



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert K. Sutton
Chairman

Date: September 21, 2023

MEMORANDUM

TO: Rabbiah Sabbakhan
Department of Permitting Services

FROM: Rebecca Ballo
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permits # 1025629 & #1043586: Pergola construction and hardscape alterations

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached applications for two Historic Area Work Permits (HAWP). These applications were **Approved** at the September 20, 2023 HPC Meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Bruce Caswell and Lauren Deichman
Address: 10221 Montgomery Avenue, Kensington

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Rebecca Ballo at 301.563.3404 or rebecca.ballo@montgomeryplanning.org to schedule a follow-up site visit.



MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	10221 Montgomery Avenue, Kensington	Meeting Date:	9/20/2023
Resource:	Contributing (Primary One) Resource Kensington Historic District	Report Date:	9/13/2023
Applicant:	Bruce Caswell and Lauren Deichman (Mike Roberson/McFarland Woods, Agent)	Public Notice:	9/6/2023
Review:	HAWP	Tax Credit:	N/A
Case Number:	1025629 & 1043586	Staff:	Rebecca Ballo
PROPOSAL:	New pergola construction and hardscape alterations		

STAFF RECOMMENDATION

Staff recommends that the HPC **approve** the HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Primary-One Resource within the Kensington Historic District
DATE: c. 1898



Fig. 1: The subject property is located on the east side of Montgomery Avenue, just to the east of the Noyes Children's Library and the Warner Circle Mansion.

PROPOSAL

The applicants propose an after the fact demolition of an existing garage and construction of a new two-car garage.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Kensington Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Amendment to the Master Plan for Historic Preservation: Kensington Historic District (Amendment)*, *Vision of Kensington: A Long-Range Preservation Plan (Vision)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Vision of Kensington

In accordance with Section 1.5 of the Historic Preservation Rules, Guidelines, and Procedures (Regulation No. 27-97), the Commission in developing its decision when reviewing a Historic Area Work Permit application for an undertaking involving a resource within the Kensington Historic District may use the *Vision* to determine the appropriateness of a proposal. The goal of the *Vision* “was to establish a sound database of information from which to produce a document that would serve the HPC, M-NCPPC, their staff, and the community in wrestling with the protection of historic districts amidst the pressures of life in the 21st century.”

In addition, the *Vision* provides a specific physical description of the district as it was at the time of the study, an analysis of character-defining features of the district, a discussion of the challenges facing the district, and a discussion of proposed strategies for maintaining the character of the district, while allowing for appropriate growth and change.

The *Vision* identifies the following, as those features that help define the character of Kensington’s built environment:

- Building Setbacks: Residential and Commercial Patterns
- Rhythm and Spacing between Buildings
- Geographic and Landscape Features
- Scale and Building Height
- Directional Expression of Buildings
- Roof Forms and Materials
- Porches
- Dominant Building Material
- Outbuildings
- Integrity of Form, Building Condition, and Threats
- Architectural Style

The *Amendment* notes that:

The district is architecturally significant as a collection of late 19th and early 20th century houses that exhibit a variety of architectural styles popular during the Victorian period including Queen Anne, Shingle, Eastlake, and Colonial Revival. The houses share a uniformity of scale, setbacks, and construction materials that contribute to the cohesiveness of the district’s streetscapes. This uniformity, coupled with the dominant design inherent in Warner’s original plan of subdivision, conveys a strong sense of both time and place, that of a Victorian garden suburb.

Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The *Standards* are as follows:

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION:***Administrative Background***

The HPC approved HAWP#1029631 at its September 6, 2023 public hearing; this HAWP included approval of several after the fact items related to the demolition and reconstruction of the contributing garage. A condition of approval #5 of that HAWP stated the following:

“Revised drawings shall accurately show all the proposed new hardscape, including specification materials for the pavers and handrails. This item shall be prepared for staff approval under a separate HAWP application.”

The applicants have submitted the new HAWP# 1043586 for the revised hardscape proposal. This hearing item also includes HAWP# 1025629 for the construction of a new pergola. The pergola application was received in March 2023, but the hearing on that item was postponed as there was a stop work order on the property pending a determination on the garage demolition issue. Since that issue has been resolved with a conditionally approved HAWP from September 6th, staff is bringing forward consideration of the pergola with the hardscape application. Each item has a separate HAWP number as part of the application.

HAWP#1025629: Pergola Construction

The applicant proposed to construct an aluminum pergola in the rear yard of the subject property on the slate patio. The pergola will measure approximately 360 square feet and will be anchored through the patio with concrete footers. The pergola is constructed of aluminum framing, with a flat louvered metal roof and interior gutter system. The pergola is prewired with an electrical voltage supply to open and close the roof louvers and provide power for two ceiling fans and LED lights. The fans and LED lights are affixed to a central, non-bearing beam that does not interfere with the roof louver system. The pergola is located approximately 15’ to the historic house at its closest point. The pergola is located in a central part of the patio, with setbacks well in compliance with the existing zoning (47.72’ from rear property line; 63.36’ from northern/side property line; 68.34’ from southern/side property line; and 88.37’ from front property line at Montgomery Avenue). The pergola will be partially visible from Montgomery Avenue, but is small enough and located far enough back within the yard area, and located on the sunken pool deck that it will not appear as an obtrusive structure within the historic district. The design, size, and character of this small structure will not seriously impair the character of the District, and would therefore meet criterion 24A-8(d). The pergola will be located within the new hardscape and adjacent to the pool substantially in the rear yard of the dwelling, and would therefore not substantially alter the exterior features of the historic resource within the district, satisfying criterion 24A-8(b)(1). While metal is not a typical material for the historic district, this structure will be only minimally visible, if at all, it is small in size, located on the lower deck on a portion of the lot that slopes away from Montgomery Avenue, and for those reasons can be considered compatible in character and nature with the architectural features of the district.

HAWP#1043586: Revised Hardscape

Pursuant to Condition of Approval #5 of HAWP#1029631, the applicant has submitted a hardscape proposal that accurately shows all the changes to the hardscape in the rear yard of the subject property.

The narrative from the applicant’s submittal states the following for background information:

“The hardscape patio in the rear of the house adjoining the pool area was originally approved in 2015 under application/permit no. 704925 (see complete application attached, case no. 31/06-15E). The approved plan comprised a two-tiered patio with seating area nearest the house, a seat-wall demarcating the pool-side of the upper area, and stairs leading down to the pool terrace. A beautiful Japanese maple tree highlighted the plantings on the slope between the upper terrace and lower pool area. An extensive renovation to the home was approved and undertaken (permit no.

964606) over the past year, which included the underpinning of the basement and extension of the foundation wall (subsequently clad in red brick) to the rear perimeter of the house structure. This renovation altered the final elevation of the rear of the house making it impossible to preserve the original elevation of the upper seating area of the terrace. The owners engaged landscape architects from D.A. Dunlevy (who had designed the existing hardscape and landscape) with the intent to tastefully and practically modify the terrace design to enable: (1) a functional alternative to the prior upper terrace area based on the final elevations achieved and enabling safe passage from the driveway to the terrace; (2) an appropriately proportioned combination of hardscape and plantings that compliment the existing preserved areas near and around the pool; (3) preservation of meaningful plantings including the Japanese maple; (4) greater use and enjoyment of the outdoor living area by providing easier ingress/egress to the house; and, (5) accommodation of a pergola (separate HAWP application) to provide shade and outdoor dining optionality. The resulting plan (see attached) simplified the terrace by removing the upper level and providing access immediately from the renovated basement exit from the home (all at the same level as the pool). A large planting area was incorporated to balance the hardscaping and preserve the Japanese maple while enhancing with new plantings. Broad stairs from the driveway/garage area were incorporated to provide easier and safe access (augmented with landscape lighting). [The] original terrace was two-tiered bluestone with a seating area, seat-wall, and steps leading down to the lower pool terrace. It was completely removed as part of the major renovation of the basement (underpinning, foundation extension, etc.). [This proposal seeks to] re-design and install bluestone terrace and planters to accommodate final elevations following renovation. Approach required simplification of terrace to one level, with the benefit of enabling easier access from the house and allowing natural light to reach the new interior basement room created through the renovation.”

The changes can be summarized as removal of a portion of hardscape around the existing Japanese maple, construction of low bluestone walls 1) around the basement level of the house; and, 2) perpendicular to the stairs off the rear porch in the backyard, the addition of a run of bluestone faced stairs with accompanying metal handrails with two separate runs adjacent to the reconstructed garage, and the elimination of a previously approved run of stairs that would have connected the upper terrace with the pool deck. Overall, this is a simplified hardscape plan that preserves the Japanese maple and better connects the buildings with the yard space. The construction of the pool and extensive hardscape alterations had already been approved by the HPC several years ago; this application only slightly alters the design with the addition of small walls and stairs in areas entirely within the rear yard. No historic buildings or spaces will be altered or removed as part of this proposal, the changes will not be visible, could all easily be removed in the future, and will have no impact at all on the character of the district. In addition to fulfilling the requirements of Chapter 24A-8(b)(1), (2), and (d), the proposal meets the *Standards* #2, #9, and #10.

STAFF RECOMMENDATION

Staff recommends that the HPC **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b)(1), (2) & (d) having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A; and with the *Vision of Kensington*, and the *Secretary of the Interior's Standards* #2, #9, and #10;

and with the general condition that the applicant shall present **an electronic set of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP

application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.

Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3404 or rebeccah.ballo@montgomeryplanning.org to schedule a follow-up site visit.



FOR STAFF ONLY:
HAWP# 1025629
DATE ASSIGNED

APPLICATION FOR
SEA WORK PERMIT
HISTORIC PRESERVATION COMMISSION
301.563.3400

REVIEWED
By Rebecca Ballo at 2:58 pm, Sep 21, 2023

APPLICANT:

Name: Bruce Caswell
Address: 10221 Montgomery Ave
Daytime Phone: 3015298099

E-mail: brucecaswell@verizon.net
City: Kensington Zip: 20895
Tax Account No.:

AGENT/CONTACT (if applicable):

Name: William Tu
Address: 11460 Cronridge Dr, Ste 124
Daytime Phone: 2404497974

E-mail: william@os-pros.com
City: Owings Mills Zip: 21117
Contractor Registration No.:

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property

Is the Property Located within an Historic District? X Yes/District Name Kensington Park
No/Individual Site Name

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 10221 Street: Montgomery Ave
Town/City: Kensington Nearest Cross Street: Carroll Place
Lot: 20 Block: 3 Subdivision: 15 Parcel: LOTS 21+22

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- Checklist items: New Construction, Addition, Demolition, Grading/Excavation, Deck/Porch, Fence, Hardscape/Landscape, Roof, Shed/Garage/Accessory Structure, Solar, Tree removal/planting, Window/Door, Other.

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: [Signature] Date: 3/23/23

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address Bruce Caswell Lauren Deichman 10221 Montgomery Ave Kensington, MD 20895	Owner's Agent's mailing address William Tu Heritage Outdoor Solutions 11460 Cronridge Dr, Ste 124 Owings Mills, MD 21117
Adjacent and confronting Property Owners mailing addresses	
Wendy Miller 10225 Montgomery Ave Kensington, MD 20895	Richard J. Youle Katherine Wood 10213 Montgomery Ave Kensington, MD 20895
Timothy Willard Cynthia M. Tracy 10210 Kensington Parkway Kensington, MD 20895	Susan J. Palmer 10208 Kensington Parkway Kensington, MD 20895
Michael L. & Naria E. Brennan 10206 Kensington Parkway Kensington, MD 20895	

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Approximately 3,500 sq ft single family home on 22,500 sq ft lot with detached 441 sq ft garage. Swimming pool, slate patio, and detached shed.



Description of Work Proposed: Please give an overview of the work to be undertaken:

Construct a 360 sq ft, freestanding aluminum pergola over existing patio

REVIEWED
By Rebecca Ballo at 2:58 pm, Sep 21, 2023

Work Item 1: _____

Description of Current Condition:

Proposed Work:

Work Item 2: _____

Description of Current Condition:

Proposed Work:

Work Item 3: _____

Description of Current Condition:

Proposed Work:

**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/Parking Area	*	*		*	*	*	*
Grading/Excavation/Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*



DPS | Montgomery County
Department of Permitting Services

2425 Reedie Drive, 7th Floor
Wheaton, MD 20902
240-777-0311
montgomerycountymd.gov/dps

APPROVED
Montgomery County
Historic Preservation Commission

Rebecca Ballo



REVIEWED
By Rebecca Ballo at 2:58 pm, Sep 21, 2023

Application for Residential Building Permit

Sediment Control # _____ Building AP #(s) _____ Demolition # _____

A. Description of Work	Use or Proposed Use	Other
<input type="checkbox"/> ADD _____ sq. ft.	<input type="checkbox"/> Detached House	<input type="checkbox"/> Mobile Home*
<input checked="" type="checkbox"/> ALTER <u>360</u> sq. ft.	<input type="checkbox"/> Townhouse	<input type="checkbox"/> Deck
<input type="checkbox"/> CONSTRUCT _____ sq. ft.	<input type="checkbox"/> Modular/Manufactured Home*	<input type="checkbox"/> Shed
<input type="checkbox"/> DEMOLISH	<input type="checkbox"/> Retaining Wall	<input type="checkbox"/> Spa/Hot tub
<input type="checkbox"/> MOVE	<input type="checkbox"/> Pool above Ground	<input type="checkbox"/> Duplex
<input type="checkbox"/> FOUNDATION ONLY	<input type="checkbox"/> Detached Garage	<input type="checkbox"/> Basement
<input type="checkbox"/> RESTORE and/or REPAIR _____ sq. ft.	<input type="checkbox"/> Group Home – 5 Persons or less	<input type="checkbox"/> Pool In Ground
<input type="checkbox"/> FINAL ONLY	<input type="checkbox"/> Assisted Living – 5 Persons or less	<input checked="" type="checkbox"/> Other <u>POLY</u>

* Manufacturer's Name and Model _____

Lot Size _____ sq. ft. | Disturbed Land Area: _____ sq. ft. | Earth Movement (cu. yd.): _____ | Estimated Cost: \$ 50,000

B. Revision

REVISION to ORIGINAL PERMIT # _____ (Original permit has been issued and is active)

SITE STRUCTURAL HOUSE TYPE OTHER: _____

C. Model House Program/Refer-Back System	Swimming Pools Refer-Back System
<input type="checkbox"/> INITIAL SUBMITTAL	<input type="checkbox"/> INITIAL SUBMITTAL
<input type="checkbox"/> Refer-back PERMIT # _____	<input type="checkbox"/> Refer-back PERMIT # _____

D. Who is the Applicant? Property Owner Licensed Contractor Applicant will be the permit holder

E. Property Owner (Required)

Name BRUCE CASWELL & LANDEN DEICHMAN

Address 10221 MONTGOMERY AVE City KENSINGTON State MD Zip 20895

Cell Telephone: _____ Work Telephone _____ Email: _____

F. Licensed Contractor. MHIC or Montgomery County Builders License 23872 Expiration Date 9/3/24

Business Name HERITAGE OUTDOOR SOLUTIONS

Primary Contact ALEC HUBER DPS Customer #: _____

Address 909 BELFAST RD City SPARKS State MD Zip 21152

Cell Telephone: 240 449 7974 Work Telephone _____ Email: WILLIAM@OS-PROS.COM

G. Building Address:

Number _____ Street _____ City _____ Zip _____

Lot (s) _____ Block _____ Subdivision _____

Nearest Cross Street. _____

H. Site Plan Information

MNCPPC Site Plan No. _____ Preliminary Plan No. _____

Record Plat No. _____ Forest Conservation Easement? Y N

REVIEWED
By Rebecca Ballo at 2:58 pm, Sep 21, 2023

APPROVED
Montgomery County
Historic Preservation Commission
Rebecca Ballo

I. Additional Approvals:

Properties located within historic districts, municipalities and special taxing districts may require the required Department of Permitting Services (DPS) building permit. For projects located in Commercial Revitalization Overlay, certain permits must be approved by the City prior to construction. Please refer to "Permit Procedures for Properties within a Montgomery County Municipality" for more information.

J. Water and Sewage

TYPE OF WATER SUPPLY WSSC WELL OTHER (specify) _____
SEWAGE DISPOSAL WSSC SEPTIC OTHER (specify) _____

K. MPDU (moderately priced dwelling unit(s))

25% of this new home development will be built as Moderately Priced Dwelling Units Yes No

L. Conditional Use: Is this lot subject to a Conditional Use?

Yes, Case # _____ No

M. Variance: (Has a Variance been granted to perform this work?)

Yes, Variance # _____ No

N. Historic Area in Atlas or Master Plan: Is the property a Historic resource?

Yes No

O. Authorized Agent Affidavit:

I hereby declare and affirm, under penalty of perjury, that:

1. I am duly authorized to make this permit application on behalf of: BRUCE CASWELL & LAUREN DRICHMAN
(Please print property owner's name)

2. The work proposed by this building permit application is authorized by the property owner; and

3. All matters and facts set forth in this Affidavit are true and correct to the best of my knowledge, information and belief.

Bruce L. Caswell 3/10/23 BRUCE L. CASWELL
(Property Owner's Signature - required) Date (Print Name)
[Signature] 3/10/23 ALEC HUBER
(Licensed Contractor Signature, if applicable) Date (Print Name)
William Tn 3/10/23 WILLIAM TN
(Authorized Agent's Signature, if applicable) Date (Print Name)

P. Statement of Homeowner Acting as New Home Builder:

I, the undersigned property owner, state that I am not a licensed new home builder and that the building to be constructed under this permit is to be used as a residence for me and my immediate family. I will serve as general contractor and take responsibility for compliance with all applicable building codes.

Bruce L. Caswell 3/10/23 BRUCE L. CASWELL
(Property Owner's Signature) Date (Print Name)

Q. To Be Read by the Applicant:

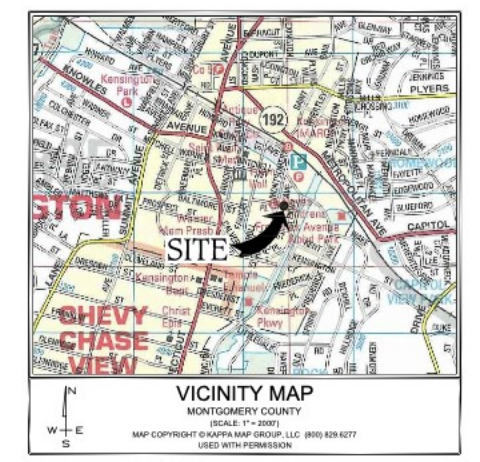
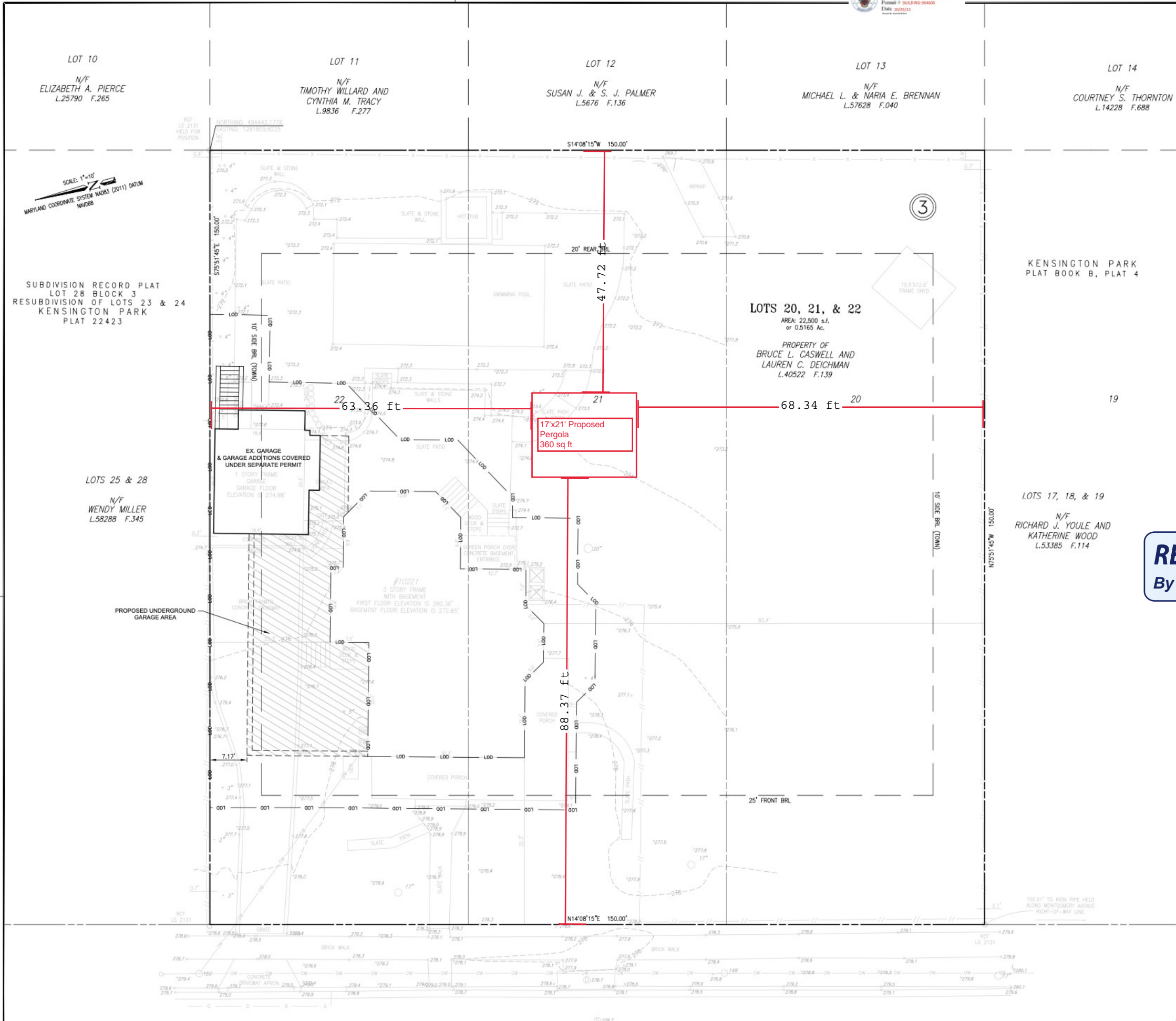
Any information that the applicant has set forth in this application that is false, or misleading may result in the rejection of the application. A condition of the issuance of this permit is that the proposed construction will comply always with the plans as approved by all applicable government agencies.

William Tn 3.8.2023 WILLIAM TN
(Applicant's Signature) Date (Print Name)

R. Expedited Plan Review:

I request an Expedited Plan Review, when available, which is subjected to additional fees.

