



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert K. Sutton
Chairman

Date: August 4, 2023

MEMORANDUM

TO: Rabbiah Sabbakhan, DPS Director Department of Permitting
Services
FROM: Winnie Cargill
Historic Preservation Section
Maryland-National Capital Park & Planning Commission
SUBJECT: Historic Area Work Permit #1037138 - Roof Replacement

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** by the HPC Staff.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Julie Hussman
Address: 15 High Street, Brookeville

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Winnie Cargill at 301.495.2108 or winnie.cargill@montgomeryplanning.org to schedule a follow-up site visit.





HISTORIC PRESERVATION COMMISSION

HAWP #: _____ at: 15 High Street

submitted on: _____

has been reviewed and determined that the proposal fits into the following category/categories:

Repair or replacement of a masonry foundation with new masonry materials that closely match the original in appearance;

Installation of vents or venting pipes in locations not visible from the public right-of-way;

New gutters and downspouts;

Removal of vinyl, aluminum, asbestos, or other artificial siding when the original siding is to be repaired and/or replaced in kind;

Removal of accessory buildings that are not original to the site or non-historic construction;

Repair or replacement of missing or deteriorated architectural details such as trim or other millwork, stairs or stoops, porch decking or ceilings, columns, railings, balusters, brackets shutters, etc., with new materials that match the old in design, texture, visual characteristics, and, where possible materials, so long as the applicant is able to provide one extant example, photographic evidence, or physical evidence that serves as the basis for the work proposed;

Construction of wooden decks that are at the rear of a structure and are not visible from a public right-of-way;

Roof replacement with -compatible roofing materials, or with architectural shingles replacing 3-Tab asphalt shingles;

Installation of storm windows or doors that are compatible with the historic resource or district;

Repair, replacement or installation of foundation-level doors, windows, window wells, and areaways, or foundation vents, venting pipes, or exterior grills that do not alter the character-defining features and/or the historic character of the resource;

Construction of fences that are compatible with the historic site or district in material, height, location, and design;

Fence is lower than 48" in front of rear wall plane;

Construction of walkways, parking pads, patios, driveways, or other paved areas that are not visible from a public right-of-way and measure no more than 150 square feet in size;

Replacement of existing walkways, parking pads, patios, driveways, or other paved areas with materials that are compatible with the visual character of the historic site and district and that are no greater than the dimensions of the existing hardscape;

Construction of small accessory buildings no larger than 250 square feet in size that are not visible from the public right-of-way;

Installations of skylights on the rear of a structure that will not be visible from the public right-of-way, and would not remove or alter character-defining roof materials;

Installation of solar panels and arrays in locations that are not readily visible from the public right-of-way or that are designed so as to have a minimal impact on the historic resource or the historic district (e.g., systems that are ground-mounted in areas other than the front or side yard of a corner lot, located on accessory or outbuildings, on non-historic additions, or on rear facing roof planes);

Installation of car charging stations in any location on a property or in the right-of-way;

Installation of satellite dishes;

Removal of trees greater than 6" in diameter (d.b.h.) that are dead, dying, or present an immediate hazard.

Removal of trees greater than 6" in diameter (d.b.h.) in the rear of the property that will not impact the overall tree canopy of the surrounding district or historic site;

Replacement tree required as a condition; and,

Other minor alterations that may be required by the Department of Permitting Services post-Commission approval that would have no material effect on the historic character of the property.

Staff finds the proposal complies with Chapter 24A, the Secretary of the Interior's Standards for Rehabilitation, and any additional requisite guidance. Under the authority of COMCOR No. 24A.04.01, this HAWP is approved by Christina Cargill on _____. The approval memo and stamped drawings follow.



APPLICATION FOR HISTORIC AREA WORK PERMIT
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP#
DATE ASSIGNED

APPLICANT:

Name: E-mail:
Address: City: Zip:
Daytime Phone: Tax Account No.:

AGENT/CONTACT (if applicable):

Name: E-mail:
Address: City: Zip:
Daytime Phone: Contractor Registration No.:

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property

Is the Property Located within an Historic District? Yes/District Name
No/Individual Site Name

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: Street:

Town/City: Nearest Cross Street:

Lot: Block: Subdivision: Parcel:

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- Checklist of work types: New Construction, Addition, Demolition, Grading/Excavation, Deck/Porch, Fence, Hardscape/Landscape, Roof, Shed/Garage/Accessory Structure, Solar, Tree removal/planting, Window/Door, Other.

