10'-0"



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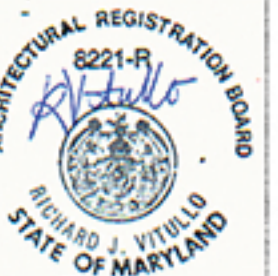
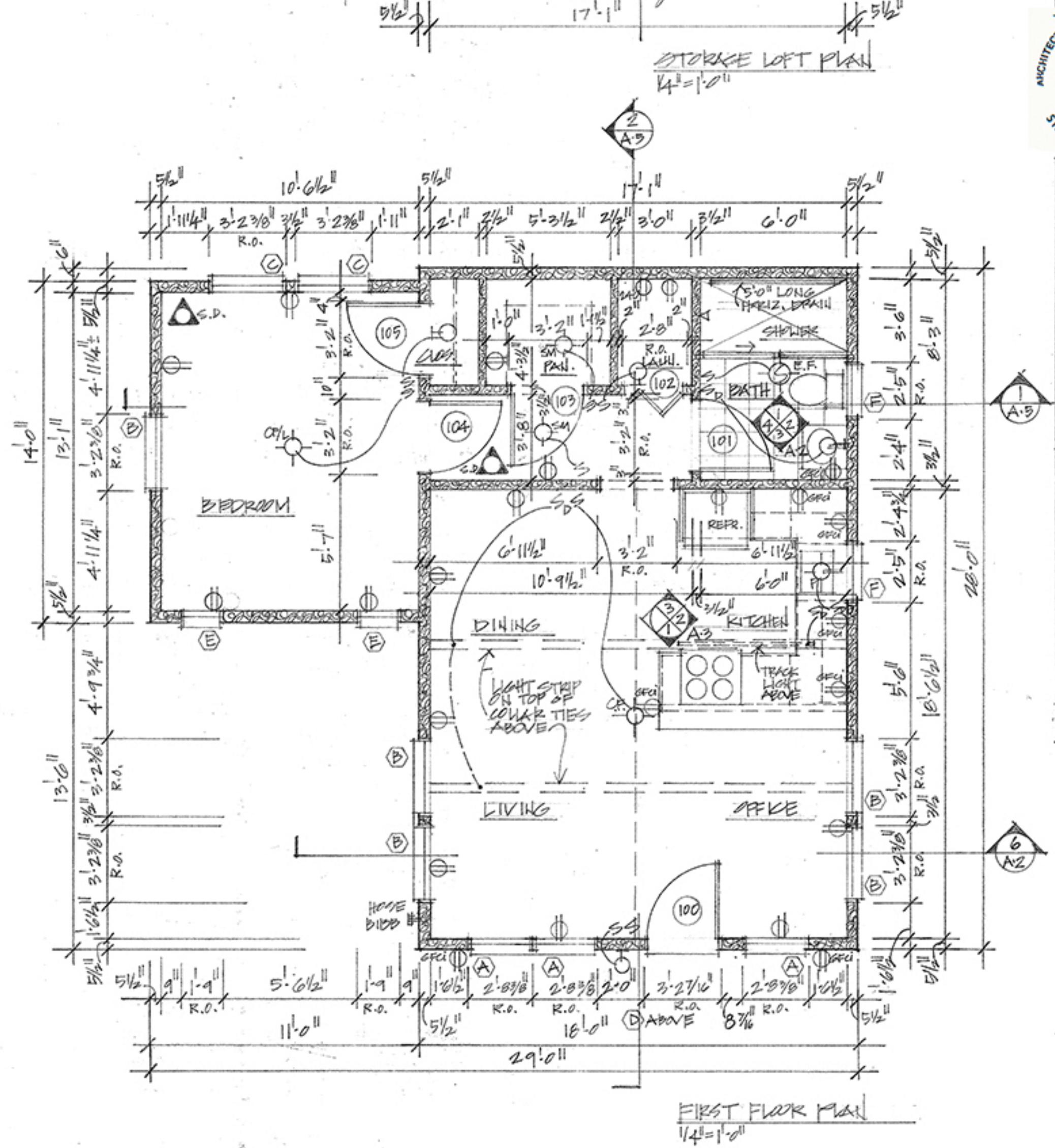
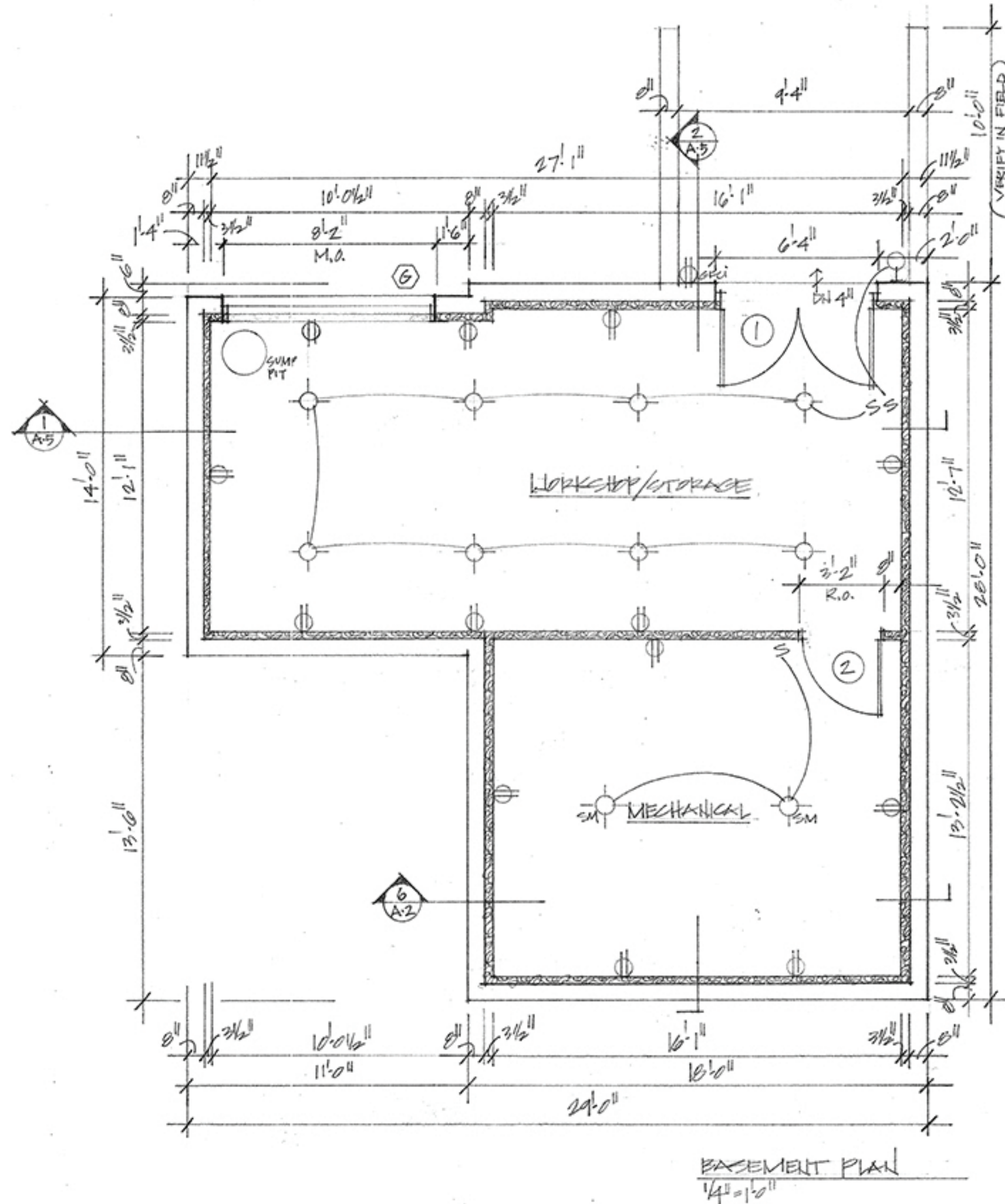
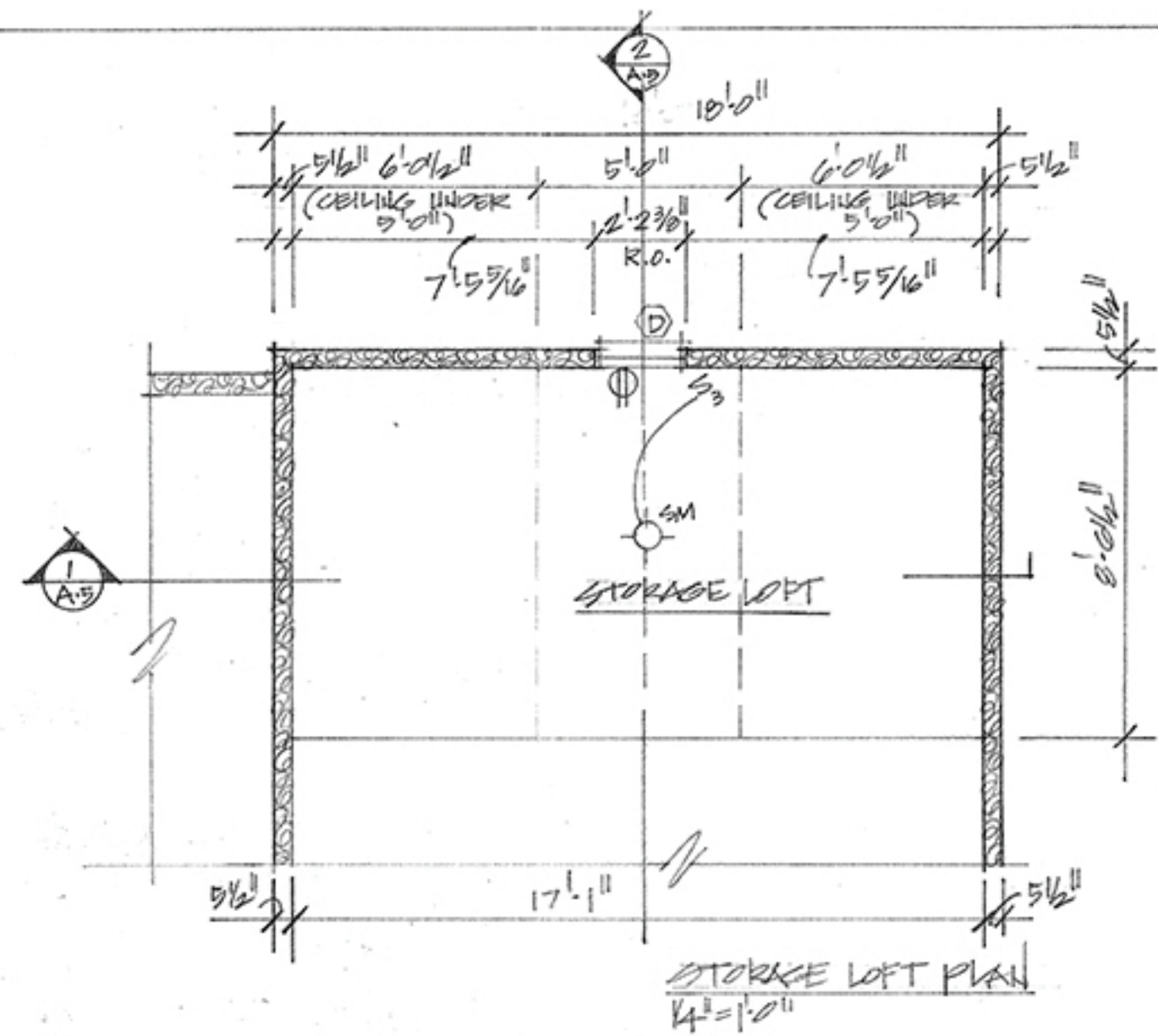
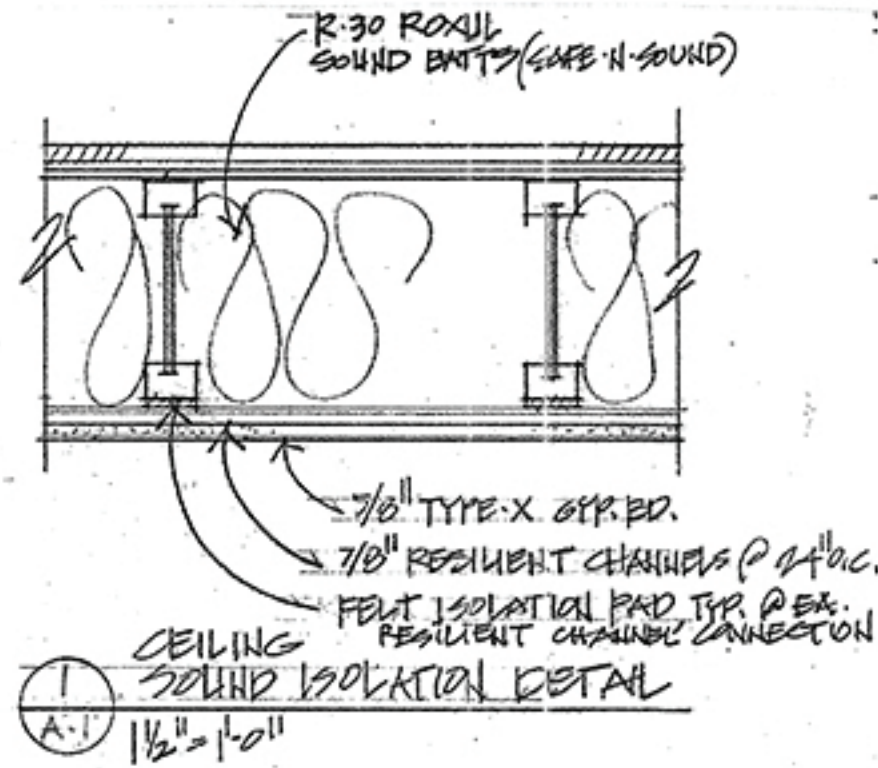
