



## HISTORIC PRESERVATION COMMISSION

Marc Elrich  
*County Executive*

Robert K. Sutton  
*Chairman*

Date: October 19, 2021

### MEMORANDUM

TO: Mitra Pedoeem  
Department of Permitting Services

FROM: Michael Kyne  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #962725: Rear addition, fenestration alterations, and new awning addition

---

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the September 1, 2021 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Deirdre Schifeling and Peter Colavito (Eric Saul, Architect)  
Address: 7217 Willow Avenue, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Michael Kyne at 301.563.3403 or [michael.kyne@montgomeryplanning.org](mailto:michael.kyne@montgomeryplanning.org) to schedule a follow-up site visit.



MUNICIPAL STAMPS



**REVIEWED**  
By Michael Kyne at 4:14 pm, Oct 19, 2021

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Robert H. ...*

# SCHIFELING RESIDENCE ADDITION AND RENOVATION

7217 WILLOW AVENUE | TAKOMA PARK, MD 20912

**SAUL ARCHITECTS**  
8114 CARROLL AVENUE | TAKOMA PARK, MD 20912  
P: 301.270.0395  
info@saularchitects.com  
www.saularchitects.com

REVISIONS:

SCHIFELING RESIDENCE  
ADDITION AND RENOVATION  
7217 WILLOW AVENUE | TAKOMA PARK, MD 20912  
DO NOT SCALE THE DRAWINGS. THE ORIGINAL SHEET SIZE IS 11" X 17". ANY SCALE, ANY METHOD OF REPRODUCTION, OR ANY USE OF THESE DRAWINGS WITHOUT THE WRITTEN CONSENT OF THE COPYRIGHT OWNER IS PROHIBITED. BY ANY METHOD, IN WHOLE OR IN PART.



PROFESSIONAL CERTIFICATION:  
I, ERIC SAUL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 14248, EXPIRATION DATE JUNE 30, 2023.

PROJECT NUMBER: 20034  
PRINTING LOG

DATE	PURPOSE
06.17.21	PRE-DESIGN
07.12.21	SCHEMATIC DESIGN
10.12.21	PERMIT SET

ZONING

CS

PROJECT TEAM

OWNERS:  
DEIRDRE SCHIFELING  
AND PETER COLAVITO  
7217 WILLOW AVENUE  
TAKOMA PARK, MD 20912  
(202)-525-0454

ARCHITECT:  
ERIC C. SAUL, RA  
SAUL ARCHITECTS  
8114 CARROLL AVENUE  
TAKOMA PARK, MD 20912  
(301) 270-0395

SHEET INDEX

ARCHITECTURAL

- CS ZONING
- A1 EXISTING/DEMO FLOOR PLANS
- A1.1 PROPOSED FLOOR PLANS
- A2 EXTERIOR ELEVATIONS
- A3 DETAILS
- A3.1 DETAILS
- S1 FRAMING PLANS AND STRUCTURAL NOTES
- S2 WIND BRACING DIAGRAMS
- E1 ELECTRICAL PLAN

GRAPHIC SYMBOLS

- SECTION CALLOUT SHEET NUMBER
- DETAIL CALLOUT SHEET NUMBER
- ELEVATION CALLOUT SHEET NUMBER
- DETAIL NUMBER SHEET NUMBER
- INTERIOR ELEVATION SHEET NUMBER
- WALL TYPE DESIGNATION FIRE RATING
- FLOOR/ROOF ASSEMBLY FIRE RATING
- SPOT ELEVATION
- WINDOW IDENTIFIER
- DOOR IDENTIFIER
- FLOOR HEIGHT IDENTIFIER
- KEYNOTE
- HANDICAPPED
- ROOM FINISH KEY
- REVISION INDICATOR

CODE ANALYSIS

SCOPE OF WORK:  
EXISTING SINGLE-FAMILY HOME TO HAVE A NEW REAR SCREENED PORCH ADDITION WITH STEPS, A NEW REAR BAY WINDOW ON THE SECOND FLOOR, A NEW AWNING OVER THE SIDE BASEMENT ENTRANCE, AND AN INTERIOR KITCHEN AND BATH REMODEL.

LOT:  
BLOCK: 13/PART OF 12  
SUBDIVISION: 8 0025

CODE:  
ZONE: IRC 2018 R-60  
CONSTRUCTION TYPE: 5B  
NO. OF STORIES: 2 PLUS BASEMENT  
SPRINKLERED: NO

DESIGN CRITERIA:  
GROUND SNOW LOAD 30 PSF  
WIND SPEED 115 MPH  
SEISMIC DESIGN CATEGORY B  
WEATHERING SEVERE  
FROST DEPTH LINE 30 IN.  
TERMITE MODERATE TO HEAVY  
DECAY SLIGHT TO MODERATE  
WINTER DESIGN TEMP. 13° F  
ICE SHIELD UNDERLAYMENT REQ'D YES  
FLOOD HAZARDS JULY 2, 1979  
AIR FREEZING INDEX 300  
MEAN ANNUAL TEMP. 55° F

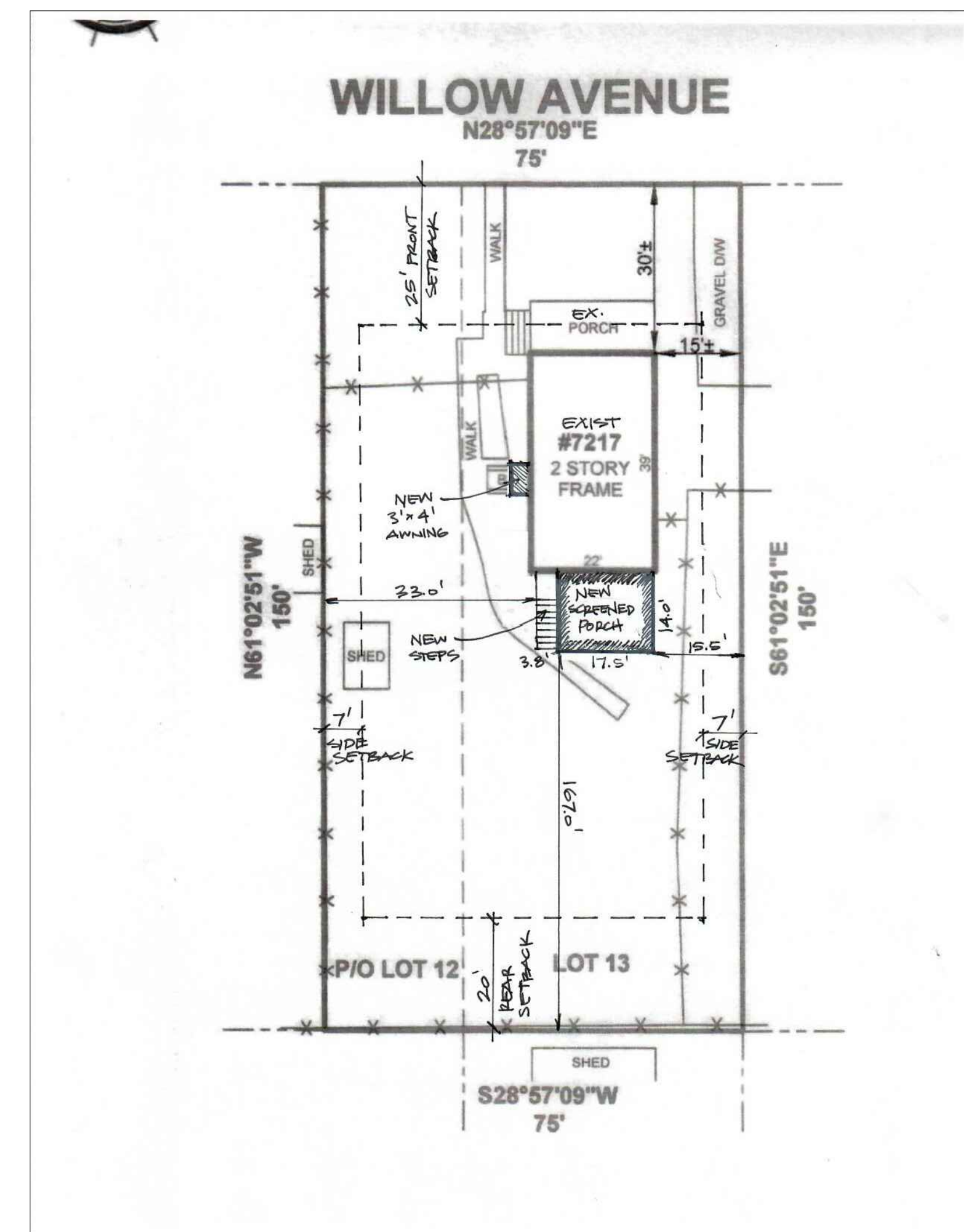
ALLOWED HEIGHT: 2 1/2 STORIES; 35'-0" MAX. HEIGHT  
PROPOSED HEIGHT: 24'-4 3/4" TO PEAK

SETBACKS:  
FRONT YARD 25'-0"  
SIDE YARD 7'-0"  
REAR YARD 20'-0"

LOT AREA CALCULATIONS:  
LOT SIZE 11,250.0 SQ. FT. (100.0%)  
MAX. LOT COVERAGE 3,937.5 SQ. FT. (35.0%)  
EXISTING COVERAGE 1,034.0 SQ. FT. (9.2%)  
PROPOSED COVERAGE 1,279.0 SQ. FT. (11.4%)  
INCREASED COVERAGE 245.0 SQ. FT.

TOTAL LOT DISTURBANCE	245 SQ. FT.
TOTAL ADDITION	245 SQ. FT.
TOTAL RENOVATION	272 SQ. FT.

SITE PLAN: 1" = 20'-0"



MUNICIPAL STAMPS



DEMOLITION KEYNOTES:

- 1 EXISTING WINDOW TO BE REMOVED AND PREPPED FOR NEW OPENING PER PROPOSED FLOOR PLANS
- 2 BEARING WALL TO BE REMOVED - SEE FRAMING PLANS FOR NEW BEAM
- 3 EXISTING DOOR TO BE REMOVED
- 4 DEMO EXISTING EXTERIOR DECK AND STEPS
- 5 COMPLETE DEMO OF EXISTING KITCHEN: REMOVE ALL CABINETS, PLUMBING FIXTURES, HARDWARE, FINISHES AND FLOORING. CAP ALL PLUMBING AND EXPOSE ALL MECHANICAL AND ELECTRICAL. OWNER TO INFORM CONTRACTOR WHICH APPLIANCES TO BE STORED SAFELY FOR REINSTALLATION
- 6 COMPLETE DEMO OF EXISTING BATHROOM: REMOVE ALL CABINETS, PLUMBING FIXTURES, HARDWARE, FINISHES AND FLOORING. CAP ALL PLUMBING AND EXPOSE ALL MECHANICAL AND ELECTRICAL.
- 7 DEMO NON-LOAD BEARING WALL
- 8 DEMO EXISTING CLOSET: REMOVE ALL WALLS, SHELVING, AND RODS

SAUL ARCHITECTS  
8114 CARROLL AVENUE | TAKOMA PARK, MD 20912  
P: 301.270.0395  
info@saularchitects.com  
www.saularchitects.com

REVISIONS:

SCHIFELING RESIDENCE  
ADDITION AND RENOVATION  
7217 WILLOW AVENUE | TAKOMA PARK, MD 20912

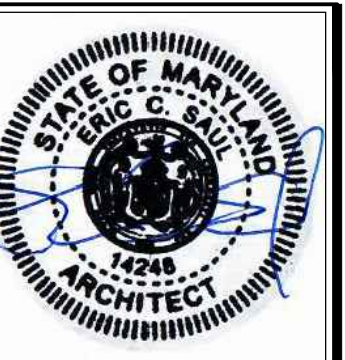
DO NOT SCALE THESE DRAWINGS. THE ORIGINAL SET OF DRAWINGS IS THE ONLY SET OF DRAWINGS TO BE USED. ANY USE OF THESE DRAWINGS FOR ANY OTHER PROJECT OR IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE COPYRIGHT OWNER IS PROHIBITED.

REVIEWED  
By Michael Kyne at 4:14 pm, Oct 19, 2021

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Robert A. ...*

GENERAL DEMO NOTES

1. DEMOLITION DRAWINGS ARE SCHEMATIC AND ARE INCLUDED TO DESCRIBE THE DEMOLITION WORK IN A GENERAL MANNER.
2. EXISTING CONSTRUCTION SHALL REMAIN UNLESS NOTED OTHERWISE AND SHALL BE PROTECTED FROM DAMAGE DUE TO DEMOLITION. CONSTRUCTION, THEFT, VANDALISM, MOISTURE, WEATHER, ETC. ALL DISTURBED EXISTING ITEMS SHALL BE RESTORED TO ORIGINAL CONDITION.
3. SEAL OFF UNDISTURBED AREAS OF THE BUILDING FROM DEMOLITION AREAS TO PREVENT THE INFILTRATION OF DUST AND DEBRIS. SECURE BUILDING TO PREVENT UNWANTED ENTRY THROUGH OPENINGS CREATED DURING CONSTRUCTION.
4. EXISTING CONCEALED ELEMENTS WERE NOT NECESSARILY VERIFIED PRIOR TO DEMOLITION. ALL DISCOVERIES OF UNIDENTIFIED OR INCORRECTLY LOCATED EXISTING ELEMENTS SHALL BE REPORTED TO THE ARCHITECT BEFORE REMOVAL FOR FINAL DISPOSAL.
5. ALL ITEMS DESIGNATED FOR RE-USE TO BE VERIFIED BY OWNER. PROTECT ANY STORED ITEMS TO BE RE-USED FROM DAMAGE DUE TO DEMOLITION, CONSTRUCTION, THEFT, VANDALISM, MOISTURE, WEATHER, ETC.
6. ALL DEBRIS BECOMES THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PREMISES AT THE CONTRACTOR'S EXPENSE AND DISPOSED OF ACCORDING TO LOCAL CODES AND GOVERNING AUTHORITIES.



