



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert K. Sutton
Chairman

Date: July 23, 2021

MEMORANDUM

TO: Mitra Pedoeem
Department of Permitting Services

FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit # 960614 - Deck Construction

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** by historic preservation Staff.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Ghulam Dastgir
Address: 21512 New Hampshire Ave., Brookeville

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.





HISTORIC PRESERVATION COMMISSION

HAWP #: _____ at: _____

submitted on: _____

has been reviewed and determined that the proposal fits into the following category/categories:

Repair or replacement of a masonry foundation with new masonry materials that closely match the original in appearance;

Installation of vents or venting pipes in locations not visible from the public right-of-way;

New gutters and downspouts;

Removal of vinyl, aluminum, asbestos, or other artificial siding when the original siding is to be repaired and/or replaced in kind;

Removal of accessory buildings that are not original to the site or non-historic construction;

Repair or replacement of missing or deteriorated architectural details such as trim or other millwork, stairs or stoops, porch decking or ceilings, columns, railings, balusters, brackets shutters, etc., with new materials that match the old in design, texture, visual characteristics, and, where possible materials, so long as the applicant is able to provide one extant example, photographic evidence, or physical evidence that serves as the basis for the work proposed;

Construction of wooden decks that are at the rear of a structure and are not visible from a public right-of-way;

Roof replacement with -compatible roofing materials, or with architectural shingles replacing 3-Tab asphalt shingles;

Installation of storm windows or doors that are compatible with the historic resource or district;

Repair, replacement or installation of foundation-level doors, windows, window wells, and areaways, or foundation vents, venting pipes, or exterior grills that do not alter the character-defining features and/or the historic character of the resource;

Construction of fences that are compatible with the historic site or district in material, height, location, and design;

Fence is lower than 48" in front of rear wall plane;

Construction of walkways, parking pads, patios, driveways, or other paved areas that are not visible from a public right-of-way and measure no more than 150 square feet in size;

Replacement of existing walkways, parking pads, patios, driveways, or other paved areas with materials that are compatible with the visual character of the historic site and district and that are no greater than the dimensions of the existing hardscape;

Construction of small accessory buildings no larger than 250 square feet in size that are not visible from the public right-of-way;

Installations of skylights on the rear of a structure that will not be visible from the public right-of-way, and would not remove or alter character-defining roof materials;

Installation of solar panels and arrays in locations that are not readily visible from the public right-of-way or that are designed so as to have a minimal impact on the historic resource or the historic district (e.g., systems that are ground-mounted in areas other than the front or side yard of a corner lot, located on accessory or outbuildings, on non-historic additions, or on rear facing roof planes);

Installation of car charging stations in any location on a property or in the right-of-way;

Installation of satellite dishes;

Removal of trees greater than 6" in diameter (d.b.h.) that are dead, dying, or present an immediate hazard.

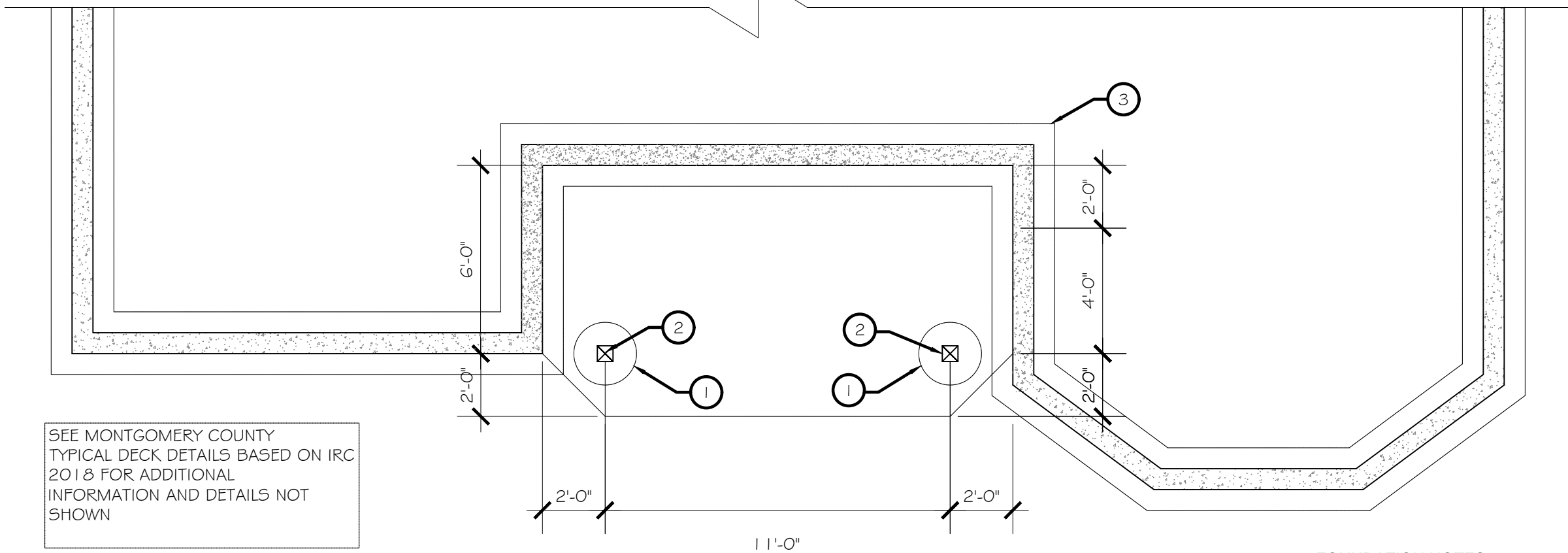
Removal of trees greater than 6" in diameter (d.b.h.) in the rear of the property that will not impact the overall tree canopy of the surrounding district or historic site;

