HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Sandra I. Heiler
Chairman

Date: September 15, 2020

MEMORANDUM

TO: Mitra Pedoeem
Department of Permitting Services
FROM: Michael Kyne
Historic Preservation Section
Maryland-National Capital Park & Planning Commission
SUBJECT: Historic Area Work Permit #921358: Rear porch alteration

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the September 9, 2020 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings**.**

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Jeff Bell (Eric Saul, Architect)
Address: 7418 Maple Avenue, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Michael Kyne at 301.563.3403 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.

REVIEWED
By Michael Kyne at 7:10 pm, Sep 15, 2020

APPROVED
Montgomery County
Historic Preservation Commission

MUNICIPAL STAMPS

BELL RESIDENCE
ADDITION AND RENOVATION
7418 MAPLE AVENUE | TAKOMA PARK, MD 20912

PROJECT TEAM

OWNERS:
JEFF AND AMBER BELL
7418 MAPLE AVE
TAKOMA PARK, MD 20912
(410) 845-8712

ARCHITECT:
ERIC C. SAUL, RA
SAUL ARCHITECTS
8114 CARROLL AVENUE
TAKOMA PARK, MD 20912
(301) 270-0395

SHEET INDEX

ARCHITECTURAL

CS	COVER SHEET
A1	EXISTING/DEMO FLOOR PLANS
A1.1	PROPOSED FLOOR AND ROOF PLANS
A2	EXTERIOR ELEVATIONS
A3	SCREENED PORCH DETAILS
S1	FRAMING PLANS AND STRUCTURAL NOTES
S2	FRAMING PLANS AND DETAILS
E1	ELECTRICAL PLAN

GRAPHIC SYMBOLS

- SECTION CALLOUT / SHEET NUMBER
- DETAIL CALLOUT / SHEET NUMBER
- ELEVATION CALLOUT / SHEET NUMBER
- DETAIL NUMBER / SHEET NUMBER
- INTERIOR ELEVATION / SHEET NUMBER
- WALL TYPE DESIGNATION / FIRE RATING
- FLOOR/ROOF ASSEMBLY / FIRE RATING
- SPOT ELEVATION
- WINDOW IDENTIFIER
- DOOR IDENTIFIER
- FLOOR HEIGHT IDENTIFIER
- KEYNOTE
- HANDICAPPED
- ROOM FINISH KEY
- REVISION INDICATOR

CODE ANALYSIS

SCOPE OF WORK:
EXISTING SINGLE-FAMILY HOME TO EXTEND THE EXISTING SCREENED PORCH 10 FEET DEEPER TOWARDS THE REAR YARD.

LOT:	7C
BLOCK:	86
SUBDIVISION:	PETTY ESTATE
CODE:	IRC 2018
ZONE:	R-60
CONSTRUCTION TYPE:	5B
NO. OF STORIES:	2 PLUS BASEMENT
SPRINKLERED:	NO

DESIGN CRITERIA:

GROUND SNOW LOAD	30 PSF
WIND SPEED	115 MPH
SEISMIC DESIGN CATEGORY	B
WEATHERING	SEVERE
FROST DEPTH LINE	30 IN.
TERMITE	MODERATE TO HEAVY
DECAY	SLIGHT TO MODERATE
WINTER DESIGN TEMP.	13° F
ICE SHIELD UNDERLAYMENT REQ'D	YES
FLOOD HAZARDS.	JULY 2, 1979
AIR FREEZING INDEX	300
MEAN ANNUAL TEMP.	55° F

ALLOWED HEIGHT:	2 1/2 STORIES; 32'-0" MAX. HEIGHT
PROPOSED HEIGHT:	27'-6" TO PEAK

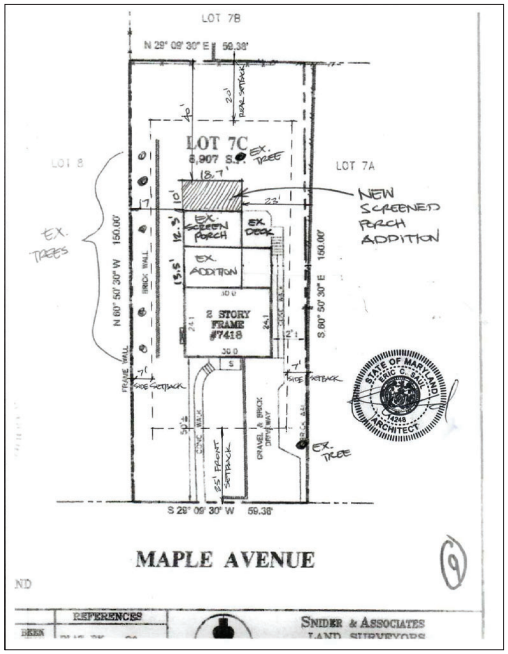
SETBACKS:

