



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert K. Sutton
Chairman

Date: September 27, 2021

MEMORANDUM

TO: Mitra Pedoeem
Department of Permitting Services

FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit # 951380 - Garage Alterations

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** by the Historic Preservation Commission at the September 22, 2021 HPC meeting, with other revisions approved by Staff.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: William Curtain
Address: 3 Primrose St., Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



GENERAL NOTES

- All Work shall be performed in accordance with the IRC 2012, and all other applicable codes, regulations and ordinances as adopted and/or modified by the District of Columbia DCMR 2013.
- All Electrical work to be performed in accordance with the National Electrical Code and the District of Columbia code.
- Dimensions and Notes for a given condition are typical for all similar conditions unless otherwise stated.
- Drawings at a larger scale shall take precedence over drawings of a smaller scale. Notify Architect immediately if a discrepancy should be found.
- Existing walls, columns, floor/ceiling assemblies, etc. are shown unrendered on the plans and sections. Elevations show existing elements - windows, doors, roofs, etc. as unrendered outline (new work is shown rendered).
- General Contractor to keep disturbances in existing house to a minimum.
- Protect existing planting during construction with erosion control type fence. Do not remove any trees or shrubs without prior approval of owner. Protect existing driveway from abuse, any damage should be repaired at the expense of the contractor. Provide conveniently located refuse barrels and maintain for workman use.
- General Contractor to inspect existing electrical service and notify Owner and Architect if upgrading is required by code or with the proposed addition/renovation.
- General Contractor to ensure flush transition from existing work to new work.
- All wall surfaces are to be made flush and smooth prior to painting or installation of wallcovering.
- Verify all measurements and dimensions prior to beginning and throughout progress of Work. Consult Architect for resolution of any discrepancy in measurements or dimensions.
- Prior to cutting or drilling affecting structural members not indicated, submit written notice to Architect specifying location and requesting consent to proceed with cutting or drilling. Contractor shall do cutting and drilling of existing construction required for installation of new work, including cutting of holes for new electrical work. Cover openings temporarily when not in use and patch as soon as work is installed. Refinish all affected areas to their original condition.
- Coordinate the unloading and safe storage of Owner delivered material on site (casework, equipment, etc.). Installation of Owner delivered material is to be included in the base bid (unless noted otherwise).

PROJECT TEAM

OWNER	William J. Curtin 3 Primrose St. Chevy Chase, MD 20815-4228	ARCHITECT	Outerbridge Horsey Associates, PLLC 1228 1/2 31st Street, NW Washington, DC 20007 Contact: Outerbridge Horsey, AIA John Cazayoux	Tel 202.337.7334 oh@outerbridgehorsey.com john@outerbridgehorsey.com
GENERAL CONTRACTOR	Gruver Cooley Purcellville, Virginia 20134 Contact: Chip Gruver	Tel 703.669.5420 chip@gruvercooley.com	STRUCTURAL ENGINEER	Neubauer Consulting Engineers 4701 Sangamore Rd, # N290 Bethesda, Maryland 20816 Contact: Peter Neubauer
				Tel 301.263.2727 peter@neubauerengineers.com

3 PRIMROSE ST.

CHEVY CHASE, MD 20815

LOT DESCRIPTION:	Lot 31, Block 58
ADDRESS:	3 Primrose St
LOT AREA:	9,375 sf
ZONING DISTRICT:	R-60
BUILDING TYPE:	Single Family Residential

ZONING CRITERIA	REQUIRED	PROVIDED
MIN. LOT WIDTH:	60 Ft.	75 Ft.
MIN. LOT AREA:	6,000 Sf.	9,375 Sf.
MAX. LOT COVERAGE:	35%	27% Existing, 27.5% Proposed
MAX. HEIGHT:	35 Ft.	29'-5" Existing and Proposed
FRONT YARD SETBACK:	25 Ft.	23.75 Ft.(Existing)
SIDE YARD SETBACK:	8 Ft.	11.5 Ft. East (Existing) 19.1 Ft. West (Existing)
SUM OF SIDE SETBACKS:	18 Ft.	25.6 Ft. (Existing)
REAR YARD SETBACK:	20 Ft.	25.25 Ft. Approx. (Existing)
PERVIOUS SURFACES MIN:	20%	58% Existing and Proposed

SPECIAL NOTE

Existing conditions shown or implied are based on best available but limited information. If conditions are encountered that differ from those shown, noted or implied, all work in that specific area is to stop and the Architect is to be notified. No work is to continue in such areas without the permission of the Architect.