(Applicant's Signature) Date (Print Name)



APPROVED
Montgomery County
Historic Preservation Commission

Rebecca Ballo

REVIEWED
By Rebecca Ballo at 2:58 pm, Sep 21, 2023

GENERAL NOTES

SITE:

- ADDRESS: 10221 MONTGOMERY AVE, KENSINGTON MD 20895 LOTS 20-22, BLK 3
- WATER/SEWER: W1, S1
- TAX MAP: HP43
- FLOODPLAIN: NONE
- WSSC GRID: 21.9W04

SURVEY:

- HORIZONTAL DATUM BASED ON NAD83(2011)
- VERTICAL DATUM BASED ON NAVD83
- TOPOGRAPHY BASED ON FIELD RUN TOPO PERFORMED BY CPJ ON 06-25-2021
- TOPO AT 2' CONTOUR INTERVALS
- THIS LOT IS NOT ASSOCIATED WITH A PRELIMINARY PLAN
- NO 100YR FLOODPLAIN/WETLANDS LOCATED WITHIN THE SITE.
- NO HISTORIC SITE LOCATED WITHIN/ADJACENT TO THE SITE.

ZONING:

- SUBDIVISION: KENSINGTON PARK, PLAT #4 RECORDED: 1890
- PROPERTY ZONED: R-60
- MAIN STRUCTURE SETBACKS:
 - FRONT YARD: 25'
 - SIDE YARD: 10' (TOWN)
 - REAR YARD: 20'
- LOT SIZE = 22,500 SQ. FT. (R)
- MAXIMUM COVERAGE: ALLOWED = 35%
- PROPOSED COVERAGE: 12%

LOT COVERAGE CALCULATIONS:

EX. HOUSE	=	1,567
EX. PORCHES	=	537
EX. SHED	=	132
PROP. GARAGE	=	441
	=	2,677
	=	22,500
	=	12%

TOPSOIL MUST BE APPLIED TO ALL PERVIOUS AREAS WITHIN THE LIMITS OF DISTURBANCE PRIOR TO PERMANENT STABILIZATION IN ACCORDANCE WITH MDE "STANDARDS AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS".

PROJECT NARRATIVE:

THIS PROJECT CONSIST OF CONSTRUCTING AND UNDERGROUND GARAGE AREA. AREA OF DISTURBANCE IS LESS THAN 5,000 SQ. FT. WITH MORE THAN 100 CUBIC YARDS OF EARTH BEING MOVED. THEREFORE AN SLD PERMIT IS BEING APPLIED FOR.

LANDSCAPE ARCHITECT CERTIFICATE

I HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON IS CORRECT AND TAKEN FROM THE RECORDS.

Salie P. Stewart
REGISTERED LANDSCAPE ARCHITECT
MD #612
EXPIRES: 9/8/2021
8/16/2021
DATE

Seal not valid without signature

UPDATES/REVISIONS:

SITE PLAN
10221 MONTGOMERY AVENUE
LOTS 20-22, BLOCK 3
KENSINGTON PARK
WHEATON (13th) ELECTION DISTRICT
MONTGOMERY COUNTY, MARYLAND

CPJ Charles P. Johnson & Associates, Inc.
Civil and Environmental Engineers • Planners • Landscape Architects • Surveyors
1781 Elton Rd., Ste. 300 Silver Spring, MD 20903 301 434 7000 Fax: 301 434 9394
www.cpj.com • Silver Spring, MD • Gaithersburg, MD • Annapolis, MD • Crofton, MD • Frederick, MD • Pikesville, MD

CLIENT: BRUCE CASWELL 10221 MONTGOMERY AVENUE KENSINGTON, MD 20895	TAX MAP/WSSC	SITE PLAN NO.
DESIGN: RPI	DESIGN: RPI	SHEET 1 OF 1
DRAFT: RPI	DATE: JULY 2021	FILE NO: 2021-1284-21
SCALE: AS NOTED		

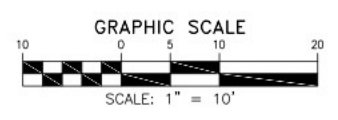
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LEGEND

---	EXISTING GRADE	---	SHC	APPROXIMATE LOCATION OF SEWER HOUSE CONNECTION
- - -	PROPOSED GRADE	---	WHC	APPROXIMATE LOCATION OF WATER HOUSE CONNECTION
+5.1'	FINISHED GRADE SPOT ELEVATION	---	G	APPROXIMATE LOCATION OF PROPOSED GAS CONNECTION
+59.0	EXISTING GRADE SPOT ELEVATION	---	E	APPROXIMATE LOCATION OF PROPOSED ELECTRIC CONNECTION
---	PROPERTY BOUNDARY			

MISS UTILITY

CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF CHAPTER 36A OF THE MONTGOMERY COUNTY CODE. CERTIFICATIONS ON THIS SHEET ARE REQUIRED ON ANY PLAN INVOLVING STORMWATER MANAGEMENT. THE STRUCTURAL CERTIFICATION IS REQUIRED FOR UNDERGROUND STORMWATER MANAGEMENT STRUCTURES WHERE POURED CONCRETE WALLS ARE TO BE UTILIZED, OR ON ANY OTHER STRUCTURE MCDPS DEEMS APPROPRIATE.



DESIGN CODE REQUIREMENTS

1. BUILDING CODE: MBC 2018 MARYLAND BUILDING CODE
IBC 2018 INTERNATIONAL BUILDING CODE
2. STANDARDS:
 - a. ASCE 7-16 AMERICAN SOCIETY OF CIVIL ENGINEERS: MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES
 - b. ACI 318 AMERICAN CONCRETE INSTITUTE: BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
 - c. ACI 530 AMERICAN CONCRETE INSTITUTE: BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES
 - d. ASTM AMERICAN SOCIETY FOR TESTING AND MATERIALS
 - e. AISI S100 AMERICAN IRON AND STEEL INSTITUTE: NORTH AMERICAN SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS
 - f. AF&PA NDS AMERICAN FOREST & PAPER ASSOCIATION: NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION
 - g. AF&PA SPDWS AMERICAN FOREST & PAPER ASSOCIATION: SPECIAL DESIGN PROVISIONS FOR WIND AND SEISMIC

DESIGN CRITERIA:

1. DEAD LOADING
 - a. SUPERIMPOSED DEAD LOAD 5 PSF
(IN ADDITION TO THE STRUCTURE SELF WEIGHT)
2. LIVE LOADING
 - a. ROOF LIVE LOAD 20 PSF
3. RAIN LOADING
 - a. DESIGN RAINFALL: 4.5"/HOUR (100-YEAR, 1-HOUR RAINFALL)
 - b. RAINWATER AT LOWEST POINT OF ROOF SHALL NOT POND DURING DESIGN RAINFALL
 - c. DESIGN RAIN LOAD, R: 20 PSF
4. SNOW LOADING
 - a. GROUND SNOW LOAD 30 PSF
 - b. SNOW EXPOSURE FACTOR 1.0
 - c. SNOW LOAD IMPORTANCE FACTOR 1.0
 - d. THERMAL FACTOR 1.2
5. WIND LOADING INPUTS
 - a. RISK CATEGORY II
 - b. ULTIMATE WIND SPEED 115 MPH (ASD=SQRT(0.6)*Vult)
 - c. WIND EXPOSURE FACTOR C
 - d. DIRECTIONALITY/OTHER FACTORS $K_d=0.85, G=0.85, K_z=0.85, K_{zt}=1.0$
 - e. METHODOLOGY OPEN STRUCTURE
 - f. MEAN ROOF HEIGHT 12' - 0"
6. SEISMIC LOADS
 - a. RISK CATEGORY II
 - b. SITE CLASS D
 - c. S_s 0.134
 - d. S_{ds} 0.143
 - e. S_1 0.043
 - f. S_{d1} 0.069
 - g. SEISMIC DESIGN CATEGORY (SDC) B
 - h. LONG TRANSITION PERIOD (T_L) 8
 - i. LATERAL RESISTING SYSTEM CANTILEVER COLUMN (G.2)
 - j. REDUNDANCY FACTOR, ρ : 1.00
 - k. OVERSTRENGTH FACTOR, Ω_o : 1.25
 - l. RESPONSE MODIFICATION FACTOR, R: 1.25

EARTHWORK & FOUNDATIONS

1. SHALLOW FOUNDATIONS
 - a. SOIL TO BE WELL COMPACTED BY MECHANICAL MEANS TO 95% OPTIMUM DENSITY, BE FREE OF MUCK AND ORGANICS, AND ACHIEVE 1500 PSF MIN BEARING PRESSURE AND LATERAL BEARING PRESSURE BELOW NATURAL GRADE OF 150 PSF.
 - b. FOUNDATIONS SHALL BEAR A MINIMUM OF 2'- 6" BELOW ADJACENT EXTERIOR GRADE.
 - c. FOUNDATIONS SHALL BEAR ON COMPACTED STRUCTURAL FILL, NATURAL SOILS, OR ROCK.
 - d. CENTER ALL FOUNDATIONS UNDER THEIR RESPECTIVE COLUMNS OR WALLS UNLESS NOTED OTHERWISE.
 - e. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL EXCAVATION PROCEDURES INCLUDING, BUT NOT LIMITED TO: LAGGING, SHORING AND PROTECTION OF ADJACENT PROPERTY, STRUCTURES, STREETS, AND UTILITIES IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL BUILDING DEPARTMENT AND OSHA REGULATIONS.
 - f. EXCAVATION SHALL NOT OCCUR WITHIN ONE FOOT OF THE ANGLE OF REPOSE OF ANY SOIL BEARING FOUNDATION UNLESS THE FOUNDATION IS PROTECTED AGAINST SETTLEMENT.
 - g. CONTRACTOR SHALL DETERMINE THE EXTENT OF THE CONSTRUCTION DEWATERING SYSTEMS REQUIRED FOR THE EXCAVATION. AT A MINIMUM, CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING SITE.

CONCRETE

1. CONCRETE MIXTURES SHALL BE DESIGNED TO REACH A COMPRESSIVE STRENGTH OF 3,000 PSI IN 28 DAYS.
2. NORMAL WEIGHT CONCRETE SHALL BE USED FOR ALL CONCRETE MEMBERS UNLESS NOTED OTHERWISE. NORMAL WEIGHT CONCRETE SHALL HAVE A CURED DENSITY OF 145 PCF ±5 PCF. WHERE LIGHTWEIGHT CONCRETE IS SPECIFIED THE CURED DENSITY SHALL BE 112 PCF ±3 PCF.
3. ALL REINFORCEMENT SHALL BE DEFORMED BARS OF INTERMEDIATE GRADE NEW BILLET STEEL CONFORMING TO CURRENT REQUIREMENTS OF ASTM A615, GRADE 60 (U.O.N.).
4. CLEAR COVER FOR REINFORCEMENT SHALL BE:
 - a. FOOTINGS PERMANENTLY EXPOSED TO EARTH: 3"
 - b. UNFORMED FACES EXPOSED TO EARTH: 3"
 - c. FORMED FACES IN CONTACT WITH EARTH: 2"

STRUCTURAL ALUMINUM & ALUMINUM WELDING:

1. ALL COMPONENTS SHALL BE STRUCTURAL ALUMINUM (U.N.O.) AND SHALL BE FABRICATED AND ERECTED ACCORDING TO THE GOVERNING BUILDING CODE AND MATERIAL STANDARDS REFERENCED ON THIS SHEET.
2. ALL STRUCTURAL ALUMINUM SHALL BE MIN 1/8" THICK U.N.O. AND BE OF THE FOLLOWING ALLOY AND TEMPER:

a. BEAMS, PURLINS, COLUMNS	6063-T6
b. ALL OTHER EXTRUSIONS	6063-T6
c. FASTENERS	SS 316
3. STRUCTURAL ALUMINUM SHALL BE FRAMED PLUMB AND TRUE AND ADEQUATELY BRACED DURING CONSTRUCTION.
4. WHERE ALUMINUM IS IN CONTACT WITH OTHER METALS EXCEPT 300 SERIES STAINLESS STEEL, ZINC OR CADMIUM AND THE FAYING SURFACES ARE EXPOSED TO MOISTURE, THE OTHER METALS SHALL BE PAINTED OR COATED WITH ZINC, CADMIUM, OR ALUMINUM.
5. UNCOATED ALUMINUM SHALL NOT BE EXPOSED TO MOISTURE OR RUNOFF THAT HAS COME IN CONTACT WITH OTHER UNCOATED METALS EXCEPT 300 SERIES STAINLESS STEEL, ZINC, OR CADMIUM. ALUMINUM SURFACES TO BE PLACED IN CONTACT WITH MASONRY, CONCRETE, WOOD, FIBERBOARD, OR OTHER POROUS MATERIAL THAT ABSORBS WATER SHALL BE PAINTED.
6. FOR ALUMINUM IN CONTACT WITH CONCRETE: ACCEPTABLE PAINTS: PRIMING PAINT (ONE COAT), SUCH AS ZINC MOLYBDATE PRIMER IN ACCORDANCE WITH FEDERAL SPECIFICATION TT-P-645B ("GOOD QUALITY", NO LEAD CONTENT). ALT: HEAVY COATING OF ALKALI-RESISTANT BITUMINOUS PAINT. ALT: WRAP ALUMINUM WITH A SUITABLE PLASTIC TAPE APPLIED IN SUCH A MANNER AS TO PROVIDE ADEQUATE PROTECTION AT THE OVERLAPS.
7. ALUMINUM SHALL NOT BE EMBEDDED IN CONCRETE TO WHICH CORROSIVE COMPONENTS SUCH AS CHLORIDES HAVE BEEN ADDED IF THE ALUMINUM WILL BE ELECTRICALLY CONNECTED TO STEEL. EMBEDDED ALUMINUM ELEMENTS WILL BE COVERED WITH PLASTIC TAPE OR OTHERWISE PROTECTED AS PER 2020 ADM M.7.3.
8. BOLT HOLES SHALL BE DRILLED IN THE SAME NOMINAL DIAMETER AS THE BOLT + 1/16".
9. ALUMINUM WELDING SHALL BE PERFORMED IN ACCORDANCE WITH WELD FILLER ALLOYS MEETING ANSI/AWS A5.10 STANDARDS TO ACHIEVE ULTIMATE DESIGN STRENGTH IN ACCORDANCE WITH THE ALUMINUM DESIGN MANUAL PART I-A, TABLE 7.3.1. ALL ALUMINUM CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE TOLERANCES, QUALITY, AND METHODS OF CONSTRUCTION AS SET FORTH IN THE AMERICAN WELDING SOCIETY'S STRUCTURAL WELDING CODE ALUMINUM (D1.2). MINIMUM WELD IS 1/8" THROAT FULL PERIMETER FILLET WELD UNLESS OTHERWISE NOTED.
10. STAINLESS STEEL FASTENERS SHALL BE ASTM F593 316 SS COLD WORKED CONDITION. PROVIDE (5) PITCHES MINIMUM PAST THE THREAD PLANE FOR ALL SCREW CONNECTIONS. ALL FASTENER CONNECTIONS TO METAL SHALL PROVIDE 2xDIAMETER EDGE DISTANCE AND 3xDIAMETER SPACING.
11. SELF-DRILLING SCREWS SHALL BE TEK BRAND / ALL POINTS FASTENERS OF SIZE #14, STAINLESS STEEL 300 SERIES, WITH MINIMUM 1/2" THREAD ENGAGEMENT BEYOND THE CONNECTED PART, UNLESS OTHERWISE NOTED.
12. THE CONTRACTOR IS RESPONSIBLE TO INSULATE ALL MEMBERS FROM DISSIMILAR MATERIALS TO PREVENT ELECTROLYSIS.

STRUCTURAL WOOD

1. ALL DIMENSION LUMBER SHALL BE STRUCTURAL GRADE #2 SOUTHERN YELLOW PINE OR BETTER MEETING APPLICABLE REQUIREMENTS OF THE SOUTHERN PINE INSPECTION BUREAU (SPIB) AND PRESSURE-IMPREGNATED (PT) BY AN APPROVED PROCESS (ACQ 0.4 PRESSURE TREATED) PRESERVATIVE IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE BUILDING CODE AND AMERICAN WOOD PRESERVERS ASSN (AWPA) "BOOK OF STANDARDS" OR 0.55 SPECIFIC GRAVITY MIN.
2. MEMBER SIZES SHOWN ARE NOMINAL UNLESS NOTED OTHERWISE.
3. ALL METAL CONNECTORS IN CONTACT WITH WOOD USED IN LOCATIONS EXPOSED TO WEATHER SHALL BE GALVANIZED.
4. NAILS SHALL PENETRATE THE SECOND MEMBER A DISTANCE EQUAL TO THE THICKNESS OF THE MEMBER BEING NAILED THERETO. THERE SHALL BE NOT LESS THAN 2 NAILS IN ANY CONNECTION.
5. MEMBERS SHALL BE FREE OF CRACKS AND KNOTS. MOISTURE CONTENT SHALL BE 19% OR LESS. DRY WOOD MAY SPLIT MORE EASILY. IF WOOD TENDS TO SPLIT, PRE-BORING HOLES SHALL BE USED WITH DIAMETERS NOT EXCEEDING 3/4" OF THE NAIL DIAMETER OR USE A 5/32" BIT FOR SDS SCREWS. A FASTENER THAT SPLITS THE WOOD SHALL BE REEVALUATED PRIOR LOADING THE CONNECTION.
6. WOOD THAT IS IN CONTACT WITH CONCRETE OR MASONRY, AND AT OTHER LOCATIONS AS SHOWN ON STRUCTURAL DRAWINGS, SHALL BE PROTECTED WITH 30 # FELT OR PRESSURE TREATED IN ACCORDANCE WITH AITC-109. MEMBER SIZE SHOWN ARE NOMINAL UNLESS NOTED OTHERWISE

ANCHORS & FASTENERS

1. ALL BOLTS SHALL BE HOT DIPPED GALVANIZED, OR STAINLESS STEEL & MEET THE REQUIREMENTS OF ASTM A307 GRADE A. WASHERS SHALL BE USED BETWEEN WOOD & BOLT HEAD & BETWEEN WOOD & NUT CONFORMING TO FEDERAL SPECIFICATION FF-W-92 FOR WASHERS. NUTS SHALL BE INSTALLED SUCH THAT THE END OF THE THREADED ROD OR BOLT IS AT LEAST FLUSH WITH THE TOP OF NUT.
2. WHERE GENERIC FASTENERS ARE LABELED IN DETAILS, CAPACITIES SHALL BE EQUAL TO OR GREATER THAN HILTI KWIK BOLT 3 OR RED HEAD THRU BOLTS.
3. BOLT HOLES SHALL BE AT LEAST A MINIMUM OF 1/32" AND NO MORE THAN A MAXIMUM OF 1/16" LARGER THAN THE BOLT DIAMETER.
4. NAILS SHALL PENETRATE THE SECOND MEMBER A DISTANCE EQUAL TO THE THICKNESS OF THE MEMBER BEING NAILED THERETO. THERE SHALL BE NOT LESS THAN 2 NAILS IN ANY CONNECTION.
5. DRY WOOD MAY SPLIT MORE EASILY. IF WOOD TENDS TO SPLIT, PRE-BORING HOLES SHALL BE USED WITH DIAMETERS NOT EXCEEDING 3/4" OF THE NAIL DIAMETER OR USE A 5/32" BIT FOR SDS SCREWS. A FASTENER THAT SPLITS THE WOOD SHALL BE REEVALUATED PRIOR LOADING THE CONNECTION.
6. ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS. MINIMUM EMBEDMENT SHALL BE AS NOTED HEREIN. MINIMUM EMBEDMENT AND EDGE DISTANCE ARE DEPTHS INTO SOLID SUBSTRATE AND DO NOT INCLUDE THICKNESS OF STUCCO, FOAM, BRICK, AND OTHER WALL FINISHES.
7. ANCHOR QUANTITIES INDICATED IN DETAILS ARE FOR GRAPHICAL PURPOSES ONLY. DO NOT SCALE DIAMETER, LENGTH, OR PENETRATION(S). HEAD STYLE(S) ARE FREELY INTERCHANGEABLE.


LOUVERED PERGOLA DESIGN & OPERATION:

1. LOUVERS SHALL BE SPACED SUCH THAT THEY ALLOW 50% SYSTEM POROSITY WHEN FULLY OPENED.
2. LOUVERS SHALL BE ROTATED TO A 90 DEGREE 'OPEN' POSITION DURING ANY NAMED STORM OR WEATHER DESIGN EVENT TO PREVENT EXCESSIVE FORCE TO THIS STRUCTURE. THE OWNER SHALL BE NOTIFIED IN WRITING OF THIS AND THAT CARE SHALL BE TAKEN TO AVOID BUILDUP OF SNOW, DEBRIS, CONSTRUCTION LOADS, & ANY OTHER FORCES THAT CAN AFFECT THE INTEGRITY OF THIS DESIGN.
3. THE STRUCTURE SHALL BE POSTED WITH A LEGIBLE AND READILY VISIBLE DECAL OR PAINTED INSTRUCTIONS TO THE OWNER OR TENANT STATING TO REPOSITION THE LOUVERS AND WINDSCREENS DURING WIND OR SNOW ADVISORIES. THE CANOPY OWNER SHALL BE NOTIFIED OF THESE CONDITIONS BY THE PERMIT HOLDER AT THE TIME OF SALE.
4. SYSTEM SHALL BE EQUIPPED AND SOMFY CERTIFIED TO OPERATE PROPERLY WITH SENSORS WHICH WILL PROMPT THE LOUVER BLADES TO ROTATE TO THE OPEN (VERTICAL) POSITION WHENEVER THE WIND SPEED REACHES 45 MPH MINIMUM, OR TEMPERATURE DROPS TO 32° FAHRENHEIT OR LOWER, AND/OR INCLUDE THE ABILITY FOR MANUAL OPENING AND LOCKING BY THE USER.
5. LOUVERED ROOF SYSTEM SHALL BE PER MANUFACTURER MAXIMUM SPANS OR BY OTHERS.
6. NO CERTIFICATION IS OFFERED FOR WATERPROOFING, SIZING, OR OPERATION OF GUTTERS. SYSTEM NOT DESIGNED FOR WATERSHED OF RAINFALL FROM ADJACENT ROOFS UNLESS SPECIFICALLY SHOWN HEREIN, TYP.

