



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Sandra I. Heiler
Chairman

Date: September 29, 2020

MEMORANDUM

TO: Mitra Pedoeem
Department of Permitting Services

FROM: Michael Kyne
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #923926: New fence and retaining wall

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the September 9, 2020 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

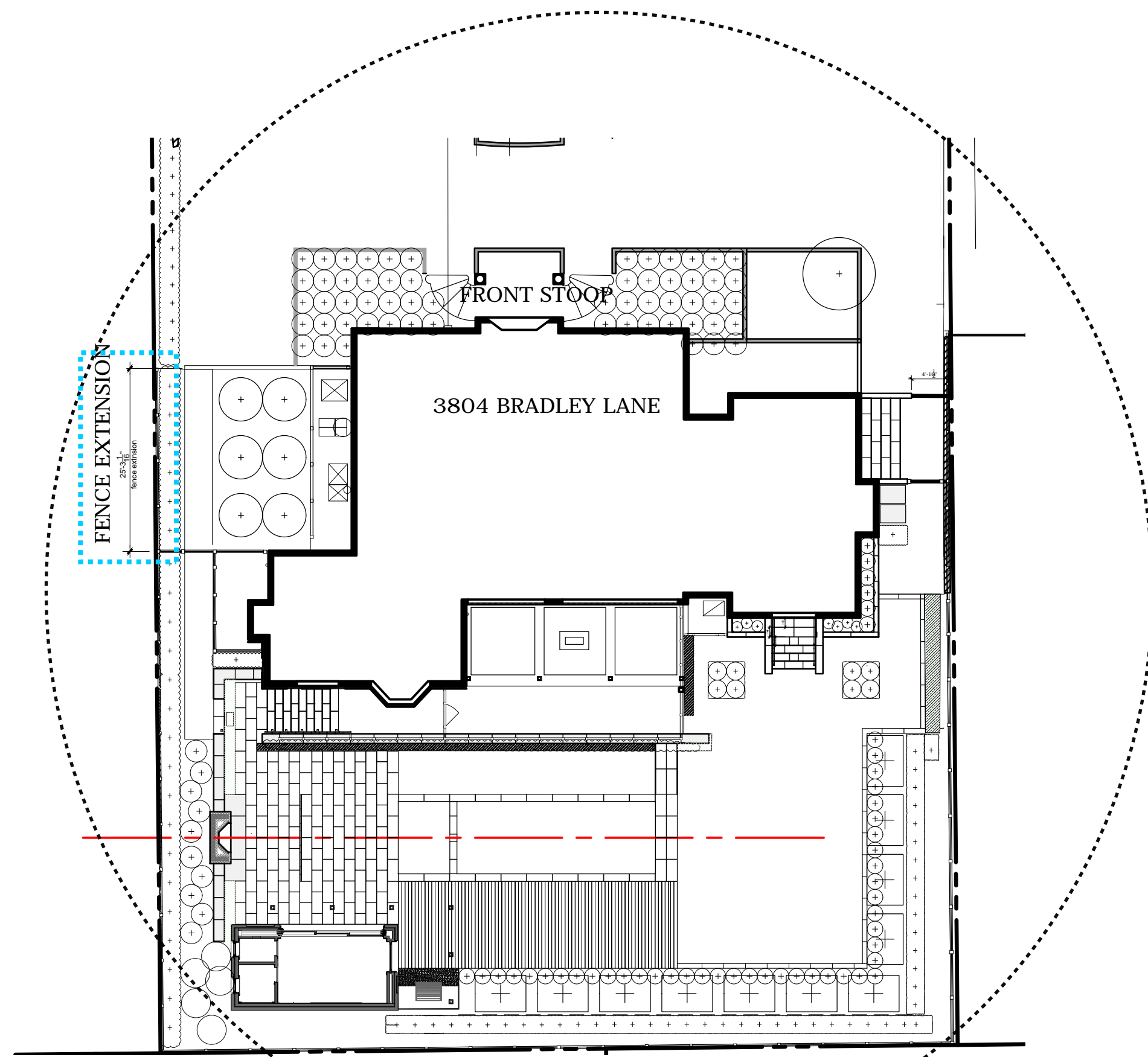
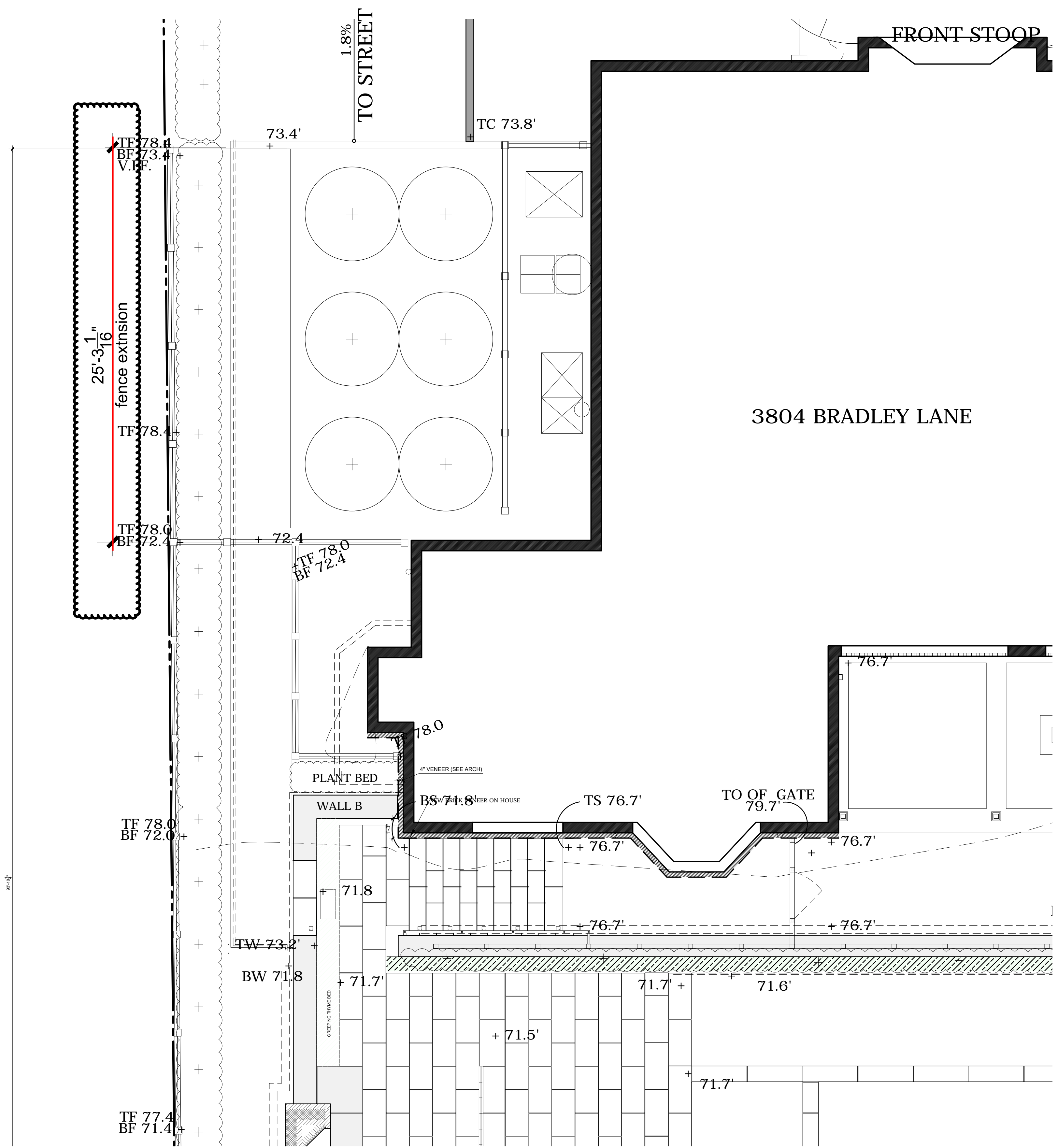
THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Rohit Rao (Anthony Colella, Agent)
Address: 3804 Bradley Lane, Chevy Chase

