

memorandum

7 May 2018

Green Building/Energy Review Responses

Energy-mechanical

Montgomery County
Department Of Permitting Services

Review Comments For:
Carpenter Shop Servant Quarters
2715 Cassidy Street
Silver Spring, MD 20910

MAY 16 2018

A/P#: 725266+269 thru 272+274

Reviewer: Ye Jiang
Date Of Review: 01/08/2018
Date Of Response: 04/28/2018

725266 - - - -

Following information is provided in response to review comments

1. ***Provide code compliance information of building envelope for all the proposed alterations to the existing roof ceiling and exterior walls per C402.***
 - a. Our understanding, per section R501 / C501, is that regarding historic buildings, with these buildings being registered with the National Historic Trust and overseen by the Maryland Historic Trust – that no provision of the code related to the construction, repair, alteration, restoration and movement of structures, and change of occupancy shall be mandatory for historic buildings provided a report has been submitted to the code official and signed by the owner, a registered design professional or representative of the State Historic Preservation Office or the historic preservation authority having jurisdiction demonstrating that compliance with that provision would threaten, degrade or destroy the historic form, fabric or function of the building.

We have added, to sheets A15, A16, and A17, the insulation information related to the existing structure that can be accomplished that would otherwise not “threaten, degrade or destroy the historic form, fabric or function of the building”. Note that no alternations to the existing structure is occurring other than replacement of windows and repairing exterior roofing and brick masonry walls.
2. ***All exit doors and glazing walls / windows in the exterior walls must meet minimum requirements of R-values, fenestration, maximum U-factor and SHGC per C402.***
 - a. See revised sheets A8.10 and A12, A13, A13a and A14 with those additional noted requirements. Although the primary building structure, as noted above, is a registered historic structure, new windows and doors will be in compliance with this section.

3. Provide air leakage specification per C402.5.

- a. Similar to #1 above, our understanding, per section R501 / C501, is that regarding historic buildings, with these buildings being registered with the National Historic Trust and overseen by the Maryland Historic Trust – that no provision of the code related to the construction, repair, alteration, restoration and movement of structures, and change of occupancy shall be mandatory for historic buildings provided a report has been submitted to the code official and signed by the owner, a registered design professional or representative of the State Historic Preservation Office or the historic preservation authority having jurisdiction demonstrating that compliance with that provision would threaten, degrade or destroy the historic form, fabric or function of the building.

With that said, we have added, to sheets A15, A16, A17 and A18, the noted requirement to be verified in field related to the existing structure that can be accomplished that would otherwise not “threaten, degrade or destroy the historic form, fabric or function of the building”. Note that no alternations to the existing structure is occurring other than replacement of windows and repairing exterior roofing and brick masonry walls.

4. Provide HVAC load calculations per C403.2.1. Verify the proposed equipment sizes per C403.2.2.

- a. HVAC equipment was properly sized per IECC. Equipment model, type, manufacturer, BTUs, cfm, etc. is shown on Sheet M-5.

5. Provide code compliance of HVAC system controls per C403.2.4.

- a. Each unit is controlled by a 24hour 7day programmable thermostat. See Sequence Of Operations on Sheet M-5..

6. Provide energy efficiency information for all the proposed HVAC equipment. Verify the selected units comply with the minimum requirements per C403.2.3 and the applicable table from C403.2.3(1) through (9).

- a. Mechanical units exceed minimum requirements with SEER ratings of 16 and gas efficiencies of 92. See Sheet M-5.

7. Specify insulation materials, R-values, sizes, etc., for the new ductwork per C403.2.9 and for the new piping C403.2.10.

- a. Insulation materials, R-values, etc are per IECC. See Sheet M-0

If you have any additional questions, feel free to contact us.

Sincerely,



Michael Wm. Hall, AIA
Partner / Studio CrowleyHall, PLLC



Department of Permitting Services
 255 Rockville Pike, 2nd Floor
 Rockville, MD 20850-4166
 Phone: 311 in Montgomery County or (240)777-0311
 Fax: (240)777-6262
<http://www.montgomerycountymd.gov/permittingservices>

MAY 16 2018



Certification of Modified Drawings

Certification of Re-submitted Drawings


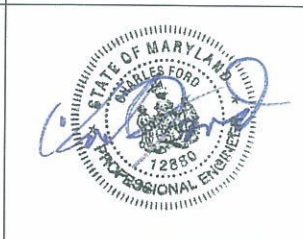
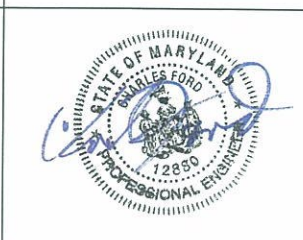
Permit #:

This certification request is a part of a submittal of changes based on the suspension of a plan review. The design professionals responsible for the design of the project shall review all the changes from each of the disciplines and certify that the resubmitted design documents prepared under their license did or did not require modification as a result of any changes made.

By seal and signature below, all design professionals certify that they have read the "Statement of Certification" and have checked the box indicating the appropriate course of action required by their respective discipline. Reviews that are not applicable (i.e., no design professional and/or information provided for a given discipline) may be indicated as "N/A" on the signature line. A design professional who has prepared documents for multiple disciplines must complete each section for which their seal is applicable.

STATEMENT OF CERTIFICATION:

"I certify that I have reviewed the changes to the construction documents in each discipline in response to the suspension letter issued on (Date): _____ by the Department of Permitting Services. Based on my review, the information conveyed on the construction documents and prepared under my license has been modified as indicated below." (check all that apply to your discipline)

<p>ARCHITECT:</p> <p><input type="checkbox"/> No action required. Signature: _____</p> <p><input checked="" type="checkbox"/> The architectural information has been modified based on the received architectural and life safety review comments.</p> <p><input type="checkbox"/> The architectural information has been updated to accommodate modifications to the work of other disciplines. ***</p> <p><input type="checkbox"/> Revisions have been made which are unrelated to County comments. ***</p>	 <p style="text-align: right;">Seal</p>
<p>STRUCTURAL ENGINEER:</p> <p><input checked="" type="checkbox"/> No action required. Signature: _____</p> <p><input type="checkbox"/> The structural information has been modified based on the received structural review comments.</p> <p><input type="checkbox"/> The structural information has been updated to accommodate modifications to the work of other disciplines. ***</p> <p><input type="checkbox"/> Revisions have been made which are unrelated to County comments. ***</p>	<p style="text-align: center; font-size: 2em; color: red;">725206</p> <p style="text-align: right;">Seal</p>
<p>MECHANICAL ENGINEER:</p> <p><input type="checkbox"/> No action required. Signature: <u>Charles Ford</u> <small>Digitally signed by Charles Ford Date: 2018.04.30 15:08:29 -04'00'</small></p> <p><input checked="" type="checkbox"/> The mechanical information has been modified based on the received mechanical review comments.</p> <p><input type="checkbox"/> The mechanical information has been updated to accommodate modifications to the work of other disciplines. ***</p> <p><input type="checkbox"/> Revisions have been made which are unrelated to County comments. ***</p>	 <p style="text-align: right;">Seal</p>
<p>ELECTRICAL ENGINEER:</p> <p><input type="checkbox"/> No action required. Signature: <u>Charles Ford</u> <small>Digitally signed by Charles Ford Date: 2018.04.30 15:07:39 -04'00'</small></p> <p><input checked="" type="checkbox"/> The electrical information has been modified based on the received electrical review comments.</p> <p><input type="checkbox"/> The electrical information has been updated to accommodate modifications to the work of other disciplines. ***</p> <p><input type="checkbox"/> Revisions have been made which are unrelated to County comments. ***</p>	 <p style="text-align: right;">Seal</p>
<p>LANDSCAPE ARCHITECT / CIVIL ENGINEER:</p> <p><input checked="" type="checkbox"/> No action required. Signature: _____</p> <p><input type="checkbox"/> The civil/site information has been modified based on the received civil/site review comments.</p> <p><input type="checkbox"/> The civil/site information has been updated to accommodate modifications to the work of other disciplines. ***</p> <p><input type="checkbox"/> Revisions have been made which are unrelated to County comments. ***</p>	<p style="text-align: right;">Seal</p>

*** - A detailed list of modifications must accompany the resubmitted plans. Additional fees may apply to "Revisions."

Charles Ford & Associates, LLC
13100 Collingwood Terrace
Silver Spring, Maryland 20904
(202) 722-4150 Fax (202) 722-1277
E-Mail cfa98@verizon.net

Green Building/Energy Review Responses

Energy-mechanical

Montgomery County
Department Of Permitting Services

MAY 16 2018

Review Comments For:
Carpenter Shop Servant Quarters
2715 Cassidy Street
Silver Spring, MD 20910

A/P#: 725266+269 thru 272+274

725266 - - - -

Reviewer: Ye Jiang
Date Of Review: 01/08/2018
Date Of Response: 04/28/2018

- No.4 HVAC equipment was properly sized per IECC. Equipment model , type, manufacturer, BTUs, cfm, etc. is shown on Sheet M-5.
- No. 5 Each unit is controlled by a 24hour 7day programmable thermostat. See Sequence Of Operations on Sheet M-5..
- No.6 Mechanical units exceed minimum requirements with SEER ratings of 16 and gas efficiencies of 92. See Sheet M-5.
- No.7 Insulation materials, R-values, etc are per IECC. See Sheet M-0
- No.8 All corrections have been clouded.



Montgomery County Department of Permitting Services

255 Rockville Pike, 2nd Floor
Rockville, MD 20850-4166
Phone: 311 in Montgomery County or (240)777-0311
Fax: (240)777-6262
<http://www.montgomerycountymd.gov/permittingservices>

Project:	National Park Seminary, Carpenter shops and servant quarters – Convert existing spaces into multi family dwelling	Date:	01/08/2018
Address:	Multiple address, Silver Spring	Reviewer:	Ye Jiang
A/P #:	725266+269 thru 272+274	Phone:	240-777-6234
Code(s):	International Energy Conservation Code (IECC) – 2012 Edition Green Building Law: (COMCOR Chapter 8 Article VII)	Fax:	

Green Building/Energy Review Comments

- Provide a response letter detailing how each comment has been addressed.
- Address comments by incorporating them into revised submission.
- Cloud all changes.
- Provide separate energy compliance package detailing compliance per the attached guidelines

Please refer to the attached energy code submittal guidelines but not limited to:

Building Envelope

1. Provide code compliance information of building envelope for all the proposed alterations to the existing roof ceiling and exterior walls per C402.
2. All exit doors and glazing walls/windows in the exterior walls must meet minimum requirement of R-values, fenestration, maximum U-factor and SHGC per C402.
3. Provide air leakage specification per C402.5.

725266 - - - -

Energy-mechanical

4. Provide HVAC load calculations per C403.2.1. Verify the proposed equipment sizes per C403.2.2.
5. Provide code compliance of HVAC system controls per C403.2.4.
6. Provide energy efficiency information for all the proposed HVAC equipment. Verify the selected units comply with the minimum requirement per C403.2.3 and the applicable Table from C403.2.3(1) thru (9).
7. Specify insulation materials, R-values, sizes, etc. for the new ductwork per C403.2.9 and for the new piping C403.2.10.

Comcheck (if utilized) is to be provided under stamp/seal by the appropriate registered design professional. The COMCHECK inspection checklists are to be completed by the user; "For each requirement, the user certifies that a code requirement will be met and HOW THAT IS DOCUMENTED - where compliance is documented on a separate table, a reference to that table is provided". This means the checklist is to be addressed 100% and plan/specification page locations are provided. Please follow the attached guidelines and provide the letter of review:

Please address the above items in writing and incorporate corrections into the construction documents with clouds. Return this sheet with separate responses or respond inline to the comments above. Materials submitted in response to the above comments shall be signed and sealed by the Maryland registered design professional responsible for the design.

January 08, 2018

Denise Estep
44050 Ashburn Shopping
Ashburn, MD 2017

wrong
address

Re: National Park Seminary, Carpenter shops and servant quarters
2715 Cassedy St, Silver Spring
A/P Number: 725266, 72529 thru 725272, and 725274
4th SUSPENSION LETTER

Dear Sir/Madam:

After review of your corrections from the suspension issued on July 25, 2017, the review of your building permit application for the above referenced project has been suspended for a second time due to noncompliance with the construction and building safety codes adopted and enforced by Montgomery County.

The application has been suspended for the following disciplines:

* Architectural (including Accessibility)	<input type="checkbox"/> Structural	<input type="checkbox"/> Mechanical	* Green Building / Energy
* Life Safety / Fire Code	<input type="checkbox"/> Smoke Control	<input type="checkbox"/> Electrical	

Please provide the necessary corrections to the items indicated on the enclosed list(s). Corrections shall be submitted to our office no later than **February 5th, 2018**.

If any drawings for the permit(s) identified above are corrected, your corrected submittal must include two sets of drawings. You must collate any corrected sheets into the original sets of drawings. (Please note that DPS staff will not collate corrected drawings into the permit sets.)

In addition to the corrected drawings, a Certification of Modified Drawings, completed by the design team, shall be provided such that design and corrections are coordinated by the design professionals. A blank Certification of Corrected Drawings is also enclosed.

It is the policy of the Department that a building permit application may not be suspended more than two times. It is imperative that you satisfactorily correct all items on the enclosed list by the date specified. Failure to meet this deadline will result in removal of this application from our system, requiring reapplication for permit. If you are required to reapply, a new application for your project must be submitted (including a new filing fee) and it will be reviewed as a new application (i.e. no previous approvals will carry forward to the new application).

If you have questions concerning the correction list, please contact me at 240-777-6234.

Sincerely,

Ye Jiang
Permitting Services Specialist

725266- - - -



**Montgomery County Department of Permitting Services
Structural Review Condition of Permit**

Project:	Carpenter Shop Servant Quarters	December 4, 2017
Address:	2715-2717-2719-2721-2723-2725 Cassedy St. Silver Spring MD 20910	
A/P #:	725266-725269-725270-725271-725272-725274	
	Condition of Permit: Application approval is based on the response letter provided by OHI Engineering Group PLLC dated October 2, 2017. Separate permit or revision to original permit is required for underpinning. Underpinning shall be designed by a specialty engineer registered in the State of Maryland. A signed and sealed copy of the underpinning work reviewed and approved by the structural engineer of record shall be submitted to County to obtain approval for underpinning work.	



Montgomery County Department of Permitting Services
~~PK~~ Structural Review Condition of Permit

Project:	Carpenter Shop Servant Quarters	December 4, 2017	
Address:	2715-2717-2719-2721-2723-2725 Cassedy St. Silver Spring MD 20910		
A/P #:	725266-725269-725270-725271-725272-725274		
	Condition of Permit: Application approval is based on the response letter provided by OHI Engineering Group PLLC dated October 2, 2017. Separate permit or revision to original permit is required for underpinning. Underpinning shall be designed by a specialty engineer registered in the State of Maryland. A signed and sealed copy of the underpinning work reviewed and approved by the structural engineer of record shall be submitted to County to obtain approval for underpinning work.		

725266-----



Ohi Engineering Group, PLLC

1025 Thomas Jefferson Street, NW, Suite 420 East | Washington, DC 20007 | 703.401.5632 | 703.401.5672 | 202.498.5588

October 02, 2017

Project: Carpenter Shop Servant Quarters
Address: 2715-2717-2719-2721-2723-2725 Cassedy St.
Silver Spring MD 20910
A/P #: 725266-725269-725270-725271-725272-725274

MONTGOMERY COUNTY
APPROVED AS NOTED
DIV. OF BUILDING CONSTRUCTION

To Whom It May Concern:

The following are responses to structural review comments by Dielo First P.E. reviewer for Montgomery County. Please note that some of the comments were resolved during a meeting at the county on August 21st 2017 and are noted as responded.

725206----

1. Responded
2. See previous comment, Drawing A15, A16 and A17 still shows information not matching with each other. SER shall provide response in writing **detailing how the comment has been addressed.**

Previous comment: Drawing 15, section 1 shows that the existing slab on grade will be lowered 2 ft at carpenter shop but the drawing A16 section 1 shows will be lowered 3", in both cases detail 2/A16 is not applicable top of slab elevation will not be same if the existing slab is lowered. Verify existing and proposed slab on grade elevations. Underpinning locations, sequence of underpinning detail /construction shall be shown on plan. Section 2/A15, shows a new footing below the existing wall, verify how the footing can be installed. Structural engineer of record shall sign and sealed any structural details shown on architectural drawings such as underpinning detail, 1/A15, 3/A16 etc. Responses to structural comments shall be provided by structural engineer of record with a letter head. Drawing S6 underpinning note shall provide maximum sequence width length at a time, also where the soil bearing capacity of 4000 psf is obtained. Building footings were designed for 1500 psf and SER recommends 4000 psf for underpinning design. SER to provide all responses.

Previous comment; since the elevation will be lowered at certain parts the Provide sections and details for the proposed structural work. See drawings A15, A16, A17, and A18. Based on the drawings existing slab on grade will be removed and new slab on grade will be placed at a lower elevation. This will be required underpinning. All special condition shall be detailed in the structural drawings and reference locations shall be shown on plans. Provide notes for underpinning. New footing is shown on drawing A15 please justify how the new footing fill be placed. Is this underpinning or new footing? If it is new footing EOR provide a sequence of construction for the installation of new footing. Structural details shall be shown on structural drawings. **Separate permit is required for underpinning.**

#2 RESPONSE:

- A) Please see sheet S1, the three existing buildings are separate and there is no direct path of travel between the building A, B or C. One must exit one building to enter another. The existing slab elevations are noted on sheet S1 and the new elevations noted on sheet S7.
- B) The underpinning sheet , S6 has been updated to show the underpinning of the walls and columns.

- C) The maximum sequence width and length is noted on S6, "UNDERPINNING NOTES (SEE S12 FOR FULL NOTES)" and "SEQUENCE OF FOOTING WORK".
- D) The soil bearing capacity is 3,000 psf, updated under "UNDERPINNING NOTES (SEE S12 FOR FULL NOTES)".
- E) DRAWING 2/S6.1 indicates an existing concrete footing that is 2'-6" below the existing slab, the new slab is underpinned 9" lower, and within the extent of the existing concrete footing.

3. See previous comment, no details, no reinforcing are provided by structural engineer of record.

Previous comment; Provide slab on grade note and show all required details control/construction joints etc. Provide reinforcing for the new slab on grade.

#3 RESPONSE:

B) On sheet S6, the Drawing 1/S6.1 is referenced and notes "REINFORCED CONCRETE SLAB OVER CONTINUOUS VAPOR BARRIER SEALED AT SLAB PERIMETER AND SLAB WITH 6 X 6 X W20 WITH PENETRATIONS ON ALL CONTINUOUS RIGID INSULATION OVER COMPACTED GROUND FILL OR EQUAL. SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION".

4. See previous comment, comments response not completed and no detailed explanation is provided. Detail shown on 10.3 does not provide any connection type and size between two bSER shall provide response in writing explaining the intend of detail shown. Provide temporary showing note on plan and under structural notes.

Drawing S6, indicates new posts and footings to be located under first floor. Section 3/S7 shows that the posts are pipe but the plan indicates the posts will be tube steel. Verify? Verify and provide only the applicable drawing.

Previous comment: Engineer response indicates masonry walls shown to be demolished are bearing walls. If the bearing walls are demolished verify how the existing framing members are connected to new W12 beams at first floor. Existing W8 beams are shown continues. Provide section. Section 3 base plate layout still shows pipe column.

#4 RESPONSE:

725206----

A) Detail shown on A10.3 revised to indicate connection between new W8 x 10 and New W12 x 14 to be 1/2" bolts @ 24" O.C.

B) Shoring & demolition notes on sheet S12 under Shoring and Demolition.

5. See previous comment; Weld size still does not meet the minimum weld requirement specified by AISC 14TH Edition, Part 16 Specification and Codes, Chapter J part J2.2.

Previous comment: Complete section 3/S7. Anchor bolts types and embedment length, footing thickness and dimensions shall be shown. Verify the 1/8" welding shown on drawings. Posts are shown to be 4x4x1/4". Verify maximum size of fillet weld as per Provide base plate layout showing all anchor location.

#5 RESPONSE: Resolved at Monday August 21 meeting at DPS.

6. **Still not coordinated SER shows wall footing to be 24x48. Verify and indicate each new footing as new on plan.** Provide size of footings shown at the perimeter of building C.

#6 RESPONSE:

B) New wall footings at perimeter of building A and C noted on S6 as 24" wide x 33" long x 12" deep, and at drawing 1/S6.1

7. **All structural details shall be signed and sealed by the structural engineer of record.**

Provide detail for new concrete slab on grade placement at building A. Provide reference sections.

#7 RESPONSE: Resolved at Monday August 21 meeting at DPS , structural details previously shown on A15, A16, and A17 moved to sheets S6.1 & S7.1.

8. **Where it is provided. SER to provide a response letter detailing how each comment has been addressed.**

See previous comment, Description of the existing structural framing (steel/concrete/deck etc.) shall be shown on plan notes. No sections are provided. Provide structural section related to proposed works.

Previous comment: Provide information for existing floor framing type/reinforcing etc., basement walls, bearing wall types. Basement wall existing condition drawing S1 indicates exterior bearing wall at the south side of building A and C will remain but the new proposed condition shows new masonry solid walls. Justify. Provide structural sections. Is the masonry wall starts at this level or above? Verify.

#8 RESPONSE: See clouded plan notes and keyed notes on S1, S2 and S3 for existing structure information.

9. **SER See previous comment; detail shown on 4/A16 does not match with the detail shown on section 3/S7. Provide correct section. Neither the response nor the sections provide sufficient information to previous comment. Section 3/A16 does not show any connection detail between the W18 and wood runner or steel to steel. Provide all requested sections and details. Weld size still does not meet the minimum weld requirement specified by AISC 14TH Edition, Part 16 Specification and Codes, Chapter J part J2.2. What is the mounting plate shown on detail 3/A16 is for and mounting to what type of wall?**

Previous comment: On drawing S1; portion of existing bearing wall of building B is shown to be removed and on drawing S7/S6 it is shown to be combined with building A. Provide section how the existing framing will be supported? Provide structural sections. A16/1 shows concrete slab if the masonry wall is removed there is no Support for the concrete exiting slab. What is the existing slab thickness? How the 4x4 posts will be attached to the existing slab? How the 4x4 posts at the other side shown sitting on slab on grade will be connected. Provide all sections and complete details. Verify what is the dash line overlapping with footing on section 2/A16? How the new footing will be placed adjacent to the existing wall? Section shall be completed. Verify dowel lengths and embedment for the extension of slab on grade. Verify existing slab on grade size.

#5 RESPONSE:

A) The details previously shown on A15, A16 and A 17 were moved to sheets S6.1 & S7.1

B) The section marker between building A & B, shown on sheets S6, S7, S8 reference detail 3/S7.1 and 4/S7.1.

C) The detail between the W18 and the wood runner is noted on 1/S7.1 as " ½" adhesive anchor @ 16" o.c. staggered embed 4", 2" min from slab edge"

D) Weld size discussed and resolved at Monday August 21 meeting at DPS

- 10. See previous comment; Joists are higher than the support beam, verify how the joist hanger will be connected, show hanger type and joist end reaction.**

Previous Comment; Detail 3/A16; New steel beam size shall be shown on drawing. Provide section showing the attachment of beam to post. Show hanger type on section for lumbers.

#10 RESPONSE: detail 3/A16 relocated to 1/S7.1 , see joist hanger notes on S12 under "WOOD" AND "JOIST HANGER NOTES"

- 11. Responded.** There is a note on drawing S6/S7 stating repair column footings as required. Where is the detail for repair? Provide typical details for applicable sections.

- 12. See previous comment; new sections shown on drawing S9; Weld size still does not meet the minimum weld requirement specified by AISC 14TH Edition, Part 16 Specification and Codes, Chapter J part J2.2. What is the mounting plate shown on detail 3/A16 is for and mounting to what type of wall? No sections are shown for LVL attachments. No description is provided for existing slab construction. Note indicates beam around new opening in concrete. Show sections providing sequencing and slab cut along with the installation of beams around opening. No dry pack is shown below between the new beam flange and the existing slab. Verify.**

Previous comment: S9; where the new stair opening is located provide sections. Verify attachment of the remaining existing members. Plan shall indicate what is existing and what is new. Provide sections to show the attachment of the new LVL at each end and the new lumber to new LVL connections.

#12 RESPONSE: Resolved at Monday August 21 meeting at DPS

- 13. Same comment applies.** Structural drawings are not complete. All sections related to the scope of work shall be provided in detail.

#13 RESPONSE: additional details added and existing structural plans clarified throughout.

- 14. No section is provided.** On drawing S7 new W8x13 headers are shown for the new window openings. Provide sections to show attachment and installation of the new headers.

#14 RESPONSE: Drawing 4/S7 indicates "NEW 28 X 13 HDR, GROUTED SOLID, MIN 3" BERING INTO ADJACENT MASONRY WALL FOR EACH 4" OF MASONRY WALL THICKNESS PROIVDE (1) W8 X13 HDR" See sheet S12, Masonry, A1 for additional information

- 15. Show section for lintels supporting bearing walls. Verify lintel schedule shown on drawing S12 covers lintels supporting opening at bearing walls.**

Previous comment; Provide lintel/header schedule for all conditions under structural notes.

#15 RESPONSE: See Sheet S12, Masonry, A1 for lintel schedule, and 4/S7 for detail

- 16. New infill balcony is shown on first floor which is an elevated slab. Detail provided on S8 is for slab on grade extension. Verify balcony infill is on grade or at elevated level.**

Drawing A6 shows new infill balcony for building C. Show on structural plan and provide sections.

3/10 RESPONSE: Resolved at Monday August 21 meeting at DPE

- 17. Same comment applies.** Unless all related sections are shown the structural review cannot be completed for second and third floors. All additional new members shall be clearly shown their end connections to column or existing /new masonry wall shall be provided. At each floor level provide floor notes indicating existing framing construction type, thickness etc.

RESPONSE #17: additional details added and existing structural plans clarified throughout.

- 18. No section is provided.** Drawing S9; provide section between building A and B show connections between new 2x12's to wall or LVL.

RESPONSE #18: On Sheet S9, a section marker referencing 3/s7.1 shows the new 2x12's connection at 1st floor and roof by: "(2) 2 x 12 LEDGER BOARD WITH (2) 3/8" DIA GALV BOLTS AT 16" O.C. STAGGERED, EPOXY GROUTED TO EXISTING MASONRY WALL"

- 19. See previous comments provided sections do not provide sufficient information for existing condition and proposed work. See comment 12.** Second floor level plan new 12x14 wide flange beams are shown to be installed at the edge of openings. Provide sections show installation of the beams. Provide notes indicating the sequence for the slab cuts. W12x14 beams are shown to be supported by W12 x19 beams no section is provided. Also it is shown that the w12X14 beams are connected to existing lintel. How? The lintel elevation does not match with the floor elevation? Justify at building C. It is also shown at building B and C W12X19 beams will be cantilever over the posts. Provide sections for the beams cantilever over the posts and for beams sits on posts. Sections shall clearly indicate the conditions reference to the existing slab construction and elevation. Same comments are also applies to 3rd floor level.

RESPONSE #18:

A) Drawing 3/S10.3, AND 2/S10.3 -Plan updated to show existing and new structural conditions. See S12 under "Shoring and Demolition" for shoring notes associated with slab cuts.

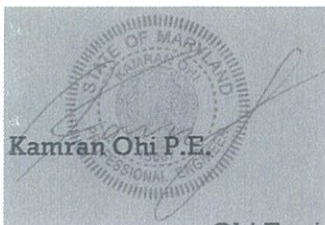
B) Drawings 3/S10.3 AND 2/S10.3 Indicate " new 212 x 19 at first floor and existing beam at 2nd and 3rd. Per drawing 3/S10.3 the new W12 x 14 and the new W12 x 19 are at same elevation and connected via the steel plate and bolted connection as indicated on 3/S10.

- 20. Responded.** Coordinate all mechanical/plumbing unit locations and weights.

- 21. Engineer response reads as "See attached letter" There is no attached letter.** Verify in writing as a signed and sealed letter that the existing floor construction is adequate to support proposed design live loads. No repair or strengthening is required other than the beams shown on drawings around the stairs.

- 22. A0 is an architectural drawing. See previous note and provide general inspection notes under structural general notes.**

RESPONSE #22: General inspection note added to S12.



Firat, Dicle

To: 'deniseestep@comcast.net'; Nathan Saucier
Cc: Nadjmabadi, Said; Toussaint, Anthony; Shanks, Matthew; delaPuente, Mariano
Subject: RE: RE:AP-725266-725269-725270-725271-725272-725274-Carpenter Shop Servant Quarters/FOURTH REVIEW
Attachments: AP-725266-725269-725270-725271-725272-725274-Carpenter Shop Servant Quarters-STR_Third Susp List-072017.doc

Dear Sir/Madam;

This office has received the corrections for the above mentioned project for the fourth time and the review comments have not been answered as requested. Third review comments were sent out on July 20, 2017 and no response letter is provided for the third suspension comments detailing how each comment has been addressed. Comment response letter shall be provided by SER in writing and provide detail responses as stated in suspension comment list. Therefore, the application is suspended for structural.

We are re-attaching the third review comments (From July 20, 2017) again for your information. Please address each comments in your response letter.

If you have questions concerning the correction list, please contact me at 240-777-6235

Sincerely,

Dicle Firat, P.E.
Senior Permitting Services Specialist
Montgomery County Department of Permitting Services
255 Rockville Pike, Rockville MD 20850
240-777-6235
[Department of Permitting Services](#)
Dicle.Firat@montgomerycountymd.gov

From: Firat, Dicle

Sent: Thursday, July 20, 2017 1:12 PM

To: 'deniseestep@comcast.net' <deniseestep@comcast.net>

Cc: Nadjmabadi, Said <Said.Nadjmabadi@montgomerycountymd.gov>; Toussaint, Anthony <Anthony.Toussaint@montgomerycountymd.gov>; Shanks, Matthew <Matthew.Shanks@montgomerycountymd.gov>; Maddox, Crystal <Crystal.Maddox@montgomerycountymd.gov>; delaPuente, Mariano <Mariano.delaPuente@montgomerycountymd.gov>

Subject: RE: RE:AP-725266-725269-725270-725271-725272-725274-Carpenter Shop Servant Quarters/THIRD AND FINAL REVIEW

Dear Sir/Madam;

This office has received the corrections for the above mentioned project for the THIRD time and the review comments have not been answered as requested. Please submit the corrections to our office no later than **August 4, 2017**. Failure to meet this deadline will result in removal of this application from our system requiring re-application of permit. If you are required to reapply, a new application for your project must be submitted (including a new filing fee) and it will be reviewed as a new application (i.e. no previous approvals will carry forward to the new application).

We are attaching the third review comments for your information.