PROFESSIONAL CERTIFICATION:  
I, ERIC SAUL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 14246, EXPIRATION DATE: JUNE 30, 2023

PROJECT NUMBER: 20034  
PRINTING LOG

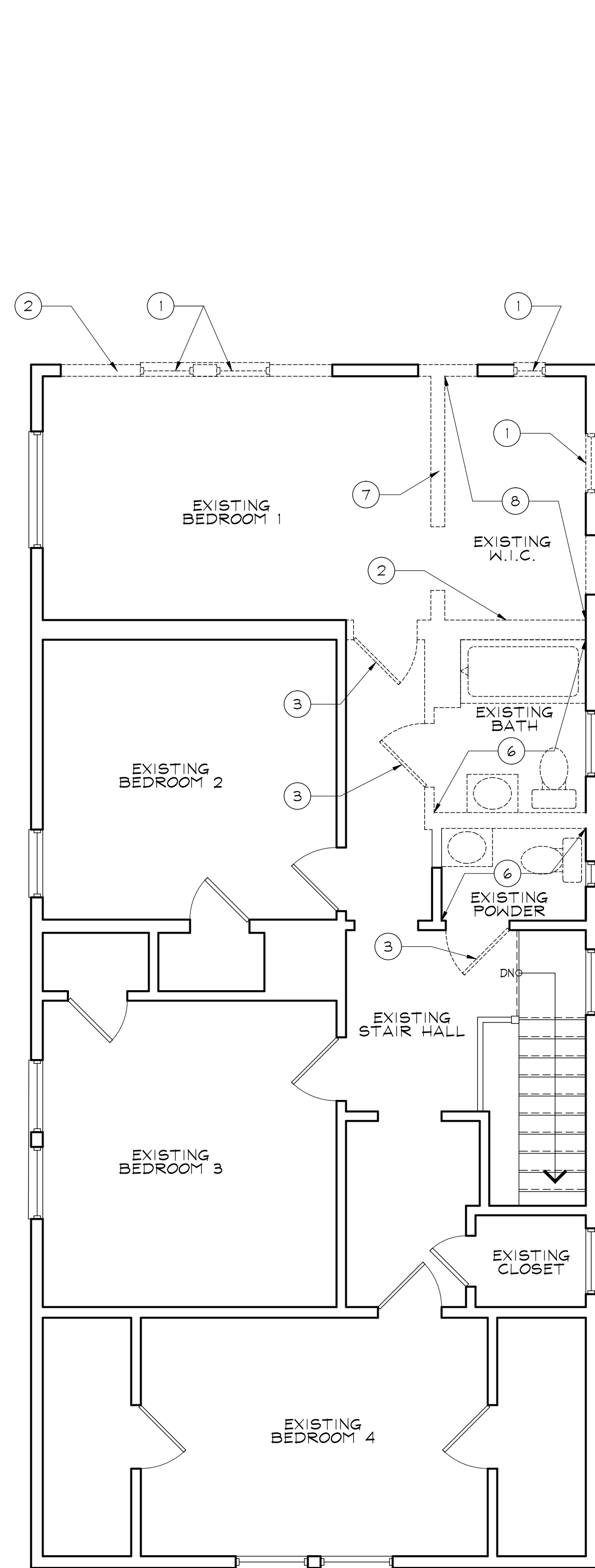
DATE	PURPOSE
06.17.21	PRE-DESIGN
07.12.21	SCHEMATIC DESIGN
10.12.21	PERMIT SET

EXISTING FLOOR PLANS

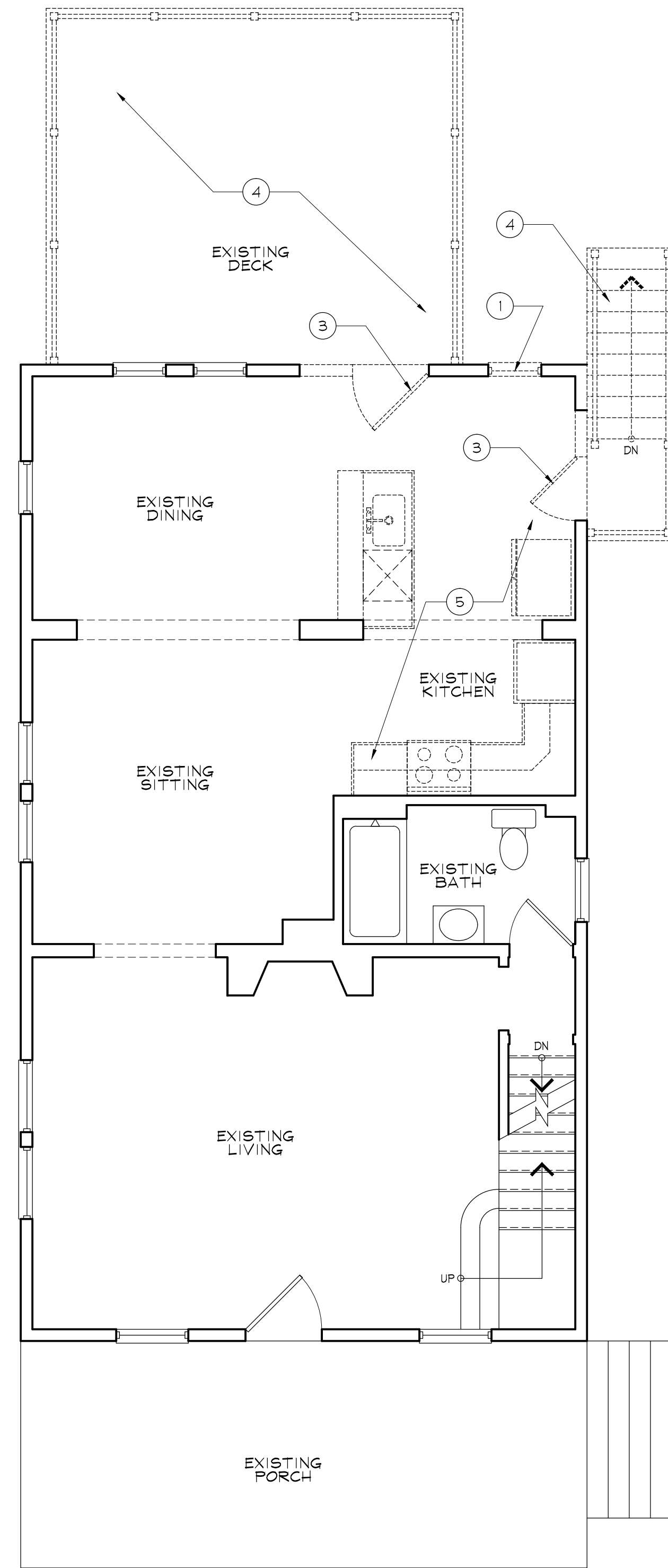
A1

FLOOR PLAN LEGEND

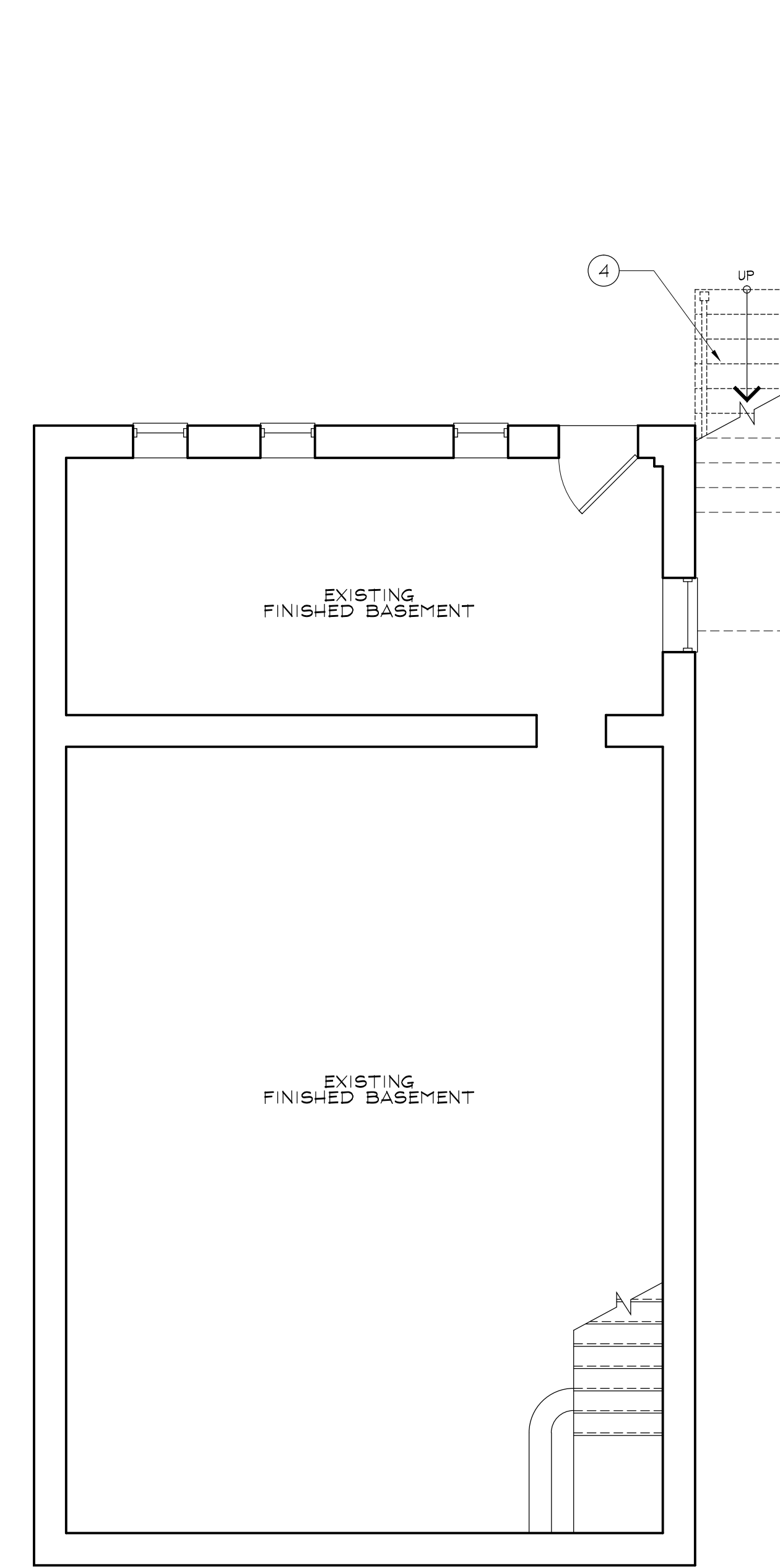
	EXISTING WALL TO REMAIN
	NEW INTERIOR 2x4 STUD WALL, U.N.O.
	NEW EXTERIOR 2x6 STUD WALL; R-20 MIN. INSUL.
	NEW 8" CMU WALL, U.N.O.
	NEW BRICK MASONRY WALL OR PIER
	EXISTING WALL TO BE REMOVED
	EXISTING ITEM TO BE REMOVED
	CEILING HEIGHT INDICATOR



3 EXISTING SECOND FLOOR PLAN  
A1 1/4" = 1'-0"

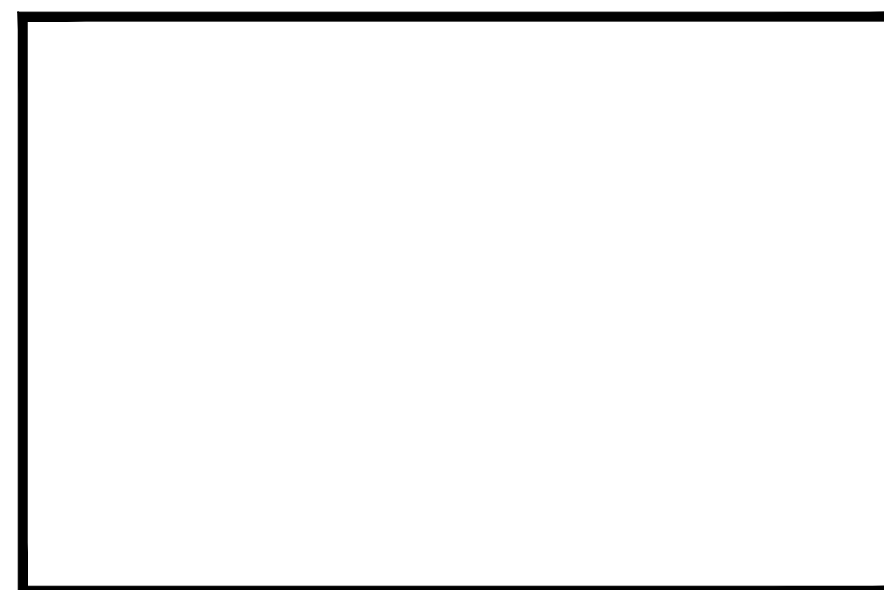


2 EXISTING FIRST FLOOR PLAN  
A1 1/4" = 1'-0"



1 EXISTING BASEMENT FLOOR PLAN  
A1 1/4" = 1'-0"

MUNICIPAL STAMPS



FLOOR PLAN KEYNOTES:

- 1 NEW INSECT SCREENING PANELS
- 2 NEW T&G PT WOOD DECKING
- 3 5" PRE-FINISHED GUTTER TO MATCH EXISTING HOUSE
- 4 DOWNSPOUT - MATCH EXISTING HOUSE
- 5 NEW 30 YEAR ARCHITECTURAL ROOF SHINGLE - MATCH EXISTING
- 6 NEW BUILT IN DESK
- 7 NEW HARDWOOD FLOORS TO MATCH EXIST.
- 8 NEW 36" HIGH WOOD GUARDRAIL
- 9 NEW 32" X 80" SCREEN DOOR
- 10 NEW TOILET
- 11 NEW SINK - TO BE SELECTED BY OWNER
- 12 NEW CUSTOM TILED SHOWER WITH SOAP NICHE NEW PANTRY
- 13 NEW TILE FLOORING
- 14 NEW CLOSET WITH SHelf AND ROD
- 15 NEW 60" X 80" FRENCH DOORS - SELECTED BY OWNER
- 16 NEW BUILT-IN STORAGE BENCH

**SAUL ARCHITECTS**  
 8114 CARROLL AVENUE | TAKOMA PARK, MD 20912  
 P: 301.270.0395  
 info@saularchitects.com  
 www.saularchitects.com

REVISIONS:

**SCHIFELING RESIDENCE  
 ADDITION AND RENOVATION**  
 7217 WILLOW AVENUE | TAKOMA PARK, MD 20912

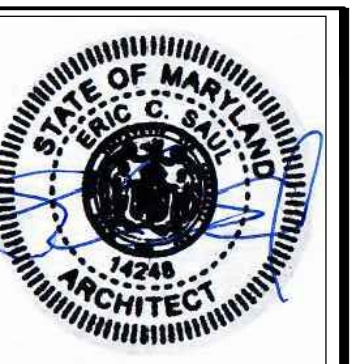
DO NOT SCALE THESE DRAWINGS. THE ORIGINAL SET OF THESE DRAWINGS IS THE ONLY SET OF DRAWINGS TO BE USED FOR CONSTRUCTION. ANY CHANGES TO THESE DRAWINGS MUST BE MADE BY THE ARCHITECT. THESE DRAWINGS ARE THE PROPERTY OF SAUL ARCHITECTS AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF THE COPYRIGHT OWNER. THIS NOTICE IS PROHIBITED.

GENERAL NOTES:

- 1. ALL DIMENSIONS ARE TO FACE OF STUD, CONCRETE OR MASONRY ON NEW WALLS, AND TO FACE OF FINISH OF EXISTING WALLS.
- 2. ANGLED WALLS ARE 45° TO ADJACENT WALLS, U.N.O.
- 3. DOORS TO BE LOCATED 4" FROM WALL ON HINGE SIDE OR CENTER OF THE SPACE, U.N.O.
- 4. DOORS AND WINDOW SIZE NOTED IN FEET INCHES, (EX. 2448 = 2'-4" X 4'-8")

**REVIEWED**  
 By Michael Kyne at 4:14 pm, Oct 19, 2021

APPROVED  
 Montgomery County  
 Historic Preservation Commission



PROFESSIONAL CERTIFICATION:  
 I, ERIC SAUL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 14246, EXPIRATION DATE: JUNE 30, 2023.