FRONT YARD	25'-0"
SIDE YARD	7'-0"
REAR YARD	20'-0"

LOT AREA CALCULATIONS:

LOT SIZE	8,907.0 SQ.FT. (100.0%)
MAX. LOT COVERAGE	3,117.5 SQ. FT. (35.0%)
EXISTING COVERAGE	1,537.9 SQ. FT. (17.3%)
PROPOSED COVERAGE	1,726.9 SQ. FT. (19.4%)
INCREASED COVERAGE	189 SQ. FT.

SITE PLAN: 1" = 30'-0"



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REVISIONS:

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SCREENED PORCH ADDITION
7418 MAPLE AVENUE | TAKOMA PARK, MD 20912

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Eric Saul
Digitally signed by Eric Saul
Date: 2020.08.24 17:53:19 -04'00'

PROFESSIONAL CERTIFICATION:
I, ERIC SAUL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 14248, EXPIRATION DATE JUNE 30, 2021

PROJECT NUMBER: 20032
PRINTING LOG

DATE	PURPOSE
07.20.20	SCHEMATIC DESIGN SET

COVER SHEET AND SITE PLAN

CS

REVIEWED

By Michael Kyne at 7:10 pm, Sep 15, 2020

APPROVED

Montgomery County

Historic Preservation Commission

Sandra J. Heiler

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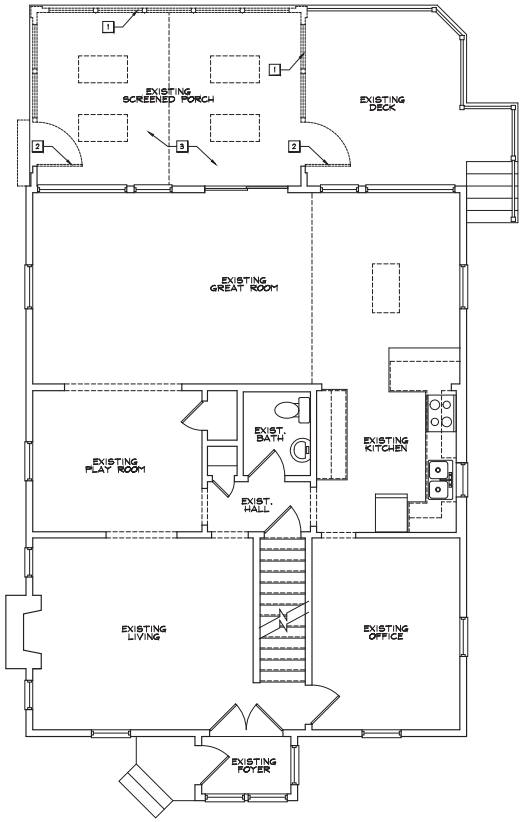
DEMOLITION KEYNOTES:

1. REMOVE EXISTING POSTS AND INSECT SCREENING PANELS OF PORCH
2. REMOVE EXISTING SCREEN DOORS
3. EXISTING DECKING TO BE REMOVED



1 / A1 EXISTING/DEMO FIRST FLOOR PLAN

1/4" = 1'-0"

FLOOR PLAN LEGEND

- EXISTING WALL TO REMAIN
- NEW INTERIOR 2x4 STUD WALL, U.N.O.
- NEW EXTERIOR, 2x6 STUD WALL R-20 MIN. INSUL.
- NEW 8" CMU WALL, U.N.O.
- NEW BRICK MASONRY WALL OR PIER
- EXISTING WALL TO BE REMOVED
- EXISTING ITEM TO BE REMOVED
- 8'-0" CEILING HEIGHT INDICATOR