Sincerely,

Dicle Firat, P.E.
Senior Permitting Services Specialist
Montgomery County Department of Permitting Services
255 Rockville Pike, Rockville MD 20850
240-777-6235
Department of Permitting Services
Dicle.Firat@montgomerycountymd.gov



**Montgomery County Department of Permitting Services
Third Structural Review Comments**

Project:	Carpenter Shop Servant Quarters	Date:	July 20, 2017
Address:	2715-2717-2719-2721-2723-2725 Cassedy St. Silver Spring MD 20910	Reviewer:	Dicle Firat, P.E.
A/P #:	725266-725269-725270-725271-725272-725274-THIRD	Phone:	240-777-6235
Code(s):	International Building Code (IBC) – 2012 Edition Referenced Standards: (See chapter 35 of IBC 2012)	Fax:	240-777-6258

- **Provide a response letter detailing how each comment has been addressed. Comment responses shall be provided by SER in writing and all structural details shall be signed and sealed by SER. Responses to comments are not sufficient and not provides detailed responses other than referring to drawings. All comments shall be responded in writing addressing the solutions and providing exact location of each response by structural engineer of record.**
- **Address comments by incorporating them into revised submission.**
- **Cloud all changes.**

1. Responded
2. See previous comment, Drawing A15, A16 and A17 still shows information not matching with each other. SER shall provide response in writing **detailing how the comment has been addressed.**

Previous comment: Drawing 15, section 1 shows that the existing slab on grade will be lowered 2 ft at carpenter shop but the drawing A16 section 1 shows will be lowered 3", in both cases detail 2/A16 is not applicable top of slab elevation will not be same if the existing slab is lowered. Verify existing and proposed slab on grade elevations. Underpinning locations, sequence of underpinning detail /construction shall be shown on plan. Section 2/A15, shows a new footing below the existing wall, verify how the footing can be installed. Structural engineer of record shall signed and sealed any structural details shown on architectural drawings such as underpinning detail, 1/A15, 3/A16 etc. Responses to structural comments shall be provided by structural engineer of record with a letter head. Drawing S6 underpinning note shall provide maximum sequence width length at a time, also where the soil bearing capacity of 4000 psf is obtained. Building footings were designed for 1500 psf and SER recommends 4000 psf for underpinning design. SER to provide all responses.

Previous comment; Since the elevation will be lowered at certain part the Provide sections and details for the proposed structural work. See drawings A15, A16, A17, A18. Based on the drawings existing slab on grade will be removed and new slab on grade will be placed at a lower elevation. This will be required underpinning. All special condition shall be detailed in the structural drawings and reference locations shall be shown on plans. Provide notes for underpinning. New footing is shown on drawing A15 please justify how the new footing fill be placed. Is this underpinning or new footing? If it is new footing EOR provide a sequence of construction for the installation of new footing. Structural details shall be shown on structural drawings. **Separate permit is required for underpinning.**

3. See previous comment, no details, no reinforcing are provided **by** structural engineer of record.

Previous comment; Provide slab on grade note and show all required details control/construction joints etc. Provide reinforcing for the new slab on grade.

4. See previous comment, comments response not completed and no detailed explanation is provided. Detail shown on 10.3 not provide any connection type and size between two beams. SER shall provide response in

writing explaining the intend of detail shown. Provide temporary showing note on plan and under structural notes.

Drawing S6, indicates new posts and footings to be located under first floor. Section 3/S7 shows that the posts are pipe but the plan indicates the posts will be tube steel. Verify? Verify and provide only the applicable drawing.

Previous comment: Engineer response indicates masonry walls shown to be demolished are bearing walls. If the bearing walls are demolished verify how the existing framing members are connected to new W12 beams at first floor. Existing W8 beams are shown continues. Provide section. Section 3 base plate layout still shows pipe column.

5. See previous comment; Weld size still does not meet the minimum weld requirement specified by **AISC 14TH Edition, Part 16 Specification and Codes, Chapter J part J2.2.**

Previous comment: Complete section 3/S7. Anchor bolts types and embedment length, footing thickness and dimensions shall be shown. Verify the 1/8" welding shown on drawings. Posts are shown to be 4x4x1/4". Verify maximum size of fillet weld as per Provide base plate layout showing all anchor location.

6. Still not coordinated SER shows wall footing to be 24x48. Verify and indicate each new footing as new on plan. Provide size of footings shown at the perimeter of building C.
7. All structural details shall be signed and sealed by the structural engineer of record.

Provide detail for new concrete slab on grade placement at building A. Provide reference sections.

- 8- Where it is provided. SER to **provide a response letter detailing how each comment has been addressed.** See previous comment; Description of the existing structural framing (Steel/concrete/deck etc.) shall be shown on plan notes. No sections are provided. Provide structural section related to proposed works.

Previous comment: Provide information for existing floor framing type/reinforcing etc., basement walls, bearing wall types. Basement wall existing condition drawing S1 indicates exterior bearing wall at the south side of building A and C will remain but the new proposed condition shows new masonry solid walls. Justify. Provide structural sections. Is the masonry wall starts at this level or above? Verify.

- 9- SER See previous comment; detail shown on 4/A16 does not match with the detail shown on section 3/S7. Provide correct section. Neither the response nor the sections provide sufficient information to previous comment. Section 3/A16 does not show any connection detail between the W18 and wood runner or steel to steel. Provide all requested sections and details. Weld size still does not meet the minimum weld requirement specified by **AISC 14TH Edition, Part 16 Specification and Codes, Chapter J part J2.2. What is the mounting plate shown on detail 3/A16 is for and mounting to what type of wall?**

Previous comment: On drawing S1; portion of existing bearing wall of building B is shown to be removed and on drawing S7/S6 it is shown to be combined with building A. Provide section how the existing framing will be supported? Provide structural sections. A16/1 shows concrete slab if the masonry wall is removed there is no Support for the concrete exiting slab. What is the existing slab thickness? How the 4x4 posts will be attached to the existing slab? How the 4x4 posts at the other side shown sitting on slab on grade will be connected. Provide all sections and complete details. Verify what is the dash line overlapping with footing on section 2/A16? How the new footing will placed adjacent to the existing wall? Section shall be completed. Verify dowel lengths and embedment for the extension of slab on grade. Verify existing slab on grade size.

- 10- See previous comment; Joists are higher than the support beam, verify how the joist hanger will be connected, show hanger type and joist end reaction.

Previous Comment; Detail 3/A16; New steel beam size shall be shown on drawing. Provide section showing the attachment of beam to post. Show hanger type on section for lumbers.

11- **Responded.** There is a note on drawing S6/S7 stating repair column footings as required. Where is the detail for repair? Provide typical details for applicable sections.

12- See previous comment; New sections shown on drawing S9; Weld size still does not meet the minimum weld requirement specified by AISC 14TH Edition, Part 16 Specification and Codes, Chapter J part J2.2. What is the mounting plate shown on detail 3/A16 is for and mounting to what type of wall? No sections are shown for LVL attachments. No description is provided for existing slab construction. Note indicates beam around new opening in concrete. Show sections providing sequencing and slab cut along with the installation of beams around opening. No dry pack is shown below between the new beam flange and the existing slab. Verify.

Previous comment: S9; where the new stair opening is located provide sections. Verify attachment of the remaining existing members. Plan shall indicate what is existing and what is new. Provide sections to show the attachment of the new LVL at each end and the new lumber to new LVL connections.

13- **Same comment applies.** Structural drawings are not complete. All sections related to the scope of work shall be provided in detail.

14- **No section is provided.** On drawing S7 new W8x13 headers are shown for the new window openings. Provide sections to show attachment and installation of the new headers.

15- **Show section for lintels supporting bearing walls. Verify lintel schedule shown on drawing S12 covers lintels supporting opening at bearing walls.**

Previous comment; Provide lintel/header schedule for all conditions under structural notes.

16- **New infill balcony is shown on first floor which is an elevated slab. Detail provided on S8 is for slab on grade extension. Verify balcony infill is on grade or at elevated level.**

Drawing A6 shows new infill balcony for building C. Show on structural plan and provide sections.

17- **Same comment applies.** Unless all related sections are shown the structural review cannot be completed for second and third floors. All additional new members shall be clearly shown their end connections to column or existing /new masonry wall shall be provided. At each floor level provide floor notes indicating existing framing construction type, thickness etc.

18- **No section is provided.** Drawing S9; provide section between building A and B show connections between new 2x12's to wall or LVL.

19- **See previous comments provided sections do not provide sufficient information for existing condition and proposed work. See comment 12.** Second floor level plan new 12x14 wide flange beams are shown to be installed at the edge of openings. Provide sections show installation of the beams. Provide notes indicating the sequence for the slab cuts. W12x14 beams are shown to be supported by W12 x19 beams no section is provided. Also it is shown that the w12X14 beams are connected to existing lintel. How? The lintel elevation does not match with the floor elevation? Justify at building C. It is also shown at building B and C W12X19 beams will be cantilever over the posts. Provide sections for the beams cantilever over the posts and for beams sits on posts. Sections shall clearly indicate the conditions reference to the existing slab construction and elevation. Same comments are also applies to 3rd floor level.

20- Responded. Coordinate all mechanical/plumbing unit locations and weights.

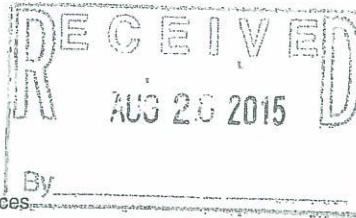
21- **Engineer response reads as "See attached letter" There is no attached letter.** Verify in writing as a signed and sealed letter that the existing floor construction is adequate to support proposed design live loads. No repair or strengthening is required other than the beams shown on drawings around the stairs.

22- A0 is an architectural drawing. See previous note and provide general inspection notes under structural general notes.

Please address the above items in writing and incorporate corrections into the construction documents with clouds. Return this sheet with separate responses or respond inline to the comments above. Materials submitted in response to the above comments shall be signed and sealed by the Maryland registered design professional responsible for the design.



Department of Permitting Services
 Division of Building Construction
 255 Rockville Pike, 2nd Floor
 Rockville, MD 20850-4166
 Phone: 311 in Montgomery County or (240) 777-0311
 Fax (240)-777-6262
 http://www.montgomerycountymd.gov/permittingservices



Blay #2
DPS

Application for Commercial Building Permit

725266

Sediment Control # _____
 U & O # _____

Building AP#(s) _____
 Demolition # _____

B. Purpose: (check all that apply)

DESCRIPTION OF WORK:

- ADDITION
- ALTERATION
- CONSTRUCT
- DEMOLISH
- MOVE
- FOUNDATION ONLY
- RESTORE and/or REPAIR
- CHANGE OF USE
- DAMAGE REPORT
- GREEN BUILDING

Gross Sq. Ft. of Area Created or Affected by this Action: 810

Disturbed Land Area: 0

Estimated Project Cost: \$ 125,000

RATING

- Certified 26-32 points
- Silver 33-38 points
- Gold 39-51 points
- Platinum 52-69 points
- Other (please specify) _____

USE OF BUILDING OR SPACE:

- | | |
|---|---|
| <input type="checkbox"/> ASSEMBLY | <input type="checkbox"/> BANK |
| <input type="checkbox"/> BIOSCIENCE | <input type="checkbox"/> BUSINESS OFFICES |
| <input type="checkbox"/> BOARDING HOUSE | <input type="checkbox"/> DAY CARE FACILITY |
| <input type="checkbox"/> EDUCATIONAL | <input type="checkbox"/> FENCE* |
| <input type="checkbox"/> GARAGE | <input type="checkbox"/> HOSPITAL |
| <input type="checkbox"/> HOTEL | <input type="checkbox"/> INDUSTRIAL |
| <input type="checkbox"/> INSTITUTION | <input type="checkbox"/> MERCANTILE |
| <input type="checkbox"/> MULTI-FAMILY SENIOR ** | <input checked="" type="checkbox"/> MULTI-FAMILY ** |
| **Note # OF UNITS _____ | |
| <input type="checkbox"/> PLACE OF WORSHIP | <input type="checkbox"/> POOL ABOVE GROUND |
| <input type="checkbox"/> RESTAURANT | <input type="checkbox"/> RETAINING WALL* |
| <input type="checkbox"/> POOL IN GROUND | <input type="checkbox"/> POST OFFICE |
| <input type="checkbox"/> STORAGE | <input type="checkbox"/> THEATER |
| <input type="checkbox"/> TRAILER** | <input type="checkbox"/> MODULAR BUILDING*** |
| <input type="checkbox"/> OTHER USE: _____ | |

*IF BUILDING A FENCE OR RETAINING WALL (A signed approval letter from the adjacent lot owner's is required)

HEIGHT _____ ft. _____ ins

- Located entirely on the land of the owner
- Public Right of Way/Easement
- Located on the lot line.

MNCPPC Site Plan No. _____
 Preliminary Plan No. _____
 Record Plat No. _____
 Y N Forest Conservation Easement?

*** Manufacture's Name & Model # for all Trailers & Modular Buildings: _____

C. Revision to Original Permit:

REVISION to ORIGINAL PERMIT # _____

(Original permit has been issued and is active)

- STRUCTURAL
- ELECTRICAL
- MECHANICAL
- SITE
- ARCHITECTURAL
- OTHER: _____

D. Building Address:

Street Number 2713 Street Cassedy St City Silver Spring Zip 20910
 Lot(s) _____ Block _____ Subdivision Nat'l Park Seminary
 Floor/Suite # _____ Nearest Cross Street _____

E. Applicant Information:

Contact ID#: 1224523 Fax #: _____ Email: _____

Name of Applicant Avamere Development, LLC Daytime Phone #: _____
 (Permit will be issued to applicant)

Address 44050 Ashburn Shopping Ashburn State MD Zip 20147

F. Point of Contact:

Contact ID#: AC 904438 Fax #: _____ Email: DeniseEstep@comcast.net
 (if other than applicant)
 Contact Person Denise Estep Daytime Phone #: 717-977-1884
 Address 131223 Danville Dr City Greencastle State PA Zip 17225

G. Expedited Plan Review:

I request an Expedited Plan Review, when available, which is subjected to additional fees.

(Applicant's Signature)

Date

(Print Name)

H. Additional Approvals

Properties located within historic districts, municipalities and special taxing districts may require additional approvals beyond the required Department of Permitting Services (DPS) building permit. For projects located in the City of Takoma Park's Commercial Revitalization Overlay, certain permits must be approved by the City prior to commencing construction. Please refer to "Permit Procedures for Properties within a Montgomery County Municipality".

I. Impervious Areas:

Existing Building _____ Sq. Ft. New Building _____ Sq. Ft. Site _____ Sq. Ft.

J. Water and Sewage Information:

TYPE OF WATER SUPPLY WSSC WELL OTHER _____

SEWAGE DISPOSAL WSSC SEPTIC OTHER _____

K. Moderately Priced Dwelling Units:

20% of this development will be built as Moderately Priced Dwelling Units No Yes

L. Impact Tax:

New Buildings and Additions will be assessed an Impact Tax based on the area where built (see Impact Tax guide).
 I will exercise an approved Impact Tax Credit, a copy of which is attached

M. DAP & EDAET Agreements:

Agreement must be attached for new buildings when applicable.

N. Special Exception:

Is this lot subject to a Special Exception? Yes, Case # _____ No

O. Historic Area in Atlas or Master Plan

Is the property a Historic resource? Yes No **HAWP # 685743**

P. Use:

Has this space been occupied before? Yes No

If yes, Previous Use servant quarters Intended Use R2

Q. Demolition: (Answer required for demolition of entire building only)

Is this building over 25 years old? Yes No

R. Authorized Agent Affidavit:

I hereby declare and affirm, under the penalty of perjury, that:

- I am duly authorized to make this permit application on behalf of: Avamere Development
(please print property owner's name)
- The work proposed by this building permit application is authorized by the property owner; and
- All matters and facts set forth in this Affidavit are true and correct to the best of my knowledge, information and belief.

D Estep 08-18-15 D Estep
(Agent's Signature) Date (Print Name)

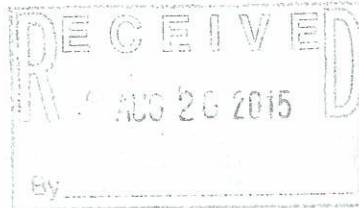
S. To be Read by the Applicant:

Any information that the applicant has set forth in this application that is false or misleading may result in the rejection of the application. A condition for the issuance of this permit is that the proposed construction will comply at all times with the plans as approved by all applicable government agencies. I hereby declare and affirm, under the penalty of perjury, that all matters and facts set forth in the building permit application are true and correct to the best of my knowledge, information and belief.

D Estep 08-18-15 D Estep
(Applicant's Signature) Date (Print Name)



Department of Permitting Services
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DPS

Application for Commercial Building Permit

725269

Sediment Control # _____
 U & O # _____

Building AP#(s) _____
 Demolition # _____

B. Purpose: (check all that apply)**DESCRIPTION OF WORK:**

- ADDITION
- ALTERATION
- CONSTRUCT
- DEMOLISH
- MOVE
- FOUNDATION ONLY
- RESTORE and/or REPAIR
- CHANGE OF USE
- DAMAGE REPORT
- GREEN BUILDING

Gross Sq. Ft. of Area Created or Affected by this Action: 810

Disturbed Land Area: 0

Estimated Project Cost: \$ 125,000

RATING

- Certified 26-32 points
- Silver 33-38 points
- Gold 39-51 points
- Platinum 52-69 points
- Other (please specify) _____

USE OF BUILDING OR SPACE:

- ASSEMBLY
- BIOSCIENCE
- BOARDING HOUSE
- EDUCATIONAL
- GARAGE
- HOTEL
- INSTITUTION
- MULTI-FAMILY SENIOR **
- MULTI-FAMILY **
- PLACE OF WORSHIP
- RESTAURANT
- STORAGE
- TRAILER**
- OTHER USE: _____
- BANK
- BUSINESS OFFICES
- DAY CARE FACILITY
- FENCE*
- HOSPITAL
- INDUSTRIAL
- MERCANTILE
- POOL ABOVE GROUND
- RETAINING WALL*
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- THEATER
- MODULAR BUILDING***

**Note # OF UNITS _____

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 Y N Forest Conservation Easement?

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(Original permit has been issued and is active)

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- SITE
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Lot(s) _____ Block _____ Subdivision _____

Floor/Suite # _____ Nearest Cross Street _____

E. Applicant Information:

Contact ID#: 1224523 Fax #: _____ Email: _____

Name of Applicant Avamere Development, LLC Daytime Phone #: _____
 (Permit will be issued to applicant)

Address 44050 Ashburn shopping City Ashburn State MD Zip 20147

F. Point of Contact:

Contact ID#: AC904438 Fax #: _____ Email: DeniseEstep@comcast.net

If other than applicant
 Contact Person Denise Estep Daytime Phone #: 717-977-1884

Address 131da3 Darnall Dr City Greenastle State PA Zip 17025

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I request an Expedited Plan Review, when available, which is subjected to additional fees.

(Applicant's Signature) _____

Date _____

(Print Name) _____

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K. Moderately Priced Dwelling Units:

20% of this development will be built as Moderately Priced Dwelling Units No Yes

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New Buildings and Additions will be assessed an Impact Tax based on the area where built (see Impact Tax guide).

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Is this lot subject to a Special Exception? Yes, Case # _____ No

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3. All matters and facts set forth in this Affidavit are true and correct to the best of my knowledge, information and belief.

(Agent's Signature) D Estep

Date 08-18-15

(Print Name) D Estep

S. To be Read by the Applicant:

Any information that the applicant has set forth in this application that is false or misleading may result in the rejection of the application. A condition for the issuance of this permit is that the proposed construction will comply at all times with the plans as approved by all applicable government agencies. I hereby declare and affirm, under the penalty of perjury, that all matters and facts set forth in the building permit application are true and correct to the best of my knowledge, information and belief.

(Applicant's Signature) D Estep

Date 08-18-15

(Print Name) D Estep



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Application for Commercial Building Permit

725270

Sediment Control # _____
 U & O # _____

Building AP#(s) _____
 Demolition # _____

B. Purpose: (check all that apply)

DESCRIPTION OF WORK:

- ADDITION
- ALTERATION
- CONSTRUCT
- DEMOLISH
- MOVE
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- RESTAURANT
- POOL IN GROUND
- STORAGE
- TRAILER**
- OTHER USE: _____
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(Original permit has been issued and is active)

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- ELECTRICAL
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- ARCHITECTURAL
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 Lot(s) _____ Block _____ Subdivision _____
 Floor/Suite # _____ Nearest Cross Street _____

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Address 44050 Ashburn shopping Ashburn State MD Zip 20147

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Contact ID#: AC904438 Fax #: _____ Email: DeniseEstep@comcast.net
 (if other than applicant)
 Contact Person Denise Estep Daytime Phone #: 717-977-1884
 Address 13623 Dandelion Dr City Greencastle State PA Zip 17235

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L. Impact Tax:

New Buildings and Additions will be assessed an Impact Tax based on the area where built (see Impact Tax guide).

I will exercise an approved Impact Tax Credit, a copy of which is attached

M. DAP & EDAET Agreements:

Agreement must be attached for new buildings when applicable.

N. Special Exception:

Is this lot subject to a Special Exception? Yes, Case # _____ No

O. Historic Area in Atlas or Master Plan:

Is the property a Historic resource? Yes No NAWP# 685743

P. Use:

Has this space been occupied before? Yes No

If yes, Previous Use servant qtrs Intended Use R-2

Q. Demolition: (Answer required for demolition of entire building only)

Is this building over 25 years old? Yes No

R. Authorized Agent Affidavit:

I hereby declare and affirm, under the penalty of perjury, that:

1. I am duly authorized to make this permit application on behalf of: Avamere Development
(please print property owner's name)

2. The work proposed by this building permit application is authorized by the property owner; and
3. All matters and facts set forth in this Affidavit are true and correct to the best of my knowledge, information and belief.

D Estep 08-18-15 D Estep
(Agent's Signature) Date (Print Name)

S. To be Read by the Applicant:

Any information that the applicant has set forth in this application that is false or misleading may result in the rejection of the application. A condition for the issuance of this permit is that the proposed construction will comply at all times with the plans as approved by all applicable government agencies. I hereby declare and affirm, under the penalty of perjury, that all matters and facts set forth in the building permit application are true and correct to the best of my knowledge, information and belief.

D Estep 08-18-15 D Estep
(Applicant's Signature) Date (Print Name)



Department of Permitting Services
 Division of Building Construction
 255 Rockville Pike, 2nd Floor
 Rockville, MD 20850-4166
 Phone: 311 in Montgomery County or (240) 777-0311
 Fax (240)-777-6262
 http://www.montgomerycountymd.gov/permittingservices

DPS

725271

Application for Commercial Building Permit

Sediment Control # _____
 U & O # _____

Building AP#(s) 7256
 Demolition # _____

B. Purpose: (check all that apply)

DESCRIPTION OF WORK:

- ADDITION
- ALTERATION
- CONSTRUCT
- DEMOLISH
- MOVE
- FOUNDATION ONLY
- RESTORE and/or REPAIR
- CHANGE OF USE
- DAMAGE REPORT
- GREEN BUILDING

Gross Sq. Ft. of Area Created or Affected by this Action: 810

Disturbed Land Area: 0

Estimated Project Cost: \$ 125,000

RATING

- Certified 26-32 points
- Silver 33-38 points
- Gold 39-51 points
- Platinum 52-69 points
- Other (please specify) _____

USE OF BUILDING OR SPACE:

- ASSEMBLY
- BIOSCIENCE
- BOARDING HOUSE
- EDUCATIONAL
- GARAGE
- HOTEL
- INSTITUTION
- MULTI-FAMILY SENIOR **
- MULTI-FAMILY **
- PLACE OF WORSHIP
- RESTAURANT
- POOL IN GROUND
- STORAGE
- TRAILER**
- OTHER USE: _____
- BANK
- BUSINESS OFFICES
- DAY CARE FACILITY
- FENCE*
- HOSPITAL
- INDUSTRIAL
- MERCANTILE
- POOL ABOVE GROUND
- RETAINING WALL*
- POST OFFICE
- THEATER
- MODULAR BUILDING***

* IF BUILDING A FENCE OR RETAINING WALL (A signed approval letter from the adjacent lot owner's is required)

HEIGHT _____ ft. _____ ins

- Located entirely on the land of the owner
- Public Right of Way/Easement
- Located on the lot line.

MNCPPC Site Plan No. _____
 Preliminary Plan No. _____
 Record Plat No. _____
 Y N Forest Conservation Easement?

*** Manufacture's Name & Model # for all Trailers & Modular Buildings: _____

C. Revision to Original Permit:

REVISION to ORIGINAL PERMIT # _____

(Original permit has been issued and is active)

- STRUCTURAL
- ELECTRICAL
- MECHANICAL
- SITE
- ARCHITECTURAL
- OTHER: _____

D. Building Address:

Street Number 2719 Street Cassedy St City Silver Spring Zip 20910
 Lot(s) _____ Block _____ Subdivision _____
 Floor/Suite # _____ Nearest Cross Street _____

E. Applicant Information:

Contact ID#: 1224523 Fax #: _____ Email: _____

Name of Applicant Avamere Development, LLC Daytime Phone #: _____
 (Permit will be issued to applicant)

Address 44050 Ashburn shopping Ashburn State MD Zip 20147

F. Point of Contact:

Contact ID#: AC904438 Fax #: _____ Email: DeniseEstep@comcast.net
 (If other than applicant)
 Contact Person Denise Estep Daytime Phone #: 717-977-1884
 Address 13123 Dandelion Dr City Greencastle State PA Zip 17225

G. Expedited Plan Review:

I request an Expedited Plan Review, when available, which is subjected to additional fees.

(Applicant's Signature) _____

Date _____

(Print Name) _____

H. Additional Approvals

Properties located within historic districts, municipalities and special taxing districts may require additional approvals beyond the required Department of Permitting Services (DPS) building permit. For projects located in the City of Takoma Park's Commercial Revitalization Overlay, certain permits must be approved by the City prior to commencing construction. Please refer to "Permit Procedures for Properties within a Montgomery County Municipality".

I. Impervious Areas:

Existing Building _____ Sq. Ft. New Building _____ Sq. Ft. Site _____ Sq. Ft.

J. Water and Sewage Information:

TYPE OF WATER SUPPLY WSSC WELL OTHER _____

SEWAGE DISPOSAL WSSC SEPTIC OTHER _____

K. Moderately Priced Dwelling Units:

20% of this development will be built as Moderately Priced Dwelling Units No Yes

L. Impact Tax:

New Buildings and Additions will be assessed an Impact Tax based on the area where built (see Impact Tax guide).
 I will exercise an approved Impact Tax Credit, a copy of which is attached

M. DAP & EDAET Agreements:

Agreement must be attached for new buildings when applicable.

N. Special Exception:

Is this lot subject to a Special Exception? Yes, Case # _____ No

O. Historic Area in Atlas or Master Plan

Is the property a Historic resource? Yes No NAWP# 685743

P. Use:

Has this space been occupied before? Yes No

If yes, Previous Use Servant Qtrs Intended Use R2

Q. Demolition: (Answer required for demolition of entire building only)

Is this building over 25 years old? Yes No

R. Authorized Agent Affidavit:

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(please print property owner's name)

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D Estep 08-18-15 D Estep
(Agent's Signature) Date (Print Name)

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D Estep 08-18-15 D Estep
(Applicant's Signature) Date (Print Name)



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 http://www.montgomerycountymd.gov/permittingervices

DPS

Application for Commercial Building Permit

225272

Sediment Control # _____
 U & O # _____

Building AP#(s) _____
 Demolition # _____

B. Purpose: (check all that apply)

DESCRIPTION OF WORK:

- ADDITION
- ALTERATION
- CONSTRUCT
- DEMOLISH
- MOVE
- FOUNDATION ONLY
- RESTORE and/or REPAIR
- CHANGE OF USE
- DAMAGE REPORT
- GREEN BUILDING

Gross Sq. Ft. of Area Created or Affected by this Action: 810
 Disturbed Land Area: Ø
 Estimated Project Cost: \$ 125,000

RATING

- Certified 26-32 points
- Silver 33-38 points
- Gold 39-51 points
- Platinum 52-69 points
- Other (please specify) _____

USE OF BUILDING OR SPACE:

- ASSEMBLY
- BIOSCIENCE
- BOARDING HOUSE
- EDUCATIONAL
- GARAGE
- HOTEL
- INSTITUTION
- MULTI-FAMILY SENIOR **
- MULTI-FAMILY **
- PLACE OF WORSHIP
- RESTAURANT
- POOL IN GROUND
- STORAGE
- TRAILER**
- OTHER USE: _____
- BANK
- BUSINESS OFFICES
- DAY CARE FACILITY
- FENCE*
- HOSPITAL
- INDUSTRIAL
- MERCANTILE
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- RETAINING WALL*
- POST OFFICE
- THEATER
- MODULAR BUILDING***

* IF BUILDING A FENCE OR RETAINING WALL (A signed approval letter from the adjacent lot owner's is required)

HEIGHT _____ ft. _____ ins
 Located entirely on the land of the owner
 Public Right of Way/Easement
 Located on the lot line.

MNCPPC Site Plan No. _____
 Preliminary Plan No. _____
 Record Plat No. _____
 Y N Forest Conservation Easement?

*** Manufacture's Name & Model # for all Trailers & Modular Buildings: _____

C. Revision to Original Permit:

REVISION to ORIGINAL PERMIT # _____
 (Original permit has been issued and is active)
 STRUCTURAL ELECTRICAL MECHANICAL SITE ARCHITECTUAL OTHER: _____

D. Building Address:

Street Number 2721 Street Cassedy St City Silver Spring Zip 20910
 Lot(s) _____ Block _____ Subdivision _____
 Floor/Suite # _____ Nearest Cross Street _____

E. Applicant Information:

Contact ID#: 1224523 Fax #: _____ Email: _____
 Name of Applicant Avanere Development, LLC Daytime Phone #: _____
 (Permit will be issued to applicant)
 Address 44050 Ashburn shopping City Ashburn State MD Zip 20147

F. Point of Contact:

Contact ID#: AC904438 Fax #: _____ Email: DeniseEstep@comcast.net
 (other than applicant)
 Contact Person Denise Estep Daytime Phone #: 717-977-1884
 Address 13123 Danford Dr City Greencastle State PA Zip 17035

G. Expedited Plan Review:

I request an Expedited Plan Review, when available, which is subjected to additional fees.

(Applicant's Signature) _____

Date _____

(Print Name) _____

H. Additional Approvals

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I. Impervious Areas:

Existing Building _____ Sq. Ft. New Building _____ Sq. Ft. Site _____ Sq. Ft.

J. Water and Sewage Information:

TYPE OF WATER SUPPLY WSSC WELL OTHER _____

SEWAGE DISPOSAL WSSC SEPTIC OTHER _____

K. Moderately Priced Dwelling Units:

20% of this development will be built as Moderately Priced Dwelling Units No Yes

L. Impact Tax:

New Buildings and Additions will be assessed an Impact Tax based on the area where built (see Impact Tax guide).
 I will exercise an approved Impact Tax Credit, a copy of which is attached

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Agreement must be attached for new buildings when applicable.