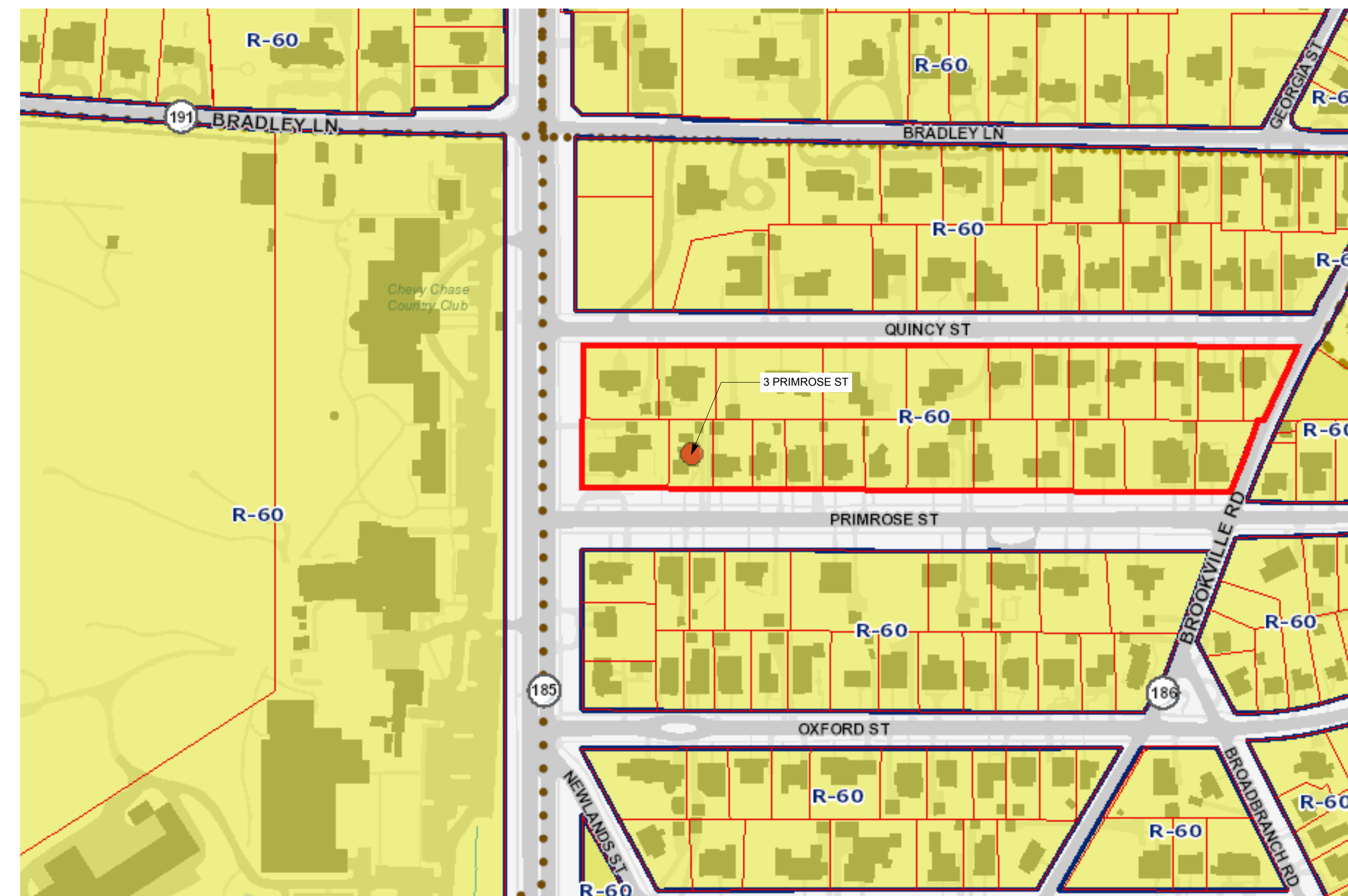
Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify, and be responsible for all dimensions and conditions on the job and the Architect must be notified of any variation from the dimensions and conditions shown by these drawings.

The above drawings and specifications and the ideas, designs and arrangements represented thereby are, and shall remain the property of the architect. No part thereof shall be copied, disclosed to others, or used in connection with any other work or project by any other person for any purpose other than for the specific project for which they have been prepared and developed without the written consent of the architect. Visual contact with these drawings shall constitute conclusive evidence of acceptance of these restrictions.

The professional seal is for certification of new work only and is not intended for general certification of preexisting conditions.

DEMOLITION NOTES

- Coordinate removal of personal belongings or furnishings from affected areas with owner.
- Protect all interior walls, doors, trim, ceilings, and floors from unnecessary damage during demolition.
- Phase all work to achieve minimum disturbance in work areas. Protect unaffected areas from dust, dirt and noise.
- Salvage equipment, fixtures, counters, cabinets and doors as required by the contract drawings. Reuse as directed on drawings.
- All doors and windows to be salvaged for course of job. Those not reused should be removed by G.C. at end of job as directed by Owner. See door and window schedules for those salvaged and relocated.
- Remove all miscellaneous protrusions in walls, floors, ceilings, windows and doors including, but not limited to nails, hooks, wires, door bells, etc. on first floor.
- The Contractor shall arrange for the proper discontinuance and/or relocation of all public utilities when required, including sewers, water, gas, electric, television, and telephone lines.
- Existing plumbing hook-ups to be shut off immediately prior to demolition work at each location.
- Cap off all abandoned waste and supply lines below floor level, patch where necessary.
- Brace structure as necessary during demolition to prevent structural damage and excessive movement. Protect the existing exterior walls, roof(s), and trim from damage during demolition.
- Prior to cutting or drilling affecting structural members not indicated, submit written notice to Architect specifying location and requesting consent to proceed with cutting or drilling. Contractor shall do no cutting and drilling of existing construction required for installation of new work, including cutting of holes for new electrical work. Cover openings temporarily when not in use and patch as soon as work is installed. Refinish all affected areas to their original condition.
- Contractor shall receive title to materials to be demolished, title shall vest to Contractor upon execution of the Contract. Owner will not be responsible for the condition, loss or damage to material after execution of Contract.
- Debris shall not accumulate on site. Sale or burning of material on site is prohibited. Site and adjacent areas shall be kept clean and free from mud, dirt, and debris at all times.
- Verify all measurements and dimensions prior to beginning and throughout progress of Work. Consult Architect for resolution of any discrepancy in measurements or dimensions.