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EXISTING/DEMO FLOOR PLANS

A1

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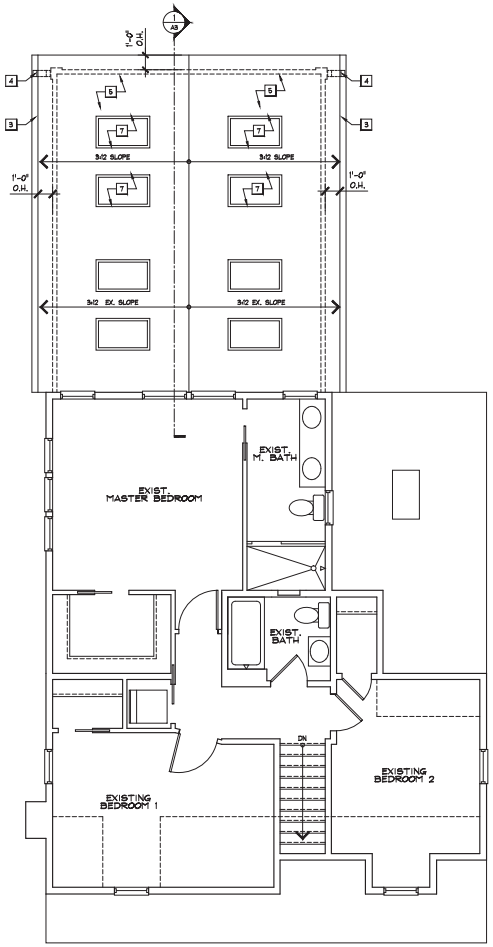
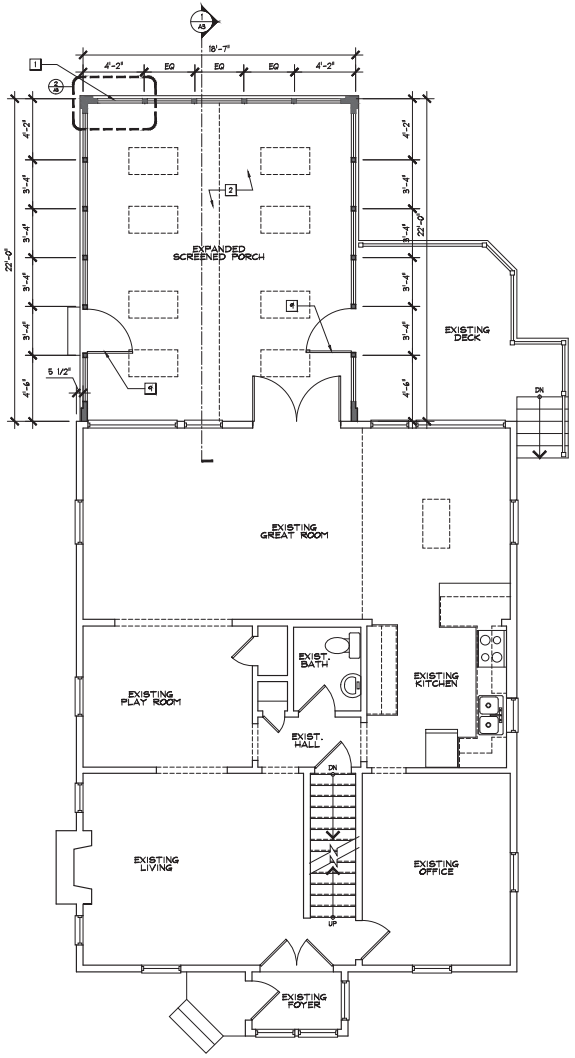


3 A1.1 PROPOSED ROOF PLAN
1/4" = 1'-0"



1 A1.1 PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"

FLOOR PLAN KEYNOTES:

1. NEW INSECT SCREENING PANELS
2. NEW T&G PT WOOD DECKING
3. 5" PRE-FINISHED GUTTER TO MATCH EXISTING HOUSE
4. DOWNSPOUT - MATCH EXISTING HOUSE
5. NEW 30 YEAR ARCHITECTURAL ROOF SHINGLE - MATCH EXISTING
6. NEW RIDGE VENT
7. NEW SKYLIGHT
8. NOT USED
9. NEW 32" WIDE SCREEN DOOR

GENERAL NOTES:

1. ALL DIMENSIONS ARE TO FACE OF STUD, CONCRETE OR MASONRY ON NEW WALLS, AND TO FACE OF FINISH OF EXISTING WALLS.
2. ANGLED WALLS ARE 45° TO ADJACENT WALLS, U.N.O.
3. DOORS TO BE LOCATED 4" FROM WALL ON HINGE SIDE OR CENTER OF THE SPACE, U.N.O.