N. Special Exception:

Is this lot subject to a Special Exception? Yes, Case # _____ No

O. Historic Area in Atlas or Master Plan

Is the property a Historic resource? Yes No HAWP # 685743

P. Use:

Has this space been occupied before? Yes No

If yes, Previous Use _____ Intended Use _____

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DPS

Application for Commercial Building Permit

725279

Sediment Control # _____
 U & O # _____

Building AP#(s) _____
 Demolition # _____

B. Purpose: (check all that apply)

DESCRIPTION OF WORK:

- ADDITION
- ALTERATION
- CONSTRUCT
- DEMOLISH
- MOVE
- FOUNDATION ONLY
- RESTORE and/or REPAIR
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- DAMAGE REPORT
- GREEN BUILDING

Gross Sq. Ft. of Area Created or
 Affected by this Action: 810
 Disturbed Land Area: Ø
 Estimated Project
 Cost: \$ 125,000

RATING

- Certified 26-32 points
- Silver 33-38 points
- Gold 39-51 points
- Platinum 52-69 points
- Other (please specify) _____

USE OF BUILDING OR SPACE:

- ASSEMBLY
- BIOSCIENCE
- BOARDING HOUSE
- EDUCATIONAL
- GARAGE
- HOTEL
- INSTITUTION
- MULTI-FAMILY SENIOR **
- MULTI-FAMILY **
- PLACE OF WORSHIP
- RESTAURANT
- POOL IN GROUND
- STORAGE
- TRAILER**
- OTHER USE: _____
- BANK
- BUSINESS OFFICES
- DAY CARE FACILITY
- FENCE*
- HOSPITAL
- INDUSTRIAL
- MERCANTILE
- POOL ABOVE GROUND
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HEIGHT _____ ft. _____ ins

- Located entirely on the land of the owner
- Public Right of Way/Easement
- Located on the lot line.

MNCPPC Site Plan No. _____
 Preliminary Plan No. _____
 Record Plat No. _____
 Y N Forest Conservation Easement?

*** Manufacture's Name & Model # for all Trailers & Modular Buildings: _____

C. Revision to Original Permit:

REVISION to ORIGINAL PERMIT # _____

(Original permit has been issued and is active)

- STRUCTURAL
- ELECTRICAL
- MECHANICAL
- SITE
- ARCHITECTUAL
- OTHER: _____

D. Building Address:

Street Number 2723 Street Cassedy St City Silver Spring Zip 20910
 Lot(s) _____ Block _____ Subdivision _____
 Floor/Suite # _____ Nearest Cross Street _____

E. Applicant Information:

Contact ID#: 1224523 Fax #: _____ Email: _____

Name of Applicant Avamere Development, LLC Daytime Phone #: _____
 (Permit will be issued to applicant)

Address 44050 Ashburn shopping Ashburn State MD Zip 20147

F. Point of Contact:

Contact ID#: NC904438 Fax #: _____ Email: DeniseEstep@comcast.net

(* other than applicant)
 Contact Person Denise Estep Daytime Phone #: 717-977-1884
 Address 131da3 Danard Dr City Greencastle State PA Zip 17225

G. Expedited Plan Review:

I request an Expedited Plan Review, when available, which is subjected to additional fees.

(Applicant's Signature)

Date

(Print Name)

H. Additional Approvals

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I. Impervious Areas:

Existing Building _____ Sq. Ft. New Building _____ Sq. Ft. Site _____ Sq. Ft.

J. Water and Sewage Information:

TYPE OF WATER SUPPLY WSSC WELL OTHER _____

SEWAGE DISPOSAL WSSC SEPTIC OTHER _____

K. Moderately Priced Dwelling Units:

20% of this development will be built as Moderately Priced Dwelling Units No Yes

L. Impact Tax:

New Buildings and Additions will be assessed an Impact Tax based on the area where built (see Impact Tax guide).

I will exercise an approved Impact Tax Credit, a copy of which is attached

M. DAP & EDAET Agreements:

Agreement must be attached for new buildings when applicable.

N. Special Exception:

Is this lot subject to a Special Exception? Yes, Case # _____ No

O. Historic Area in Atlas or Master Plan

Is the property a Historic resource? Yes No NAWP# 685743

P. Use:

Has this space been occupied before? Yes No

If yes, Previous Use Servants Qtrs Intended Use R2

Q. Demolition: (Answer required for demolition of entire building only)

Is this building over 25 years old? Yes No

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2. The work proposed by this building permit application is authorized by the property owner; and

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D Estep 08-18-15 D Estep
(Agent's Signature) Date (Print Name)

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D Estep 08-18-15 D Estep
(Applicant's Signature) Date (Print Name)



HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

William Kirwan
Chairman

Date: July 20, 2015

MEMORANDUM

TO: Diane Schwartz Jones
Department of Permitting Services

FROM: Matt Bowling, Senior Planner 
Historic Preservation Office
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #685743: Rehabilitation and adaptive reuse of former carpenter shop and servant's quarters – conversion to multi-family housing at 2715 Cassedy Street, 2717 Cassedy Street, 2719 Cassedy Street, 2721 Cassedy Street, 2723 Cassedy Street, and 2725 Cassedy Street, Silver Spring.

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **APPROVED** at the September 17, 2014 Historic Preservation Commission meeting with ZERO (0) conditions.

The HPC staff has reviewed and stamped the attached plans for the rehabilitation and adaptive reuse of former carpenter shop and servant's quarters – conversion to multi-family housing at 2715 Cassedy Street, 2717 Cassedy Street, 2719 Cassedy Street, 2721 Cassedy Street, 2723 Cassedy Street, and 2725 Cassedy Street, Silver Spring.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Denise Estep, Agent (Jamie Smith, Owner)
Address: 2715 Cassedy Street, 2717 Cassedy Street, 2719 Cassedy Street, 2721 Cassedy Street, 2723 Cassedy Street, and 2725 Cassedy Street, Silver Spring, Maryland

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Matt Bowling at 301.563.3408 or matt.bowling@montgomeryplanning.org to schedule a follow-up site visit.



REPRODUCED FROM THE ORIGINAL RECORDS OF THE MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES. THIS DOCUMENT IS THE PROPERTY OF THE MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

82 81

Montgomery County
Department of Permitting Services
Building and Fire Code Review

MONTGOMERY COUNTY
 APPROVED AS NOTED
 DIV. OF BUILDING CONSTRUCTION

Project: Carpenter's Shop and Servant Quarters
 (Historic Buildings converted to condos)
 Address: 2713; 2715; 2717; 2719; 2721 and 2723 Cassidy Street
 Silver Spring, Md. 20910
 A/P #: 725266; 725269; 725270; 725271; 725272 and 725274

Date: May 4, 2018
 Reviewer: Mariano de-la-Puente
 Phone: 240-777-6218
 Fax: 240-777-6241

Building Information (Servant Quarters) A/P # 725266; 725269 and 725270

Main Use Group: R-2	Const. Type: IIIB	Sprinkled: Yes -13	Total number of units: 3	Bldg. Height: 37'-6"
Bldg. use Group: R-2	NFPA Type: III (200)	Fire Alarm: Yes		# of Stories: 3 Stories

Building Information (Carpenter's Shop): A/P # 725272 and 725274

Main Use Group: R-2	Const. Type: IIIB	Sprinkled: Yes -13	Total number of units: 2	Bldg. Height: 37'-6"
Bldg. use Group: R-2	NFPA Type: III (200)	Fire Alarm: Yes		# of Stories: 3 Stories

Building Information (Carpenter's Shop): A/P # 725271

Main Use Group: R-2	Const. Type: IIIB	Sprinkled: Yes -13	Total number of units: 1	Bldg. Height: 20'-0"
Bldg. use Group: R-2	NFPA Type: III (200)	Fire Alarm: Yes		# of Stories: 2 Stories

- Conditional note:** These plans are conditionally accepted for permit issuance for the conversion of two existing historic buildings into residential buildings with three condo units, use group R-2, in each building as indicated on the plans. All construction work shall be carried out in a manner in which the each of the buildings would not become unsafe or adversely affect its structural integrity. The plan review and issuance of permit is licensed to construct only in accordance with adopted codes and does not waive any code requirements not noted in review. Issuance of permit does not prevent field Inspectors from ordering corrections to meet codes when issues are noted during inspections. **The building/fire plan review only acknowledges that the building is equipped with fire prevention systems but does not approve any installation or changes to the fire prevention systems therefore a separate permit and approval by the fire systems plan review for the sprinkler and fire alarm system is required prior to any new installation or alterations to the system. The approved set of plans must be kept on site at all times and available to the inspector upon request.**
- General review note:** The proposed construction, as noted on the plans, has been review under the requirements of a fully sprinkled (NFPA 13R system) building.
- Preconstruction meeting requirements:** Before Construction begins the owner, designee and/or contractor shall contact DPS at 240-777-0311 to schedule a preconstruction meeting with the field inspector. Failure to do so may result in a civil citation (per section 8-25(H) of the Montgomery County Government).
- Thresholds at doorways:** The thresholds in doorways shall not exceed 1/2 inch in height.
- IBC 803 and NFPA101 Interior finishes classification:** All materials used for interior finish and trim shall be classified in accordance with ASTM E84. The classification requirements shall conform with IBC table 803.4. Interior wall and ceiling finishes shall be class A, B or C.
- IBC 804.3 Testing and identification.** Floor covering materials shall be tested by an approved agency in accordance with NFPA 253 and identified by a hang tag or other suitable method so as to identify the manufacturer or supplier and style, and shall indicate the interior floor finish or floor covering classification according to Section 804.2. Carpet-type floor coverings shall be tested for the proposed use, including underlayment. Test reports confirming with information provided in the manufacturer's product identification shall be furnished to the building official upon request.

- Egress doors locks:** All means of egress doors shall be readily operable from the egress side without the use of a key or special knowledge or effort.
- IBC 915 and NFPA101 sec. 30.3.4.6 Carbon Monoxide alarms:** The proposed condominium units shall be equipped with a carbon monoxide alarm system. The alarm shall be listed per UL 2034 and it shall be installed in accordance with NFPA-720 and also the alarm shall meet the requirements under IBC-2015 section 915
- IBC 907.2.11.2 Smoke alarm system:** The building is required to be equipped with a smoke alarm system and it shall also comply with NFPA 101 section 9.6.2.10; NFPA 72 and Montgomery County Fire Safety Code sections 22-96. The alarms shall be install in the following locations:

- All sleeping rooms
- Outside of each separate sleeping area in the immediate vicinity of the sleeping rooms

- IBC 1008.1 / NFPA101 section 7.8.1.1 Illumination required:** The means of egress, including the exit discharge, shall be illuminated at all times the building space served by the means of egress is occupied.
- IBC 1011 and NFPA101 section 7.2.2 Stairways:** The size and arrangement of all the exit stairs shall comply with all the requirements under IBC and NFPA101.
- IBC 1011.11 and NFPA101 section 7.2.2.4.1 Handrails:** All stairways, except within a dwelling unit, shall have handrails on both sides and it shall also comply with the structural requirements under IBC section 1607.8. The clear space between the handrail and the wall shall be not less nor more than 1-1/2".
- IBC 2406.1 Glazing subject to human impact loads:** Glass doors, side glass panels within 24 inches of a door and all glass that is subject to human impact loads shall have safety glazing. Glass in specific hazardous locations shall conform to the requirements listed in section 2406.2. Safety glass shall bear permanent identifying marks on each piece. 2406.1.1.
- IBC 2406.1 Human impact loads.** Individual glazed areas, including glass mirrors, in hazardous locations as defined in Section 2406.3 shall comply with Sections 2406.1.1 through 2406.1.5.
- IBC 1403 Exterior walls:** The exterior wall envelope shall be designed and constructed in such a manner as to prevent the accumulation of water within the wall assembly.
- IBC chapter 33 and NFPA-241 Construction Requirements:** All new construction, demolition and repairs shall be conducted per IBC 2012 chapter 33; the NFPA 241 and the Montgomery County Code chapter 22.
- Final inspection:** The final inspection must be requested and approved before the altered area is used or occupied, whether or not a valid certificate of use and occupancy exists. Montgomery County Executive Regulation 4-15AMII section 08.00.02.14.

255 Rockville Pike, 2nd Floor • Rockville, Maryland 20850-4166

MONTGOMERY COUNTY
 APPROVED AS NOTED
 DIV. OF BUILDING CONSTRUCTION

MONTGOMERY COUNTY
 APPROVED AS NOTED
 DIV. OF BUILDING CONSTRUCTION

82 81
 MONTGOMERY COUNTY
 APPROVED AS NOTED
 DIV. OF BUILDING CONSTRUCTION



PARTITIONS

CODE ANALYSIS (CONT.)

PARTITION SCHEDULE

PARTITION NO	LOCATION	UL NUMBER	THICKNESS	FIRE-RATING	STC RATING	NOTES
WALLS						
W-1	EXISTING EXTERIOR WALLS	U919*	1'-4"	2 HOUR		2 HOUR REQUIRED
W-2	PARTITIONS SEPARATING LIVING UNITS	U305	5-5/8"	1 HOUR	52	1 HOUR REQUIRED
CEILING						
C-1	2ND FLOOR CEILING & EXIST. ROOF	P545		1 HOUR		* VERIFY CONSTRUCTION OF EXISTING ROOF

*FIRE RATED PARTITIONS SHALL BE CONTINUOUS. PENETRATIONS OF FIRE-RATED ASSEMBLIES SHALL BE SEALED WITH A THROUGH PENETRATION FIRESTOP SYSTEM THAT IS CAPABLE OF MAINTAINING THE FIRE RESISTANCE RATING, OR PROTECTED BY A DEVICE LISTED FOR THE TYPE OF ASSEMBLY.

AUTOMATIC SPRINKLER SYSTEM: Yes (to comply with NFPA 13) ✓

ALLOWABLE Stories: 4 stories per IBC 2015 Table 503

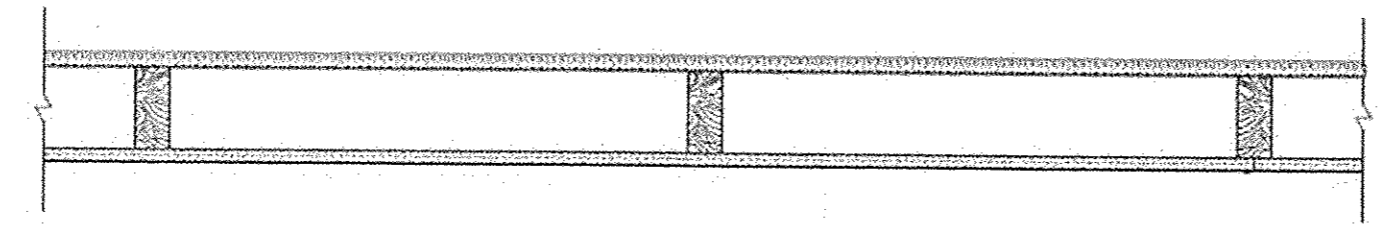
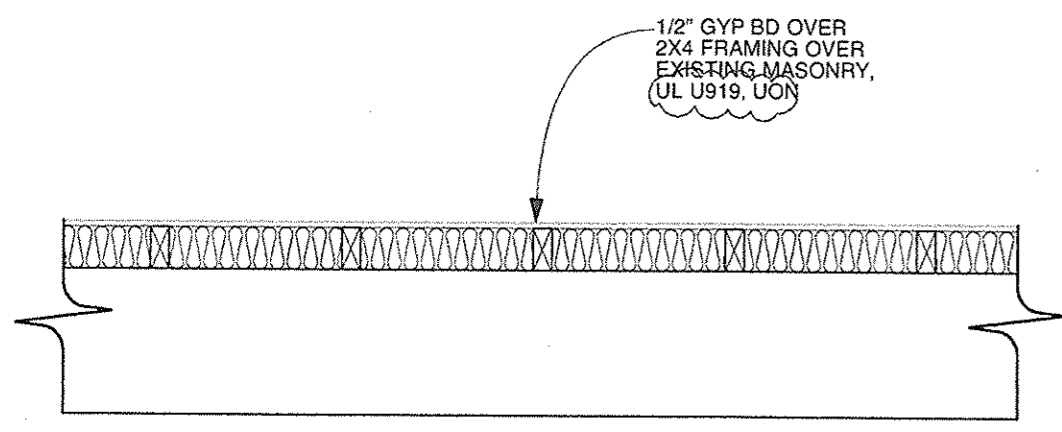
ACTUAL PROPOSED HEIGHT: 3 stories ✓

ALLOWABLE AREA: (per sf Table 503) 16,000 sf ✓

ACTUAL PROPOSED AREA: 4,888 sf ✓

FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS) PER TABLE 601:

STRUCTURAL FRAME:	ALL FLOORS 0, per Table 601
BEARING WALLS	
EXTERIOR:	2
INTERIOR:	0, per Table 601
NONBEARING WALLS AND PARTITIONS	
EXTERIOR:	1
INTERIOR:	0
FLOOR CONSTRUCTION: (including supporting beams and joists)	0
ROOF CONSTRUCTION:	0, per Table 601
FIRE PARTITIONS:	
BETWEEN UNITS (708.3):	0.5
CORRIDOR WALLS (1017.1):	0.5

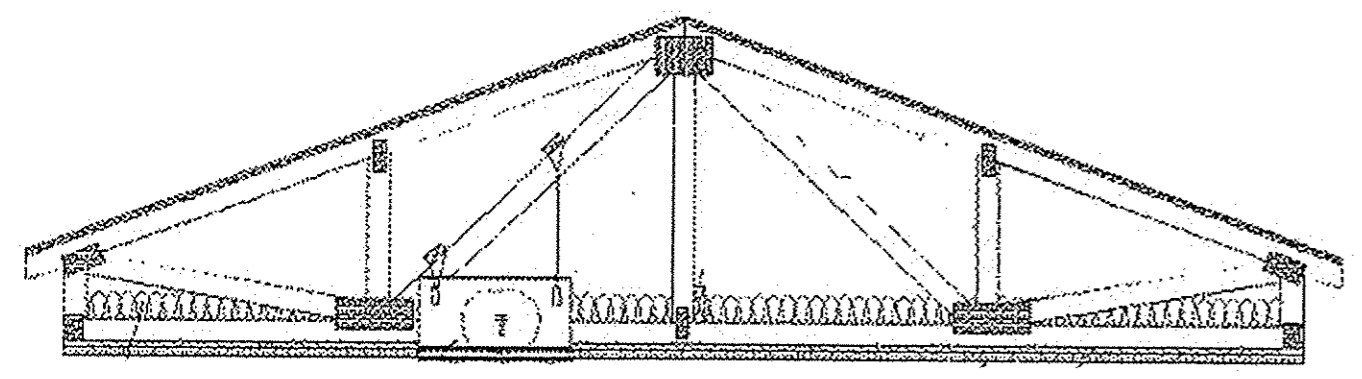


1 W-1
A0.2 NOT TO SCALE

NOTE: SEE SPECIFIC UL ASSEMBLY CUT SHEETS FOR MORE SPECIFIC INFORMATION. THIS DRAWING FOR GENERAL INFORMATION ONLY. REFERENCE MATERIALS ARE 'OR EQUAL'

2 W-2 / UL #U305
A0.2 NOT TO SCALE

NOTE: SEE SPECIFIC UL ASSEMBLY CUT SHEETS FOR MORE SPECIFIC INFORMATION. THIS DRAWING FOR GENERAL INFORMATION ONLY. REFERENCE MATERIALS ARE 'OR EQUAL'



3 C-1 / UL #P545
A0.2 NOT TO SCALE

NOTE: SEE SPECIFIC UL ASSEMBLY CUT SHEETS FOR MORE SPECIFIC INFORMATION. THIS DRAWING FOR GENERAL INFORMATION ONLY. REFERENCE MATERIALS ARE 'OR EQUAL'



Montgomery County Department of Permitting Services
Structural Review Condition of Permit

Project:	Carpenter Shop Servant Quarters	December 4, 2017
Address:	2715-2717-2719-2721-2723-2725 Cassidy St. Silver Spring MD 20910	
A/P #:	725266-725269-725270-725271-725272-725274	
Condition of Permit:	Application approval is based on the response letter provided by OHI Engineering Group PLLC dated October 2, 2017.	
	Separate permit or revision to original permit is required for underpinning. Underpinning shall be designed by a specially engineer registered in the State of Maryland. A signed and sealed copy of the underpinning work reviewed and approved by the structural engineer of record shall be submitted to County to obtain approval for underpinning work.	

MONTGOMERY COUNTY
APPROVED AS NOTED
DIV. OF BUILDING CONSTRUCTION

MEANS OF EGRESS:

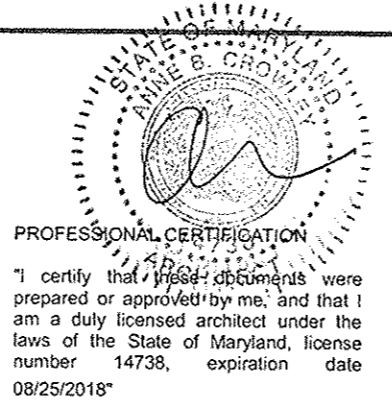
EXIST ACCESS TRAVEL DISTANCE:	250'-0"
ALLOWABLE OCCUPANT LOAD: (per Table 1004.1.1)	R = 200 sf / person gross
MINIMUM STAIR WIDTH: (per 1009.1 exception 1)	36"
MINIMUM CORRIDOR WIDTH: (per 1017.2 exception 2)	36"
MINIMUM STAIR TREAD DEPTH:	11"
MAXIMUM RISER HEIGHT:	7-3/4" (within dwelling units)

MONTGOMERY COUNTY
APPROVED AS NOTED
DIV. OF BUILDING CONSTRUCTION

DEC 27 2017

Studio: CrowleyHall, pllc

**National Park Seminary
Carpenter Shop and Servant Quarters**
2715, 2717, 2719, 2721, 2723, 2725
Cassedy Street
Silver Spring, MD 20910



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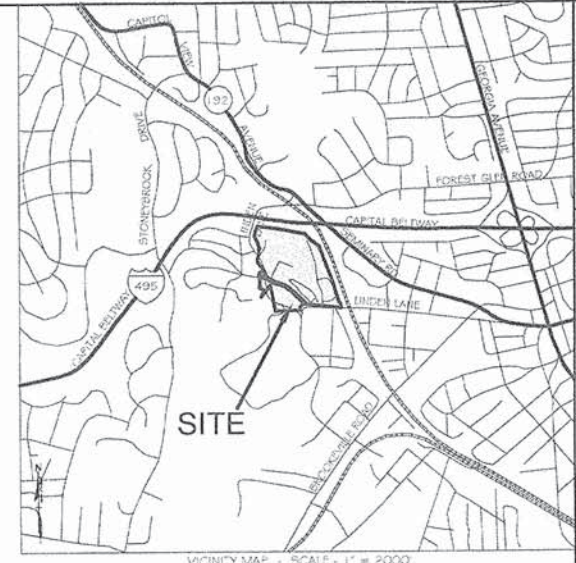
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11/07/16 PERMIT REV. 2
12/18/17 ARCH & LS REV. 1

PARTITION SCHEDULE & CODE ANALYSIS CONT.

A0.1

E-FILE STAMP



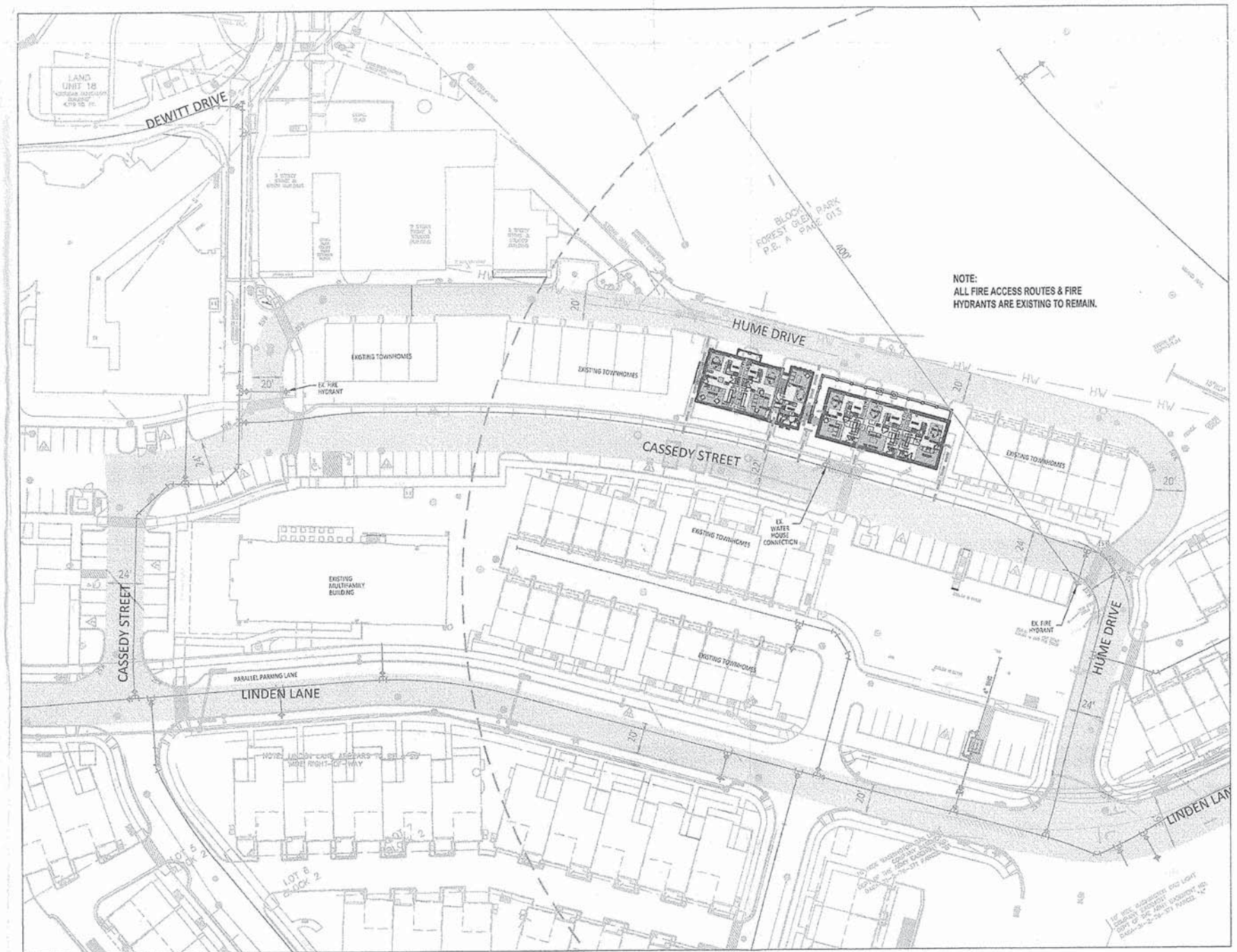
PROJECT TEAM

DEVELOPER/APPLICANTS:
 AVAMERE NPS CARPENTERS LLC
 24050 ASHBURN SHOPPING PLZ
 SUITE 185-637
 ASHBURN, VA 20147
 CONTACT: JAMIE SMITH
 703-348-6168

ARCHITECT:
 STUDIO | CROWLEYALL, P.L.C.
 1702 WOODMAN PLACE, NW
 WASHINGTON, DC 20010
 CONTACT: NATHAN SAUCIER
 202-387-3003

CIVIL ENGINEER:
 VIKI MARYLAND, LLC
 20251 CENTURY BOULEVARD
 SUITE 400
 GERMANTOWN, MARYLAND
 20874
 CONTACTS: MICHAEL B. GOODMAN
 301-916-4100

Signature Set Site Plan Set
 for
NATIONAL PARK SEMINARY
 -Phase 1-
 MINOR AMENDMENT
 13th Election District, Silver Spring
 Montgomery County, Maryland



Site Plan Set
 for
NATIONAL PARK SEMINARY
 -Phase 1-
 Minor Amendment
 13th Election District, Silver Spring
 MONTGOMERY COUNTY, MARYLAND

FIRE ACCESS PLAN

FIRE CODE ENFORCEMENT
 Fire Department Access Review
 Review based only upon information contained on this plan. Does not cover unsatisfactory layout resulting from omissions, errors or failure to clearly indicate conditions on this plan. Correction of such unsatisfactory layout to allow required access will be required if found upon inspection after installation.
 BY: *SMC* FM: *43* DATE: *3/6/2018*

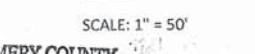
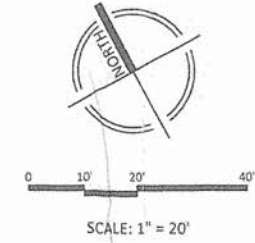


MONTGOMERY COUNTY
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 DIV. OF BUILDING CONSTRUCTION

- LEGEND**
- WATER LINE AND FITTING
 - FIRE HYDRANT
 - BUILDING ENTRY
 - FIRE ACCESS PATH
 - FIRE ACCESS FOOT PATH
 - FIRE RATED WALL



"MODIFICATIONS TO SITE PLAN AND LANDSCAPING OR MATERIALS ON PRIVATE LOTS REQUIRES APPROVAL FROM MARYLAND HISTORICAL TRUST, MARYLAND NATIONAL CAPITAL PLANNING COMMISSION AND HISTORIC PRESERVATION COMMISSION AS PART OF THE COUNTY'S PERMITTING PROCESS."