GENERAL NOTES

1. ALLOWABLE DESIGN PRESSURES UTILIZED IN THIS DOCUMENT HAVE BEEN CALCULATED PER THE REQUIREMENTS OF THE CODES AND STANDARDS STATED HEREIN USING ASCE 7-16 ALLOWABLE STRESS DESIGN METHODOLOGY WITH THE CRITERIA AS OUTLINED HEREIN. THE CONTRACTOR SHALL CONTACT THE AUTHORITY HAVING JURISDICTION TO ENSURE APPROPRIATE CRITERIA TO BE USED BEFORE CONSTRUCTION BEGINS.
2. DIMENSIONS ARE SHOWN TO ILLUSTRATE DESIGN FORCES AND OTHER DESIGN CRITERIA. IN SOME CASES, DETAILS MAY BE INTENTIONALLY ALTERED FOR PRESENTATION PURPOSES. DO NOT SCALE DIMENSIONS ELECTRONICALLY OR OTHERWISE. FIELD INSTALLATION MAY VARY SLIGHTLY BUT MUST REMAIN WITHIN 5% OF THE INTENDED DESIGN. THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS PRIOR TO INSTALLATION.
3. THIS STRUCTURE HAS BEEN DESIGNED AND SHALL BE FABRICATED IN ACCORDANCE WITH THE STRUCTURAL PROVISIONS OF THE ABOVE-REFERENCED BUILDING CODE. STRUCTURE SHALL BE FABRICATED IN ACCORDANCE WITH ALL GOVERNING CODES. THE CONTRACTOR SHALL INVESTIGATE AND CONFORM TO ALL LOCAL BUILDING CODE AMENDMENTS WHICH MAY APPLY AND GOVERN. DESIGN CRITERIA OR SPANS BEYOND STATED HEREIN MAY REQUIRE ADDITIONAL SITE-SPECIFIC SEALED ENGINEERING.
4. THE CONTRACTOR SHALL CAREFULLY CONSIDER POSSIBLE IMPOSING LOADS ON ROOF, INCLUDING BUT NOT LIMITED TO ANY CONCENTRATED LOADS WHICH MAY JUSTIFY GREATER DESIGN CRITERIA. ALL STRUCTURAL MEMBERS AS SHOWN HAVE BEEN DESIGNED TO CARRY IN PLACE DESIGN LOADS ONLY; THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SUPPORT OF ANY ADDITIONAL LOADS AND FORCES IMPOSED DURING MANUFACTURING, TRUCKING, ERECTING, AND HANDLING. SYSTEM NOT DESIGNED TO HANDLE CONCENTRATED LOADS FROM HUMAN ACTIVITY.
5. SPECIAL INSPECTIONS MAY BE REQUESTED OR REQUIRED AT THE DISCRETION OF THE AUTHORITY HAVING JURISDICTION.

APPROVED
Montgomery County
Historic Preservation Commission




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ENGINEER'S SEAL



PROFESSIONAL CERTIFICATION:
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NUMBER 58564. EXPIRATION DATE 02/2023.
THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY ANDREW MCCANN, PE, ON 03/06/2023.
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CASWELL RESIDENCE
10221 MONTGOMERY AVE
KENSINGTON, MD 20895

ISSUANCE SCHEDULE

0.	03/06/23	INITIAL ISSUANCE

GENERAL NOTES

PROJECT #	23103
DATE	03/06/23
DWN	CJW
CHK	AEM

S-000

SCALE: AS INDICATED

PRESENTED BY
OUTDOOR SOLUTIONS

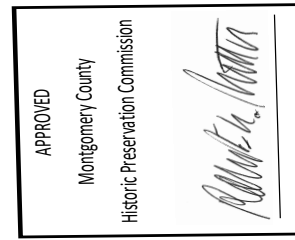
PROJECT
CASWELL RESIDENCE

ADDRESS
10221 MONTGOMERY AVE
KENSINGTON, MD 20895

CONTRACT NO.
2107430

STRUXURE™

STRUXURE INC.
154 ETHAN ALLEN DRIVE
DAHLONEGA, GA 30533



REVIEWED
By Rebecca Ballo at 2:57 pm, Sep 21, 2023



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AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF
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RESIDENCE
10221 MONTGOMERY AVE
KENSINGTON, MD 20895

NOTES

FRAME: WHITE
LOUVERS: BRONZE
SYSTEM: 8" BEAMS & 5.5" GUTTERS
ELEVATION: AT GRADE

DURING SUCH PERIODS OF TIME AS ARE DESIGNATED BY THE U.S. WEATHER BUREAU AS A HIGH WIND OR SNOW ADVISORY FOR THE AREA, THIS SYSTEM MUST BE LOCKED IN THE OPEN POSITION, WITH THE LOUVER BLADES VERTICAL THE STRUCTURE SHALL ALSO NOT BE WALKED UPON AND IS NOT DESIGNED FOR HUMAN ACTIVITY OR STORAGE.

DESCRIPTION
DATE 02/15/23
DRAWN BY I&S
SCALE
SHEET NO. A 100

ALUMINUM TYPE:
 LOUVERS 6063-T5
 ALL OTHER COMPONENTS 6063-T6



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DESCRIPTION
 PERSPECTIVE
 VIEW

DATE
 02/15/23

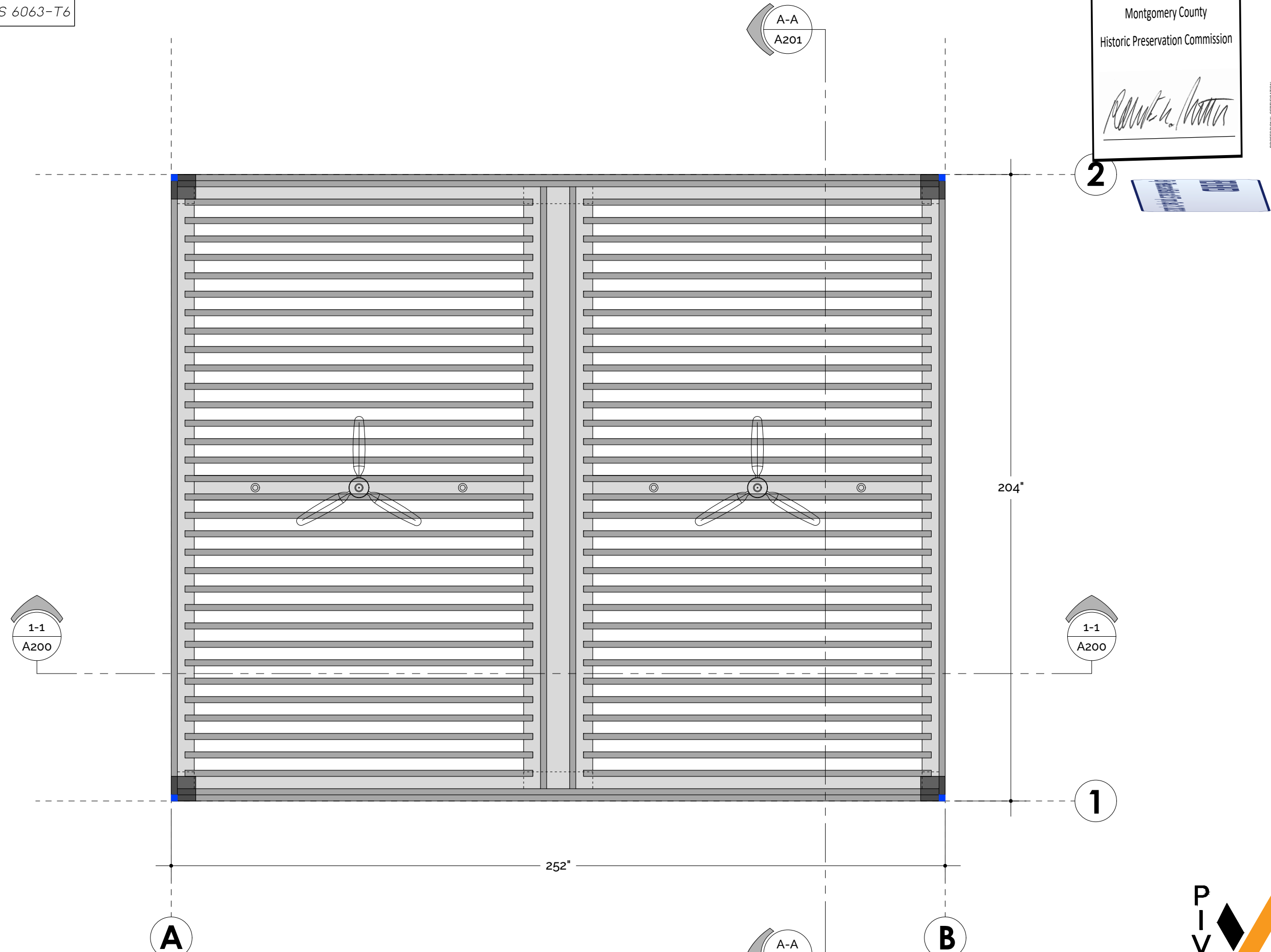
DRAWN BY
 I&S

SCALE
 N.T.S.

SHEET NO.
 A 101

LEGEND

ALUMINUM TYPE:
 LOUVERS 6063-T5
 ALL OTHER COMPONENTS 6063-T6



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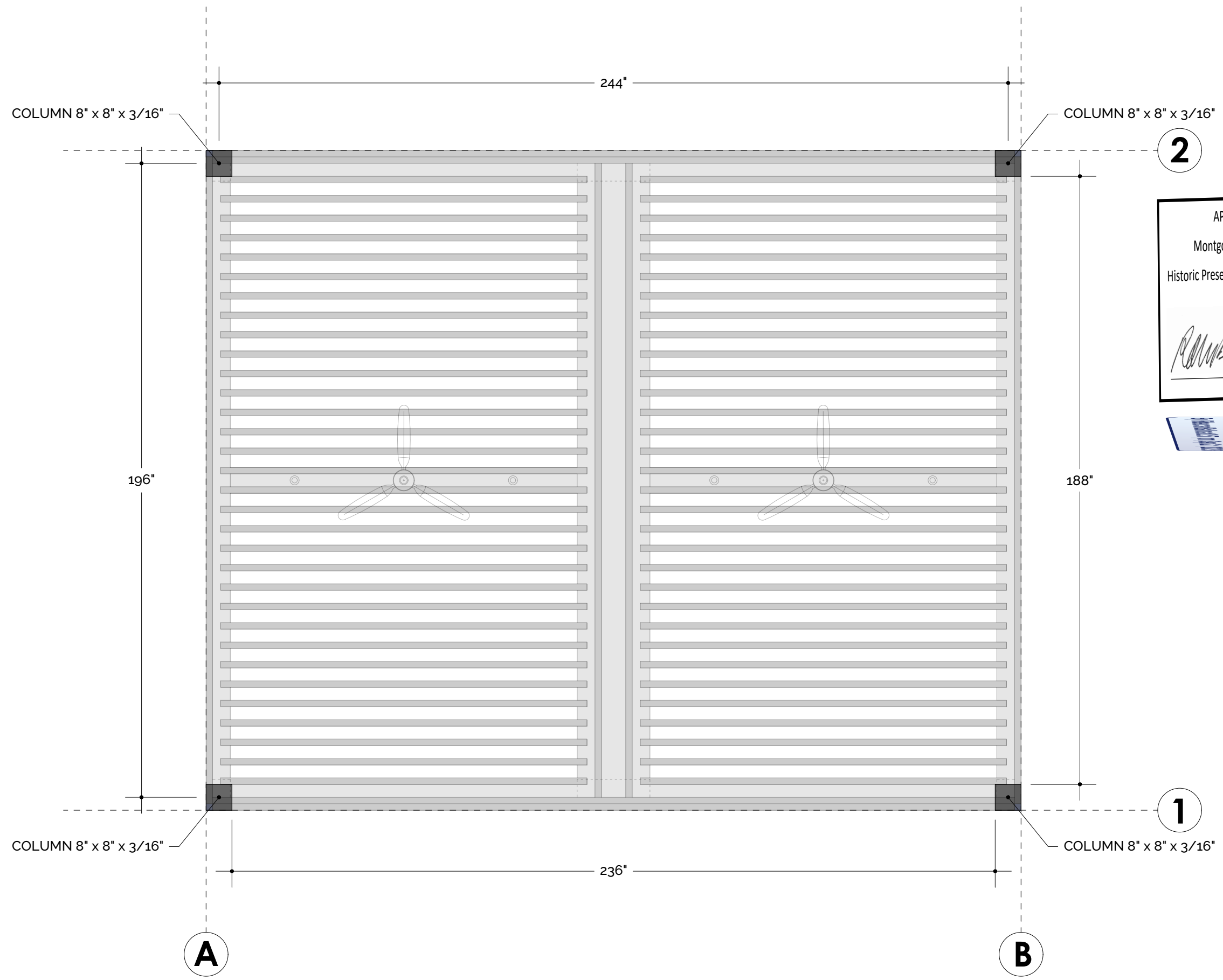
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DESCRIPTION	TOP VIEW
DATE	02/15/23
DRAWN BY	I&S
SCALE	3/8" = 1'-0"
SHEET NO.	A 102

1 TOP VIEW
 SCALE: 3/8" = 1'-0"



ALUMINUM TYPE:
 LOUVERS 6063-T5
 ALL OTHER COMPONENTS 6063-T6



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Robert H. Norton



1 POST LAYOUT VIEW
 SCALE: 3/8" = 1'-0"



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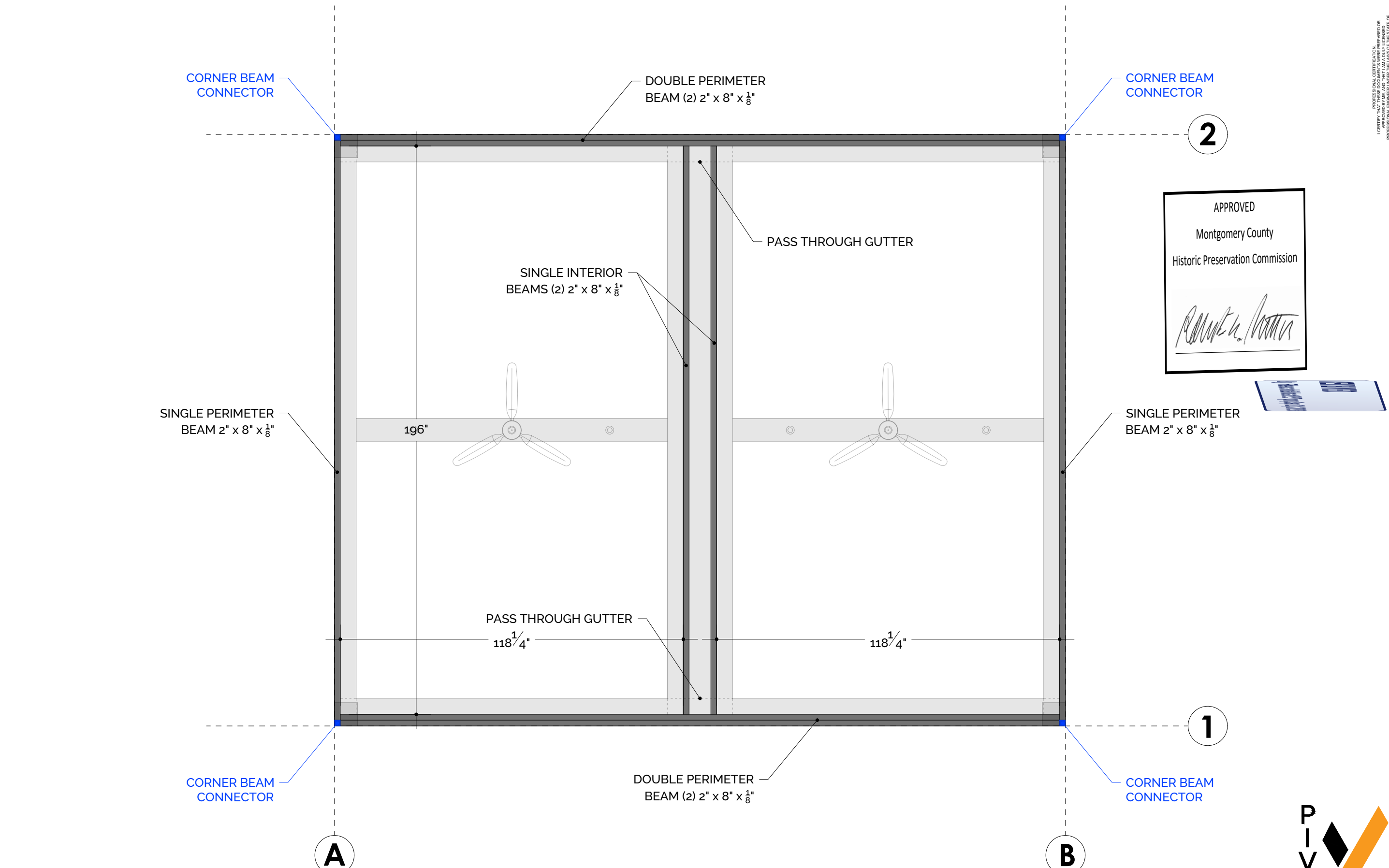


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DESCRIPTION	POST LAYOUT VIEW
DATE	02/15/23
DRAWN BY	I&S
SCALE	3/8" = 1'-0"
SHEET NO.	A 103

ALUMINUM TYPE:
LOUVERS 6063-T5
ALL OTHER COMPONENTS 6063-T6



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Robert A. [Signature]



1 BEAM LAYOUT VIEW
SCALE: 3/8" = 1'-0"



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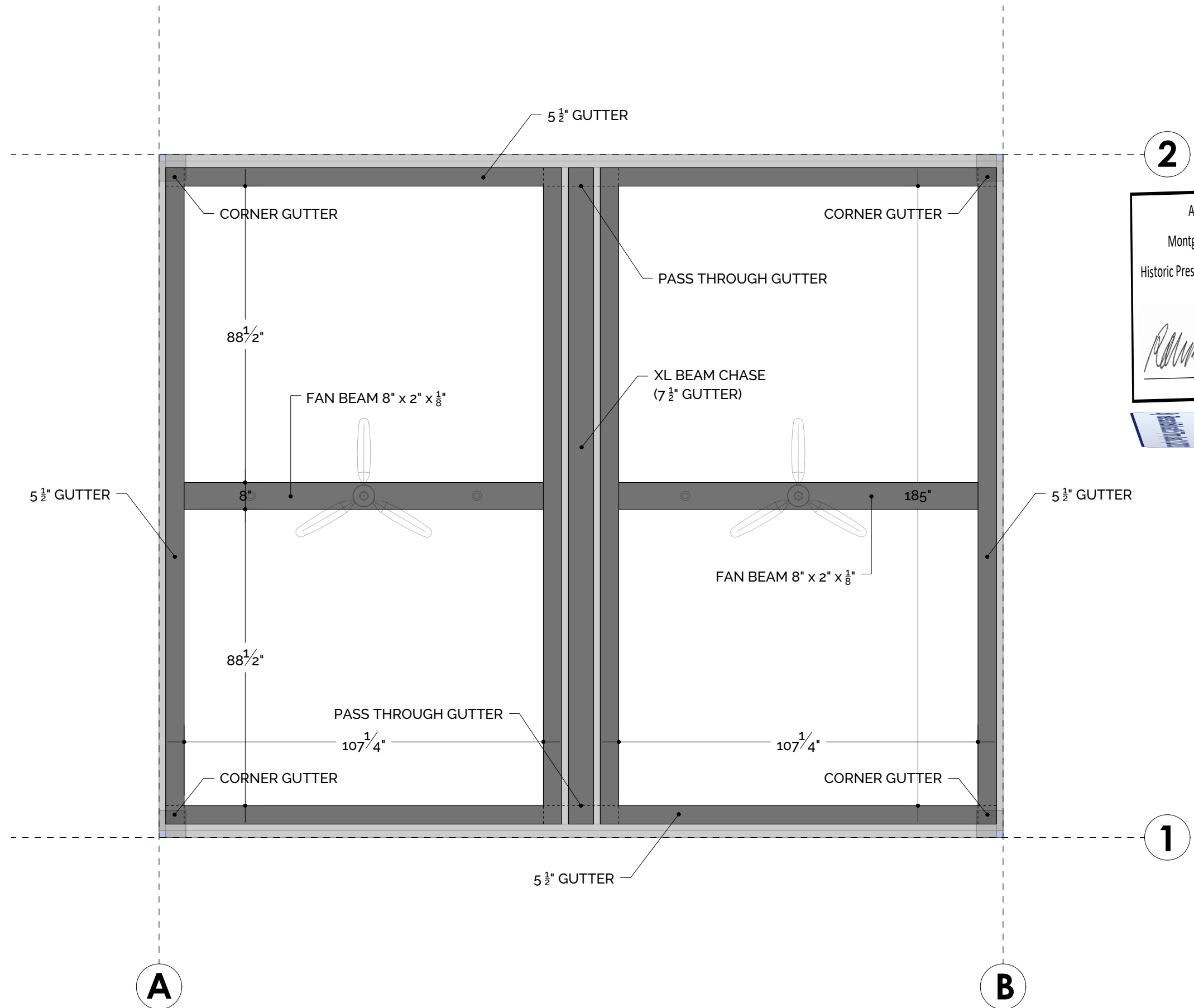


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DESCRIPTION	BEAM LAYOUT VIEW
DATE	02/15/23
DRAWN BY	I&S
SCALE	3/8" = 1'-0"
SHEET NO.	A 104

ALUMINUM TYPE:
 LOUVERS 6063-T5
 ALL OTHER COMPONENTS 6063-T6



2

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STATE OF MARYLAND
 ANDREW MCCAW
 58564
 PROFESSIONAL ENGINEER
 Seal Exp: 12/31/23

AM STRUCTURES
 1153 Town Center Dr
 #201
 Jupiter, FL 33458
 (561) 951 - 0099

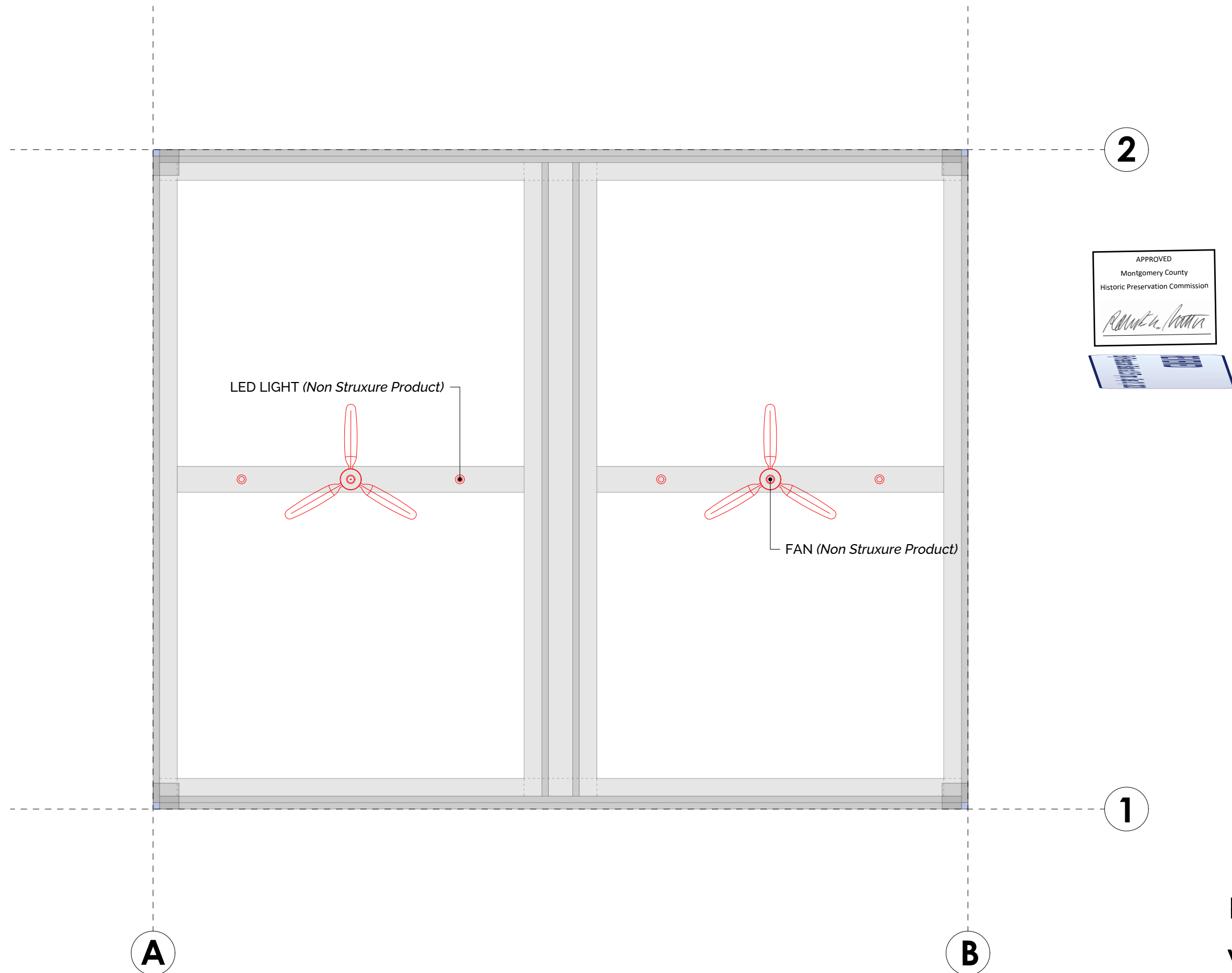
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DESCRIPTION	GUTTER LAYOUT VIEW
DATE	02/15/23
DRAWN BY	I&S
SCALE	3/8" = 1'-0"
SHEET NO.	A 105