LIST OF DRAWINGS

SHEET	TITLE
G001	COVER SHEET
Z100	ZONING/ SOIL AND EROSION PLAN
D100	EXISTING CONDITIONS PLANS
D200	EXISTING SOUTH AND WEST ELEVATIONS
D201	EXISTING NORTH AND EAST ELEVATIONS
A100	FIRST AND SECOND FLOOR PLANS
A101	ROOF PLAN
A200	SOUTH AND WEST ELEVATIONS
A201	NORTH AND EAST ELEVATIONS
A300	BUILDING SECTIONS
A400	WALL SECTIONS
A503	MUDROOM PLAN AND ELEVATIONS / DETAILS
S100	STRUCTURAL PLANS
E100	ELECTRICAL PLANS

APPROVED
Montgomery County
Historic Preservation Commission

Dan Bruechert

REVIEWED
By Dan.Bruechert at 2:34 pm, May 27, 2021

OUTERBRIDGE HORSEY ASSOCIATES, PLLC

1228 1/2 31st STREET, NW
WASHINGTON, DC 20007
TEL 202-337-7334
FAX 202-337-7331
www.outerbridgehorsey.com

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CONSULTANTS:

3 PRIMROSE ST.

CHEVY CHASE, MD 20815

DRAWING TITLE:

COVER

SCALE: AS NOTED

ISSUE	DATE

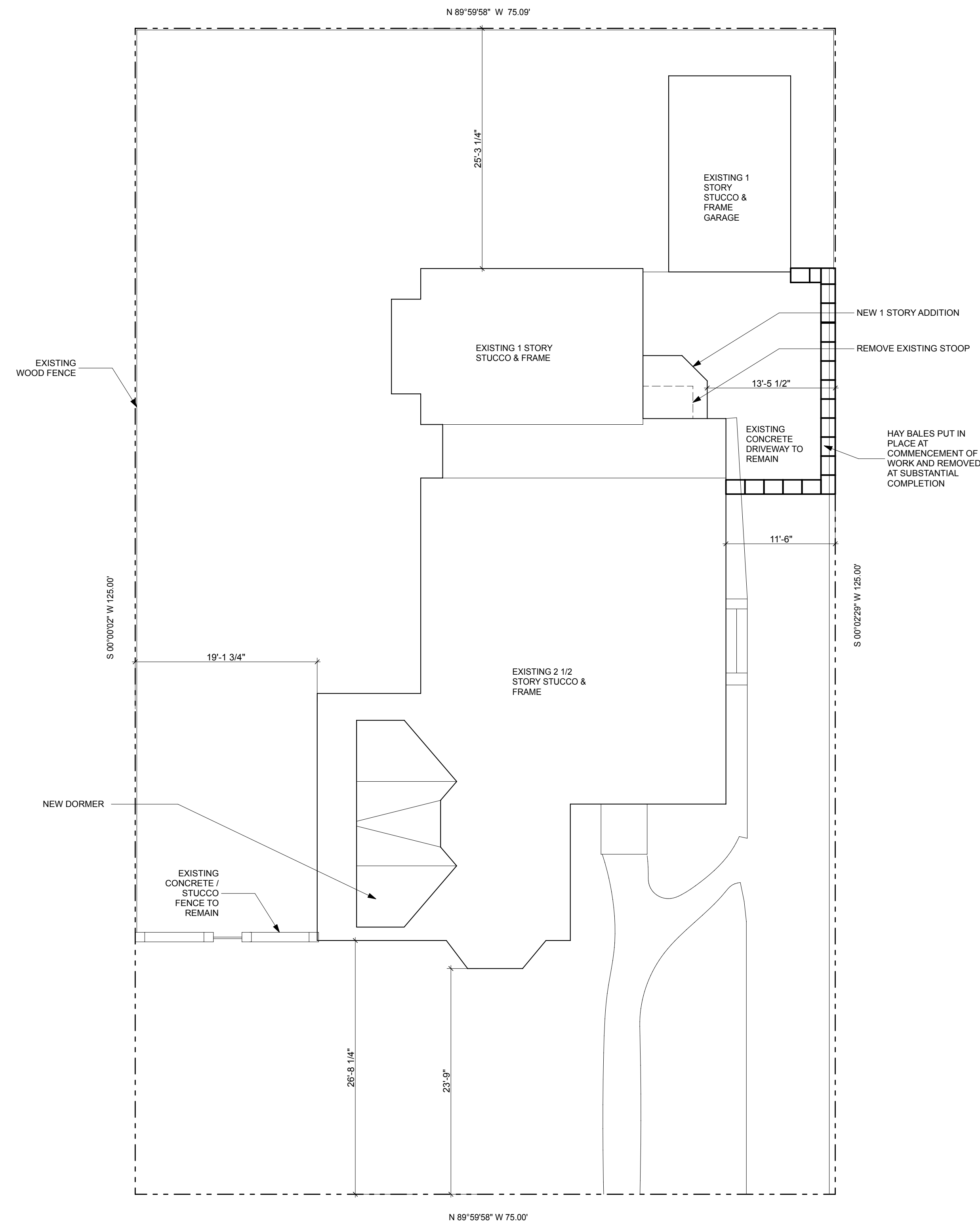
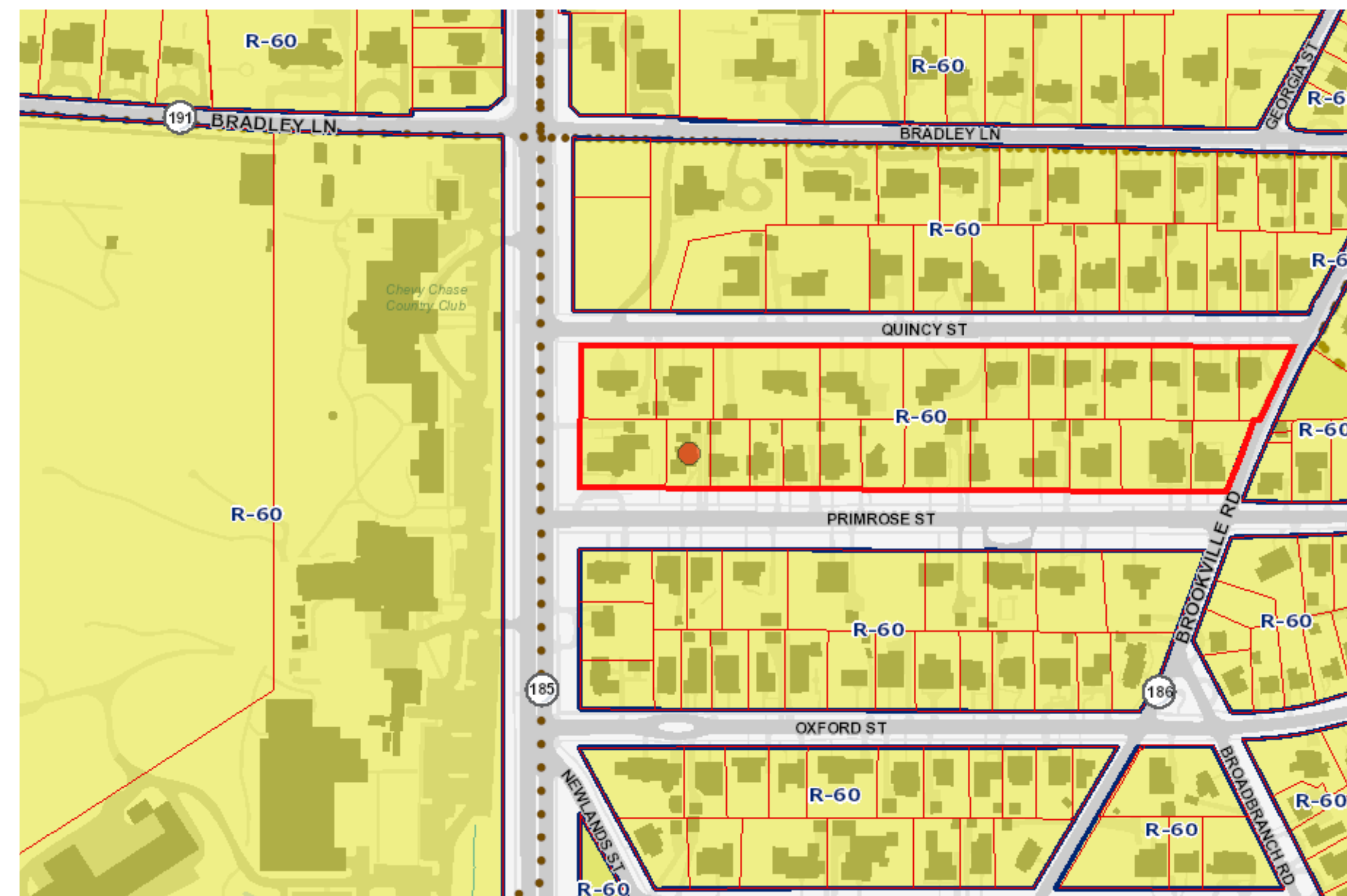
PRINT DATE 5/3/21