VIKA REVISIONS

DATE: February 3, 2018
 DES: DWN
 MFG: CC
 SCALE: None
 PROJECT/FILE NO. 12085
 SHEET NO. FA-1

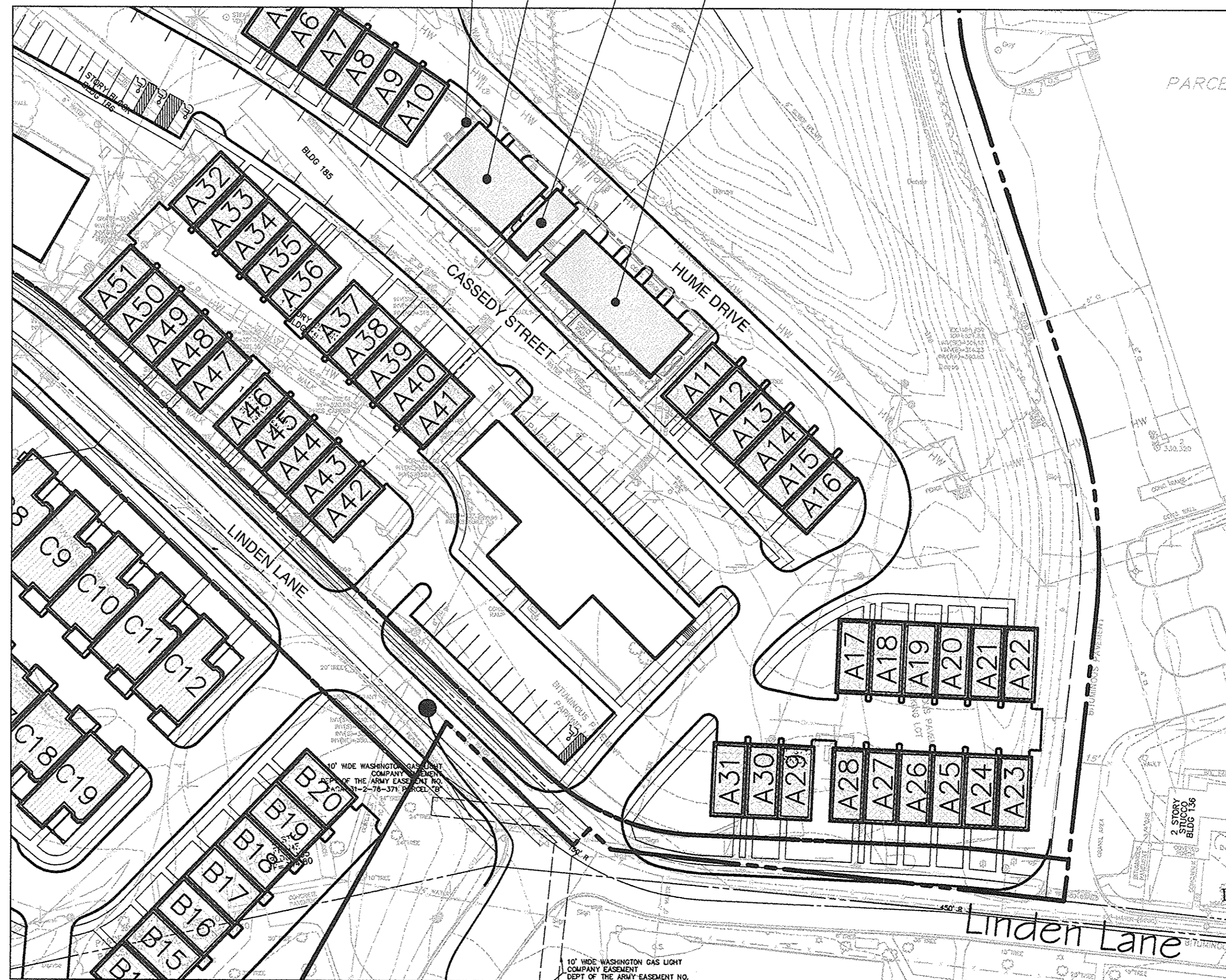
MAR 30 2018

PROPERTY LINE: LOT 22 / 8,988 SF

BUILDING A: CARPENTER SHOP

BUILDING B: CARPENTER SHOP ANNEX

BUILDING C: SERVANT QUARTERS



PARCEL

MONTGOMERY COUNTY APPROVED AS NOTED DIV. OF BUILDING CONSTRUCTION

1 EXISTING SITE PLAN
C1 0 5 10 30 50 100

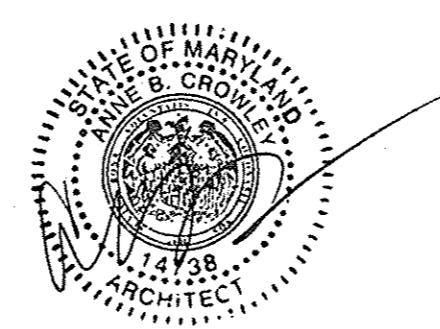
APPROVED
Montgomery County
Historic Preservation Commission
W/h

Studio: CrowleyHall, pllc

**National Park Seminary
Carpenter Shop and Servant Quarters**

2715, 2717, 2719, 2721, 2723, 2725
Cassedy Street
Silver Spring, MD 20910

PROFESSIONAL CERTIFICATION
I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 14738, expiration date 08/25/2016*

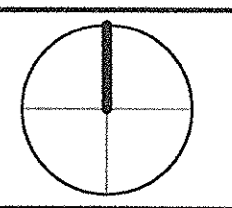


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The drawings and specifications—and the ideas, designs and arrangements represented thereby—are and shall remain property of the architect. No part thereof shall be copied, disclosed to others or used in connection with any work or project or by any other person for any purpose other than for the specific project for which they have been prepared and developed, without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence and acceptance of these restrictions. Absent a written agreement to the contrary, and strictly conditioned on the full and timely payment of all sums due to Architect under this agreement, upon Architect's delivery of sealed construction drawings to client, Architect grants client a nontransferable, nonexclusive right to construct the building depicted in the plans once and only once, and only on the site identified in the plans.

EXISTING SITE PLAN

- 12/09/13 CONCEPT DESIGN
- 01/22/14 PLAN UPDATES
- 02/17/14 PLAN UPDATES
- 07/01/14 MHT CHANGE / ALTERATION SET
- 07/31/14 MHT UPDATES
- 08/22/14 MHPC SET
- 07/01/15 PERMIT SET



C1

2017 Park Road, NW
Washington, DC 20010
P: 202.387.3003 | F: 202.318.4317

NOTE: INTERIOR DEMOLITION WAS PREVIOUSLY APPROVED UNDER PERMIT #663419

GENERAL DEMOLITION NOTES

1. Debris resulting from demolition work, except as noted to be re-used, becomes the property of the contractor and shall be disposed of per applicable laws and on a regular basis.
2. Remove wood doors, hardware, and trim, and, to extent possible, save for re-use.
- 2a. Remove all light & plumbing fixtures, window treatments, window air conditioners, etc. not specifically noted on drawings to remain. Prior to disposing of any of these items, review with Owner what should be salvaged or re-used.
- 2b. All work must comply with the Secretary of the Interior's Rehabilitation Standards for the Treatment of Historic Properties. See notes for more information.
3. Remove all pipes, ducts, conduits, etc. no longer connected or scheduled to be re-used.
4. Existing electrical and mechanical is not shown, unless otherwise noted. General Contractor is responsible for coordinating work with existing. Verify existing electrical and mechanical demolition / relocation work in field with Architect and Owner. Secure all electrical, mechanical, and plumbing affected by the demolition to protect the existing property systems.
5. General Contractor is responsible for all shoring and bracing related to removal of noted bearing structural conditions scheduled for demolition. GC to notify Architect of an structural, hazardous or other conditions related to this demolition that are different from that conveyed in these drawings.
6. All partitions indicated to be removed as non-load bearing unless otherwise noted.

7. General Contractor to remove all demolition material from site in a prompt and timely manner. No storing of demolition debris on site. GC is responsible for coordination of demolition activity with local neighborhood, state, and Montgomery County building requirements.

8. General contractor is responsible for securing site and adjacent property during demolition from weather, security, and structural integrity.

SELECTIVE DEMOLITION NOTES

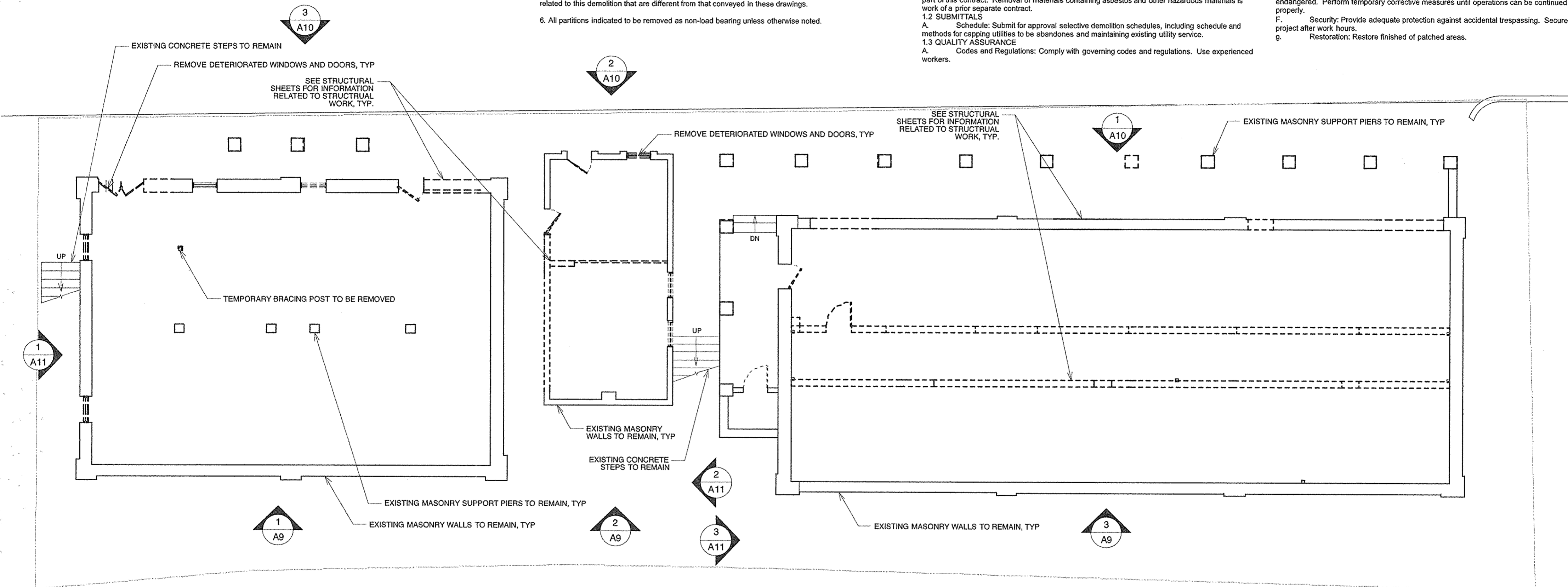
PART 1 GENERAL

- 1.1 SUMMARY
- A. Selective Demolition:
 1. Selective demolition of interior partitions, systems, and building components designated to be removed.
 2. Selective demolition of exterior facade, structures, and components designated to be removed.
 3. Protection of portions of buildings adjacent to or affected by selective demolition.
 4. Removal of abandoned utilities and wiring systems.
 5. Notification to Owner of schedule of shut-off of utilities which serve occupied spaces.
 6. Pollution control during selective demolition, including noise control.
 7. Removal and legal disposal of materials.
 - B. Hazardous Materials: Asbestos and hazardous materials demolition or removal work is not part of this contract. Removal of materials containing asbestos and other hazardous materials is work of a prior separate contract.
- 1.2 SUBMITTALS
- A. Schedule: Submit for approval selective demolition schedules, including schedule and methods for capping utilities to be abandoned and maintaining existing utility service.
- 1.3 QUALITY ASSURANCE
- A. Codes and Regulations: Comply with governing codes and regulations. Use experienced workers.

- 1.4 PROJECT CONDITIONS
- A. Occupancy: Immediate areas of work will not be occupied during selective demolition. The public, including children, may occupy adjacent areas.
 - B. Existing Conditions: No responsibility for building or structures to be demolished will be assumed by the Owner.

PART 2 EXECUTION

- 2.1 SELECTIVE DEMOLITION
- A. Demolition Operations: Do not damage building elements and improvements indicated to remain. Items of salvage value, not included on schedule of salvage items to be returned to Owner shall be removed from structure. Storage or sale of items at project sites is prohibited.
 - B. Utilities: Locate, identify, disconnect, and seal or cap off utilities in buildings to be demolished.
 - C. Shoring and Bracing: Provide and maintain interior and exterior shoring and bracing.
 - D. Occupied Spaces: Do not close or obstruct streets, walks, drives, or other occupied or used spaces or facilities without the written permission of the Owner and the authorities having jurisdiction. Do not interrupt utilities serving occupied or used facilities without the written permission of the Owner and authorities having jurisdiction. If necessary, provide temporary facilities.
 - E. Operations: Cease operations if public safety or remaining structures are endangered. Perform temporary corrective measures until operations can be continued properly.
 - F. Security: Provide adequate protection against accidental trespassing. Secure project after work hours.
 - G. Restoration: Restore finished or patched areas.



1 BASEMENT DEMOLITION PLAN - CARPENTER SHOP

2 BASEMENT DEMOLITION PLAN - SERVANT QUARTERS

MONTGOMERY COUNTY
APPROVED AS NOTED
DIV. OF BUILDING CONSTRUCTION



LEGEND

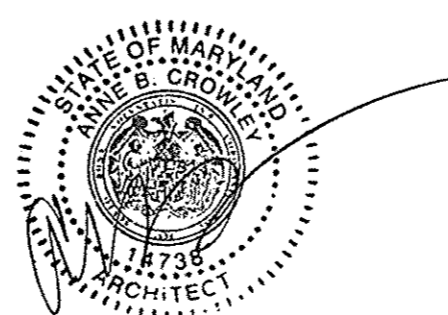
	EXIST. WALL TO REMAIN
	EXIST. WALL TO BE REMOVED
	NEW PARTITION WALL

Studio: CrowleyHall, pllc

**National Park Seminary
Carpenter Shop and Servant Quarters**
2715, 2717, 2719, 2721, 2723, 2725
Cassedy Street
Silver Spring, MD 20910

PROFESSIONAL CERTIFICATION

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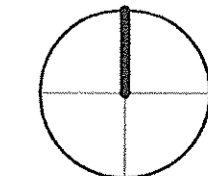


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BASEMENT DEMOLITION PLAN

12/09/13	CONCEPT DESIGN
01/22/14	PLAN UPDATES
02/17/14	PLAN UPDATES
07/01/14	MHT CHANGE / ALTERATION SET
07/31/14	MHT UPDATES
08/22/14	MHPC SET
07/01/15	PERMIT SET



A1

NOTE: INTERIOR DEMOLITION WAS PREVIOUSLY APPROVED UNDER PERMIT #663419

GENERAL DEMOLITION NOTES

1. Debris resulting from demolition work, except as noted to be re-used, becomes the property of the contractor and shall be disposed of per applicable laws and on a regular basis.
2. Remove wood doors, hardware, and trim, and, to extent possible, save for re-use.
- 2a. Remove all light & plumbing fixtures, window treatments, window air conditioners, etc. not specifically noted on drawings to remain. Prior to disposing of any of these items, review with Owner what should be salvaged or re-used.
- 2b. All work must comply with the Secretary of the Interior's Rehabilitation Standards for the Treatment of Historic Properties. See notes for more information.
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6. All partitions indicated to be removed as non-load bearing unless otherwise noted.

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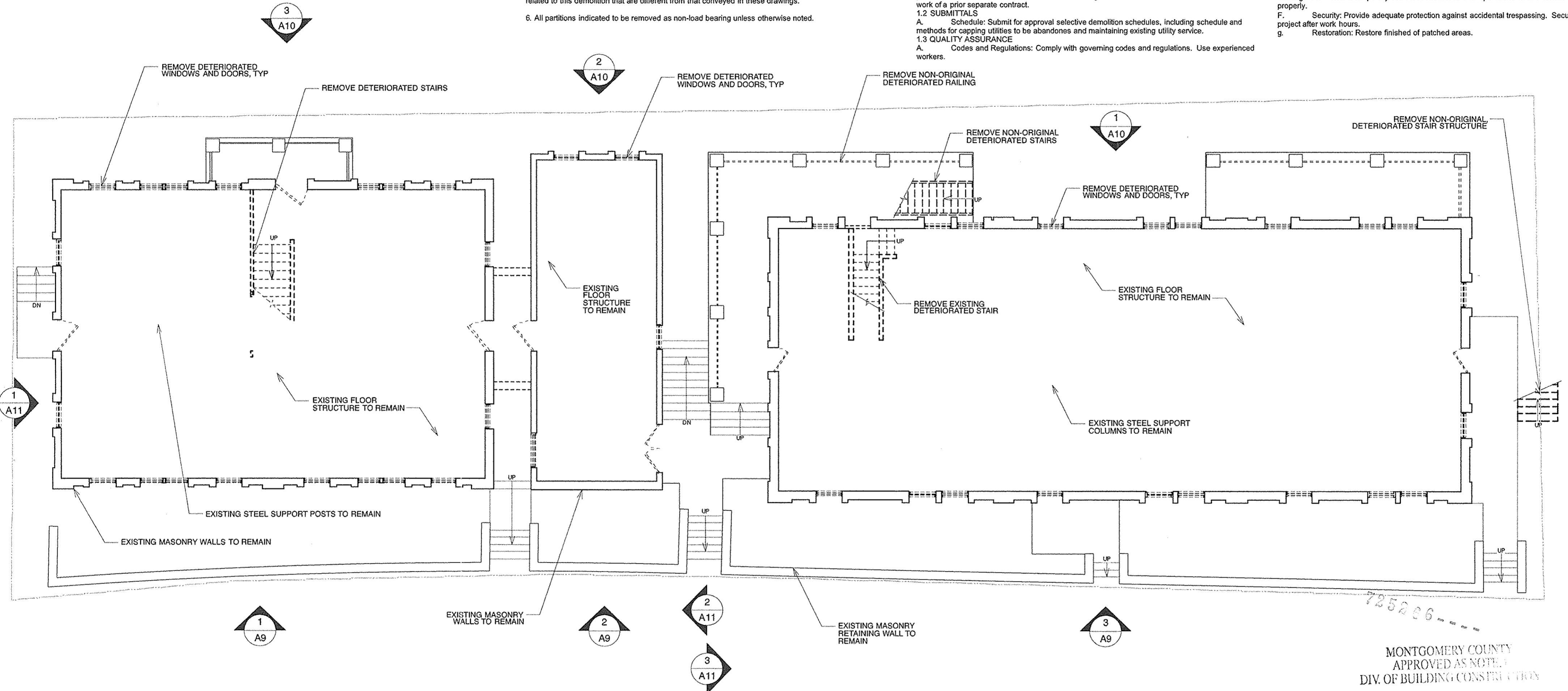
8. General contractor is responsible for securing site and adjacent property during demolition from weather, security, and structural integrity.

SELECTIVE DEMOLITION NOTES

- PART 1 GENERAL**
- 1.1 SUMMARY**
- A. Selective Demolition:**
1. Selective demolition of interior partitions, systems, and building components designated to be removed.
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- B. Hazardous Materials:** Asbestos and hazardous materials demolition or removal work is not part of this contract. Removal of materials containing asbestos and other hazardous materials is work of a prior separate contract.
- 1.2 SUBMITTALS**
- A. Schedule:** Submit for approval selective demolition schedules, including schedule and methods for capping utilities to be abandoned and maintaining existing utility service.
- 1.3 QUALITY ASSURANCE**
- A. Codes and Regulations:** Comply with governing codes and regulations. Use experienced workers.

1.4 PROJECT CONDITIONS

- A. Occupancy:** Immediate areas of work will not be occupied during selective demolition. The public, including children, may occupy adjacent areas.
- B. Existing Conditions:** No responsibility for building or structures to be demolished will be assumed by the Owner.
- PART 2 EXECUTION**
- 2.1 SELECTIVE DEMOLITION**
- A. Demolition Operations:** Do not damage building elements and improvements indicated to remain. Items of salvage value, not included on schedule of salvage items to be returned to Owner shall be removed from structure. Storage or sale of items at project sites is prohibited.
- B. Utilities:** Locate, identify, disconnect, and seal or cap off utilities in buildings to be demolished.
- C. Shoring and Bracing:** Provide and maintain interior and exterior shoring and bracing.
- D. Occupied Spaces:** Do not close or obstruct streets, walks, drives, or other occupied or used spaces or facilities without the written permission of the Owner and the authorities having jurisdiction. Do not interrupt utilities serving occupied or used facilities without the written permission of the Owner and authorities having jurisdiction. If necessary, provide temporary facilities.
- E. Operations:** Cease operations if public safety or remaining structures are endangered. Perform temporary corrective measures until operations can be continued properly.
- F. Security:** Provide adequate protection against accidental trespassing. Secure project after work hours.
- g. Restoration:** Restore finished of patched areas.



1 1ST FLOOR DEMOLITION PLAN - CARPENTER SHOP

2 1ST FLOOR DEMOLITION PLAN - SERVANT QUARTERS

MONTGOMERY COUNTY
APPROVED AS NOTED
DIV. OF BUILDING CONSTRUCTION

APPROVED
Montgomery County
Historic Preservation Commission

LEGEND

— EXIST. WALL TO REMAIN

- - - EXIST. WALL TO BE REMOVED

▬ NEW PARTITION WALL

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2017 Park Road, NW
Washington, DC 20010
P: 202.387.3003 | F: 202.318.4317

**National Park Seminary
Carpenter Shop and Servant Quarters**
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Cassedy Street
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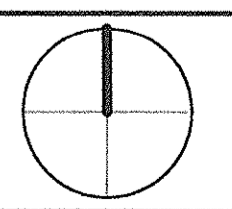


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1ST FLOOR DEMOLITION PLAN

12/09/13 CONCEPT DESIGN
01/22/14 PLAN UPDATES
02/17/14 PLAN UPDATES
07/01/14 MHT CHANGE / ALTERATION SET
07/31/14 MHT UPDATES
08/22/14 MHPC SET
07/01/15 PERMIT SET



A2

NOTE: INTERIOR DEMOLITION WAS PREVIOUSLY APPROVED UNDER PERMIT #663419

GENERAL DEMOLITION NOTES

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SELECTIVE DEMOLITION NOTES

PART 1 GENERAL

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1.2 SUBMITTALS

- A. Schedule:** Submit for approval selective demolition schedules, including schedule and methods for capping utilities to be abandoned and maintaining existing utility service.

1.3 QUALITY ASSURANCE

- A. Codes and Regulations:** Comply with governing codes and regulations. Use experienced workers.

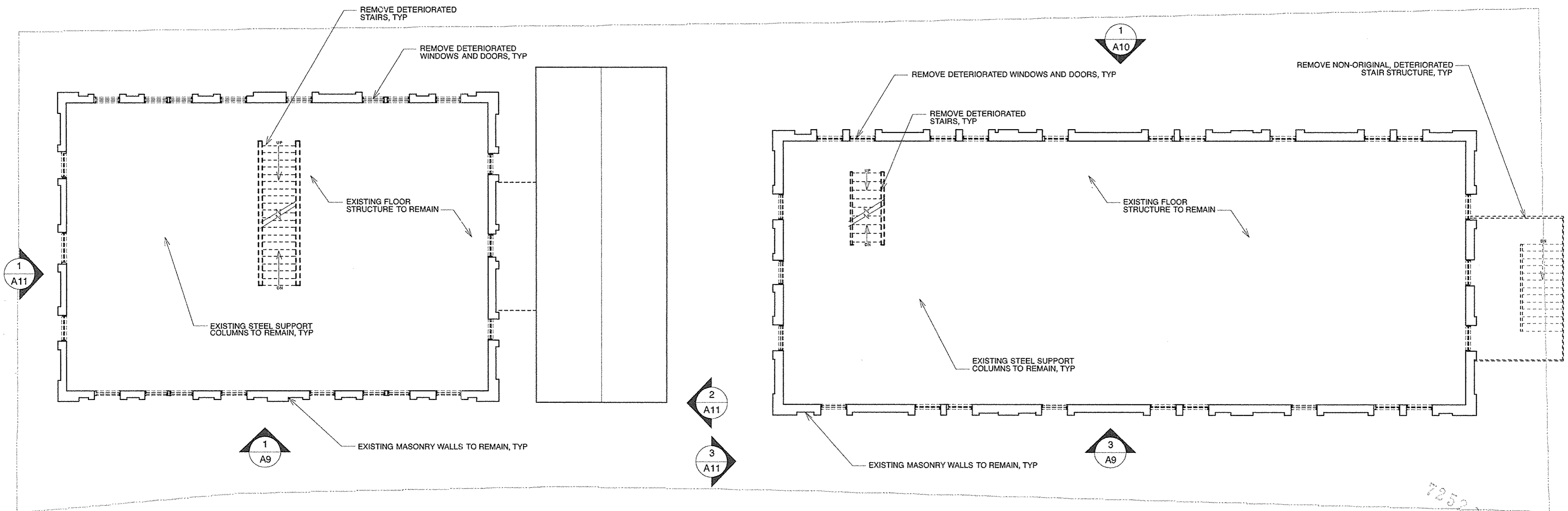
1.4 PROJECT CONDITIONS

- A. Occupancy:** Immediate areas of work will not be occupied during selective demolition. The public, including children, may occupy adjacent areas.
- B. Existing Conditions:** No responsibility for building or structures to be demolished will be assumed by the Owner.

PART 2 EXECUTION

2.1 SELECTIVE DEMOLITION

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- E. Operations:** Cease operations if public safety or remaining structures are endangered. Perform temporary corrective measures until operations can be continued properly.
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- g. Restoration:** Restore finished or patched areas.



MONTGOMERY COUNTY
APPROVED AS NOTED
DIV. OF BUILDING CONSTRUCTION

1
A3
2ND FLOOR DEMOLITION PLAN - CARPENTER SHOP

2
A3
2ND FLOOR DEMOLITION PLAN - SERVANT QUARTERS

APPROVED
Montgomery County
Historic Preservation Commission

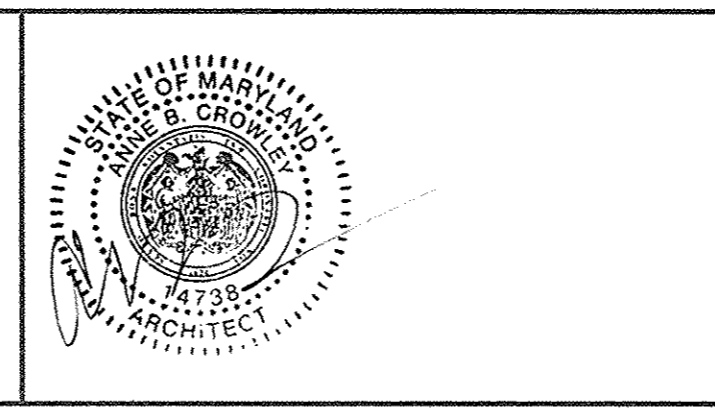
LEGEND

- EXIST. WALL TO REMAIN
- - - EXIST. WALL TO BE REMOVED
- ▬ NEW PARTITION WALL

Studio: CrowleyHall, pllc
2017 Park Road, NW
Washington, DC 20010
P: 202.387.3003 | F: 202.318.4317

**National Park Seminary
Carpenter Shop and Servant Quarters**
2715, 2717, 2719, 2721, 2723, 2725
Cassedy Street
Silver Spring, MD 20910

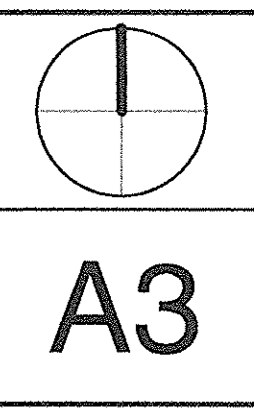
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2ND FLOOR DEMOLITION PLAN

12/09/13	CONCEPT DESIGN
01/22/14	PLAN UPDATES
02/17/14	PLAN UPDATES
07/01/14	MHT CHANGE / ALTERATION SET
07/31/14	MHT UPDATES
08/22/14	MHPC SET
07/01/15	PERMIT SET



NOTE: INTERIOR DEMOLITION WAS PREVIOUSLY APPROVED UNDER PERMIT #663419

GENERAL DEMOLITION NOTES

1. Debris resulting from demolition work, except as noted to be re-used, becomes the property of the contractor and shall be disposed of per applicable laws and on a regular basis.
2. Remove wood doors, hardware, and trim, and, to extent possible, save for re-use.
- 2a. Remove all light & plumbing fixtures, window treatments, window air conditioners, etc. not specifically noted on drawings to remain. Prior to disposing of any of these items, review with Owner what should be salvaged or re-used.
- 2b. All work must comply with the Secretary of the Interior's Rehabilitation Standards for the Treatment of Historic Properties. See notes for more information.
3. Remove all pipes, ducts, conduits, etc. no longer connected or scheduled to be re-used.
4. Existing electrical and mechanical is not shown, unless otherwise noted. General Contractor is responsible for coordinating work with existing. Verify existing electrical and mechanical demolition / relocation work in field with Architect and Owner. Secure all electrical, mechanical, and plumbing affected by the demolition to protect the existing property systems.
5. General Contractor is responsible for all shoring and bracing related to removal of noted bearing structural conditions scheduled for demolition. GC to notify Architect of an structural, hazardous or other conditions related to this demolition that are different from that conveyed in these drawings.
6. All partitions indicated to be removed as non-load bearing unless otherwise noted.

7. General Contractor to remove all demolition material from site in a prompt and timely manner. No storing of demolition debris on site. GC is responsible for coordination of demolition activity with local neighborhood, state, and Montgomery County building requirements.

8. General contractor is responsible for securing site and adjacent property during demolition from weather, security, and structural integrity.

SELECTIVE DEMOLITION NOTES

PART 1 GENERAL

- 1.1 SUMMARY
- A. Selective Demolition:
 1. Selective demolition of interior partitions, systems, and building components designated to be removed.
 2. Selective demolition of exterior facade, structures, and components designated to be removed.
 3. Protection of portions of buildings adjacent to or affected by selective demolition.
 4. Removal of abandoned utilities and wiring systems.
 5. Notification to Owner of schedule of shut-off of utilities which serve occupied spaces.
 6. Pollution control during selective demolition, including noise control.
 7. Removal and legal disposal of materials.
 - B. Hazardous Materials: Asbestos and hazardous materials demolition or removal work is not part of this contract. Removal of materials containing asbestos and other hazardous materials is work of a prior separate contract.
- 1.2 SUBMITTALS
- A. Schedule: Submit for approval selective demolition schedules, including schedule and methods for capping utilities to be abandoned and maintaining existing utility service.
- 1.3 QUALITY ASSURANCE
- A. Codes and Regulations: Comply with governing codes and regulations. Use experienced workers.

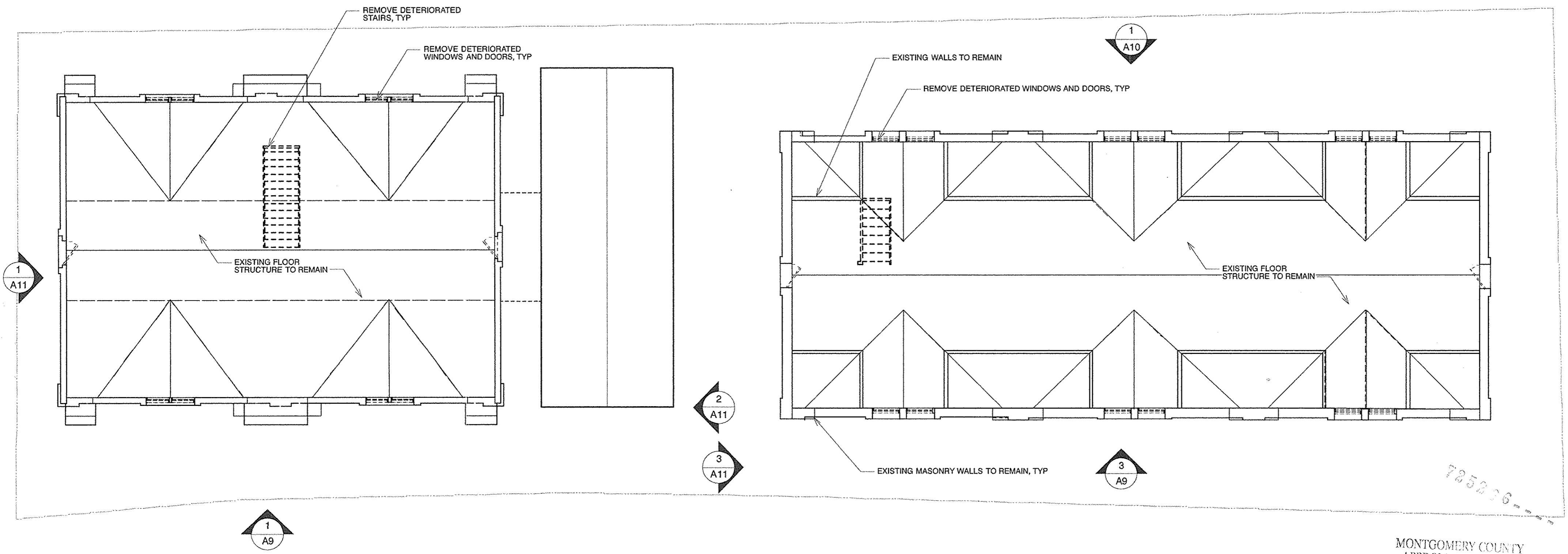
1.4 PROJECT CONDITIONS

- A. Occupancy: Immediate areas of work will not be occupied during selective demolition. The public, including children, may occupy adjacent areas.
- B. Existing Conditions: No responsibility for building or structures to be demolished will be assumed by the Owner.