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:


REVIEWED

By Winnie Cargill at 11:44 am, Aug 04, 2023

APPROVED
Montgomery County
Historic Preservation Commission



Robert H. Potter

Work Item 1: _____	
Description of Current Condition:	Proposed Work:
<p>REVIEWED By Winnie Cargill at 11:44 am, Aug 04, 2023</p>	<p>APPROVED Montgomery County Historic Preservation Commission</p> 

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

REVIEWED

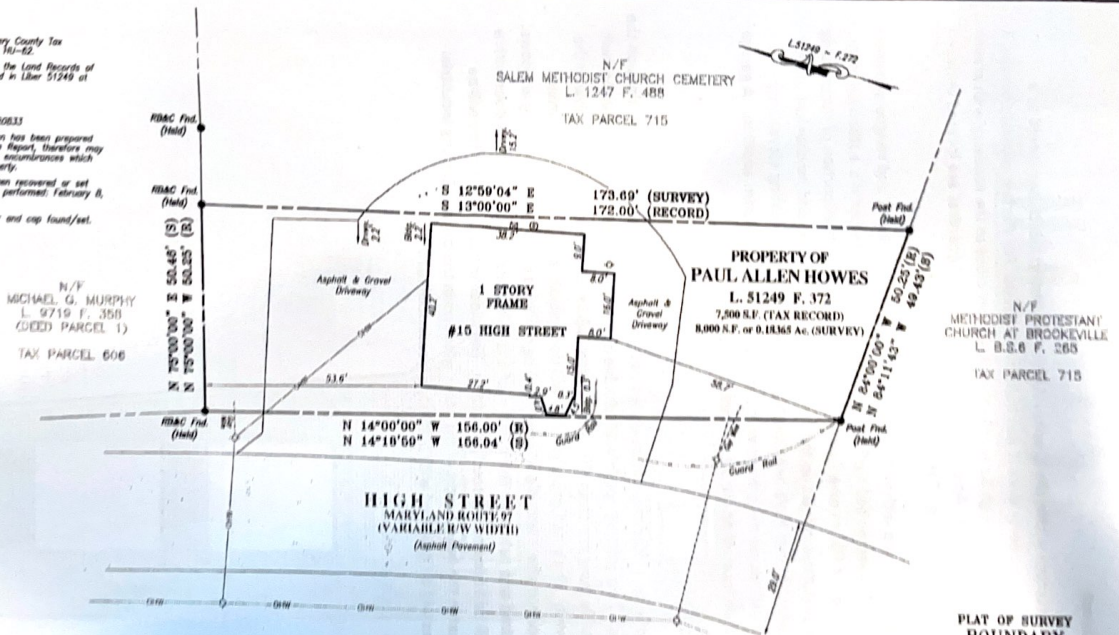
By Winnie Cargill at 11:44 am, Aug 04, 2023

APPROVED
 Montgomery County
 Historic Preservation Commission

Robert H. Potter

GENERAL NOTES:

- 1) Property shown in Montgomery County Tax Assessment Map Book page 161-62
- 2) Property is recorded among the Land Records of Montgomery County, Maryland in Liber 51249 at Folio 372.
- 3) Premises Address:
15 High Street
Brookville, Maryland 20833
- 4) The information shown herein has been prepared without the benefit of a Title Report, therefore may not reflect all easements or encumbrances which may affect the subject property.
- 5) All property corners have been discovered or set and certified per field survey performed February 8, 2018.
- 6) RBAC indicates a rebar and cap found/set.



SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD SURVEY PURSUANT TO THE USES ON PLAT OF RECORD. PROPERTY MARKERS HAVE BEEN DISCOVERED OR PLACED IN ACCORDANCE WITH THE INFORMATION SHOWN THIS PLAT AND THE FIELD SURVEY UPON WHICH IT IS BASED WAS PREPARED UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH THE REGULATIONS GOVERNING LAND SURVEYING IN THE STATE OF MARYLAND.



