



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert K. Sutton
Chairman

Date: September 8, 2023

MEMORANDUM

TO: Rabbiah Sabbakahn
Department of Permitting Services

FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1038875 - Building Addition

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** At the August 16, 2023 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Frank Linn
Address: 10417 Armory Ave., Kensington

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact John Liebertz at 301.598-3400 or winnie.cargill@montgomeryplanning.org to schedule a follow-up site visit.



BLANK SPACE FOR APPROVED STAMPS

CODE ANALYSIS/PROJECT DATA

SCOPE OF WORK: ALTERATION OF 857 SF EXISTING PATIO WITH OPEN FRAME ROOF TO BE REPLACED WITH IMPROVEMENT. WORK INCLUDE PATCHING OF EXISTING WALL AND FLOOR WITH PAINTING. EXISTING FIXED 24 SEATS TO BE LOCATED PER PLAN. WORK TO INCLUDE RELOCATION OF THE ELECTRICAL LIGHTS, NO PLUMBING OR MECHANICAL WORK.

APPLICABLE CODES: Building: IBC 2018 NFPA 2018 Mechanical: IMC 2018 Plumbing: IPC 2018 Electrical: NFPA 2017 70 NEC Handicap Accessibility: ICC/ANSI A117.1 2010

PROJECT

EXISTING PATIO ALTERATION 10417 ARMORY AVE, KENSINGTON, MARYLAND 20895

OWNER

FRANK LINN 10417 ARMORY AVE. KENSINGTON, MARYLAND 20895

ARCHITECTS

CDC DESIGN, LLC. 7903 ECHOLS AVENUE, LANHAM, Maryland 20706

archcdc@aol.com (301) 408 8336 (C)

CONSULTING ENGINEERS

(301) XXX XXXX Mechanical, Plumbing & Electrical

CAD CONSULTANT

CA CONSTRUCTION SOLUTION, LLC. 5202 KIMANNA DR. CENTREVILLE VA. 20120

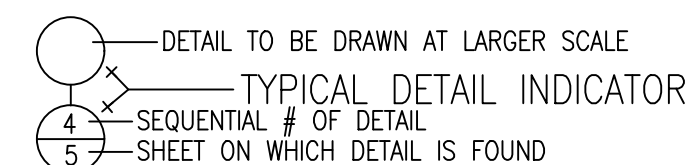
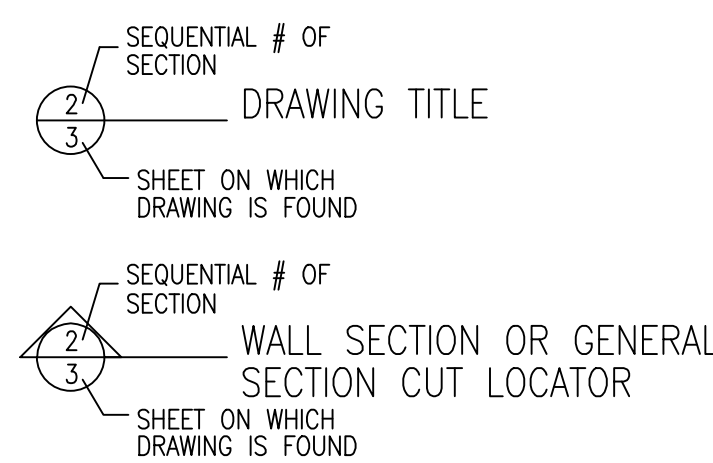
CACONSTRUCTIONSSOLUTION@GMAIL.COM

(240) 593-2318 (C)

DRAWING INDEX

- AO-01 COVER SHEET General notes, Project data, abbreviation drawing symbols & notes
D-1.0 AS BUILT / DEMO. PLAN
A-1.0 AS BUILT/PROPOSED PLANS
A-2.0 AS BUILT/PROPOSED SECTION, ELEVATIONS
F-1.0 FIRE SAFETY PLANS / OCCUPANCY CALCULATION

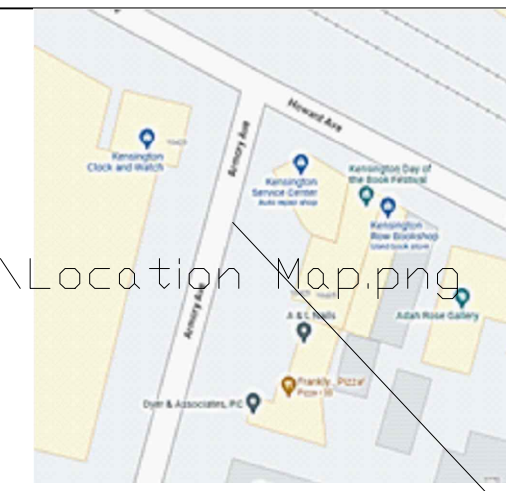
DRAWING AND GRAPHIC SYMBOLS



- EXISTING WALL TO REMAIN
NEW CONSTRUCTION (ALTERATIONS)
INVISIBLE LINES,
BRICK
CONCRETE MASONRY UNITS
CONCRETE (CAST IN PLACE/PRECAST)
INSULATION (BATT TYPE)

- DOOR NUMBER
WINDOW NUMBER
DOOR 90 DEGREE SWING
DOOR 180 DEGREE SWING
WALL TYPE

PROJECT LOCATION MAP



VICINITY MAP NOT TO SCALE PROJCT SITE

GENERAL NOTES

- 1. ALL WORK PERFORMED SHALL COMPLY WITH INTERNATIONAL BUILDING AND CODE ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS.
2. ON SITE VERIFICATIONS OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. NOTED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
4. GENERAL NOTES AND TYPICAL DETAILS APPLY THROUGHOUT THE JOB UNLESS OTHERWISE SHOWN.
5. SHOULD THE CONTRACTOR FIND ANY ERROR, AMBIGUITIES AND/OR OMISSIONS IN THE DRAWINGS AND NOTES, OR SHOULD HE BE IN DOUBT AS TO THEIR MEANING HE SHOULD PROMPTLY NOTIFY THE OWNER AND THE ARCHITECT BEFORE ANY PART OF THE WORK INVOLVED IS STARTED. THE CONTRACTOR SHOULD PROCEED ONLY UPON CLARIFICATION FROM THE OWNER AND THE ARCHITECT.
6. THE OWNER WITHOUT INVALIDATING THE CONTRACT MAY ORDER CHANGES IN WORK CONSISTING OF ADDITIONS, DEMOLITION, OR MODIFICATIONS. THE CONTRACT SUM AND TIME BEING ADJUSTED ACCORDINGLY. ALL CHANGES SHALL BE AUTHORIZED IN WRITING BY THE OWNER AND THE ARCHITECT ANY COST OR CREDIT TO THE OWNER FROM A CHANGE IN WORK SHALL BE DETERMINED BY MUTUAL AGREEMENT.
7. ALL DOOR AND WINDOW DIMENSIONS ARE NOMINAL AND SHALL BE COORDINATED WITH OTHER WORK BY CONTRACTORS, SUBCONTRACTORS, AND MANUFACTURER PRIOR TO FABRICATION AND CONSTRUCTION.
8. DIMENSIONS INDICATED MAY VARY FROM SCALED DRAWINGS.
9. OVERALL DIMENSIONS TAKE PRECEDENCE OVER DIMENSIONING DISCREPANCIES ARISING OUT OF THE USE OF NOMINAL AND ACTUAL DIMENSIONS. ADJUST UNIT DIMENSIONS ACCORDINGLY TO ACHIEVE ESTABLISHED ELEVATIONS. SHIM AS REQUIRED.
10. ALL ELECTRICAL WORK TO BE PERFORMED BY LICENSED ELECTRICAL CONTRACTOR. THE CONTRACTOR TO OBTAIN REQUIRED ELECTRICAL PERMIT BEFORE STARTING ANY ELECTRICAL WORK.

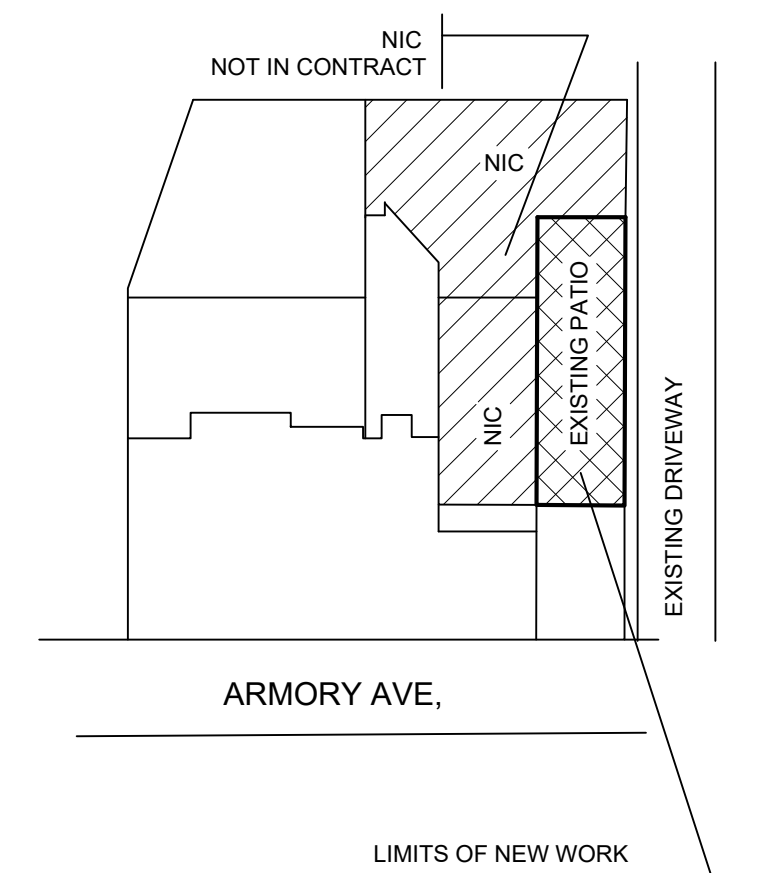
ABBREVIATIONS

Table listing abbreviations such as AFF (Above Finish Floor), BLKG (Blocking), BLDG (Building), etc., with their corresponding full names.

BLANK SPACE FOR APPROVED STAMPS



REVIEWED By Dan.Bruechert at 1:45 pm, Sep 08, 2023



EXISTING PATIO ALTERATION 10417 ARMORY AVE, KENSINGTON, MARYLAND 20895

CDC DESIGN, LLC.

DESIGN & CONSTRUCTION MANAGEMENT ARCHITECTS 7903 ECHOLS AVE, LANHAM, MARYLAND 20706

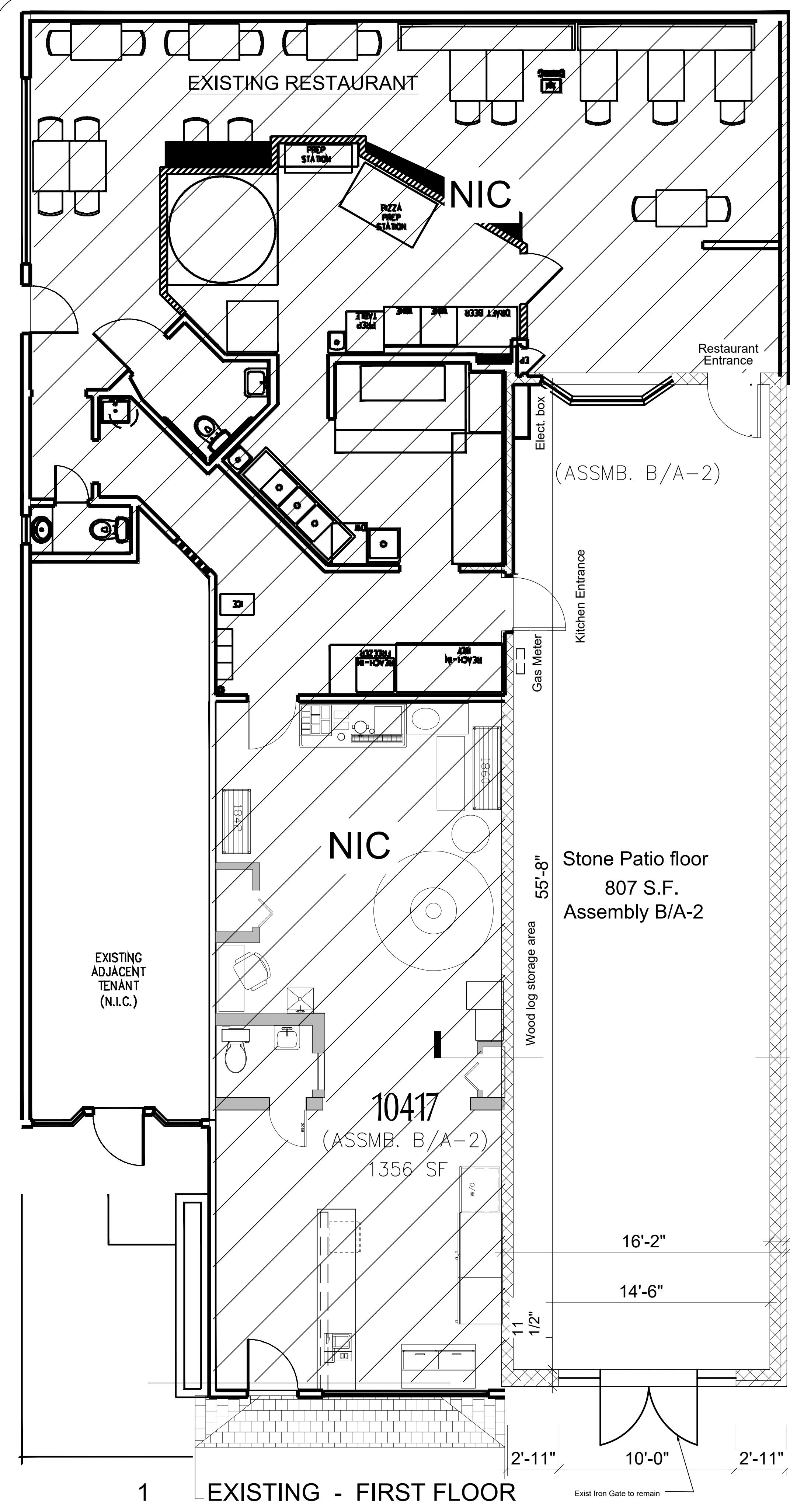
(301) 773 3000



PROFESSIONAL CERTIFICATION

I Certify that these documents were prepared or approved by me, and that I am a duly licensed Architect under the laws of the State of Maryland license number 8941, expiration date 02-21-2024

