



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert K. Sutton
Chairman

Date: October 29, 2021

MEMORANDUM

TO: Mitra Pedoeem
Department of Permitting Services

FROM: Michael Kyne
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #961003: Window replacement

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the August 18, 2021 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Bruce Evans (Miche Booz, Architect)
Address: 204 Market Street, Brookeville

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Michael Kyne at 301.563.3403 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.





FOR STAFF ONLY:
HAWP# 961003
DATE ASSIGNED _____

APPLICATION FOR HISTORIC AREA WORK PERMIT

HISTORIC PRESERVATION COMMISSION
301.563.3400

APPLICANT:

Name: Bruce Evans
Address: 204 Market St.
Daytime Phone: 301-580-6924

E-mail: bevans1119@gmail.com
City: Brookeville Zip: 20833
Tax Account No.: 00731905

AGENT/CONTACT (if applicable):

Name: Miche Booz, Architect
Address: _____
Daytime Phone: 301-602-6317

E-mail: mbooz@michebooz.com
City: _____ Zip: _____
Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District?
Is there an Historic Preservation/Land Trust/Environmental
n_{ma} REVIEWED and documentation from the E
A By Michael Kyne at 2:52 pm, Oct 29, 2021 ova
(Conditional Use, Variance, Record Plat, etc.?) If YES,
supplemental information.



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YES, include a
ication.
Application?
as

Building Number: 204 Street: M
Town/City: Brookeville Nearest Cross Street: South St. and Market St.
Lot: 41 Block: _____ Subdivision: _____ Parcel: _____


TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|---|--|--|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input checked="" type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Bruce Evans _____ 4/28/21
Signature of owner or authorized agent Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address 204 Market St. Brookeville, MD 20833	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	
Dan & Kim Heyman 206 Market St. Brookeville, MD 20833	Phyllis Millard 202 Market St. Brookeville, MD 20833
Warren Ferris & Renee Moneyhun 207 Market St. Brookeville, MD 20833	
	<div data-bbox="954 1518 1446 1898" data-label="Text"><p>APPROVED Montgomery County Historic Preservation Commission</p><hr/></div>

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Adjacent and Confronting Properties:

Brookeville, MD 20833

202 Market Street

206 Market Street

207 Market Street

2608 Brighton Dam Road

1 South Street

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Robert H. [unclear]

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

204 Market St. house is a two story frame house built in 1839. Major renovation were done in 1894 by John William Whiteside. In 1992 the house interior was gutted and original windows were removed and replaced with current windows. In 2004 a living room and kitchen addition was added on to the back southeast corner of the structure. The house sits on northwest corner of the 1.4 acre lot which also includes a historic barn on the northeast side of the lot at the end of the driveway. The street front of the lot is lined with a white picket fence.

Description of Work Proposed: Please give an overview of the work to be undertaken:

Window replacement:

Windows are deteriorating and need to be replaced. We are proposing to replace 15 windows with traditional double hung wood windows with two over two divided light. The current windows were installed in 1992 without the approval of the HPC. These windows are of poor quality and did not match the original two over two divided light windows that old photos indicate John William Whiteside installed in 1894 in the houses he owned and renovated/remodeled at 208, 206, and 204 Market St. (See attached photo)

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Work Item 1: Replace 15 windows

Description of Current Condition:
Windows are rotting and are of poor quality. They do not match the original two over two divided light windows that old photos indicate John William Whiteside installed in 1894 in the houses he owned and renovated/remodeled at 208, 206, and 204 Market St.