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SP-1

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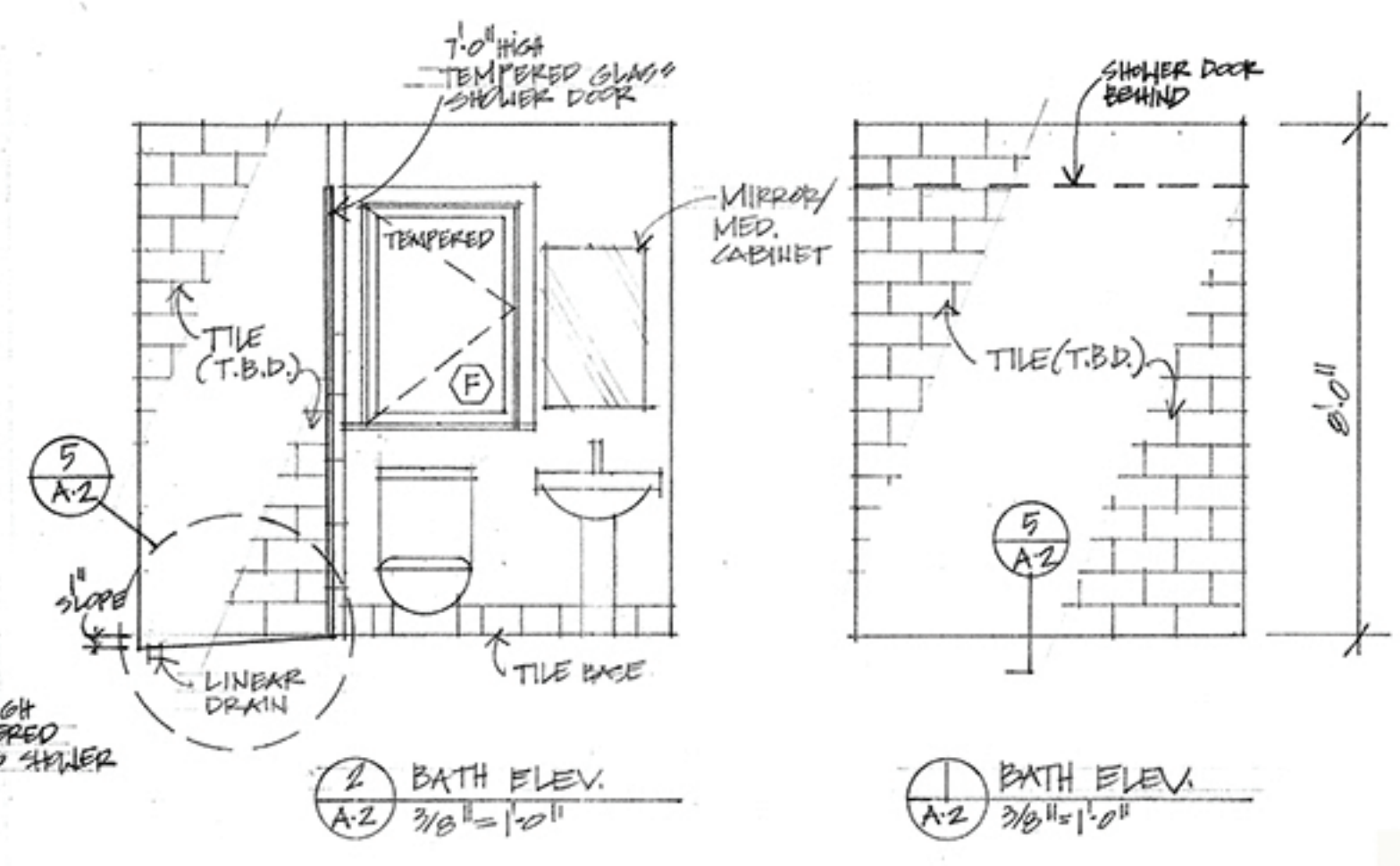
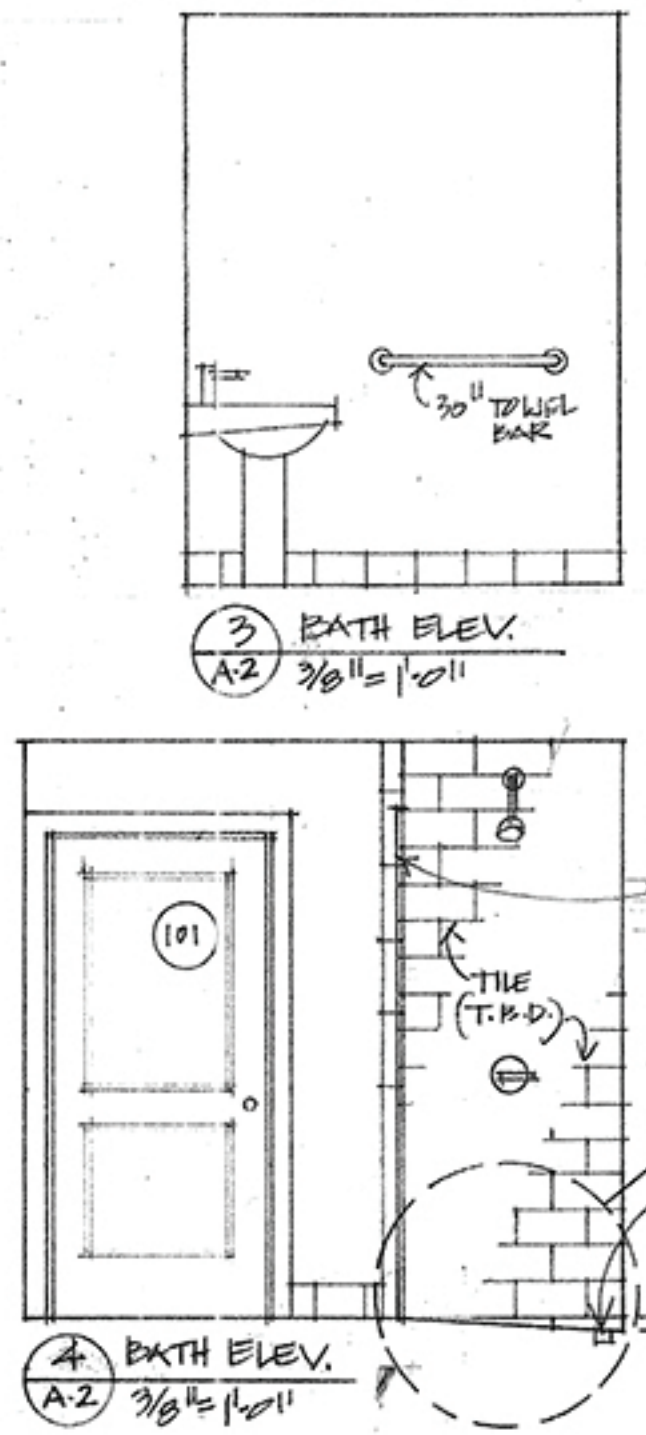
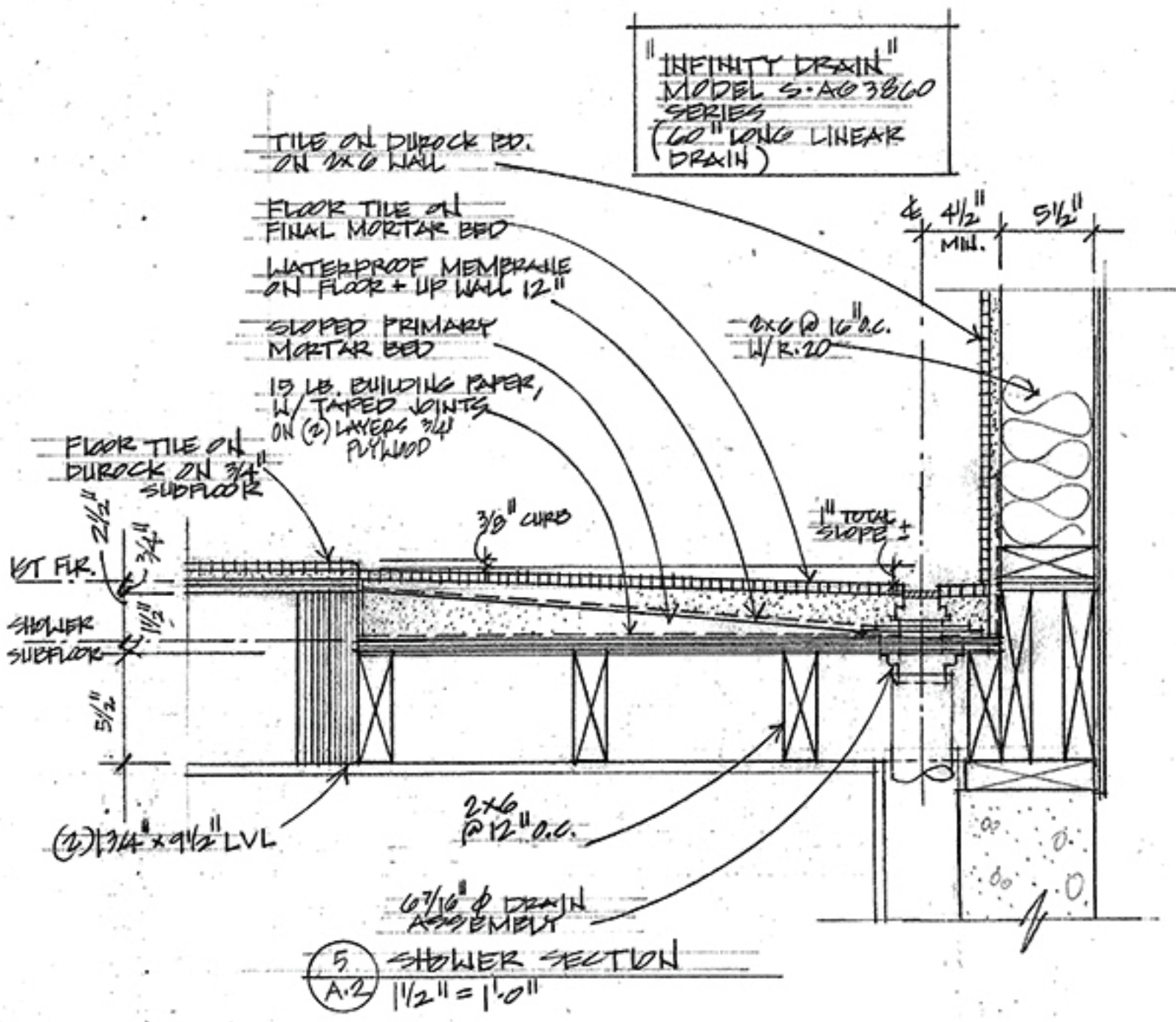
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