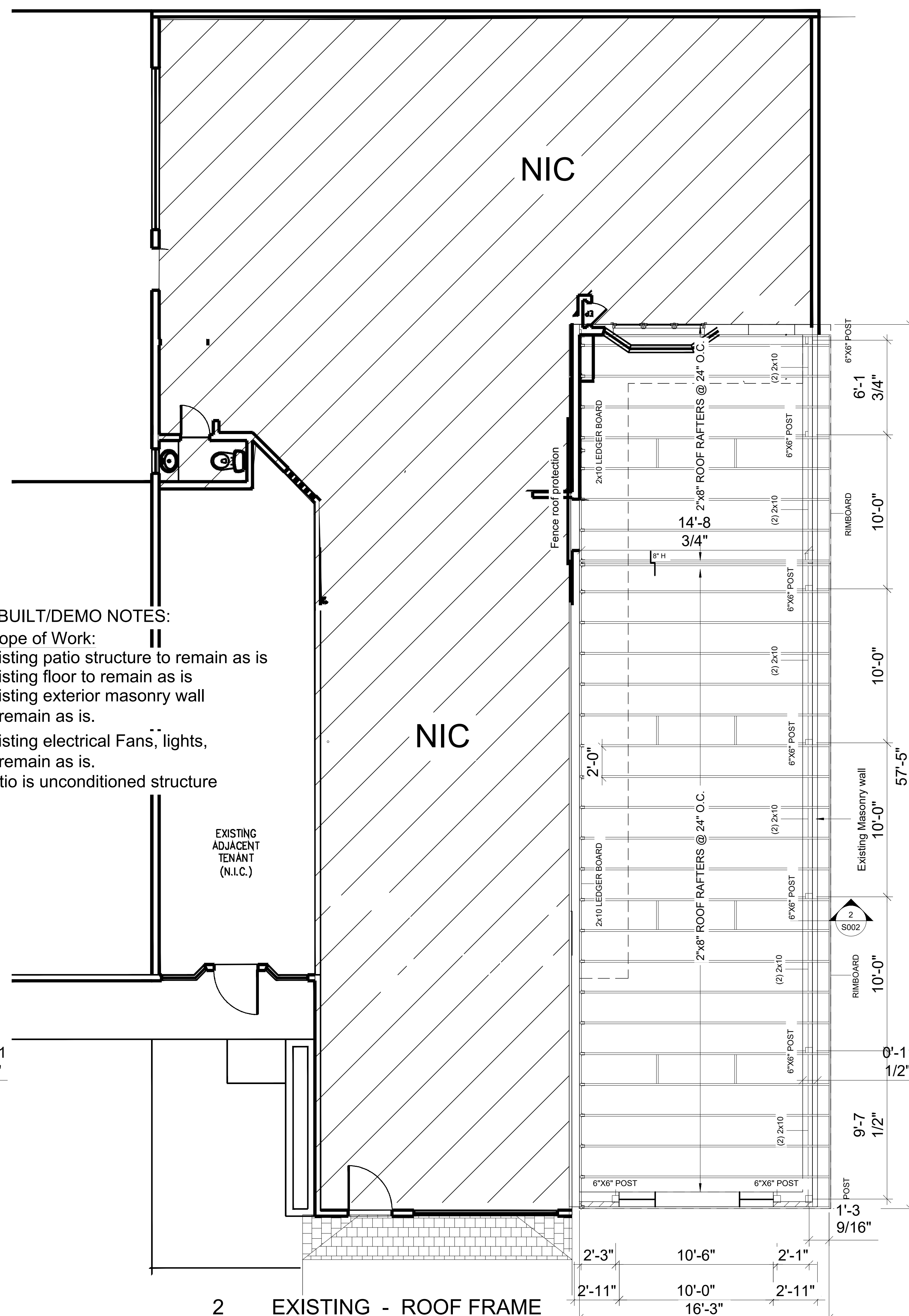
Table with columns for Drawing No. (A-0.01), Sheet Title (COVER SHEET, PROJECT DATA, DWG. INDEX, DEMO PLANS), Project No. (A023-014), Mark, Revisions, and Date.



1 EXISTING - FIRST FLOOR

A-1.0 SCALE: 1/4" = 1'-0"

AS BUILT/DEMO NOTES:
 Scope of Work:
 Existing patio structure to remain as is
 Existing floor to remain as is
 Existing exterior masonry wall to remain as is.
 Existing electrical Fans, lights, to remain as is.
 Patio is unconditioned structure



2 EXISTING - ROOF FRAME

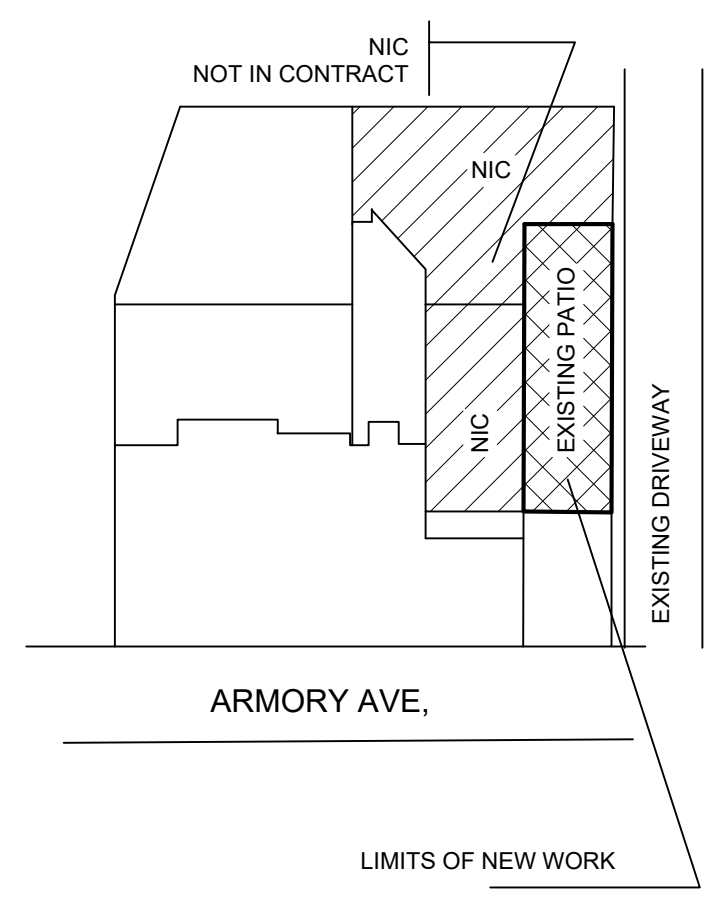
A-1.0 SCALE: 1/4" = 1'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature]

REVIEWED
 By Dan.Bruechert at 1:46 pm, Sep 08, 2023

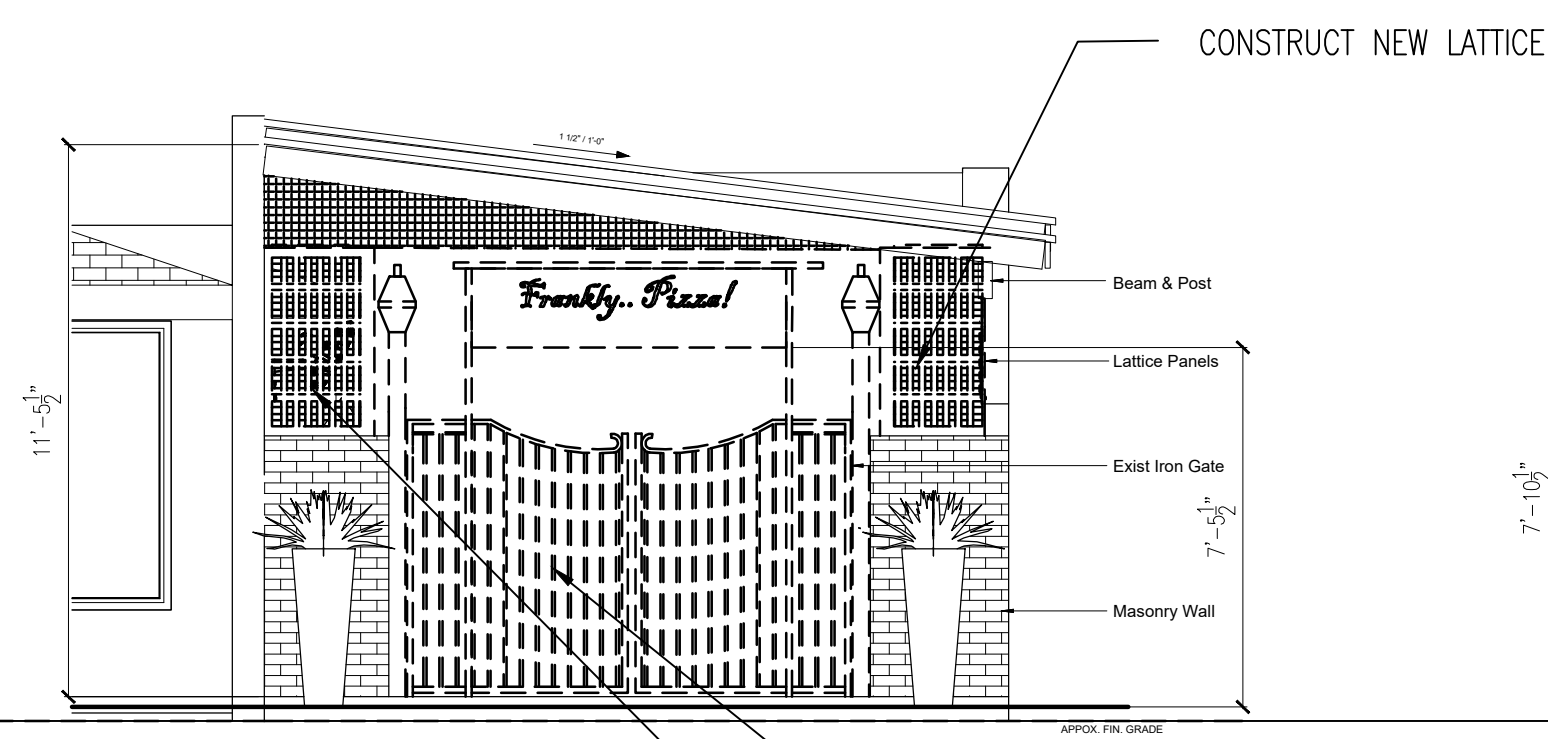


PROFESSIONAL CERTIFICATION
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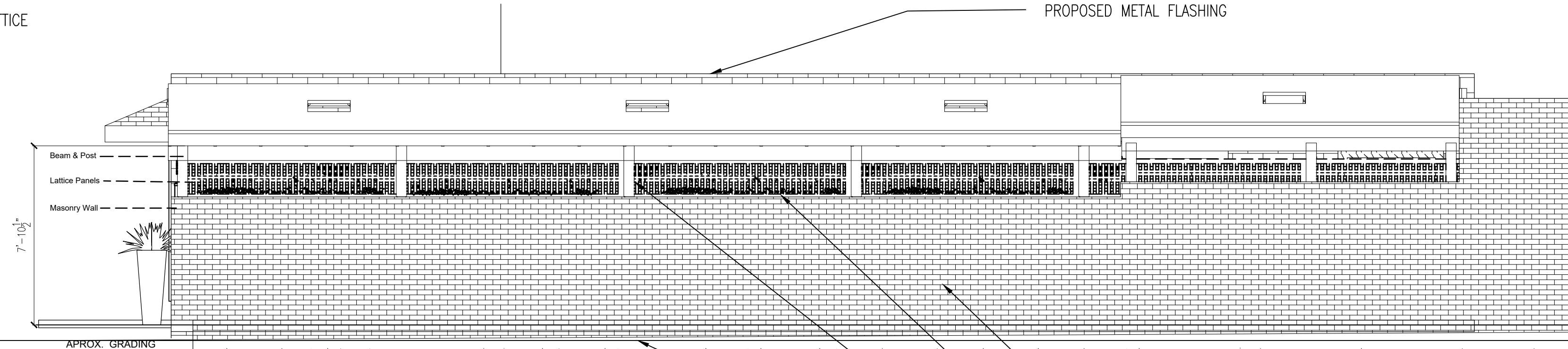
EXISTING PATIO ALTERATION
 10417 ARMORY AVE, KENSINGTON, MARYLAND 20895
CDC DESIGN, LLC.
 DESIGN & CONSTRUCTION MANAGEMENT ARCHITECTS
 7903 ECHOLS AVE, LANHAM, MARYLAND 20706

DRAWING NO. A-1.0 SHEET 00 OF 00	SHEET TITLE: AS BUILT/ PROPOSED PLANS	PROJECT NO. A023-014	MARK	REVISIONS	DATE
	DATE: 07/11/23 SCALE: AS SHOWN DRAWN BY: JC OWEN				