PART 2 EXECUTION

2.1 SELECTIVE DEMOLITION

- A. Demolition Operations: Do not damage building elements and improvements indicated to remain. Items of salvage value, not included on schedule of salvage items to be returned to Owner shall be removed from structure. Storage or sale of items at project sites is prohibited.
- B. Utilities: Locate, identify, disconnect, and seal or cap off utilities in buildings to be demolished.
- C. Shoring and Bracing: Provide and maintain interior and exterior shoring and bracing.
- D. Occupied Spaces: Do not close or obstruct streets, walks, drives, or other occupied or used spaces or facilities without the written permission of the Owner and the authorities having jurisdiction. Do not interrupt utilities serving occupied or used facilities without the written permission of the Owner and authorities having jurisdiction. If necessary, provide temporary facilities.
- E. Operations: Cease operations if public safety or remaining structures are endangered. Perform temporary corrective measures until operations can be continued properly.
- F. Security: Provide adequate protection against accidental trespassing. Secure project after work hours.
- G. Restoration: Restore finished or patched areas.



1
A4
3RD FLOOR DEMOLITION PLAN - CARPENTER'S SHOP
0 1 5 10 20

2
A4
3RD FLOOR DEMOLITION PLAN - SERVANT'S QUARTERS
0 1 5 10 20

MONTGOMERY COUNTY
APPROVED AS NOTED
DIV. OF BUILDING CONSTRUCTION

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]

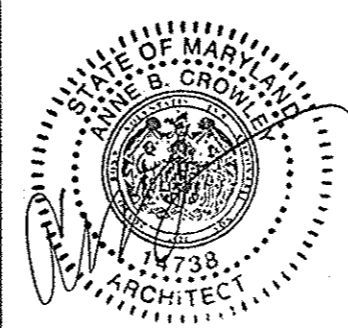
LEGEND

	EXIST. WALL TO REMAIN
	EXIST. WALL TO BE REMOVED
	NEW PARTITION WALL

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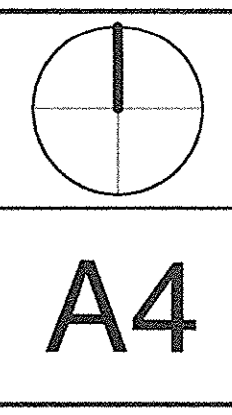


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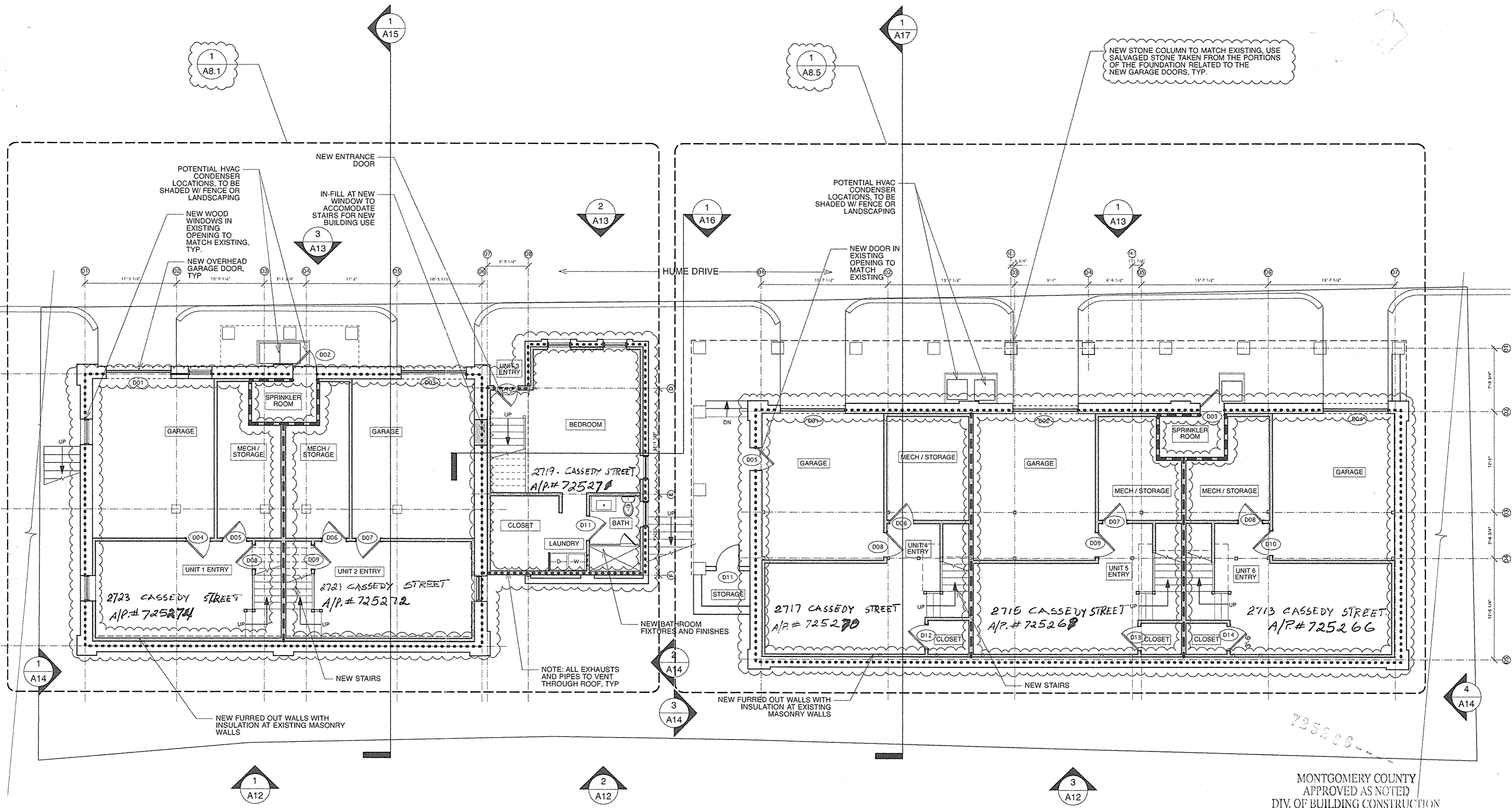
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07/01/14	MHT CHANGE / ALTERATION SET
07/31/14	MHT UPDATES
08/22/14	MHPC SET
07/01/15	PERMIT SET



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Washington, DC 20010
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1 BASEMENT PROPOSED PLAN - CARPENTER SHOP

A5

0 1 5 10 20

2 BASEMENT PROPOSED PLAN - SERVANT QUARTERS

A5

0 1 5 10 20

MONTGOMERY COUNTY
APPROVED AS NOTED
DIV. OF BUILDING CONSTRUCTION

LEGEND

	EXIST. WALL TO REMAIN
	EXIST. WALL TO BE REMOVED
	NEW PARTITION WALL
	CONTINUOUS 1HR FIRE RATED PARTITION
	CONTINUOUS 2 HR FIRE RATED PARTITION

RECEIVED
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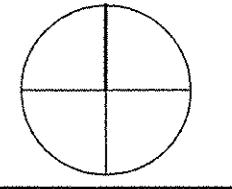
STATE OF MARYLAND
PROFESSIONAL CERTIFICATION

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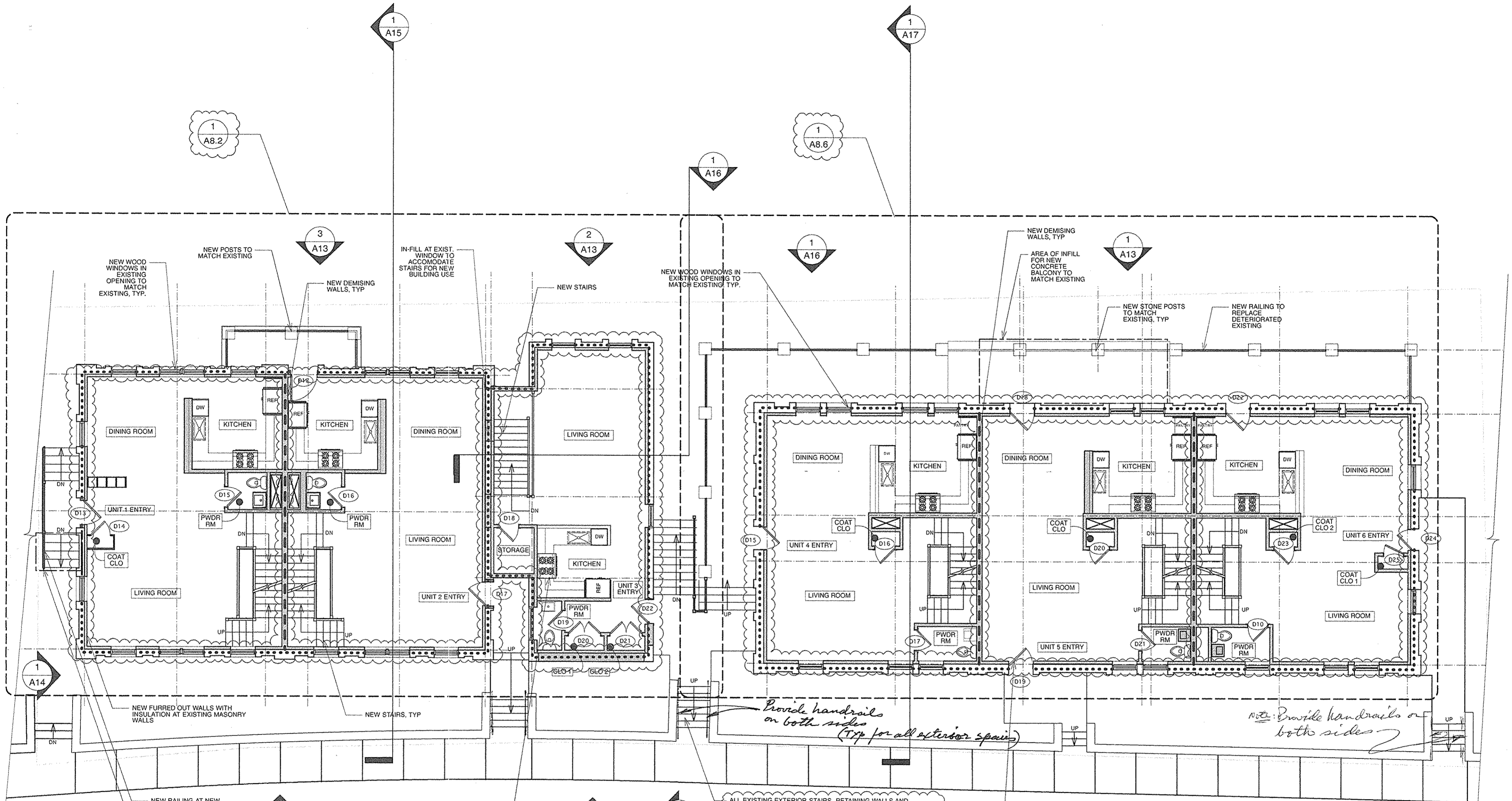
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07/31/14	MHT UPDATES
08/22/14	MHPC SET
07/01/15	PERMIT SET
11/07/16	PERMIT REV. 2
03/14/17	PERMIT REV. 2
12/18/17	ARCH & LS REV. 1



A5

BASEMENT PROPOSED PLAN



ALL EXISTING EXTERIOR STAIRS, RETAINING WALLS AND SIDEWALKS TO REMAIN, UNLESS OTHERWISE NOTED: VERIFY IN FIELD: 7" RISER & 11" TREAD, HANDRAIS @ NOT LESS THAN 34", NOT MORE THAN 38", SPACING NOT FARTHER APART THAN 30" MAX.

- LEGEND**
- EXIST. WALL TO REMAIN
 - - - EXIST. WALL TO BE REMOVED
 - ▬ NEW PARTITION WALL
 - CONTINUOUS 1HR FIRE RATED PARTITION
 - CONTINUOUS 2 HR FIRE RATED PARTITION

1 1ST FLOOR PROPOSED PLAN - CARPENTER SHOP

2 1ST FLOOR PROPOSED PLAN - SERVANT QUARTERS

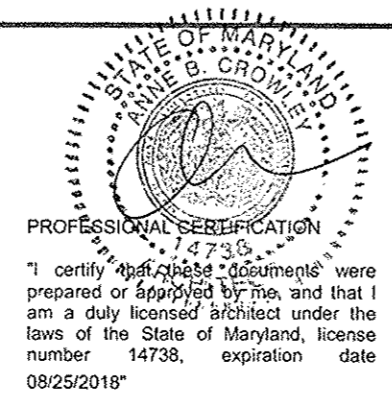
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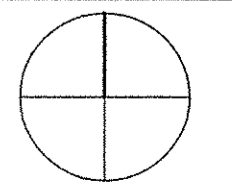
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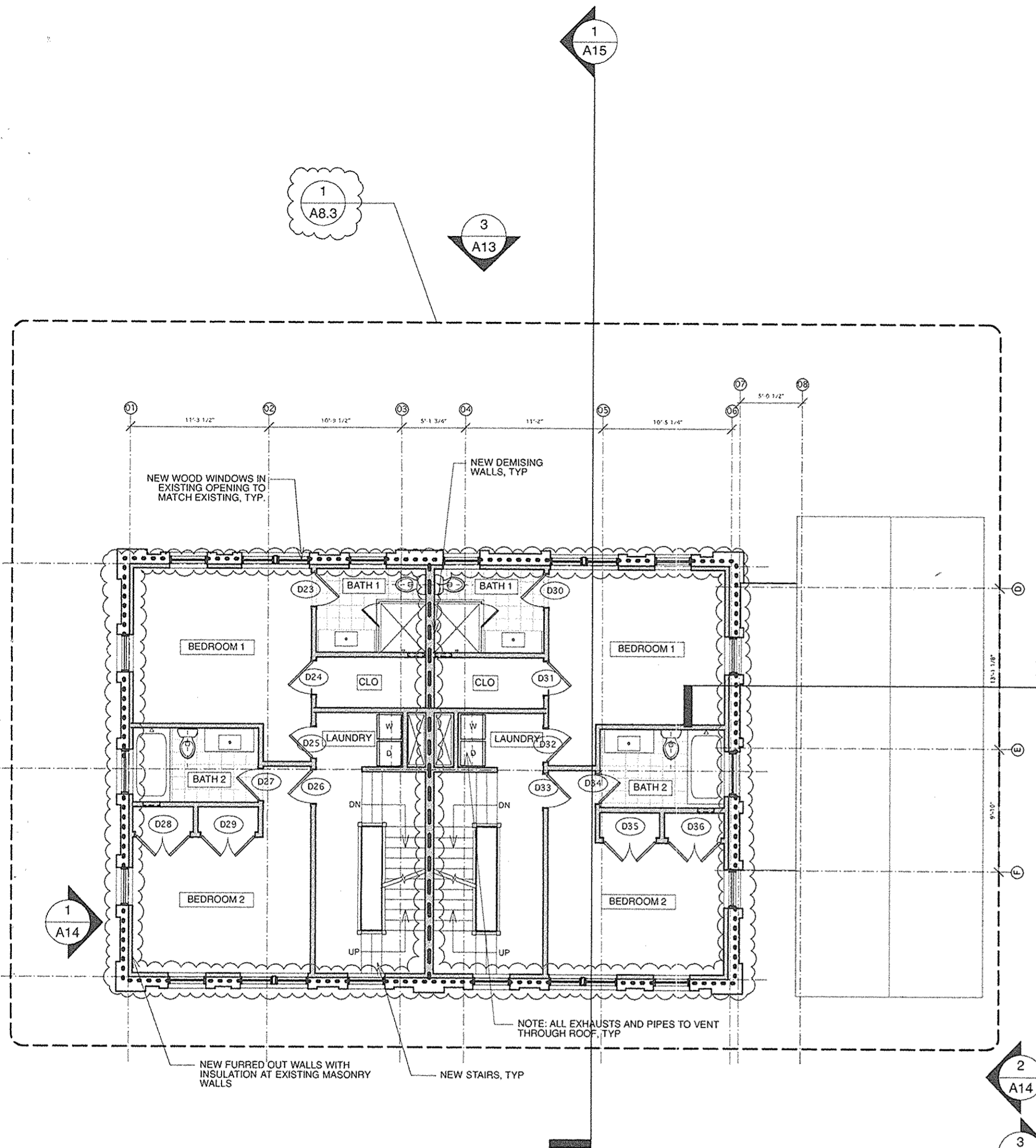
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1ST FLOOR PROPOSED PLAN

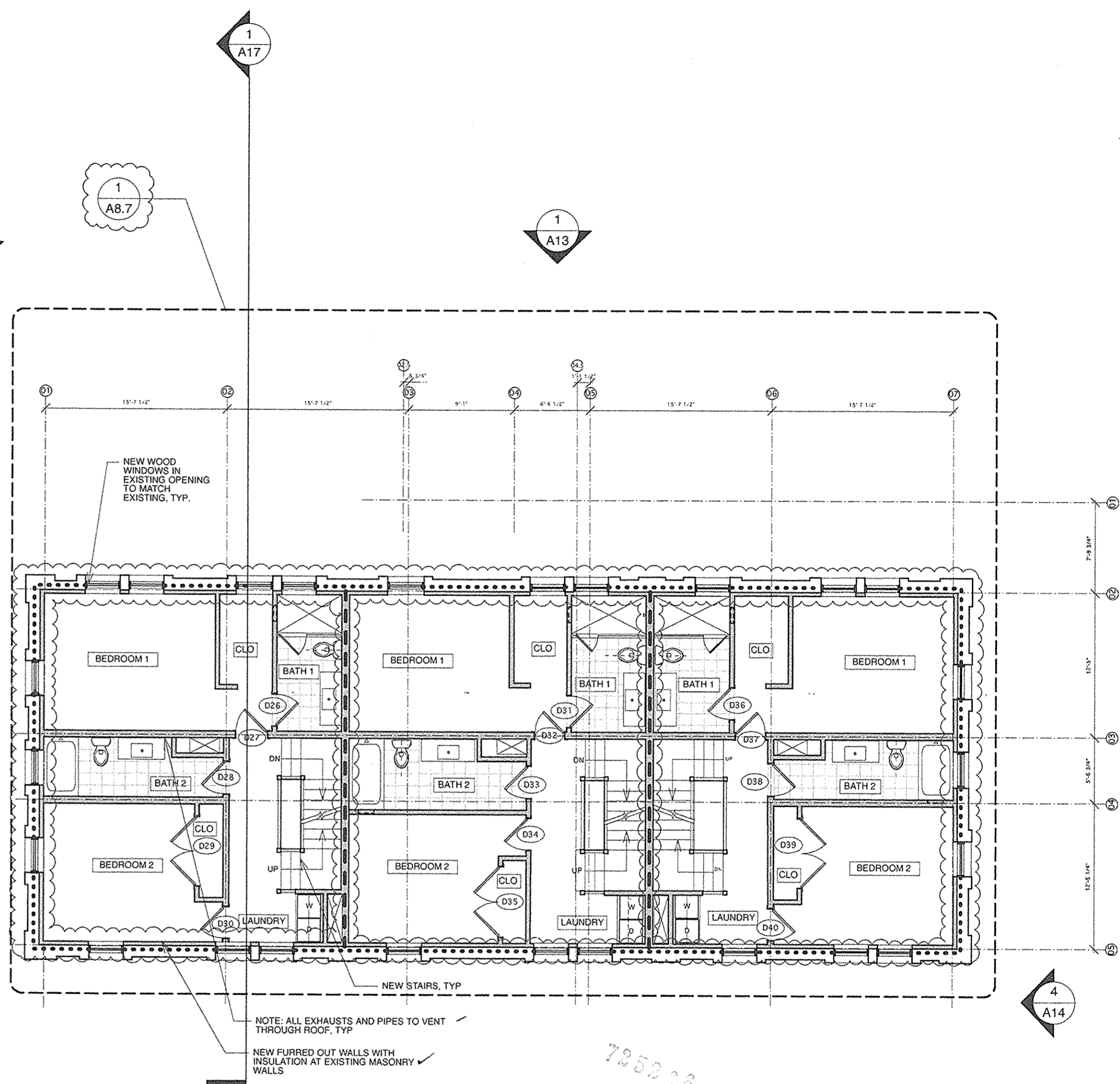
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- 11/07/16 PERMIT REV. 2
- 03/14/17 PERMIT REV. 2
- 12/18/17 ARCH & LS REV. 1



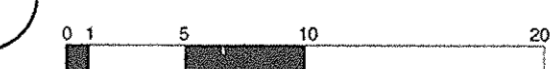
A6



1
A7
2ND FLOOR PROPOSED PLAN - CARPENTER SHOP



2
A7
2ND FLOOR PROPOSED PLAN - SERVANT QUARTERS



- LEGEND**
- EXIST. WALL TO REMAIN
 - EXIST. WALL TO BE REMOVED
 - NEW PARTITION WALL
 - CONTINUOUS 1HR FIRE RATED PARTITION
 - CONTINUOUS 2 HR FIRE RATED PARTITION

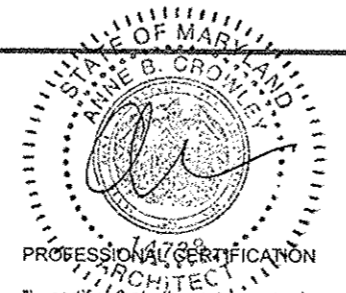
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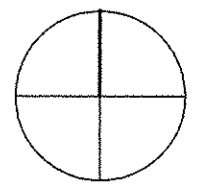
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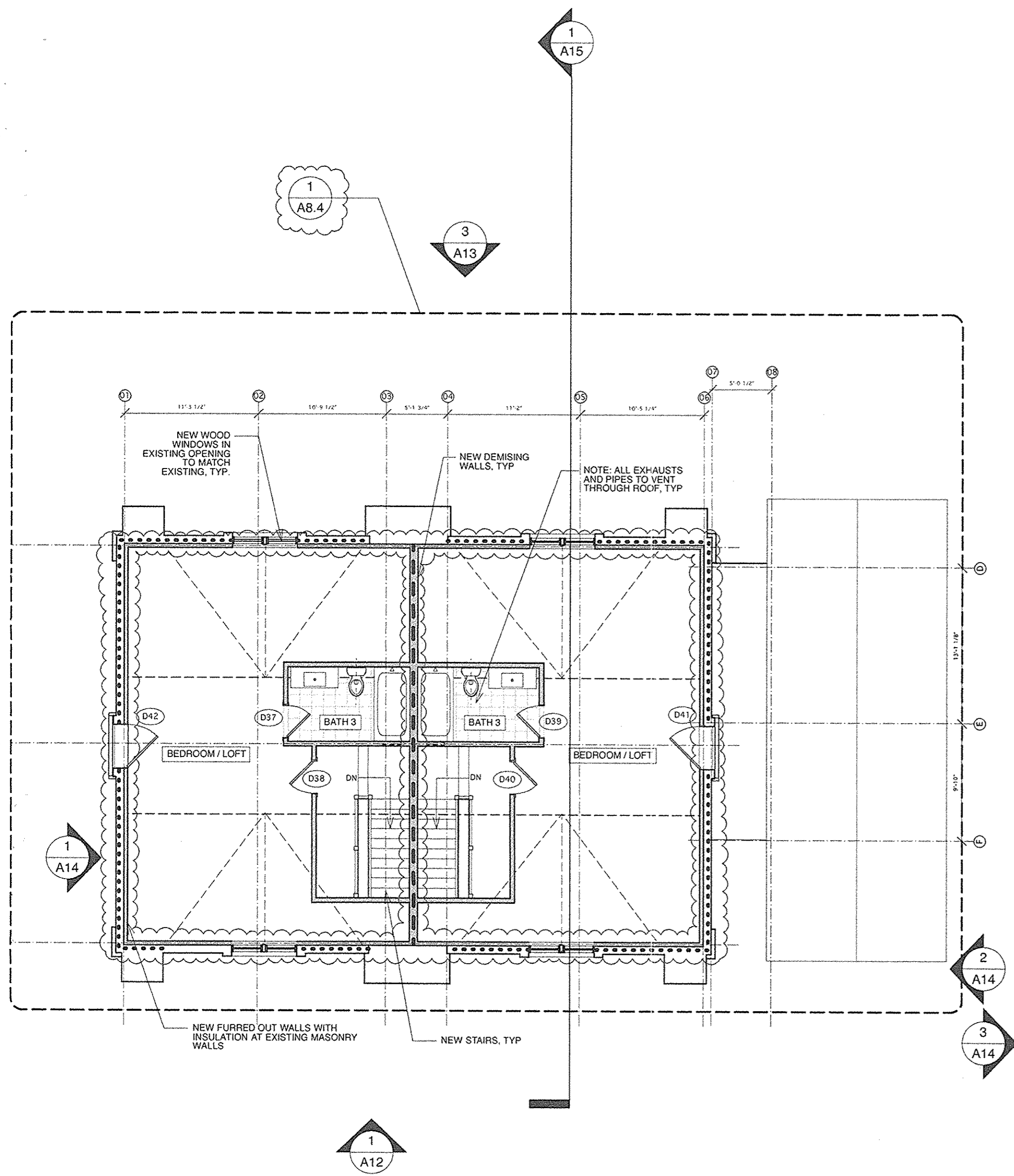
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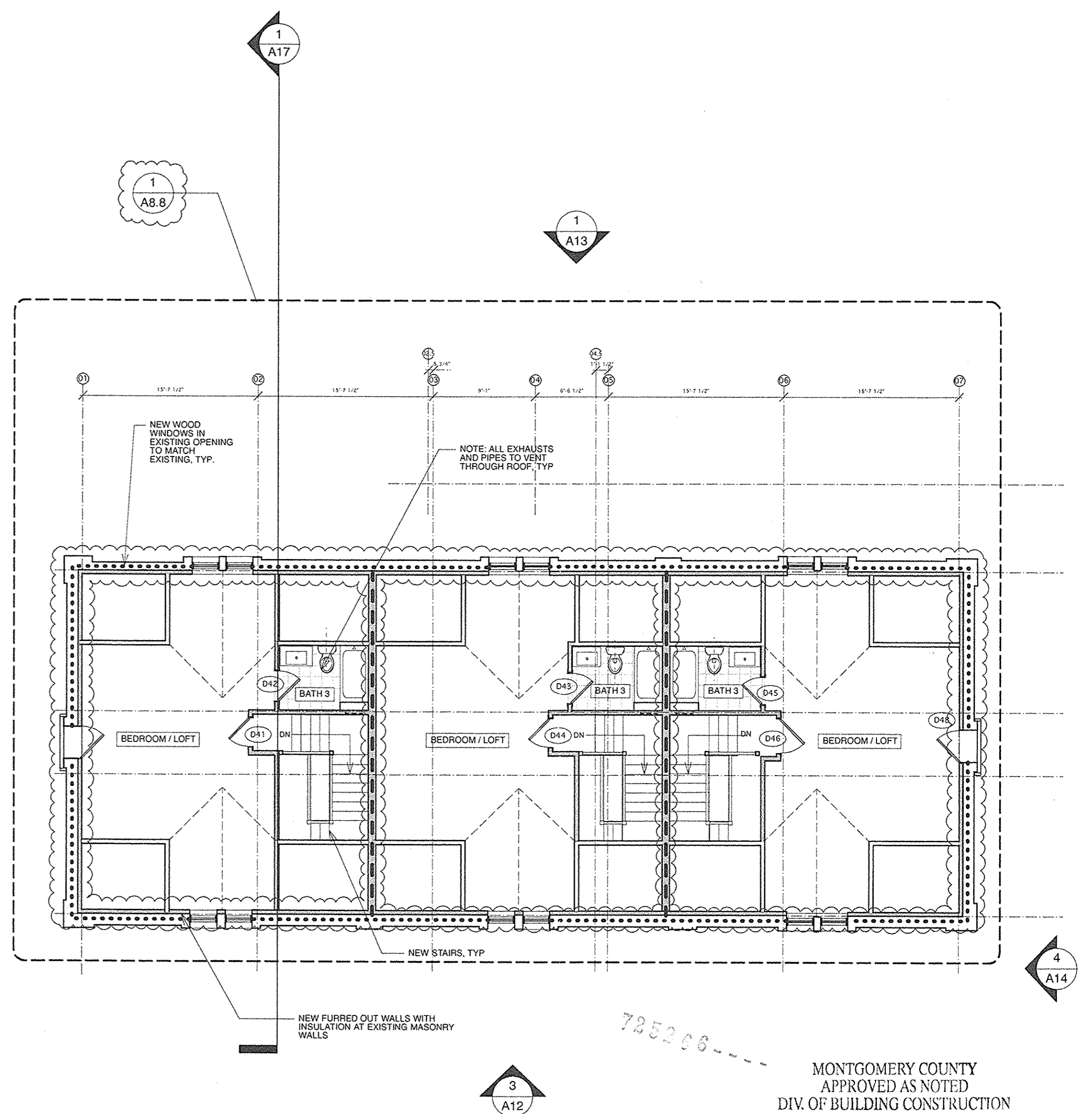
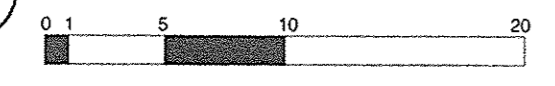
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- 11/07/16 REVISION 2
- 12/18/17 ARCH & LS REV. 1