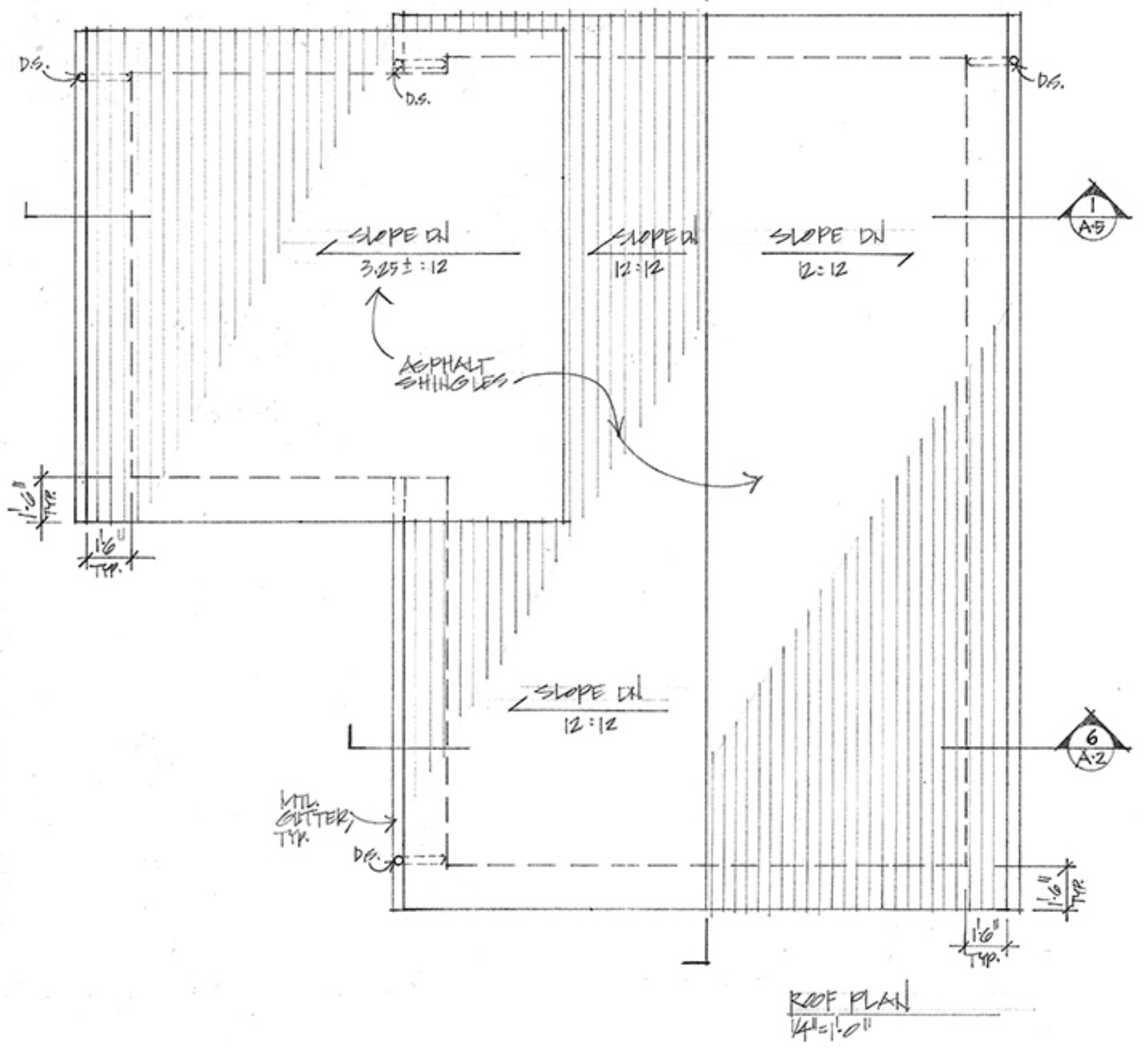
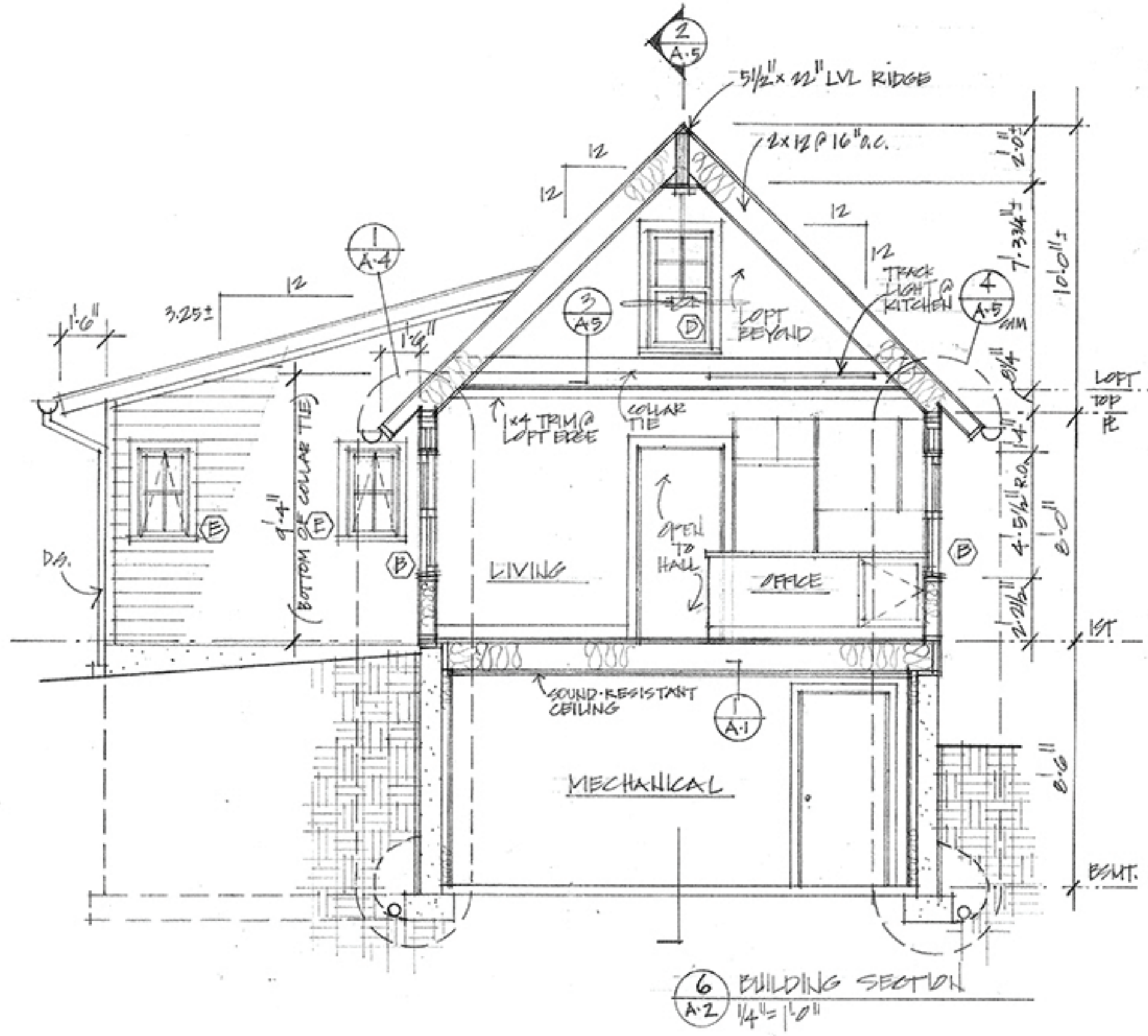
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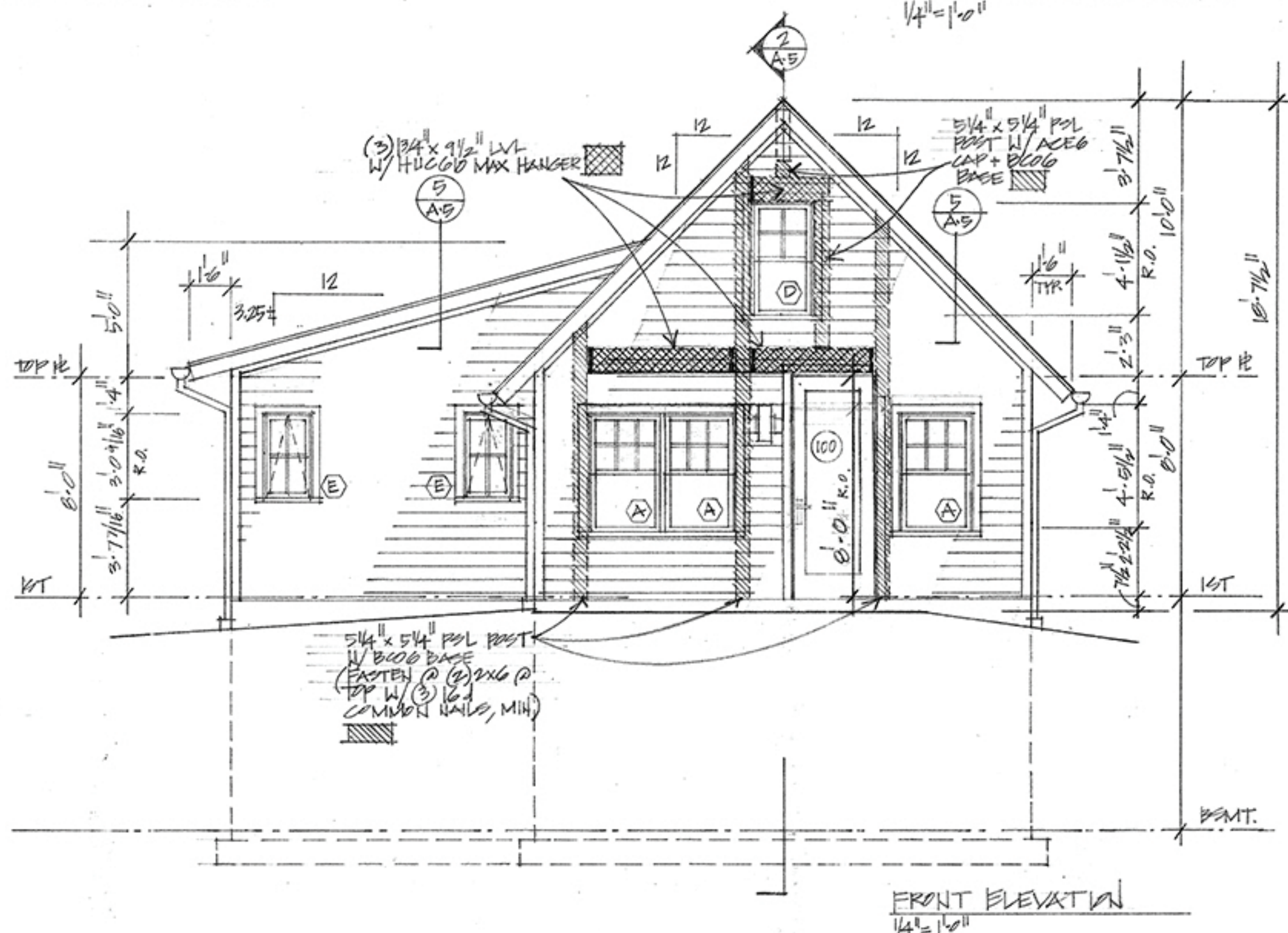
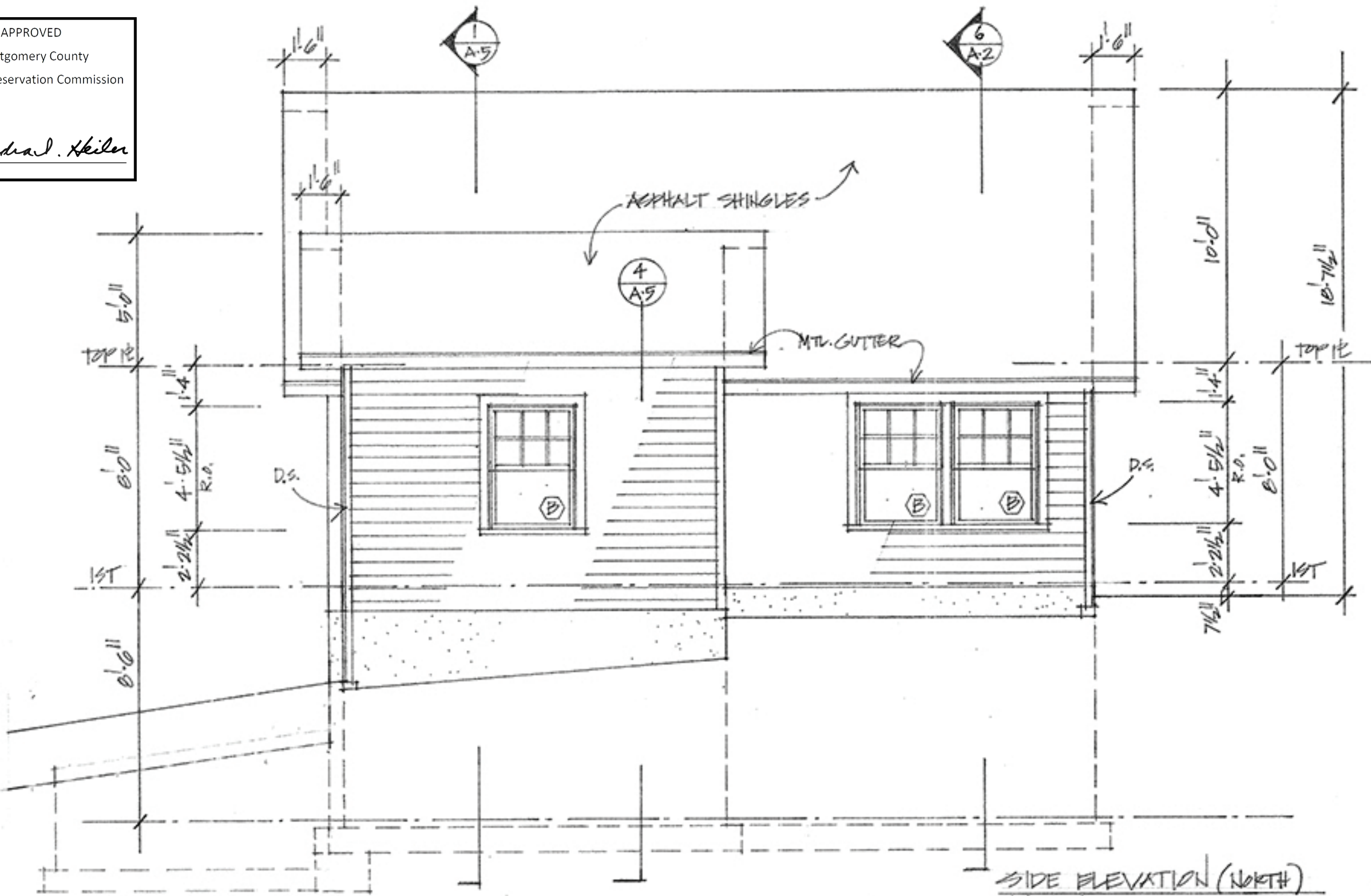
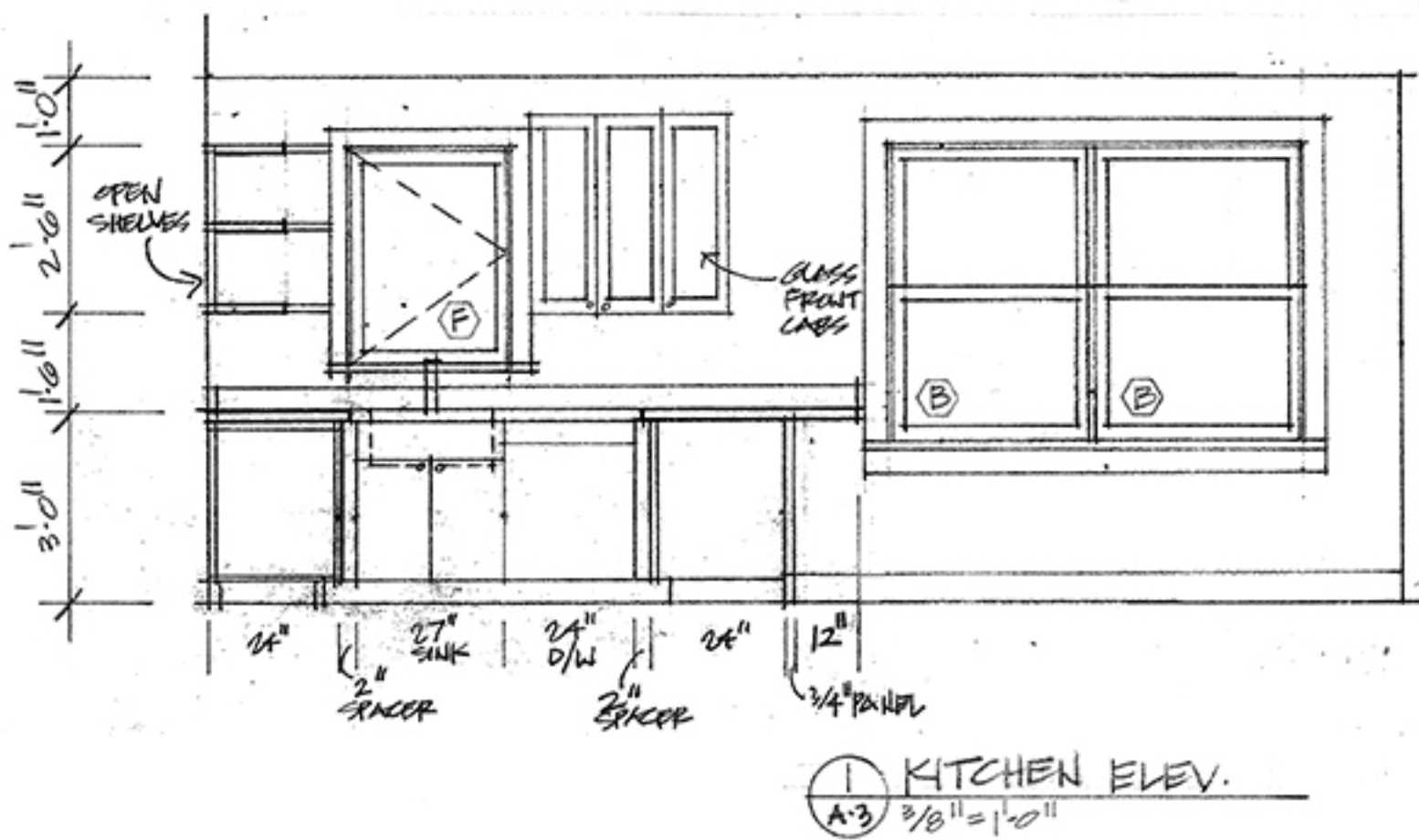