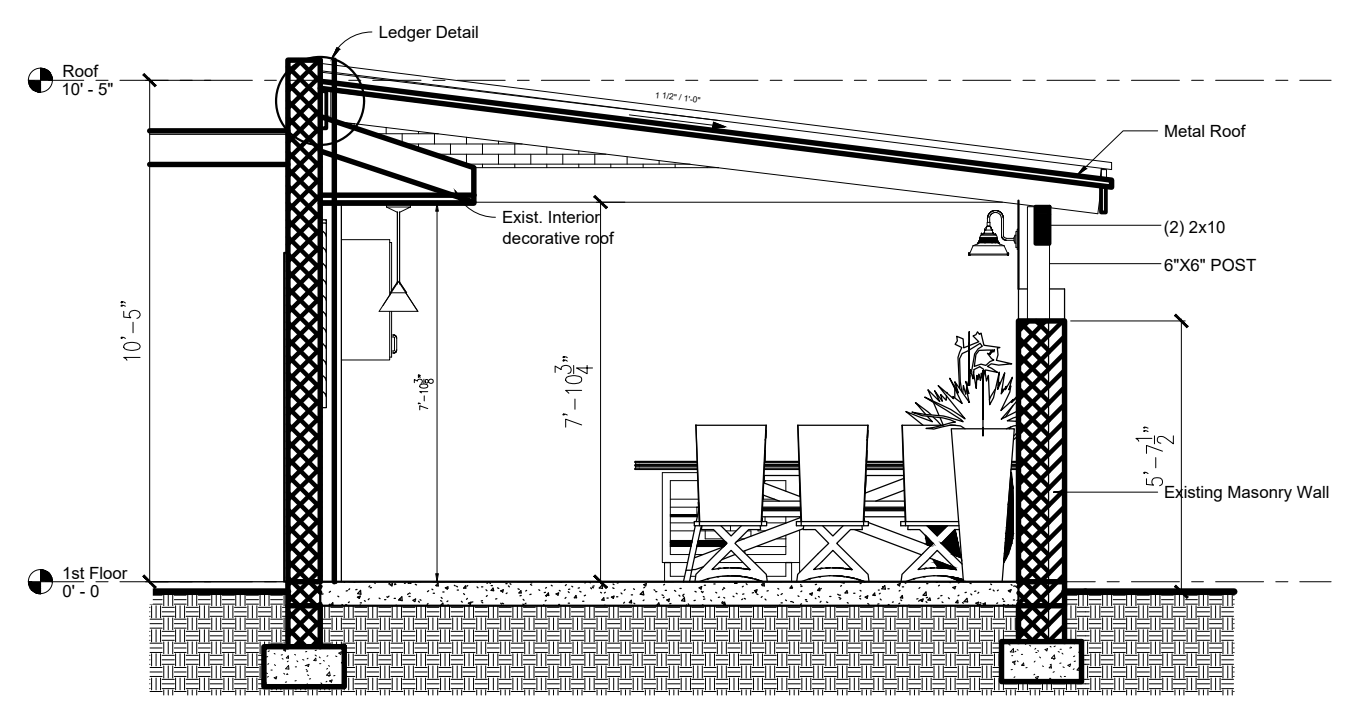
EXISTING METAL GATE TO REMAIN
CONSTRUCT NEW LATTICE

1 PROPOSED - FRONT ELEVATION
A-2.0 SCALE: 1/4" = 1'-0"

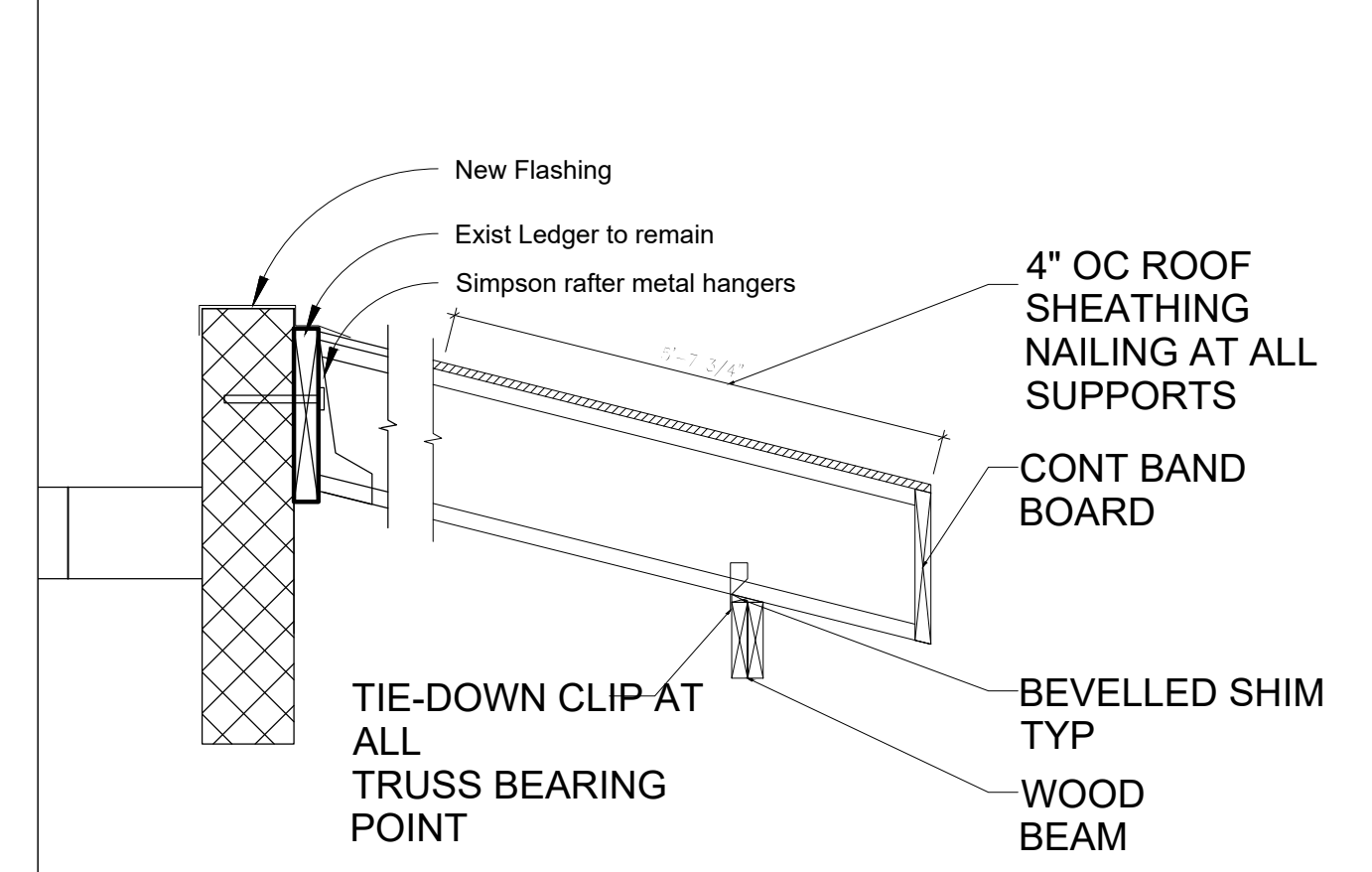


EXISTING MASONRY WALL
PROPOSED LATTICE PANEL
PROPOSED 6X6 POST
EXISTING GRADE

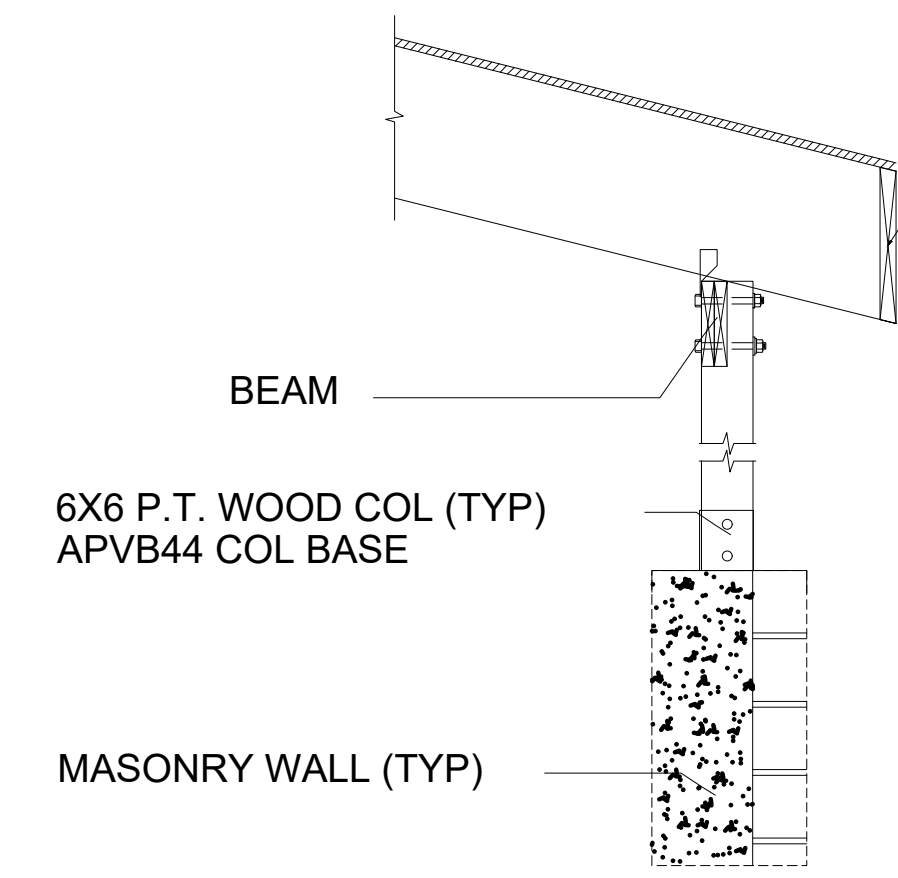
2 PROPOSED - RIGHT ELEVATION
A-2.0 SCALE: 1/4" = 1'-0"



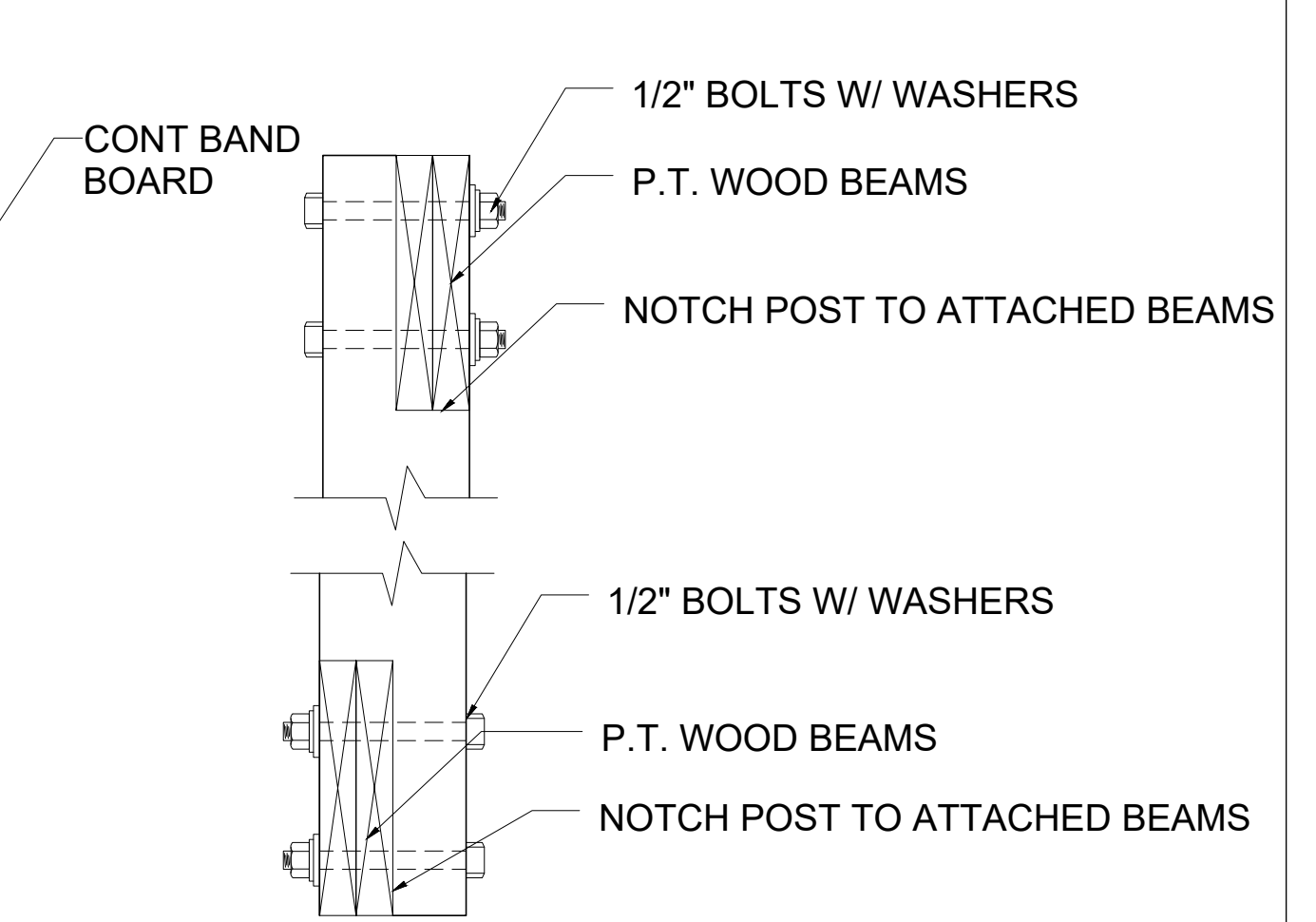
3 PROPOSED - SECTION
A-2.0 SCALE: 1/4" = 1'-0"