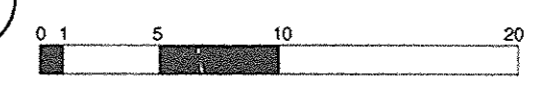
A7



1
A8
3RD FLOOR PROPOSED PLAN - CARPENTER SHOP



2
A8
3RD FLOOR PROPOSED PLAN - SERVANT QUARTERS



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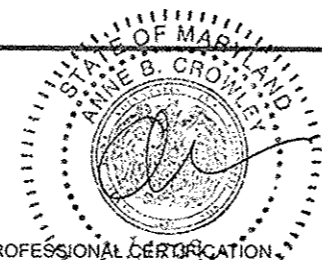
- LEGEND
- EXIST. WALL TO REMAIN
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 - NEW PARTITION WALL
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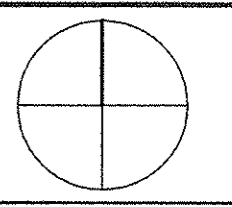
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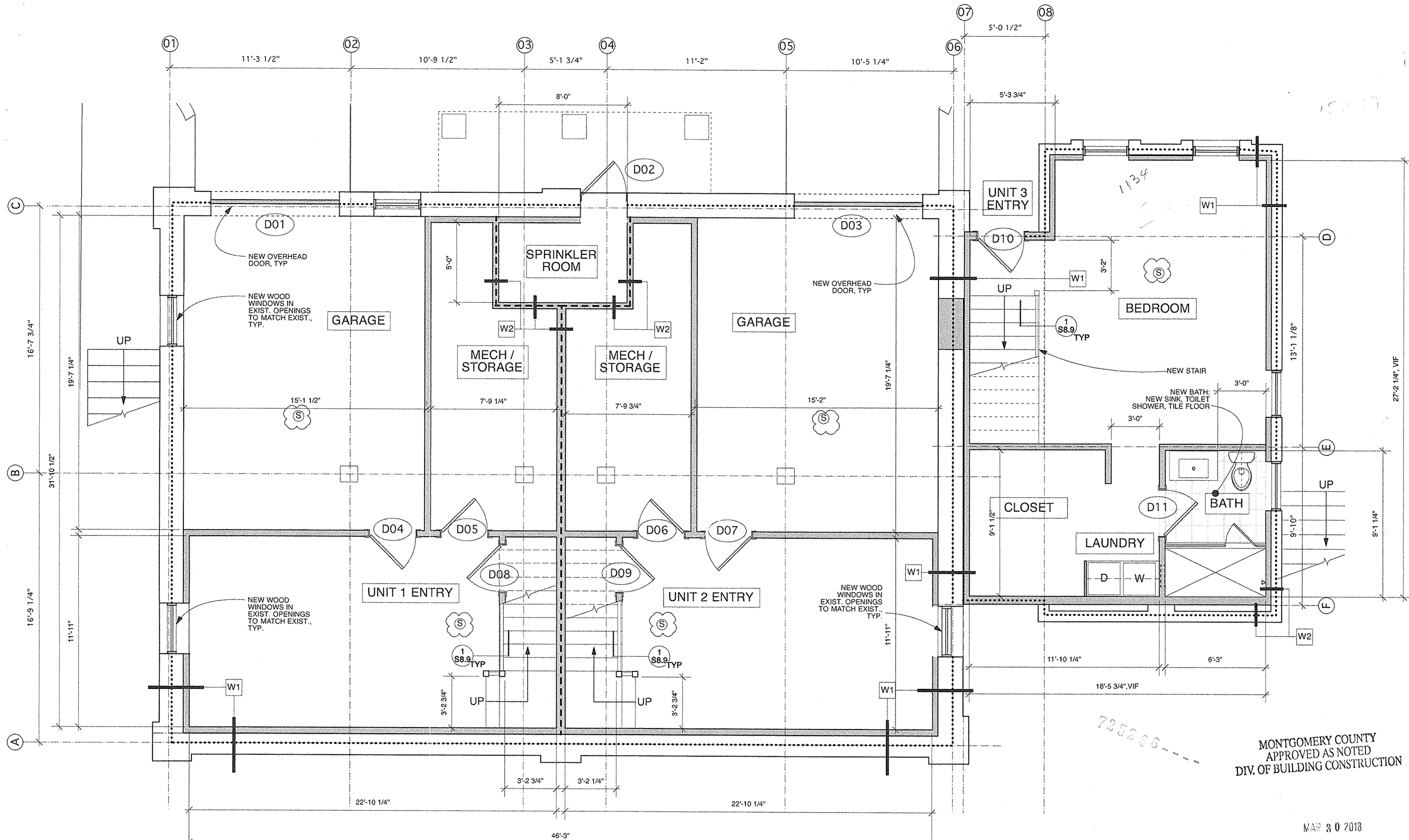
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- 08/22/14 MHPC SET
- 07/01/15 PERMIT SET
- 11/07/16 REV. 2
- 12/18/17 ARCH & LS REV. 1



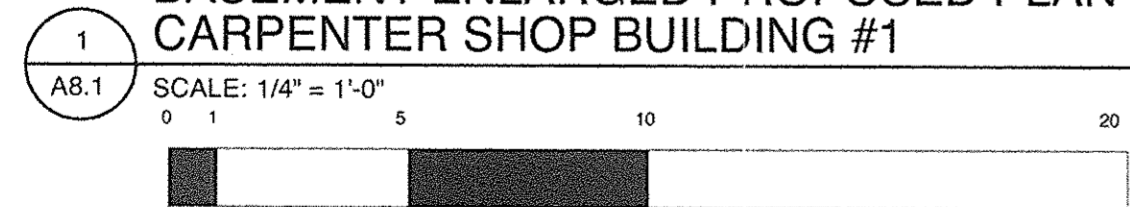
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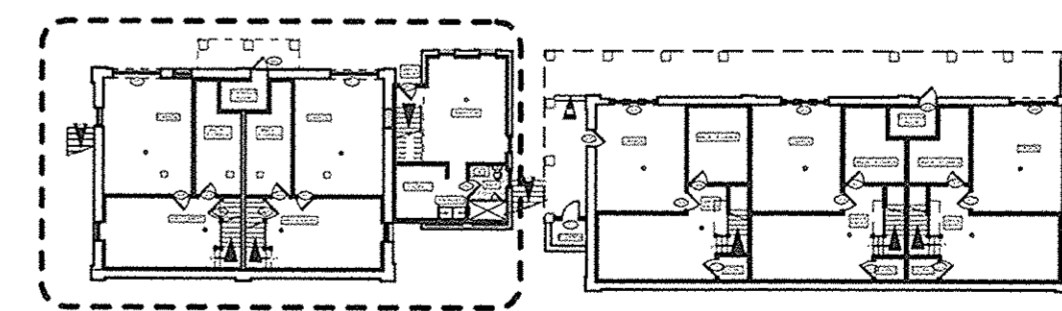
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MAR 30 2018

**BASEMENT ENLARGED PROPOSED PLAN
CARPENTER SHOP BUILDING #1**



GENERAL NOTES
1. SMOKE ALARM INSTALLED IN ACCORDANCE TO IBC-2015 SECTIONS 907.2.11.2 AND 907.2.11.5.



KEY PLAN
NTS

LEGEND

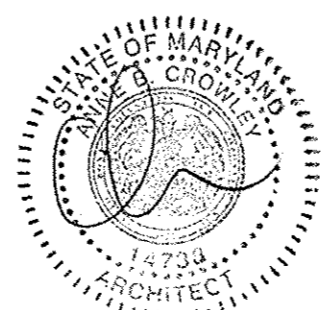
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	NEW PARTITION WALL
	CONTINUOUS 1HR FIRE RATED PARTITION
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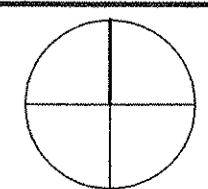


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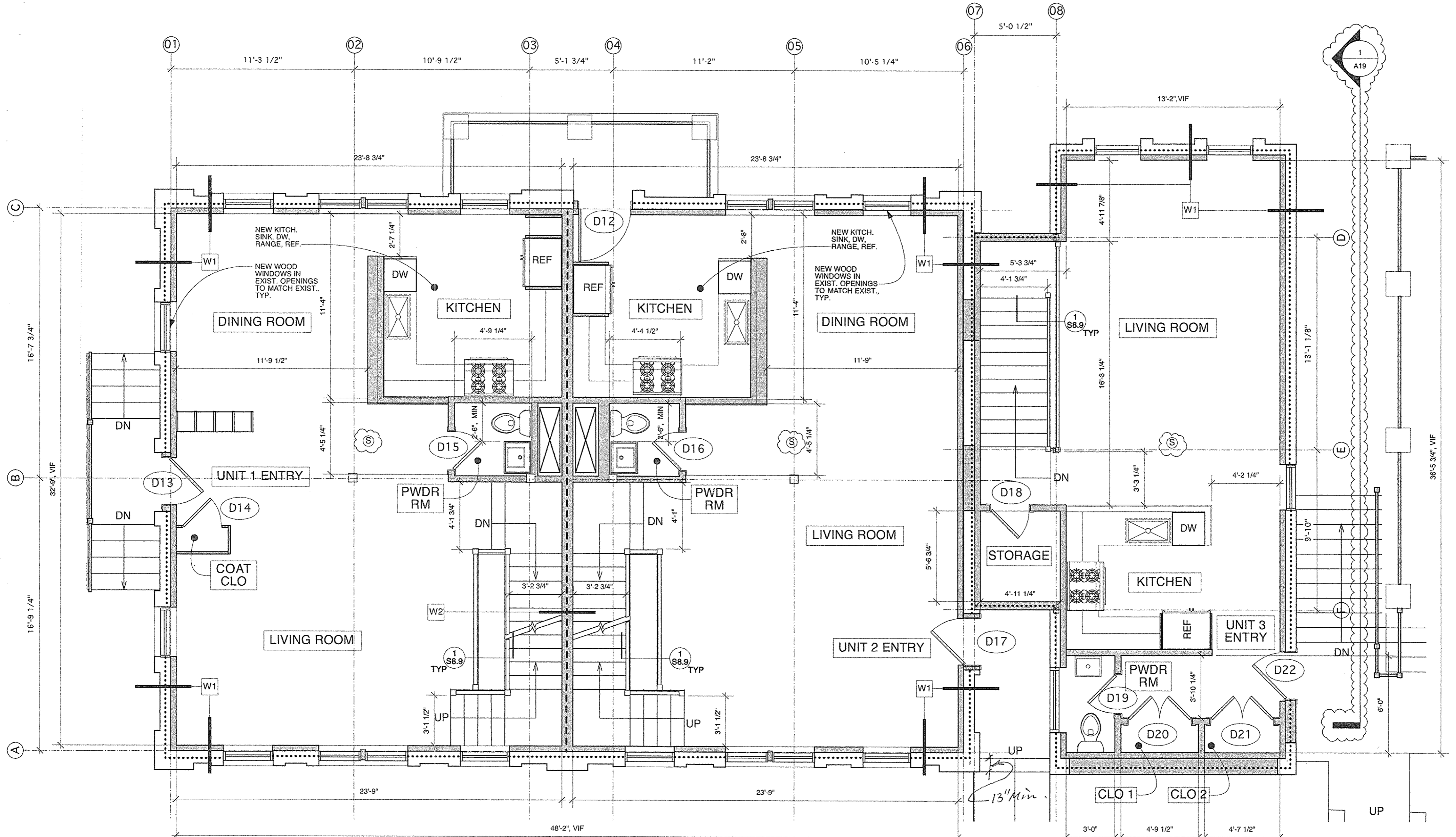
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12/18/17 ARCH & LS REV. 1
03/19/18 ARCH & LS REV. 5

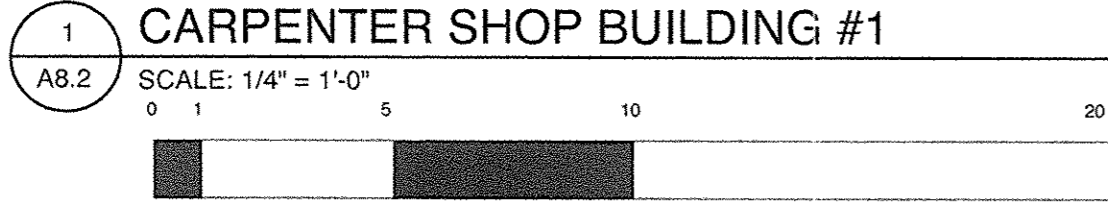
ENLARGED BASEMENT PLAN, BUILDING 1



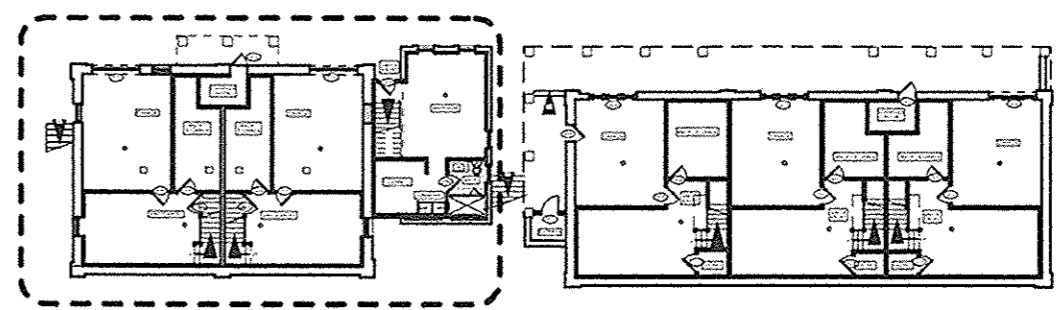
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**1ST FLOOR ENLARGED PROPOSED PLAN
CARPENTER SHOP BUILDING #1**



GENERAL NOTES
1. SMOKE ALARM INSTALLED IN ACCORDANCE TO IBC-2015 SECTIONS 907.2.11.2 and 907.2.11.5.



KEY PLAN
NTS

MONTGOMERY COUNTY
APPROVED AS NOTED
DIV. OF BUILDING CONSTRUCTION

LEGEND

	EXIST. WALL TO REMAIN
	EXIST. WALL TO BE REMOVED
	NEW PARTITION WALL
	CONTINUOUS 1HR FIRE RATED PARTITION
	CONTINUOUS 2HR FIRE RATED PARTITION

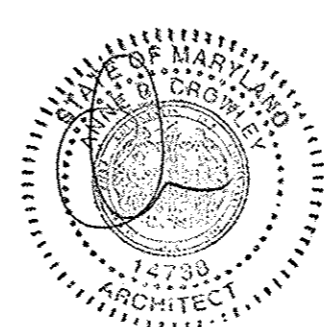
MAR 30 2018

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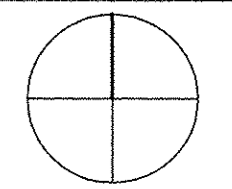


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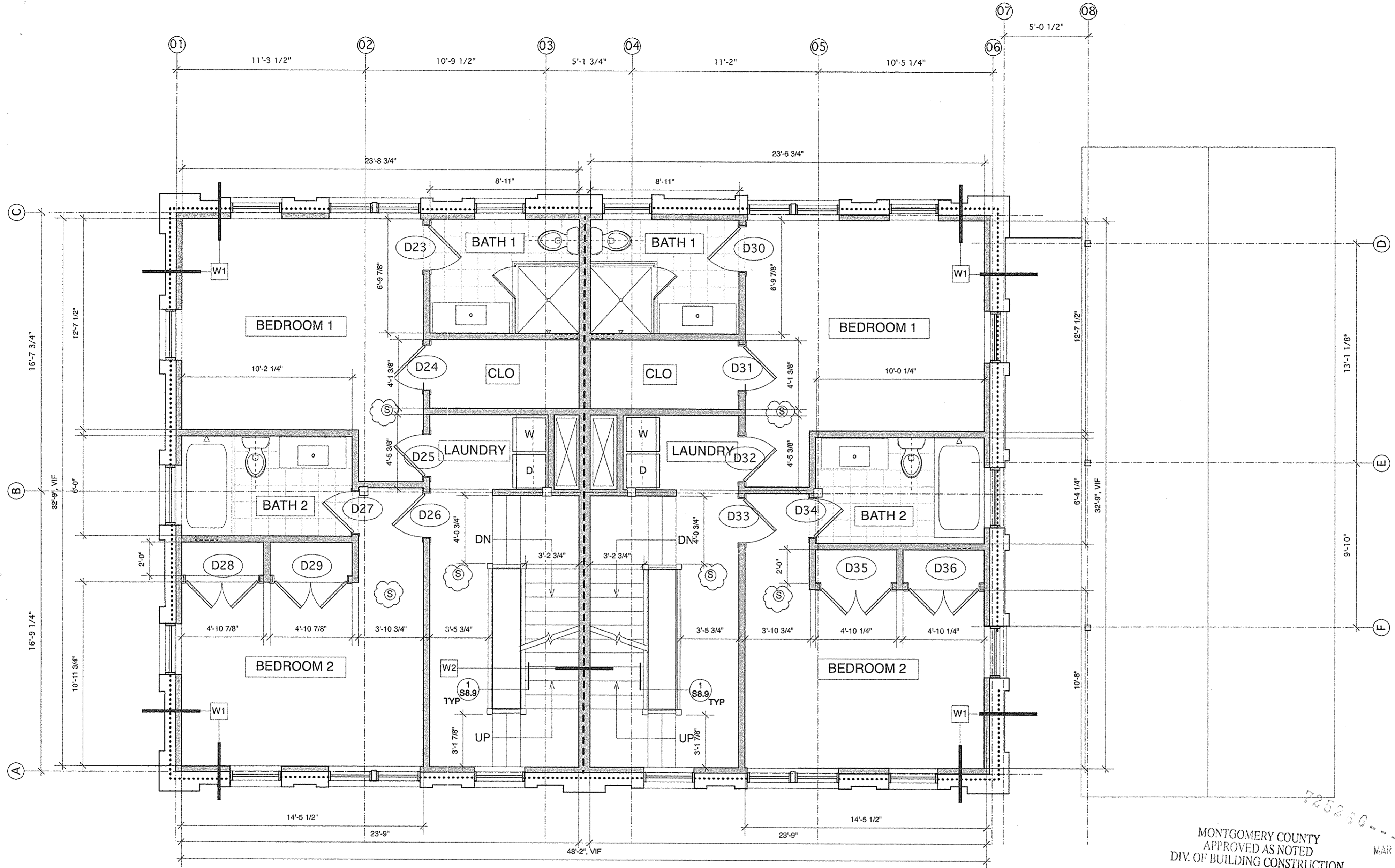
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12/18/17 ARCH & LS REV. 1
03/19/18 ARCH & LS REV. 5

ENLARGED 1ST FLOOR PLAN, BUILDING 1

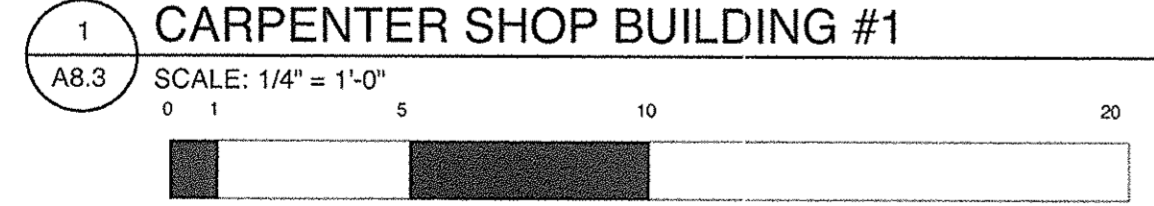


A8.2

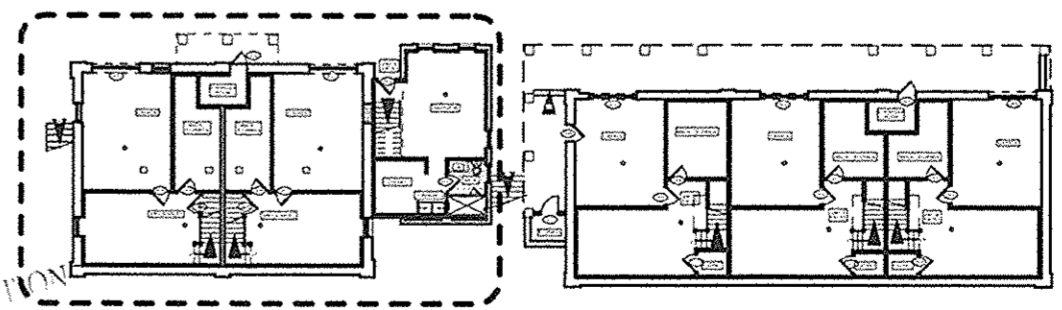


MONTGOMERY COUNTY
 APPROVED AS NOTED
 DIV. OF BUILDING CONSTRUCTION
 MAR 30 2018

**2ND FLOOR ENLARGED PROPOSED PLAN
 CARPENTER SHOP BUILDING #1**



GENERAL NOTES
 1. SMOKE ALARM INSTALLED IN ACCORDANCE TO IBC-2015 SECTIONS 907.2.11.2 and 907.2.11.5.



KEY PLAN
 NTS

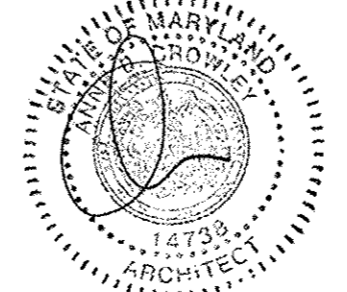
LEGEND

	EXIST. WALL TO REMAIN
	EXIST. WALL TO BE REMOVED
	NEW PARTITION WALL
	CONTINUOUS 1HR FIRE RATED PARTITION
	CONTINUOUS 2HR FIRE RATED PARTITION

Studio: CrowleyHall, pllc
 2017 Park Road, NW
 Washington, DC 20010
 P: 202.387.3003 | F: 202.318.4317

**National Park Seminary
 Carpenter Shop and Servant Quarters**
 2715, 2717, 2719, 2721, 2723, 2725
 Cassidy Street
 Silver Spring, MD 20910

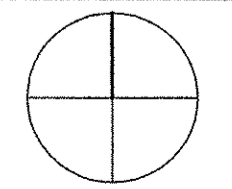
PROFESSIONAL CERTIFICATION
 I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 14738, expiration date 08/25/2018.



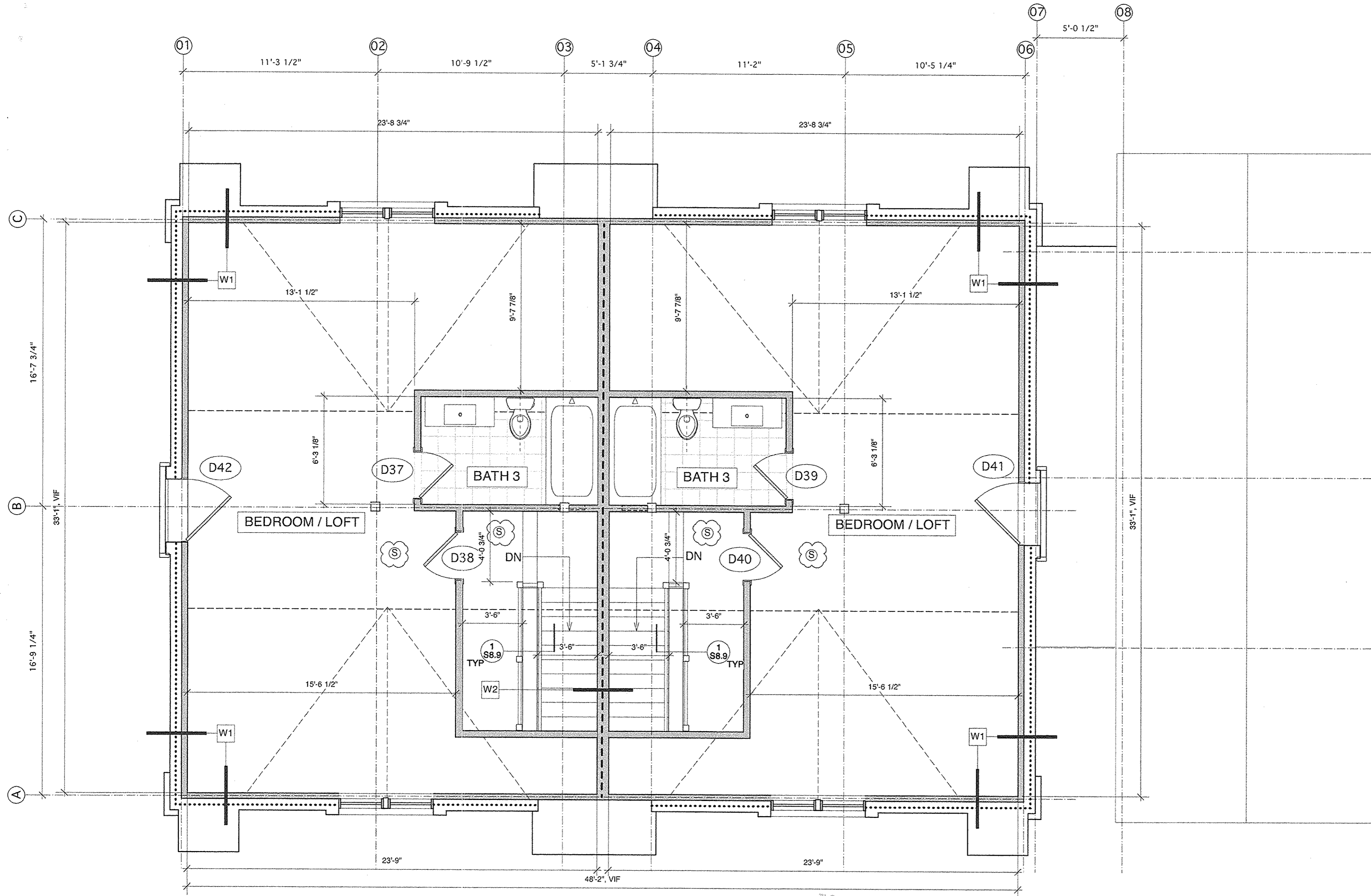
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12/18/17 ARCH & LS REV. 1
 03/19/18 ARCH & LS REV. 5

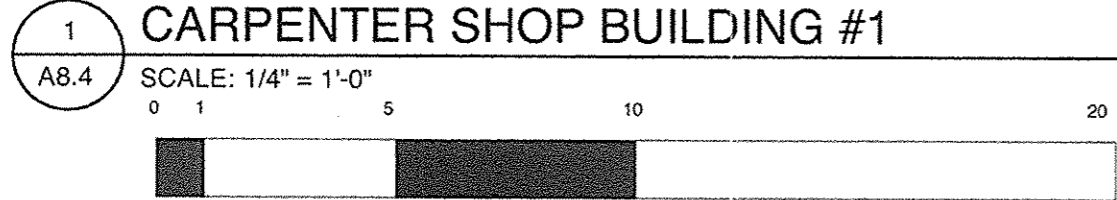
ENLARGED 2ND FLOOR PLAN, BUILDING 1



A8.3

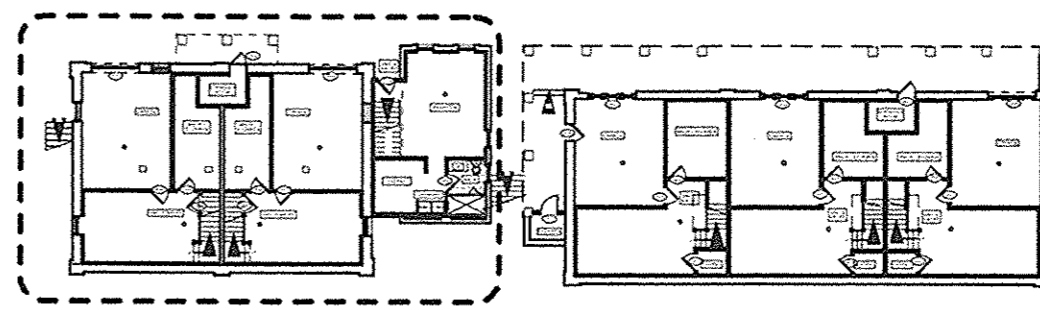


**3RD FLOOR ENLARGED PROPOSED FLOOR PLAN
CARPENTER SHOP BUILDING #1**



GENERAL NOTES
1. SMOKE ALARM INSTALLED IN ACCORDANCE TO IBC-2015 SECTIONS 907.2.11.2 and 907.2.11.5.