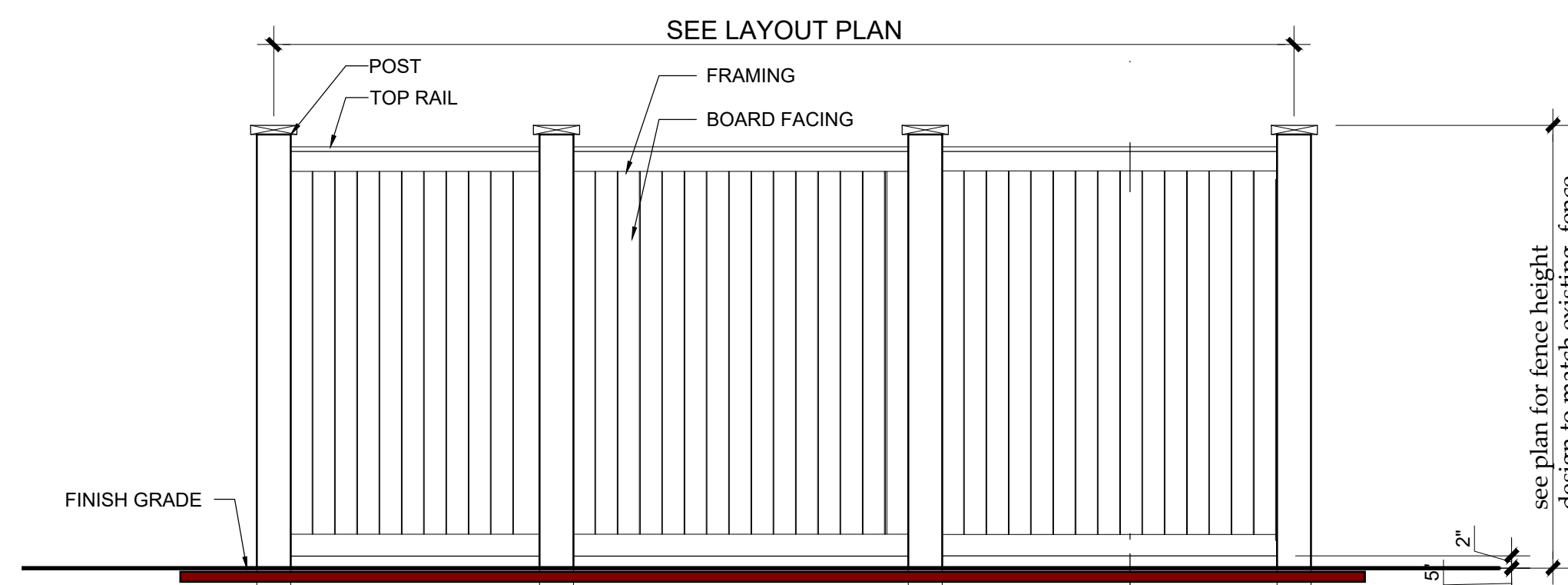
This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Michael Kyne at 301.563.3403 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