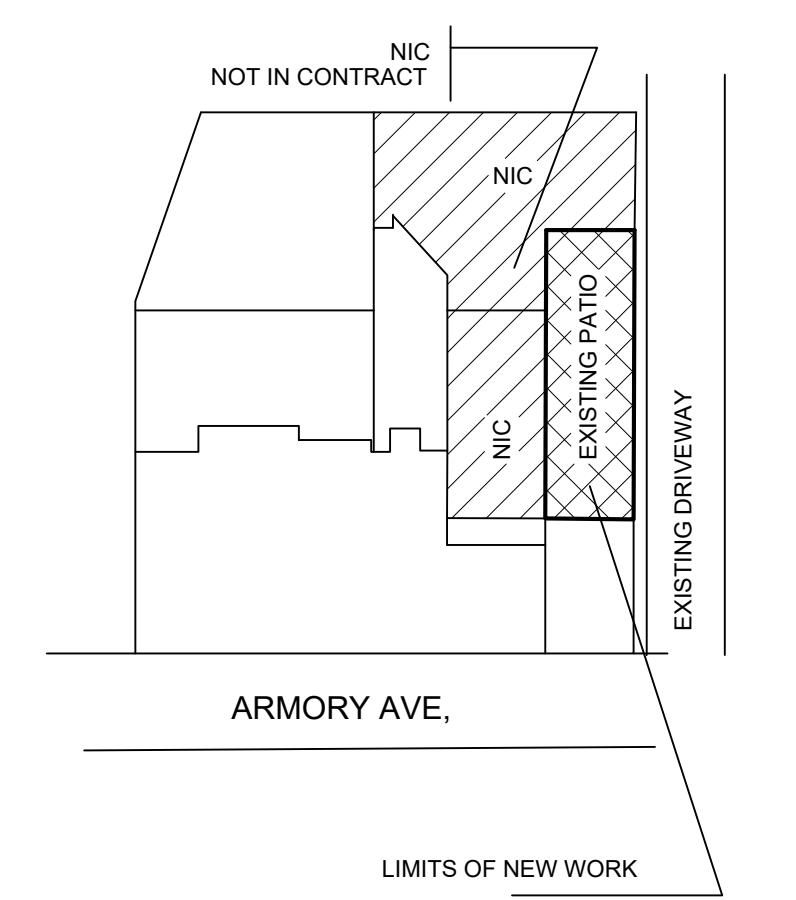
4 LEDGER DETAIL
A-2.0 SCALE: 1/2" = 1'-0"



5 BEAM & COLUMN DETAIL
A-2.0 SCALE: 1/2" = 1'-0"



6 BEAM & COLUMN CONNECTION DETAIL
A-2.0 SCALE: 1/2" = 1'-0"



KEY PLAN
NOTS

APPROVED
Montgomery County
Historic Preservation Commission

REVIEWED
By Dan.Bruechert at 1:46 pm, Sep 08, 2023

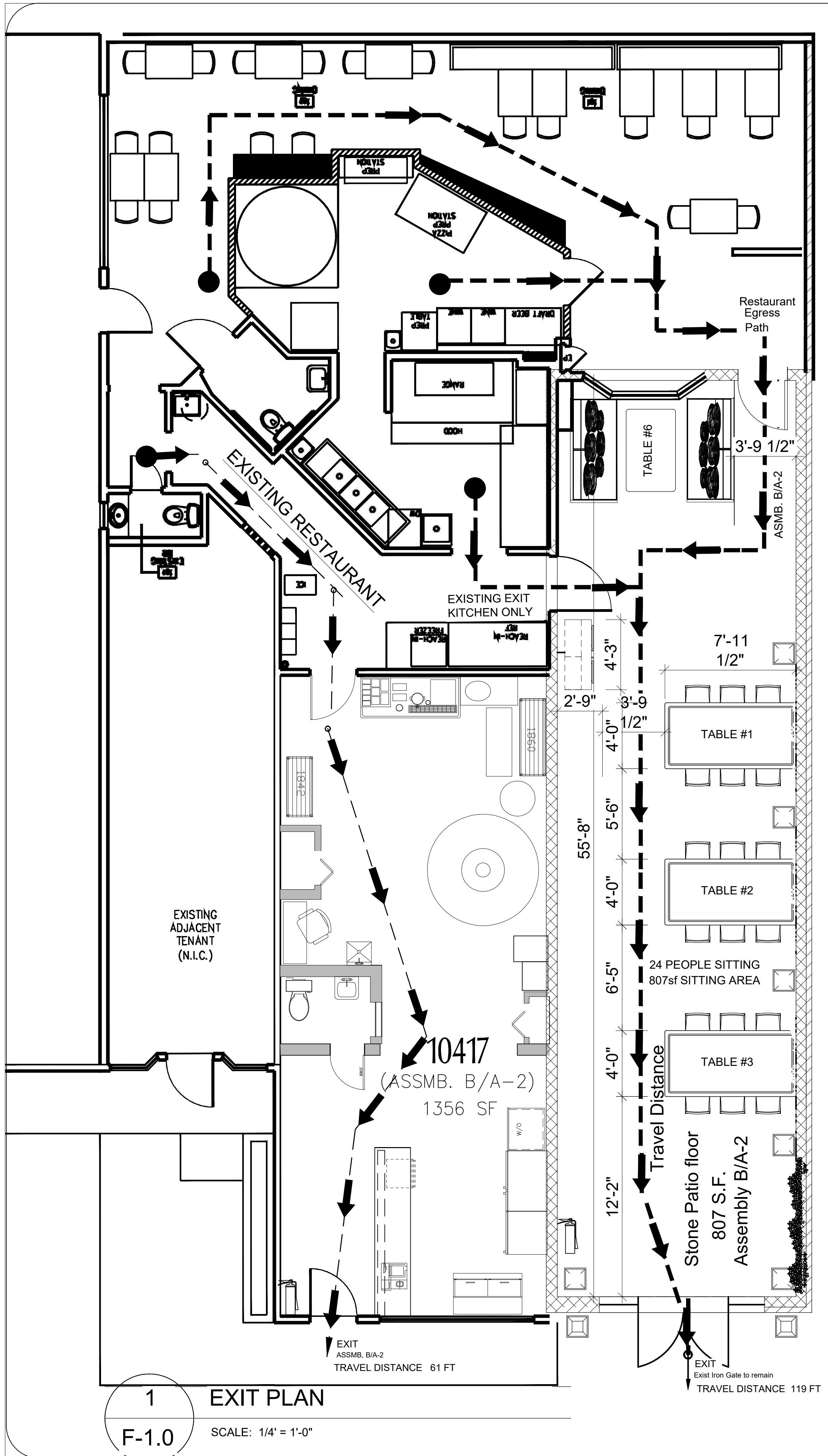
ALTERATION OF PATIO
10417 ARMORY AVE, KENSINGTON, MARYLAND 20895
CDC DESIGN, LLC.
DESIGN & CONSTRUCTION MANAGEMENT ARCHITECTS
7903 ECHOLS AVE, LANHAM, MARYLAND 20706



PROFESSIONAL CERTIFICATION
I Certify that these documents were prepared or approved by me, and that I am a duly licensed Architect under the laws of the State of Maryland license number 9241, expiration date 02-27-2024

DRAWING No. A-2.0 SHEET 00 OF 00	SHEET TITLE: FRONT & RIGHT SIDE ELEVATIONS, SECTION AND DETAILS	PROJECT No. A023-014	MARK	REVISIONS	DATE
	DATE: 07/11/23 SCALE: AS SHOWN DRAWN BY: G. CHWED				

(301) 773 3000



1
F-1.0
EXIT PLAN
SCALE: 1/4" = 1'-0"

OCCUPANCY CALCULATIONS

10417C ARMORY LANE (EXIST.)				10417 ARMORY LANE (NEW)			
PROJECT ADDRESS:	10417 ARMORY AVENUE KENSINGTON, MD 20895			PROJECT ADDRESS:	10417 ARMORY AVENUE KENSINGTON, MD 20895		
PROPOSED USE GROUP FOR TENANT:	A-2 RESTAURANT			PROPOSED USE GROUP FOR TENANT:	A-2 RESTAURANT		
NOTE OF OPERATION:	RESTAURANT SHALL BE FULL SERVICE. CLIENTELE WILL PAY TABLE SIDE. OPERATION FOR LUNCH AND DINNER SERVICE.			NOTE OF OPERATION:	SPACE TO BE FOR TAKE OUT SERVICE ONLY WITH NO SEATING OR BATHROOM FACILITIES.		
IBC USE AND OCCUPANCY CLASSIFICATION	B/A-2			IBC USE AND OCCUPANCY CLASSIFICATION	B/A-2		
IBC CONSTRUCTION TYPE	IB			IBC CONSTRUCTION TYPE	IB		
NO. OF STORES (ABOVE GRADE)	1			NO. OF STORES (ABOVE GRADE)	1		
HIGH RISE	N			HIGH RISE	N		
COVERED MALL	N			COVERED MALL	N		
FULLY SPRINKLERED & MONITORED	Y			FULLY SPRINKLERED & MONITORED	Y		
GROSS BUILDING AREAS:				GROSS BUILDING AREAS:			
TOTAL BUILDING SQUARE FOOTAGE	8,952 SF			TOTAL BUILDING SQUARE FOOTAGE	8,952 SF		
TENANT FITOUT (SCOPE OF WORK)	1,356 SF			TENANT FITOUT (SCOPE OF WORK)	959 SF		
OCCUPANT COUNT PER USE BY CODE	FLOOR AREA PER OCCUPANT	AREA	OCCUPANT ALLOWANCE	OCCUPANT COUNT PER USE BY CODE	FLOOR AREA PER OCCUPANT	AREA	OCCUPANT ALLOWANCE
DINING	15 NET	580	39	ASSEMBLY AREAS WITHOUT FIXED SEATS	15 NET	82	5
KITCHEN/PREP AREAS	200 GROSS	581	3	KITCHEN/PREP AREAS	200 GROSS	781	4
CORRIDOR/RESTROOMS	100 GROSS	195	2	CORRIDOR/RESTROOMS	100 GROSS	96	1
TOTAL INTERIOR		1,356	45	TOTAL INTERIOR		959	10

NOTES:
 1. SEE EGRESS PLAN FOR EXIT DIAGRAM.
 2. SEASONAL OUTDOOR SEATING IS NOT INCLUDED IN THE INTERIOR OCCUPANT LOAD CALCULATION.
 3. BASED ON NEW LAYOUT, RESTAURANT SHALL SERVE MAXIMUM OF 24 PEOPLE AND SHALL HAVE 2 EMPLOYEES FOR A TOTAL OF 26 OCCUPANTS AT ANY GIVEN TIME.

FIRE RESISTANCE AND BUILDING CODE INFORMATION	
BUILDING ELEMENT	TYPE IIB
STRUCTURAL FRAME INCLUDING COLUMNS, ORDERS AND TRUSSES	0
BEARING WALLS AND PARTITIONS EXTERIOR	0
BEARING WALLS AND PARTITIONS INTERIOR	0
NONBEARING WALLS AND PARTITIONS EXTERIOR	0
NONBEARING WALLS AND PARTITIONS INTERIOR	0
FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	0
ROOF CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	0
EXIT ENCLOSURE	2
SHAFT	2
EXIT ACCESS CORRIDOR	1

FIRE RESISTANCE AND BUILDING CODE INFORMATION	
BUILDING ELEMENT	TYPE IIB
STRUCTURAL FRAME INCLUDING COLUMNS, ORDERS AND TRUSSES	0
BEARING WALLS AND PARTITIONS EXTERIOR	0
BEARING WALLS AND PARTITIONS INTERIOR	0
NONBEARING WALLS AND PARTITIONS EXTERIOR	0
NONBEARING WALLS AND PARTITIONS INTERIOR	0
FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	0
ROOF CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	0
EXIT ENCLOSURE	2
SHAFT	2
EXIT ACCESS CORRIDOR	1

NOTES:
 1. BY COMPARISON BUT 30" MINIMUM IS ALLOWED.
 2. SEPARATE PERMIT REQUIRED FOR FIRE EXTINGUISHERS.
 3. FIRE SAFETY SHALL BE MAINTAINED IN WORKING CONDITION DURING CONSTRUCTION, AS STATED IN IBC 2018.
 4. SAFEGUARDS DURING CONSTRUCTION SHALL BE AS STATED IN IBC 2018, CHAPTER 13 AND 2018 WITH 241.
 5. ALL EGRESS DOOR SHALL HAVE READILY VISIBLE DURABLE SIGN ON THE EGRESS SIDE OF THE DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED PER 2018 IBC SECTION 1030.1.3.2.

→ CLEAR EGRESS WIDTH 36" Min
2018 IBC 1024.2

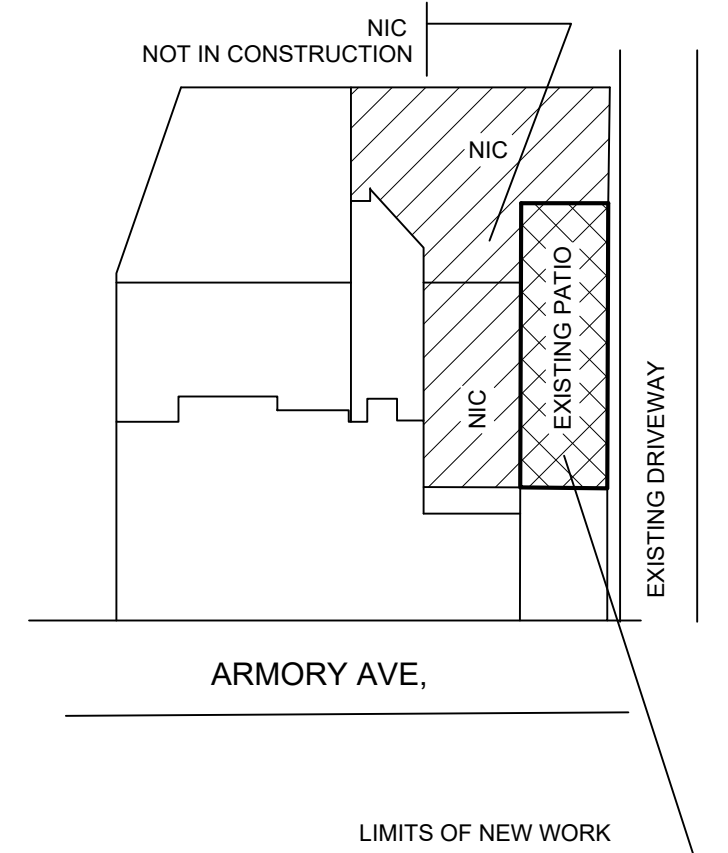
● TRAVEL DISTANCE/DIRECTION

☒ PORTABLE FIRE EXTINGUISHER (Shall be mounted within 5' of egress exist door)