PROJECT NUMBER: 20034  
 PRINTING LOG

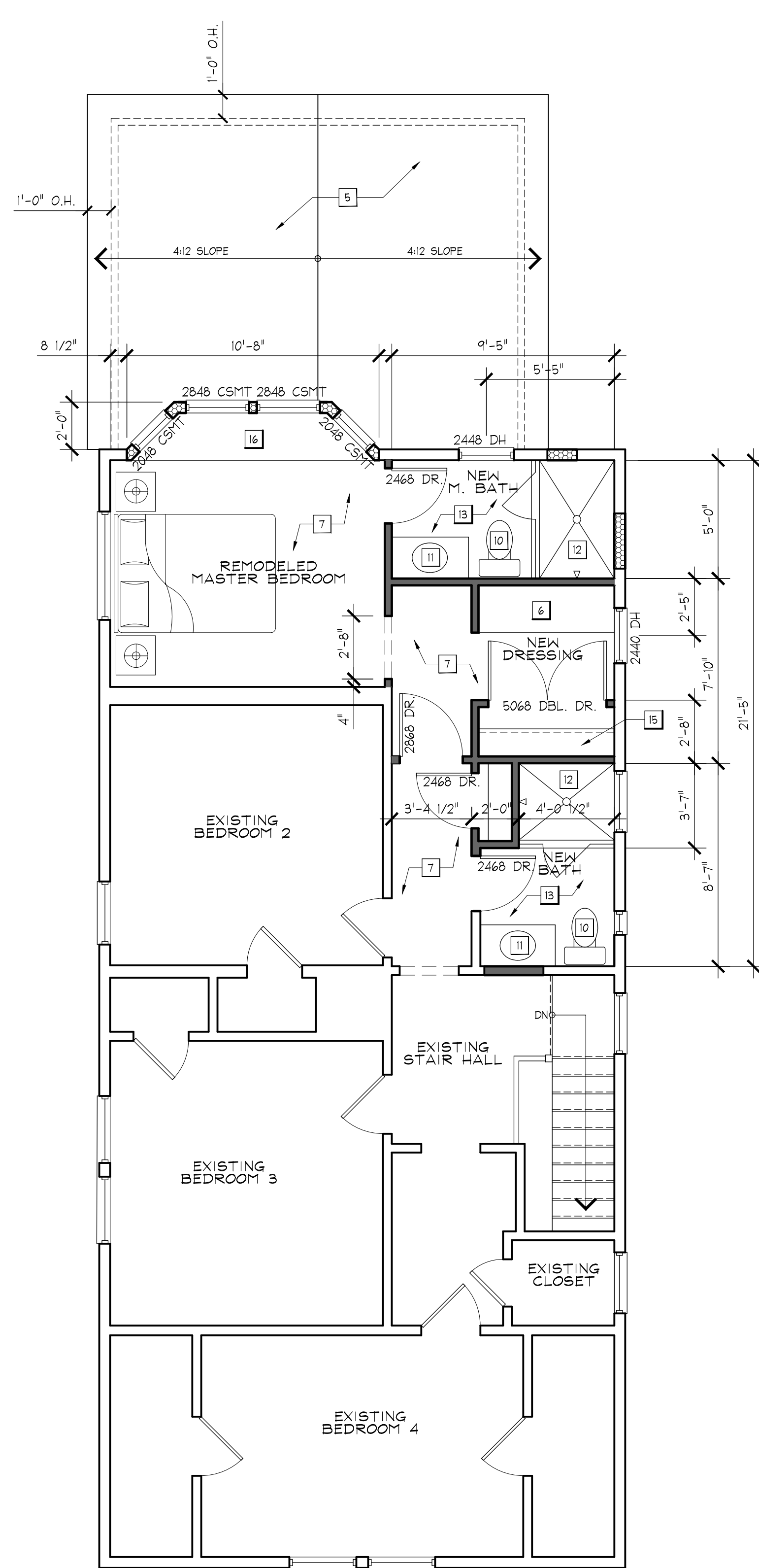
DATE	PURPOSE
06.17.21	PRE-DESIGN
07.12.21	SCHEMATIC DESIGN
10.12.21	PERMIT SET

FLOOR PLAN LEGEND

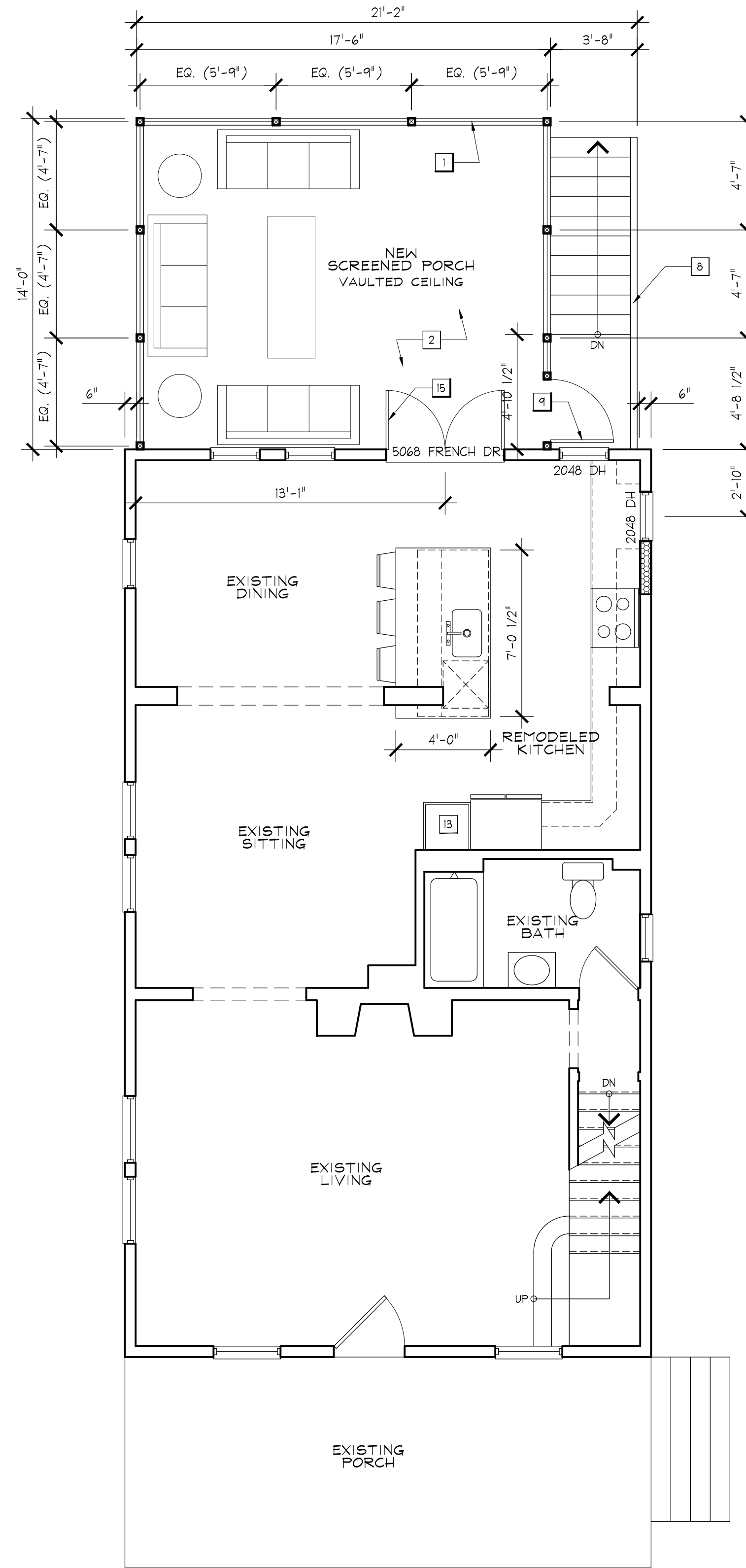
	EXISTING WALL TO REMAIN
	NEW INTERIOR 2x4 STUD WALL, U.N.O.
	NEW EXTERIOR 2x6 STUD WALL; R-20 MIN. INSUL.
	NEW 8" CMU WALL, U.N.O.
	NEW BRICK MASONRY WALL OR PIER
	EXISTING WALL TO BE REMOVED
	EXISTING ITEM TO BE REMOVED
	CEILING HEIGHT INDICATOR

PROPOSED FLOOR PLANS

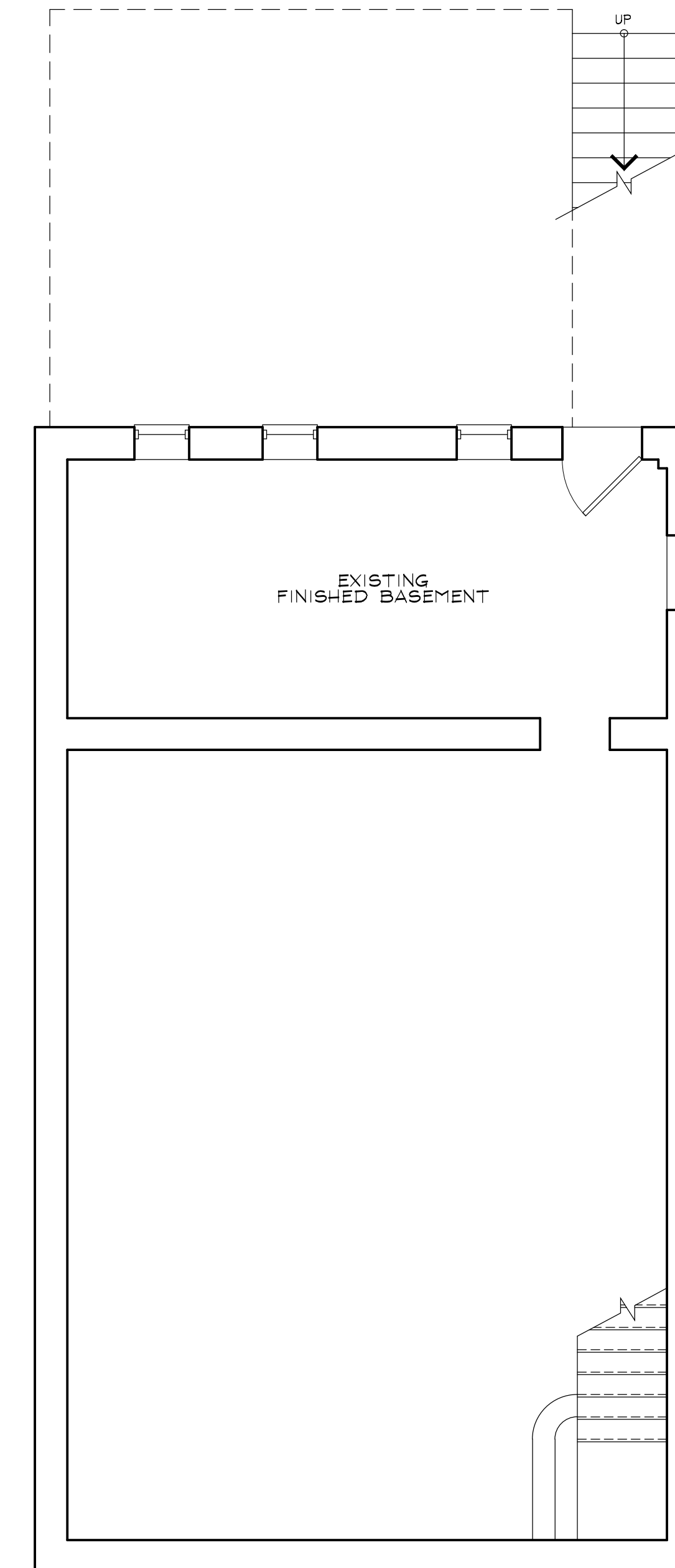
A1.1



3 PROPOSED SECOND FLOOR PLAN  
 A1.1 1/4" = 1'-0"



2 PROPOSED FIRST FLOOR PLAN  
 A1.1 1/4" = 1'-0"



1 PROPOSED BASEMENT FLOOR PLAN  
 A1.1 1/4" = 1'-0"

REVISIONS:

**SCHIFELING RESIDENCE  
 ADDITION AND RENOVATION**  
 7217 WILLOW AVENUE | TAKOMA PARK, MD 20912

DO NOT SCALE THESE DRAWINGS. THE ORIGINAL SET OF DRAWINGS IS A COPY OF AN ORIGINAL SET OF DRAWINGS. ANY REVISIONS TO THESE DRAWINGS MUST BE MADE TO THE ORIGINAL SET OF DRAWINGS. ANY REVISIONS TO THESE DRAWINGS MUST BE MADE TO THE ORIGINAL SET OF DRAWINGS. ANY REVISIONS TO THESE DRAWINGS MUST BE MADE TO THE ORIGINAL SET OF DRAWINGS. ANY REVISIONS TO THESE DRAWINGS MUST BE MADE TO THE ORIGINAL SET OF DRAWINGS.



PROFESSIONAL CERTIFICATION:  
 I, ERIC SAUL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14248, EXPIRATION DATE JUNE 30, 2023.

PROJECT NUMBER: 20034  
 PRINTING LOG

DATE	PURPOSE
06.17.21	PRE-DESIGN
07.12.21	SCHEMATIC DESIGN
10.12.21	PERMIT SET

PROPOSED EXTERIOR ELEVATIONS

A2

MUNICIPAL STAMPS



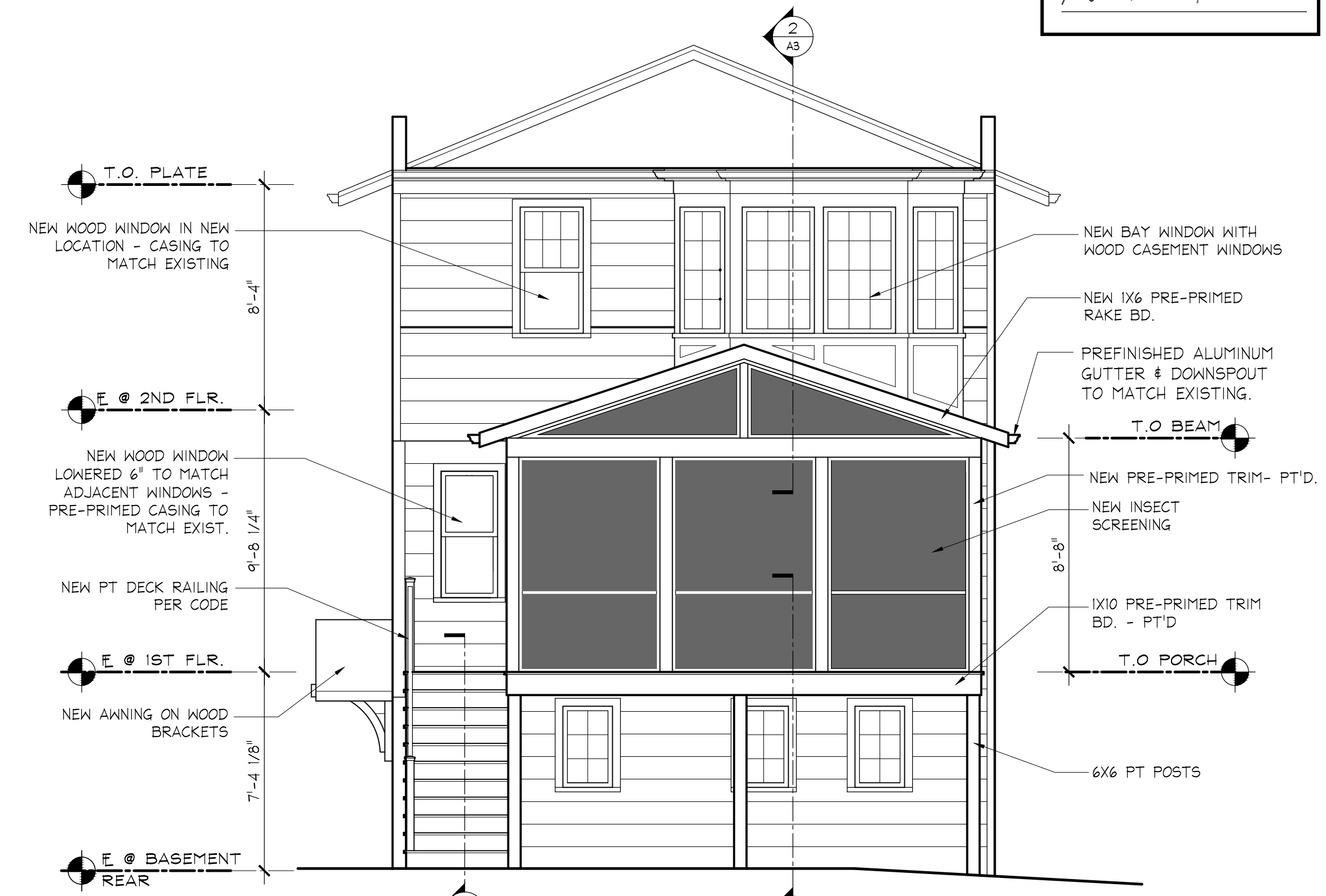
**REVIEWED**  
 By Michael Kyne at 4:14 pm, Oct 19, 2021