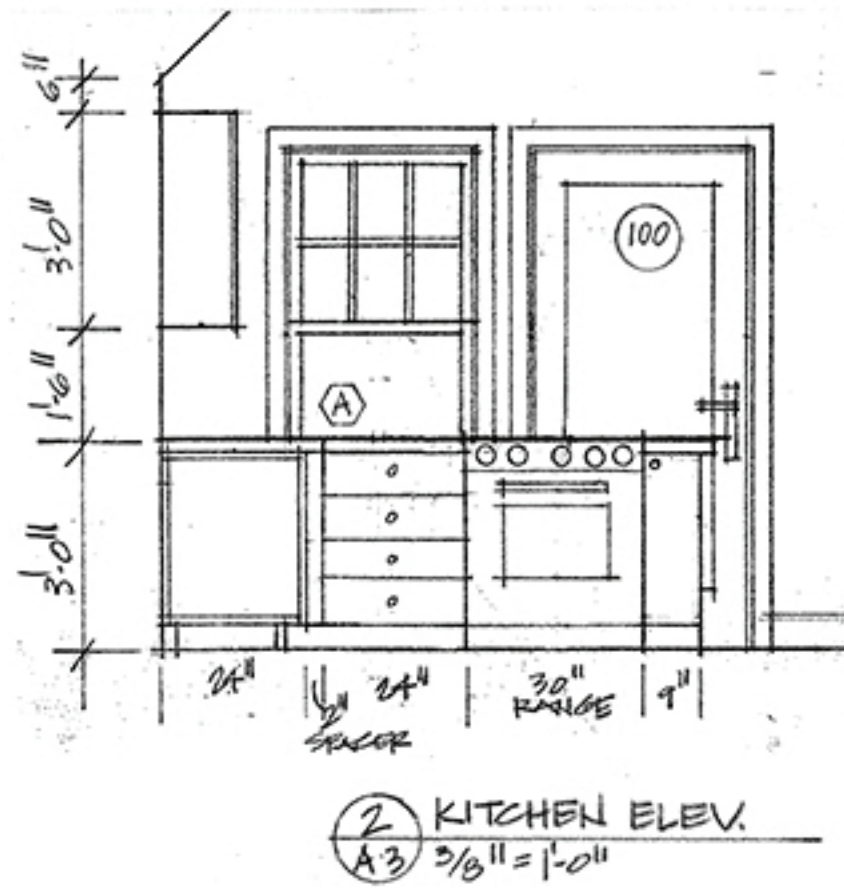
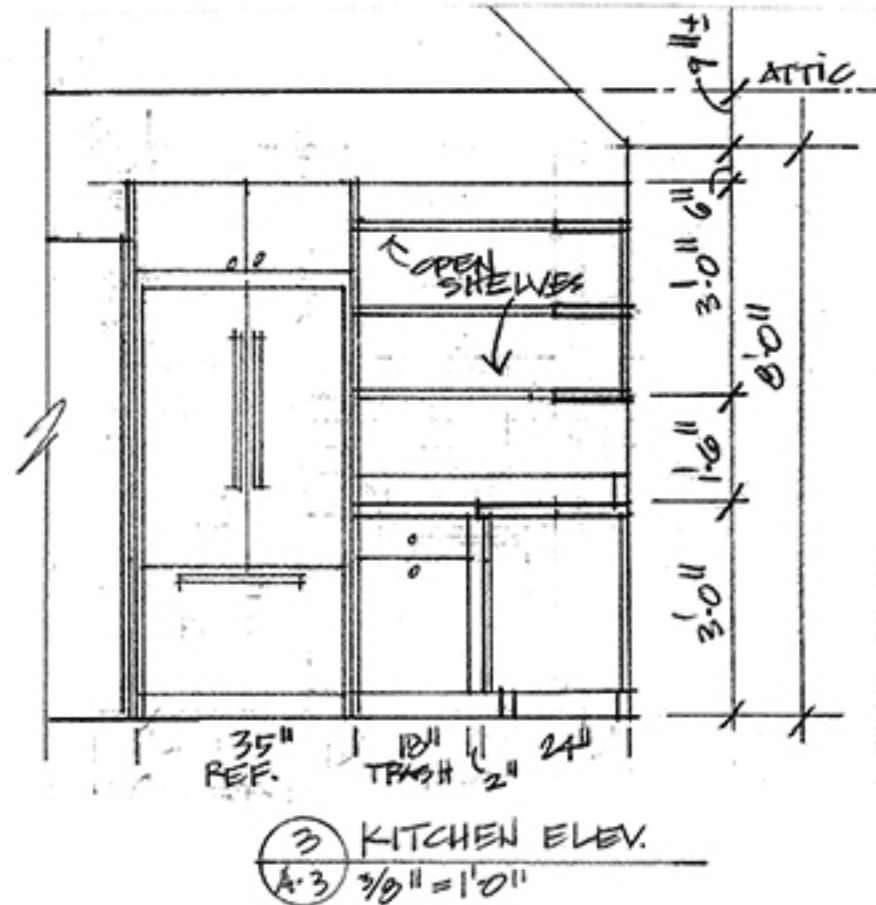
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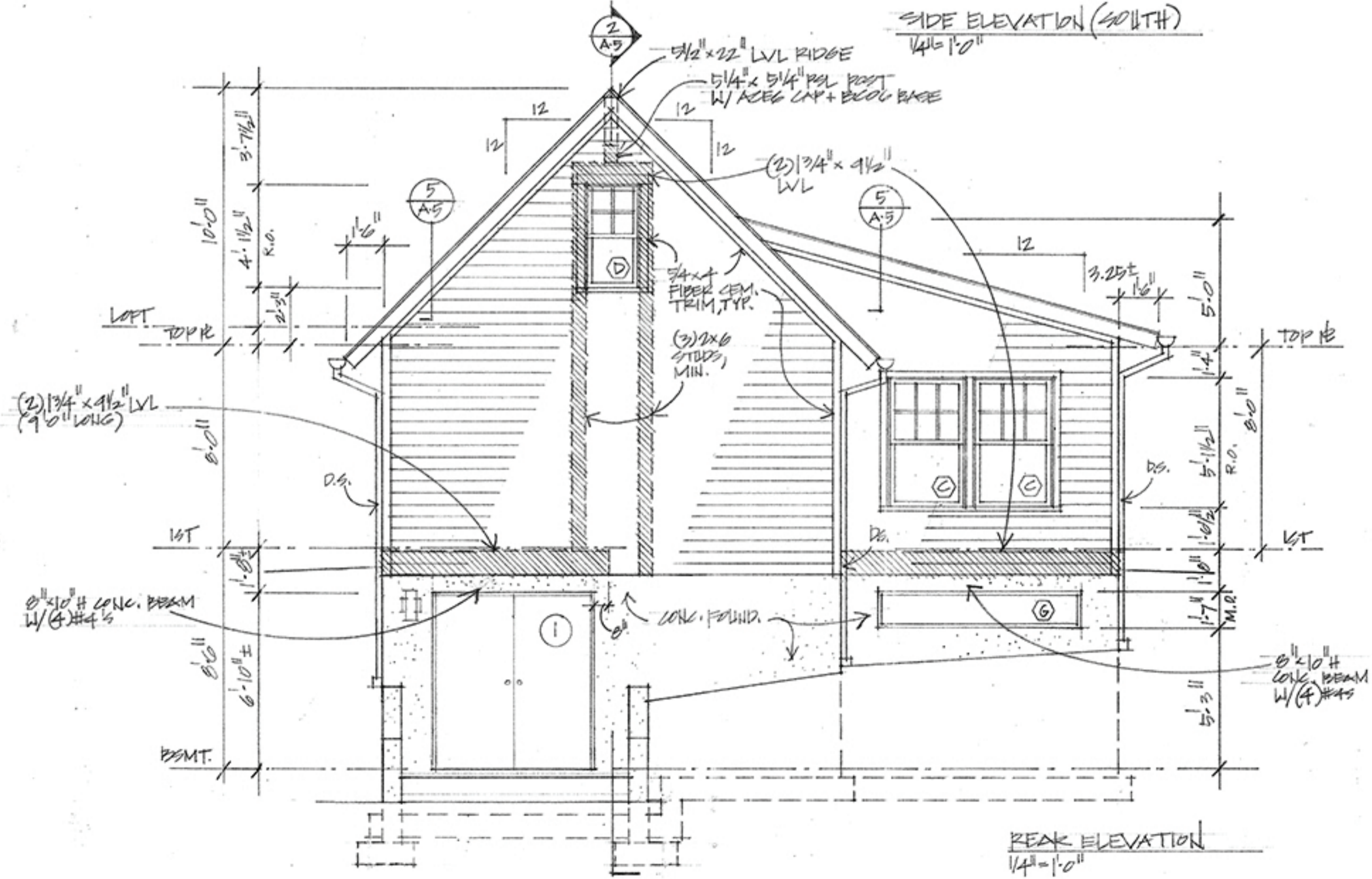
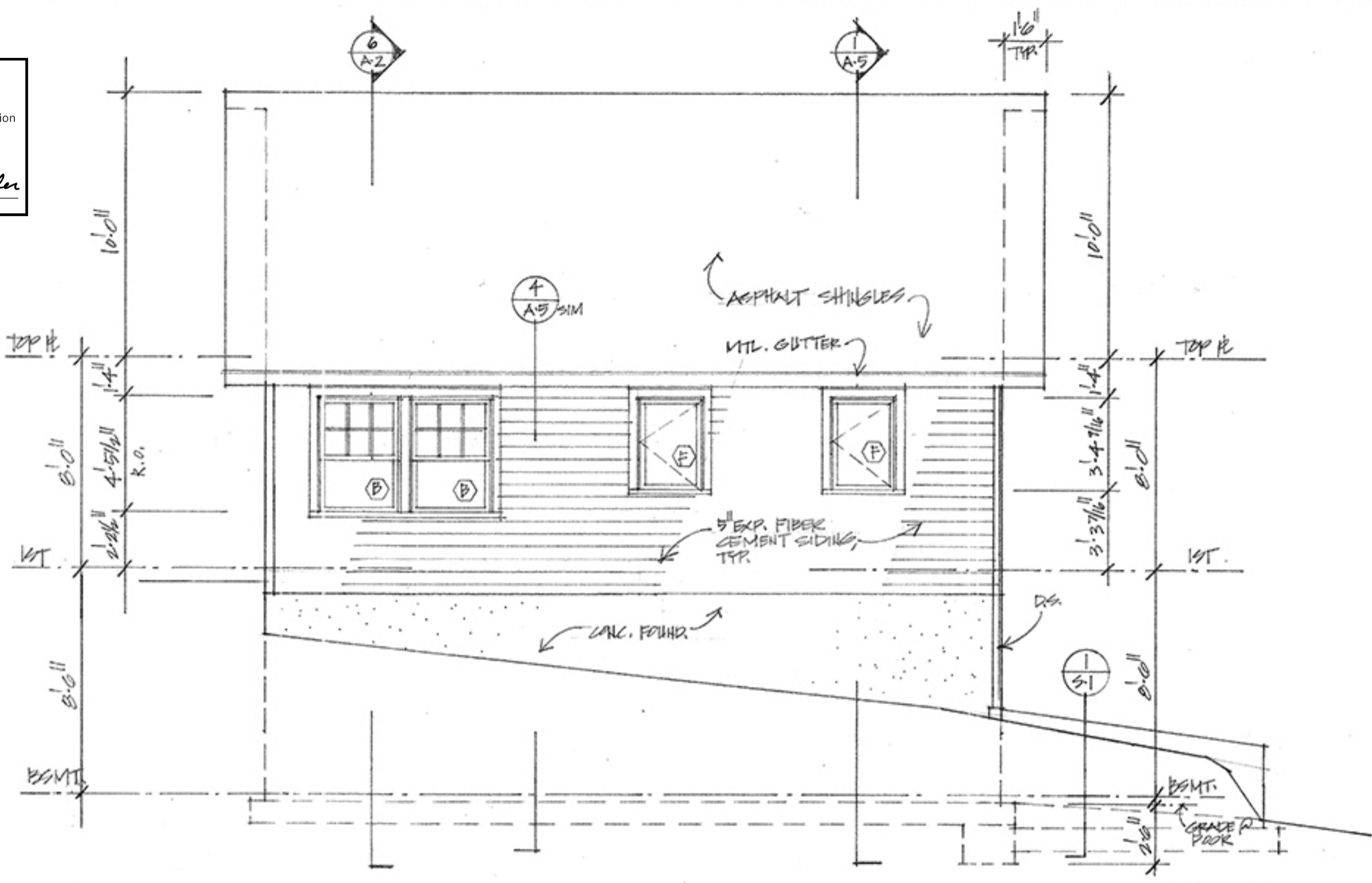
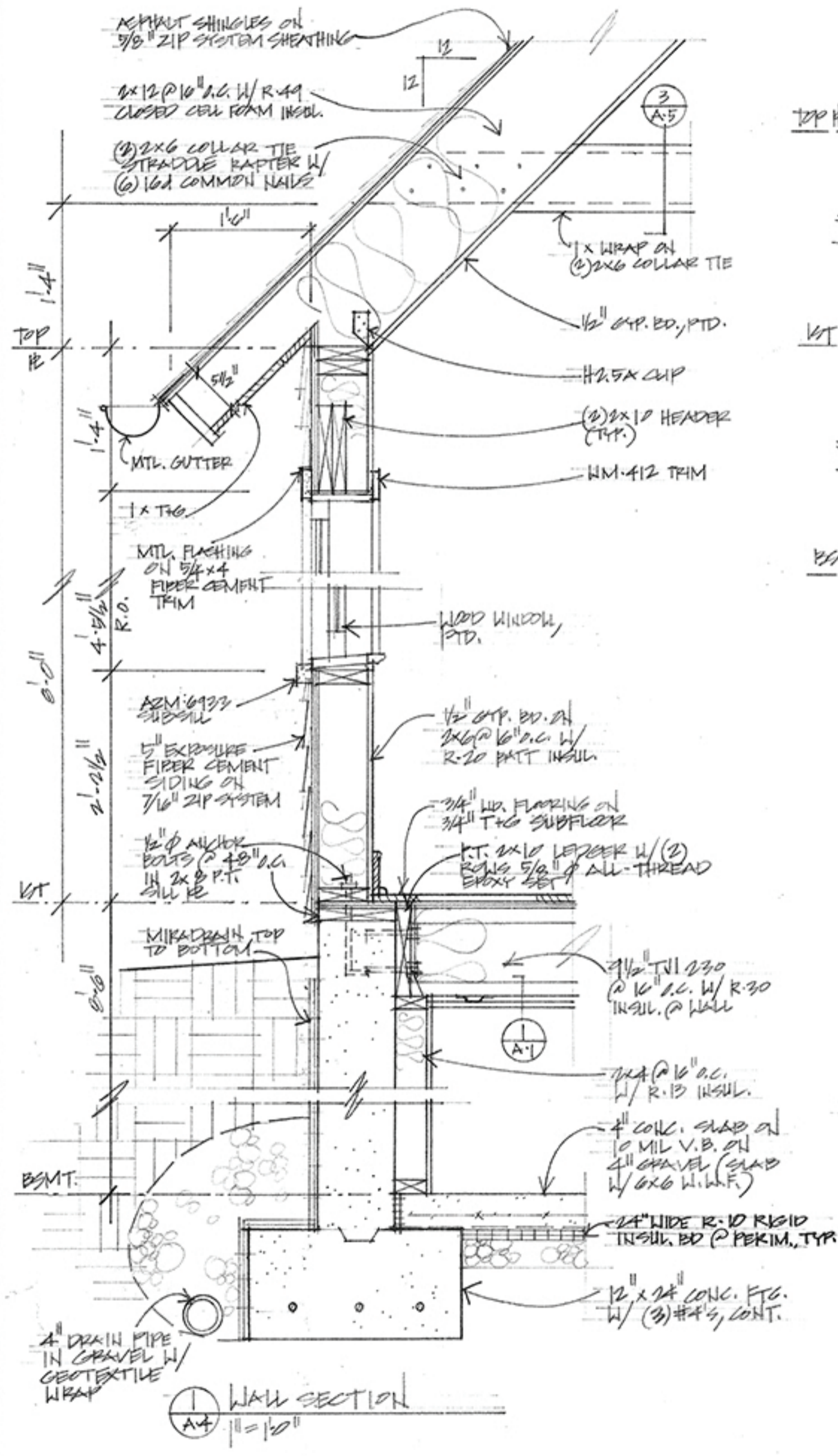