APPROVED
 Montgomery County
 Historic Preservation Commission

[Signature]

REVIEWED
 By Dan.Bruechert at 1:46 pm, Sep 08, 2023



EXISTING PATIO ALTERATION
 10417 ARMORY AVE, KENSINGTON, MARYLAND 20895

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 DESIGN & CONSTRUCTION MANAGEMENT ARCHITECTS
 7903 ECHOLS AVE, LANHAM, MARYLAND 20706

(301) 773 3000



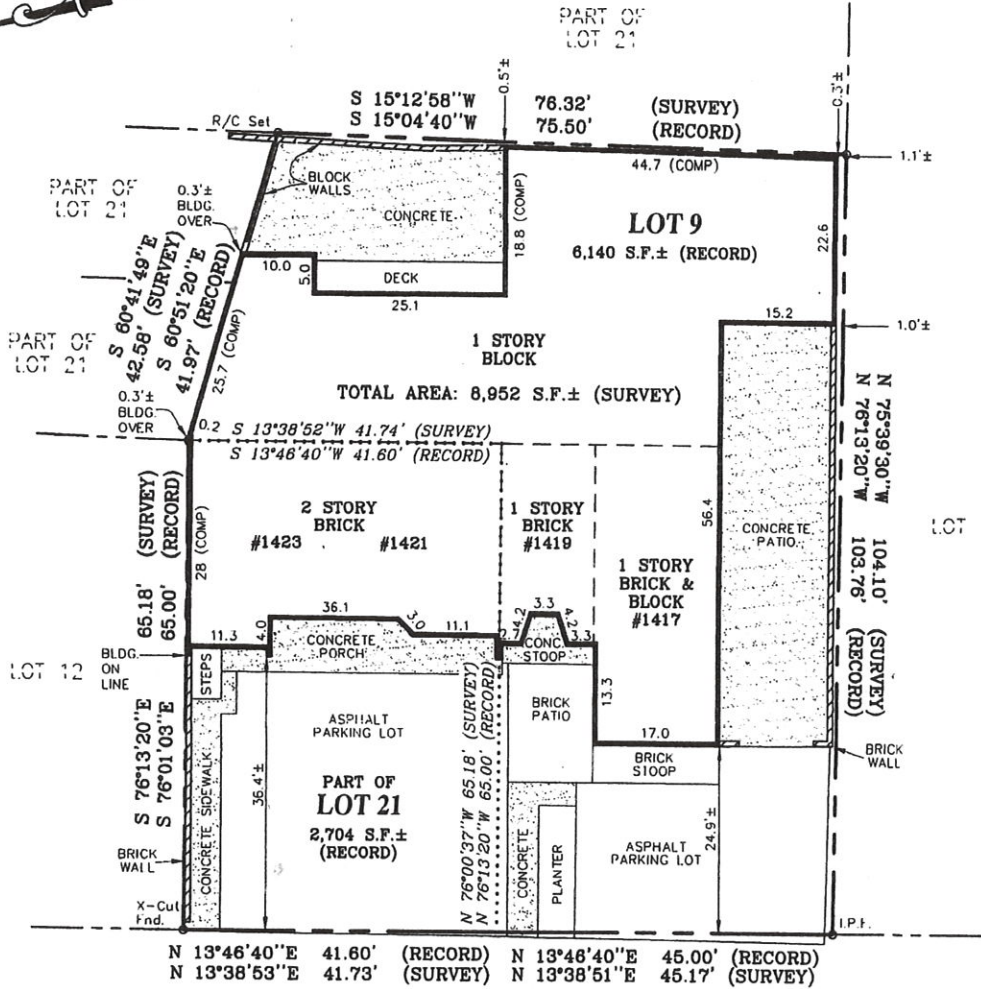
PROFESSIONAL CERTIFICATION
 I Certify that these documents were prepared or approved by me, and that I am a duly licensed Architect under the laws of the State of Maryland license number 8941, expiration date 09-27-2024.

DRAWING No. F-1.0 SHEET 00 OF 00	SHEET TITLE: C FIRE SAFETY PLAN	PROJECT No. A023-014	MARK	REVISIONS	DATE
	DATE: 07/11/23 SCALE: AS SHOWN DRAWN BY: JC OKED:				

The information shown hereon has been prepared without benefit of a Title Report, therefore, may not reflect all easements or encumbrances which may affect subject property.

Notes:

- 1) Flood zone information not available.
- 2) All property corners have been recovered or set and verified per field survey performed: October 24, 2005.
- 3) I.P.F. Indicates iron pipe found.
R/C Set indicates rebar & cap set.
X-Cut indicate crosscut found in concrete or asphalt, as indicated.




ARMORY AVENUE
(50' WIDE R/W PER PLAT)

PLAT OF SURVEY
LOT 9 and PART OF LOT 21
BLOCK 2
R. B. DETRICK'S SUBDIVISION
KENSINGTON
AND
KNOWLES ESTATES
MONTGOMERY COUNTY, MARYLAND



All Building Line and Flood Zone Information has been taken from available sources and is subject to interpretation of originator.

SURVEYOR'S CERTIFICATE		REFERENCES			SNIDER & ASSOCIATES SURVEYORS - ENGINEERS LAND PLANNING CONSULTANTS 2 Professional Drive, Suite 216 Gaithersburg, Maryland 20879 301/948-5100, Fax 301/948-1286	
I HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD SURVEY PURSUANT TO THE DEED OR PLAT OF RECORD. PROPERTY MARKERS HAVE BEEN RECOVERED OR PLACED IN ACCORDANCE WITH THE INFORMATION SHOWN. <i>Jeffrey A. Foster</i> MARYLAND PROPERTY LINE SURVEYOR REG. NO. 897		PLAT BK. 49	PLAT NO. 3764		DATE OF LOCATIONS	SCALE: 1" = 20'
LIBER 11507	FOLIO 384	WALL CHECK:	HSE. LOC.: 10-14-05	PROP. CORS.: 10-24-05	DRAWN BY: A.L.W.	
					JOB NO.: 05-8189	

APPROVED
Montgomery County
Historic Preservation Commission

Robert G. Foster

REVIEWED
By Dan.Bruechert at 1:46 pm, Sep 08, 2023

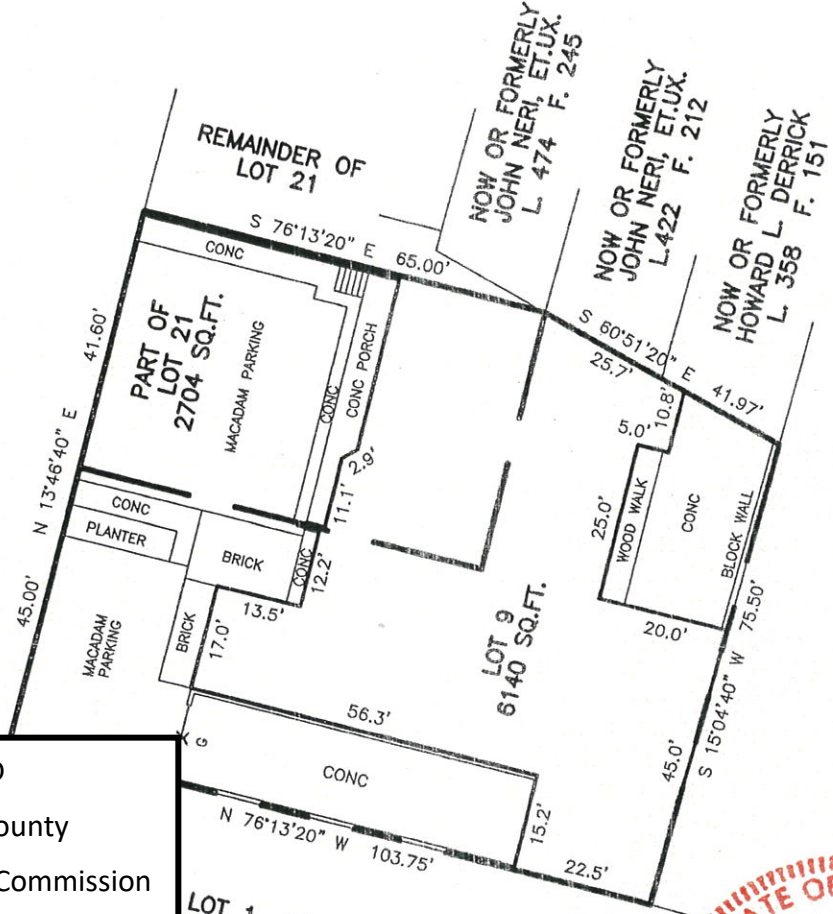
LOCATION DRAWING
 LOT 9 BLOCK 2
 R.B. DETRICK'S SUBDIVISION
 KENSINGTON
 LOT 9 BLOCK 2
 ALSO PART OF LOT 21

REAL ESTATE OF LAURANOR KNOWLES

PLAT BOOK 1 PLAT NO. 24
 MONTGOMERY COUNTY, MARYLAND

NORTH

ARMORY AVENUE
 50' R/W



APPROVED
 Montgomery County
 Historic Preservation Commission

REVIEWED
 By Dan.Bruechert at 1:46 pm, Sep 08, 2023



PROPERTY ADDRESS: 10417-10423 ARMORY AVENUE

THE PROPERTY SHOWN HEREON IS LOCATED IN ZONE C (AREA OF MINIMAL FLOODING) ACCORDING TO NATIONAL FLOOD INSURANCE PROGRAM F.I.R.M. MAP COMMUNITY PANEL NO. 240049 0175 C AS REVISED 08-01-84

CERTIFICATE
 I HEREBY DECLARE THAT THE POSITION OF ALL THE VISIBLE EXISTING IMPROVEMENTS SHOWN ON THE ABOVE DESCRIBED PROPERTY HAVE BEEN ESTABLISHED BY PROPER FIELD METHODS. NO TITLE REPORT HAS BEEN FURNISHED. SUBJECT TO ALL RESTRICTIONS AND EASEMENTS OF RECORD.

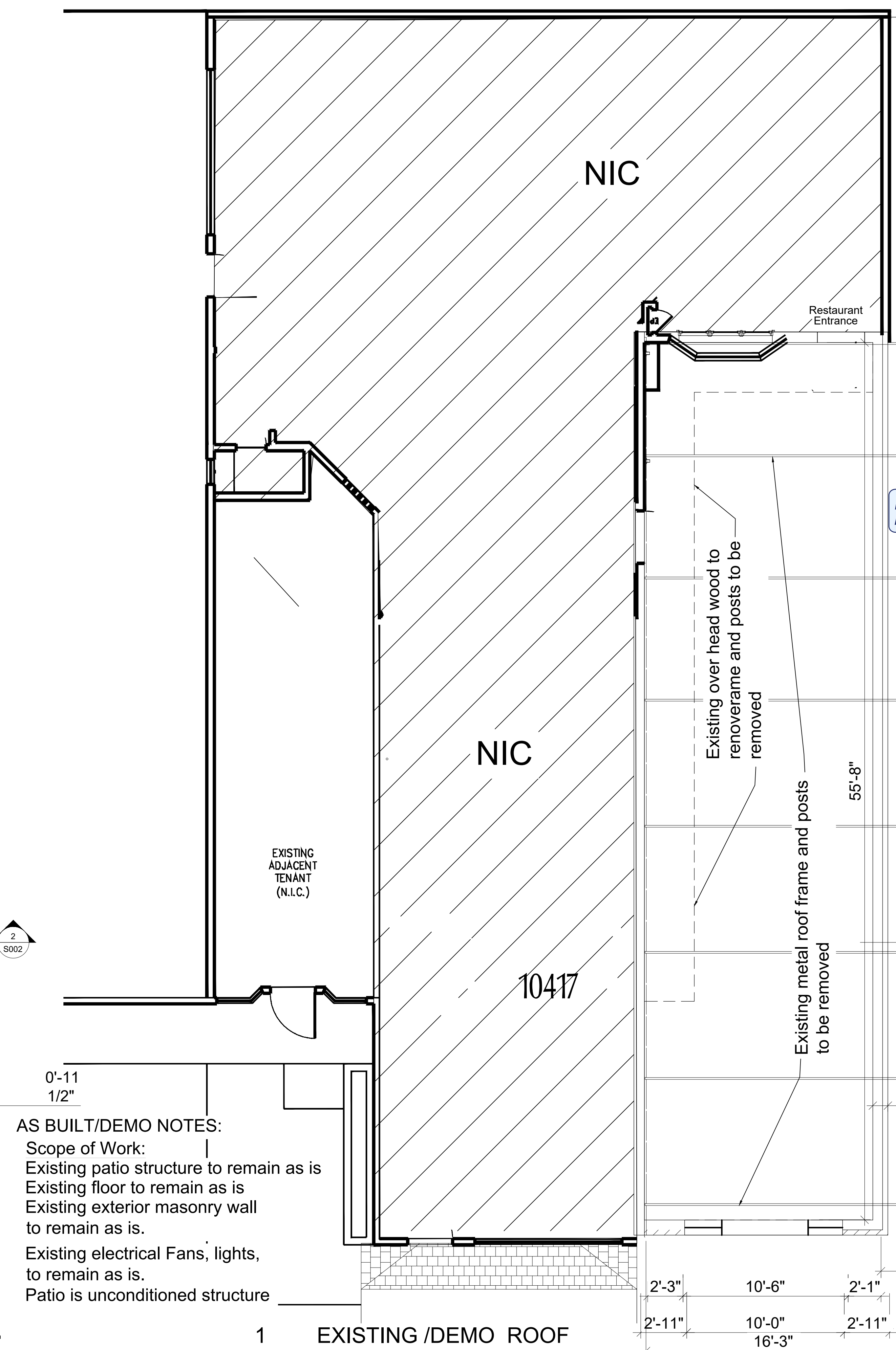
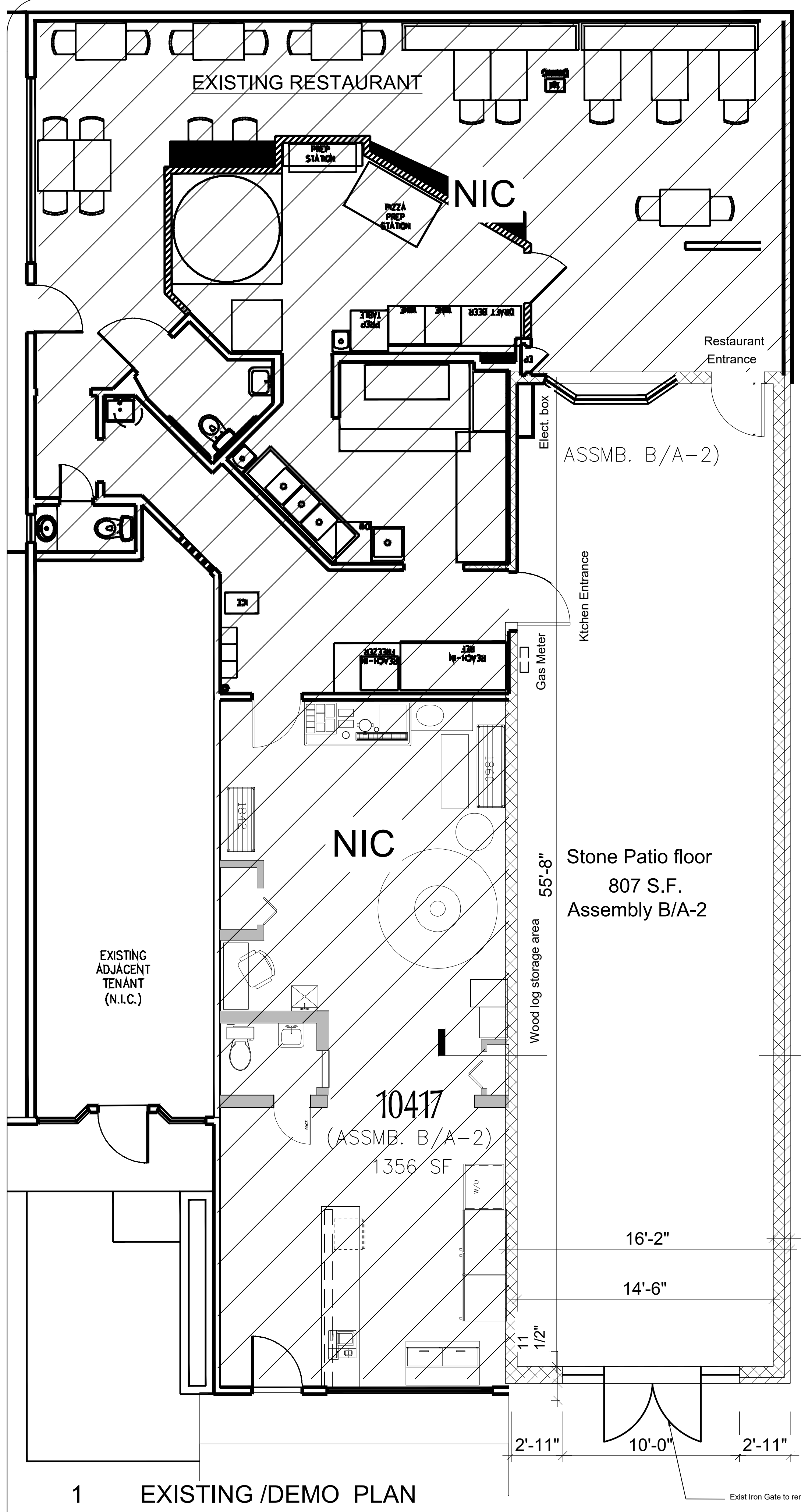
 GARY DEAN SIMPSON
 Reg. MARYLAND Property Line Surveyor No. 514