Replacement tree required as a condition; and,

Other minor alterations that may be required by the Department of Permitting Services post-Commission approval that would have no material effect on the historic character of the property.

Staff finds the proposal complies with Chapter 24A, the Secretary of the Interior's Standards for Rehabilitation, and any additional requisite guidance. Under the authority of COMCOR No. 24A.04.01, this HAWP is approved by J. Brueckert on _____. The approval memo and stamped drawings follow.

SEE MONTGOMERY COUNTY
 TYPICAL DECK DETAILS BASED ON IRC
 2018 FOR ADDITIONAL
 INFORMATION AND DETAILS NOT
 SHOWN



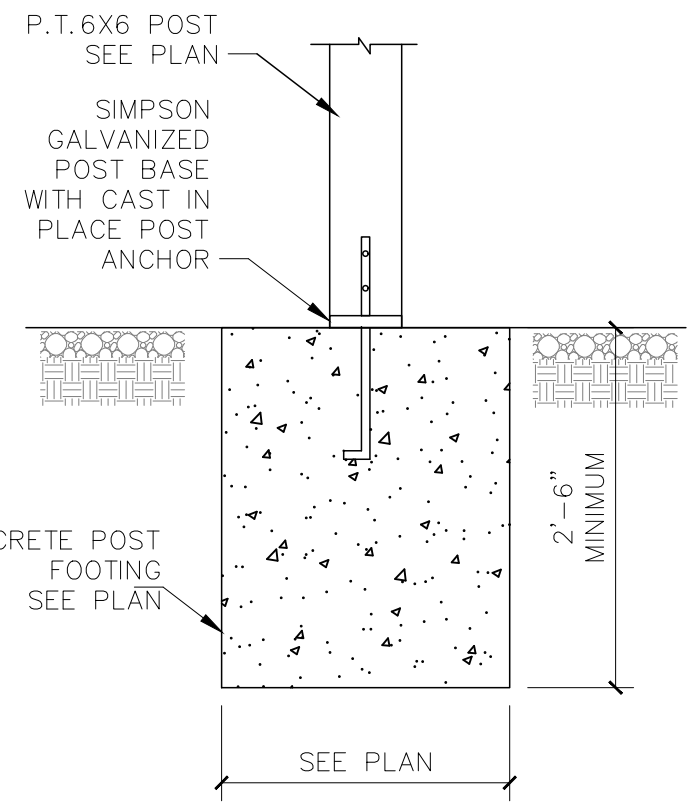
DECK FOUNDATION PLAN

1/4" = 1'-0"

1. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND IS TO REPORT ANY DISCREPANCIES TO ENGINEER BEFORE COMMENCING WORK.
2. SEE NOTES AND TYPICAL DETAILS FOR ADDITIONAL INFORMATION
3. FOOTINGS ARE DESIGNED FOR AN ASSUMED MINIMUM BEARING CAPACITY OF 2000 PSF TO BE FILED VERIFIED.