APPROVED  
 Montgomery County  
 Historic Preservation Commission

**3 PROPOSED SOUTH SIDE ELEVATION**  
 A2 1/4" = 1'-0"

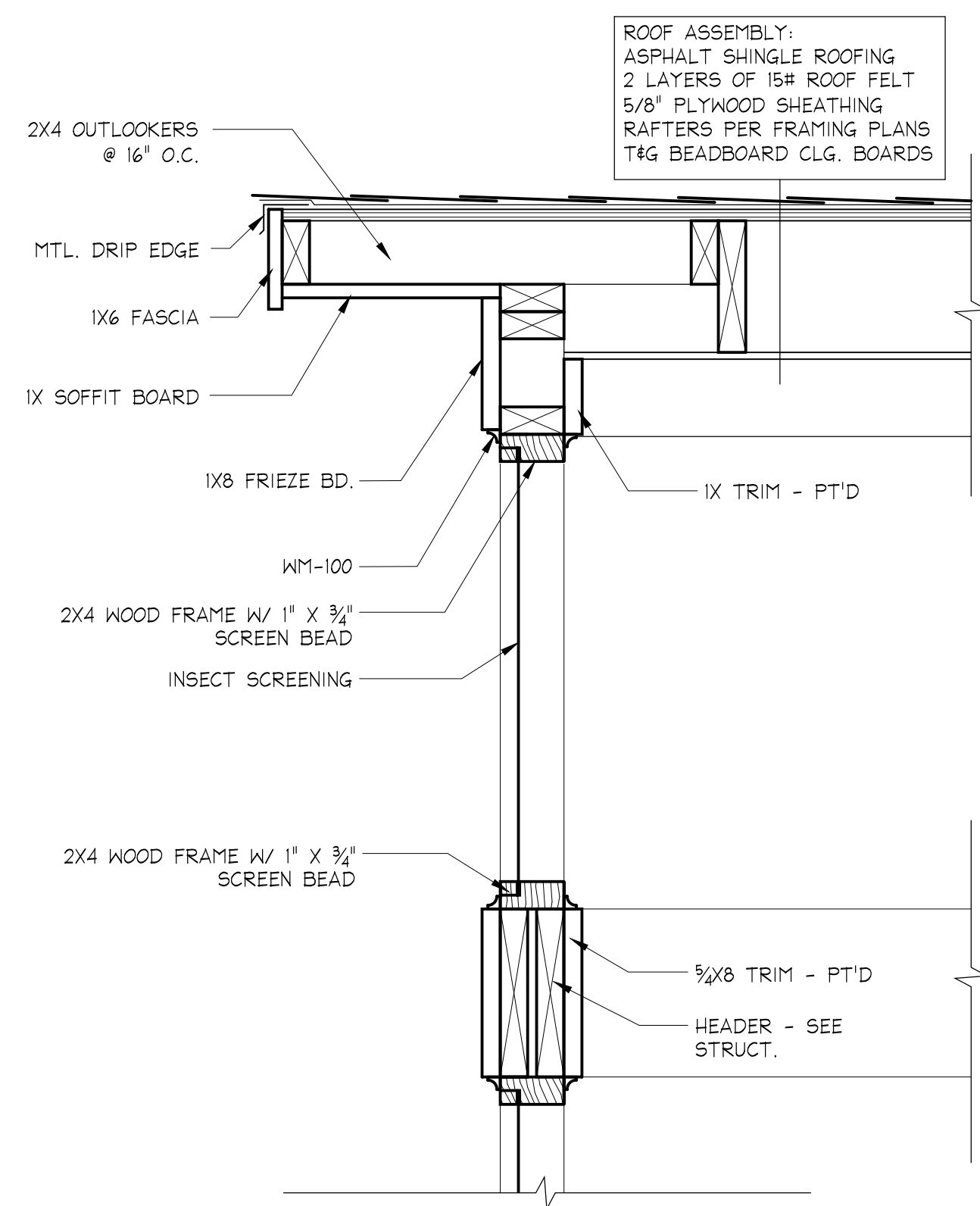
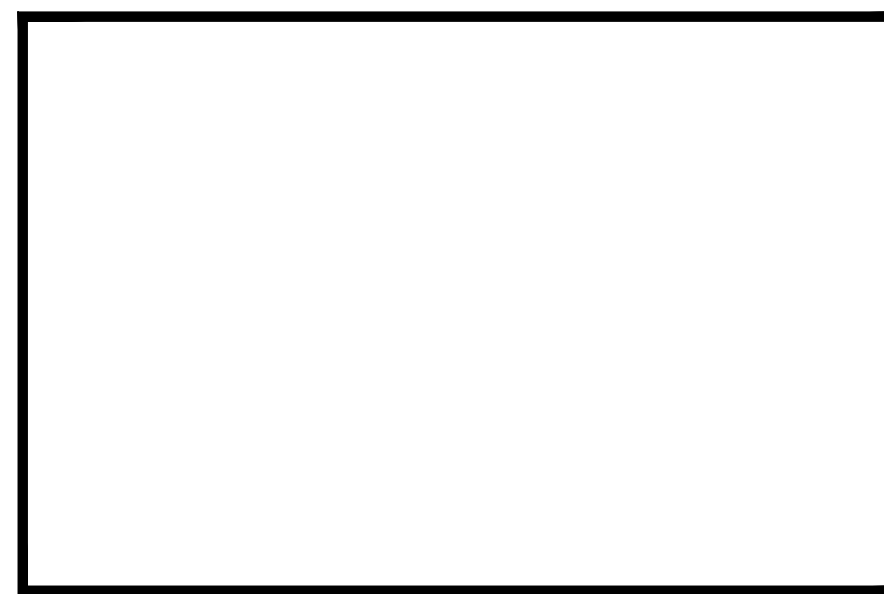