REFERENCES	
PLAT BK. 49	
PLAT NO. 3764	
LIBER	
FOLIO	

CMS
 CENTRAL MARYLAND SURVEYORS, INC.
 2813 PATUXENT RIVER ROAD, DAVIDSONVILLE, MD. 21035
 PHONE (410) 798-9700 FAX (410) 798-9705

DATES:	SCALE: 1" = 30'
WALL CHECK:	DRAWN BY: MLC
HSE. LOC.: 05-21-03	JOB NO.: 0958-03
BOUNDARY:	

- NOTES: 1) This location drawing is of benefit to a consumer only in so far as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or refinancing.
 2) This location drawing is not to be used for the building of fences or other improvements. No boundary survey has been performed.
 3) This location drawing is not to be relied upon for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or refinancing.
 4) B.R.L. information, if shown was obtained from existing record plat or was provided to CMS, and is not guaranteed by CMS, Inc.
 5) Flood Zone information is subject to the interpretation of the originator.
 6) Adjoiner deed research has not been undertaken with the Location Drawing.
 7) CMS, Inc. does not certify to unshown or unrecorded encroachments or overlaps.
 8) Level of accuracy 3'±.

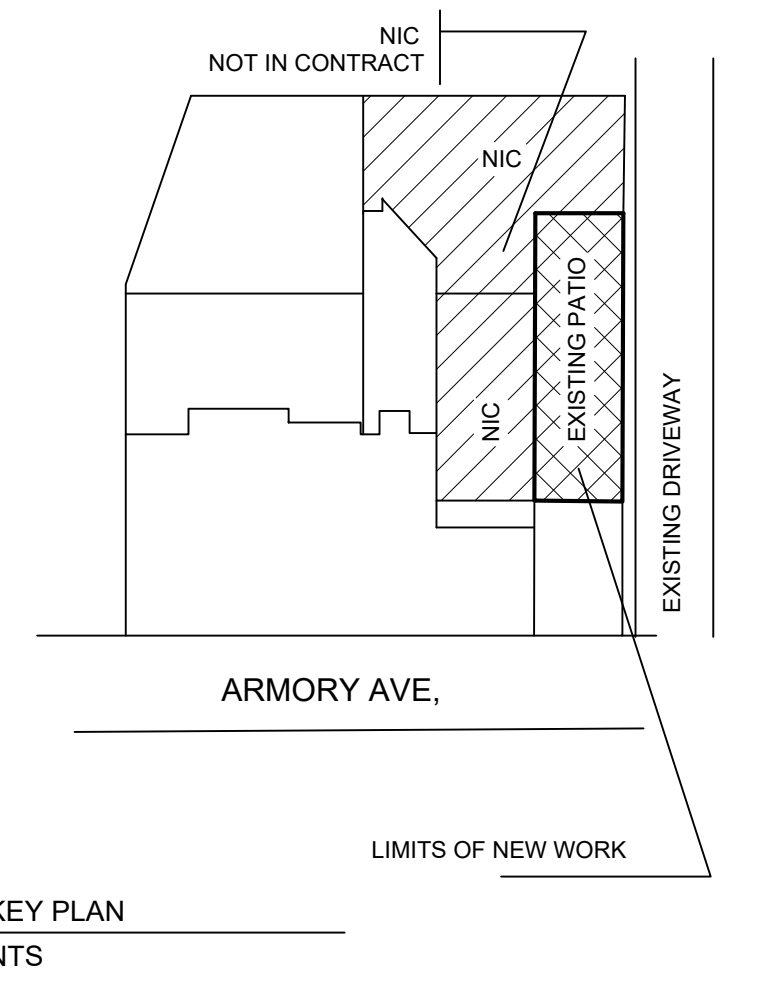


AS BUILT/DEMO NOTES:
 Scope of Work:
 Existing patio structure to remain as is
 Existing floor to remain as is
 Existing exterior masonry wall to remain as is.
 Existing electrical Fans, lights, to remain as is.
 Patio is unconditioned structure

APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature]
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 By Dan.Bruechert at 1:46 pm, Sep 08, 2023



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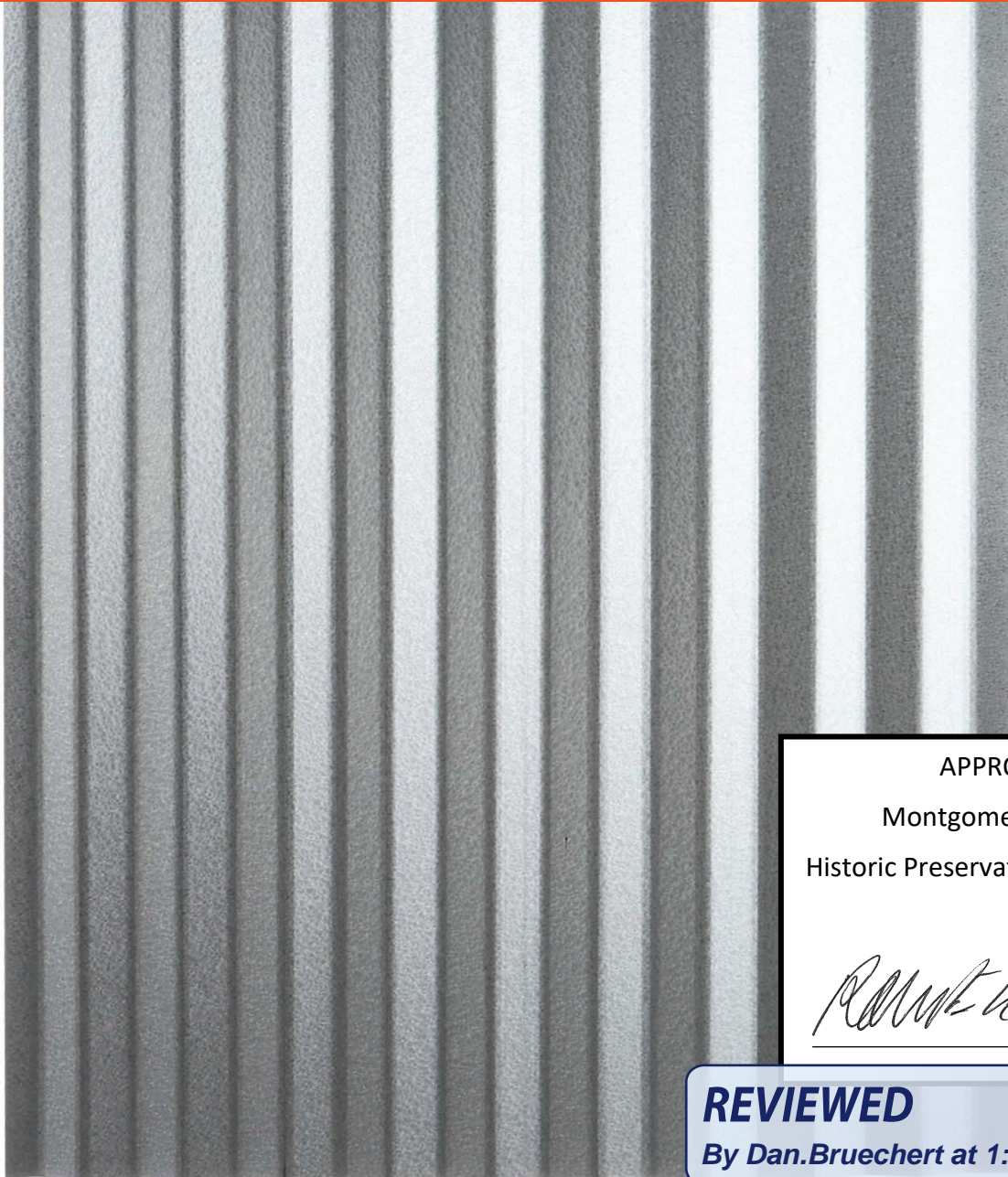
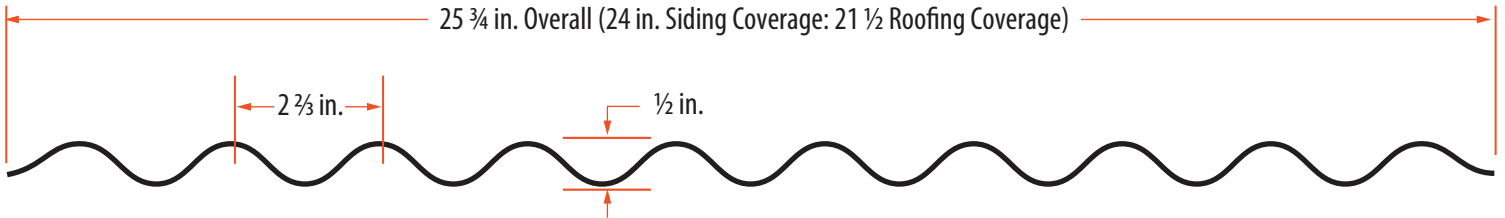
DRAWING NO. D-1.0 SHEET 00 OF 00	SHEET TITLE: AS BUILT/DEMO PLAN	PROJECT NO. A023-014	MARK	REVISIONS	DATE
	DATE: 07/11/23 SCALE: AS SHOWN DRAWN BY: JC CHKD:				

1 EXISTING / DEMO PLAN
 D-1.0 SCALE: 1/4" = 1'-0"

1 EXISTING / DEMO ROOF
 D-1.0 SCALE: 1/4" = 1'-0"

CORRUGATED ROOFING PANELS

Utility Gauge (31) Galvanized Steel - 8 ft. lengths



APPROVED
Montgomery County
Historic Preservation Commission



REVIEWED

By Dan.Bruechert at 1:48 pm, Sep 08, 202

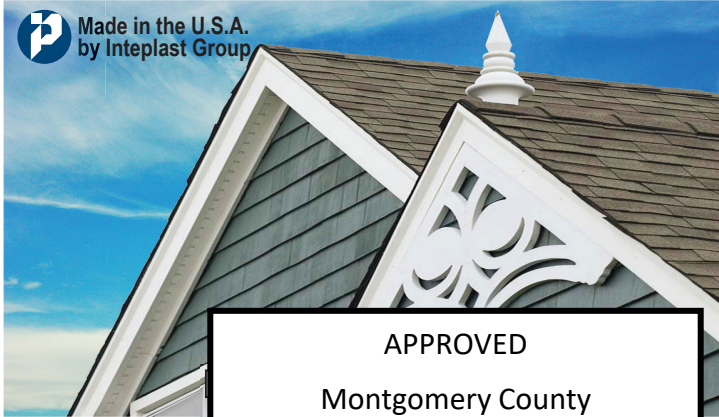
Cellular PVC Trim / Fascia / Sheet

S4S / Sealed edge Veranda HPTM TRIM is outstanding for exterior / interior use



Window Pilaster / Plinth

- Lifetime limited warranty
- S4S/Sealed edge to prevent dirt
- Will not rot, crack, splinter, or split
- Resistant to mold and mildew.
- Impervious to moisture, insects and termites
- Does not require painting, but accepts paints very well.
- Rigid, but flexible enough to cold/heat bend
- Perfect replacement for wood
- Solid board. No finger joints.
- No special tools needed, install with standard woodworking tools