FOUNDATION NOTES:

- 1 POST UP, 6X6 P.T. WITH SIMPSON PBS66 POST BASE AND 2'-0" DIAMETER X30" THICK CONCRETE FOOTING MIN. CONCRETE COMPRESSIVE STRENGTH $F_c=3000$ PSI BOTTOM OF NEW FOOTING TO MATCH THAT OF EXISTING
- 2 6X6 P.T. POST UP PROVIDE SIMPSON PBS66 GALVANIZED POST BASE
- 3 EXISTING FOUNDATION WALL AND FOOTING TO REMAIN



TYPICAL DECK WOOD POST FOOTING DETAIL

SCALE: 3/4" = 1'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission



REVIEWED
 By Dan.Bruechert at 11:27 am, Jul 23, 2021

DRG. TITLE
 PROPOSED BACK FOOTING PLAN

PRIVATE RESIDENCE
 108 SWAN CREEK ROAD
 FORT WASHINGTON, MD

PROJ. NO.
 DATE 7/14/21

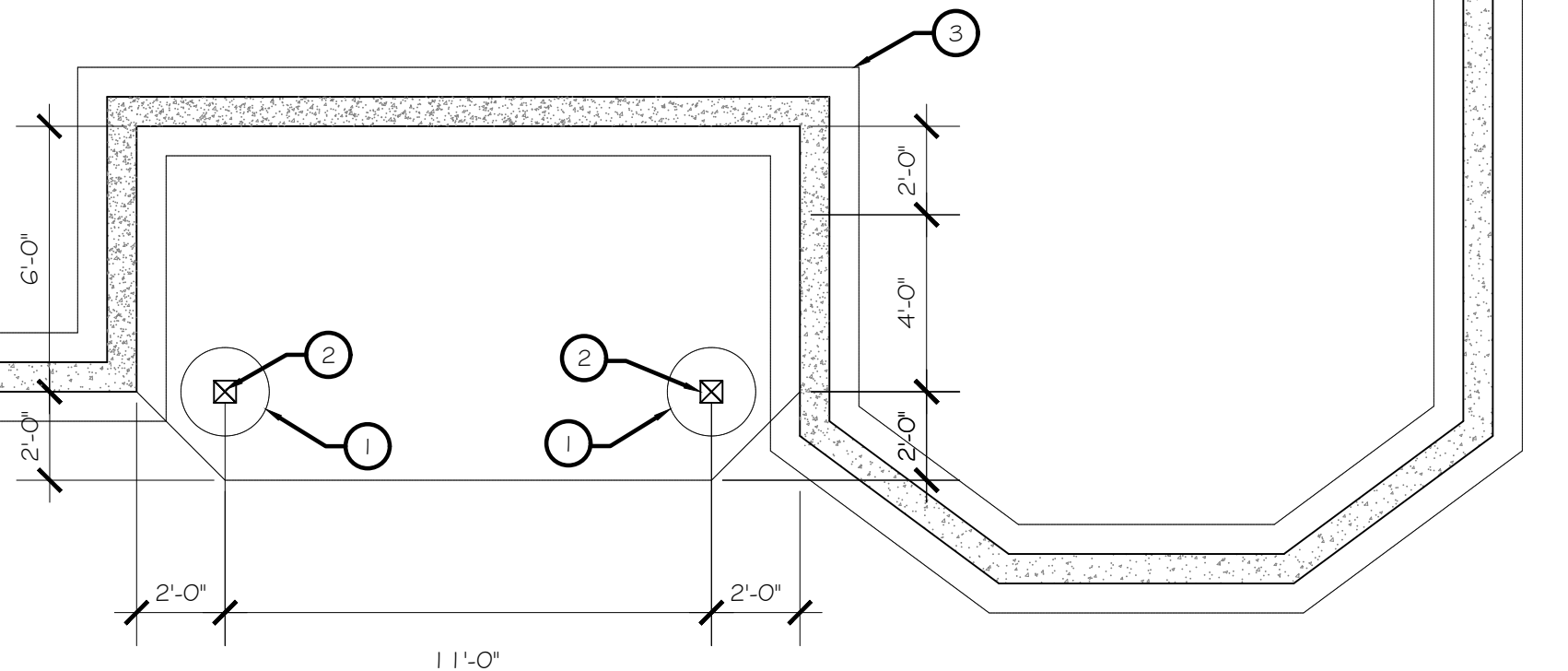
PERMIT SET

DRG. NO. SH1
 A1 OF

DRWING: A.O.
 DESIGNED: A.O.
 CHECKED: A.O.