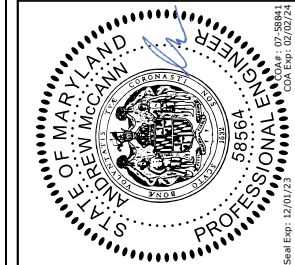
1 GUTTER LAYOUT VIEW
 SCALE: 3/8" = 1'-0"



ALUMINUM TYPE:
 LOUVERS 6063-T5
 ALL OTHER COMPONENTS 6063-T6



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 MARYLAND. LICENSE NUMBER: 58564. EXPIRATION DATE: 12/31/23



AM STRUCTURES
 1153 Town Center Dr
 #201
 Jupiter, FL 33458
 (561) 951 - 0099

CASWELL RESIDENCE
 10221 MONTGOMERY AVE
 KENSINGTON, MD 20895

DESCRIPTION
 FAN & LIGHTS
 LAYOUT VIEW

DATE
 02/15/23

DRAWN BY
 I&S

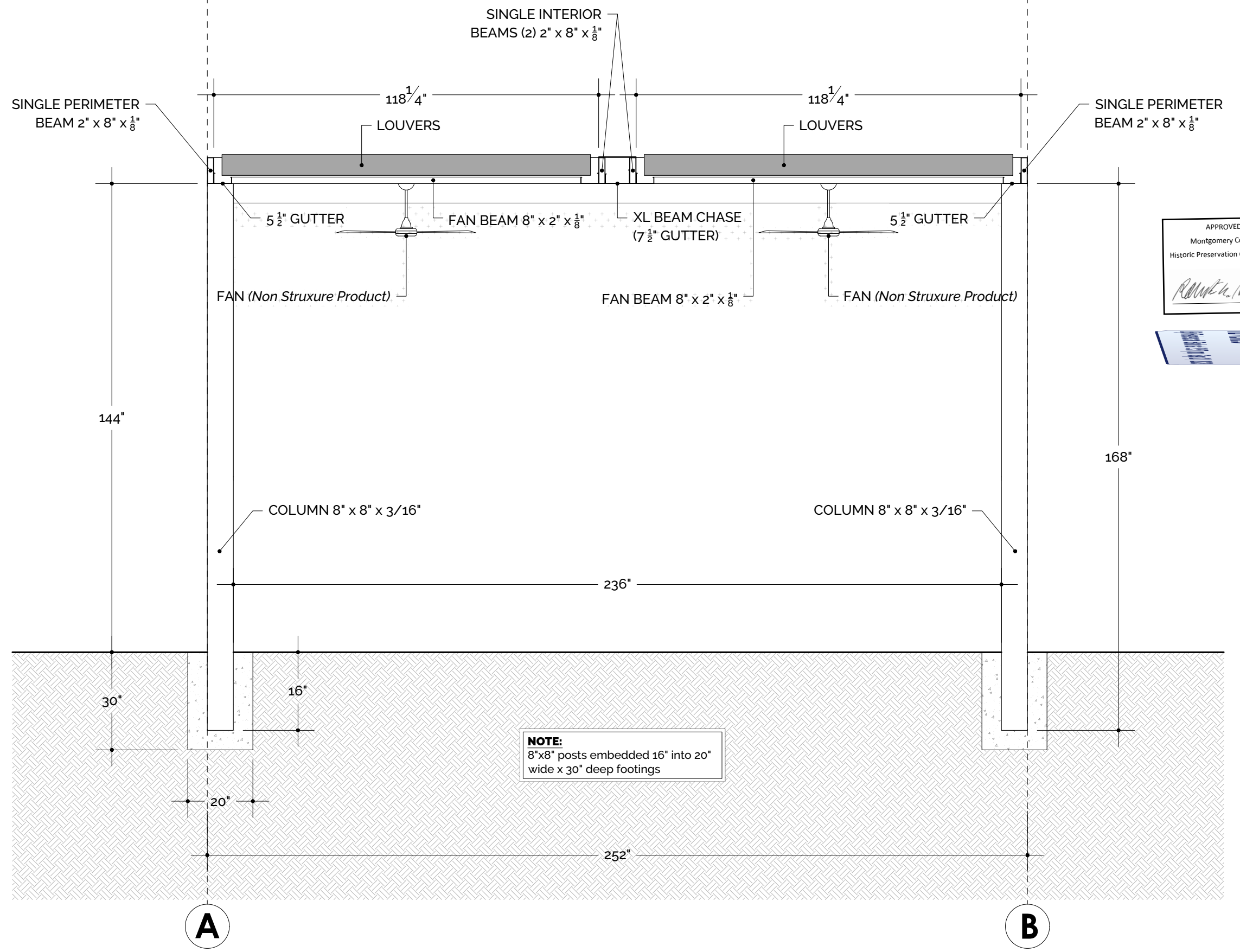
SCALE
 3/8" = 1'-0"

SHEET NO.
 A 106

1 FAN & LIGHTS LAYOUT VIEW
 SCALE: 3/8" = 1'-0"



ALUMINUM TYPE:
 LOUVERS 6063-T5
 ALL OTHER COMPONENTS 6063-T6



NOTE:
 8"x8" posts embedded 16" into 20"
 wide x 30" deep footings



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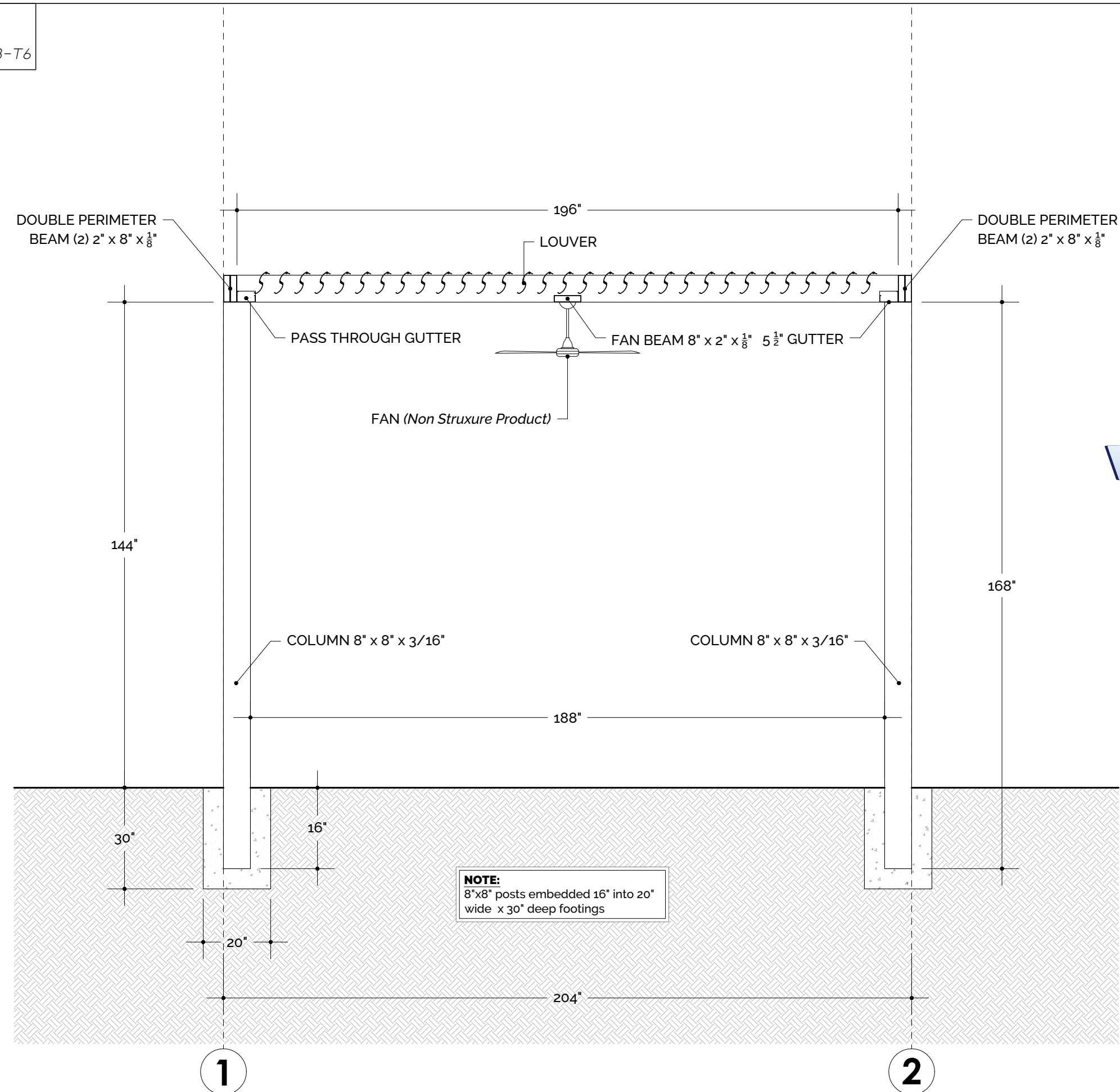
CASWELL RESIDENCE
 10221 MONTGOMERY AVE
 KENSINGTON, MD 20895

DESCRIPTION	SECTION 1-1
DATE	02/15/23
DRAWN BY	I&S
SCALE	3/8" = 1'-0"
SHEET NO.	A 200

1 SECTION 1-1
 SCALE: 3/8" = 1'-0"



ALUMINUM TYPE:
 LOUVERS 6063-T5
 ALL OTHER COMPONENTS 6063-T6



NOTE:
 8"x8" posts embedded 16" into 20" wide x 30" deep footings



1 SECTION A-A
 SCALE: 3/8" = 1'-0"



STRUXURE
 154 ETHAN ALLEN DR.
 DAHLONEGA, GA 30533
 (800) 303-5248



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CASWELL RESIDENCE
 10221 MONTGOMERY AVE
 KENSINGTON, MD 20895

DESCRIPTION	SECTION A-A
DATE	02/15/23
DRAWN BY	I&S
SCALE	3/8" = 1'-0"
SHEET NO.	A 201

ALUMINUM TYPE:
 LOUVERS 6063-T5
 ALL OTHER COMPONENTS 6063-T6

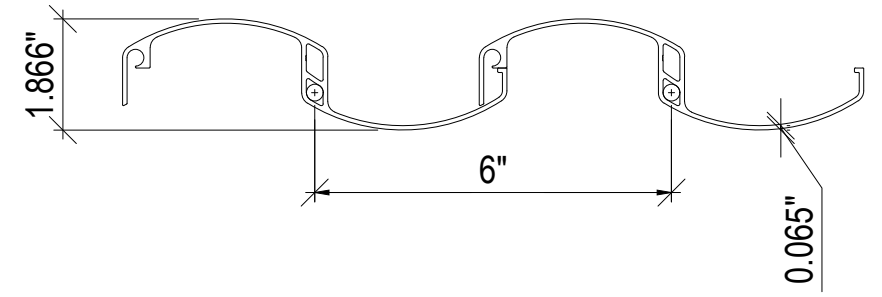
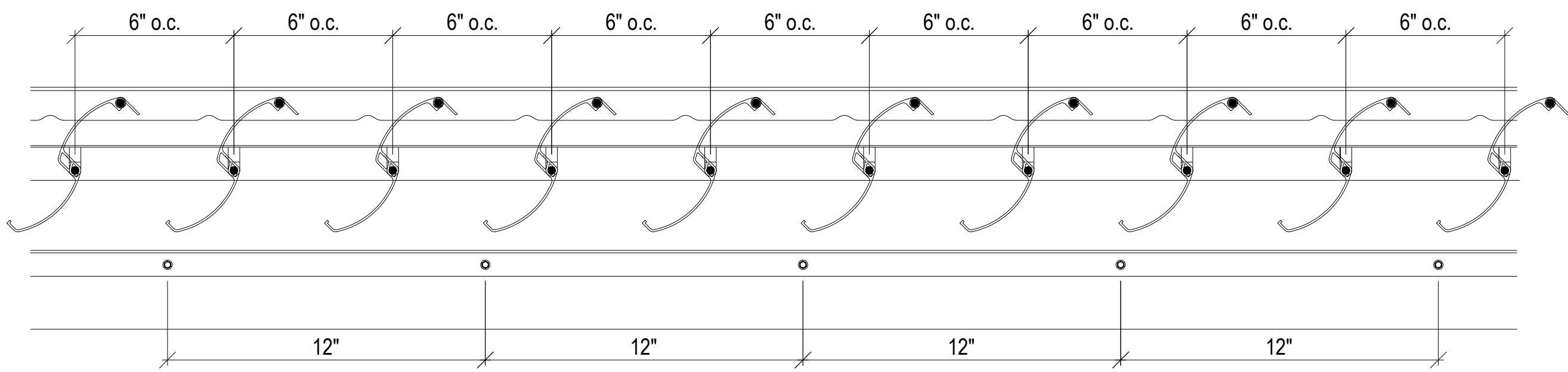
STRUXURE™
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 DAHLONEGA, GA 30533
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 PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF
 MARYLAND. LICENSE NUMBER 18864. EXPIRATION DATE 12/31/2024

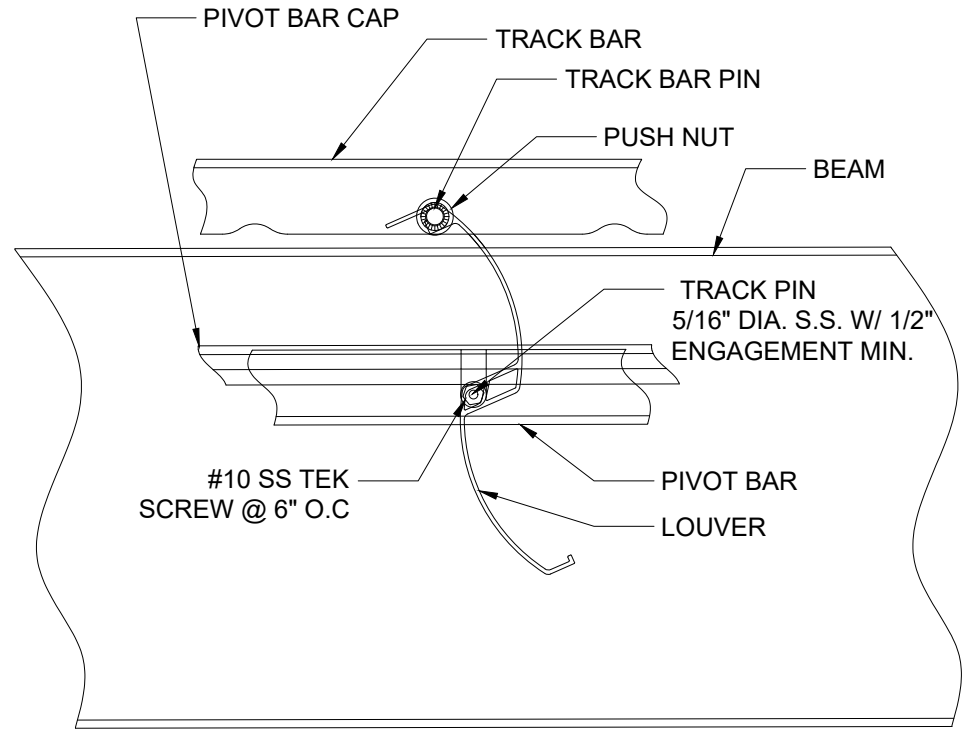


AM STRUCTURES
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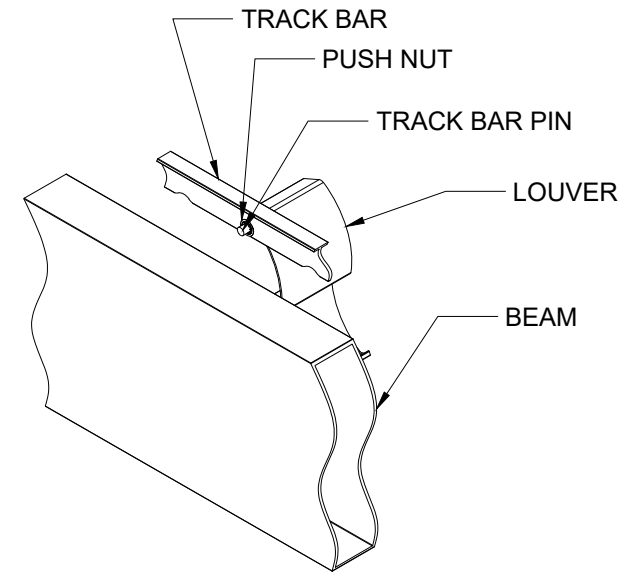
CASWELL RESIDENCE
 10221 MONTGOMERY AVE
 KENSINGTON, MD 20895



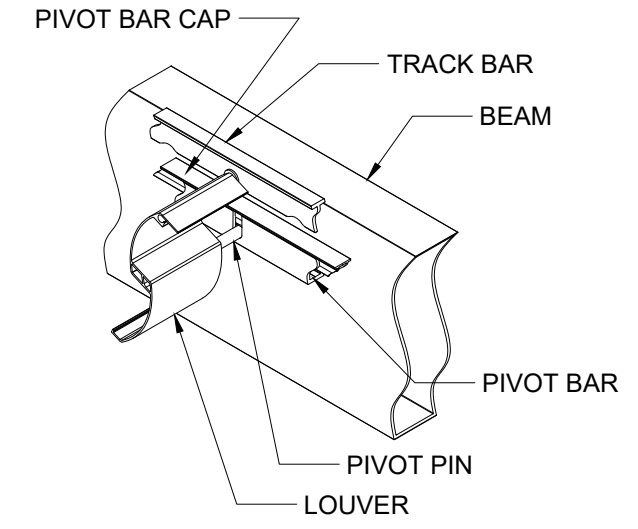
LOUVERS DETAIL



SIDE VIEW



ISOMETRIC OUT-SIDE VIEW



ISOMETRIC IN-SIDE VIEW

DESCRIPTION	DETAILS
DATE	02/15/23
DRAWN BY	I&S
SCALE	N.T.S.
SHEET NO.	