FLOOR PLAN LEGEND

- EXISTING WALL TO REMAIN
- NEW INTERIOR 2x4 STUD WALL, U.N.O.
- NEW EXTERIOR, 2x6 STUD WALL R-20 MIN. INSUL.
- NEW 8" CMU WALL, U.N.O.
- NEW BRICK MASONRY WALL OR PIER
- EXISTING WALL TO BE REMOVED
- EXISTING ITEM TO BE REMOVED
- 8'-0" CEILING HEIGHT INDICATOR

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Eric Saul

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PROPOSED FLOOR AND ROOF PLANS

A1.1

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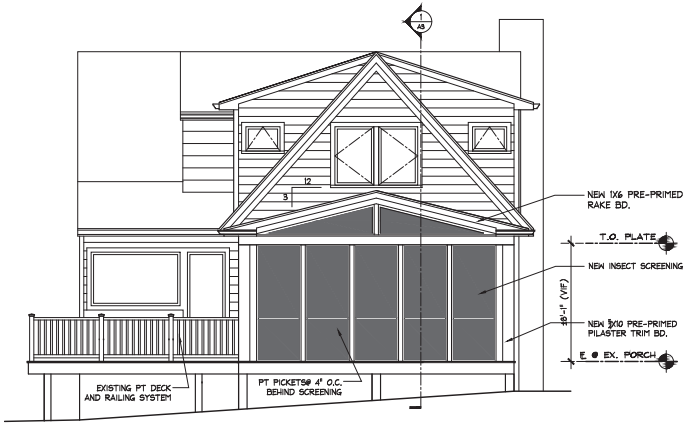
4 / A2 PROPOSED SOUTH ELEVATION
1/4" = 1'-0"

2 / A2 PROPOSED NORTH ELEVATION
1/4" = 1'-0"



1 / A2 PROPOSED REAR (WEST) ELEVATION
1/4" = 1'-0"