FENCE TO BE A MINIMUM OF 5' TALL AND NO MORE THAN 6' TALL MAINTAIN ONE HEIGHT FOR THIS SECTION MATCH EXISTING FENCE PAINT WHITE



PLAN VIEW PROPERTY SCALE 1/16" = 1'-00"



FENCE ELEVATION - EXTERIOR

TOP OF FENCE TO BE AT CONTINUOUS ELEVATION.
IF GRADE FALLS, FENCE TO BE CONTINUOUS ELEVATION OR STEP IN UNIFORM SECTIONS WHEN NECESSARY TO FOLLOW GRADE. TOP OF FENCE SHOULD NOT SLANT OR ANGLE ANYWHERE.

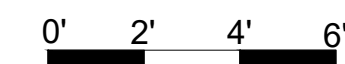
REVIEWED
By Michael Kyne at 3:34 pm, Sep 29, 2020

APPROVED
Montgomery County
Historic Preservation Commission
Sandra S. Hilder

LSK-30 FENCE EXTENSION WEST SIDE

WODLINGER 07/25/2020

Scale: 1/4" = 1'-0"



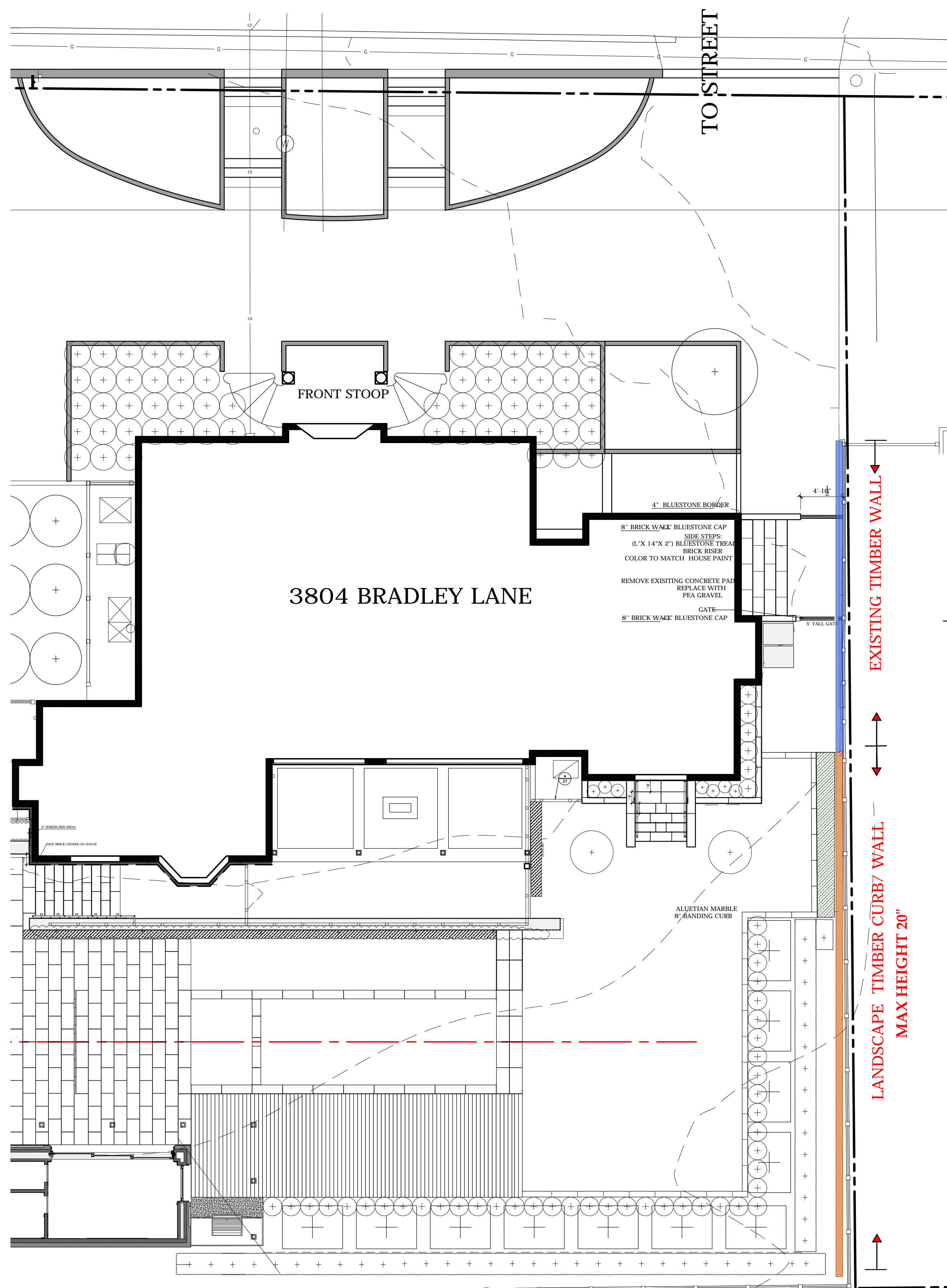
THIS DRAWING HAS BEEN PREPARED, IN SUBSTANTIAL PART, BASED ON INFORMATION AND DOCUMENTED SITE CONDITIONS, FURNISHED BY THE OWNER, ARCHITECT, ENGINEER, CONTRACTOR, AND OTHERS. WHILE THIS INFORMATION AND SITE CONDITIONS ARE BELIEVED TO BE RELIABLE, THE LANDSCAPE DESIGNER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THIS DRAWING FOR ANY ERRORS OR OMISSIONS THAT HAVE BEEN INCORPORATED INTO IT AS A RESULT OF INCORRECT INFORMATION PROVIDED.
THE LANDSCAPE DESIGNER ACCEPTS NO CLAIMS OR LOSSES BASED ON THE PROPOSED DRAINAGE SYSTEM, STRUCTURAL DETAILS, AND/OR UNDOCUMENTED SITE CONDITIONS THAT MAY BE DISCOVERED UPON CONSTRUCTION, INCLUDING BUT NOT LIMITED TO UNDOCUMENTED UTILITY LOCATIONS, SOIL COMPOSITION, BURIED OBJECTS/DEBRIS, DRAINAGE INFRASTRUCTURE, HYDROLOGIC FEATURES, FOUNDATIONS. ALL GRADING AND DRAINAGE INFORMATION IS FOR REFERENCE ONLY. REFER TO APPROVED CIVIL AND STRUCTURAL DRAWINGS.
THE INSTALLING CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS. ANY CONFLICT IN THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM PRIOR TO COMPLETION OF THE FINAL WORK.