Proposed Work:
Remove 15 old windows and Install Kolbe double hung wood windows (2 over 2 DL) or equivalent. (see attached window spec sheets and photos of existing windows we are proposing to replace)

Work Item 2: _____

Description of Current Condition:

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Proposed Work:

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Work Item 3: _____

Description of Current Condition:

Proposed Work:

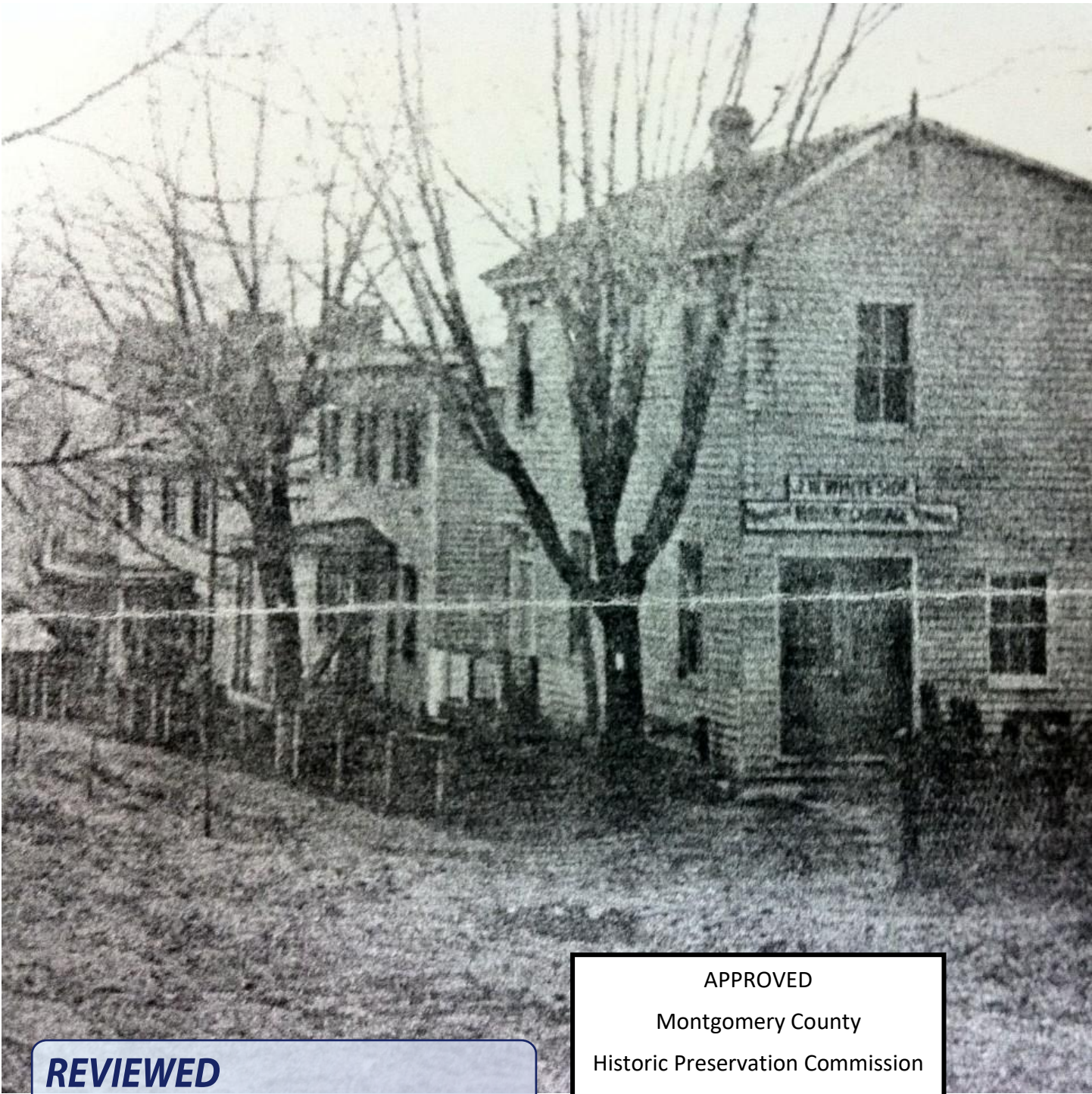
**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/Parking Area	*	*		*	*	*	*
Grading/Excavation/Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/Door Changes	*	*	*	*	*		*
Masonry Repair/Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