**2 PROPOSED NORTH SIDE ELEVATION**  
 A2 1/4" = 1'-0"

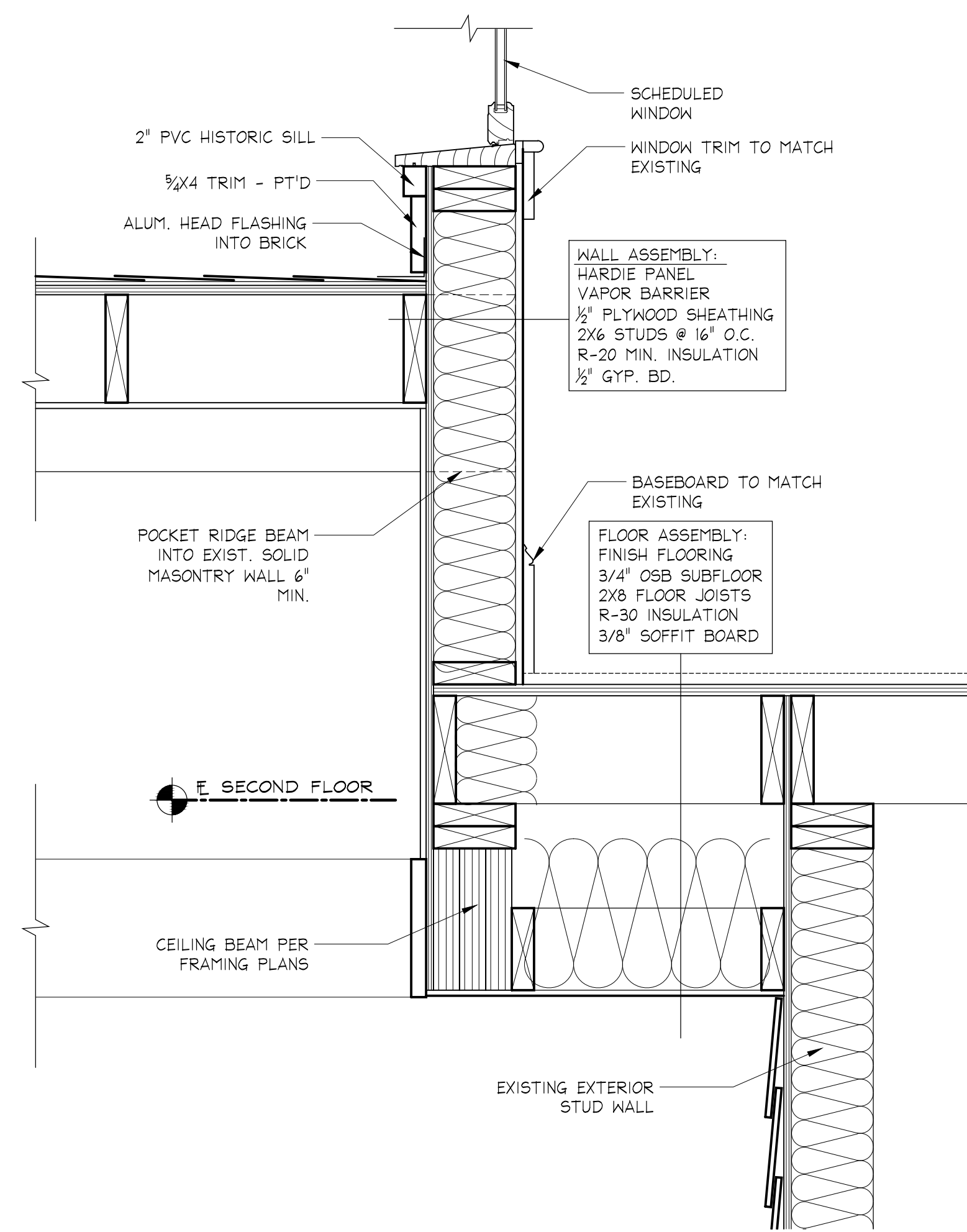


**1 PROPOSED REAR ELEVATION**  
 A2 1/4" = 1'-0"

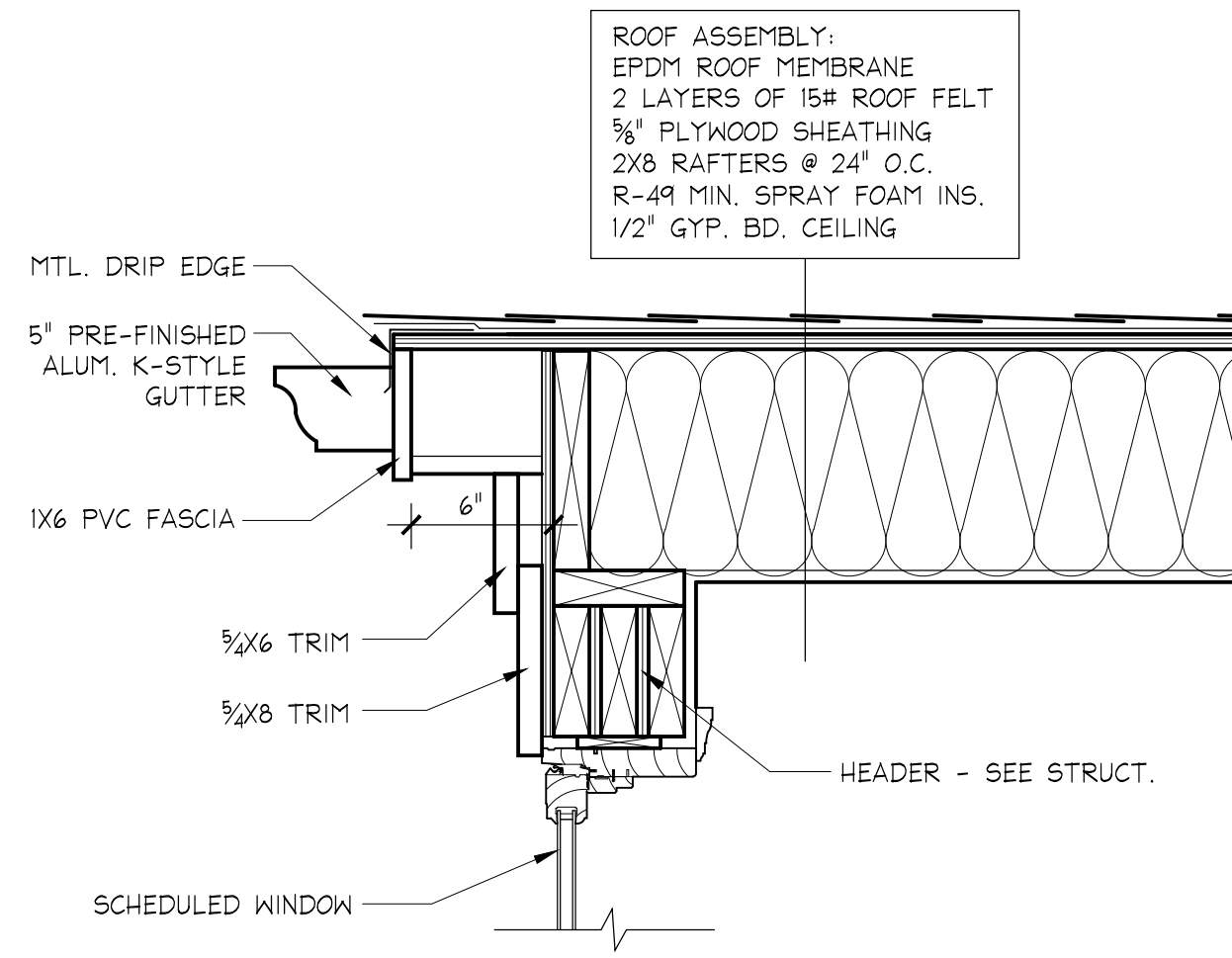
MUNICIPAL STAMPS



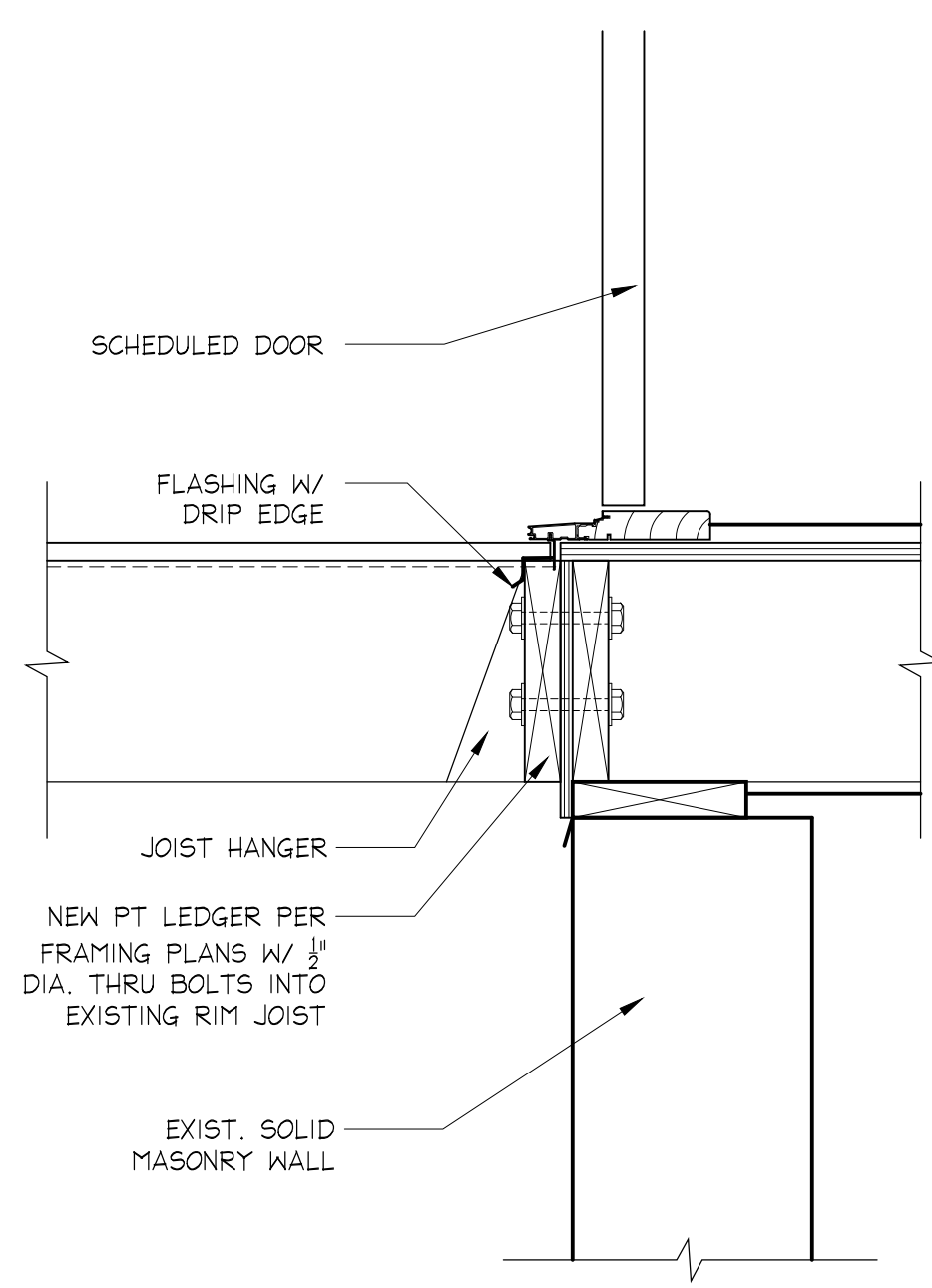
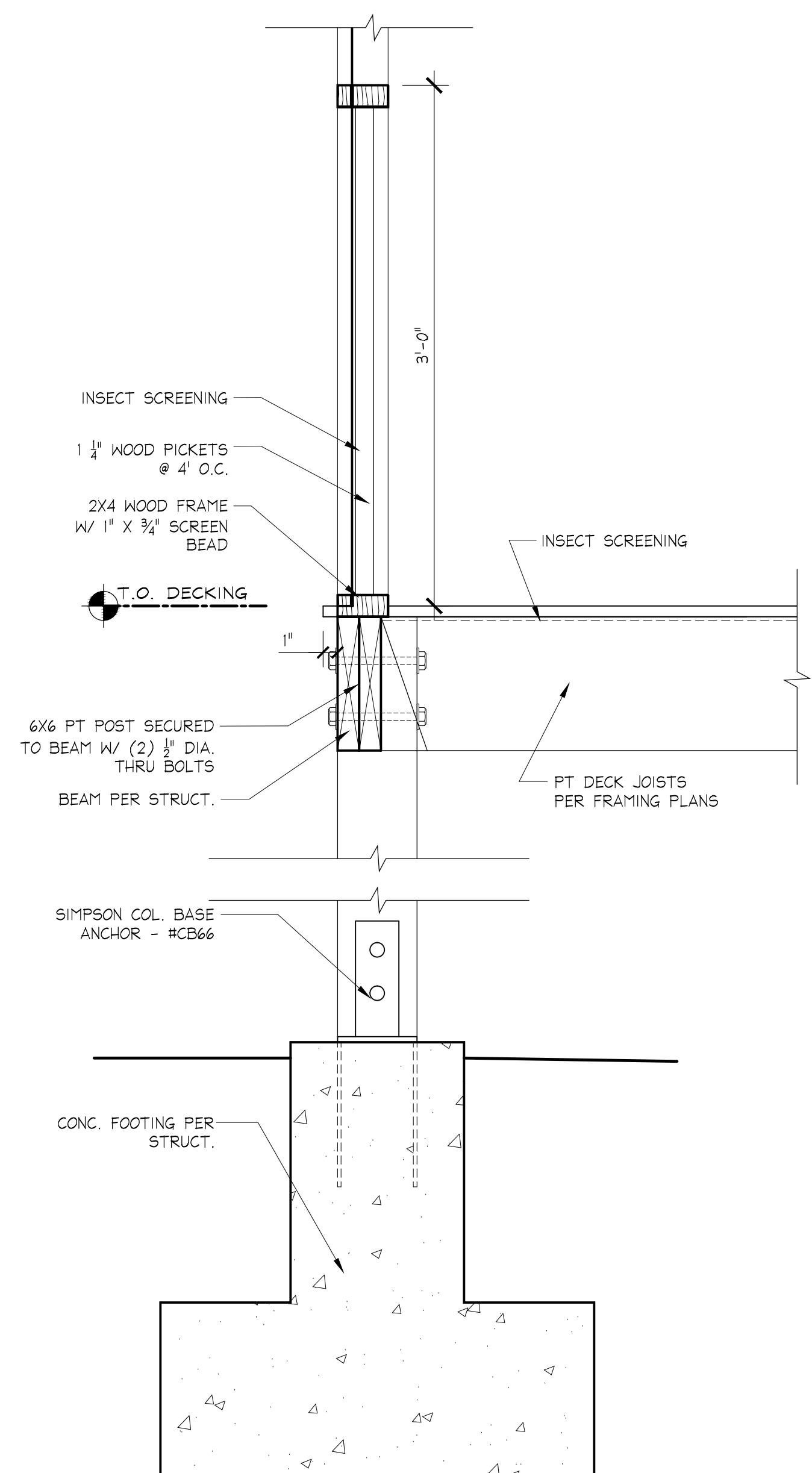
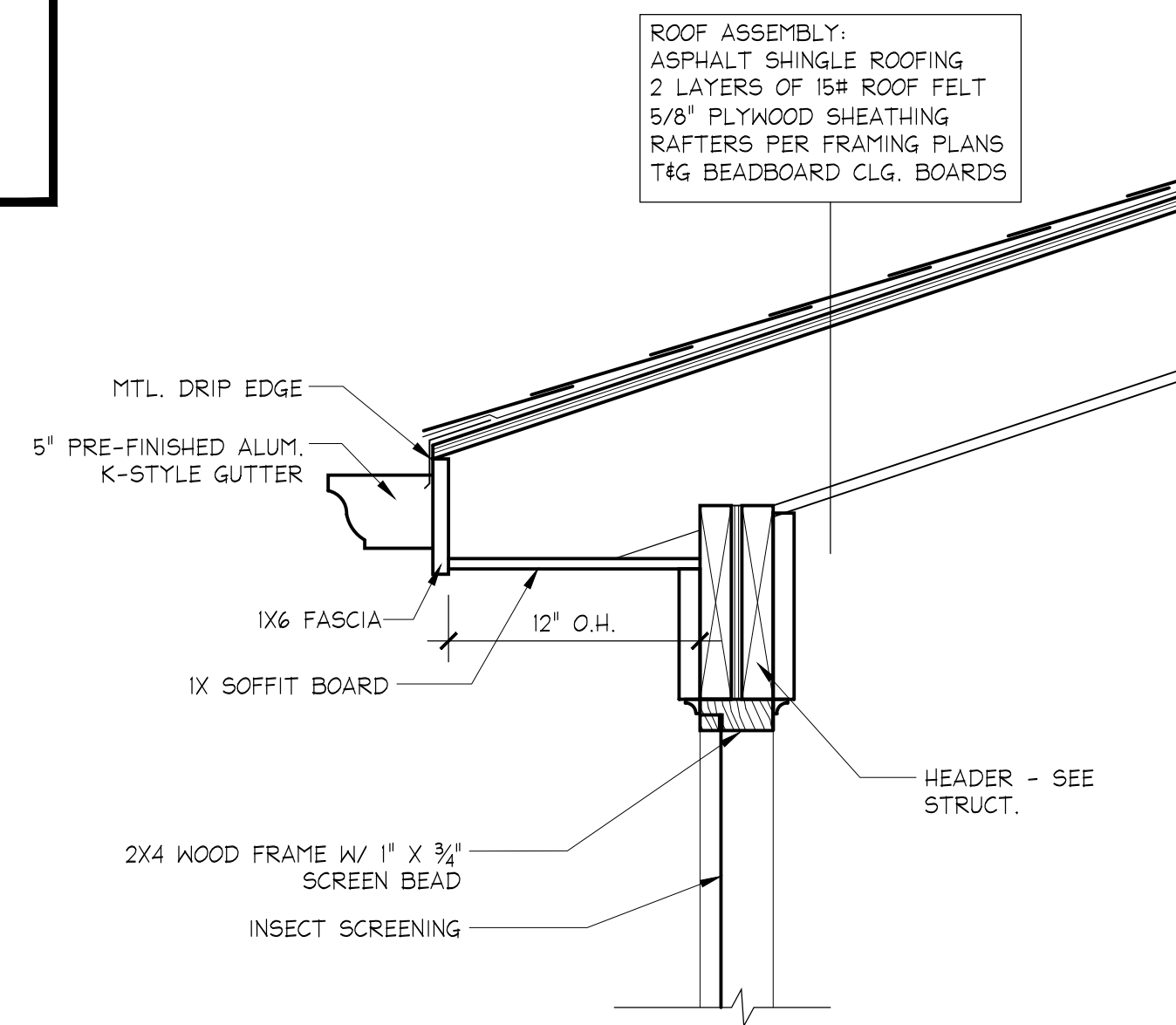
2 PORCH ROOF SECTION DETAIL  
 A3 1 1/2" = 1'-0"



1 PORCH FLOOR FRAMING SECTION DETAIL  
 A3 1 1/2" = 1'-0"



3 TYP. EAVE DETAIL  
 A3 1 1/2" = 1'-0"



REVIEWED  
 By Michael Kyne at 4:14 pm, Oct 19, 2021

APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*Robert A. ...*

SAUL ARCHITECTS  
 8114 CARROLL AVENUE | TAKOMA PARK, MD 20912  
 P: 301.270.0395  
 info@saularchitects.com  
 www.saularchitects.com

REVISIONS:

SCHIFELING RESIDENCE  
 ADDITION AND RENOVATION  
 7217 WILLOW AVENUE | TAKOMA PARK, MD 20912



PROFESSIONAL CERTIFICATION:  
 I, ERIC SAUL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14246, EXPIRATION DATE JUNE 30, 2023.

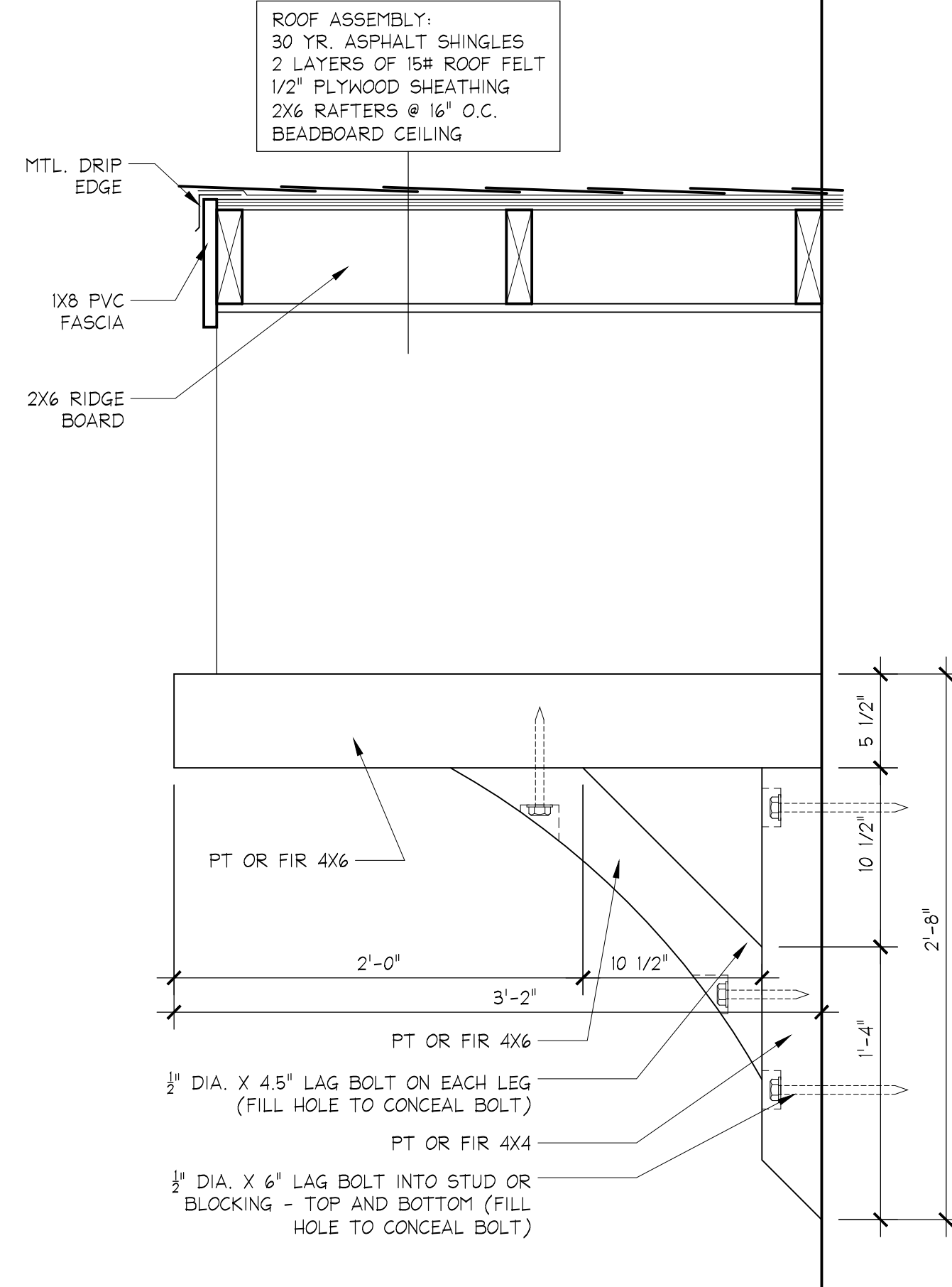
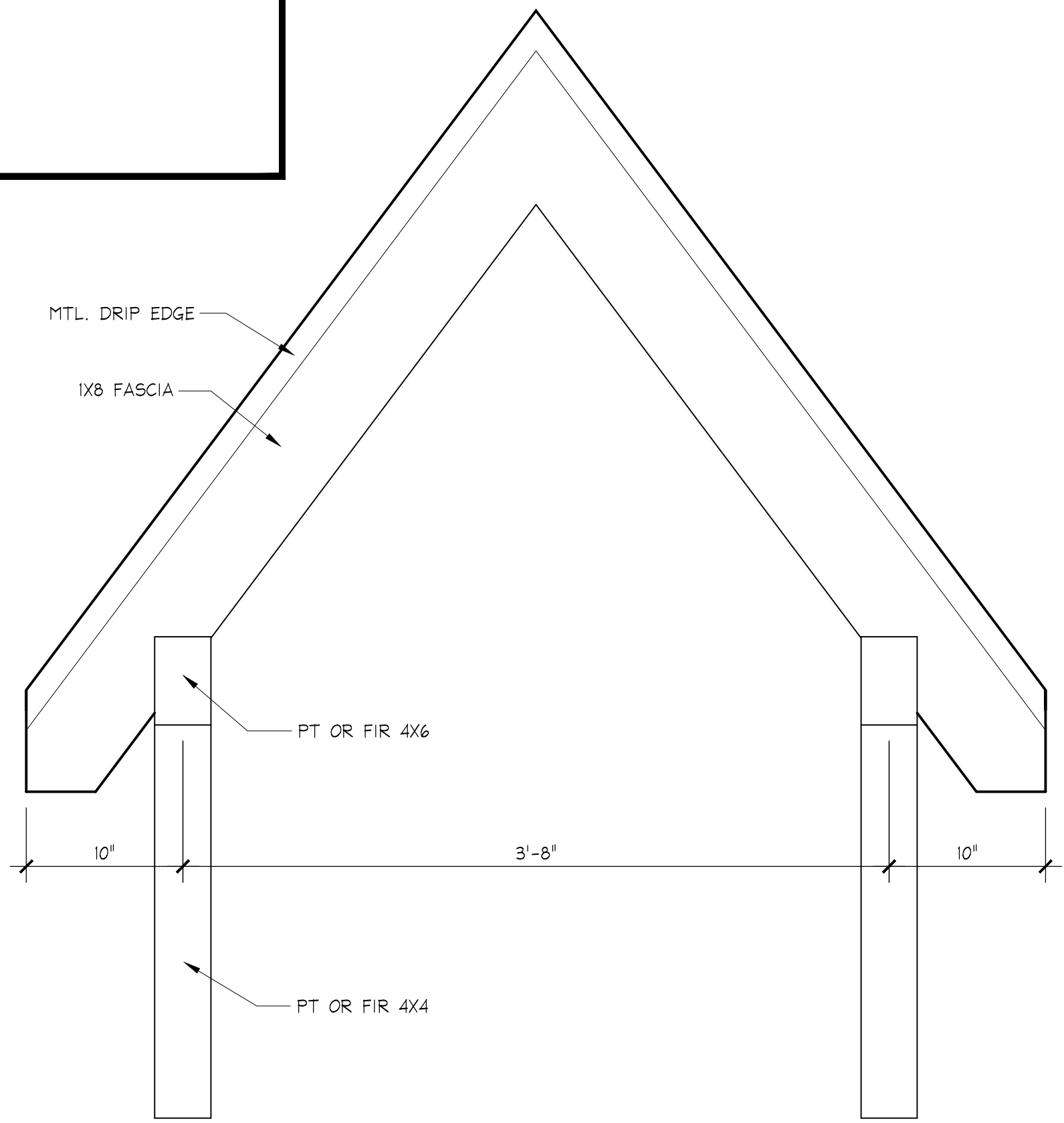
PROJECT NUMBER: 20034  
 PRINTING LOG