SHEET NO.

G001

LOT DESCRIPTION: Lot 31, Block 58
 ADDRESS: 3 Primrose St
 LOT AREA: 9,375 sf
 ZONING DISTRICT: R-60
 BUILDING TYPE: Single Family Residential

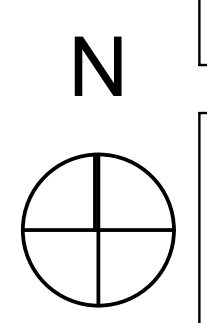
ZONING CRITERIA	REQUIRED	PROVIDED
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MIN. LOT AREA:	6,000 Sf.	9,375 Sf.
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SUM OF SIDE SETBACKS:	18 Ft.	25.6 Ft. (Existing)
REAR YARD SETBACK:	20 Ft.	25.25 Ft. Approx. (Existing)
PERVIOUS SURFACES MIN:	20%	58% Existing and Proposed



1 PROPOSED SITE PLAN
 SCALE: 1/8" = 1'-0"

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[Signature]

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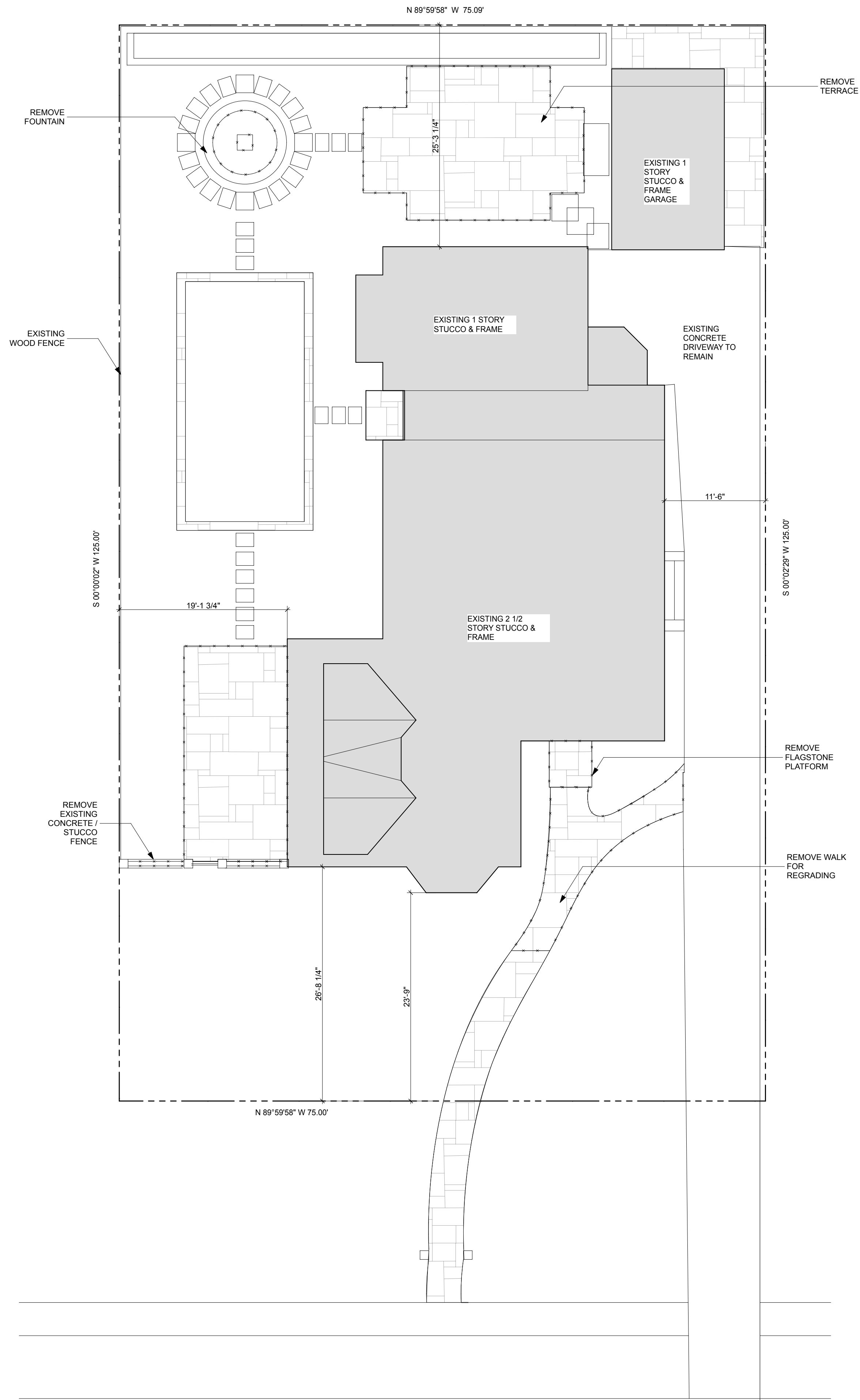
CONSULTANTS:

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DRAWING TITLE:
ZONING/ SOIL AND EROSION PLAN
 SCALE: AS NOTED

ISSUE	DATE

PRINT DATE: 5/3/21
 SHEET NO.
Z100



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Montgomery County
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Robert A. Porter

REVIEWED
By Dan.Bruechert at 9:56 am, Sep 27, 2021

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DRAWING TITLE:

EXISTING SITE PLAN

SCALE: AS NOTED

ISSUE	DATE
PERMIT SET	05/03/2021
CONSTRUCTION	6/22/21

PRINT DATE 8/9/21

SHEET NO.

EXL100

1 EXISTING SITE PLAN
SCALE: 1/8" = 1'-0"

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1 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
 SCALE: 1/4" = 1'-0"

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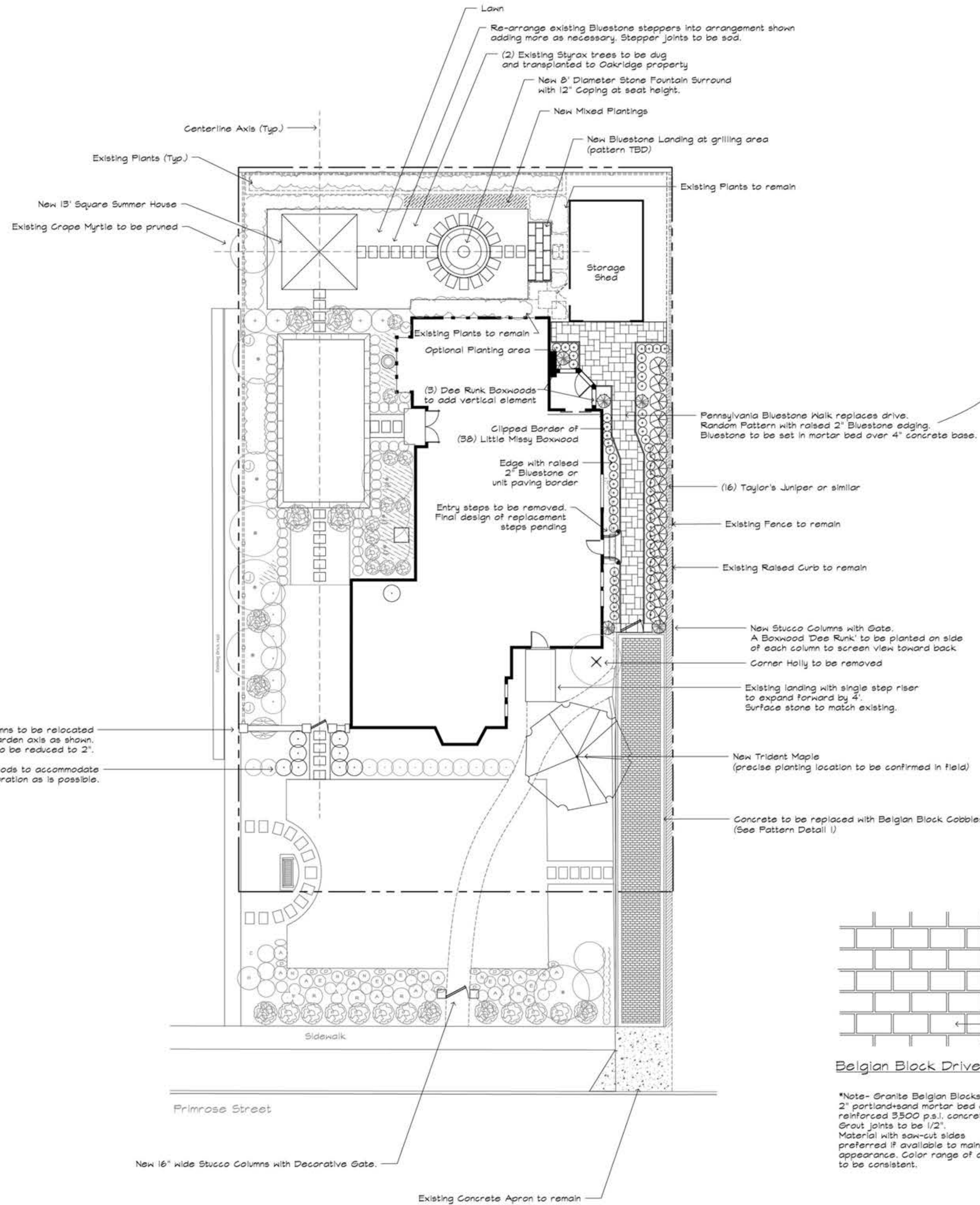
3 PRIMROSE ST.
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DRAWING TITLE:
**EXISTING
 ELEVATIONS**
 SCALE: AS NOTED