MARYLAND PROFESSIONAL LAND SURVEYOR REG. NO. 51408
 EXPIRES 06-30-2025

LEGEND
 ○ Utility Pole
 — Overhead Wire

PLAT OF SURVEY
 BOUNDARY
 PROPERTY OF
PAUL ALLEN HOWES
 LIBER 51249 - FOLIO 372
 15 HIGH STREET
 GURRY (04) ELECTION DISTRICT
 MONTGOMERY COUNTY, MARYLAND

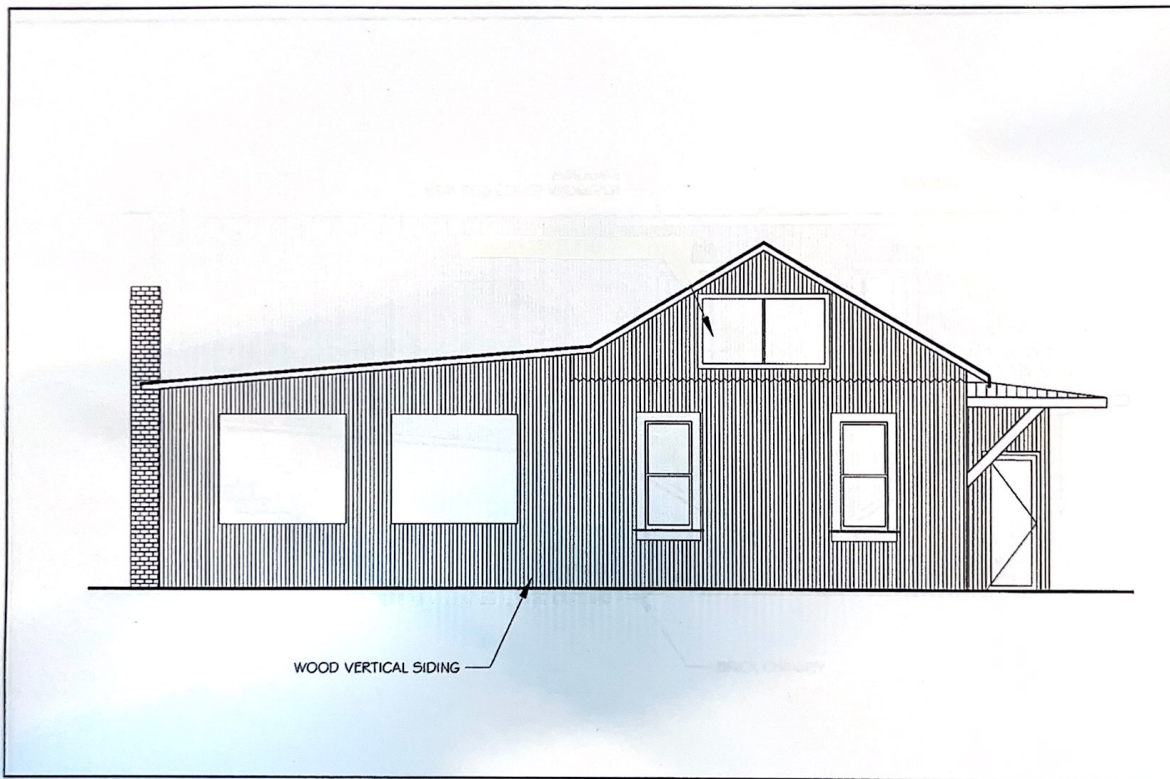
REFERENCES			SNIDER & ASSOCIATES LAND SURVEYORS 80970 Oakhurst Lane, Suite 110 Germantown, Maryland 20876 301/940-8100, Fax 301/940-1888	
PLAT BOOK:			SCALE: 1" = 50'	
PLAT:		DATE OF LOCATIONS:	DRAWN BY: M.S.B.	
LIBER 51849		DATE: 08/08/2018	JOB NO.: 18-0509	
FOLIO 372		PROPERTY CORNER FID:		