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EXTERIOR ELEVATIONS

A2

REVIEWED

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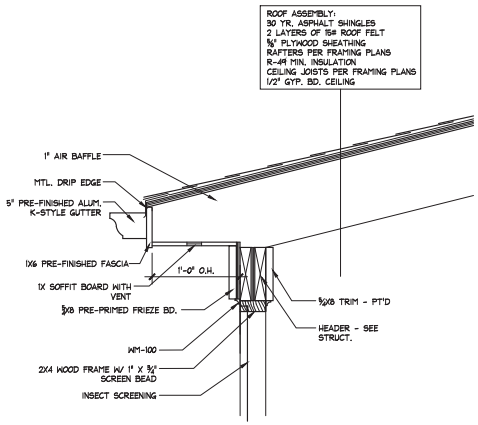
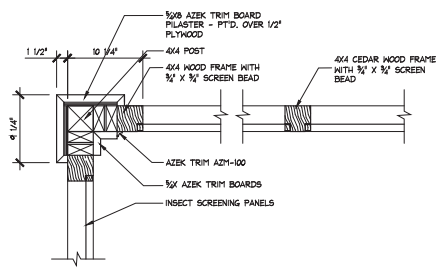
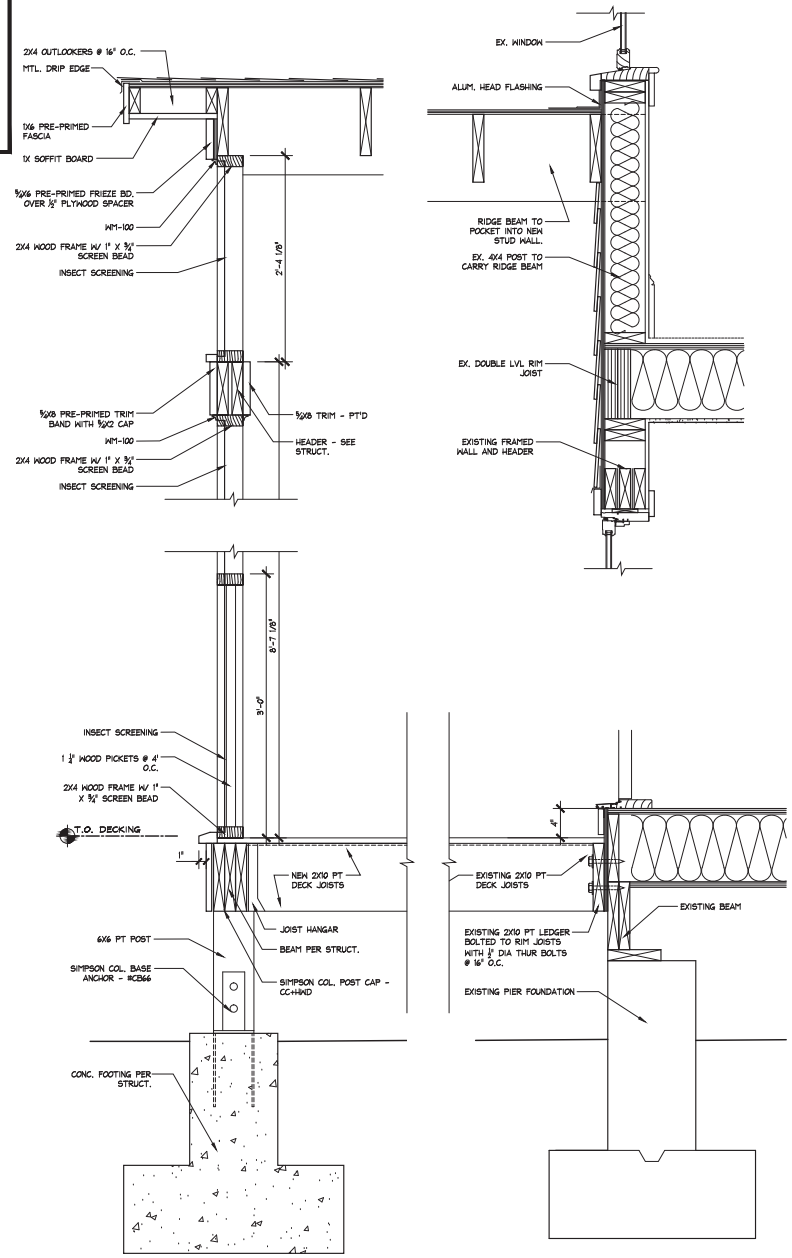


3 A3 PORCH EAVE DETAIL
1 1/2" = 1'-0"



2 A3 PORCH PLAN DETAIL
1 1/2" = 1'-0"



1 A3 PORCH SECTION DETAIL
1 1/2" = 1'-0"

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DETAILS

A3

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By Michael Kyne at 7:10 pm, Sep 15, 2020