LAYOUT NOTES:

1. The proposed plans are based on survey information provided by the Owner and are not verified for accuracy.
2. Contractor shall take field measurements and verify field conditions and shall carefully compare such field measurements and conditions with the drawings before commencing work. Should any discrepancies, omissions, ambiguities, or conflicts emerge in or among the contract documents, or be in doubt as to their meaning, Contractor shall bring these items to the attention of the Landscape Designer for clarification and direction prior to proceeding with work.
3. Contractor shall contact MISS UTILITY, a minimum of 72 hours prior to any excavation, to determine the exact location of all existing utilities, and shall be fully responsible for any and all damages which may result by the Contractor's failure to exactly locate and preserve any and all existing utilities.
4. Any new work shall meet and match existing alignment of features and finished grades at existing pavement or other facilities that are to remain. Contractor shall make any necessary minor adjustments in the proposed work to meet the intent of the plans and to provide smooth transitions between existing conditions and all new work.
5. For layout purposes, all angles are understood to be 90° unless otherwise noted.
6. Contractor shall stake the alignment of all steel edging in the field and shall receive approval of the layout by the LA prior to installation.

NOTES:

1. ALL FEATURES TO BE SQUARE TO HOUSE.
2. MEET ALL MIN. OFFSETS FROM P.L. PER JURSDICTION'S CODE REQUIREMENTS. VERIFY IN FIELD ALL MIN. SETBACKS ARE MET.



3800 BRADLEY LANE
EX. HOUSE

3804 BRADLEY LANE

FRONT STOOP

4" BLUESTONE BORDER

8" BRICK WALK BLUESTONE CAP
SIDE STEPS:
6" X 14" X 2" BLUESTONE TREAD
BRICK RISER
COLOR TO MATCH HOUSE PAINT

REMOVE EXISTING CONCRETE PAV
REPLACE WITH
PEA GRAVEL

8" BRICK WALK BLUESTONE CAP

ALJETTIAN MARBLE
8" BANDING CURB

EXISTING TIMBER WALL

LANDSCAPE TIMBER CURB/WALL
MAX HEIGHT 20"

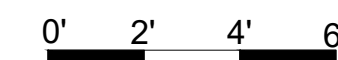
REVIEWED
By Michael Kyne at 3:34 pm, Sep 29, 2020

APPROVED
Montgomery County
Historic Preservation Commission
Sandra A. Hiller

LSK-31 RETAINING TIMBER LANDSCAPE WALL (LOCATION OF REPLACEMENT OF EXISTING + EXTENSION)

WODLINGER 08/13/2020

Scale: 1/4" = 1'-0"



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GRADING

1. DUE TO 7" SHIFT NORTH, ALL PROPOSED GRADES HAVE CONCURRENTLY SHIFTED NORTH. THIS HAS IMPACTED THE PROPOSED RELATIONSHIPS IN THE GRADING PLAN, THUS FINISH GRADES WILL NEED TO BE ADJUSTED AND WORKED OUT ON SITE BY CONTRACTOR.
2. ALERT LANDSCAPE DESIGNER IF ANY DISCREPANCIES OCCUR.