REVISION

SEE MONTGOMERY COUNTY
TYPICAL DECK DETAILS BASED ON IRC
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SHOWN



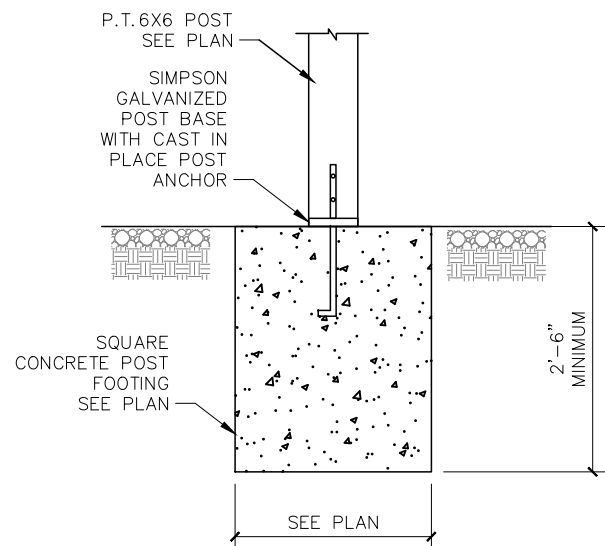
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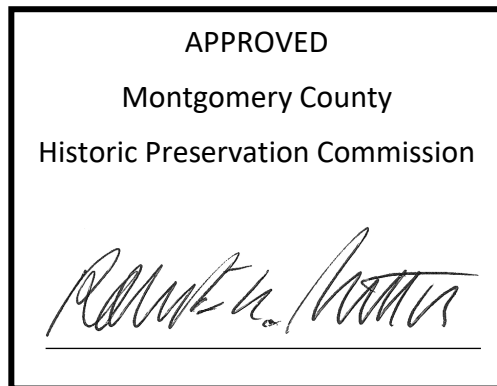
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TYPICAL DECK WOOD POST FOOTING DETAIL

SCALE: 3/4" = 1'-0"



REVIEWED

By Dan.Bruechert at 11:27 am, Jul 23, 2021

Professional Certification, I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland, License No.: 28110 Expiration Date: 10-18-2022



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108 SWAN CREEK ROAD
FORT WASHINGTON, MD

PROJ. NO.
DATE 7/14/21

PERMIT SET

DRG. NO.