Made in the U.S.A. by Inteplast Group

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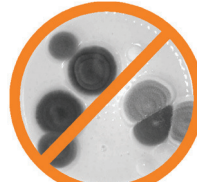
By Dan.Bruechert at 1:48 pm, Sep 08, 2023

Column Wrap, Bracket & Soffit

Size Available: 8', 12', 16' long for 1" Trim / 8' long for 1/2"

Thickness	Width																			
1"	2"	3"	4"	5"	6"	8"	10"	12"	24"	48"										
1/2"																				

Note: All sizes are nominal and availability varies by market location



Mold resistant



Moisture resistant



Won't rot, crack, splinter, or split



Termite resistant



Flame retardant

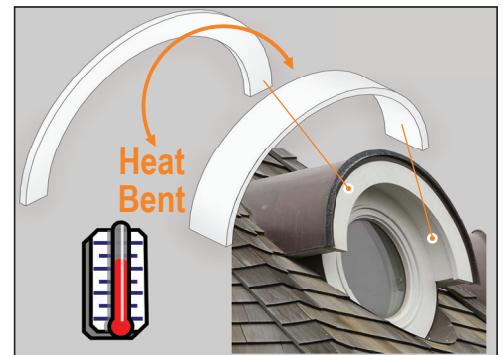


Ultra low maintenance

HEAT BENDING FEATURE

Unique Technology Applied

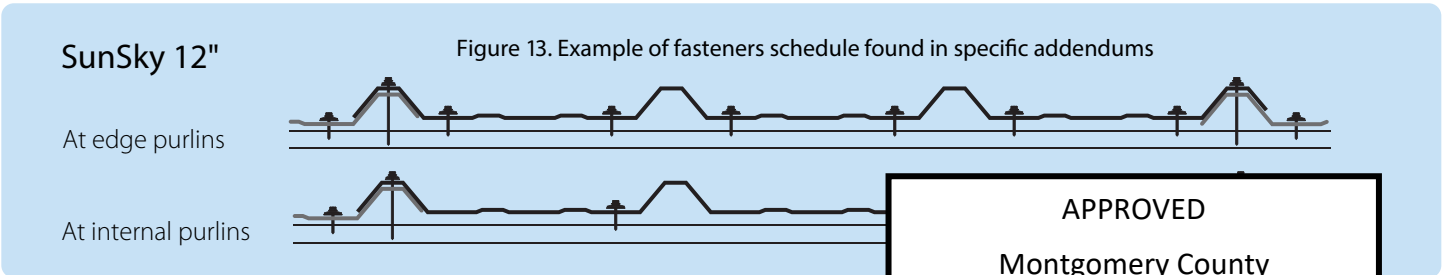
Veranda HPTM TRIM can easily be heated and bent into a variety of shapes. It is the only brand on the market that can hold its wood grain pattern under bending temperature.



J. Fastening & Sealing:

Each specific profile has its own specific recommended fastener schedule. See page 2 for links to each profile tech addendum, or visit palram.com/us/sunsky.

Figure 13 serves as an example of the information presented.



K. Recommended Washers & Fasteners

Use of recommended fasteners and washers, along with careful execution according to the manufacturer's instructions, will ensure maximum product performance. Palram brand EPDM-washed fasteners for Sunsky polycarbonate, whereas other brands may not be. Incompatible washers can result in leaks. Contact your Palram representative for availability. For fasteners shown below, pre-drill holes to accommodate thermal expansion & contraction of the panel. Over-size holes by an extra 1/8" for clearance. Thermal movement may cause buckling of the sheet and, potentially, damage to the fasteners shown below are available from Palram.

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Umbrella Washer

Fastener Tip Types

For Side Laps



19 mm



Sharp Point
(a.k.a. A Point)



Self
Drilling



Grommet

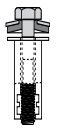


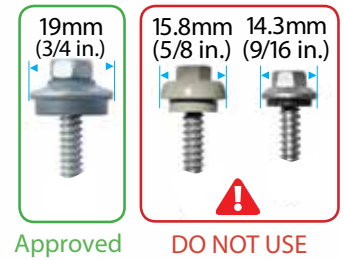
Table 2 Recommended Fasteners

Targeted Use	Fastener	Palram Item#	Description	Fastener Shank Gauge	x	Fastener Length	Fastener Head Size	Corrosion Resistance*
Wood		93034	#14 x 1	14	x	1"	5/16"	Mechanically Zinc Coated Carbon Steel
		9008326	#14 x 1-1/2		x	1-1/2"		
		93035	#14 x 2		x	2"		
		9006380	#14 x 3		x	3"		
Metal		93036 [†]	#14 x 1	14	x	1"	3/8"	Mechanically Zinc Coated Carbon Steel
		9008324	#14 x 1-1/2		x	1-1/2"		
		93037	#14 x 2		x	2"		
		9006379	#14 x 3		x	3"		
Polycarbonate (PC) (For PC to PC side laps)		93470	1/4" x 1" Rubber Grommet	1/4"	x	1"	1/4"	Stainless Steel / EPDM

* Mechanically Zinc Coated Carbon Steel fasteners are designed to withstand years of exposure to Mother Nature's most tortuous elements, however, if installing SunSky in a location with above normal exposure to salt-air, chemicals, or pollutants, use 304 Stainless Steel fasteners (see Dealer for details).

[†] Also used as stitch screw on steel to polycarbonate side laps.

4. **Palram Recommended Washer / Fastener Combination:** Palram Recommended Washer / Fastener combination was chosen after comprehensive performance testing. The “umbrella” shaped gaskets seal the fastener holes & heads well without exerting excessive pressure on the SunSky panel itself. Limited thermal expansion is possible and compatibility with polycarbonate assured. **Regular Washer/Gaskets Fasteners (e.g. Tek Screws) for metal panels are NOT RECOMMENDED** for use with SunSky as these types of washers apply excessive pressure, are inadequate for SunSky sealing, and cause undue internal stresses in the panel. The stresses result in crazing, fractures, and eventual failure. Installations using such fasteners are strongly discouraged and are subject to nullification of warranty.



5. **Installation & Fastening Tips:**

a. **Allow for expansion & contraction at fasteners:** For panels longer than 12', pre-drill panels at all fastening points with a 3/8" hole to allow for increased expansion and contraction due to longer length. For panels 12' in length or less, pre-drill a hole 1/16" larger than the diameter of the fastener shank. Palram recommends that SunSky panels are not installed below 40°F or above 80°F. See Page 17, Table 3, for detailed SunSky Thermal Expansion Data.

b. **Drive fasteners perpendicular to SunSky face.** Use an adjustable-torque power screwdriver to ensure against over tightening. Avoid distortion of washer/gasket and panel. (See fastener positioning details - Figure 14a and 14b). **Never use an impact wrench/driver for fastening SunSky.**

c. **Installation Direction:** We recommend starting installation from the bottom up, on one side, and work to the left or right accordingly. **Never start working from both ends to the middle.** Always lap the top panel over the lower one.

d. **Keep panel straight, flush and taut during installation.**

e. **Do not over tighten (see important note above and Figures 14a & 14b)**

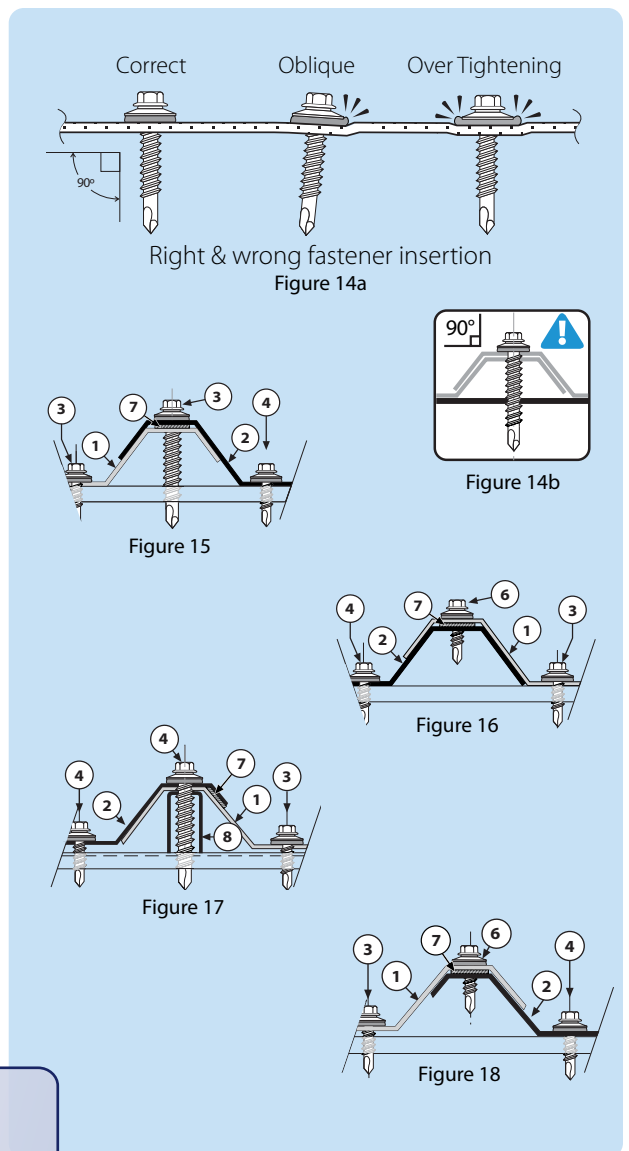
f. **Side-Lap Support:** At a side-lap of metal on SunSky or two SunSky panels (multi-panel installation) a lengthwise wood or steel support bar may be required.

g. **Fastening Details** (Schematic Figures 15, 16, 17, and 18):

1. SunSky panel
2. Adjoining metal panel
3. Valley fastener, with 3/4" Washer
4. Metal crest / valley fastener
5. Side-lap fastener with 3/4" washer
6. Side-lap stitching fastener and 3/4" washer
7. Butyl-rubber gasket
8. Optional side-lap support bar

h. **Fasteners Positioning:**


- Generally, valley fasteners are placed at mid-panels and at end-laps.
- In multi-panel installations, valley fasteners are placed at mid-panels, unless otherwise specified in the specific panel's installation instructions.
- Stitching screws are used to secure the polycarbonate panels to the metal panels at the mid-panels and at the end-laps.



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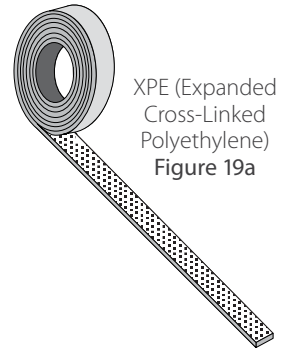


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6. Sealing SunSky:

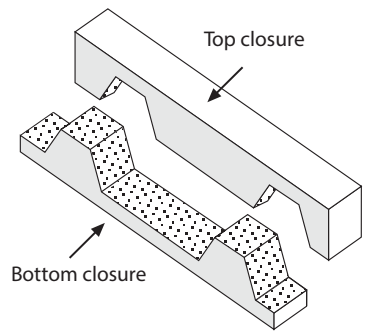
- a. **Self-Adhesive XPE Sealing Tape** (Expanded Cross-Linked Polyethylene): Resilient, closed cells, self-adhesive foamed-polyethylene to be applied at sides & end-laps, on top of the overlapped area. Cross-section dimensions may vary according to specific requirements. A typical XPE tape is 3/4" (20.0 mm) in width, 3/16" (5.0 mm) in thickness and comes with pressure sensitive adhesive on one side, protected by silicone paper.



Butyl-Rubber or Expanding Sealing Tape: Elastomeric or Expanding Sealing Tape to be applied at side & end-laps, on top of the overlapped area. Do not use mastic tape.

Install as follows: (See Page 9, Figures 15-18 and Page 11, Figures 20-22) Remove bottom protective paper strip progressively, as installation advances. Apply carefully by hand.

- **Single seal end-lap:** Apply along fasteners' center-line at the end-lap, following the profile shape.
 - **Double seal end-lap:** Apply above and below fasteners' center-line at end-lap, following the profile shape.
 - **Single seal side-lap of Sunsky over metal panel:** Apply on top of center-line of side corrugations.
 - **Single seal side-lap of metal over Sunsky panel:** Apply between to the down facing corrugation of the metal panel and the Sunsky panel to prevent capillary action.
 - **With butyl-rubber only:** Remove top protective paper strip before laying the overlapping panel. Lay the edge of lapping panel and apply moderate hand pressure on the top panel along the side corrugation, to ensure a proper seal.
- b. **Top & Bottom Contoured End Closures:** Top or bottom matching closure strips close the opening above or below the panel and its corrugations.



Top & Bottom End Closures (SunSky 12")
Figure 19b

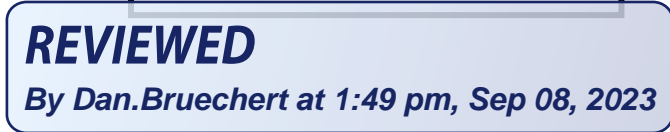
Install as follows: Place the closure strip at the top or bottom edge fasteners' center-line, and insert the fasteners through said strip so it will be held firmly in place. A few dabs of silicone could hold the strip temporarily in place until the top panel is laid and screws are inserted. (Figures 23a, 23b, 24a & 24b)

- **Location A:** Where SunSky runs reach the top or bottom of roof or wall edges, or at the roof ridge, the space left between the panel's profile and the purlin, or girt, should be closed and sealed with a contoured foam, polyethylene (XPE) closure strip matching the panel profile.
- **Location B:** Where SunSky runs reach a top trim, or at a ridge-cap, a top closure strip should be used at the top edge above the panel.