A 300

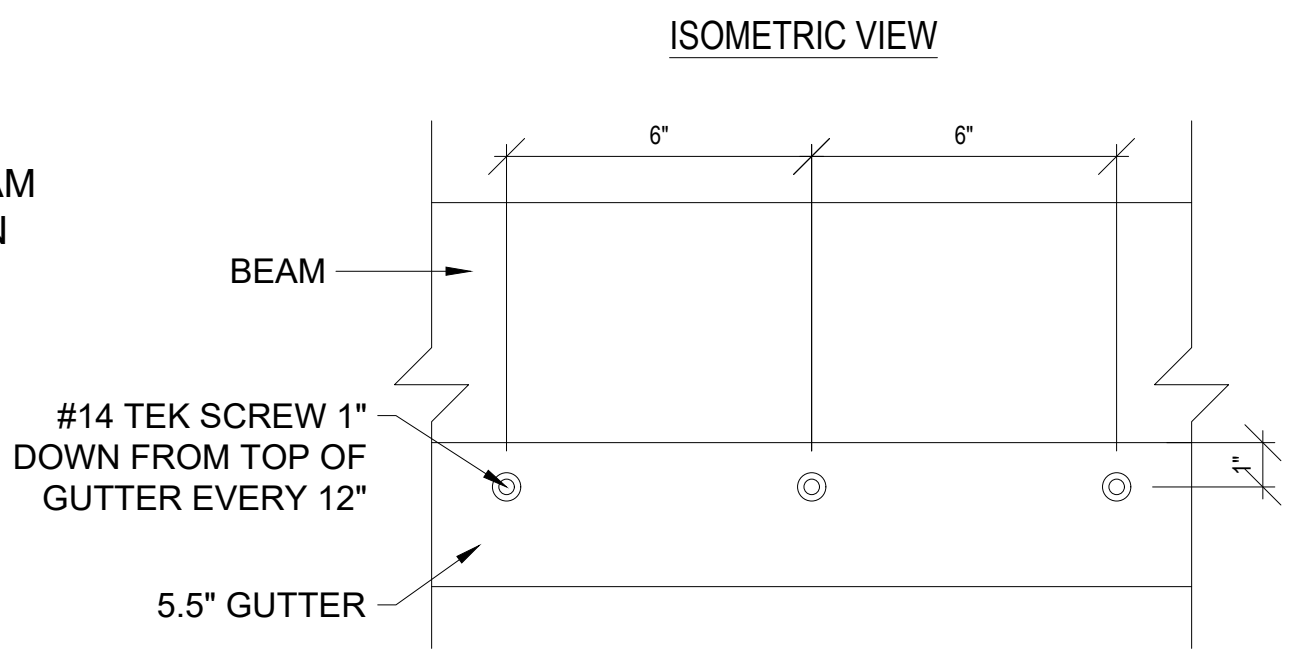
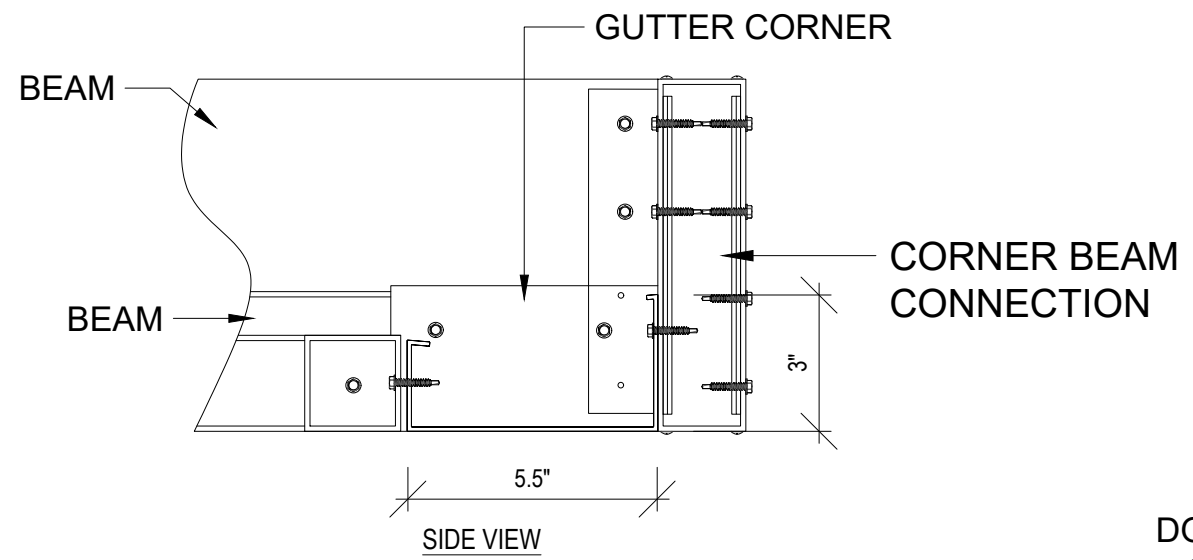
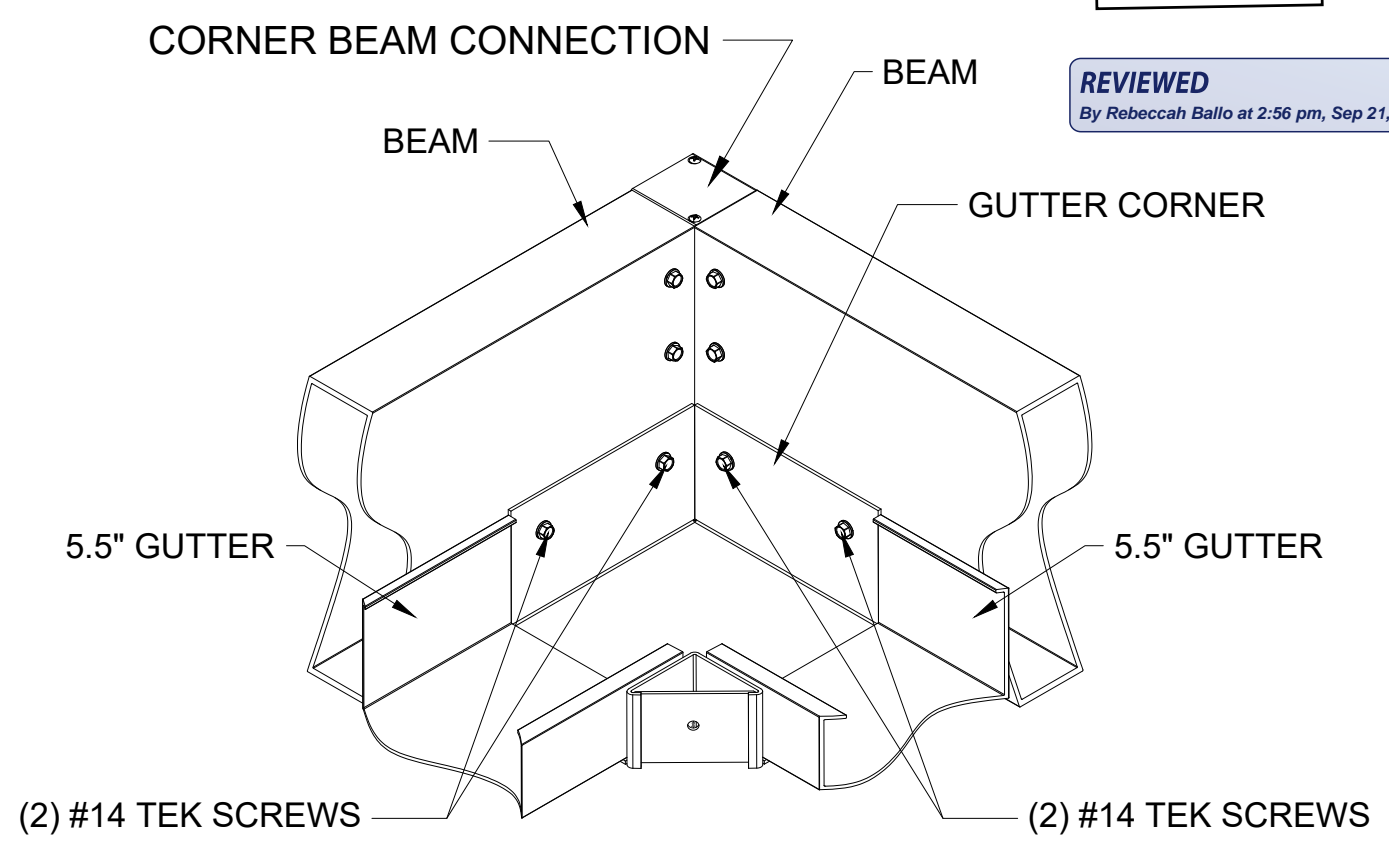
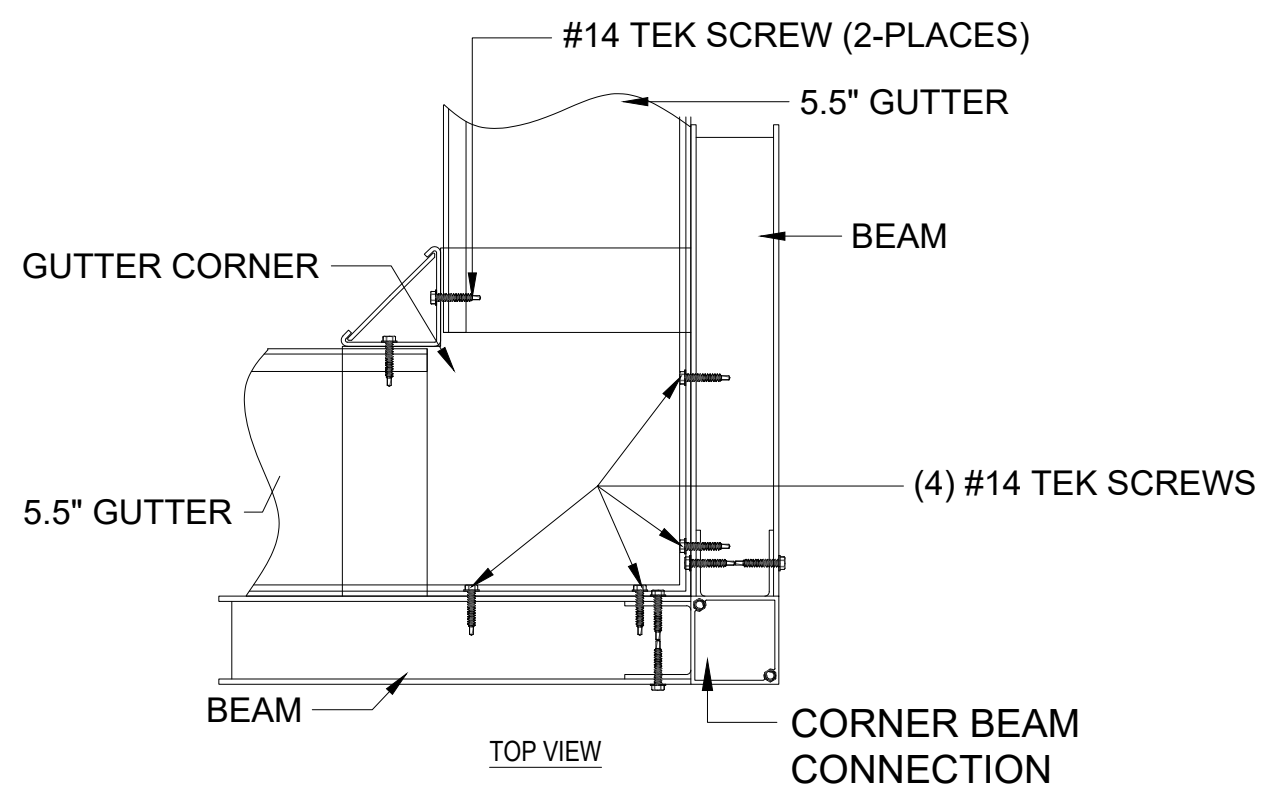
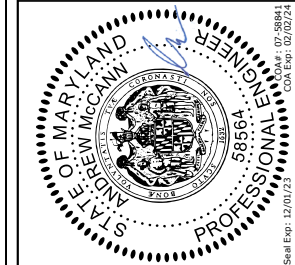
ALUMINUM TYPE:
 LOUVERS 6063-T5
 ALL OTHER COMPONENTS 6063-T6

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GUTTER ASSEMBLY

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 KENSINGTON, MD 20895

DESCRIPTION	DETAILS
DATE	02/15/23
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SCALE	N.T.S.
SHEET NO.	A 301

ALUMINUM TYPE:
 LOUVERS 6063-T5
 ALL OTHER COMPONENTS 6063-T6

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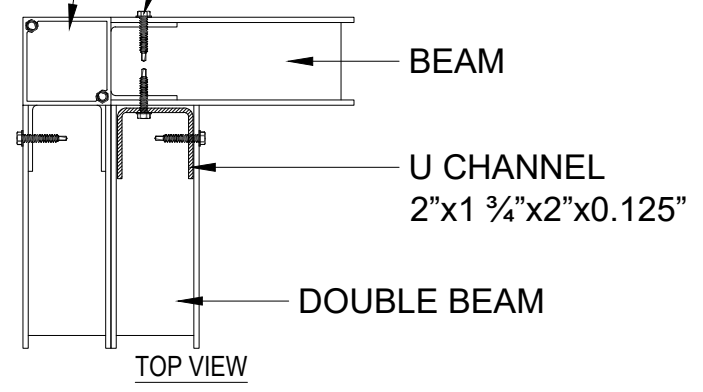


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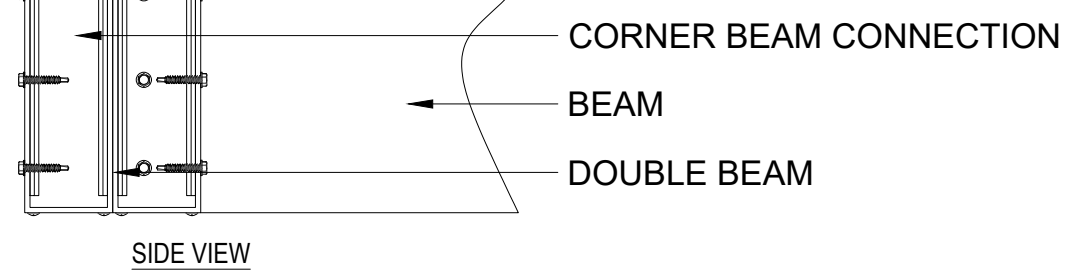
CASWELL RESIDENCE
 10221 MONTGOMERY AVE
 KENSINGTON, MD 20895

CORNER BEAM CONNECTION
 - EXTRUDED WITH CAPS

(8) #14 TEK SCREWS THROUGH
 BEAM INTO CORNER BEAM
 CONNECTION EACH SIDE

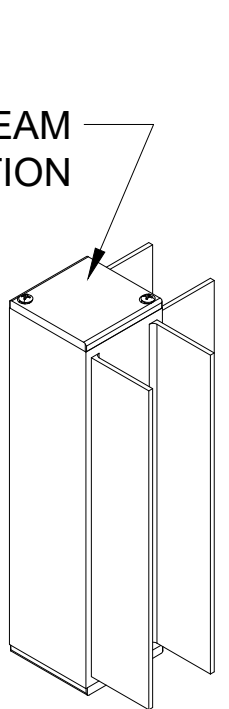


(8) #14 TEK SCREWS
 THROUGH BEAM INTO
 CORNER BEAM
 CONNECTION EACH SIDE

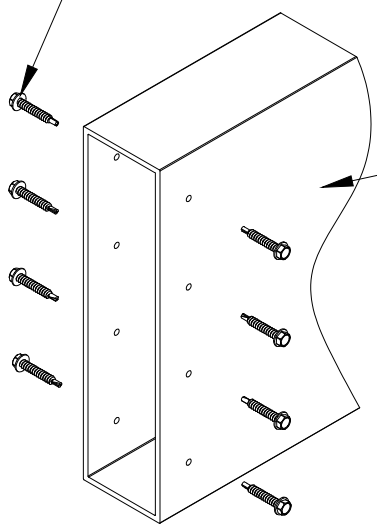


CORNER BEAM
 CONNECTION

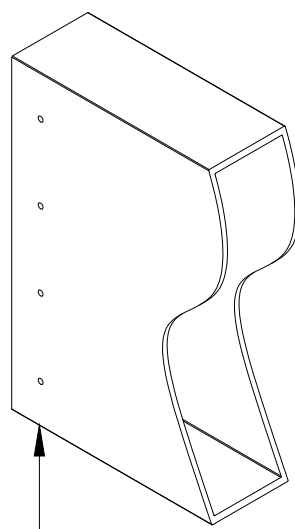
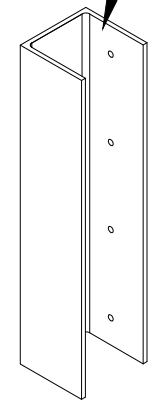
(8) #14 DIA. TEK SCREWS



PERIMETER BEAM



U-PROFLE



BEAM 2

BEAM 1

**TYPICAL CORNER ASSEMBLY
 DOUBLE PERIMETER BEAM TO BEAM**

DESCRIPTION	DETAILS
DATE	02/15/23
DRAWN BY	I&S
SCALE	N.T.S.
SHEET NO.	A 302

ALUMINUM TYPE:
 LOUVERS 6063-T5
 ALL OTHER COMPONENTS 6063-T6

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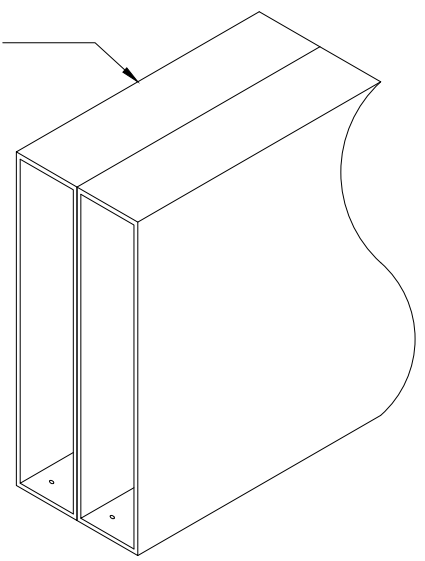
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CASWELL RESIDENCE
 10221 MONTGOMERY AVE
 KENSINGTON, MD 20895

PERIMETER BEAM [2] 2"x8"

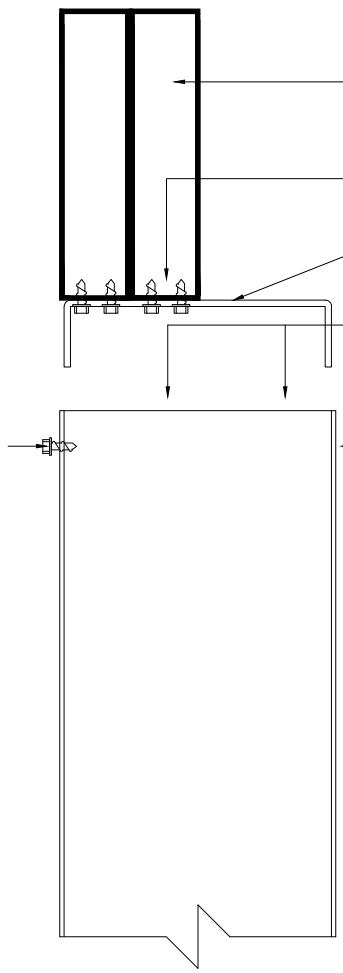


PERIMETER BEAM [2] 2"x8"

[6] #14 x 1" TEK SCREWS THRU
 CHANNEL INTO EACH BEAM

7 3/4" x 2" x 0.125 x 7 3/4" CHANNEL

LOWER BEAM AND CHANNEL INTO POST



[3] #14 x 1" TEK SCREWS
 THRU POST INTO CHANNEL
 EA. SIDE

8" x 8" x 0.1875" POST

#14 TEK SCREWS

CHANNEL

#14 TEK SCREWS
 BOTH SIDE

POST

DOUBLE BEAM TO 8X8 POST CONNECTION

DESCRIPTION	DETAILS
DATE	02/15/23
DRAWN BY	I&S
SCALE	N.T.S.
SHEET NO.	A 303

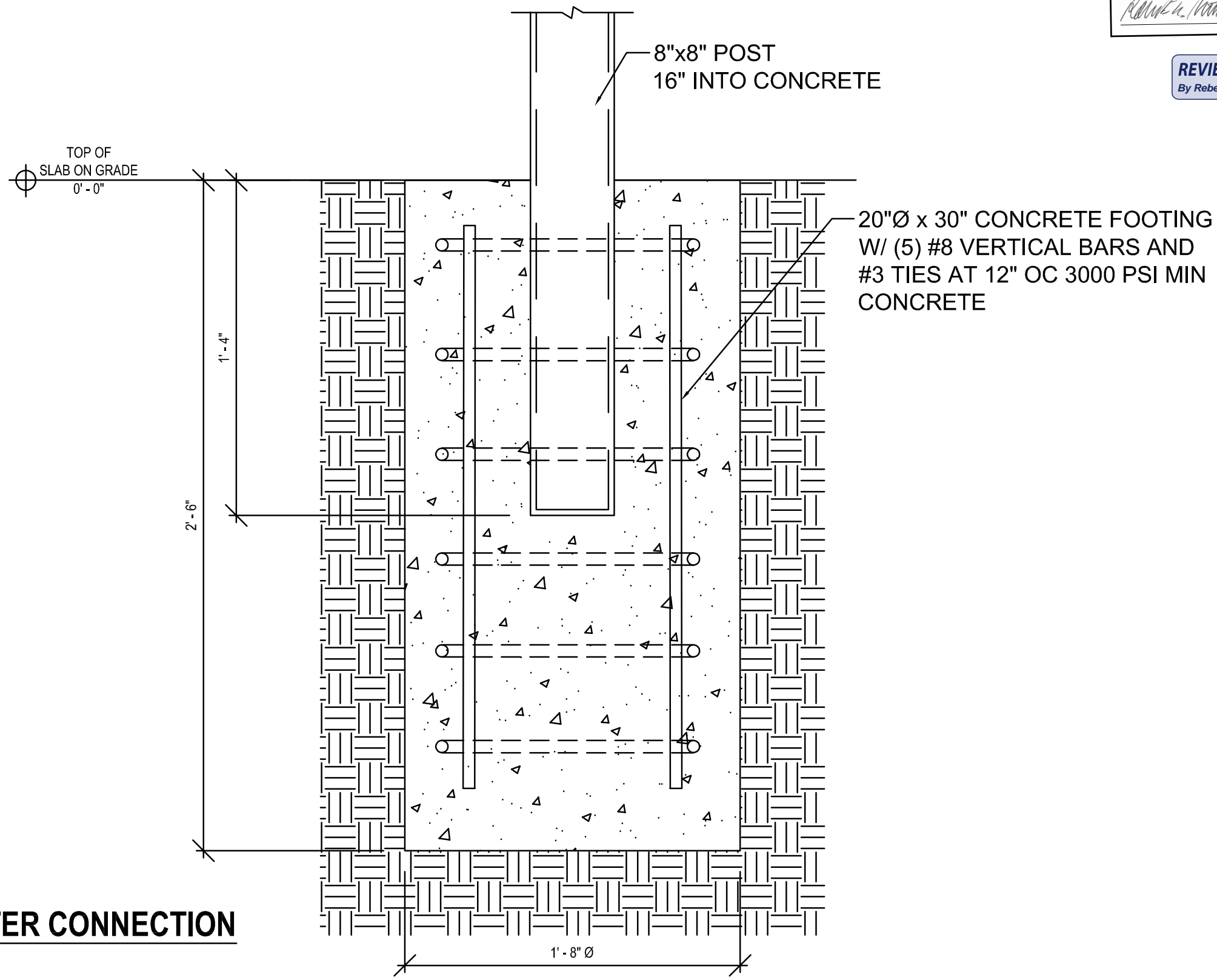
ALUMINUM TYPE:
 LOUVERS 6063-T5
 ALL OTHER COMPONENTS 6063-T6

STRUXURE
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 Ref: Exp: 12/31/23



POST TO FOOTER CONNECTION

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CASWELL RESIDENCE
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DESCRIPTION	DETAILS
DATE	02/15/23
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SCALE	N.T.S.
SHEET NO.	A 304