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Ronald L. [Signature]

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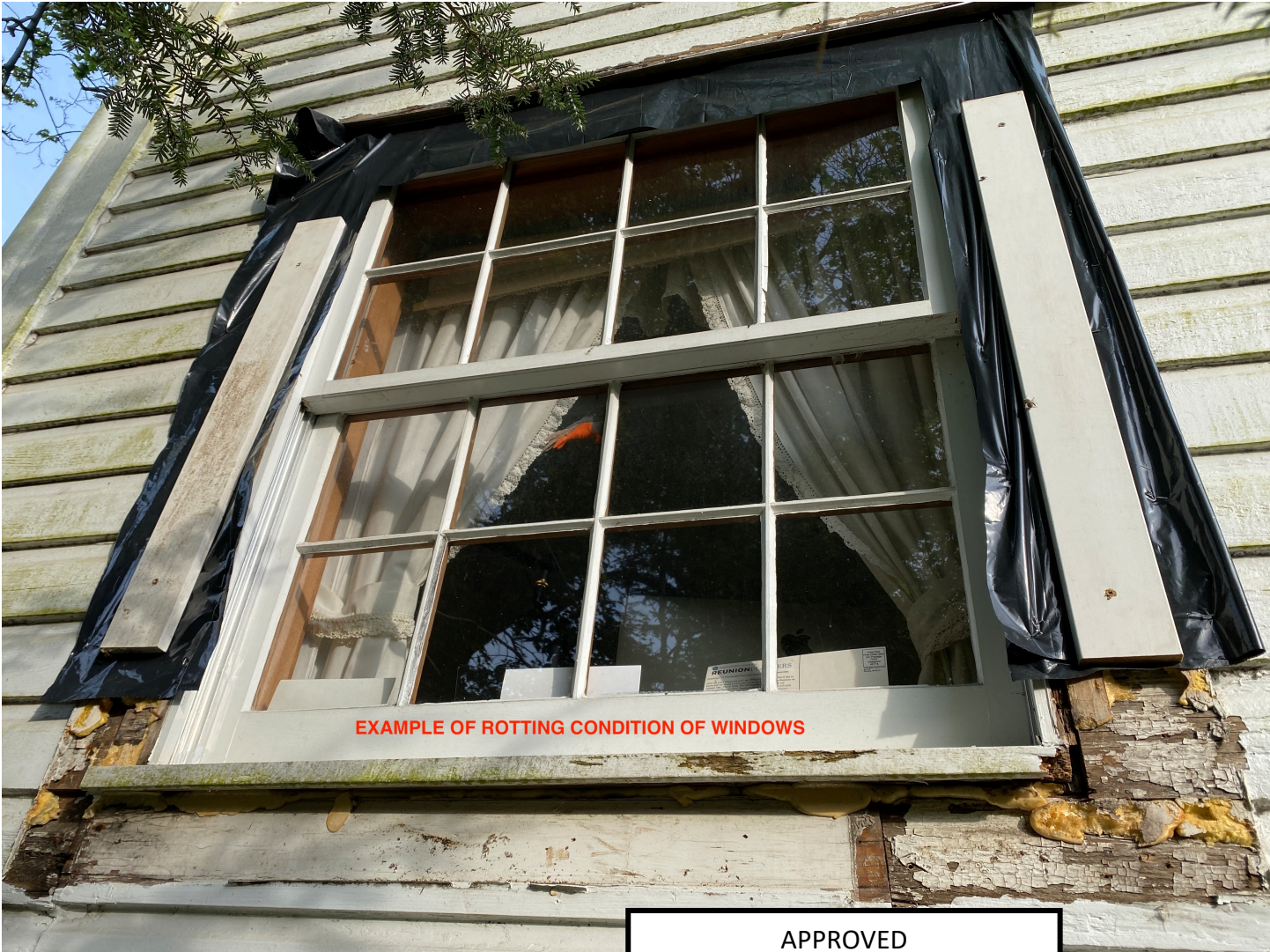
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Kolbe Double Hung (2 over 2 DL) wood
windows approved for 2004 addition