© Data: 12/06/2018 12:00:00 PM 1/2 2018/12/06/2018 12:00:00 PM

REVIEWED

By Winnie Cargill at 11:44 am, Aug 04, 2023

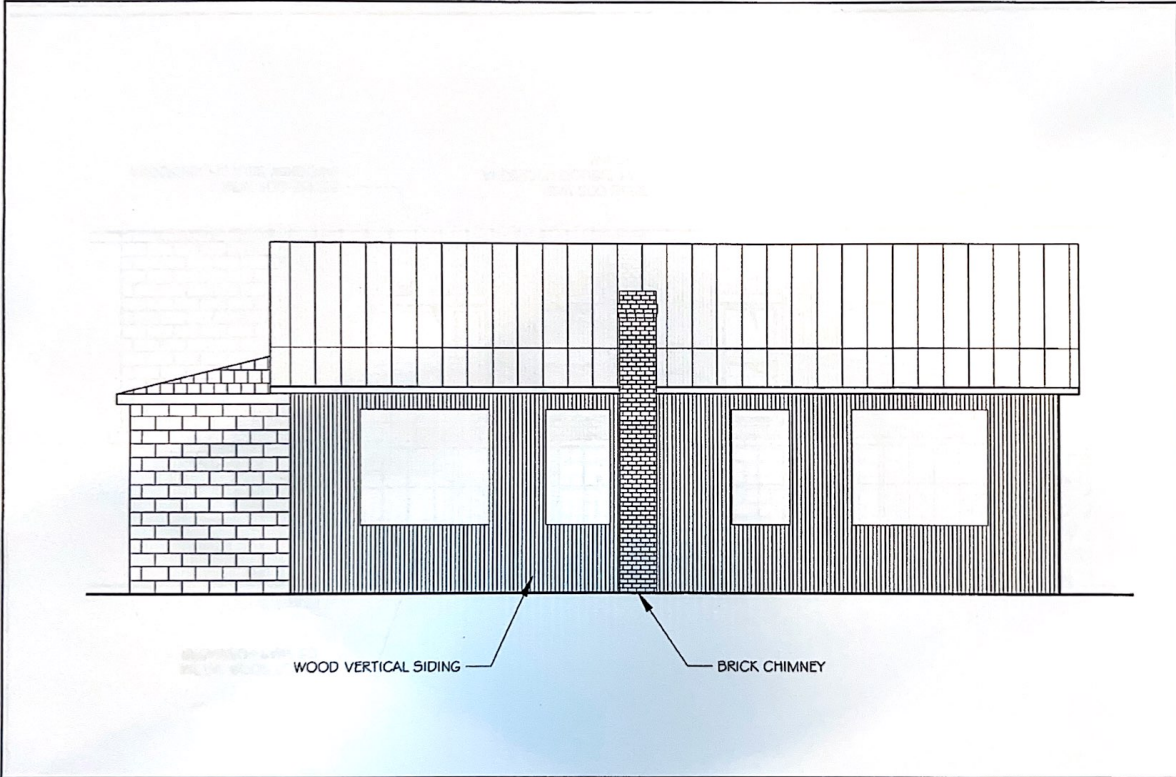
APPROVED
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WOOD VERTICAL SIDING

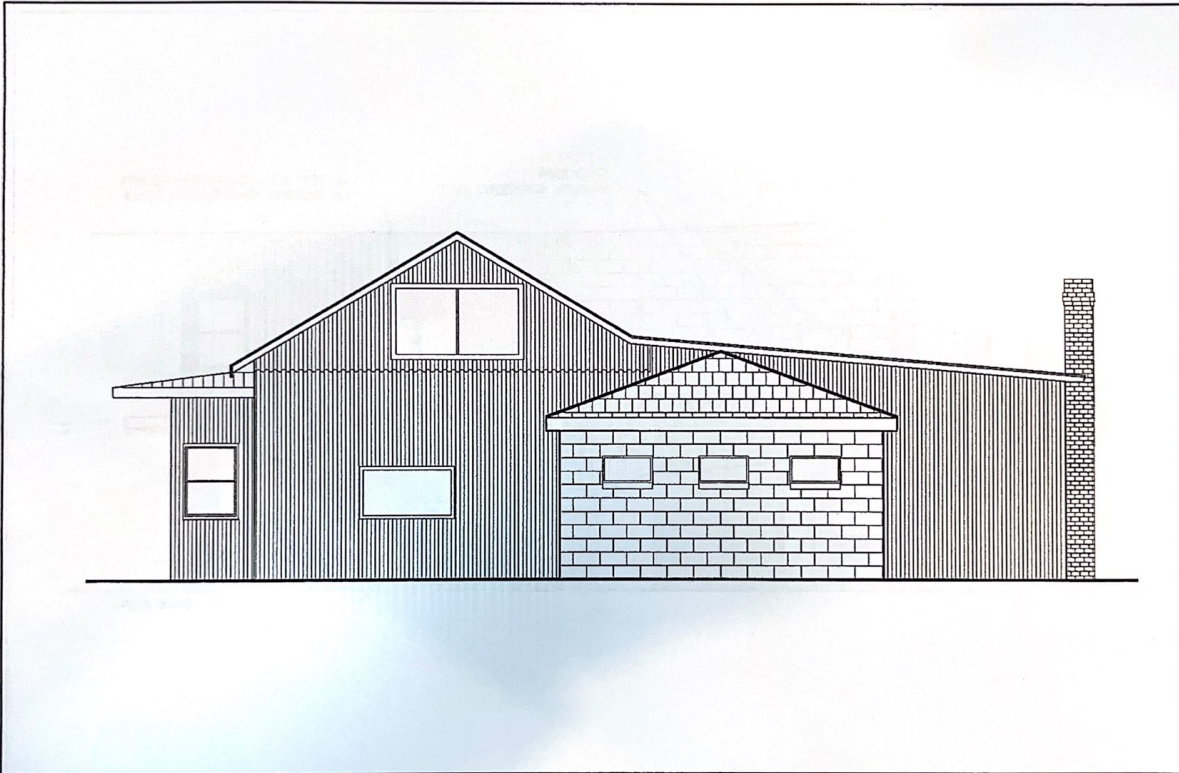
MICHE BOOZ A R C H I T E C T 238 Market St Brookville Maryland 20833 (301)774-0811 Fax: 774-1924
Project: HUSSMAN PLUMBING SHOP 15 HIGH STREET, BROOKVILLE, MD 20833
Drawings: EXISTING NORTH ELEVATION
Dates: 11/09/2018
Scale: 1/4"=1'0"
Sheet: EX20
No.:

ORIGINAL SIZE 11X17



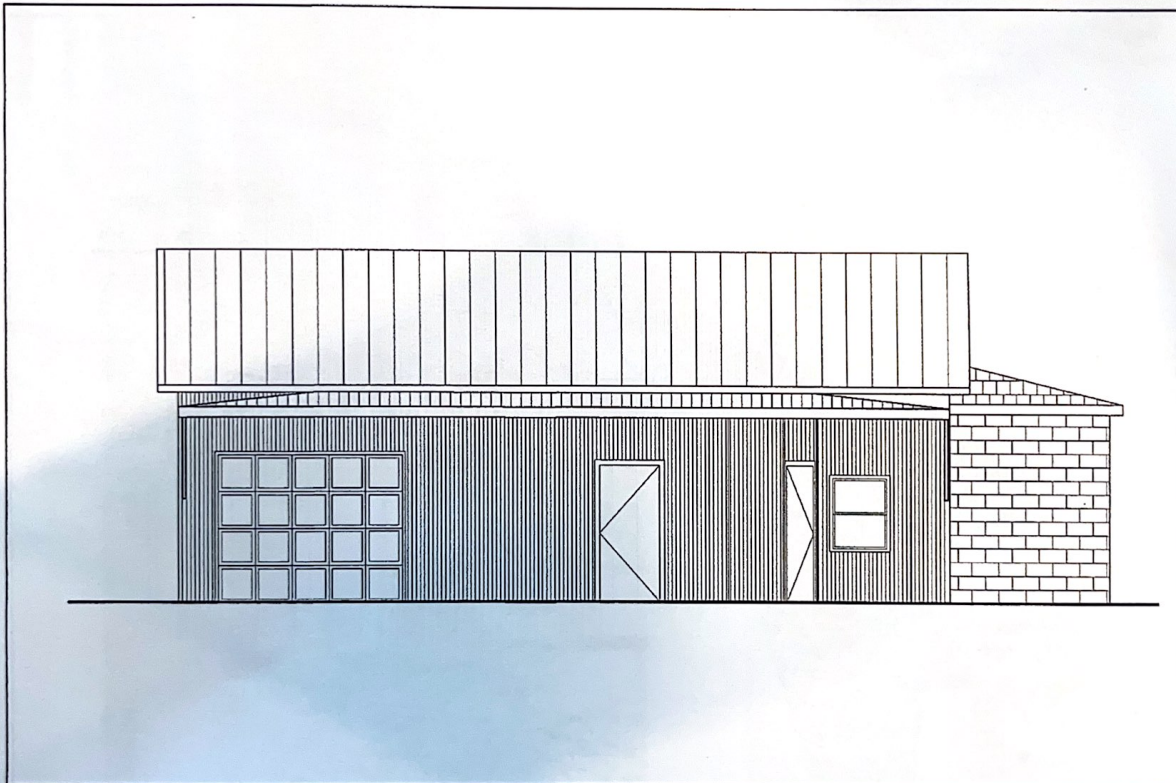
MICHE BOOZ A R C H I T E C T	
208 Market St Brookville, MD 21033 (301) 774-0311 fax: 774-1903	
Project: HUSSMAN PLUMBING SHOP 15 HIGH STREET, BROOKVILLE, MD 21033	
Drawings: EXISTING EAST ELEVATION	
Dates: 11/09/2018	
Scale: 1/4"=1'0"	
Sheet: EX22	
No.:	