MONTGOMERY COUNTY
APPROVED AS NOTED
DIV. OF BUILDING CONSTRUCTION



LEGEND

	EXIST. WALL TO REMAIN
	EXIST. WALL TO BE REMOVED
	NEW PARTITION WALL
	CONTINUOUS 1HR FIRE RATED PARTITION
	CONTINUOUS 2 HR FIRE RATED PARTITION

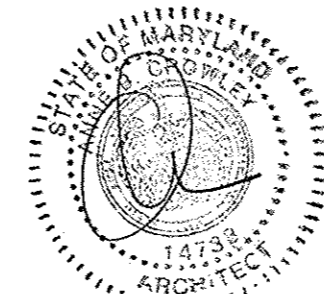
MAR 30 2018

Studio: CrowleyHall, pllc

**National Park Seminary
Carpenter Shop and Servant Quarters**

2715, 2717, 2719, 2721, 2723, 2725
Cassedy Street
Silver Spring, MD 20910

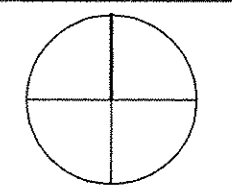
PROFESSIONAL CERTIFICATION
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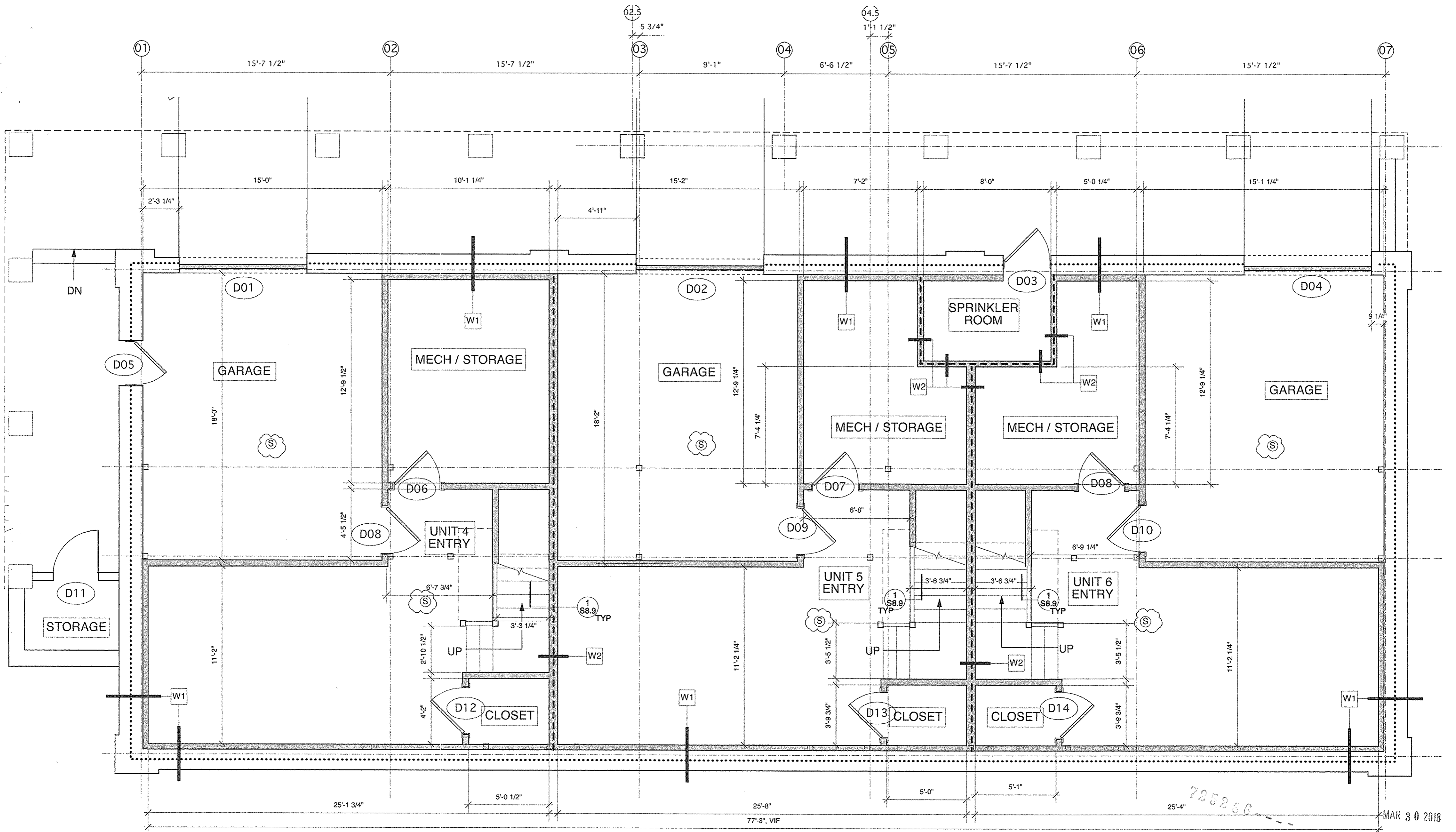
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12/18/17 ARCH & LS REV. 1
03/19/18 ARCH & LS REV. 5

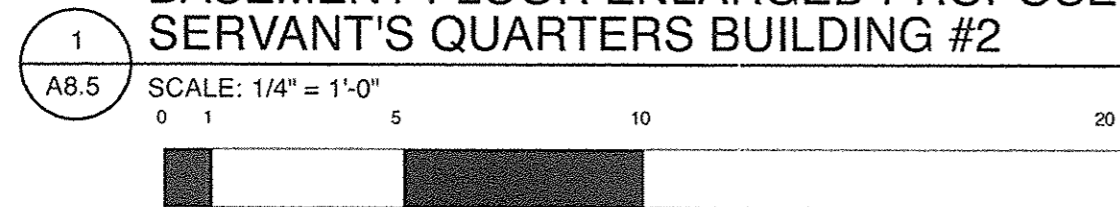
ENLARGED 3RD FLOOR PLAN, BUILDING 1



A8.4

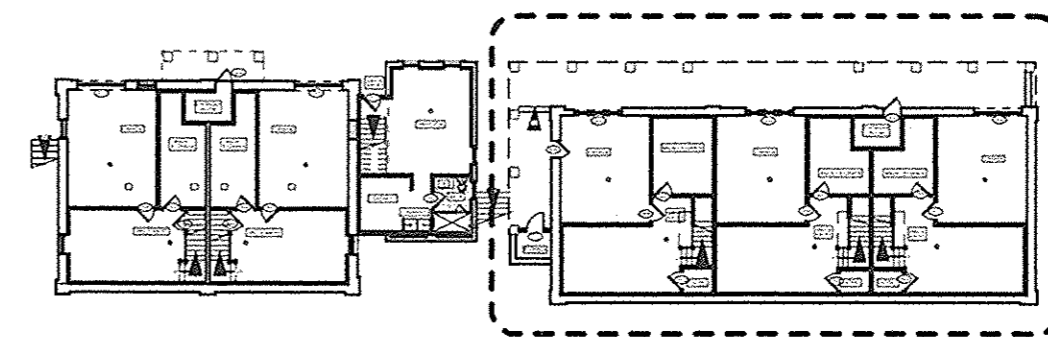


**BASEMENT FLOOR ENLARGED PROPOSED PLAN
SERVANT'S QUARTERS BUILDING #2**



GENERAL NOTES
1. SMOKE ALARM INSTALLED IN ACCORDANCE TO IBC-2015 SECTIONS 907.2.11.2 AND 907.2.11.5.

MONTGOMERY COUNTY
APPROVED AS NOTED
DIV. OF BUILDING CONSTRUCTION



KEY PLAN
NTS

MONTGOMERY COUNTY
APPROVED AS NOTED
DIV. OF BUILDING CONSTRUCTION

LEGEND

	EXIST. WALL TO REMAIN
	EXIST. WALL TO BE REMOVED
	NEW PARTITION WALL
	CONTINUOUS 1HR FIRE RATED PARTITION
	CONTINUOUS 2HR FIRE RATED PARTITION

Studio: CrowleyHall, pllc

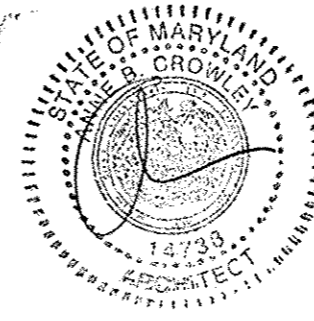
**National Park Seminary
Carpenter Shop and Servant Quarters**

2715, 2717, 2719, 2721, 2723, 2725
Cassedy Street
Silver Spring, MD 20910

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PROFESSIONAL CERTIFICATION

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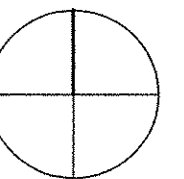


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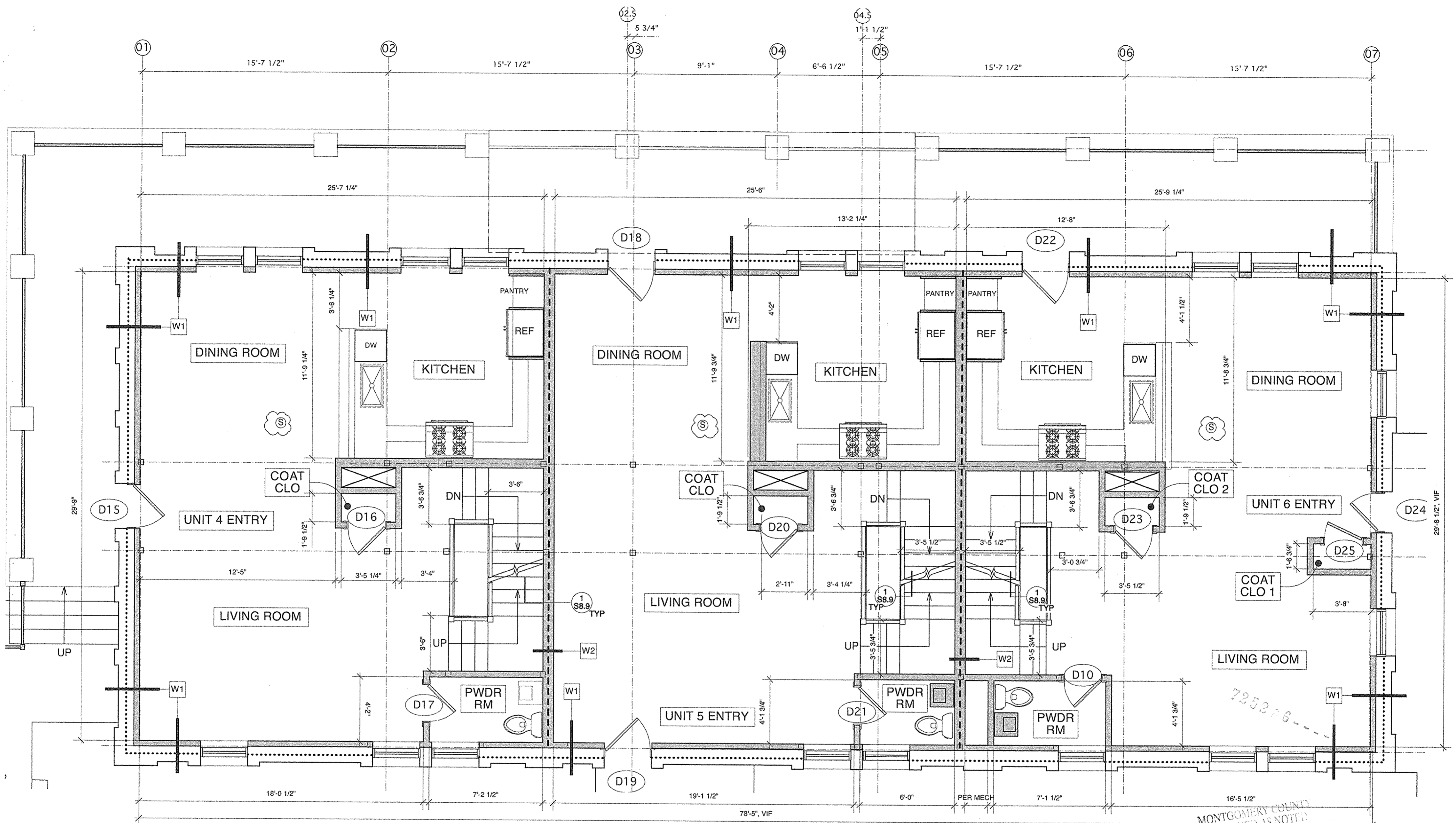
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12/18/17 ARCH & LS REV. 1
03/19/18 ARCH & LS REV. 5

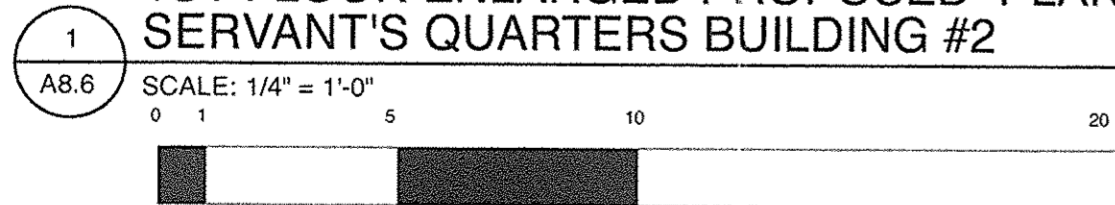
ENLARGED BASEMENT PLAN, BUILDING 2



A8.5

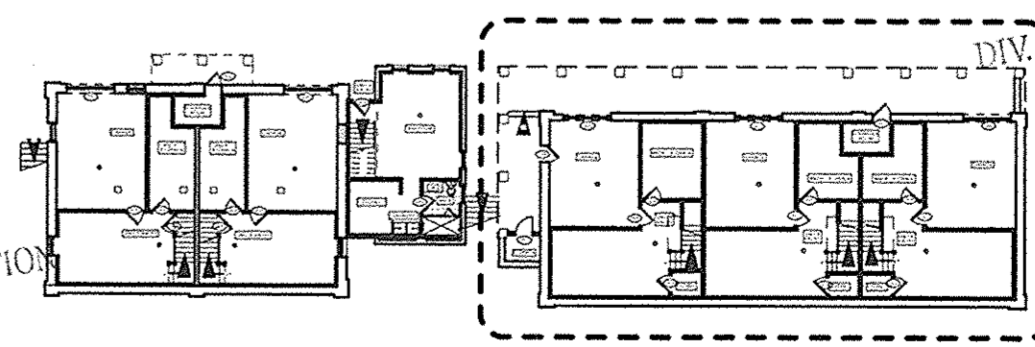


**1ST FLOOR ENLARGED PROPOSED PLAN
SERVANT'S QUARTERS BUILDING #2**



GENERAL NOTES
1. SMOKE ALARM INSTALLED IN ACCORDANCE TO IBC-2015 SECTIONS 907.2.11.2 and 907.2.11.5.

MONTGOMERY COUNTY
APPROVED AS NOTED
DIV. OF BUILDING CONSTRUCTION



KEY PLAN
NTS

MONTGOMERY COUNTY
APPROVED AS NOTED
DIV. OF BUILDING CONSTRUCTION
MAR 30 2018

LEGEND

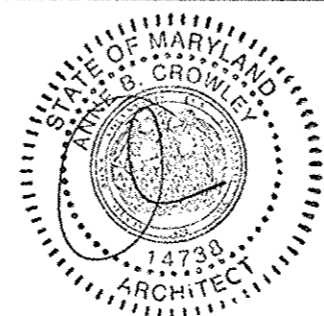
	EXIST. WALL TO REMAIN
	EXIST. WALL TO BE REMOVED
	NEW PARTITION WALL
	CONTINUOUS 1HR FIRE RATED PARTITION
	CONTINUOUS 2HR FIRE RATED PARTITION

Studio: CrowleyHall, pllc

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Cassedy Street
Silver Spring, MD 20910

2017 Park Road, NW
Washington, DC 20010
P: 202.387.3003 | F: 202.318.4317

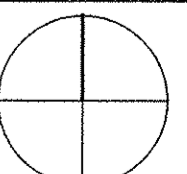
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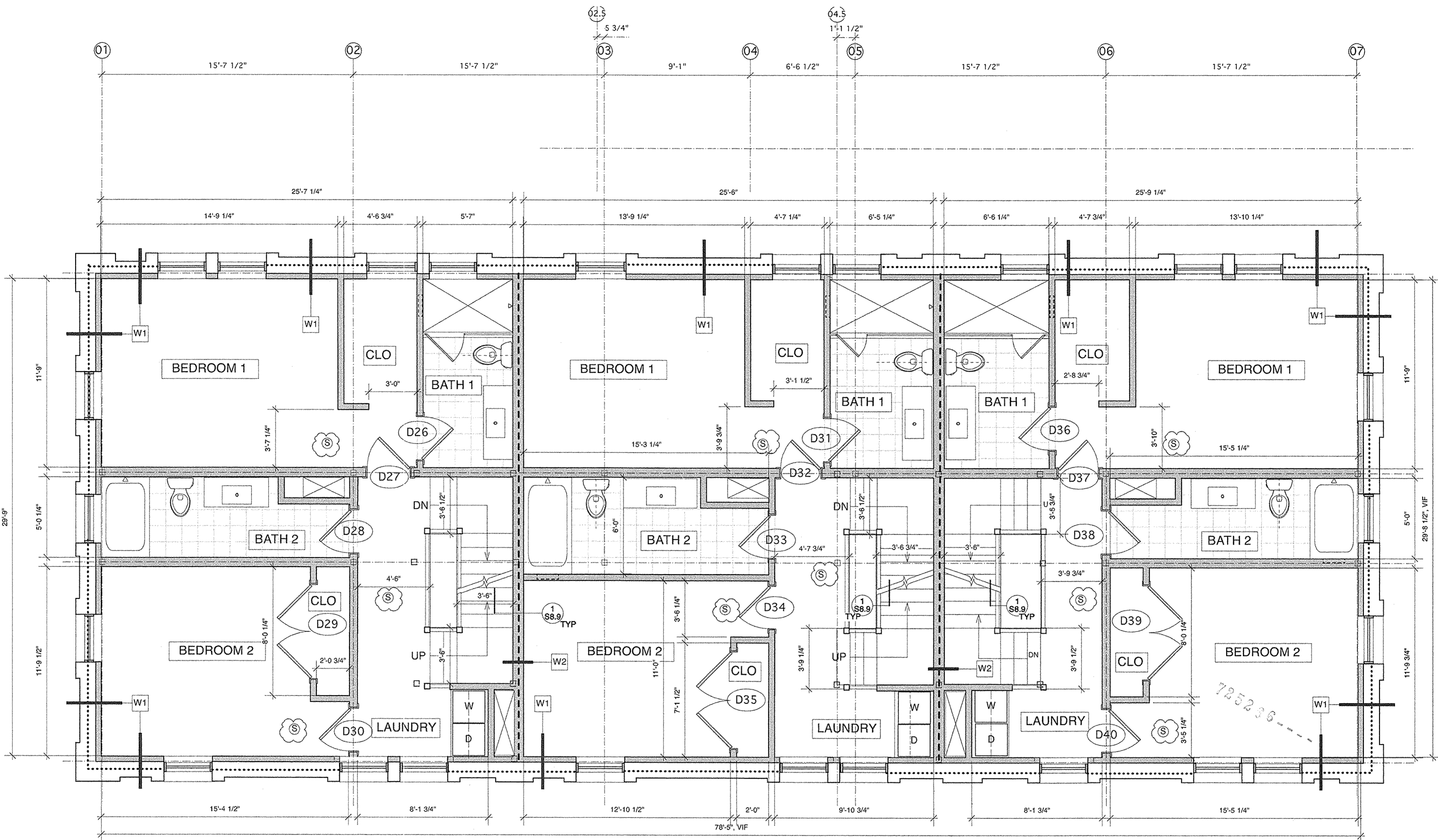
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12/18/17 ARCH & LS REV. 1
03/19/18 ARCH & LS REV. 5

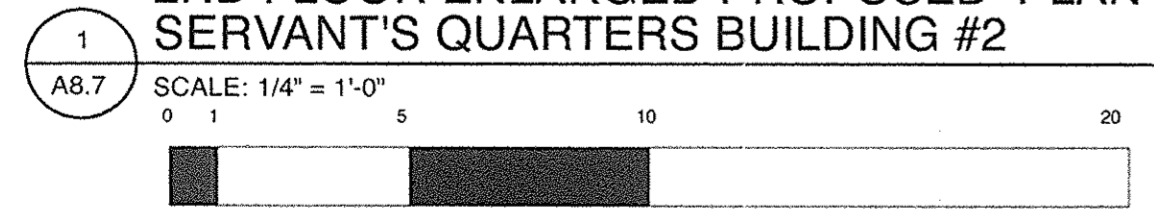


A8.6

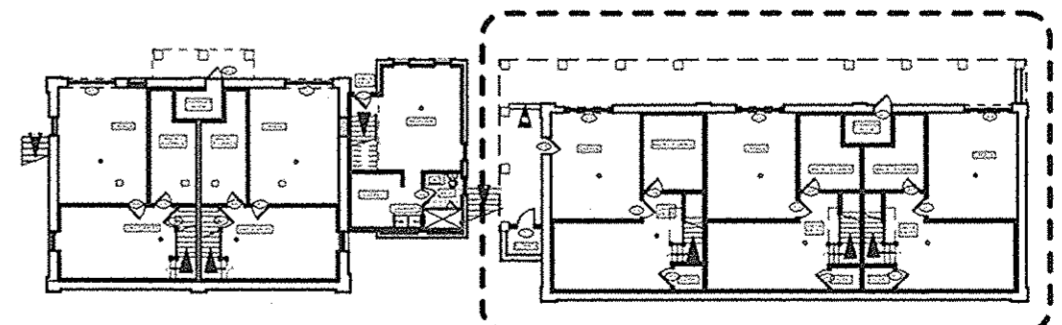
ENLARGED 1ST FLOOR PLAN, BUILDING 2



**2ND FLOOR ENLARGED PROPOSED PLAN
SERVANT'S QUARTERS BUILDING #2**



GENERAL NOTES
1. SMOKE ALARM INSTALLED IN ACCORDANCE TO IBC-2015 SECTIONS 907.2.11.2 and 907.2.11.5.



KEY PLAN
NTS

MAR 30 2018

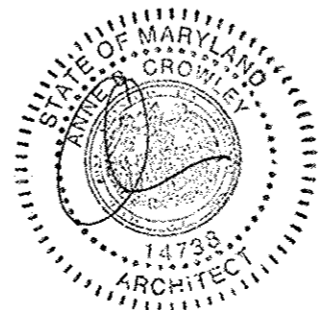
LEGEND

- EXIST. WALL TO REMAIN
- - - EXIST. WALL TO BE REMOVED
- ▬ NEW PARTITION WALL
- ▬ CONTINUOUS 1HR FIRE RATED PARTITION
- ▬ CONTINUOUS 2 HR FIRE RATED PARTITION

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Cassedy Street
Silver Spring, MD 20910

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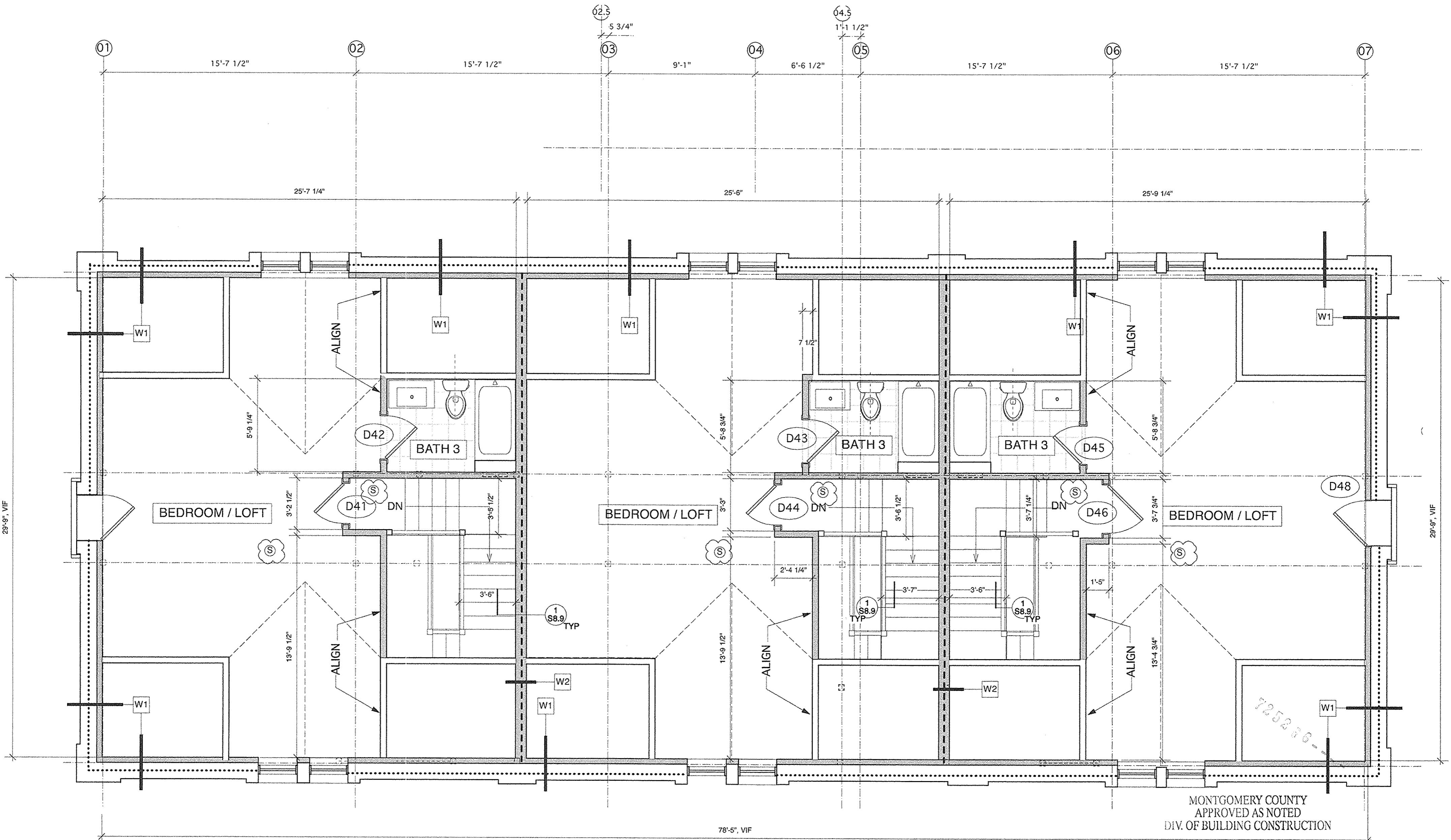


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12/18/17 ARCH & LS REV. 1
03/19/18 ARCH & LS REV. 5

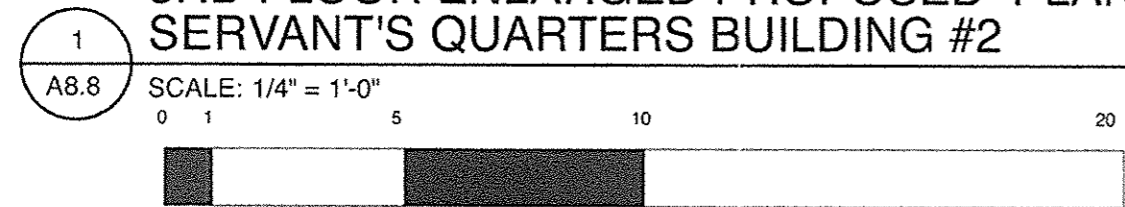
ENLARGED 2ND FLOOR PLAN, BUILDING 2

A8.7

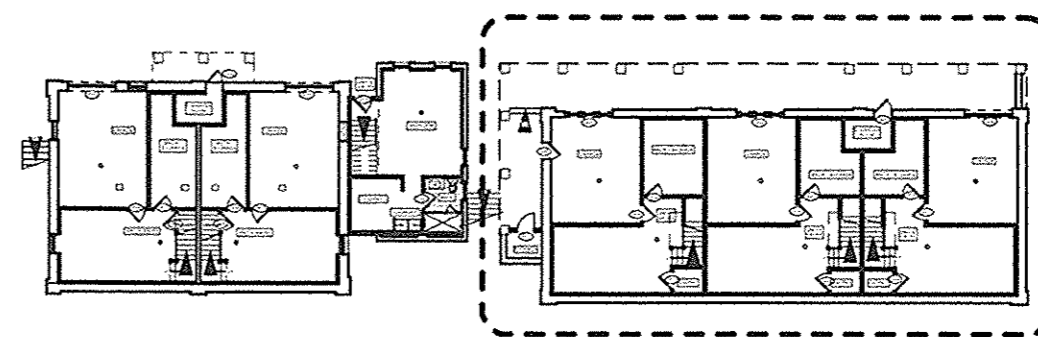


MONTGOMERY COUNTY
APPROVED AS NOTED
DIV. OF BUILDING CONSTRUCTION

**3RD FLOOR ENLARGED PROPOSED PLAN
SERVANT'S QUARTERS BUILDING #2**



GENERAL NOTES
1. SMOKE ALARM INSTALLED IN ACCORDANCE TO IBC-2015 SECTIONS 907.2.11.2 and 907.2.11.5.



KEY PLAN
NTS

LEGEND MAR 30 2018

	EXIST. WALL TO REMAIN
	EXIST. WALL TO BE REMOVED
	NEW PARTITION WALL
	CONTINUOUS 1HR FIRE RATED PARTITION
	CONTINUOUS 2 HR FIRE RATED PARTITION

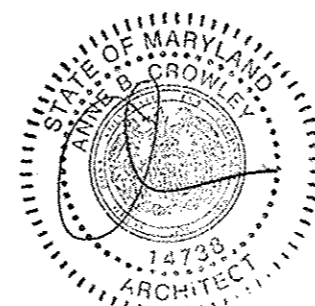
Studio: CrowleyHall, pllc

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Carpenter Shop and Servant Quarters**

2715, 2717, 2719, 2721, 2723, 2725
Cassedy Street
Silver Spring, MD 20910

PROFESSIONAL CERTIFICATION

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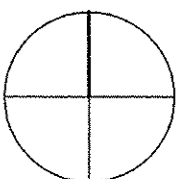


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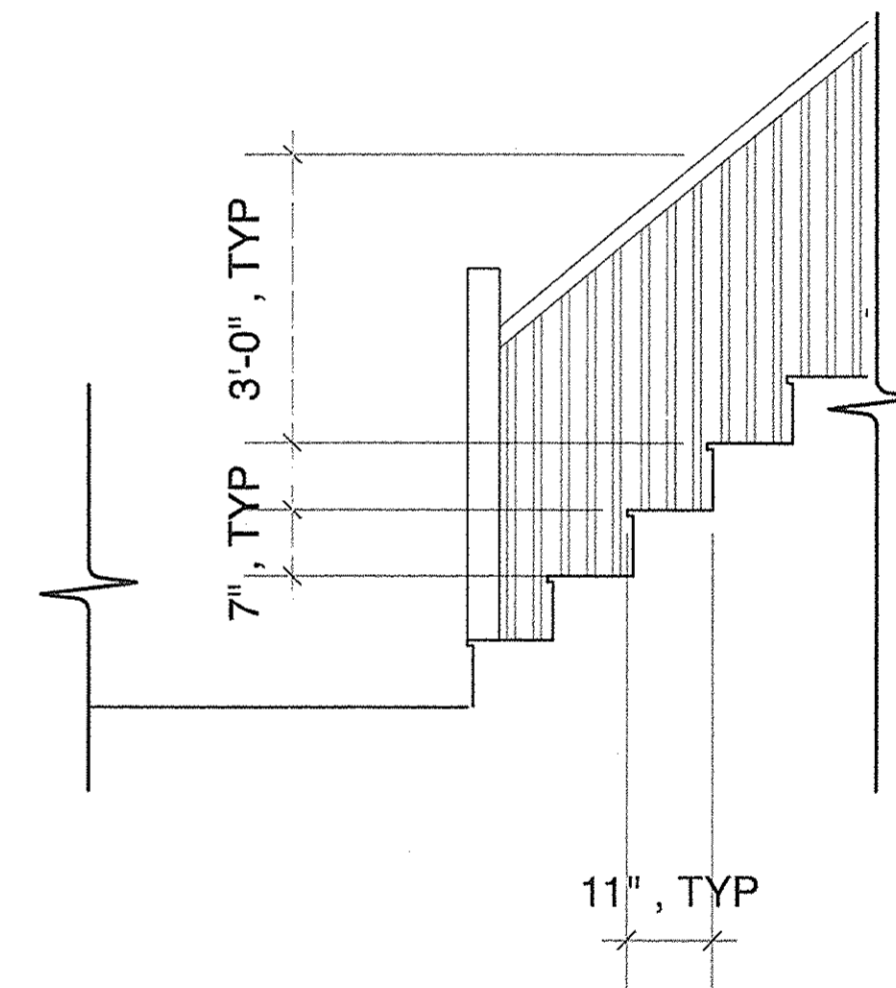
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12/18/17 ARCH & LS REV. 1
03/19/18 ARCH & LS REV. 5

ENLARGED 3RD FLOOR PLAN, BUILDING 2

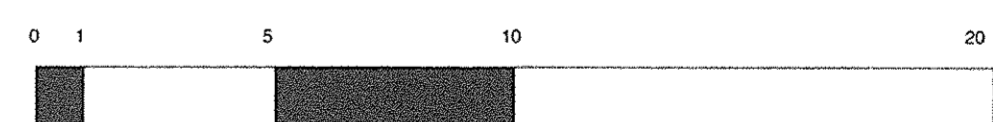


A8.8



1 TYPICAL STAIR DETAIL

A8.9 SCALE: 1/4" = 1'-0"

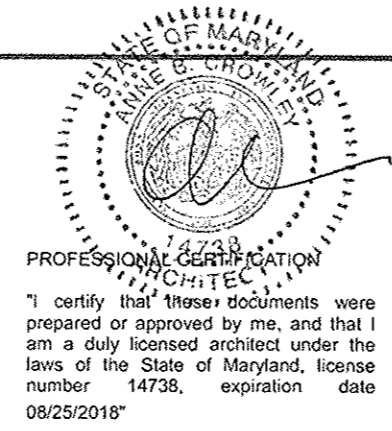


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 MONTGOMERY COUNTY
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 DIV. OF BUILDING CONSTRUCTION