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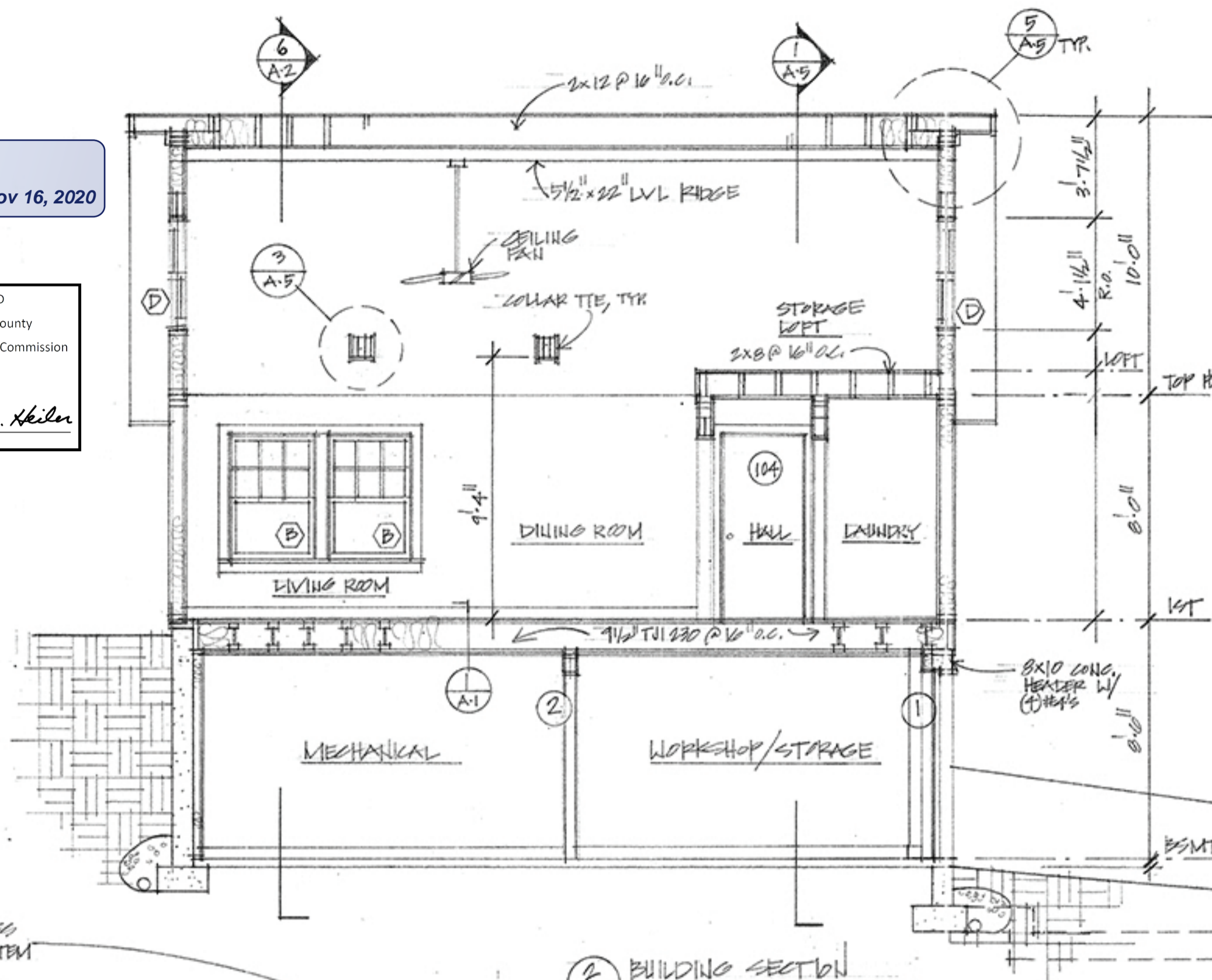
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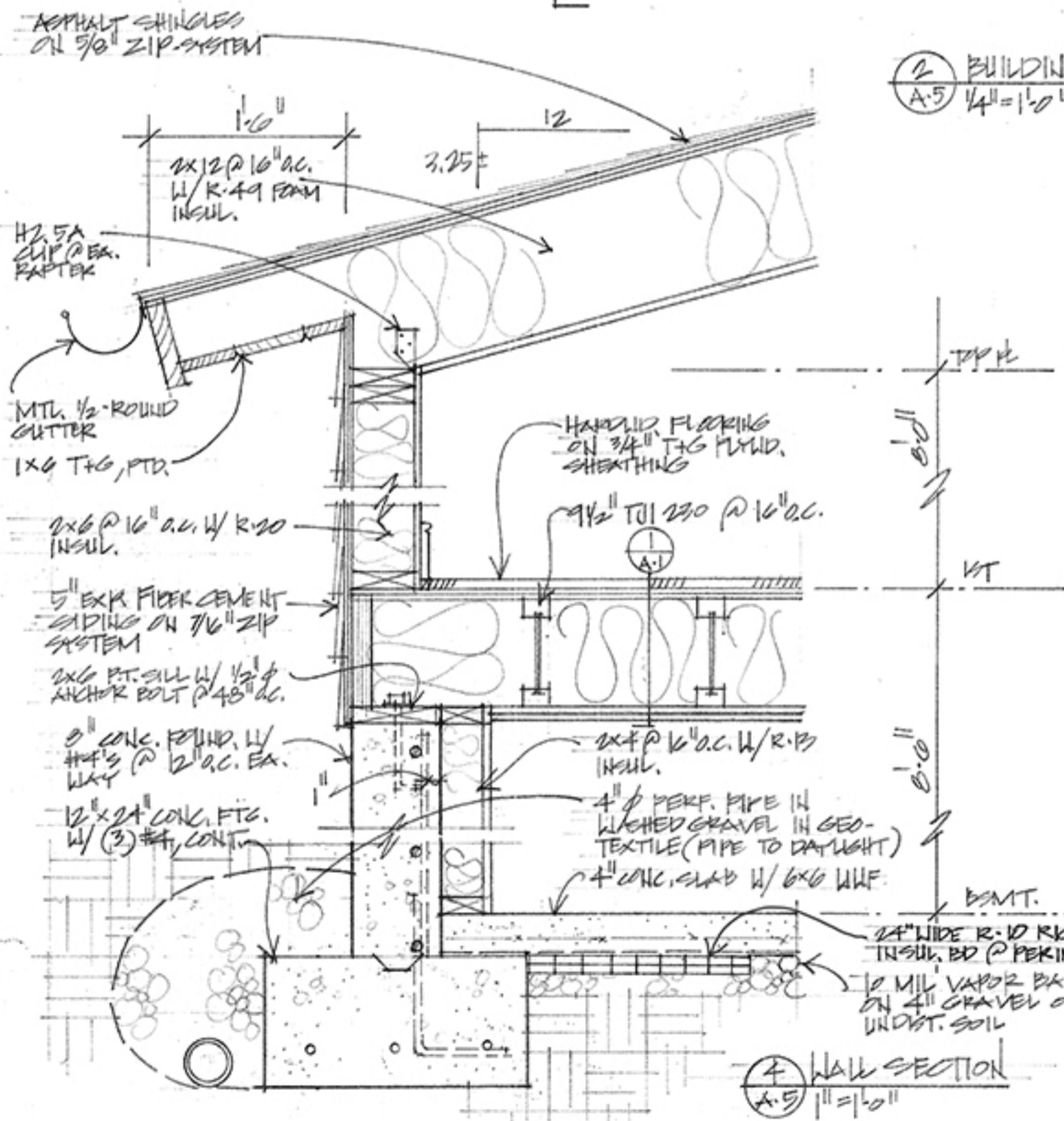
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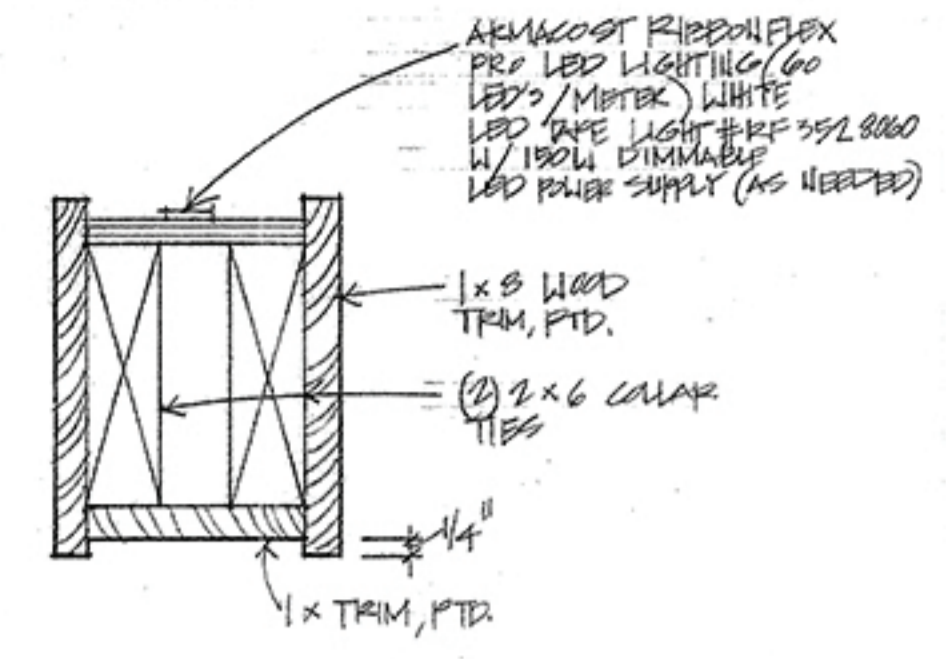