GENERAL NOTES

- Boundary information and two-foot contour data are based upon surveys performed by CAS Engineering, dated May, 2019.
- Total lot area: Lot 35 = 15,359 sq. ft. (0.353 Acres)
- Property is located on Tax Map HN341 and WSSC 2007 Sheet 208 NW 04.
- Property is located on Soils Survey Map Number 27 Soil type(s): ZUB, Clemp Urban land complex, HSG "B"
- Flood zone "X" per F.E.M.A. Firm Maps, Community Panel Number 24031C0455D.
- Property is located in the Rock Creek Watershed & Potomac River Watershed.
- Water Category - 1, Sewer Category - 1
- Local utilities include:
Water / Sewer - Washington Suburban Sanitary Commission
Electric - PEPCO
Telephone - Verizon
Gas - Washington Gas
- Property is located in the incorporated municipality of Chevy Chase Village and in the Chevy Chase Village Historic District.
- This plan was created without the benefit of a title report.

ZONING DATA

- Zoning: R-60**
Minimum Lot Area = 6,000 sq ft
Minimum Lot Width at R.W. = 25 ft
Minimum Lot Width at B.R.L. = 60 ft
Front B.R.L. = 25 ft (Per CCV & MoCo)
Rear B.R.L. = 20 ft min. (Per CCV & MoCo)
Side B.R.L. = 8 ft min., 18 ft total (Per MoCo)

- Lot Coverage Requirements (Non-infill)**
Verify (Non-infill) lot coverage in accordance with the Zoning Ordinance.
Coverage is the area of a lot or site occupied by a building, including an accessory building, structured parking, or other roofed structure such as a porch, patio, deck, or steps.
Coverage does not include paved areas such as a driveway, a pedestrian walkway, a bay window measuring 10 feet in width and less than 3 feet in depth or less, an uncovered porch or patio, deck, a swimming pool, or roof overhang.
Allowable Lot Coverage: 35% of total lot area.
Lot 35 = 15,359 sq. ft. (Per Plat)
15,359 x 0.35 = 5,375.65 sq. ft.
Allowable area to be covered by buildings (including acc. buildings) = 5,375.65 sq. ft.
Proposed Combined Area Covered by Buildings = 3,141 sq. ft.

- Verify lot coverage in accordance with the Chevy Chase Village Ordinance, Section 8-16(m).
Per Chevy Chase Village: Lot coverage is the portion of a lot which is covered by buildings, accessory buildings, and raised structures such as covered and uncovered porches, balconies, and decks, covered and uncovered steps, stairways, and stoops, and bay and bow windows. Lot coverage does not include: (1) awns, gutters, and similar overhangs; and (2) features that are not raised such as walkways, patios, terraces, driveways, swimming pools, and tennis courts.
Allowable lot coverage 35% of total lot area.
Lot 35 = 15,359 square feet (per plat)
15,359 x 0.35 = 5,375.65 sq. ft.
Allowable area to be covered by buildings (Including Accessory Buildings) = 5,375.65 sq. ft.
Proposed Combined Area Covered by Buildings = 4,181 sq. ft.

- Building Height Requirements**
Refer to Architectural Plans for Building Height computations.

- Rear Yard Coverage**
Verify accessory rear yard coverage in accordance with the Chevy Chase Village Ordinance, Section 8-20(a).
No detached garage or other accessory building or structure shall be erected, except in the rear yard of an premises. The combined lot coverage of all accessory buildings shall not exceed twenty (20) percent of the rear yard.
Allowable rear lot coverage: 20% of rear yard area.
Lot 35 rear yard area = 5,542 square feet
5,542 x 0.20 = 1,108.4 sq. ft.
Allowable rear yard area to be covered by accessory buildings = 1,108.4 sq. ft.
Proposed Rear Yard Area Covered by Accessory Building = 270 sq. ft.