DATE	PURPOSE
06.17.21	PRE-DESIGN
07.12.21	SCHEMATIC DESIGN
10.12.21	PERMIT SET

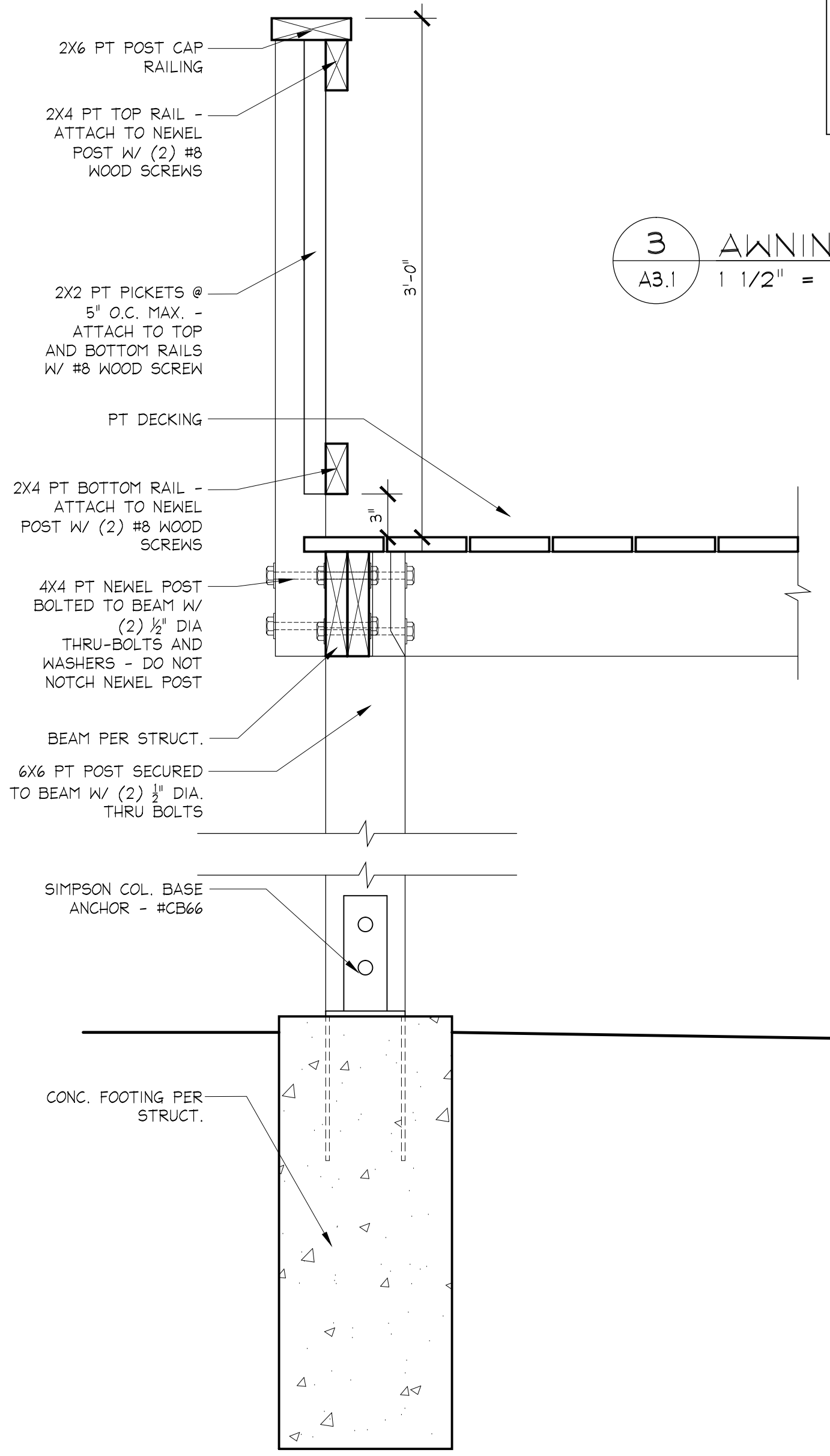
DETAILS

A3

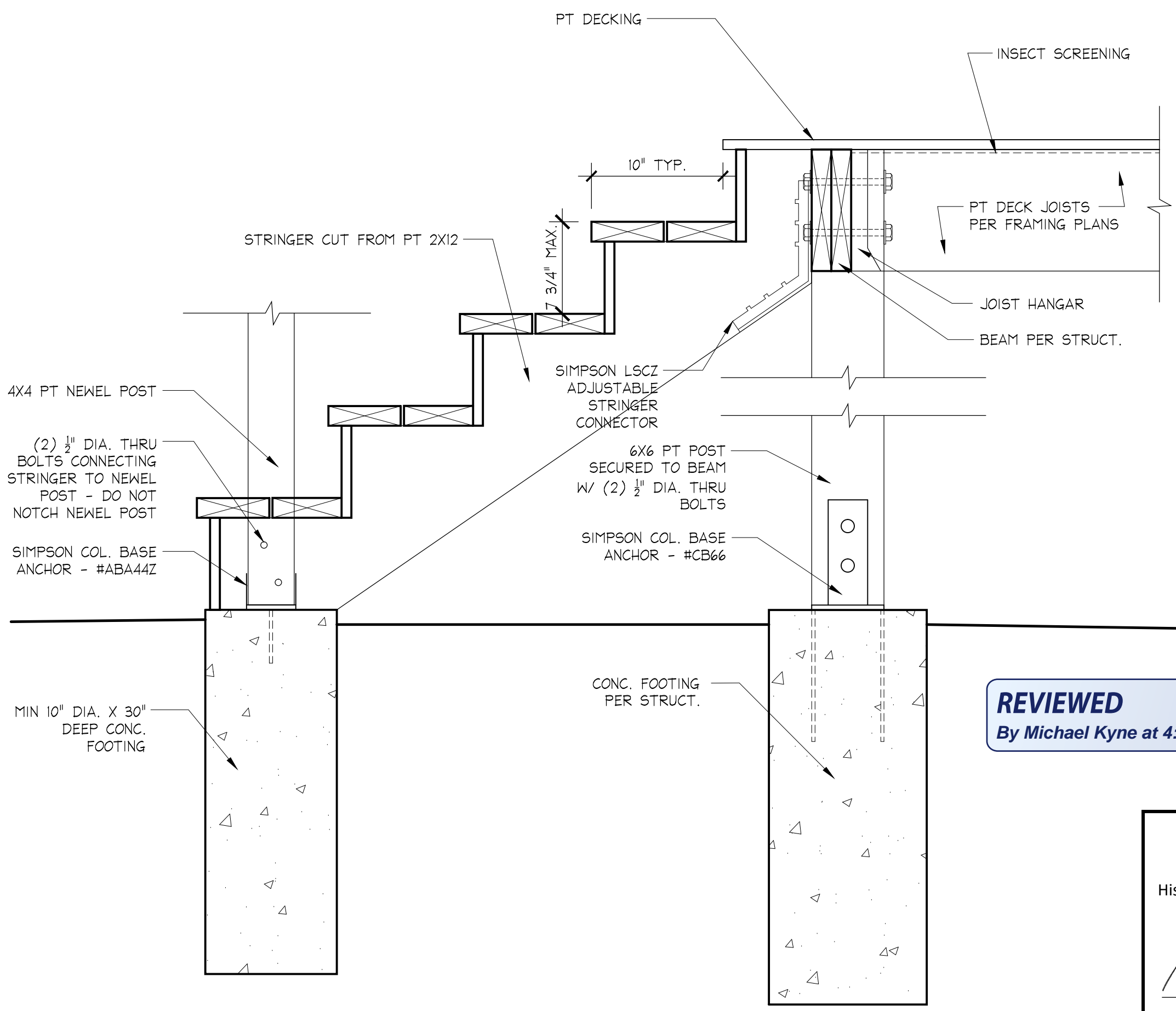
MUNICIPAL STAMPS



3 AWNING DETAIL  
A3.1 1 1/2" = 1'-0"



2 DECK STAIR RAILING DETAIL  
A3.1 1 1/2" = 1'-0"



1 DECK STAIR DETAIL  
A3.1 1 1/2" = 1'-0"

**REVIEWED**  
By Michael Kyne at 4:14 pm, Oct 19, 2021

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Robert H. Porter*

**SAUL ARCHITECTS**  
8114 CARROLL AVENUE | TAKOMA PARK, MD 20912  
P: 301.270.0395  
info@saularchitects.com  
www.saularchitects.com

REVISIONS:

**SCHIFELING RESIDENCE  
ADDITION AND RENOVATION**  
7217 WILLOW AVENUE | TAKOMA PARK, MD 20912  
DO NOT SCALE THESE DRAWINGS. THE SECTIONS SHOWN ARE FOR INFORMATION ONLY. ANY USE OF THESE DRAWINGS FOR CONSTRUCTION SHALL BE AT THE USER'S RISK. SAUL ARCHITECTS AND ITS EMPLOYEES SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN ANY METHOD, IN WHOLE OR IN PART, WITHOUT WRITTEN CONSENT OF THE COPYRIGHT OWNER. IS PROHIBITED.



PROFESSIONAL CERTIFICATION:  
I, ERIC SAUL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 14248, EXPIRATION DATE JUNE 30, 2023

PROJECT NUMBER: 20034  
PRINTING LOG

DATE	PURPOSE
06.17.21	PRE-DESIGN
07.12.21	SCHEMATIC DESIGN
10.12.21	PERMIT SET

DETAILS

A3.1

**REVISIONS:**

**SCHIFELING RESIDENCE  
 ADDITION AND RENOVATION**  
 7217 WILLOW AVENUE | TAKOMA PARK, MD 20912

DO NOT SCALE THESE DRAWINGS. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. ANY DISCREPANCIES OR OMISSIONS SHALL BE CORRECTED IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. ANY USE OF THESE DRAWINGS WITHOUT THE WRITTEN CONSENT OF THE COPYRIGHT OWNER IS PROHIBITED. BY ANY METHOD, IN WHOLE OR IN PART.



PROFESSIONAL CERTIFICATION:  
 I, ERIC SAUL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 14248. EXPIRATION DATE 6/30/2023.