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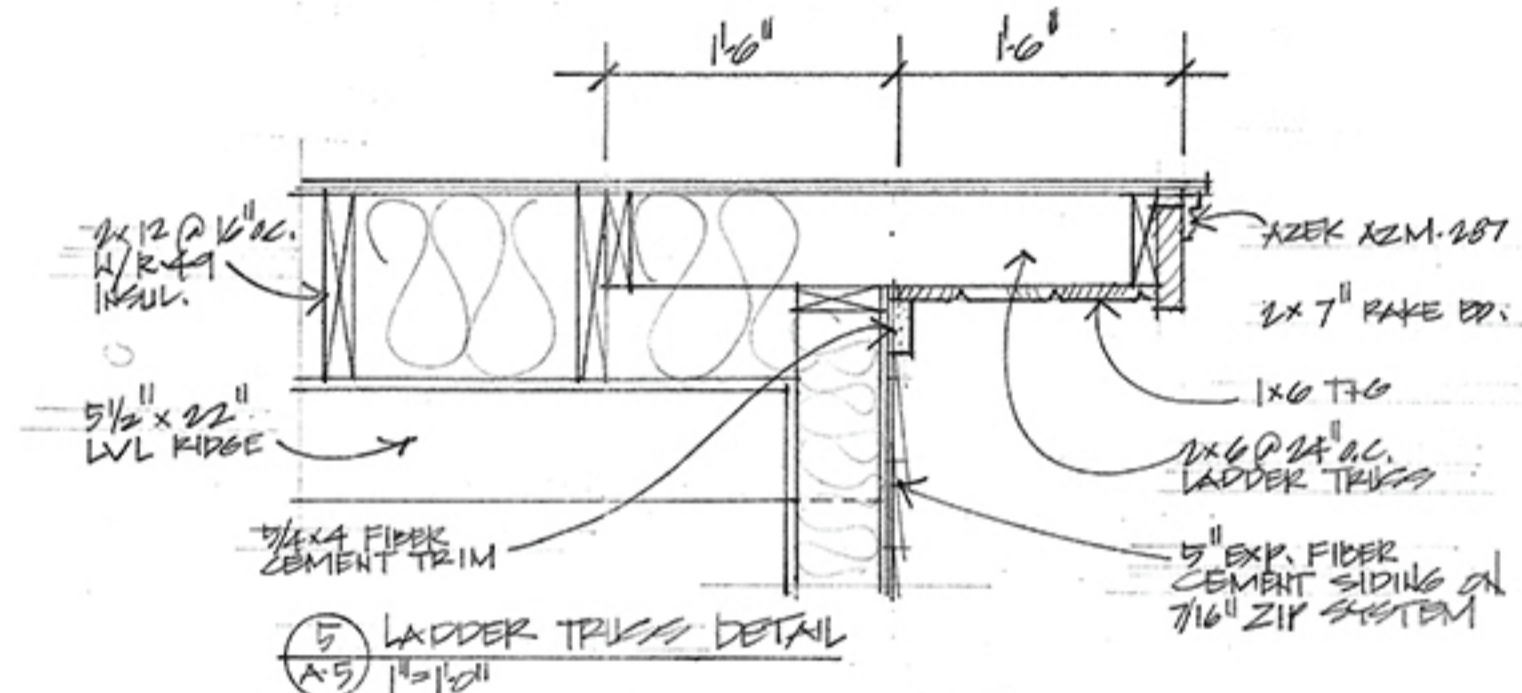
2 BUILDING SECTION
1/4" = 1'-0"



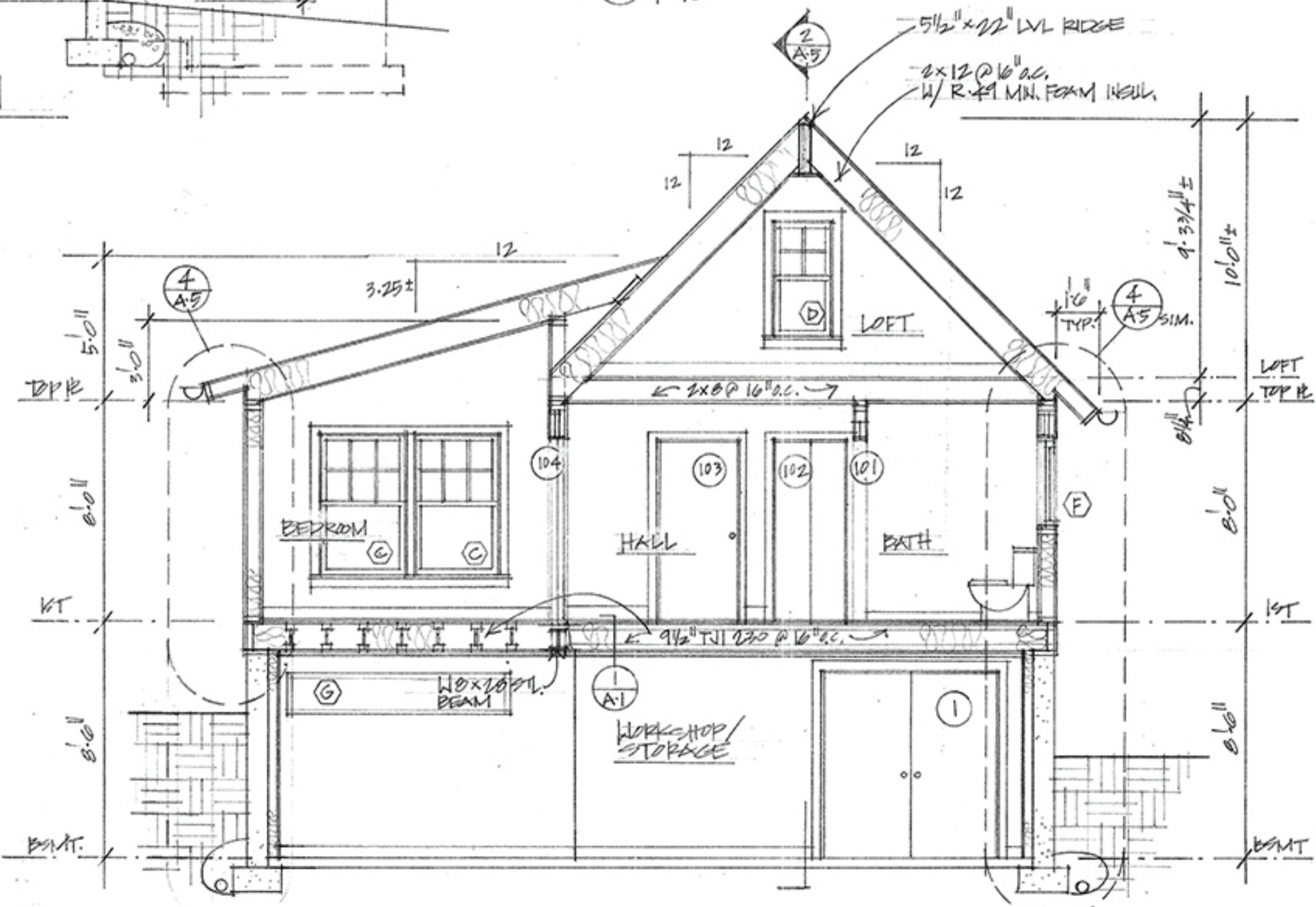
4 WALL SECTION
1/4" = 1'-0"



3 COLLAR TIE DETAIL
3/8" = 1'-0"



5 LADDER TRUSS DETAIL
1/4" = 1'-0"



1 BUILDING SECTION
1/4" = 1'-0"