EXAMPLE OF ROTTING CONDITION OF WINDOWS

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Ronald A. Porter



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Robert H. [Signature]



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Ronald G. Trotter



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Historic Preservation Commission
Ronald H. Potter

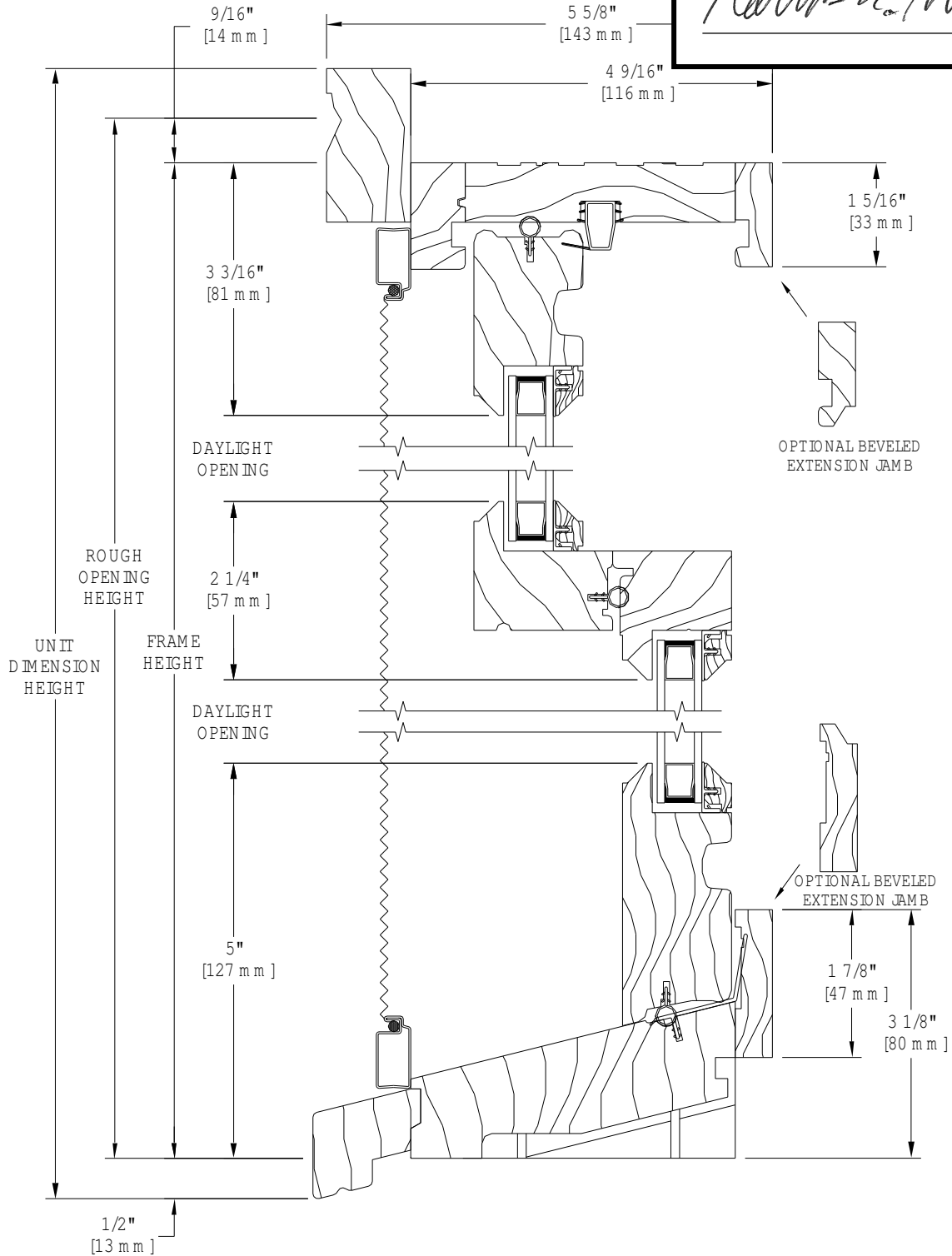


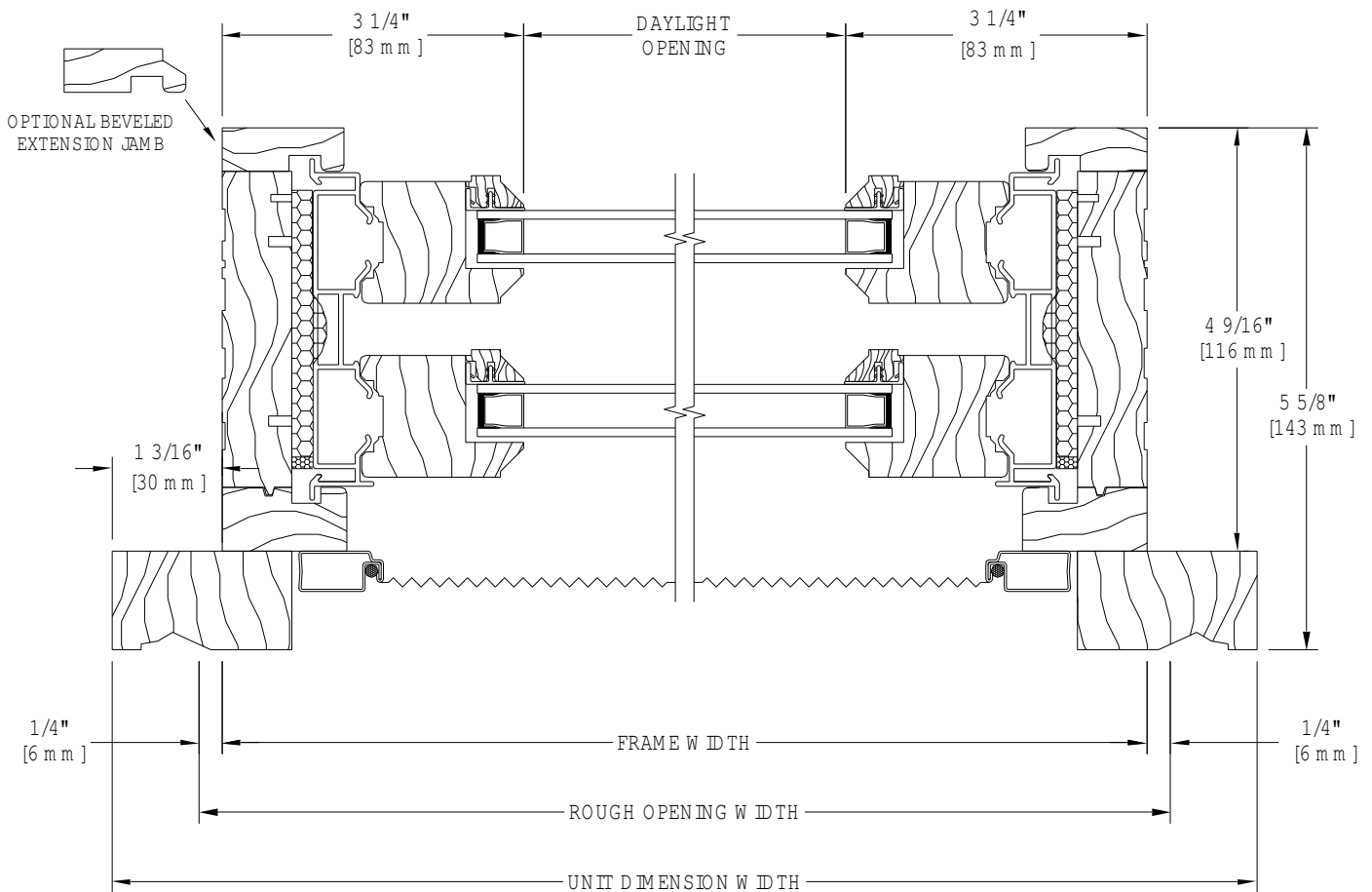
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Ronald H. Patton