A1

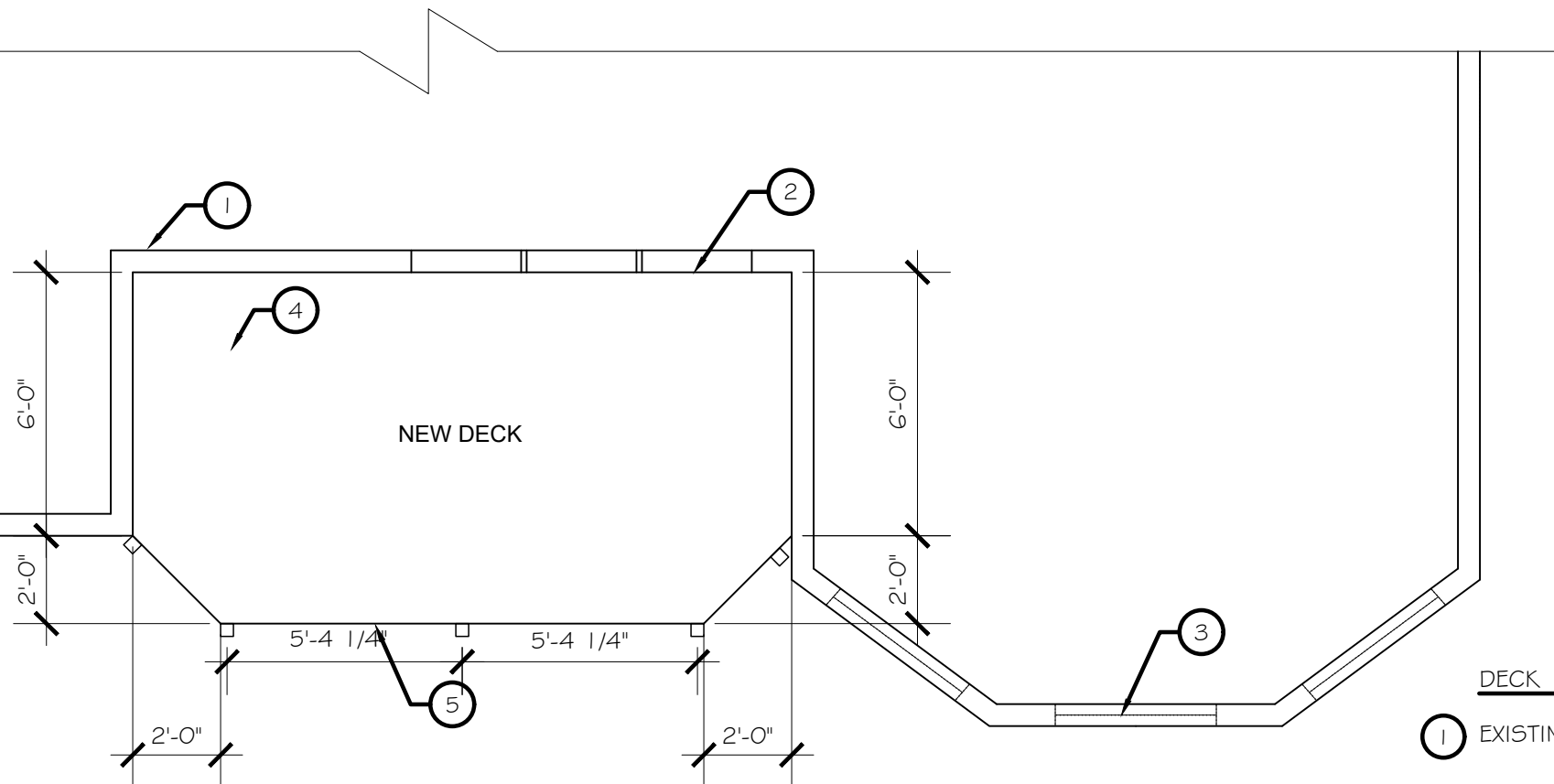
SHT

OF

DRWN: A.O.
DESIGNED: A.O.
CHECKED: A.O.

REVISION

EXISTING FIRST FLOOR
FRAMING TO REMAIN



DECKING AND RAILING MAY BE
PRESSURE TREATED LUMBER
OF APPROVED COMPOSITE MATERIAL
INSTALLED PER MANUFACTURER
RECOMMENDATIONS

SEE MONTGOMERY COUNTY
TYPICAL DECK DETAILS BASED ON IRC
2018 FOR ADDITIONAL
INFORMATION AND DETAILS NOT
SHOWN

DECK FRAMING PLAN NOTES:

- 1 EXISTING WALL TO REMAIN
- 2 EXISTING DOOR
- 3 EXISTING WINDOW OPENING
- 4 DECKING 2X6 P.T. OR PLASTIC
COMPOSITE DECK BOARDS TO
MEET ASTM D7032
- 5 36" MIN. GUARDRAIL PRESSURE
TREATED LUMBER OR APPROVED
MANUFACTURED RAILING SYSTEM
TO MEET ASTM D7032. SEE
MONTGOMERY COUNTY FOR
GUARDRAIL DETAILS

DECK PLAN
1/4" = 1'-0"

1. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND IS TO REPORT ANY DISCREPANCIES TO ENGINEER BEFORE COMMENCING WORK.
2. SEE NOTES AND TYPICAL DETAILS FOR ADDITIONAL INFORMATION
3. DO NOT SCALE DRAWINGS

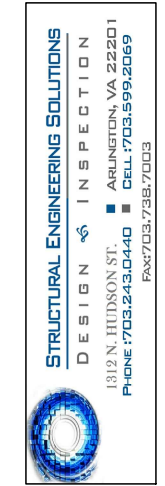
APPROVED
Montgomery County
Historic Preservation Commission