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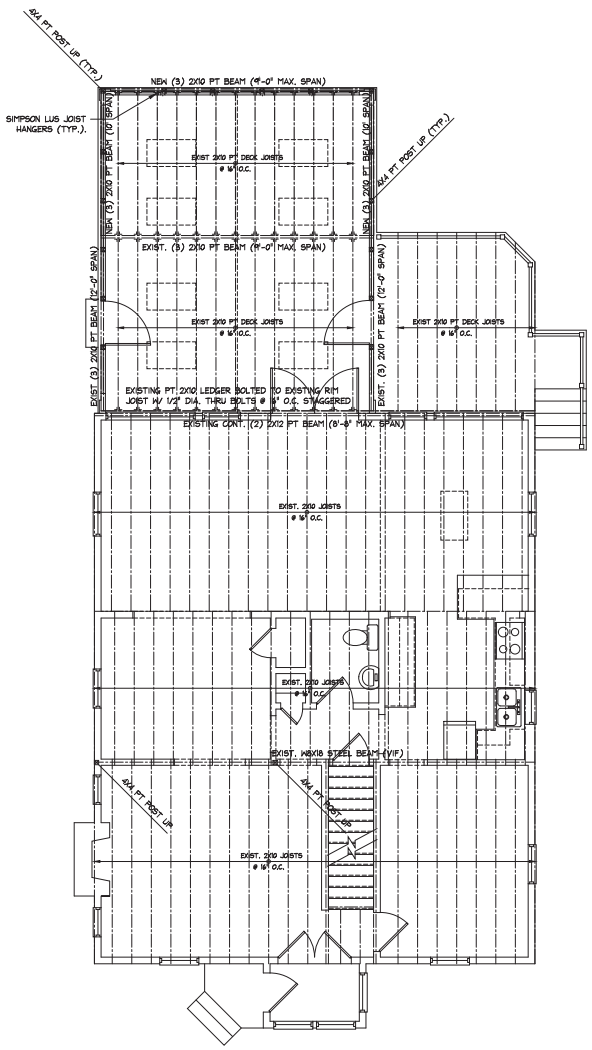
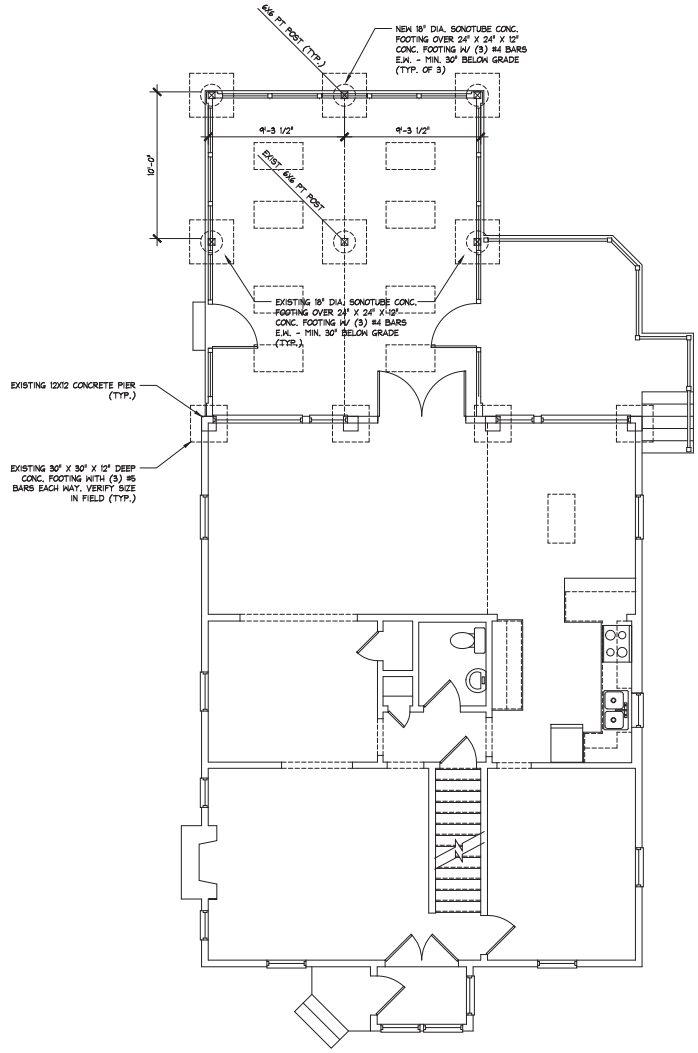
Historic Preservation Commission



2 / S1 FIRST FLOOR FRAMING PLAN
1/4" = 1'-0"



1 / S1 FOUNDATION PLAN
1/4" = 1'-0"

STRUCTURAL NOTES:

1. USE MONTGOMERY COUNTY, MD. BUILDING CODE IRC 2018.
2. LOADS- LIVE -FLOOR RESIDENTIAL - 40PSF; ROOF - 30 PSF - SNOW; WIND 115 MPH EXPOSURE B IMPORTANCE 1; SEISMIC AND WIND LOADS ACCOMODATED BY EXISTING BUILDING.
3. FOUNDATIONS ARE DESIGNED FOR 2000 PSF SOIL. FOOTING BOTTOMS SHALL BE AT LEAST 30" BELOW GRADE AND A MINIMUM OF 12" INTO EXISTING NATURAL SOIL. EXISTING FOUNDATIONS ARE ADEQUATE FOR NEW LOADS
4. CONCRETE - 3000 PSI @ 28 DAYS MINIMUM. REINFORCING STEEL ASTM A615 GRADE 60. USE ACI STANDARDS.
5. FRAMING LUMBER SHALL BE STRUCTURAL GRADE DOUGLASS FIR #2 OR BETTER, UNLESS NOTED OTHERWISE. USE HURRICANE CLIPS FOR ALL ROOF RAFTERS. USE MANUFACTURERS STANDARDS FOR MANUFACTURED LUMBER. LVL'S Fb=2650PSI, e=1.9M PSI
6. BRACED WALL PANELS (BWP): 1/2" PLYWOOD PANELS 48" WIDE BY FULL STORY HEIGHT OR AS DIMENSIONED. 8d NAILS @ 6" O.C. ON EDGES AND 12" O.C. ON INTERMEDIATE STUDS. WIND LOADS ARE ACCOMMODATED BY CONTINUOUS SHEATHING METHOD AND SECTION R301.1.1.
7. CONC. BLOCK REINFORCEMENT: USE 9 GAGE TRUSS-TYPE HORIZONTAL REINFORCEMENT EVERY OTHER COURSE (DUR-O-WALL OR EQUAL). VERTICAL REINFORCEMENT: #5 BARS @ 32" O.C. - NEEDED ONLY WHERE DIRT IS RETAINED ABOVE 36" HIGH. ALL CONC. BLOCK CELLS TO BE GROUT SOLID.
8. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD.

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FOUNDATION AND FRAMING PLANS

S1

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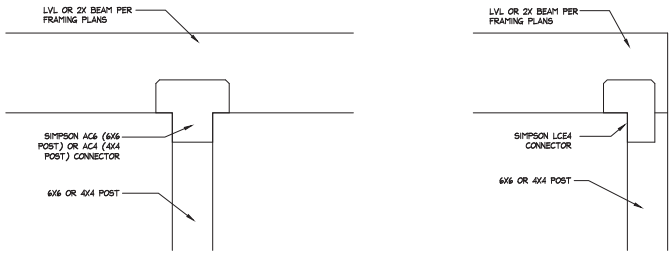
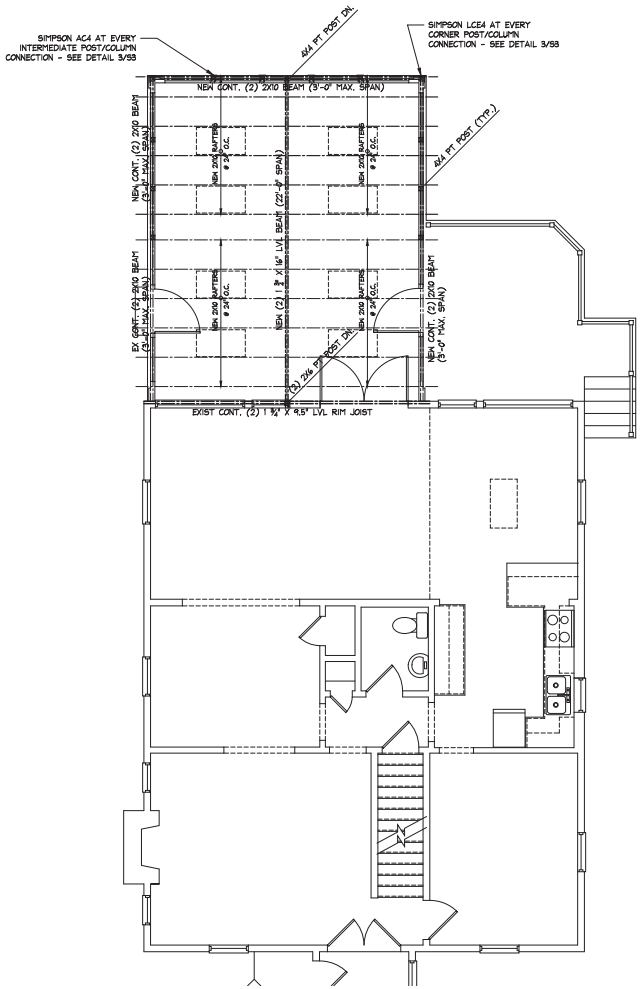