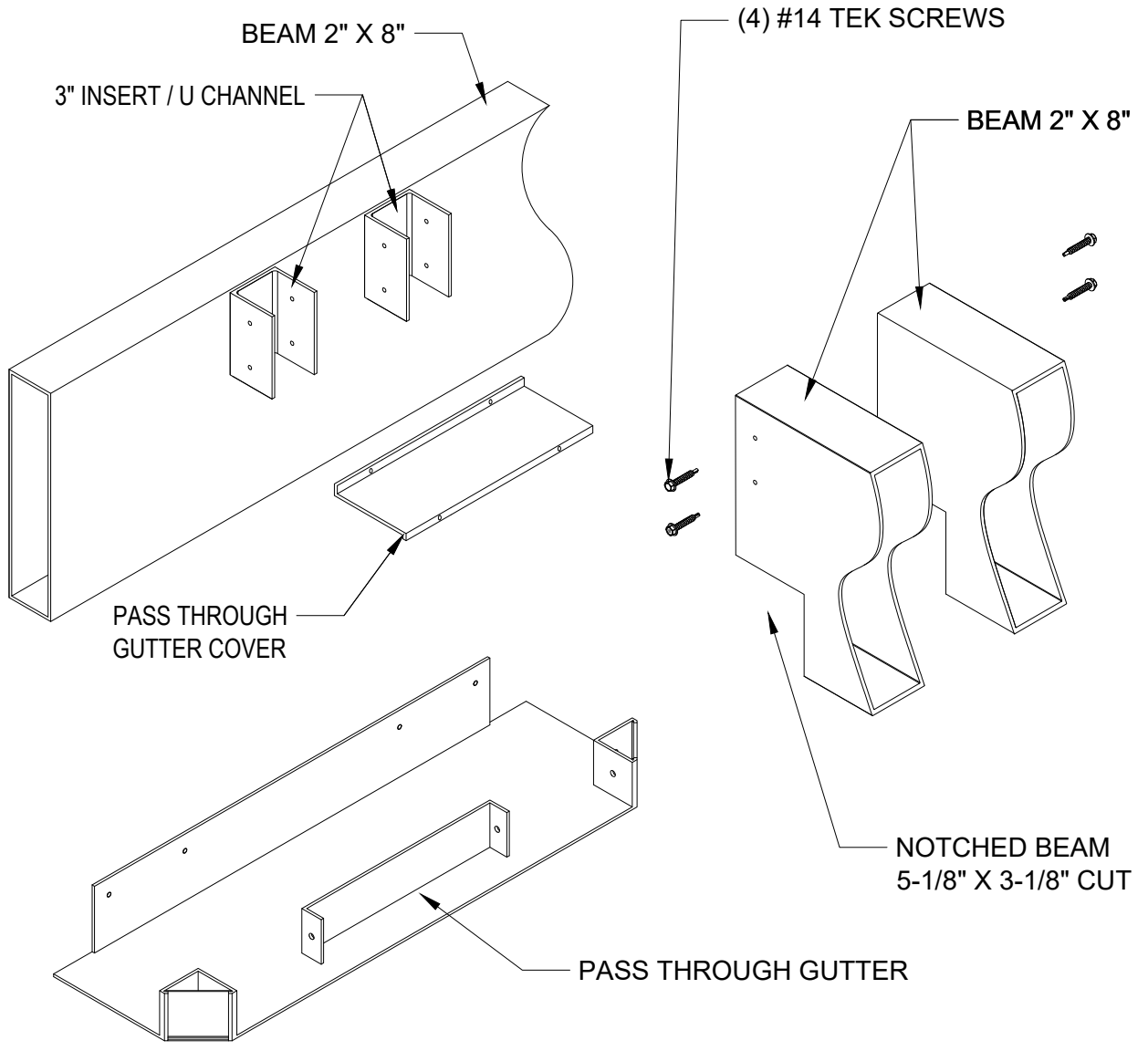
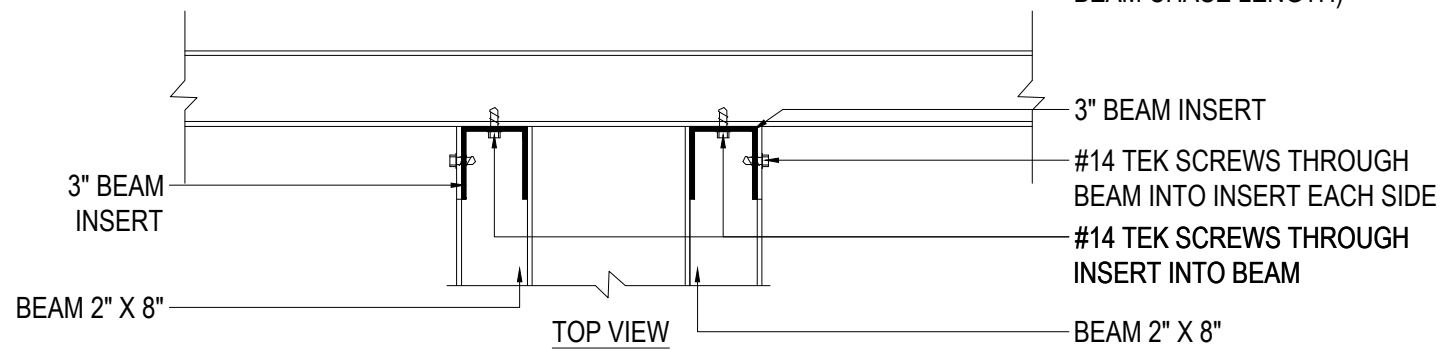
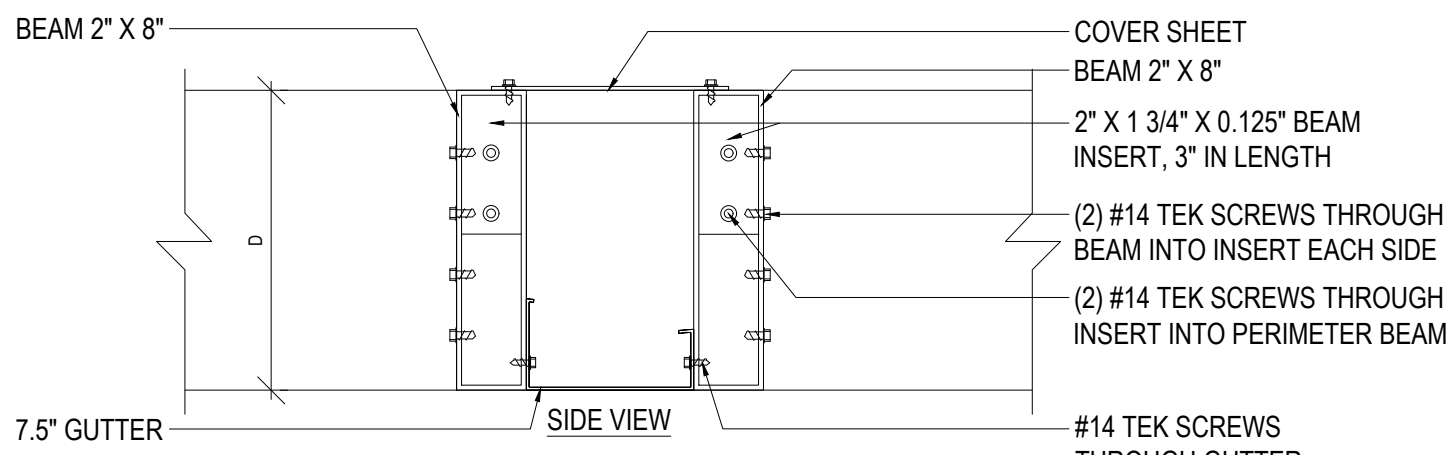
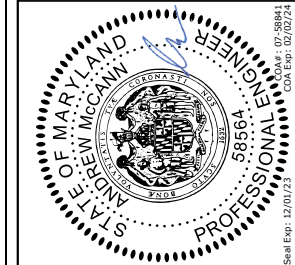
ALUMINUM TYPE:
 LOUVERS 6063-T5
 ALL OTHER COMPONENTS 6063-T6

STRUXURE
 154 ETHAN ALLEN DR.
 DAHLONEGA, GA 30533
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XL (7.5" GUTTER) BEAM CHASE TO BEAM CONNECTION
PASS THROUGH GUTTER

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 #201
 Jupiter, FL 33458
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CASWELL RESIDENCE
 10221 MONTGOMERY AVE
 KENSINGTON, MD 20895

DESCRIPTION	DETAILS
DATE	02/15/23
DRAWN BY	I&S
SCALE	N.T.S.
SHEET NO.	A 305

ALUMINUM TYPE:
 LOUVERS 6063-T5
 ALL OTHER COMPONENTS 6063-T6

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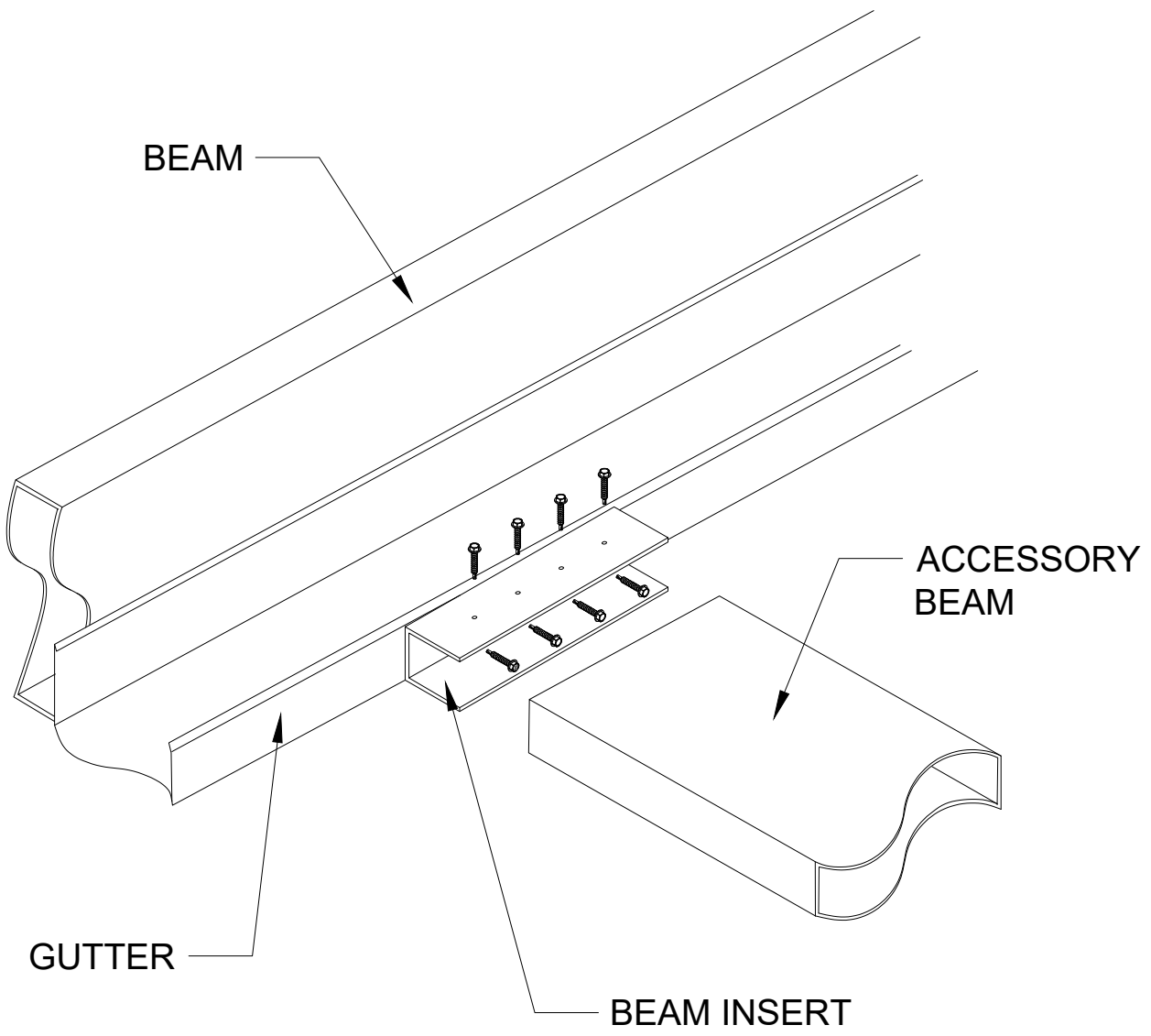
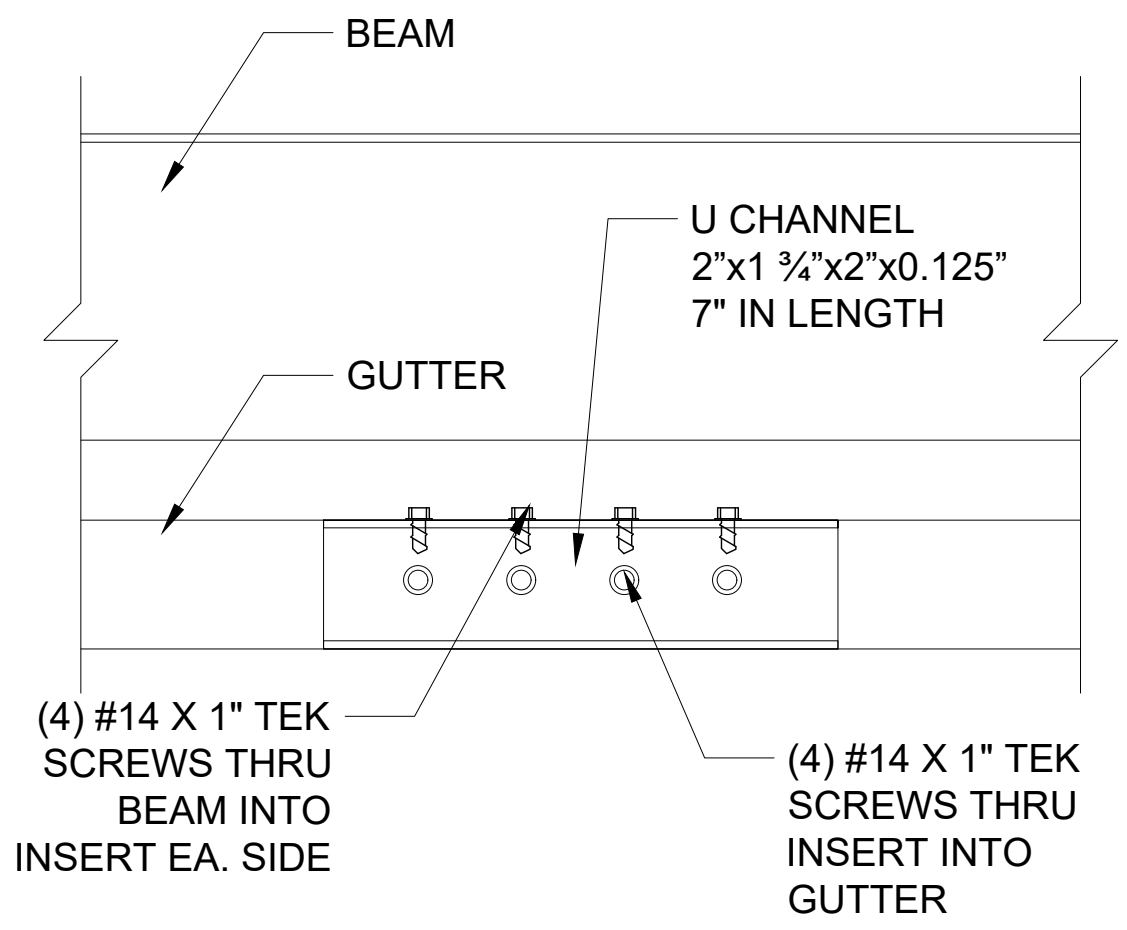
PROFESSIONAL CERTIFICATION
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AM STRUCTURES
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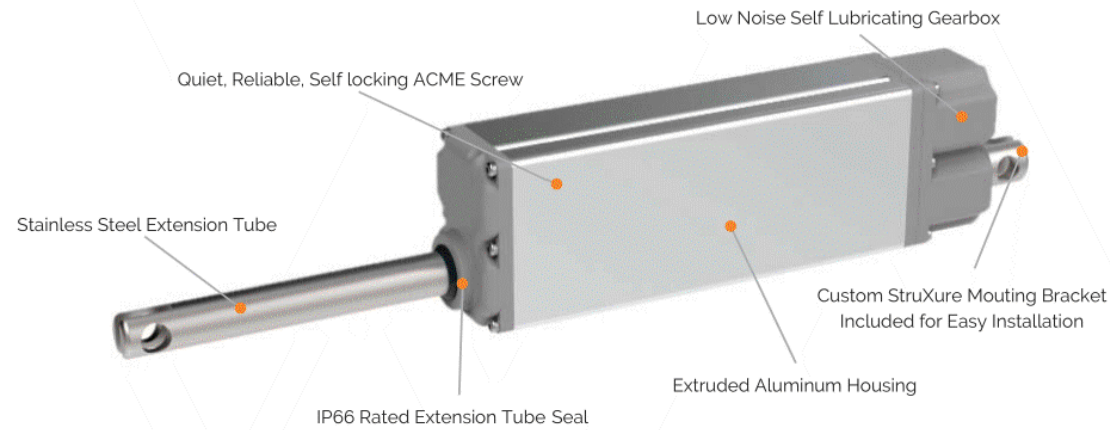
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FAN BEAM CONNECTION

DESCRIPTION	DETAILS
DATE	02/15/23
DRAWN BY	I&S
SCALE	N.T.S.
SHEET NO.	A 306

LOUVERED ROOF MOTOR

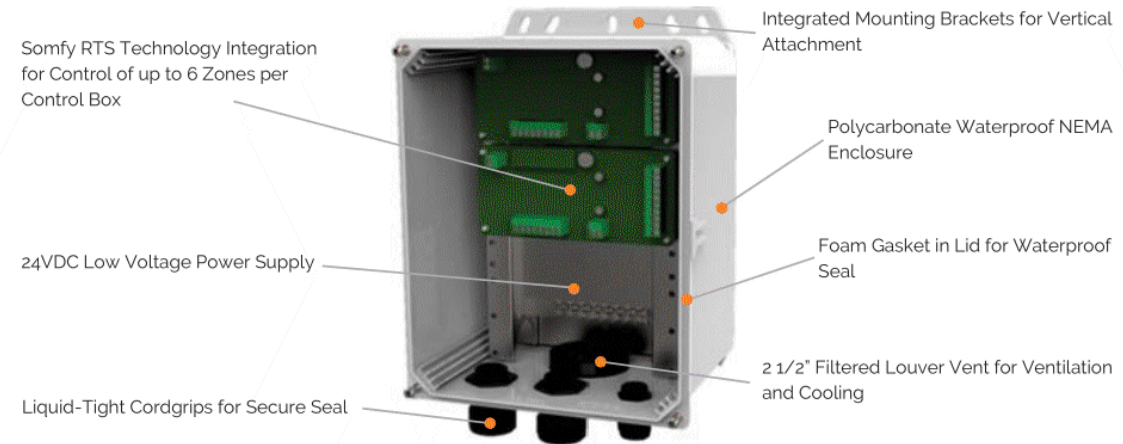


SOMFY TECHNICAL SPECIFICATIONS

SOMFY TECHNICAL SPECIFICATIONS		
VOLTAGE		
Input Voltage	[VDC]	24
LOAD		
Static Load (Fx), max.	[N/lbs]	2500 / 562
Dynamic Load (Fx), max.	[N/lbs]	2500 / 562
STROKE		
Stroke length, standard	[mm]	135
CURRENT		
Current consumption, rated load	[A]	1.875
GENERAL DATA		
Speed, no load	[mm/s]	3.4
Speed, rated load	[mm/s]	2.8
Operating temperature limits	[°C]	-10/+60
Service life	[Cycles]	± 10.000
Sound level	[dB(A)]	≤ 70
Lead screw type		ACME
Protection Class		IP66
Certificates		CE (EN60601-1)
Insulation		CLASS III

LOUVERED PERGOLA CONTROL

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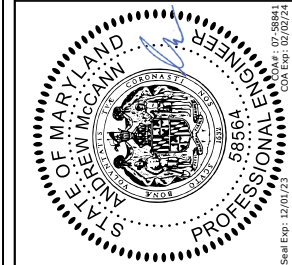
*Product dimensions: 10.59 x 8.59 x 6.96 in. / 268.99 x 218.19 x 176.78 mm
** Enclosure must be mounted in this vertical orientation.

COMPONENT RATINGS AND CERTIFICATIONS

COMPONENT RATINGS AND CERTIFICATIONS		
POWER SUPPLY		
Input Voltage	[VAC]	115/230
Input Voltage Frequency Range	[Hz]	47 - 63
Output Voltage	[VDC]	24
Voltage Adjustable Range	[VDC]	21.6 - 28.8V
Current Range	[A]	0 - 14.6
Rated Power	[W]	350.4
Safety Standard	[UL Certification]	UL60950-1
POWER SUPPLY CABLE (NOT SHOWN)		
Safety Standard	[ETL Certification]	#3170291
Voltage Rating	[V]	300
Temperature Rating	[°F]	-40 to 158
ENCLOSURE		
Safety Standard	[UL Certification]	UL508A
	[File Number]	E352997
Temperature Range	[°F]	-40 to 257
Impact Resistance	[in/lb]	500
Dielectric Strength	[volts/mil]	380
UV Rating	[UL Certification]	UL 746C
Flammability Rating	[UL Certification]	UL 94

APPROVED
Montgomery County
Historic Preservation Commission
Rebecca Ballo

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MY KNOWLEDGE AND BELIEF THEY COMPLY WITH ALL APPLICABLE
PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF
MARYLAND. LICENSE NUMBER: 18864. EXPIRATION DATE: 12/31/2024
Seal Exp: 12/31/23



AM STRUCTURES
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#201
Jupiter, FL 33458
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CASWELL RESIDENCE
10221 MONTGOMERY AVE
KENSINGTON, MD 20895

DESCRIPTION
MOTOR SPECIFICATION

DATE
02/15/23

DRAWN BY
I&S

SCALE
N.T.S.