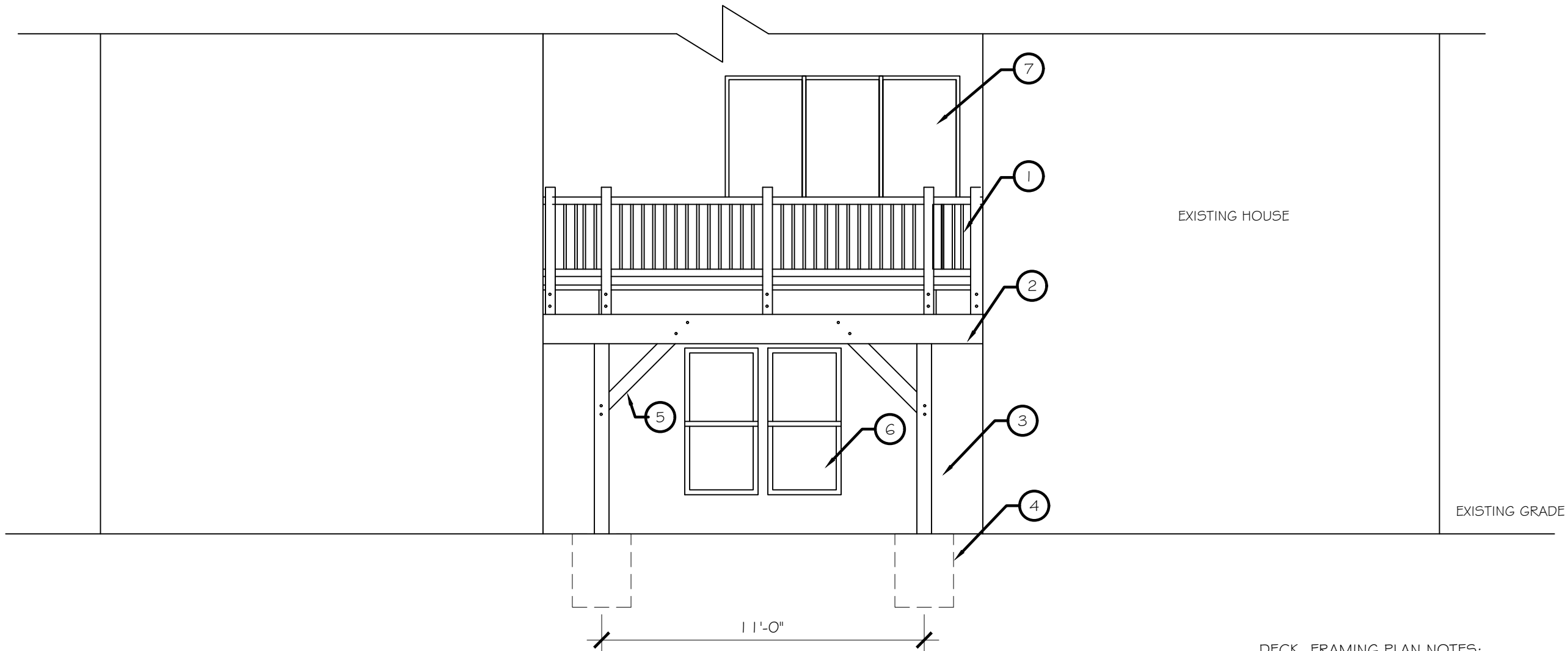
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DRG. TITLE	PROPOSED BACK DECK PLAN	DRWN:	A.O.	DESIGNED:	A.O.	CHECKED:	A.O.
PROJECT TITLE:	PRIVATE RESIDENCE 21512 NEW HAMPSHIRE AVE BROOKVILLE, MD						
PROJ. NO.							
DATE	7/12/21						
PERMIT SET							
DRG. NO.	A2	SHT		OF			



11'-0"

DECK ELEVATION

1/4" = 1'-0"

1. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND IS TO REPORT ANY DISCREPANCIES TO ENGINEER BEFORE COMMENCING WORK.
2. SEE NOTES AND TYPICAL DETAILS FOR ADDITIONAL INFORMATION
3. DO NOT SCALE DRAWINGS

DECK FRAMING PLAN NOTES:

- 1 36" GUARDRAIL PER CODE
- 2 BEAM SEE FRAMING PLAN
- 3 DECK POST SEE FRAMING PLAN
- 4 POST FOOTING SEE FOUNDATION PLAN
- 5 2X6 DIAGONAL BRACING
- 6 EXISTING WINDOW
- 7 EXISTING DOOR

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Expiration Date: 10-18-2022



APPROVED

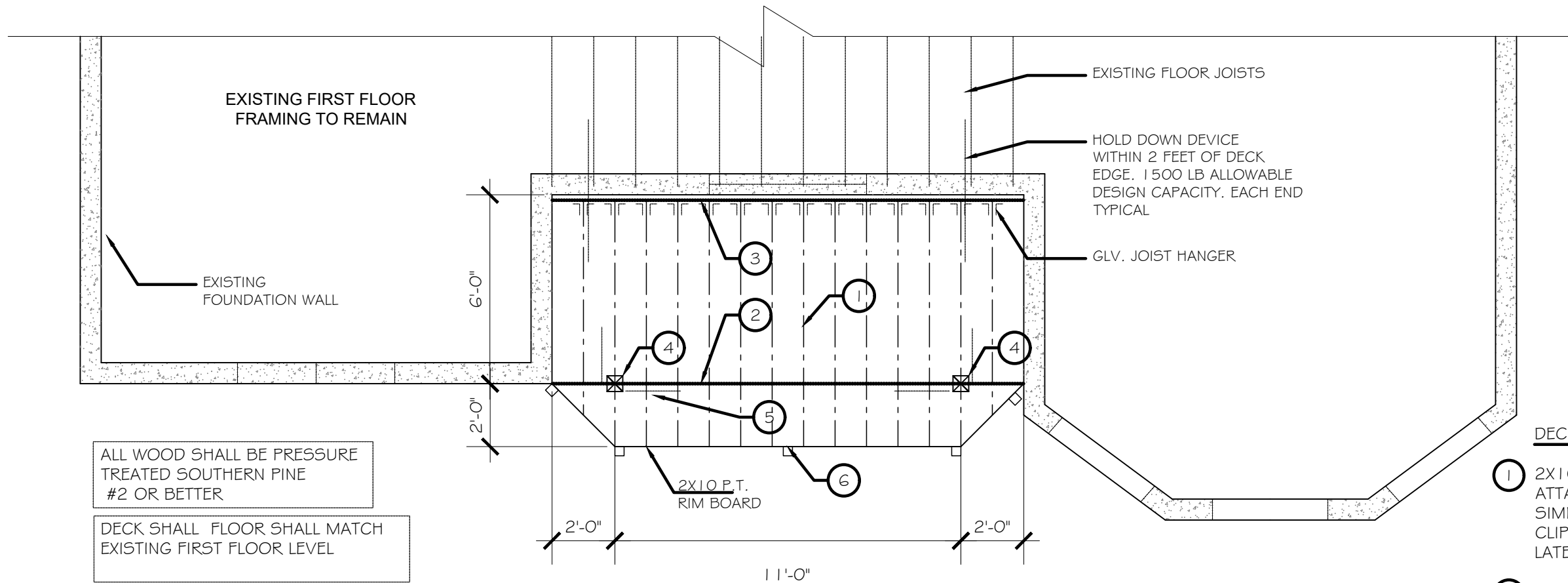
Montgomery County
Historic Preservation Commission