2 / S2 POST/HEADER CONNECTION DETAILS
1/4" = 1'-0"



1 / S2 2ND FLOOR FRAMING PLAN
1/4" = 1'-0"

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ROOF FRAMING PLANS AND WIND BRACING DETAILS

S2

REVIEWED

By Michael Kyne at 7:10 pm, Sep 15, 2020

APPROVED

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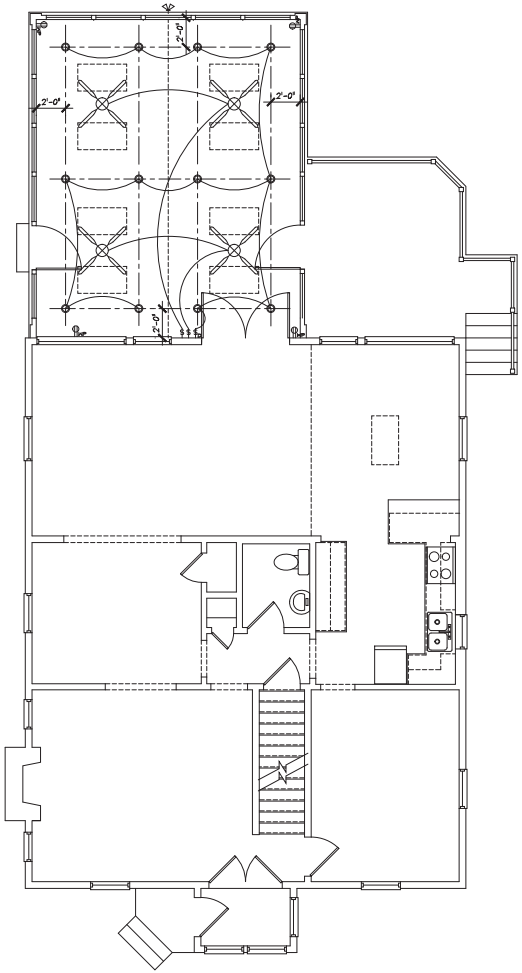
Historic Preservation Commission

MUNICIPAL STAMPS



1 E1 FIRST FLOOR ELECTRICAL PLAN
1/4" = 1'-0"

ELECTRICAL SYMBOLS

- SWITCH
- THREE-WAY SWITCH
- SWITCH IN JAMB ACTIVATED BY DOOR OPENING
- SWITCH WITH DIMMER
- DUPLEX RECEPTACLE
- QUADRUPLEX RECEPTACLE
- SWITCHED OUTLET
- GROUND FAULT PROTECTED RECEPTACLE
- WATERPROOF RECEPTACLE
- 220V RECEPTACLE
- TELEPHONE JACK/INTERNET/DATA
- SMOKE DETECTOR
- THERMOSTAT
- CABLE TELEVISION JACK
- SURFACE MOUNTED CEILING FIXTURE
- RECESSED CEILING FIXTURE
- RECESSED CEILING FIXTURE - WET LOCATION RATED
- RECESSED WALL WASH FIXTURE
- WALL MOUNTED FIXTURE
- FLOODLIGHT WITH MOTION DETECTOR
- BATHROOM EXHAUST FAN
- CEILING FAN W/ LIGHT - OSCI
- UNDER CABINET OR OVER DOOR LIGHT
- RECESSED RISER MOUNTED STEP LIGHT

GENERAL ELEC. NOTES

1. ELECTRICAL LAYOUT TO MEET REQUIREMENTS OF THE CURRENT NATIONAL ELECTRICAL CODE.
2. SMOKE DETECTORS ARE TO BE HARDWIRED TOGETHER SO THAT ACTIVATION OF ONE DETECTOR ACTIVATES ALL. PROVIDE BATTERY BACK-UPS.
3. PROVIDE 1 CARBON MINOXIDE DETECTOR ON EVERY FLOOR

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Eric Saul

Digitally signed by Eric Saul
Date: 2020.08.24 17:53:33 -04'00'

PROFESSIONAL CERTIFICATION:

I, ERIC SAUL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14248, EXPIRATION DATE 6/30/2021

PROJECT NUMBER: 20032
PRINTING LOG

DATE	PURPOSE
07.20.20	SCHEMATIC DESIGN SET

ELECTRICAL PLANS

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