SHEET NO.
A 400

ALUMINUM TYPE:
 LOUVERS 6063-T5
 ALL OTHER COMPONENTS 6063-T6

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	DATE:	REVISION:
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		

NOTES:

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CASWELL RESIDENCE
 10221 MONTGOMERY AVE
 KENSINGTON, MD 20895

DESCRIPTION	REVISIONS
DATE	02/15/23
DRAWN BY	I&S
SCALE	N.T.S.
SHEET NO.	A 500



DEPARTMENT OF PERMITTING SERVICES

Marc Elrich
County Executive

Rabbiah Sabbakhan
Director

HISTORIC AREA WORK PERMIT APPLICATION

Application Date: 3/23/2023

Application No: 1025629
AP Type: HISTORIC
Customer No: 1460656

Affidavit Acknowledgement

The Contractor is the Primary applicant authorized by the property owner
This application does not violate any covenants and deed restrictions

Primary Applicant Information

Address 10221 MONTGOMERY AVE
KENSINGTON, MD 20895

Othercontact Tu (Primary)

Historic Area Work Permit Details

Work Type CONST

Scope of Work Construct a 360 sq ft, freestanding aluminum pergola on an existing patio

REVIEWED
By Rebecca Ballo at 2:55 pm, Sep 21, 2023

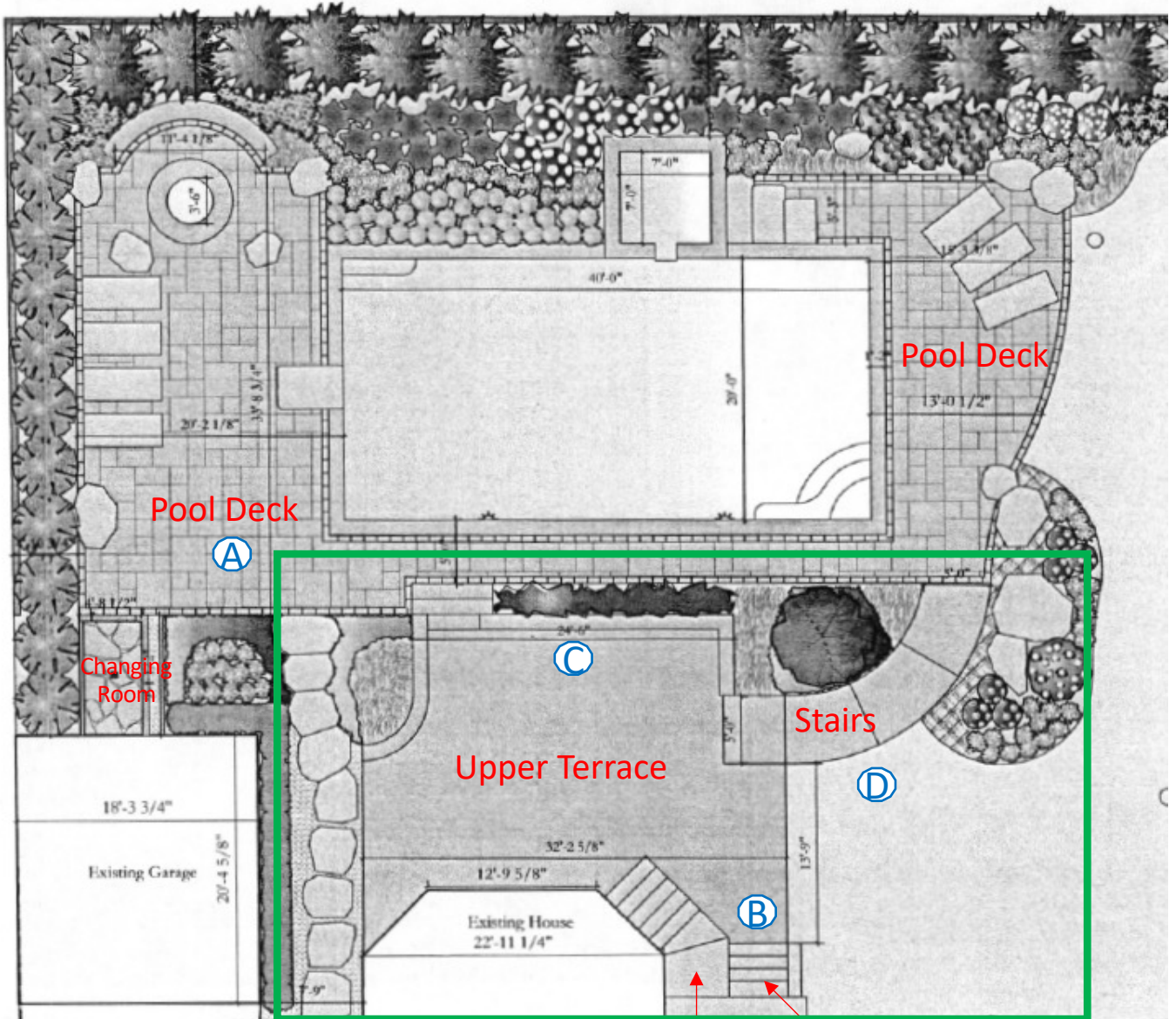
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Montgomery County
Historic Preservation Commission


Supplemental Information
Provided in Support of
HAWP Permit Application
No. 1043586

September 11, 2023

Bruce Caswell & Lauren Deichman
10221 Montgomery Avenue
Kensington, MD 20895
caswell.bruce@gmail.com

Hardscape Plan as Constructed in 2016 (from 2015 HAWP as approved)



↑
Area Subject to Revision
(HAWP application no. 1043586)

↑ Stairs from Porch
↑ Stairs from Basement

- (A) Photo Perspectives (see next pages)
- (B)
- (C)
- (D)

REVIEWED
By Rebecca Ballo at 2:55 pm, Sep 21, 2023

A

View from pool deck of upper terrace with stairs and seat-wall



B

View of previous ingress/egress to unfinished basement (note stairs from house not well supported)



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By Rebecca Ballo at 2:55 pm, Sep 21, 2023



Ⓒ

View from upper terrace toward house (note lattice concealing crawl space and hard transition between terrace and exterior wall)



Ⓓ

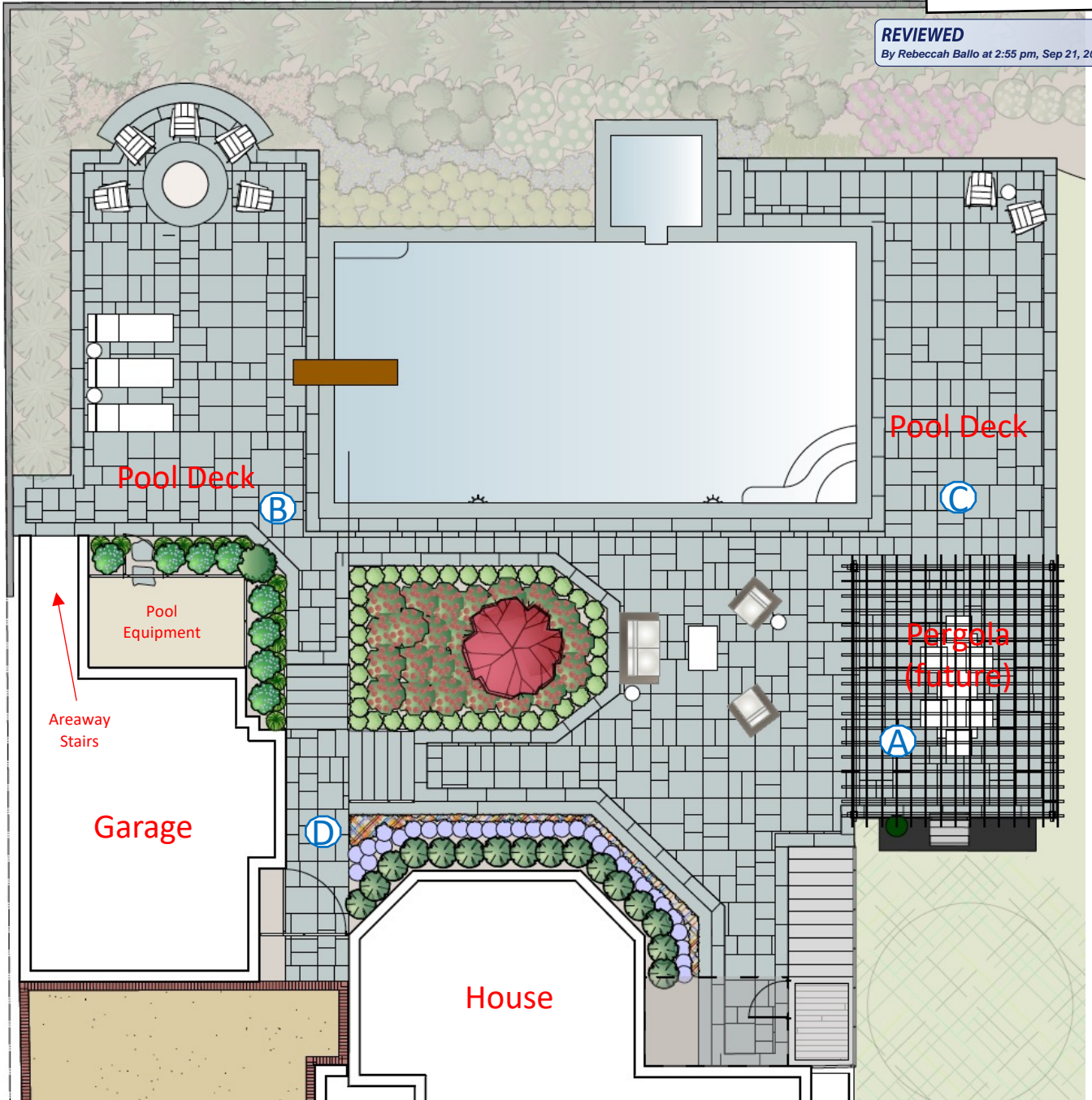
View of upper terrace from side lawn area above stairs down to pool deck



Hardscape Plan as Presently Constructed (excl. pergola under separate HAWP application)

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By Rebecca Ballo at 2:55 pm, Sep 21, 2023



- A**
 - B**
 - C**
 - D**
- Photo Perspectives
(see next pages)

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Historic Preservation Commission
Rebecca Ballo



Ⓐ

View toward house from base of stairs (note raised bed / planter area softening transition to exterior basement wall)

Ⓑ

View toward house from pool deck (note large planted area with Japanese maple preserved and gradual stairs from garage & driveway level)





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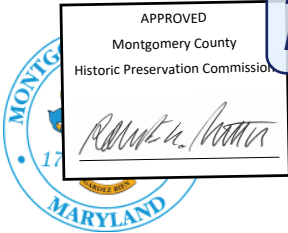
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By Rebecca Ballo at 2:55 pm, Sep 21, 2023



View toward house from pool deck encompassing planned pergola area (intended to soften hardscape expanse)

D
View from landing area at garage/driveway level. (Well-lit gradual stairs descend in two directions.)





REVIEWED

By Rebecca Ballo at 2:55 pm, Sep 21, 2023

FOR STAFF ONLY:

HAWP# _____

DATE ASSIGNED _____

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

APPLICANT:

Name: _____

E-mail: _____

Address: _____

City: _____ Zip: _____

Daytime Phone: _____

Tax Account No.: _____

AGENT/CONTACT (if applicable):

Name: _____

E-mail: _____

Address: _____

City: _____ Zip: _____

Daytime Phone: _____

Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? Yes/District Name _____

No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: _____ Street: _____

Town/City: _____ Nearest Cross Street: _____

Lot: _____ Block: _____ Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

New Construction

Deck/Porch

Shed/Garage/Accessory Structure

Addition

Fence

Solar

Demolition

Hardscape/Landscape

Tree removal/planting

Grading/Excavation

Roof

Window/Door

Other: _____

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

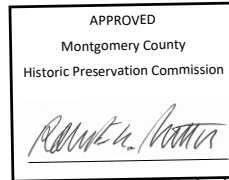
Signature of owner or authorized agent

Date

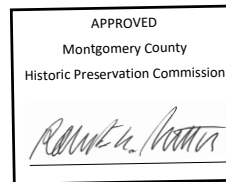
HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:



Description of Work Proposed: Please give an overview of the work to be undertaken:



REVIEWED

By Rebecca Ballo at 2:55 pm, Sep 21, 2023

Work Item 1: _____

Description of Current Condition:

Proposed Work:

Work Item 2: _____

Description of Current Condition:

Proposed Work:

APPROVED
Montgomery County
Historic Preservation Commission


REVIEWED
By Rebecca Ballo at 2:55 pm, Sep 21, 2023

Work Item 3: _____

Description of Current Condition:

Proposed Work:

**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

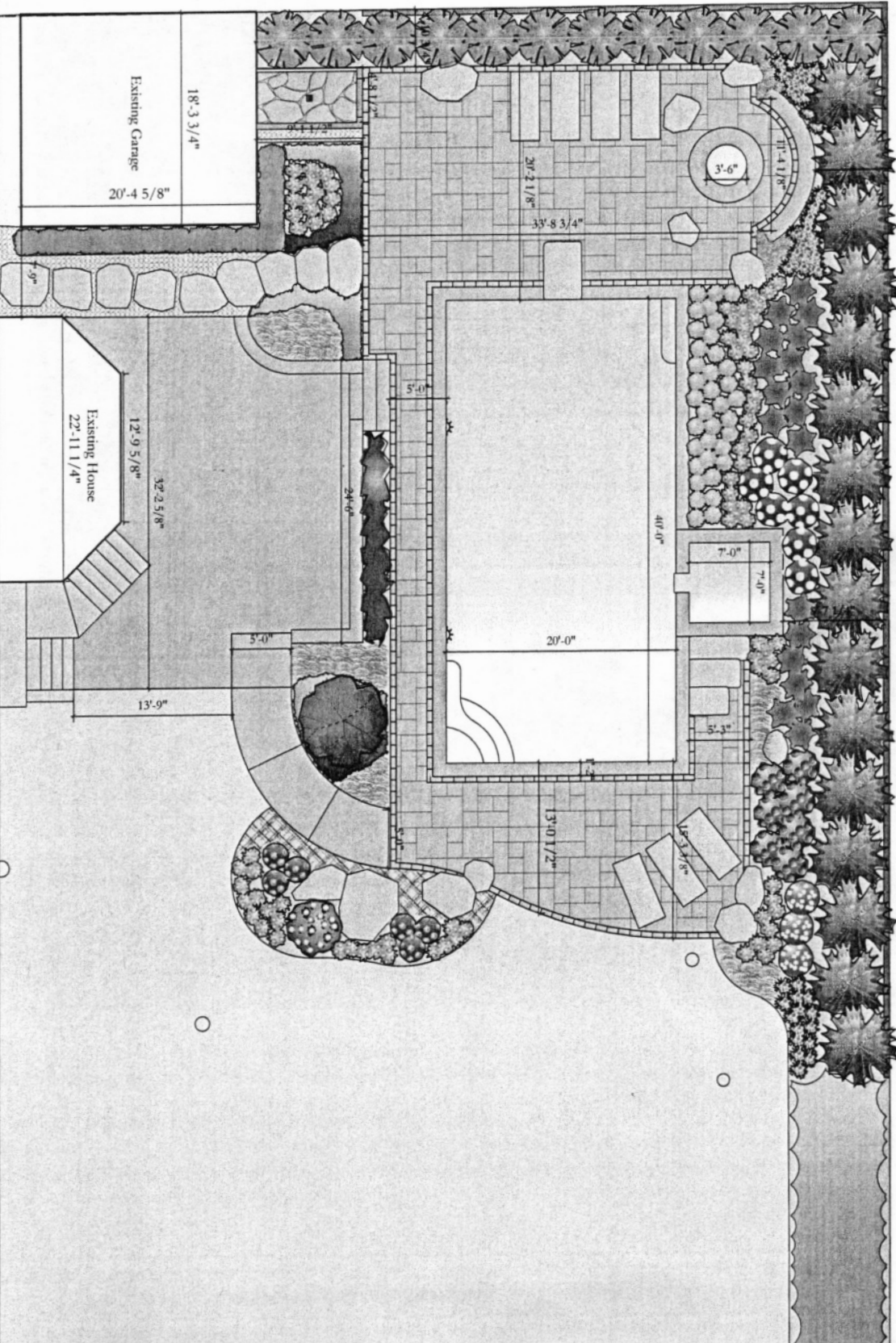
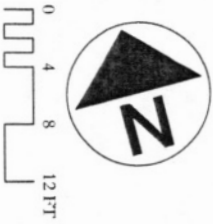
Original Landscape Plan
 from Approved HAWP
 (03.03.15 Application / Permit No. 704925)

D & A Dunley Landscapers, Inc.
 P.O. Box 70 | Barnesville, Maryland 20838
 Tel: 301.977.7593 | Fax: 301.977.9052
 www.dadunley.com

Caswell | Deichman Landscape Plan With Dimensions
 10221 Montgomery Avenue | Kensington, MD 20895

Date: 11/25/14
 Scale: 1/4" = 1'-0"
 Designed by: GH
 Approved by: _____
 Revision: REV1 12/9/14
 REV2 1/30/15 REV3 2/26/15 REV4 2/26/15

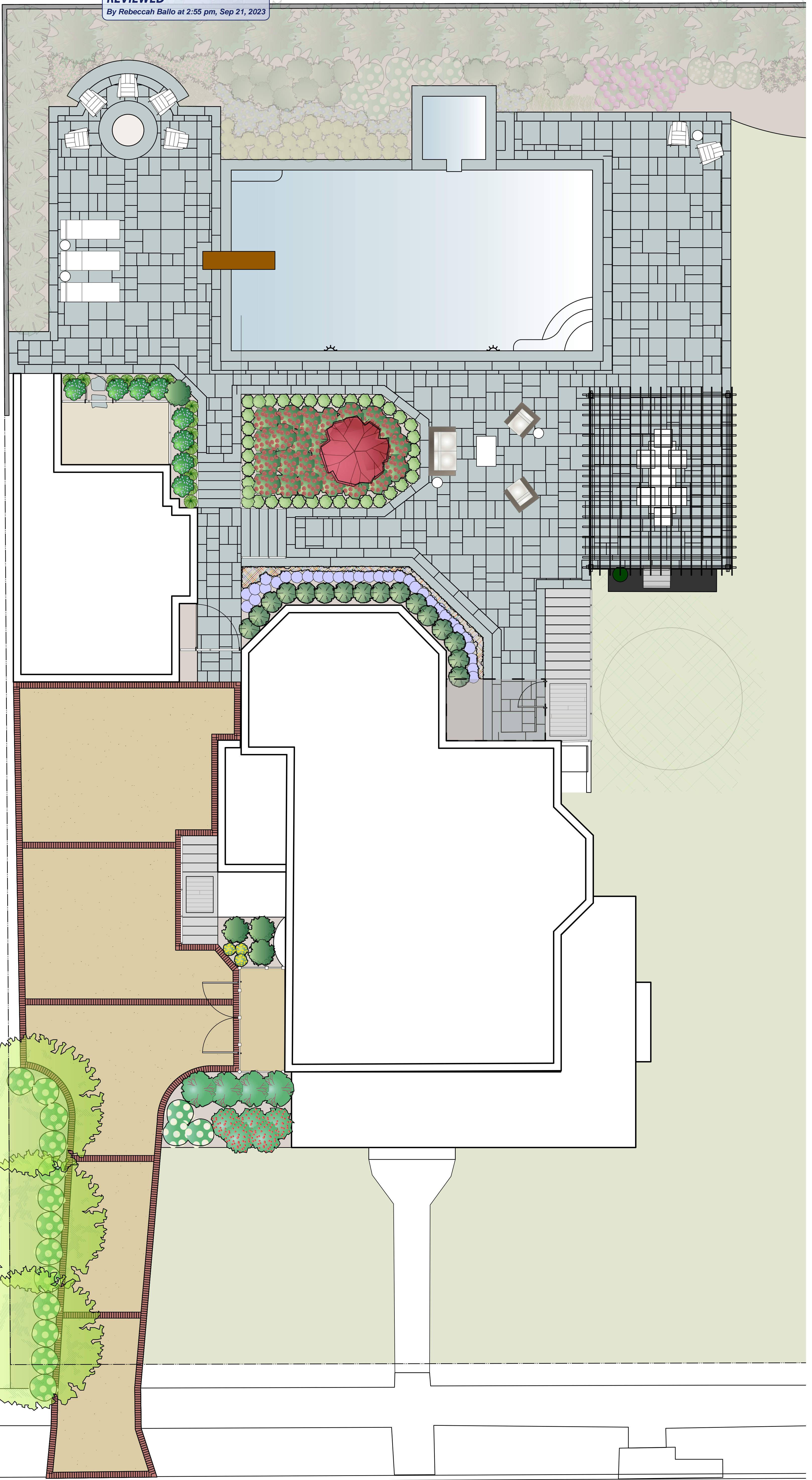
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Revised Landscape Plan

REVIEWED
By Rebecca Ballo at 2:55 pm, Sep 21, 2023



Caswell | Deichman Residence
10221 Montgomery Ave | Kensington, MD 20895

Illustrative Plan

Sheet: 1 of 3
Scale: 3/16" = 1'-0"
Designer: DBD Date: 12/13/22

D. A. DUNLEVY
expertly crafted outdoor spaces

P.O. Box 70, Barnesville, MD 20838 | P: 301.977.7593
admin@dadunlevy.com | www.dadunlevy.com

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HISTORIC PRESERVATION COMMISSION

301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Email: LDeichman@verizon.net Contact Person: Lauren Deichman
Tax Account No.: 01024615 Daytime Phone No.: 301-942-5225
Name of Property Owner: Bruce Caswell, Lauren Deichman Daytime Phone No.: 301-942-5225
Address: 10221 Montgomery Ave. Kensington MD 20895
Contractor: D & A Dunlevy Landscapers, Inc. Phone No.: 301-977-7593
Contractor Registration No.: MHIC #20983
Agent for Owner: Blake Dunlevy Daytime Phone No.: 301-977-7593

LOCATION OF BUILDING/PREMISE

House Number: 10221 Street: Montgomery Ave.
Town/City: Kensington Nearest Cross Street: Carroll Place, Kent St.
Lot: 20-22 Block: 3 Subdivision: 15
Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct, Extend, Alter/Renovate, Move, Install, Wreck/Raze, Revision, Repair, Revocable.

CHECK ALL APPLICABLE:

- A/C, Slab, Room Addition, Porch, Deck, Shed, Solar, Fireplace, Woodburning Stove, Single Family, Fence/Wall (complete Section 4), Other: pool/spa

1B. Construction cost estimate: \$ 180,000.00

1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC, 02 Septic, 03 Other
2B. Type of water supply: 01 WSSC, 02 Well, 03 Other

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 5 feet 0 inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line, Entirely on land of owner, On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date: 3/3/2015

Approved: For Chairperson, Historic Preservation Commission

Disapproved: Signature: Date:

Application/Permit No.: 704925 Date Filed: Date Issued:

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

a. **Description of existing structure(s) and environmental setting, including their historical features and significance:**

Currently, the rear yard has an existing flagstone patio that is retained by a veneer stone retaining wall. There are some boulder steps for access to the lower portion of the yard at one side of the patio. The other side of the patio slopes away with turf access. There is a small dry stack stone garden wall with plantings above. The remainder of the rear yard is comprised of lawn and planting beds. The lower lawn area currently soaks during heavy rain and drains slowly resulting in an often wet, muddy area. The portion of the yard that is slated for improvement has no structure or planting of historical significance.

b. **General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:**

All of the main existing structures; i.e. the house, porch, deck, garage, and patio; are to remain as is. All of the new landscape construction shall be situated behind the house and garage, which is generally not visible from the street view. A short landscape wall, less than 18" tall, shall be built at a portion of the rear property line in order to raise the yard's grade for improved drainage and use. The installation shall include a swimming pool and spa, stone pool deck, steps for safe access, and plantings. The pool/spa and surrounding stone paving have been designed to fit in and blend with the existing style and material selections on site. In addition to blending the style of the space, drainage mitigation and correction shall also be properly addressed with PVC run extensions and a drywell system for natural containment and infiltration. All new hardscape and construction elements shall be accented with plantings, while also providing privacy. The plantings have been designed to include hardy selections of the geographical area as well as some varieties already existing on the property and surrounding properties. The overall environmental and historical value of the property shall not be impacted. The historic character of the district shall also be maintained without interruption.

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

Please find two copies of each of the following four drawings enclosed:

1. Proposed Fence Layout Over Site Survey
2. Landscape Plan
3. Landscape Plan with Dimensions
4. Section through New Design

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. **Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. **Elevations (facades)**, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

Existing Property Condition Photographs (duplicate as needed)



Detail: This photo was taken standing close to the rear property line, looking toward the rear facade of the garage and the neighbor's house (right).



Detail: This photo was taken standing close to the rear property line, looking toward the rear facade of the house/garage.

Existing Property Condition Photographs (duplicate as needed)



Detail: This photo was taken standing close to the rear property line, looking toward the rear facade of the house.