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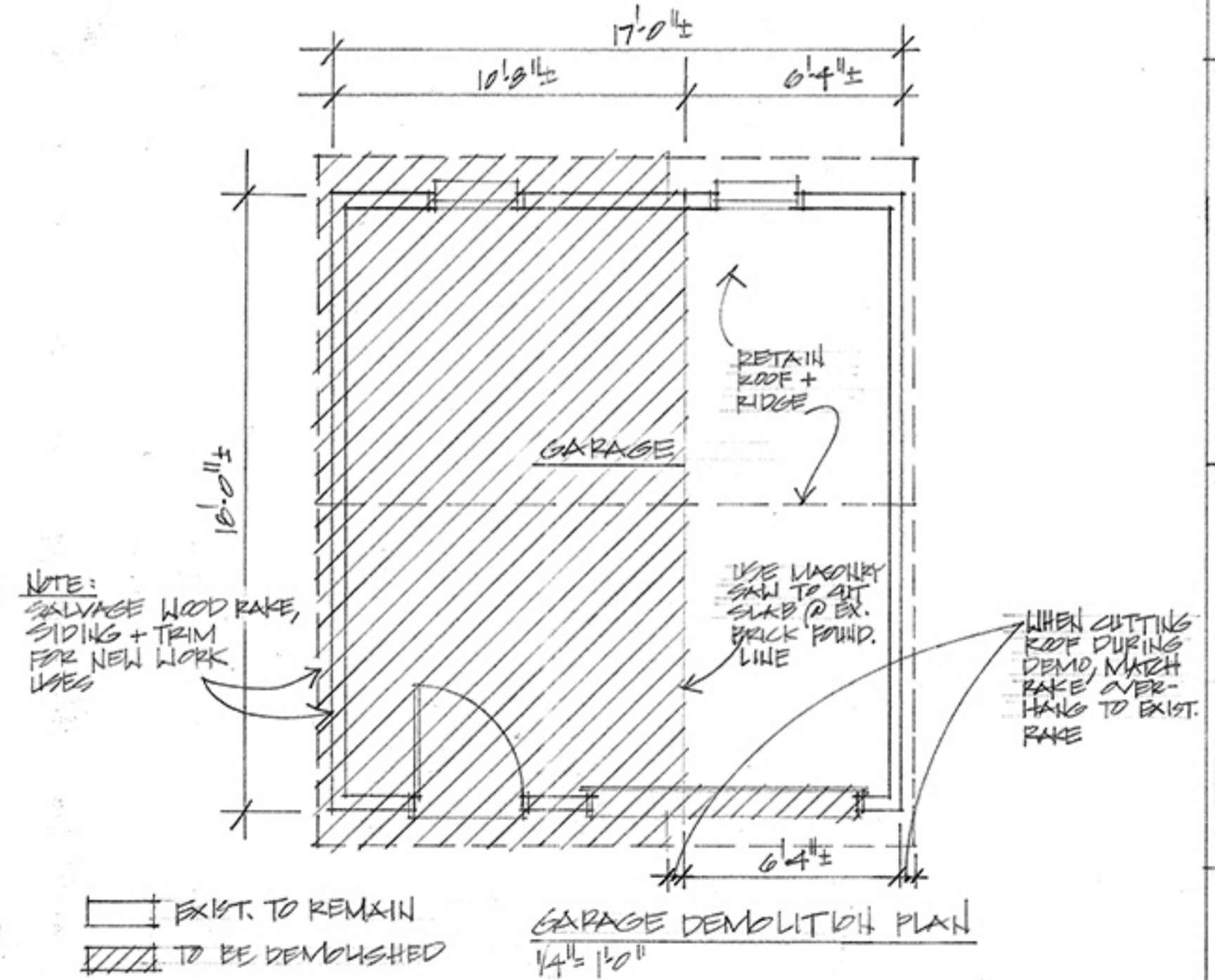
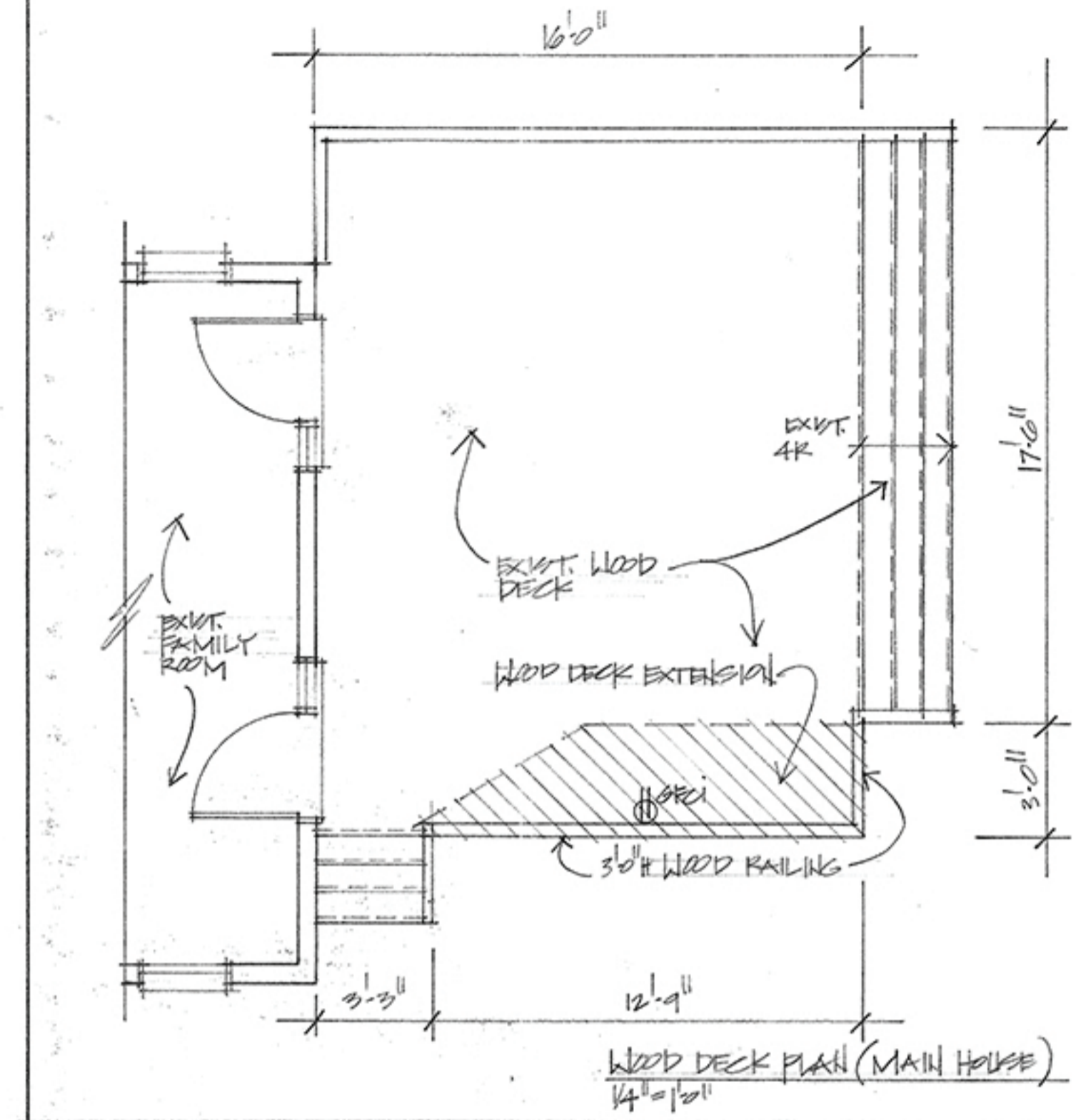
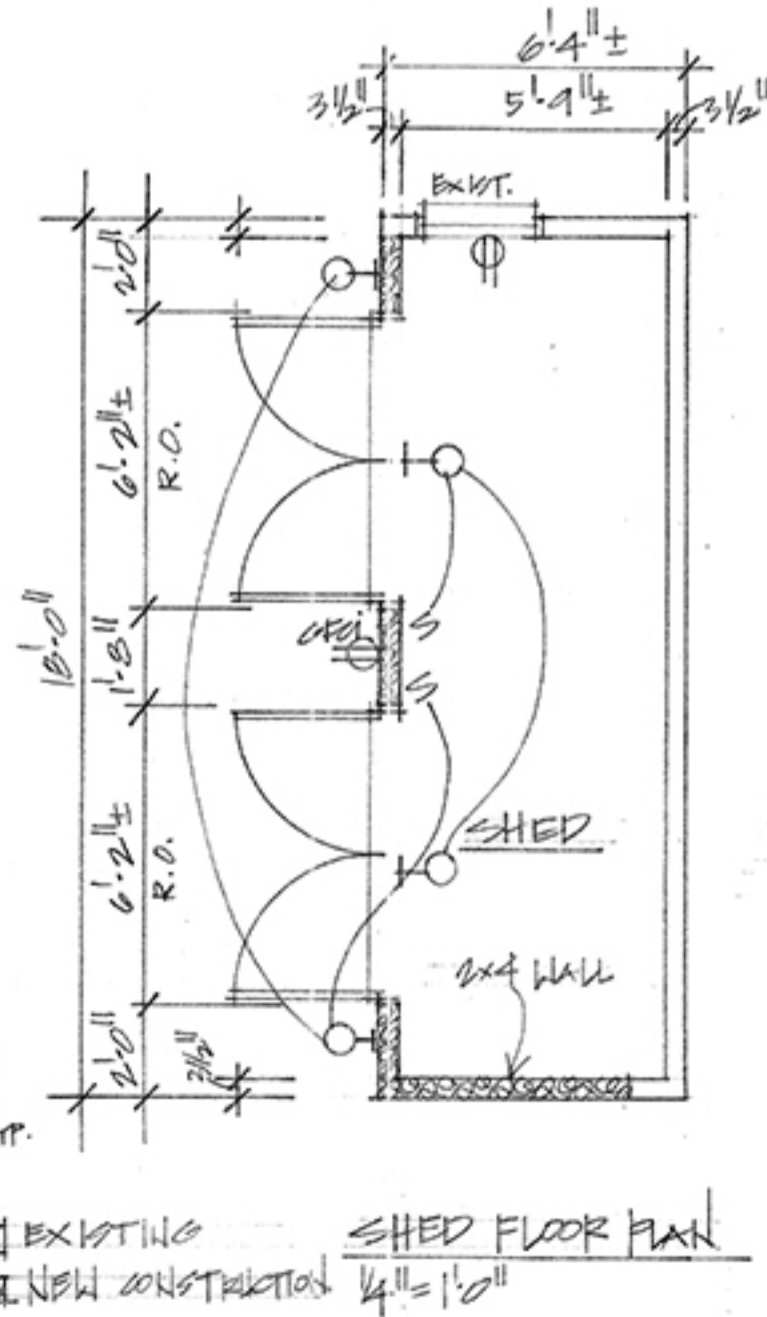
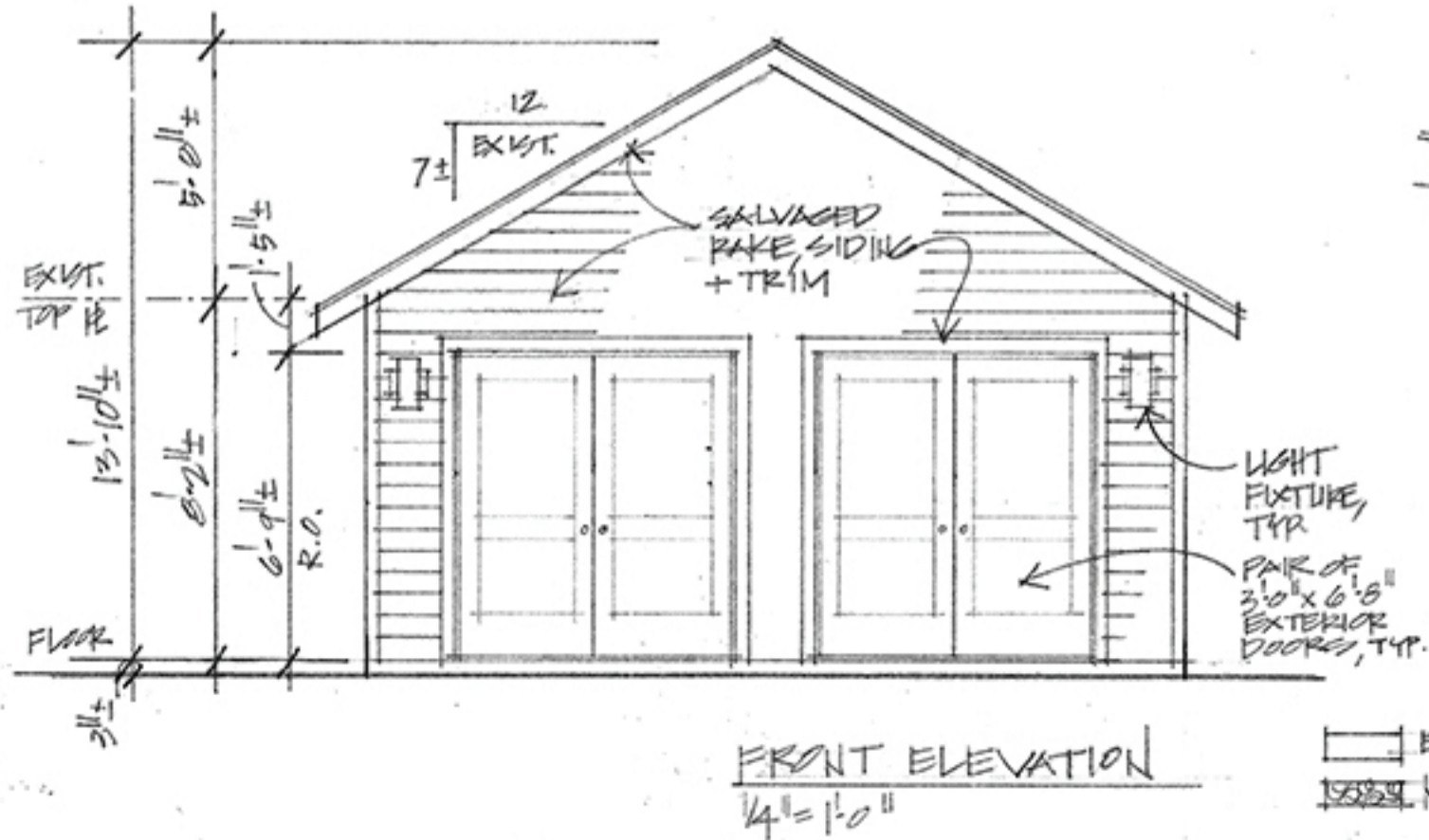
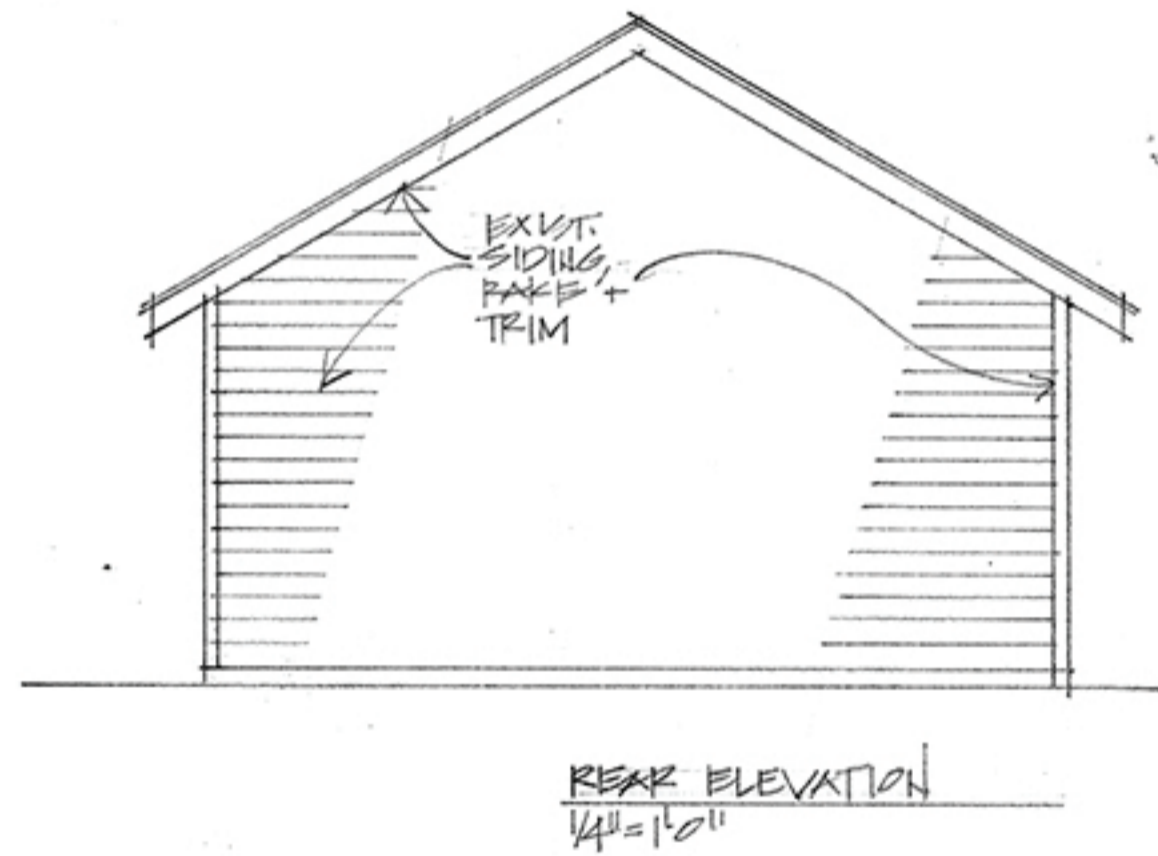