UTILITY INFORMATION

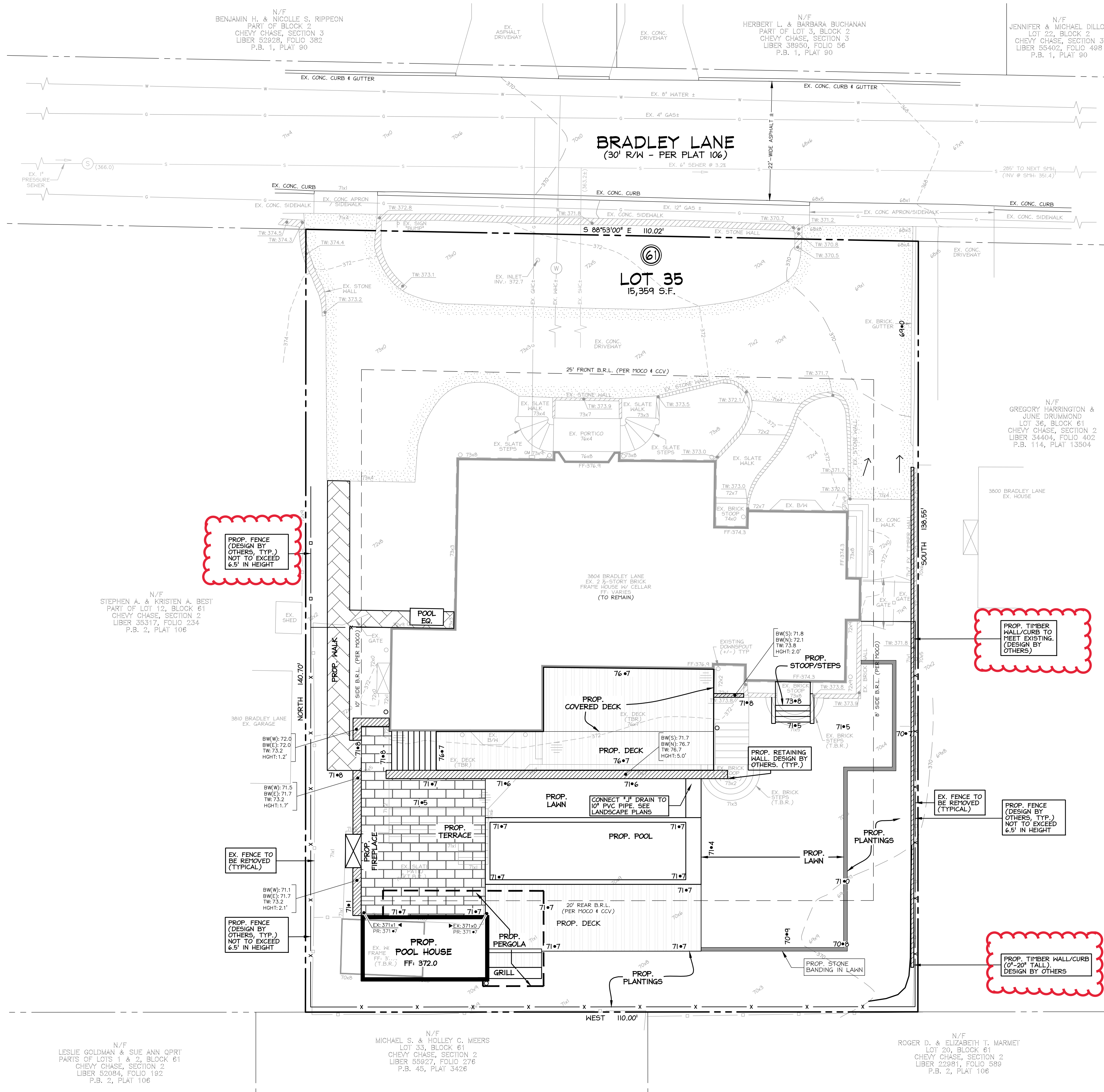
EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND MUST BE FIELD VERIFIED. UTILITY LOCATIONS ARE BASED UPON AVAILABLE RECORDS AND ARE SHOWN TO THE BEST OF OUR ABILITY.

UTILITY CD.	REQUEST DATE	BY	INFO. RECEIVED	PLAN REVISION	BY
CONCAST	04/22/2019	EMJ	04/22/2019	U/S UTILITY	EMJ
PEPCO	04/22/2019	EMJ	04/22/2019	NO FACILITIES	EMJ
VERIZON/NO	04/22/2019	EMJ	04/22/2019	NO FACILITIES	EMJ
WASH. GAS	04/22/2019	EMJ	04/23/2019	05/16/2019	EMJ
W.S.C.C.	04/22/2019	EMJ	04/22/2019	05/16/2019	EMJ
SEWER CONTRACT DRAWING	04/22/2019	EMJ	04/22/2019	05/16/2019	EMJ
WATER CONTRACT DRAWING	04/22/2019	EMJ	04/22/2019	05/16/2019	EMJ
HOUSE - CONNECTION PLUMBING CARDS	04/22/2019	EMJ	04/22/2019	05/16/2019	EMJ

MISS UTILITY
FOR LOCATION OF UTILITIES, CALL "MISS UTILITY" AT 1-800-251-7777, OR LOG ON TO WWW.MISSUTILITY.NET 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF CHAPTER 36A OF THE MONTGOMERY COUNTY CODE.