REVIEWED
By Dan.Bruechert at 11:27 am, Jul 23, 2021

STRUCTURAL ENGINEERING SOLUTIONS
DESIGN & INSPECTION

1312 N. HUDSON ST. ■ ARLINGTON, VA 22201
PHONE: 703.243.0440 ■ CELL: 703.599.2069
FAX: 703.738.7003

DRG. TITLE	DECK ELEVATION
PROJECT TITLE:	PRIVATE RESIDENCE 108 SWAN CREEK ROAD FORT WASHINGTON, MD
DRWING:	A.O.
DESIGNED:	A.O.
CHECKED:	A.O.
PROJ. NO.	
DATE	7/14/21
PERMIT SET	
DRG. NO.	SHT
A4	OF



DECK FRAMING PLAN
 1/4" = 1'-0"

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3. DO NOT SCALE DRAWINGS

ALL WOOD SHALL BE PRESSURE TREATED SOUTHERN PINE #2 OR BETTER

DECK SHALL FLOOR SHALL MATCH EXISTING FIRST FLOOR LEVEL

DECKING AND RAILING MAY BE PRESSURE TREATED LUMBER OF APPROVED COMPOSITE MATERIAL INSTALLED PER MANUFACTURER RECOMMENDATIONS

SEE MONTGOMERY COUNTY TYPICAL DECK DETAILS BASED ON IRC 2018 FOR ADDITIONAL INFORMATION AND DETAILS NOT SHOWN

DECK FRAMING PLAN NOTES:

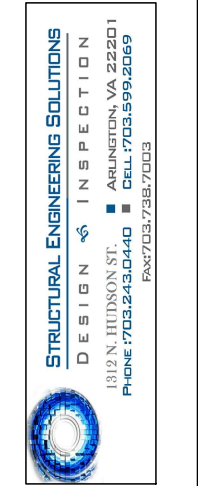
- 1 2X10 P.T. JOISTS @ 12" O.C. ATTACH JOISTS TO BEAM USING SIMPSON GALVANIZED HURRICANE CLIP 100# MIN. UPLIFT AND LATERAL LOAD CAPACITY
- 2 CONTINUOUS 3-2X12 P.T. BUILT UP BEAM. CONNECT WITH 2 ROWS OF #3 SCREWS 3" LONG AT 16" O.C. STAGGERED. PROVIDE 2 SCREWS AT EACH END
- 3 P.T. 2X10 LEDGER ATTACH TO EXISTING RIM BOARD USING 1/2" DIA. THROUGH BOLTS WITH WASHER @ 14" O.C. STAGGERED PROVIDE FLASHING
- 4 P.T. 6X6 POST. ATTACHE TO BEAM USING GALVANIZED SIMPSON POST CAP.
- 5 2X6 DIAGONAL BRACING PARALLEL AND PERPENDICULAR TO BEAM.
- 6 GUARDRAIL 36" MIN. PER CODE PROVIDE 4X4 P.T. POST AT 6'-0" MAX ON CENTER

APPROVED
 Montgomery County
 Historic Preservation Commission



REVIEWED
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PROJECT TITLE:	PRIVATE RESIDENCE 21512 NEW HAMPSHIRE AVE BROOKVILLE, MD	DATE:	7/12/21
DESIGNED:	A.O.	PERMIT SET:	
CHECKED:	A.O.	DRG. NO.:	A5
		SHT:	OF