ORIGINAL SIZE 11X17



MICHE BOOZ A R C H I T E C T	
203 Market St Brooklyn, NY 11201 Tel: 718 774 1528	
Project: HUSSMAN PLUMBING SHOP 15 HIGH STREET, BROCKENHILL, MD 20833	
Drawing: EXISTING SOUTH ELEVATION	
Date: 11/09/2018	
Scale: 1/4"=1'0"	
Sheet: EX23	
No.:	

ORIGINAL SIZE 11X17



MICHEBOOZ

A R C H I T E C T

208 West 13
Brookville, MD 21033
CDP1774 6911
Fax 774 1928

Project:

**HUSSMAN
PLUMBING
SHOP**

15 HIGH STREET,
BROOKVILLE, MD 21033

Drawings:

**EXISTING
WEST
ELEVATION**

Dates:

11/09/2018

Scale:

1/4"=1'0"

Sheet:

EX21

No.:

ORIGINAL SIZE 11X17



REVIEWED

Figure 1 Existing North facade.

By Winnie Cargill at 11:44 am, Aug 04, 2023

APPROVED
Montgomery County
Historic Preservation Commission



Figure 2 Existing south facade.

15 HIGH STREET

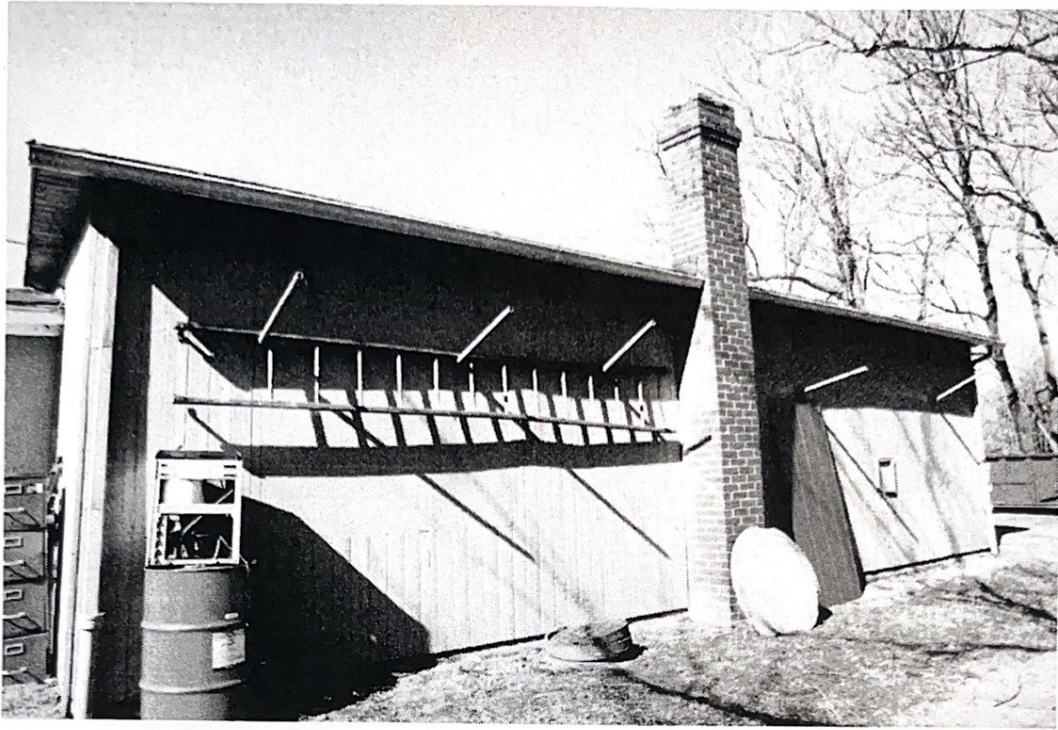


Figure 3 Existing east facade.



Figure 4 Existing front (west) facade with awning.

15 HIGH STREET