PROJECT NUMBER: 20034  
 PRINTING LOG

DATE	PURPOSE
06.17.21	PRE-DESIGN
07.12.21	SCHEMATIC DESIGN
10.12.21	PERMIT SET

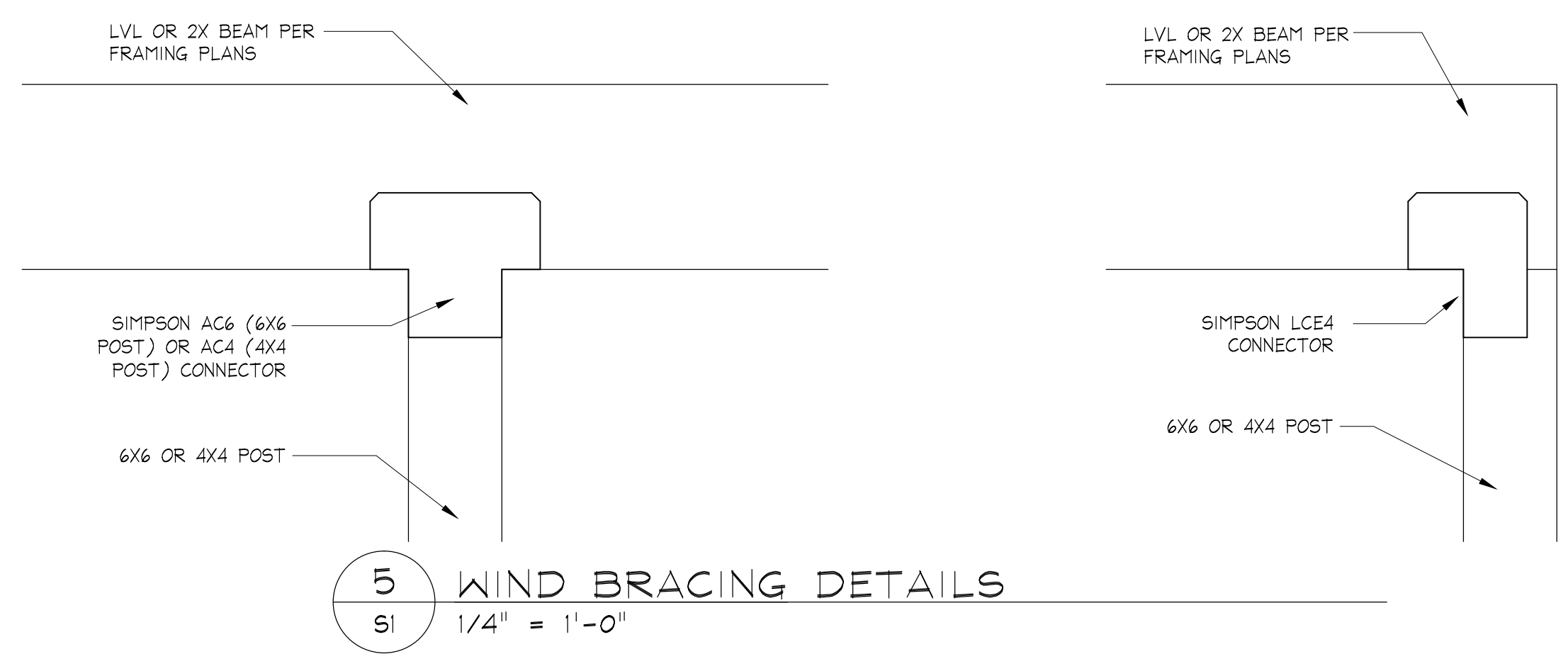
FOUNDATION AND FRAMING PLANS

**S1**

**STRUCTURAL NOTES:**

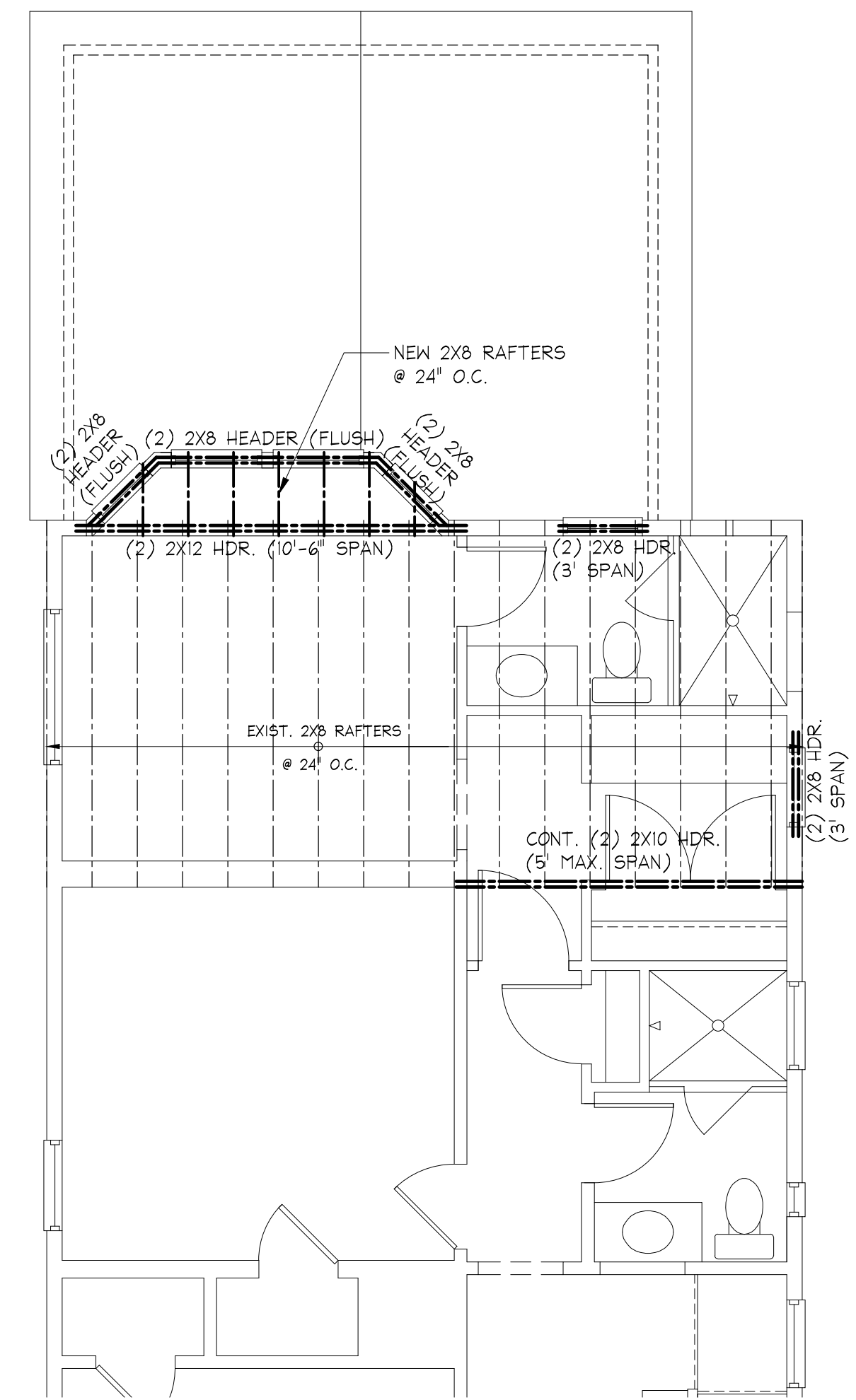
- USE MONTGOMERY COUNTY, MD. BUILDING CODE IRC 2018.
- LOADS- LIVE -FLOOR RESIDENTIAL - 40PSF; ROOF - 30 PSF - SNOW; WIND 115 MPH EXPOSURE B IMPORTANCE I; SEISMIC AND WIND LOADS ACCOMMODATED BY EXISTING BUILDING.
- FOUNDATION LOADS ARE DESIGNED TO CARRY LATERAL FORCES/WIND LOADS. FOUNDATIONS ARE DESIGNED FOR 2000 PSF SOIL. FOOTING BOTTOMS SHALL BE AT LEAST 30" BELOW GRADE AND A MINIMUM OF 12" INTO EXISTING NATURAL SOIL.
- CONCRETE - 3000 PSI @ 28 DAYS MINIMUM. REINFORCING STEEL ASTM A615 GRADE 60. USE ACI STANDARDS.
- FRAMING LUMBER SHALL BE STRUCTURAL GRADE, SOUTHERN PINE #2 OR STRONGER. USE HURRICANE CLIPS FOR ALL ROOF RAFTERS. USE MANUFACTURERS STANDARDS FOR MANUFACTURED LUMBER. LVL'S Fb=2650PSI, E=1.9M PSI
- SHEAR WALLS: 1/2" PLYWOOD PANELS 48" WIDE BY FULL STORY HEIGHT OR AS DIMENSIONED. 8d NAILS @ 6" O.C. ON EDGES AND 12" O.C. ON INTERMEDIATE STUDS. WIND LOADS ARE ACCOMMODATED BY CONTINUOUS SHEATHING METHOD AND SECTION R301.1.
- CONC. BLOCK REINFORCEMENT: USE # 9 GAGE TRUSS-TYPE HORIZONTAL REINFORCEMENT EVERY OTHER COURSE (DUR-O-WALL OR EQUAL). VERTICAL REINFORCEMENT: #5 BARS @ 32" O.C. - NEEDED ONLY WHERE DIRT IS RETAINED ABOVE 36" HIGH. ALL CONC. BLOCK CELLS TO BE GROUT SOLID.
- ALL FASTENERS SHALL BE HOT-DIPPED GALVANIZED MEETING ASTM 153. ALL SCREWS, BOLTS, WASHERS, NUTS AND NAILS SHALL BE HOT-DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD.

**MUNICIPAL STAMPS**

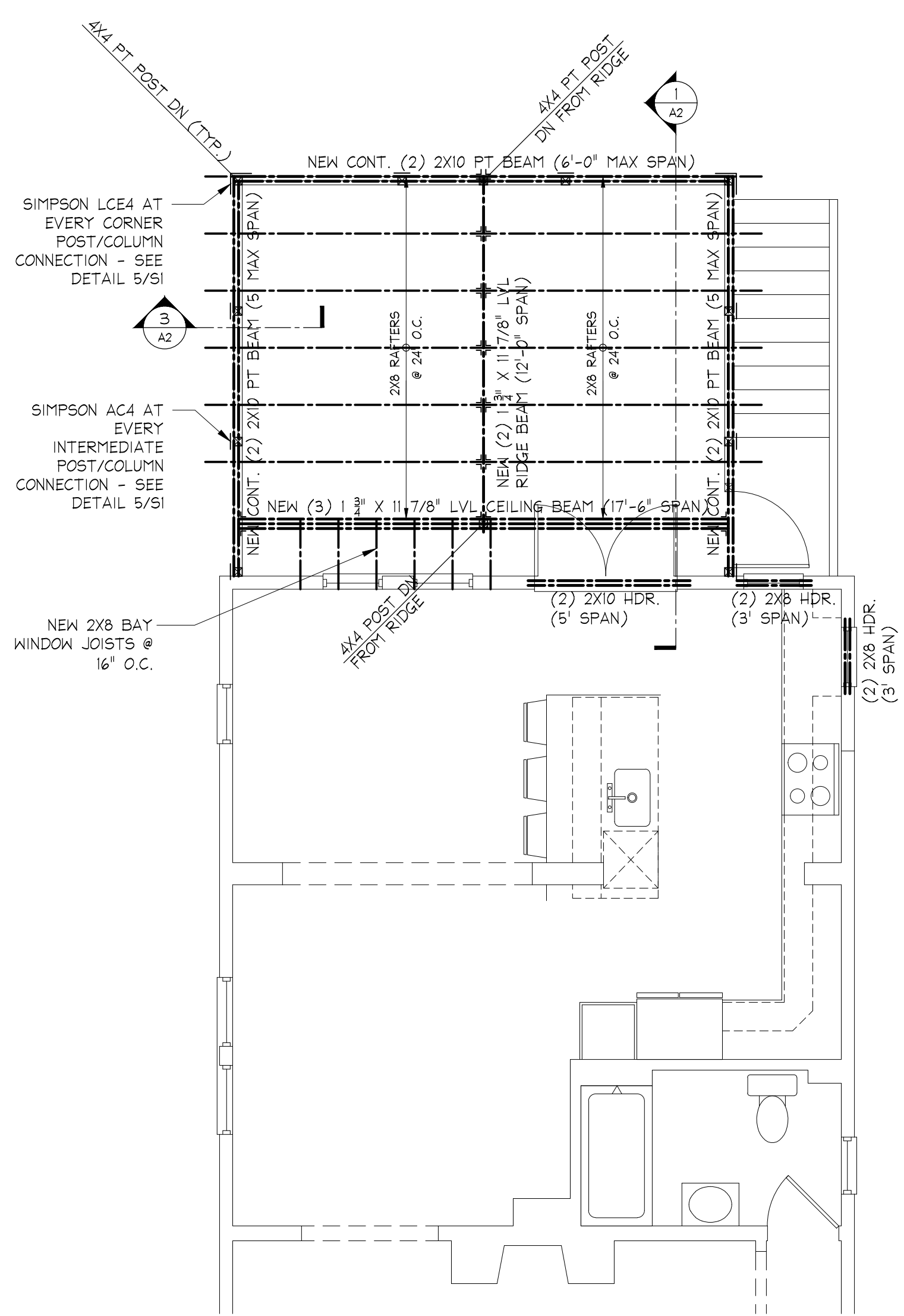


**REVIEWED**  
 By Michael Kyne at 4:14 pm, Oct 19, 2021

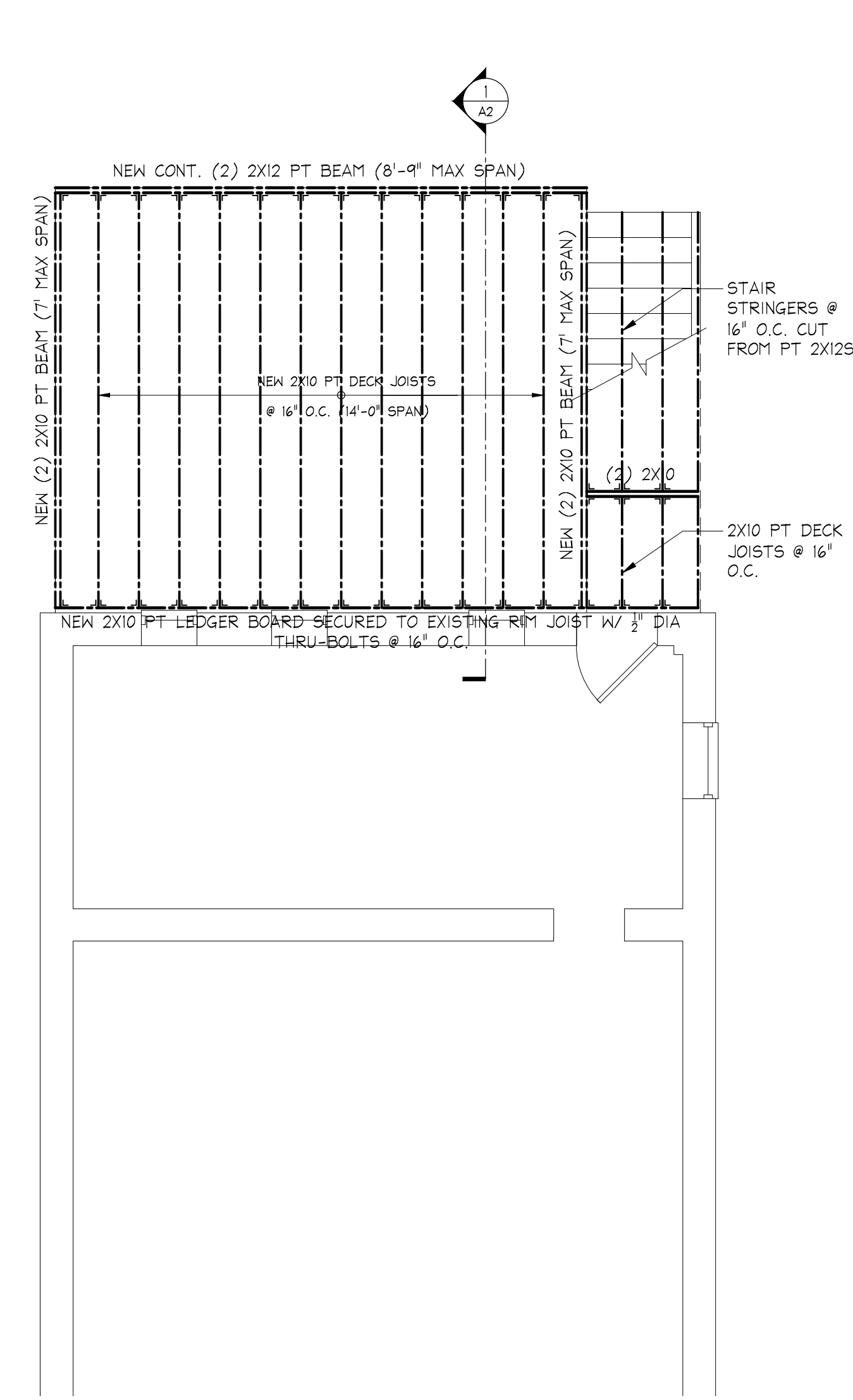
APPROVED  
 Montgomery County  
 Historic Preservation Commission