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Robert G. [Signature]



MHIC #136012
2410 Linden Lane
Silver Spring, MD 20910
301-565-4949
Fax: 301-565-4979
Email: info@blainewindowanddoor.com

Billing Information:

Bruce Evans
204 Market Street
Brookeville, MD 20833

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Job Site Information:

204 Market Street
Brookeville, M

Estimate

00007506

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This contract governs the terms and use of the following products and

Line Item	Location	Qty	Product
1		5	RWW - Window - Replacement Wood Kolbe Windows: Heritage Rectangle Double Hung -- Traditional Overall Frame Width 41 1/2" Overall Frame Height 48 3/4" Overall Rough Opening Width 42" Overall Rough Opening Height 49 5/16" Overall Unit Dimension Width 43 7/8" Overall Unit Dimension Height 50 7/16" Exterior Casing/Accessories Standard Brickmould Back Bevel No Standard Sill Nosing Extended Horns No Apply Exterior Casing/Accessories Yes Back Priming of Casing No Back Priming of Frame No Jamb Depth 4 9/16" Installation Clips 6 5/16" Clips Glass Thickness Double Glazed Glass Solar Low-E - not tempered Glass Spacer Mill Finish Glazing Bead Beveled Lite Division Performance Divided Lites Bar Profile - Exterior Beveled Bar Profile - Interior Beveled Bar Size 1 1/8" Internal Spacers Mill Finish Second Bar Size None Grid Pattern Colonial 2w x 1h Hardware Color Clay (Rustic) Amount of Check Rail Locks 2 Both Sash Plough Screen Full Screen - white surround Jambliner White Change Species Leave All Pine Exterior Frame Finish K-Kron2

		Exterior Sash Finish K-Kron2 Match All Exterior Colors Yes Exterior Color White Interior Frame Finish Unfinished Interior Sash Finish Unfinished
2	10	RWW - Window - Replacement Wood Kolbe Windows: Heritage Rectangle Double Hung -- Traditional Overall Frame Width 34 1/2" Overall Frame Height 56 3/4" Overall Rough Opening Width 35" Overall Rough Opening Height 57 5/16" Overall Unit Dimension Width 36 7/8" Overall Unit Dimension Height 58 7/16" Exterior Casing/Accessories Standard Brickmould Back Bevel No Standard Sill Nosing Extended Horns No Apply Exterior Casing/Accessories Yes Back Priming of Casing No Back Priming of Frame No Jamb Depth 4 9/16" Installation Clips 6 5/16" Clips Glass Thickness Double Glazed Glass Solar Low-E - not tempered Glass Spacer Mill Finish Glazing Bead Beveled Lite Division Performance Divided Lites Bar Profile - Exterior Beveled Bar Profile - Interior Beveled Bar Size 1 1/8" Internal Spacers Mill Finish Second Bar Size None Grid Pattern Colonial 2w x 1h Hardware Color Clay (Rustic) Amount of Check Rail Locks 2 Both Sash Plough Screen Full Screen - white surround Jambliner White Change Species Leave All Pine Exterior Frame Finish K-Kron2 Exterior Sash Finish K-Kron2 Match All Exterior Colors Yes Exterior Color White Interior Frame Finish Unfinished Interior Sash Finish Unfinished
3	1	7001D - Delivery Only

Customer is responsible for any painting desired. There may be an extended delivery time due to Covid-19. *Note: If any additional items are added beyond the items listed above additional charges will apply.

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