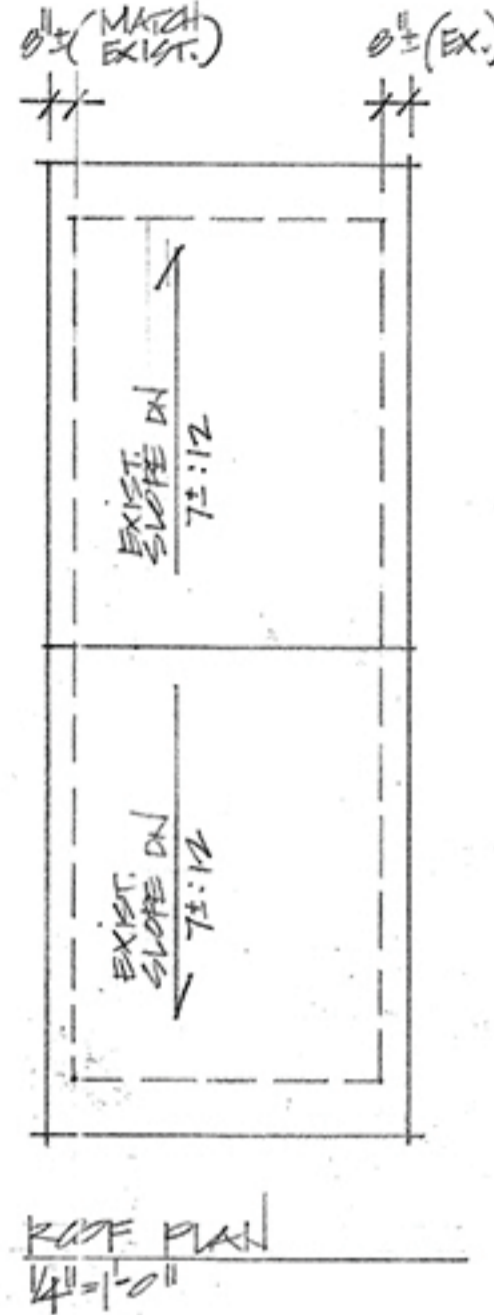
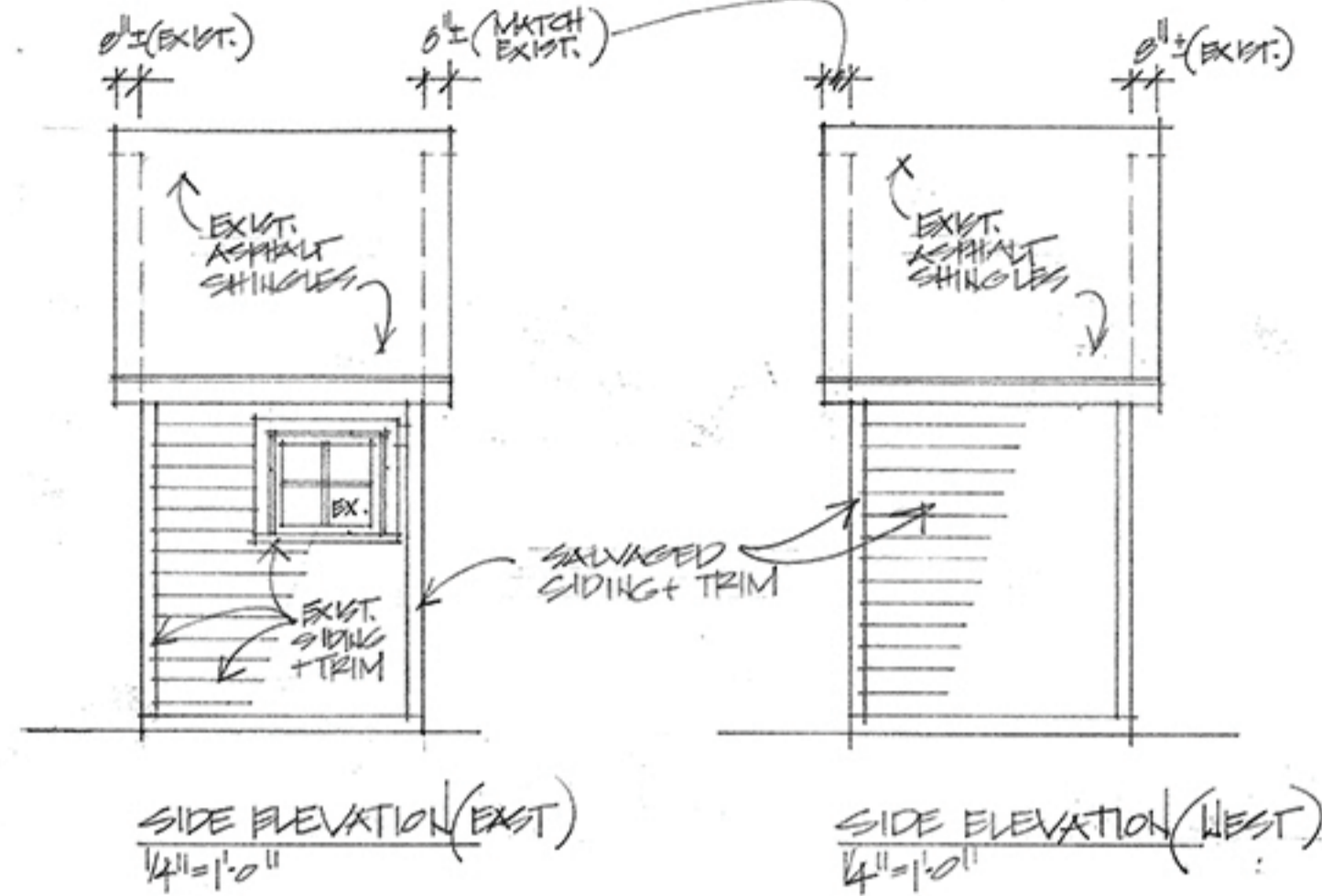
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I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland.
License #: 8221-R, Exp. Date: 7/22/2022

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