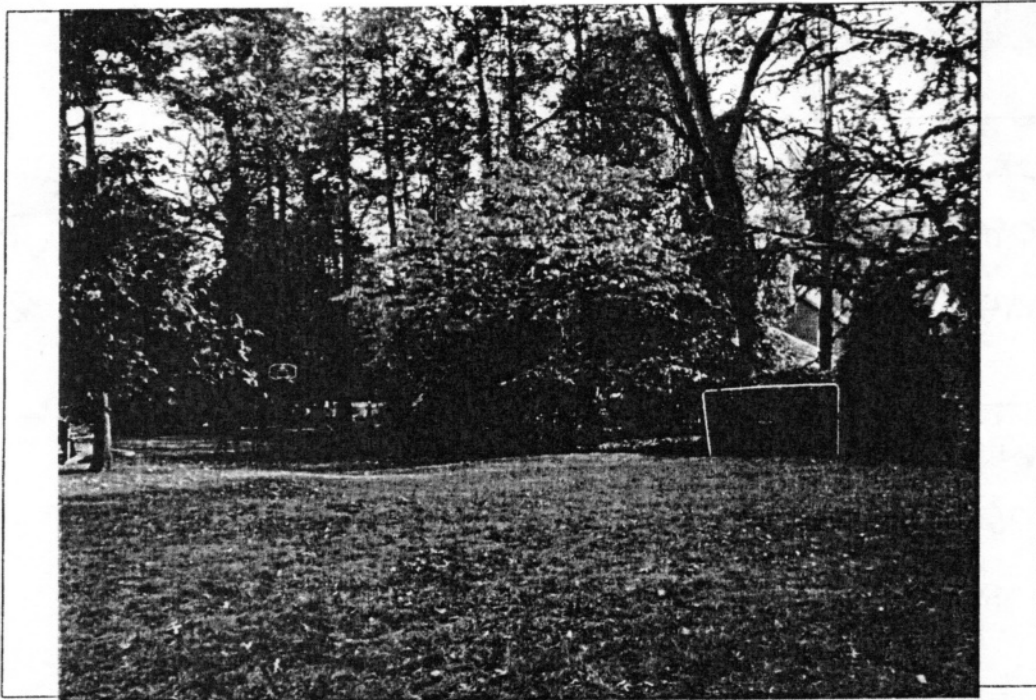


Detail: This photo was taken standing close to the rear property line, looking toward the lawn area adjacent to the house.

Existing Property Condition Photographs (duplicate as needed)



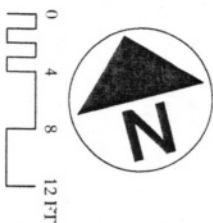
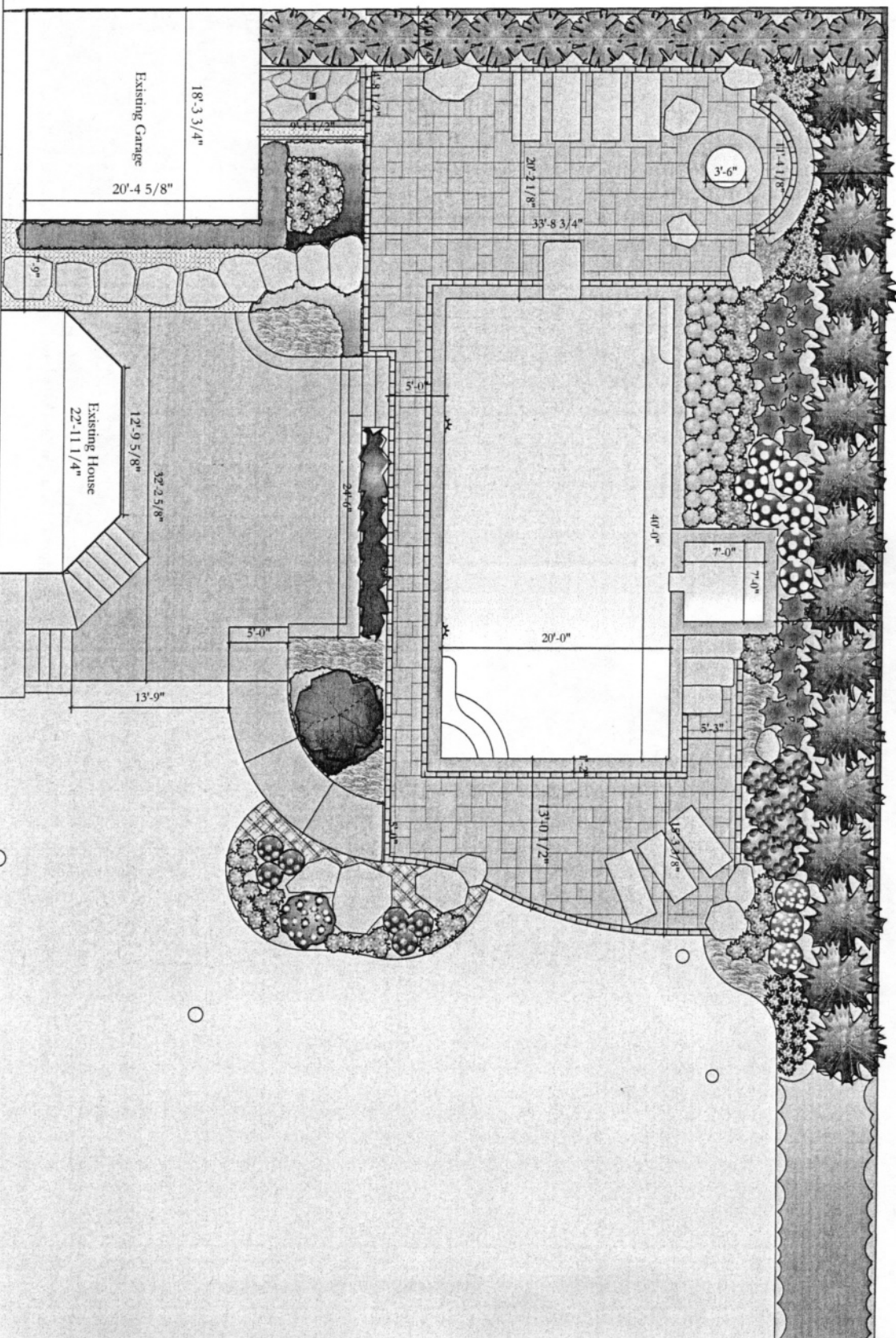
Detail: This photo was taken from the main lawn area looking into the main area of improvement.



Detail: This photo shows the rear property line.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p>Owner's mailing address Lauren Deichman, Bruce Caswell 10221 Montgomery Ave. Kensington, MD 20895</p>	<p>Owner's Agent's mailing address D & A Dunlevy Landscapers, Inc P.O. Box 70 Barnesville, MD 20838</p>
<p align="center">Adjacent and confronting Property Owners mailing addresses</p>	
<p>Wendy Miller 10225 Montgomery Ave Kensington, MD 20895</p>	<p>Stacey & Martin Mitchell 10213 Montgomery Ave. Kensington, MD 20895</p>
<p>Susan & Stephen Palmer 10208 Kensington Pkwy Kensington, MD 20895</p>	<p>Timothy Willard 10210 Kensington Pkwy Kensington, MD 20895</p>
<p>Lew & JoAnn Price 10206 Kensington Pkwy Kensington, MD 20895</p>	



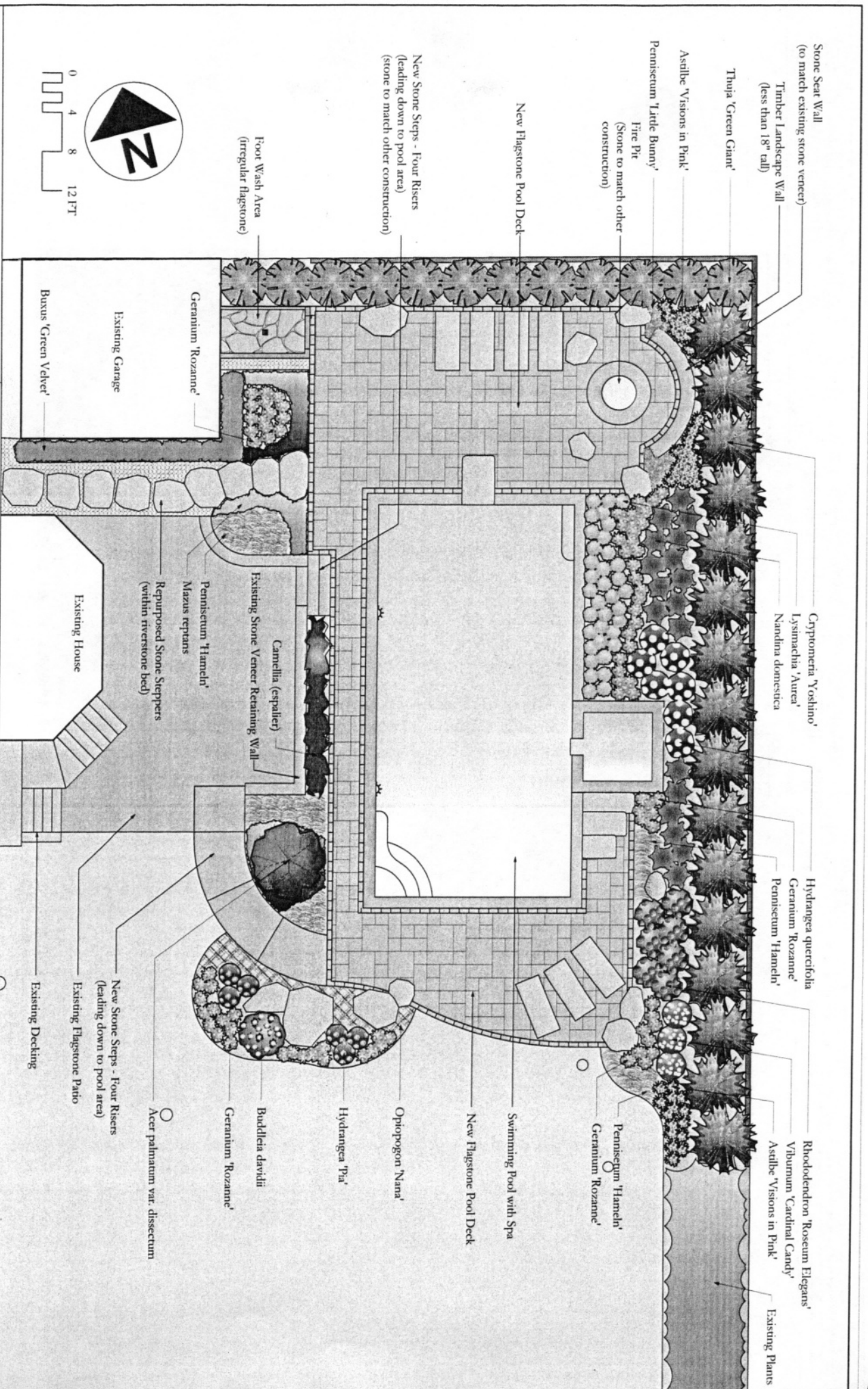
D & A Dunlevy Landscapers, Inc.
 P.O. Box 70 | Barnesville, Maryland 20838
 Tel: 301.977.7593 | Fax: 301.977.9052
 www.dadunlevy.com

Caswell | Deichman Landscape Plan With Dimensions
 10221 Montgomery Avenue | Kensington, MD 20895

Date: 11/25/14
 Scale: 1/4" = 1'-0"
 Designed by: GB

Approved by: _____
 Revision: REV1 12/9/14
 REV1 1/30/15 REV2 2/24/15 REV3 2/24/15

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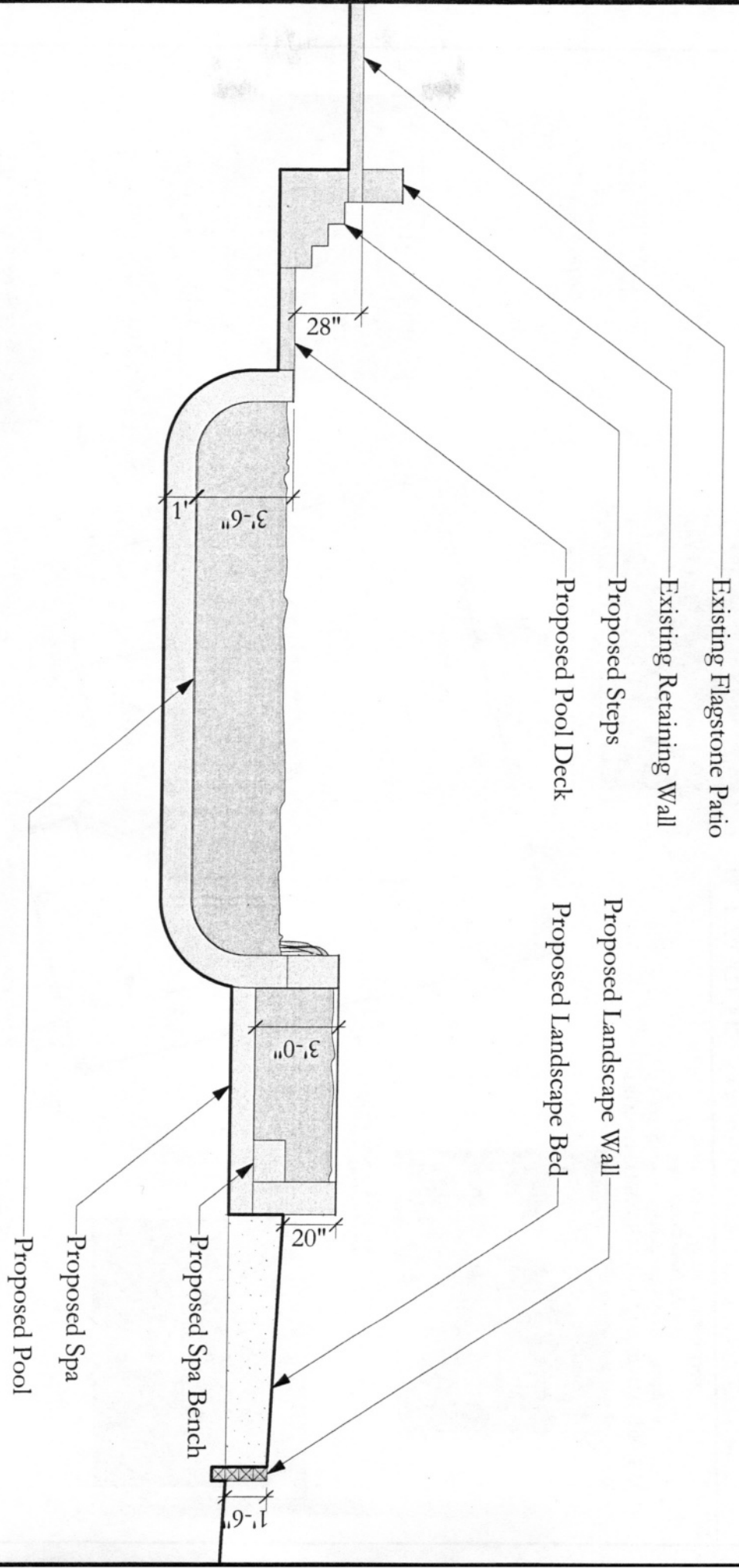
D & A Dunlevy Landscapers, Inc.
 P.O. Box 70 | Barnesville, Maryland 20838
 Tel: 301.977.7503 | Fax: 301.977.9052
 www.dadunlevy.com

Caswell | Deichman Landscape Plan
 10221 Montgomery Avenue | Kensington, MD 20895

Date: 11/25/14
 Scale: 1/4" = 1'-0"
 Designed by: GJB
 Approved by: _____
 Revision: REV1 12/9/14
 REV2 1/30/15 REV3 2/24/15 REV4 3/23/15

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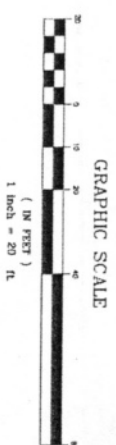
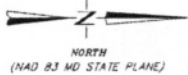
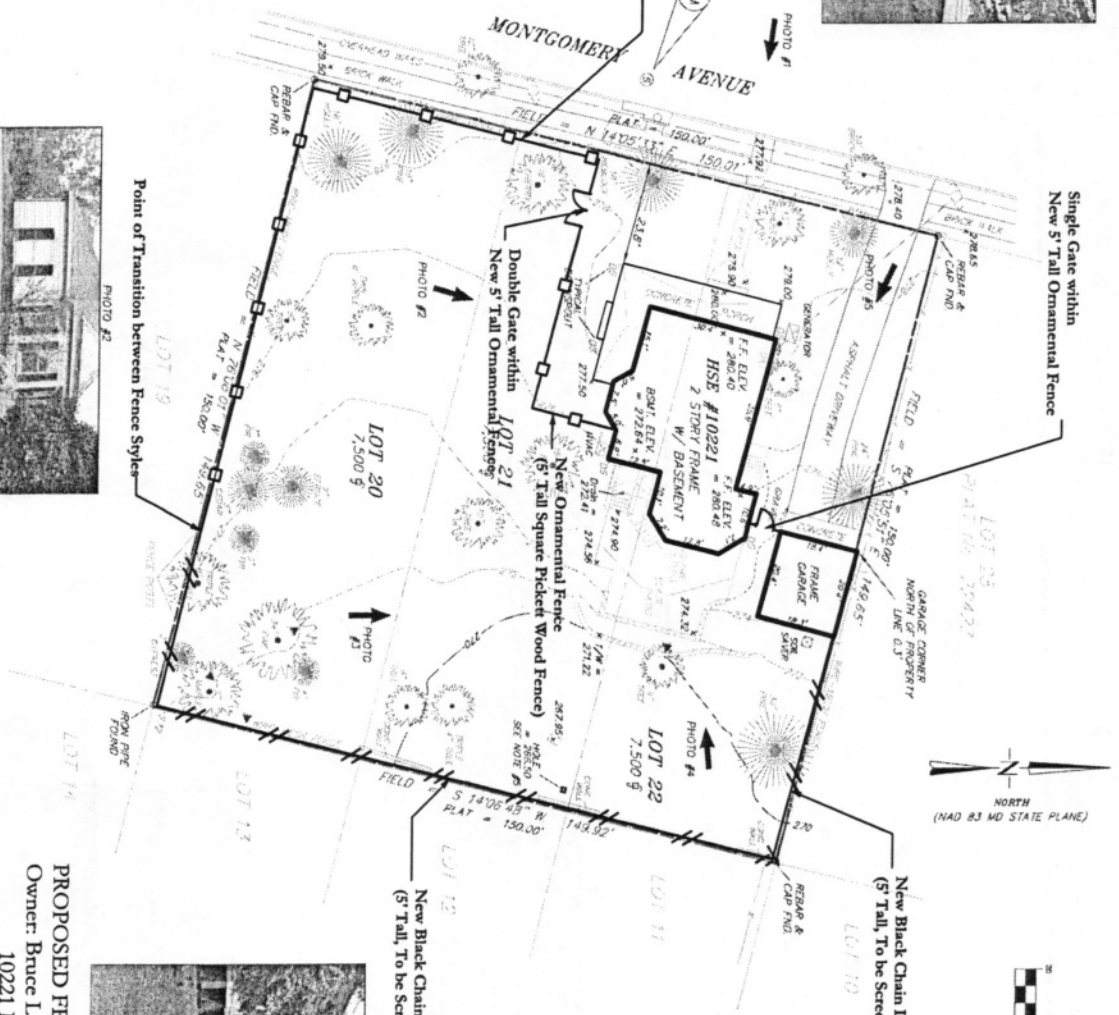
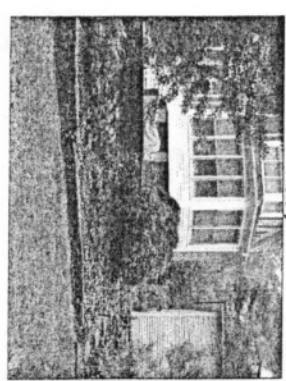
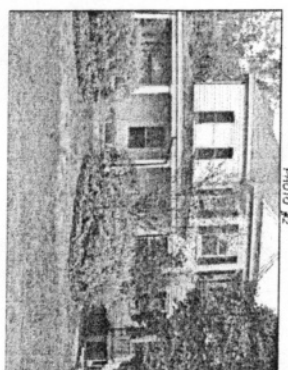
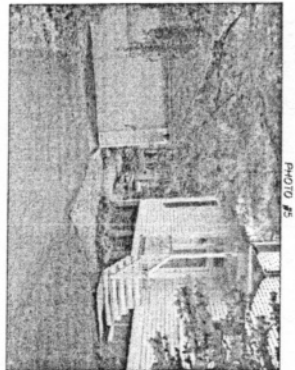


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 Landscapers, Inc.
 P.O. Box 70 | Barnesville, Maryland 20838
 Tel: 301.977.7593 | Fax: 301.977.9052
 www.dadunlevy.com
 Est. 1982

Caswell | Deichman - Section
 10221 Montgomery Avenue | Kensington, Maryland 20895

Date: 11/25/14
 Scale: 3/16" = 1'-0"
 Designed by: GIB
 Approved by: _____
 Revision: REV4 2/24/15

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SURVEYOR'S CERTIFICATION

I, **DANIEL P. LAVELLE**, BEING THE BEST OF MY KNOWLEDGE AND BELIEF, THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS MADE UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE INFORMATION CONTAINED HEREON IS TRUE AND CORRECT.

DANIEL P. LAVELLE
 MD. REG. NO. 10849
 Expiration/ Renewal Date 4/1/2016

NOTES:

1. THIS PLAN HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND DOES NOT NECESSARILY INDICATE ALL ENCUMBRANCES ON THIS PROPERTY.
2. TOPOGRAPHY IS FIELD RUN BY LAVELLE & ASSOCIATES, INC., DATED OCT. 14, 2014. VERTICAL DATUM BASED ON MVD 88.
3. BOUNDARY ADJUSTMENT IS TAKEN FROM PLAT RECORDED AROUND IN PLAT BOOK 85 OF MONTGOMERY COUNTY, MARYLAND.
4. HORIZONTAL DATUM PER MD 81 - MD STATE PLANE.
5. POSSIBLE REMAINDER OF STORM INLET.

PROPOSED FENCE LAYOUT OVER SITE SURVEY
 Owner: Bruce L. Caswell & Lauren C. Deichman
 10221 Montgomery Avenue
 Kensington, Maryland 20895-3326

LAVELLE & ASSOCIATES INCORPORATED
 LAND SURVEYORS • PLANNERS

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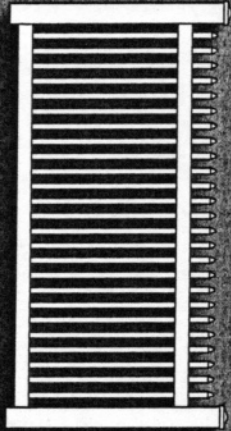
BOUNDARY AND TOPOGRAPHIC SURVEY
 PB B ~ Pg 4
LOTS 20, 21 and 22
KENSINGTON PARK
 SITUATED AT #10221 MONTGOMERY AVENUE
 MONTGOMERY COUNTY, MARYLAND

SCALE: 1" = 20'

OCT. 14, 2014

208 No. 14-007
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Highland



Highland