ISSUE	DATE
PERMIT SET	05/03/2021
CONSTRUCTION	6/22/21

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SHEET NO.
EXL200

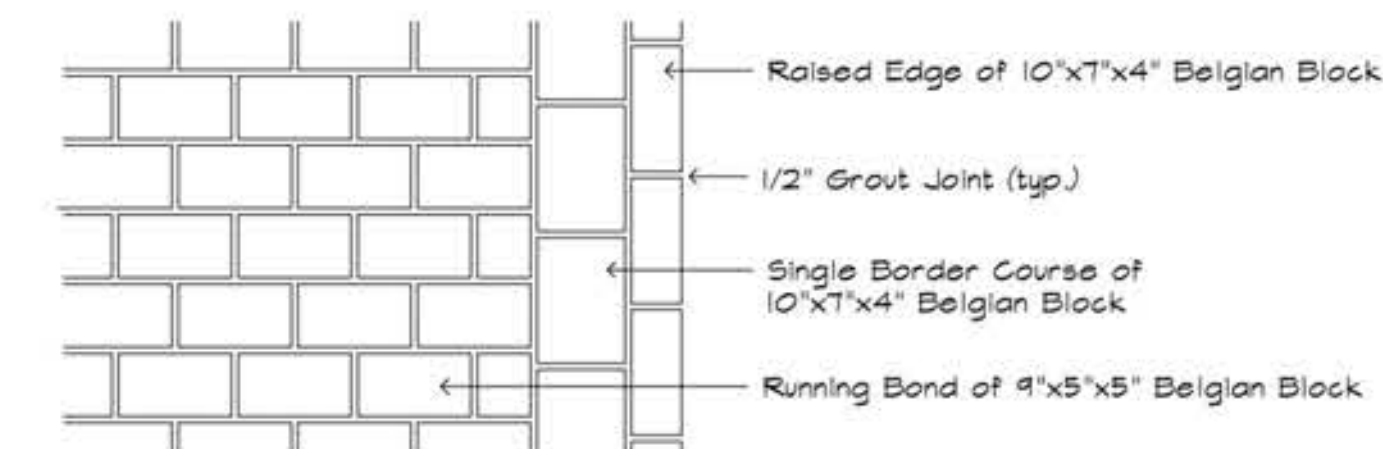


Example of Raised 2" Bluestone Edging

*Note- Material to be Thermalized 2" wide Bluestone by 6" deep set in mortar. Edging to sit 2" above finished grade of walk.



Example of Pattern Detail



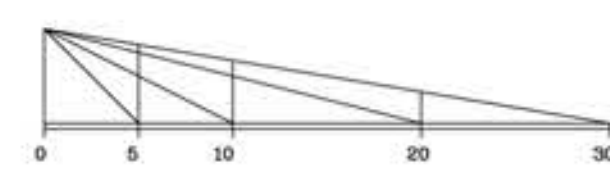
Belgian Block Driveway Pattern Detail #1

*Note- Granite Belgian Blocks to be set in 2" portland+sand mortar bed over reinforced 3500 p.s.i. concrete slab. Grout joints to be 1/2". Material with saw-cut sides preferred if available to maintain crisp appearance. Color range of all block to be consistent.

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Existing Gate and Columns to be relocated to align with garden axis as shown. Cap thickness to be reduced to 2".
Transplant existing Boxwoods to accommodate new path and gate configuration as is possible.



SCALE: 1" = 10'

CALLAWAY & ASSOCIATES

A Landscape Plan for:
Bill Curtin
3 Primrose Street
Chevy Chase, Maryland

CALLAWAY & ASSOCIATES

122 E. Fisher Avenue
Greensboro, NC 27401
(336)-214-8325 Phone
(336)-214-4433 Fax

Project
Curtin

Project Number
2026

Date
7/5/21

Scale
1" = 10'

Sheet
Landscape
Layout
Plan

Revision:
7/16/21
7/30/21
8/9/21

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1 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
 SCALE: 1/4" = 1'-0"

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DRAWING TITLE:
ELEVATIONS
 SCALE: AS NOTED