LEGEND

EXISTING FEATURES	PROPOSED FEATURES
Ex. Sewer Manhole and Invert	Limit Of Disturbance (L.O.D.)
Ex. Water Line with Valve	16 Prop. Contour with Elevation
Ex. Gas Line with Valve	26+0 Prop. Spot Elevation
Ex. Overhead Utility with Pole	Prop. Retaining Wall
Ex. Two- And Ten-foot Contours	Prop. Surface Flow Direction
Ex. Spot Elevation	Tree To Be Removed
Ex. Wood or Stockade Fence	Prop. Drywell (R-Tank Units)
Ex. Retaining Wall	Prop. PVC Drain Pipe & Downspout
Ex. Tree	



CAS JOB NO.: 19-126
DATE: 05/2019

DATE	REVISION
01/15/20	JAR - Plan issued for construction. Drywell A added.
01/20/20	JAR - Plan issued for Construction (minor revision change by L.A.)
02/08/20	JAR - Revised Plan to include R-Tank. Quad limits and to adjust pool house location per CCV comment.
05/01/20	JAR - Revised drainage plan per L.A. and Contractor's Request.
06/10/20	JAR - Revised to add pipe diam.
08/14/20	JAR - Revised for Wall / Drywell Permit (CCV)

VICINITY MAP

PROFESSIONAL ENGINEER CERTIFICATION:
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 19568, expiration date 3/8/2022, and that this plan meets MCDPS criteria for building permit applications.

CURT A. SCHREFFLER, PE
08/14/2020

Lot 35, Block 61, Chevy Chase, Section 2
Plat Book 114, Plat No. 13504, Recorded 6/30/1981
Bethesda (7th) Election District, Montgomery County, MD

3804 Bradley Lane
Chevy Chase, Maryland 20815

REVIEWED
By Michael Kyne at 3:34 pm, Sep 29, 2020

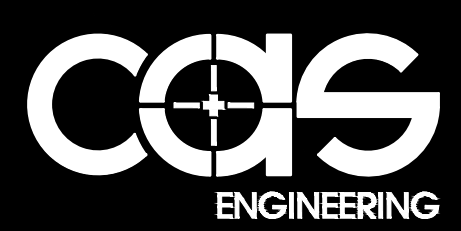
APPROVED
Montgomery County
Historic Preservation Commission

Sandra A. Skilton

OWNER/APPLICANT
David Wodlinger
3804 Bradley Lane
Chevy Chase, MD 20815
dwodlinger@arlingtoncap.com

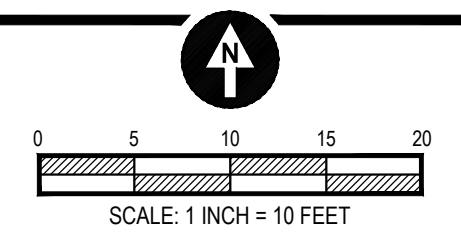
LANDSCAPE ARCHITECT
Katie Goffin Gardens
Attn: Katie Goffin
7217 Evans Mill Road
McLean, VA 22101
202-352-5928 cell
katie@goffingardens.com

3804 Bradley Lane
Lot 35, Block 61
Chevy Chase, Section 2
- Chevy Chase Village -
Building Permit Site Plan
FOR CONSTRUCTION



CAS ENGINEERING-MD
10 South Barns Street
Frederick, Maryland 21701
301-607-6031 Phone
info@caseng.com
www.caseng.com

CAS ENGINEERING-DC, LLC
1001 Connecticut Avenue, NW, Suite 401
Washington, DC 20036
info@cas-dc.com
202-355-7200 Phone
www.cas-dc.com



SHEET TITLE:
Building Permit Site Plan