- c. **Silicone Sealants:** Sealants, adhesives or bonding panels, originate failure, and revoke any and all warranties with polycarbonate prior to use. Palram Americas does not warrant with the sealant.



and can chemically attack the polycarbonate and can chemically attack the polycarbonate to insure it's compatibility due to chemical incompatibility



Randy H. Potter

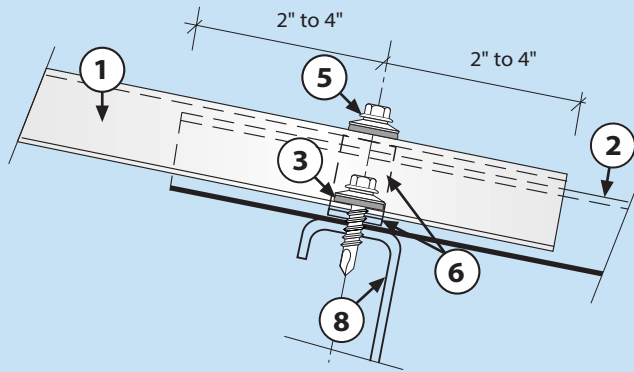
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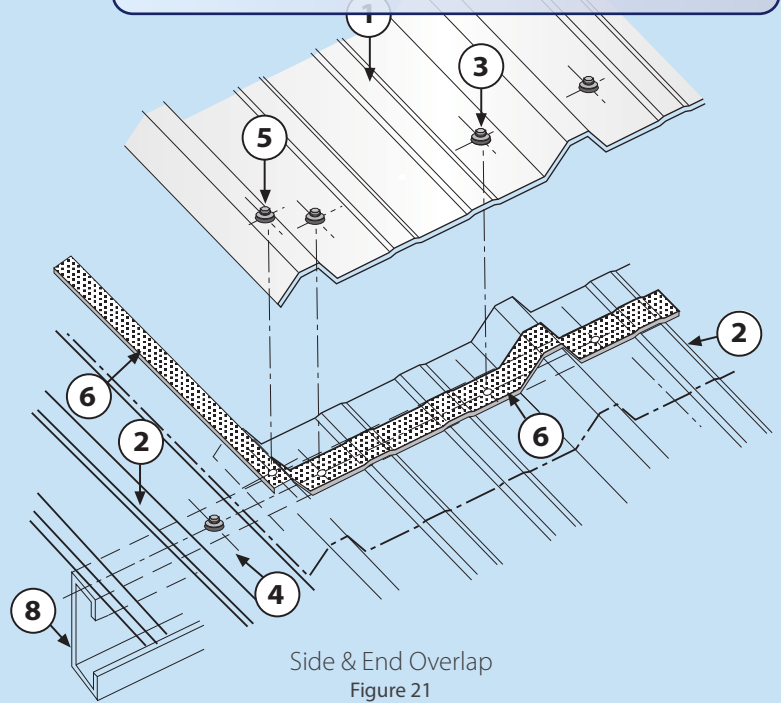
L. Side & End Lap Installation:

End lap (or width overlap - short side) of a SunSky panel on another consecutive SunSky panel always be done over a supporting purlin. Each of the panels involved should overhang 3" (2" minimum and 4" maximum), totaling an average overlap of 6".

Fastener and Sealing Tape Locations



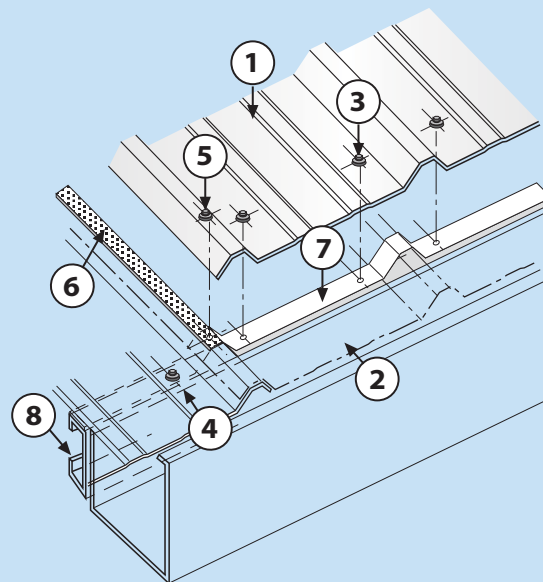
End-Lap Detail
 Figure 20



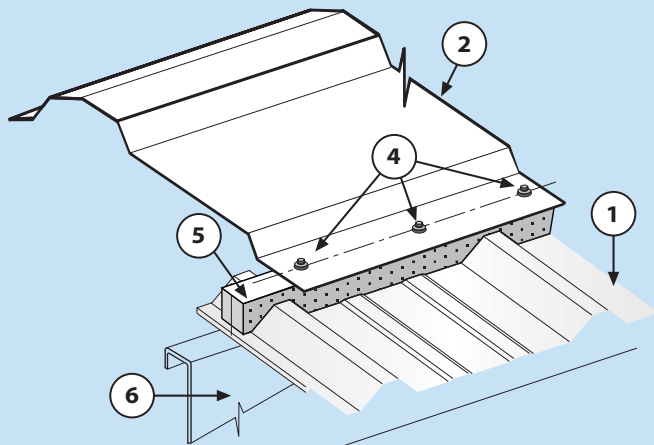
Side & End Overlap
 Figure 21

Legend

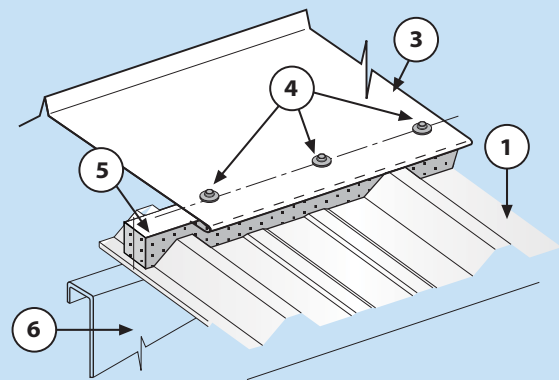
- ① Representative SunSky panel
- ② Representative panel
- ③ SunSky valley fastener, with Palram 3/4" special washer gasket
- ④ Typical sheet-metal crest or valley fastener with 3/4" washer and gasket
- ⑤ SunSky crest (side-lap) fastener with Palram 3/4" special washer & gasket
- ⑥ Sealing tape installed along side & end lap corrugations
- ⑦ Shaped bottom-end closure
- ⑧ Supporting purlin
- ⑨ Optional drainage gutter



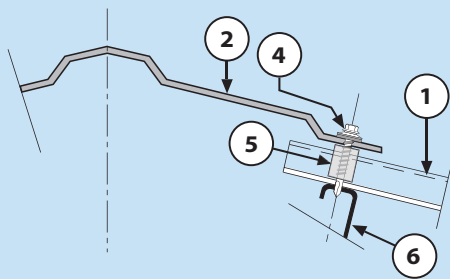
Bottom Edge SunSky Installation
 with Profiled Closure Strip
 Figure 22



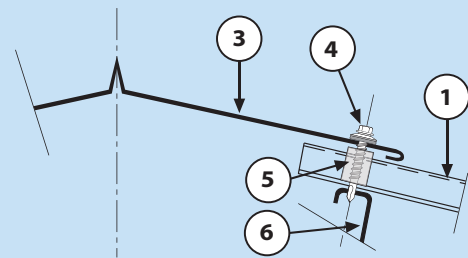
SunSky Ridge Cap Fastening
Figure 23a



Sheet-Metal
Ridge Cap Fastening
Figure 24a



SunSky Ridge Cap Fastening
& Top Partial Section
Figure 23b



Sheet-Metal Ridge Cap Fastening
& Top Partial Section
Figure 24b

Legend

- ① Representative SunSky panel
- ② SunSky Universal Ridge Cap
- ③ Sheet-metal universal ridge cap (typical)
- ④ Crest fastener (side-lap) with Palram 3/4" special washer
- ⑤ Shaped Foam Closure (fits topside of panel)
- ⑥ Supporting purlin

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Robert G. Potter

Important notes about installation of SunSky Ridge Caps

1. Do not over tighten screws when installing. If ridge cap deforms, screws are too tight.
2. Use recommended fasteners as shown on page 8, Table 2.
3. When installing clear ridge caps on wood purlins, purlins should be painted with white acrylic paint before installation. This will help prevent overheating and possible charring of the purlins.

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M. Options for Installation:

1. **Single width, single span installation** (on 2 edge support purlins), integrated and surrounded by matching metal panels, overlapped on top, overlapping and supported on both sides and at the bottom. This dictates that the top metal panel is also installed with its edge corrugations overlapping at both sides, up to the roof edge or ridge.

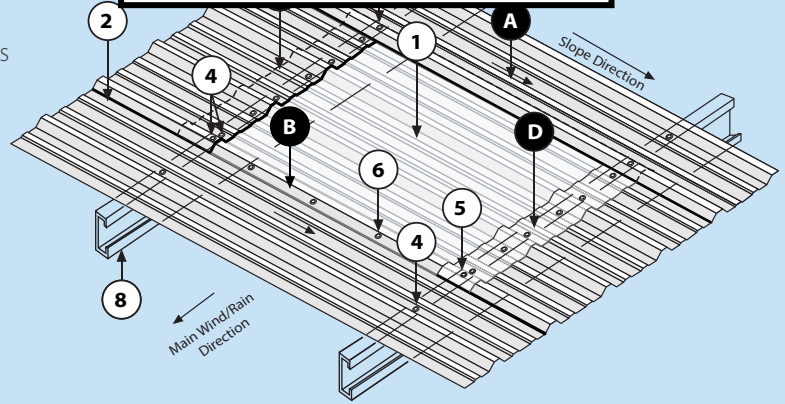
Legend

Connections

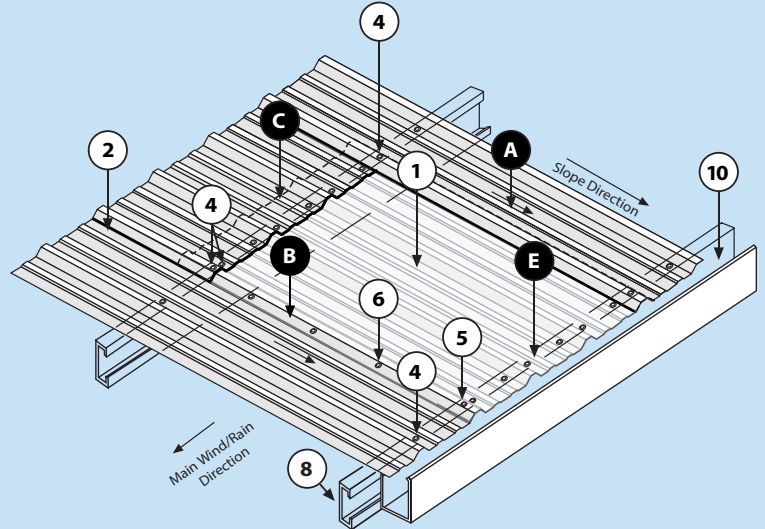
- A** Right side-lap: metal panel overlaps SunSky panel
- B** Left side-lap: SunSky panel overlaps metal panel
- C** Top end-lap: top metal panel laps over top edge of SunSky panel
- D** Bottom end-lap: bottom edge of SunSky panel laps over top edge of metal panel
- E** Bottom edge detail: SunSky panel at the bottom edge of a roof, with or without a gutter

Components

- ① Representative SunSky panel
- ② Metal panel
- ③ SunSky valley fastener, with Palram 3/4" special washer gasket
- ④ Typical sheet-metal crest or valley fastener with 3/4" washer & gasket
- ⑤ SunSky crest (side-lap) fastener with Palram 3/4" special washer & gasket
- ⑥ SunSky side-lap stitching fastener
- ⑦ Foam closure (underside shape)
- ⑧ Supporting purlin
- ⑨ Main supporting truss / beam
- ⑩ Optional drainage gutter



Typical, Single Panel, Single Span Mid-Field Detail
Figure 25



Typical Bottom End
SunSky Detail (with or without gutter)
Figure 26

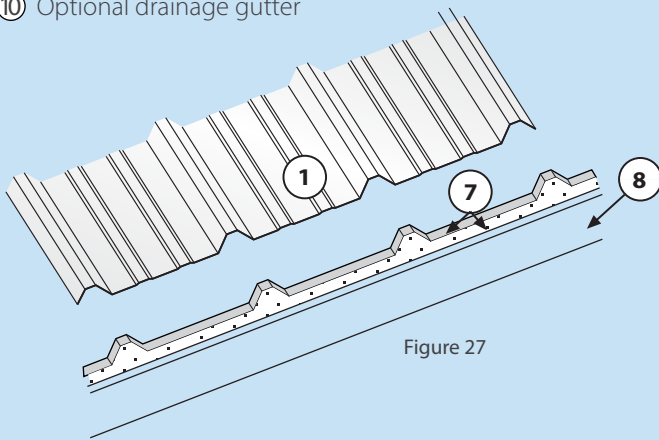


Figure 27

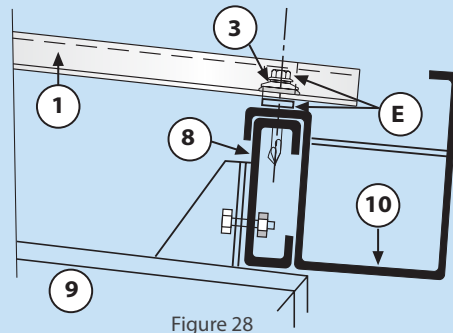


Figure 28