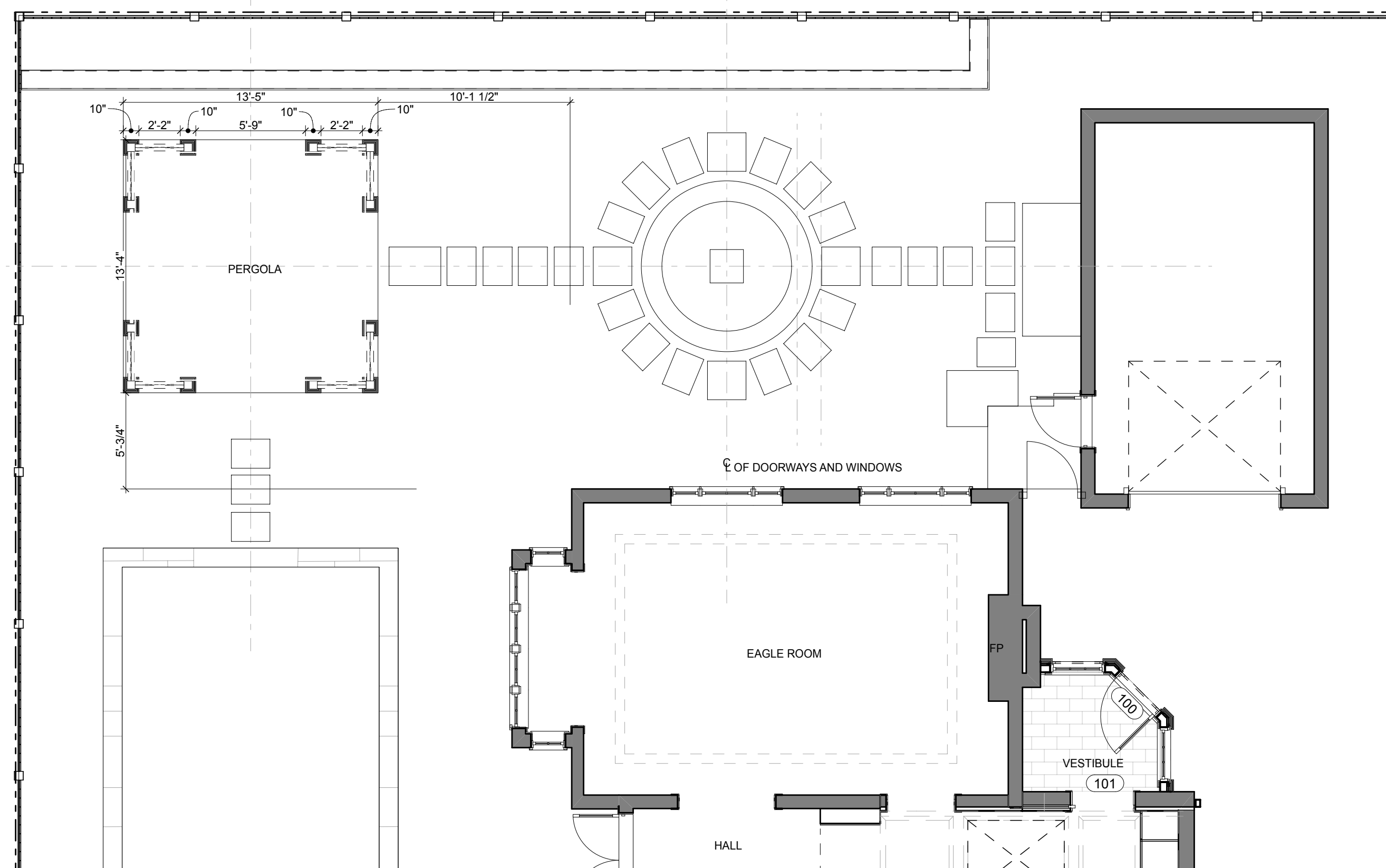
ISSUE	DATE
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CONSTRUCTION	6/22/21

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SHEET NO.
L200



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 PERGOLA PLAN
SCALE: 3/16" = 1'-0"

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Montgomery County
Historic Preservation Commission

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REVIEWED
By Dan.Bruechert at 9:58 am, Sep 27, 2021

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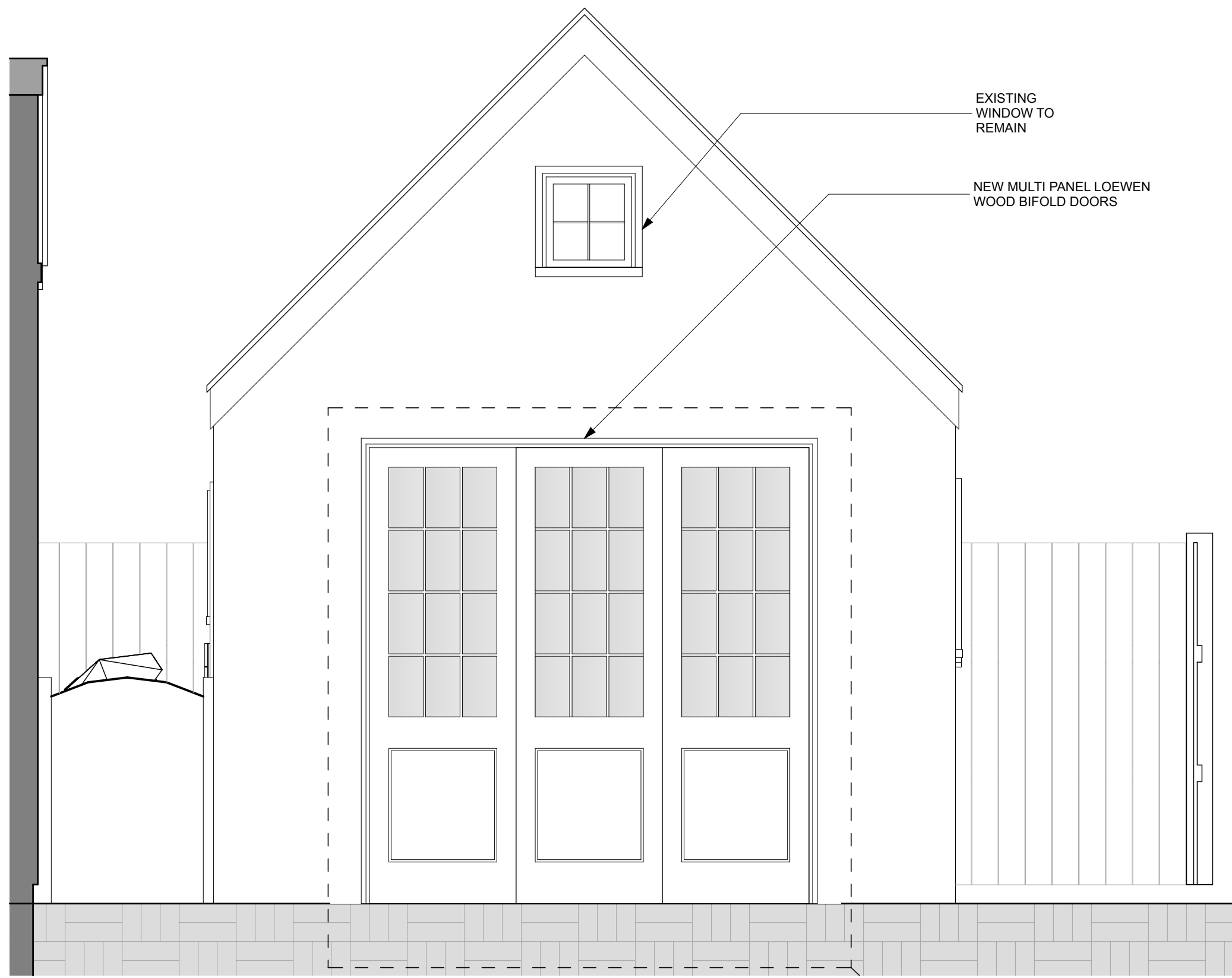
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DRAWING TITLE:
NORTH ELEVATION AND PLAN
SCALE: AS NOTED