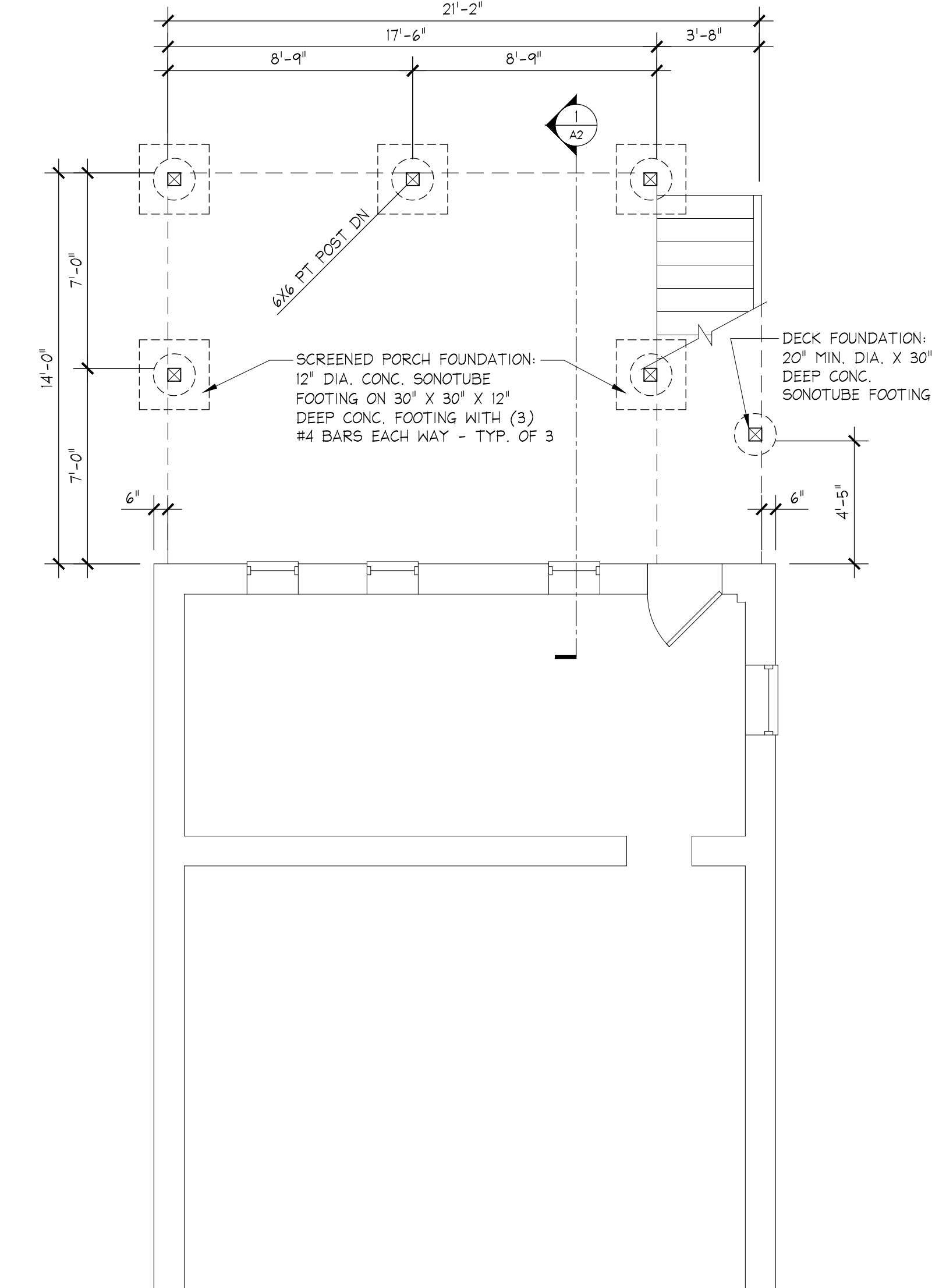
**4 ROOF FRAMING PLAN**  
 S1 1/4" = 1'-0"



**3 PORCH ROOF FRAMING PLAN**  
 S1 1/4" = 1'-0"



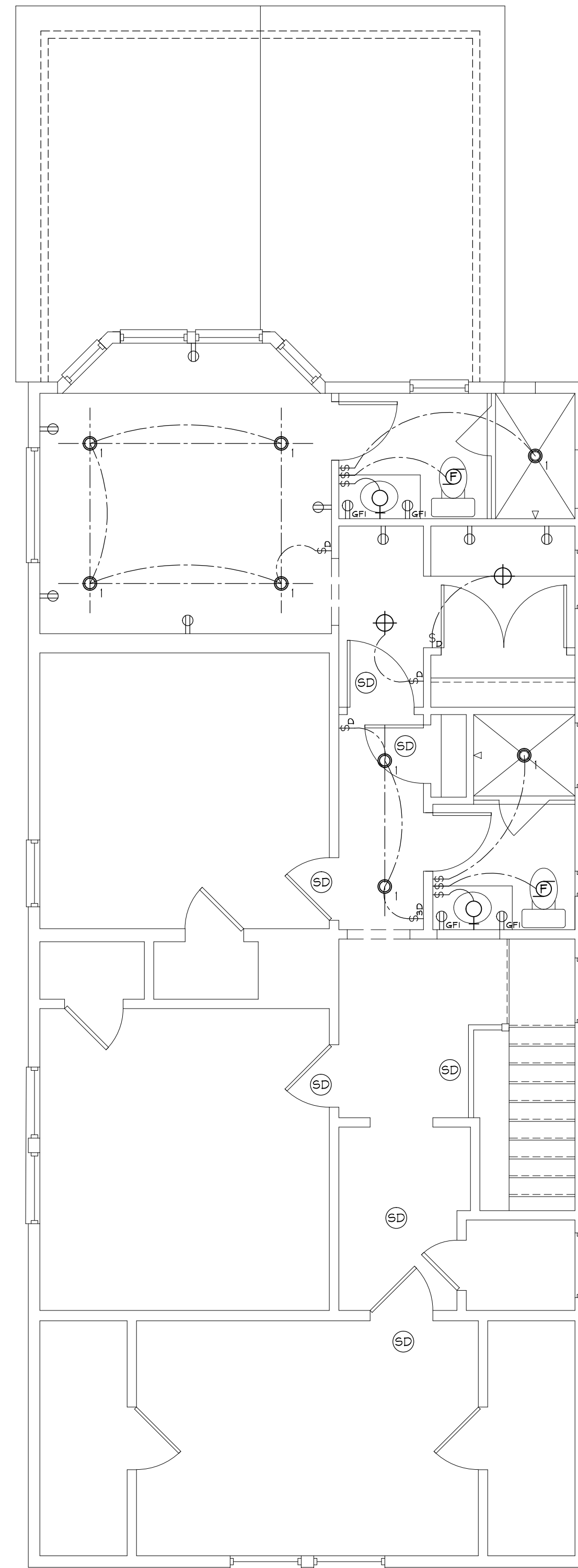
**2 DECK FRAMING PLAN**  
 S1 1/4" = 1'-0"



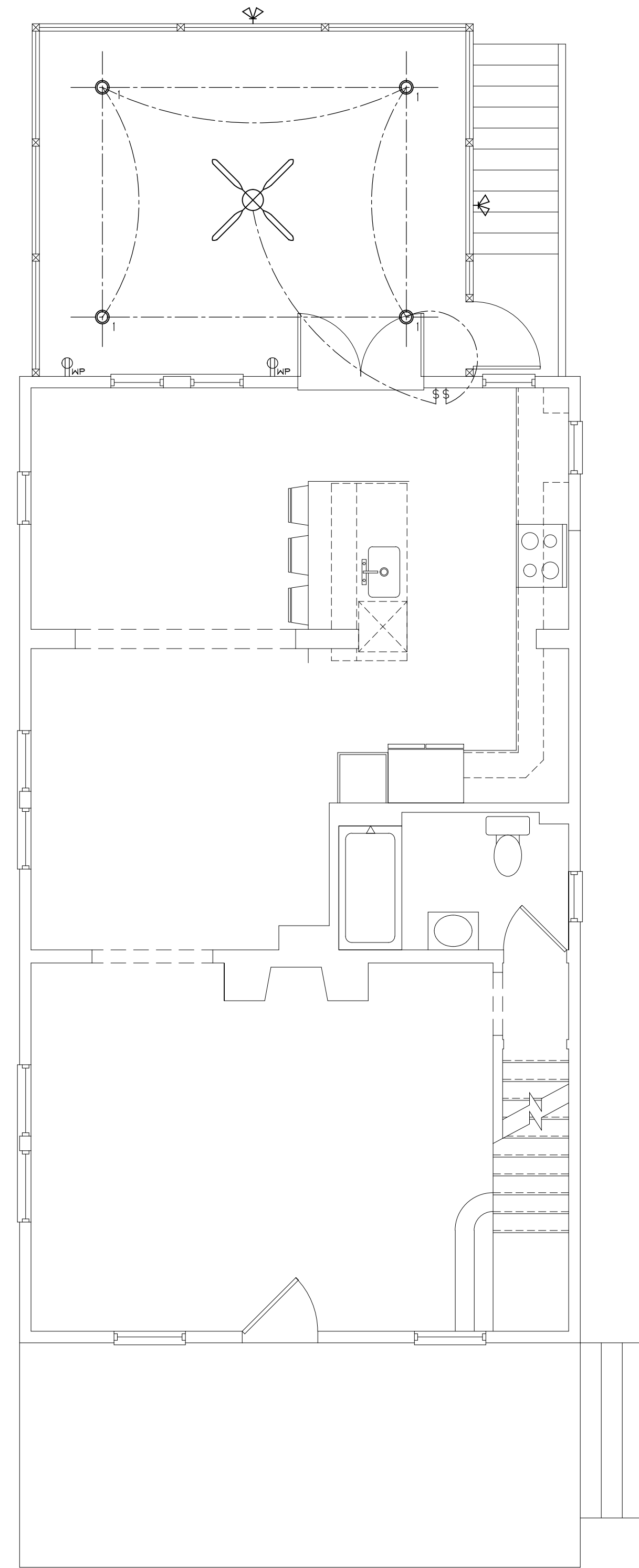
**1 FOUNDATION PLAN**  
 S1 1/4" = 1'-0"



MUNICIPAL STAMPS



2 SECOND FLOOR ELECTRICAL PLAN  
E1 1/4" = 1'-0"



1 FIRST FLOOR ELECTRICAL PLAN  
E1 1/4" = 1'-0"

ELECTRICAL SYMBOLS

- Ⓢ SWITCH
- Ⓢ₃ THREE-WAY SWITCH
- Ⓢ₄ JAMB SWITCH
- Ⓢ₅ SWITCH WITH DIMMER
- Ⓢ₆ₐ AIR SWITCH FOR DISPOSAL
- Ⓢ₆ DUPLEX RECEPTACLE
- Ⓢ₆₄ QUADRUPLEX RECEPTACLE
- Ⓢ₆₅ SWITCHED OUTLET
- Ⓢ₆₆ₐ GROUND FAULT PROTECTED RECEPTACLE
- Ⓢ₆₆ₐ₄ WATERPROOF RECEPTACLE
- Ⓢ₆₆ₐ₄₄ 220V RECEPTACLE
- Ⓢ₆₆ₐ₄₄₄ₐ FLOOR MOUNTED DUPLEX RECEPTACLE
- Ⓢ₆₆ₐ₄₄₄ₐ₄ CEILING MOUNTED WIRELESS ACCESS POINT JACK
- Ⓢ₆₆ₐ₄₄₄ₐ₄₄ CABLE TELEVISION JACK W/ DUAL CAT6 DATA WIRING
- Ⓢ₆₆ₐ₄₄₄ₐ₄₄₄ TELEPHONE JACK/INTERNET/DATA
- Ⓢ₆₆ₐ₄₄₄ₐ₄₄₄₄ SMOKE DETECTOR
- Ⓢ₆₆ₐ₄₄₄ₐ₄₄₄₄₄ SURFACE MOUNTED CEILING FIXTURE (OSCI)
- Ⓢ₆₆ₐ₄₄₄ₐ₄₄₄₄₄₄ RECESSED CEILING FIXTURE
- Ⓢ₆₆ₐ₄₄₄ₐ₄₄₄₄₄₄₄ RECESSED CEILING FIXTURE - RATED FOR WET LOCATION
- Ⓢ₆₆ₐ₄₄₄ₐ₄₄₄₄₄₄₄₄ RECESSED WALL WASH FIXTURE
- Ⓢ₆₆ₐ₄₄₄ₐ₄₄₄₄₄₄₄₄₄ WALL MOUNTED FIXTURE
- Ⓢ₆₆ₐ₄₄₄ₐ₄₄₄₄₄₄₄₄₄₄ EXTERIOR WALL MOUNTED FIXTURE
- Ⓢ₆₆ₐ₄₄₄ₐ₄₄₄₄₄₄₄₄₄₄₄ WALL SCONCE
- Ⓢ₆₆ₐ₄₄₄ₐ₄₄₄₄₄₄₄₄₄₄₄₄ FLOODLIGHT W/ MOTION SENSOR
- Ⓢ₆₆ₐ₄₄₄ₐ₄₄₄₄₄₄₄₄₄₄₄₄₄ BATHROOM EXHAUST FAN
- Ⓢ₆₆ₐ₄₄₄ₐ₄₄₄₄₄₄₄₄₄₄₄₄₄₄₄ CEILING FAN W/ LIGHT (OSCI)
- Ⓢ₆₆ₐ₄₄₄ₐ₄₄₄₄₄₄₄₄₄₄₄₄₄₄₄₄ UNDER CABINET/OVER DOOR LED STRIP LIGHT
- Ⓢ₆₆ₐ₄₄₄ₐ₄₄₄₄₄₄₄₄₄₄₄₄₄₄₄₄₄ RECESSED RISER MOUNTED STEP LIGHT

GENERAL ELECTRICAL NOTES:

1. ELECTRICAL LAYOUT TO MEET REQUIREMENTS OF THE CURRENT NATIONAL ELECTRICAL CODE.
2. SMOKE DETECTORS ARE TO BE HARDWIRED TOGETHER SO THAT ACTIVATION OF ONE DETECTOR ACTIVATES ALL. PROVIDE BATTERY BACK-UPS.
3. INSTALL CARBON MONOXIDE DETECTOR ON EACH FLOOR.
4. WIRE ENTIRE HOUSE FOR INTERNET SERVICE.

**REVIEWED**  
By Michael Kyne at 4:14 pm, Oct 19, 2021

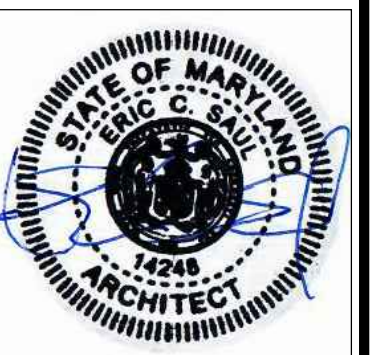
APPROVED  
Montgomery County  
Historic Preservation Commission  
*Robert A. Norton*

**SAUL ARCHITECTS**  
8114 CARROLL AVENUE | TAKOMA PARK, MD 20912  
P: 301.270.0395  
info@saularchitects.com  
www.saularchitects.com

REVISIONS:

**SCHIFELING RESIDENCE  
ADDITION AND RENOVATION**  
7217 WILLOW AVENUE | TAKOMA PARK, MD 20912

DO NOT SCALE THESE DRAWINGS. THE ORIGINAL SET OF PLANS IS A COPY OF THESE SETS AND IS THE ONLY SET TO BE USED FOR CONSTRUCTION. ANY CHANGES TO THESE DRAWINGS MUST BE MADE TO THE ORIGINAL SET AND APPROVED BY SAUL ARCHITECTS. ANY CHANGES MADE TO THESE DRAWINGS WITHOUT THE WRITTEN CONSENT OF SAUL ARCHITECTS ARE PROHIBITED.



PROFESSIONAL CERTIFICATION:  
I, ERIC SAUL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 14248, EXPIRATION DATE 6/30/2023

PROJECT NUMBER: 20034  
PRINTING LOG

DATE	PURPOSE
06.17.21	PRE-DESIGN
07.12.21	SCHEMATIC DESIGN
10.12.21	PERMIT SET

ELECTRICAL  
PLANS

E1