STRUCTURAL NOTES

1. GENERAL

A. All construction shall be in compliance with the following codes:

" ALL APPLICABLE STATE OF MARYLAND CODES AND REGULATIONS"

" IRC FOR ONE AND TWO FAMILY DWELLING CODE, 2018 "

B. DESIGN LOADS:

	LIVE LOADS	DEAD LOADS	TOTAL LOADS
DECKS	50 PSF	10 PSF	60 PSF
WIND LOAD:	18 PSF MIN. (3 sec. guest) 90 mph, Ultimate Vult=115 mph		

C. Contractor shall review & verify all field conditions, dimensions and contract documents prior to commencing work and shall notify Architect/Engineer of any discrepancies or omissions before proceeding with work.

D. The structural integrity of the building is dependent upon completion according to plans and specifications. The Structural Engineers assume no liability for the structure during construction. The method of construction and sequence of operations is the sole responsibility of the contractor. The contractor shall supply any necessary shoring bracing, guys, etc. to properly brace the structure against wind, dead and live loads until the building is completed according to the plans and specifications. Contractor shall not place back-fill against basement walls until the floor system is completely installed or contractor has provided adequate shoring and bracing. Any questions regarding temporary bracing requirements should be forwarded to a Structural Engineer for review.

2. SITE WORKS

A. Footing design is based on the following conditions:
SOIL BEARING CAPACITY: ASSUMED Minimum 2000 psf ,
field verify under all footings and slabs on grade.
WATER TABLE: 2'-0" (Min.) Below bottom of all concrete slabs & footings.

SOILS: Footings, foundations walls & slabs shall not be placed on or in marine clay, peat or other organic materials.

B. All footings shall project at least 1'-0" into undisturbed natural soil or compacted structural fill. Bottom of footings shall extend a minimum of 2'-6" below finish grade, or to frost line per local jurisdiction. DO NOT place footings on wet or frozen soil. Where required, step footings in a ratio of 2 horizontal to 1 vertical.

C. Footing excavations shall be inspected by the building official prior to pouring concrete.

3. CONCRETE/FOUNDATIONS

A. All reinforced concrete to be in accordance with the American Concrete Institute ACI 318. All plain concrete to conform to ACI 318 and ACI guide to residential cast-in-place concrete construction.

B. Minimum specified compressive strength: f_c @ 28 days.

LOCATION OF CONCRETE	STRENGTH (f_c)	MIN. COMP SLUMP (IN.)	
BASEMENT WALLS & FND NOT EXPOSED TO WEATHER	3000 PSI (1)	4 + 1	—

NOTES:

1. Concrete in these locations which may be subject to freezing and thawing during construction shall be air-entrained.

2. Concrete shall be Air -Entrained

C. Air-Entrainment: All concrete subjected to severe weathering potential shall be air-entrained as follows:

Aggregate Size	Air-Entrainment %
3/8" - 1/2 inch	7.0
3/4 inch	6.0
1 inch	6.0

D. Aggregate shall conform to ASTM C33 and may range from 3/8" to 1" in size.

6. WOOD

All deck lumber shall be #2 Southern Pine or better. All lumber shall be pressure-treated – with an approved process and preservative in accordance with the American Wood Protection Association standard. All lumber in contact with the ground shall be approved preservative treated wood suitable for ground contact.

7. SCREWS AND CONNECTORS

- All screws, bolts, washers, nuts and nails shall be hot-dipped zinc-coated galvanized steel, stainless steel, silicon bronze or copper. Hot-dipped galvanized fasteners shall meet the requirements of ASTM A 153. Class D for fasteners 3/8" diameter and smaller or Class C for fasteners with diameters over 3/8". Stainless steel driven fasteners shall be in accordance with the material requirements of ASTM F 1667. Fasteners other than nails and timber rivets shall be permitted to be of mechanically deposited zinc-coated steel with coatings and weights in accordance with ASTM B695, Class 55, minimum.
- All connectors (joist hangers, cast-in-place post anchors, etc.) shall be galvanized or shall be stainless steel. Hardware to be hot-dipped galvanized prior to fabrication shall meet ASTM A653, G-185 coating. Hardware to be hot-dipped galvanized after fabrication shall meet ASTM A123.
- Screws, spirally grooved and ring shanked nails shall be used for the deck surface and only manufacturer-specified fasteners shall be used to attach the connectors. Do not mix galvanized and stainless-steel connectors.

APPROVED
Montgomery County
Historic Preservation Commission



REVIEWED

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		REVISION			