ISSUE	DATE
PERMIT SET	05/03/2021
CONSTRUCTION	6/22/21

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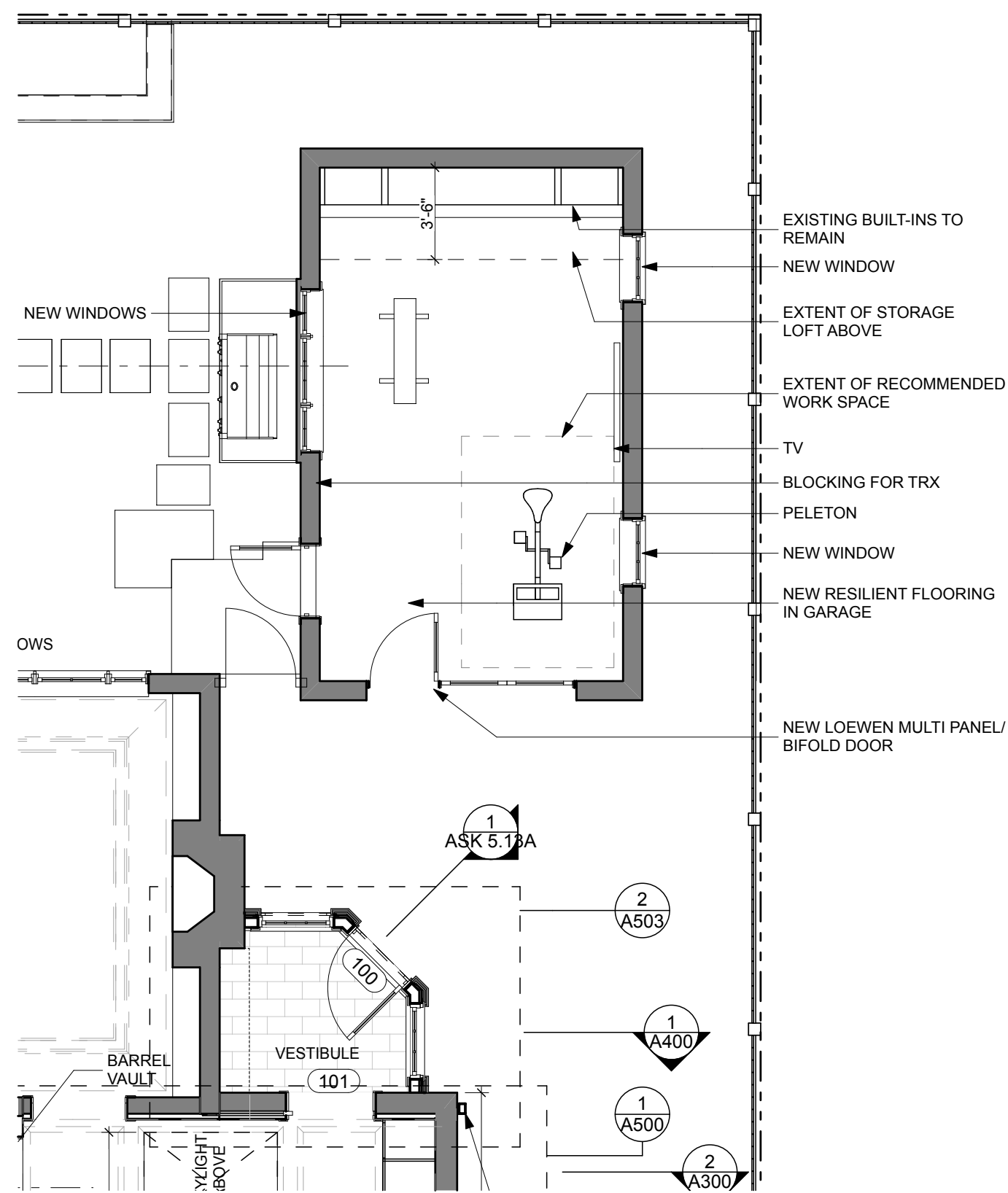
SHEET NO.
L201



2 GARAGE SOUTH ELEVATION
SCALE: 1/2" = 1'-0"



3 GARAGE EAST ELEVATION
SCALE: 1/2" = 1'-0"



1 GARAGE PLAN
SCALE: 3/16" = 1'-0"

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4 GARAGE WEST ELEVATION
SCALE: 1/2" = 1'-0"

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DRAWING TITLE:
**GARAGE PLAN AND
ELEVATIONS**

SCALE: AS NOTED

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CONSTRUCTION	6/22/21

PRINT DATE 8/9/21

SHEET NO.
G100



1. EXISITNG APRON AND DRIVEWAY



2. EXISTING EAST SIDE YARD



3. EXISTING GARAGE



4. EXISTING WEST SIDE YARD



5. EXISTING WEST SIDE YARD



6. REAR YARD LOOKING EAST



7. REAR YARD LOOKING WEST

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Robert A. ...

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By Dan.Bruechert at 9:58 am, Sep 27, 2021

PROPOSED LOCATION OF FOUNTAIN

PROPOSED LOCATION OF PERGOLA

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PHOTOGRAPHS OF EXISTING CONDITIONS

SCALE: AS NOTED

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PHOTOS