Studio: CrowleyHall, pllc

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DETAILS

12/18/17 ARCH & LS REV. 1

DEC 27 2017

A8.9

DOOR SCHEDULE - BUILDING #1

NOTE: ALL DOORS ARE NEW, UNLESS OTHERWISE NOTED

SYMBOL	DIMENSIONS	DOOR OPERATION	SLAB STYLE	FIRE RATING	HARDWARE	NOTES
D01	8'-0"W X 7'-0"H	OVERHEAD DOOR	SOLID	0 MIN	REMOTE ENTRY	
D02	3'-0"W X 6'-8"	SWING SIMPLE	SOLID	60 MIN	ENTRY	NEW DOOR IN EXISTING MASONRY OPENING, VERIFY DIMENSIONS IN FIELD
D03	8'-0"W X 7'-0"H	OVERHEAD DOOR	SOLID	90 MIN	REMOTE ENTRY	
D04	3'-0" X 6'-8"	SWING SIMPLE	SOLID	0 MIN	ENTRY	
D05	3'-0" X 6'-8"	SWING SIMPLE	SOLID	0 MIN	PASSAGE	
D06	3'-0" X 6'-8"	SWING SIMPLE	SOLID	0 MIN	PASSAGE	
D07	3'-0" X 6'-8"	SWING SIMPLE	SOLID	0 MIN	ENTRY	
D08	3'-0" X 6'-8"	SWING SIMPLE	SOLID	0 MIN	PASSAGE	
D09	3'-0" X 6'-8"	SWING SIMPLE	SOLID	0 MIN	PASSAGE	
D10	3'-0" X 6'-8"	SWING SIMPLE	GLASS PANEL	0 MIN	ENTRY	
D11	3'-0" X 6'-8"	SWING SIMPLE	SOLID	0 MIN	PRIVACY	
D12	3'-0" X 6'-8"	SWING SIMPLE	GLASS PANEL	0 MIN	ENTRY	NEW DOOR IN EXISTING MASONRY OPENING, VERIFY DIMENSIONS IN FIEL
D13	3'-0" X 6'-8"	SWING SIMPLE	GLASS PANEL	0 MIN	ENTRY	NEW DOOR IN EXISTING MASONRY OPENING, VERIFY DIMENSIONS IN FIELD
D14	3'-0" X 6'-8"	SWING SIMPLE	SOLID	0 MIN	PASSAGE	
D15	3'-0" X 6'-8"	SWING SIMPLE	SOLID	0 MIN	PRIVACY	
D16	3'-0" X 6'-8"	SWING SIMPLE	SOLID	0 MIN	PRIVACY	
D17	3'-0" X 6'-8"	SWING SIMPLE	GLASS PANEL	0 MIN	ENTRY	
D18	3'-0" X 6'-8"	SWING SIMPLE	SOLID	0 MIN	PASSAGE	
D19	3'-0" X 6'-8"	SWING SIMPLE	SOLID	0 MIN	PRIVACY	
D20	3'-0" X 6'-8"	SWING BI-PART	SOLID	0 MIN	PASSAGE	
D21	3'-0" X 6'-8"	SWING BI-PART	SOLID	0 MIN	PASSAGE	
D22	3'-0" X 6'-8"	SWING SIMPLE	SOLID	0 MIN	ENTRY	
D23	3'-0" X 6'-8"	SWING SIMPLE	SOLID	0 MIN	PRIVACY	
D24	3'-0" X 6'-8"	SWING SIMPLE	SOLID	0 MIN	PASSAGE	NEW DOOR IN EXISTING MASONRY OPENING, VERIFY DIMENSIONS IN FIELD
D25	3'-0" X 6'-8"	SWING SIMPLE	SOLID	0 MIN	PRIVACY	
D26	3'-0" X 6'-8"	SWING SIMPLE	SOLID	0 MIN	PRIVACY	
D27	3'-0" X 6'-8"	SWING SIMPLE	SOLID	0 MIN	PRIVACY	
D28	3'-0" X 6'-8"	SWING BI-PART	SOLID	0 MIN	PASSAGE	
D29	3'-0" X 6'-8"	SWING BI-PART	SOLID	0 MIN	PRIVACY	
D30	3'-0" X 6'-8"	SWING SIMPLE	SOLID	0 MIN	PRIVACY	
D31	3'-0" X 6'-8"	SWING SIMPLE	SOLID	0 MIN	PASSAGE	
D32	3'-0" X 6'-8"	SWING SIMPLE	SOLID	0 MIN	PRIVACY	
D33	3'-0" X 6'-8"	SWING SIMPLE	SOLID	0 MIN	PRIVACY	
D34	3'-0" X 6'-8"	SWING SIMPLE	SOLID	0 MIN	PRIVACY	
D35	3'-0" X 6'-8"	SWING BI-PART	SOLID	0 MIN	PASSAGE	
D36	3'-0" X 6'-8"	SWING BI-PART	SOLID	0 MIN	PASSAGE	
D37	3'-0" X 6'-8"	SWING SIMPLE	SOLID	0 MIN	PRIVACY	
D38	3'-0" X 6'-8"	SWING SIMPLE	SOLID	0 MIN	PRIVACY	
D39	3'-0" X 6'-8"	SWING SIMPLE	SOLID	0 MIN	PRIVACY	
D40	3'-0" X 6'-8"	SWING SIMPLE	SOLID	0 MIN	PRIVACY	

DOOR SCHEDULE - BUILDING #1

NOTE: ALL DOORS ARE NEW, UNLESS OTHERWISE NOTED

SYMBOL	DIMENSIONS	DOOR OPERATION	SLAB STYLE	FIRE RATING	HARDWARE	NOTES
D01	8'-0"W X 7'-0"H	OVERHEAD DOOR	SOLID	0 MIN	REMOTE ENTRY	
D02	8'-0"W X 7'-0"H	OVERHEAD DOOR	SOLID	0 MIN	REMOTE ENTRY	
D03	3'-0" X 6'-8"	SIMPLE SWING	SOLID	60 MIN	ENTRY	NEW DOOR IN EXISTING MASONRY OPENING, VERIFY DIMENSIONS IN FIELD
D04	8'-0"W X 7'-0"H	OVERHEAD DOOR	SOLID	0 MIN	REMOTE ENTRY	
D05	3'-0" X 6'-8"	SIMPLE SWING	SOLID	0 MIN	ENTRY	NEW DOOR IN EXISTING MASONRY OPENING, VERIFY DIMENSIONS IN FIELD
D06	3'-0" X 6'-8"	SIMPLE SWING	SOLID	0 MIN	PASSAGE	
D07	3'-0" X 6'-8"	SIMPLE SWING	SOLID	0 MIN	PASSAGE	
D08	3'-0" X 6'-8"	SIMPLE SWING	SOLID	0 MIN	PASSAGE	
D09	3'-0" X 6'-8"	SIMPLE SWING	SOLID	0 MIN	ENTRY	
D10	3'-0" X 6'-8"	SIMPLE SWING	SOLID	0 MIN	ENTRY	
D11	3'-0" X 6'-8"	SIMPLE SWING	SOLID	0 MIN	ENTRY	
D12	3'-0" X 6'-8"	SIMPLE SWING	SOLID	0 MIN	PASSAGE	
D13	3'-0" X 6'-8"	SIMPLE SWING	SOLID	0 MIN	PASSAGE	
D14	3'-0" X 6'-8"	SIMPLE SWING	SOLID	0 MIN	PASSAGE	
D15	3'-0" X 6'-8"	SIMPLE SWING	GLASS PANEL	0 MIN	ENTRY	NEW DOOR IN EXISTING MASONRY OPENING, VERIFY DIMENSIONS IN FIELD
D16	3'-0" X 6'-8"	SIMPLE SWING	SOLID	0 MIN	PASSAGE	
D17	3'-0" X 6'-8"	SIMPLE SWING	SOLID	0 MIN	PRIVACY	
D18	3'-0" X 6'-8"	SIMPLE SWING	GLASS PANEL	0 MIN	ENTRY	
D19	3'-0" X 6'-8"	SIMPLE SWING	GLASS PANEL	0 MIN	ENTRY	
D20	3'-0" X 6'-8"	SIMPLE SWING	SOLID	0 MIN	PASSAGE	
D21	3'-0" X 6'-8"	SIMPLE SWING	SOLID	0 MIN	PRIVACY	
D22	3'-0" X 6'-8"	SIMPLE SWING	GLASS PANEL	0 MIN	ENTRY	
D23	3'-0" X 6'-8"	SIMPLE SWING	SOLID	0 MIN	PASSAGE	
D24	3'-0" X 6'-8"	SIMPLE SWING	GLASS PANEL	0 MIN	ENTRY	NEW DOOR IN EXISTING MASONRY OPENING, VERIFY DIMENSIONS IN FIELD
D25	3'-0" X 6'-8"	SIMPLE SWING	SOLID	0 MIN	PASSAGE	
D26	3'-0" X 6'-8"	SIMPLE SWING	SOLID	0 MIN	PRIVACY	
D27	3'-0" X 6'-8"	SIMPLE SWING	SOLID	0 MIN	PRIVACY	
D28	3'-0" X 6'-8"	SIMPLE SWING	SOLID	0 MIN	PRIVACY	
D29	3'-0" X 6'-8"	SWING BI-PART	SOLID	0 MIN	PASSAGE	
D30	3'-0" X 6'-8"	SIMPLE SWING	SOLID	0 MIN	PRIVACY	
D31	3'-0" X 6'-8"	SIMPLE SWING	SOLID	0 MIN	PRIVACY	
D32	3'-0" X 6'-8"	SIMPLE SWING	SOLID	0 MIN	PRIVACY	
D33	3'-0" X 6'-8"	SIMPLE SWING	SOLID	0 MIN	PRIVACY	
D34	3'-0" X 6'-8"	SIMPLE SWING	SOLID	0 MIN	PRIVACY	
D35	3'-0" X 6'-8"	SWING BI-PART	SOLID	0 MIN	PASSAGE	
D36	3'-0" X 6'-8"	SIMPLE SWING	SOLID	0 MIN	PRIVACY	
D37	3'-0" X 6'-8"	SIMPLE SWING	SOLID	0 MIN	PRIVACY	
D38	3'-0" X 6'-8"	SIMPLE SWING	SOLID	0 MIN	PRIVACY	
D39	3'-0" X 6'-8"	SWING BI-PART	SOLID	0 MIN	PRIVACY	
D40	3'-0" X 6'-8"	SIMPLE SWING	SOLID	0 MIN	PRIVACY	
D41	3'-0" X 6'-8"	SIMPLE SWING	SOLID	0 MIN	PRIVACY	
D42	3'-0" X 6'-8"	SIMPLE SWING	SOLID	0 MIN	PRIVACY	
D43	3'-0" X 6'-8"	SIMPLE SWING	SOLID	0 MIN	PRIVACY	
D44	3'-0" X 6'-8"	SIMPLE SWING	SOLID	0 MIN	PRIVACY	
D45	3'-0" X 6'-8"	SIMPLE SWING	SOLID	0 MIN	PRIVACY	
D46	3'-0" X 6'-8"	SIMPLE SWING	SOLID	0 MIN	PRIVACY	

TABLE C402.4
BUILDING ENVELOPE FENESTRATION MAXIMUM U-FACTOR AND SHGC REQUIREMENTS

CLIMATE ZONE	1	2	3	4 EXCEPT MARINE	5 AND MARINE 4	6	7	8
Vertical fenestration								
U-factor								
Fixed fenestration	0.50	0.50	0.46	0.38	0.38	0.36	0.29	0.29
Operable fenestration	0.65	0.65	0.60	0.45	0.45	0.43	0.37	0.37
Entrance doors	1.10	0.83	0.77	0.77	0.77	0.77	0.77	0.77
SHGC								
Orientation ^a	SEW	N	SEW	N	SEW	N	SEW	N
PF < 0.2	0.25	0.33	0.25	0.33	0.25	0.33	0.40	0.53
0.2 ≤ PF < 0.5	0.30	0.37	0.30	0.37	0.30	0.37	0.48	0.58
PF ≥ 0.5	0.40	0.40	0.40	0.40	0.40	0.64	0.64	0.64
Skylights								
U-factor	0.75	0.65	0.55	0.50	0.50	0.50	0.50	0.50
SHGC	0.35	0.35	0.35	0.40	0.40	0.40	NR	NR

NR = No requirement, PF = Projection factor.
a. "N" indicates vertical fenestration oriented within 45 degrees of true north. "SEW" indicates orientations other than "N". For buildings in the southern hemisphere, reverse south and north.
Buildings located at less than 23.5 degrees latitude shall use SEW for all orientations.

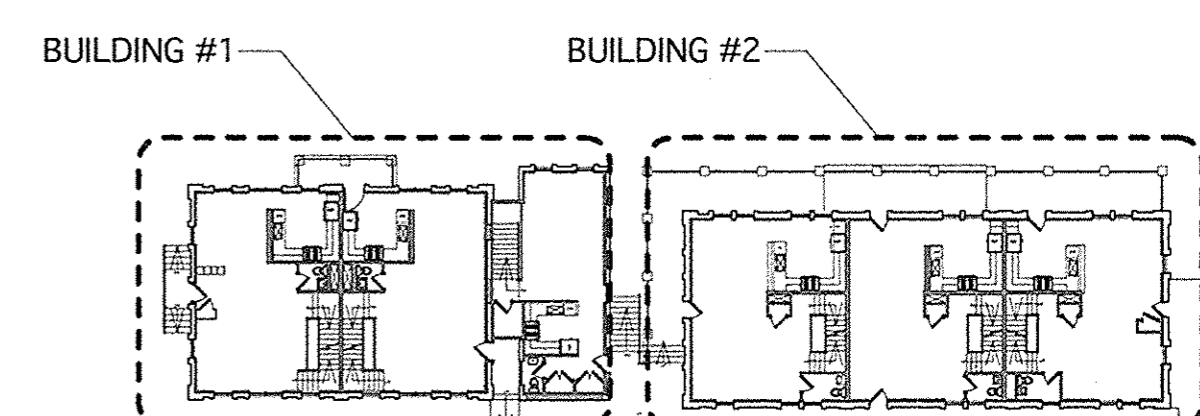
ALL NEW WINDOWS AND DOORS TO MEET REQUIREMENTS OF IBC 2015 C402.

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KEY PLAN - FIRST FLOOR FOR REFERENCE
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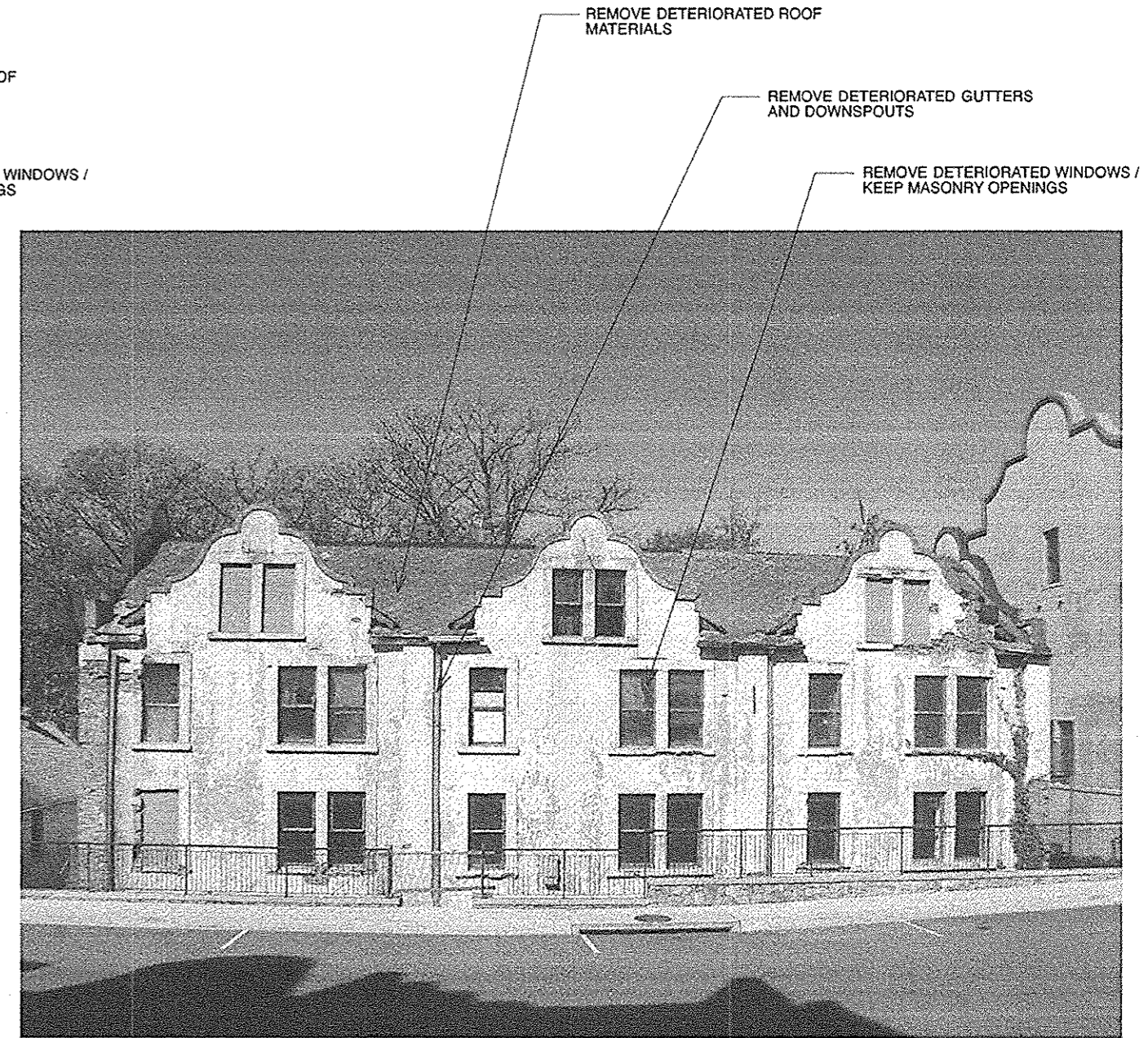
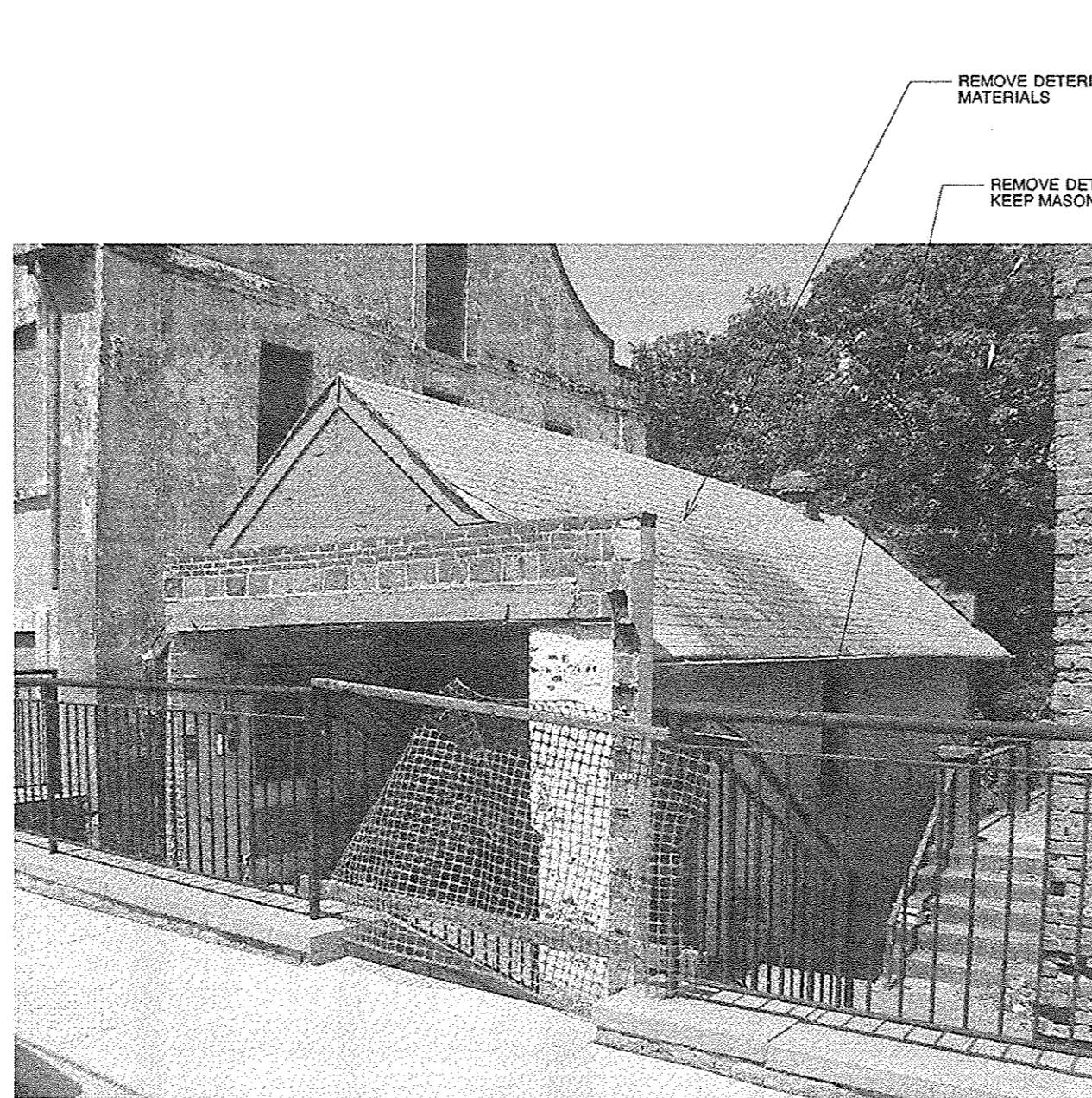
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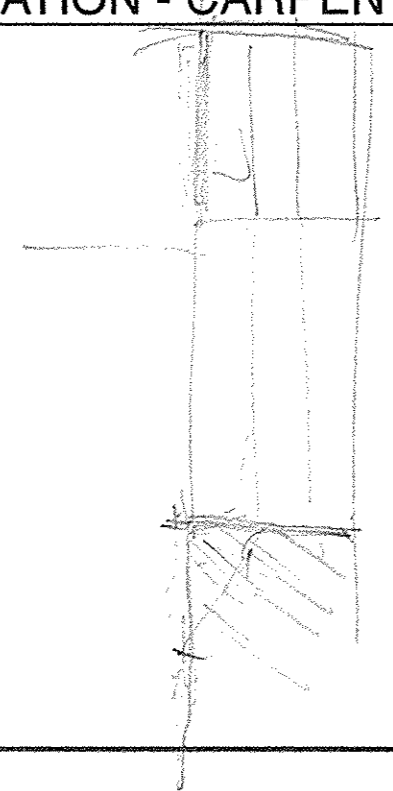
03/07/18 ARCH & LS REV. 5

DOOR SCHEDULES

A8.10



1 SOUTH ELEVATION - CARPENTER SHOP
A9 NOT TO SCALE



2 SOUTH ELEVATION - CARPENTER ANNEX
A9 NOT TO SCALE

3 SOUTH ELEVATION - SERVANT QUARTERS
A9 NOT TO SCALE

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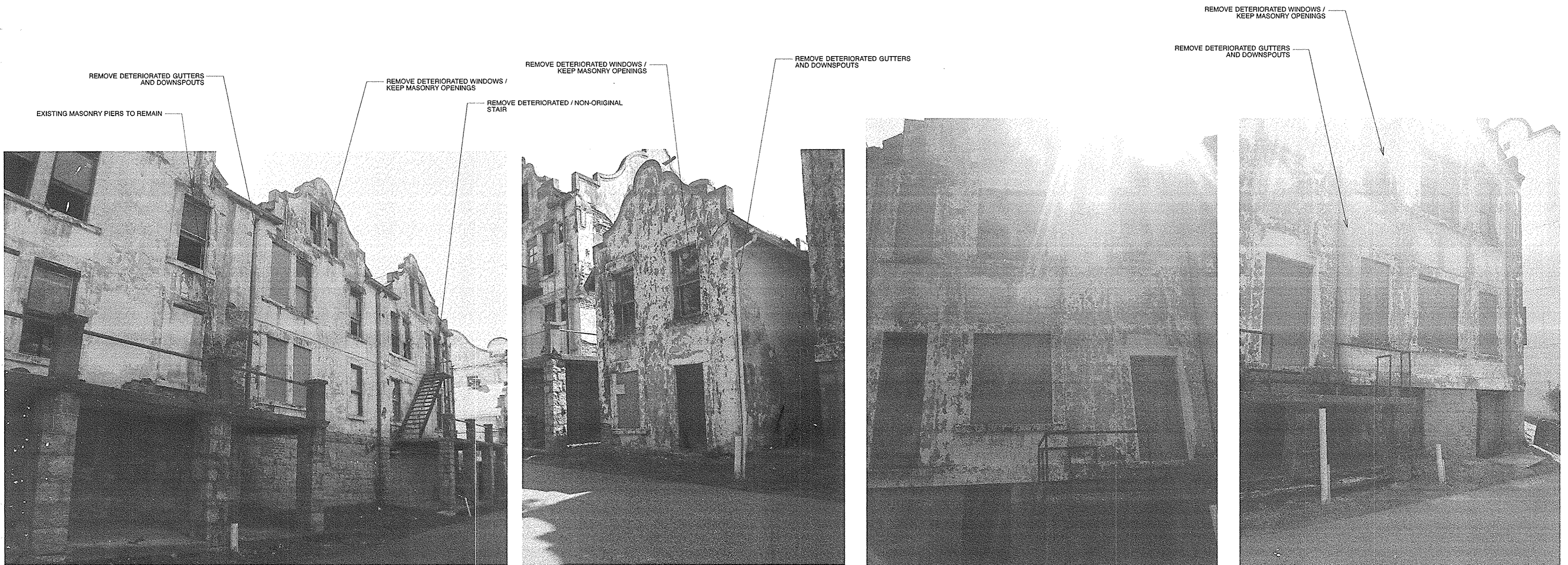
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SOUTH ELEVATIONS - EXISTING

- 12/09/13 CONCEPT DESIGN
- 01/22/14 PLAN UPDATES
- 02/17/14 PLAN UPDATES
- 07/01/14 MHT CHANGE / ALTERATION SET
- 07/31/14 MHT UPDATES
- 08/22/14 MHPC SET
- 07/01/15 PERMIT SET

A9



1 NORTH ELEVATION - SERVANT QUARTERS
A10 NOT TO SCALE

2 NORTH ELEVATION - ANNEX
A10 NOT TO SCALE

3 NORTH ELEVATION - CARPENTER SHOP
A10 NOT TO SCALE

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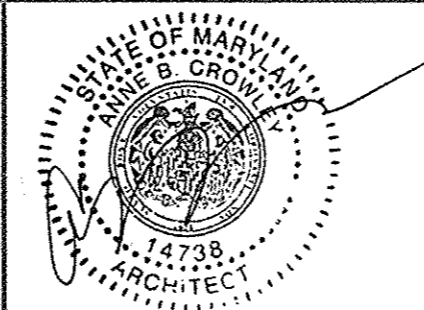
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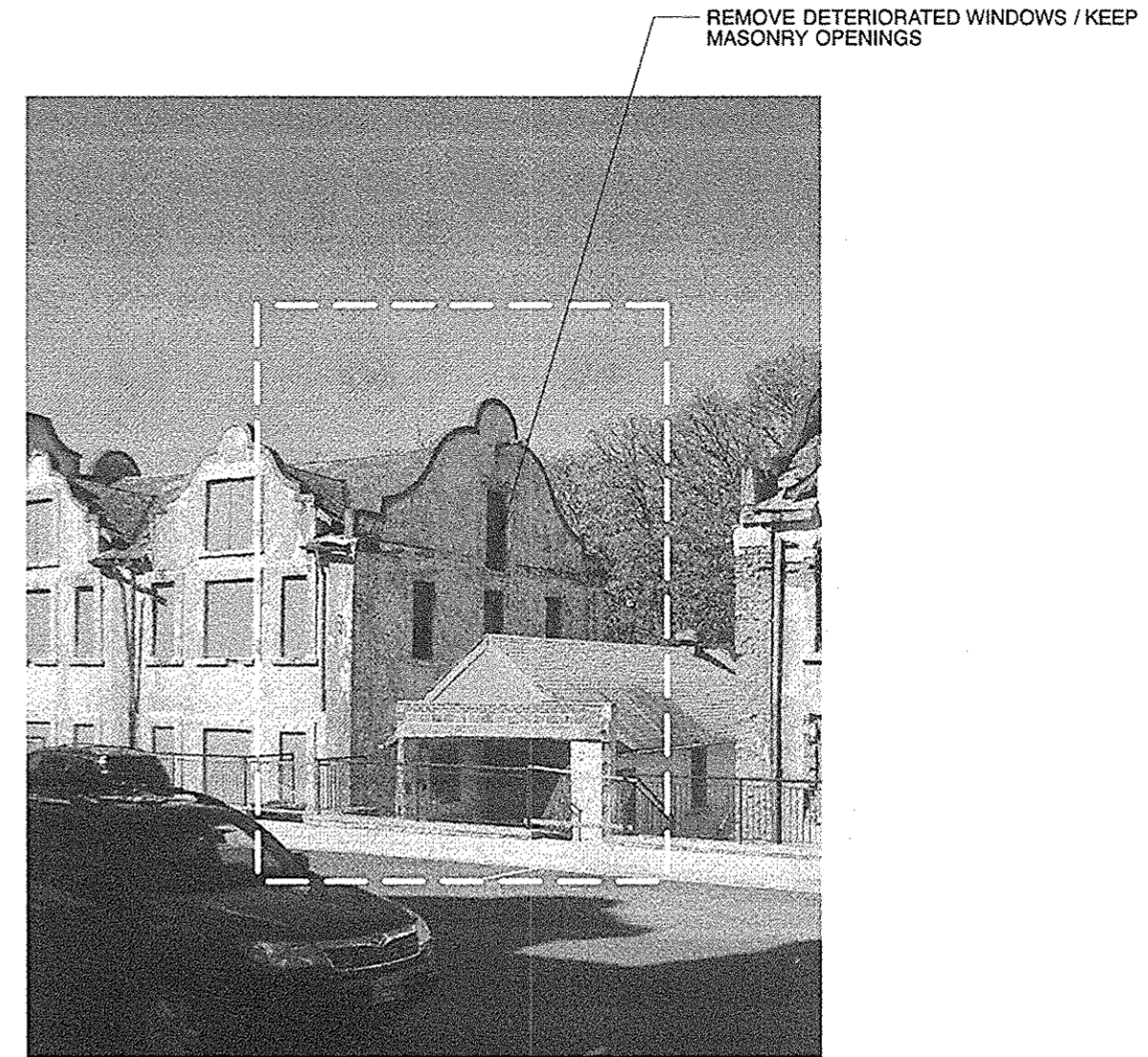
NORTH ELEVATIONS - EXISTING

- 12/09/13 CONCEPT DESIGN
- 01/22/14 PLAN UPDATES
- 02/17/14 PLAN UPDATES
- 07/01/14 MHT CHANGE / ALTERATION SET
- 07/31/14 MHT UPDATES
- 08/22/14 MHPC SET
- 07/01/15 PERMIT SET

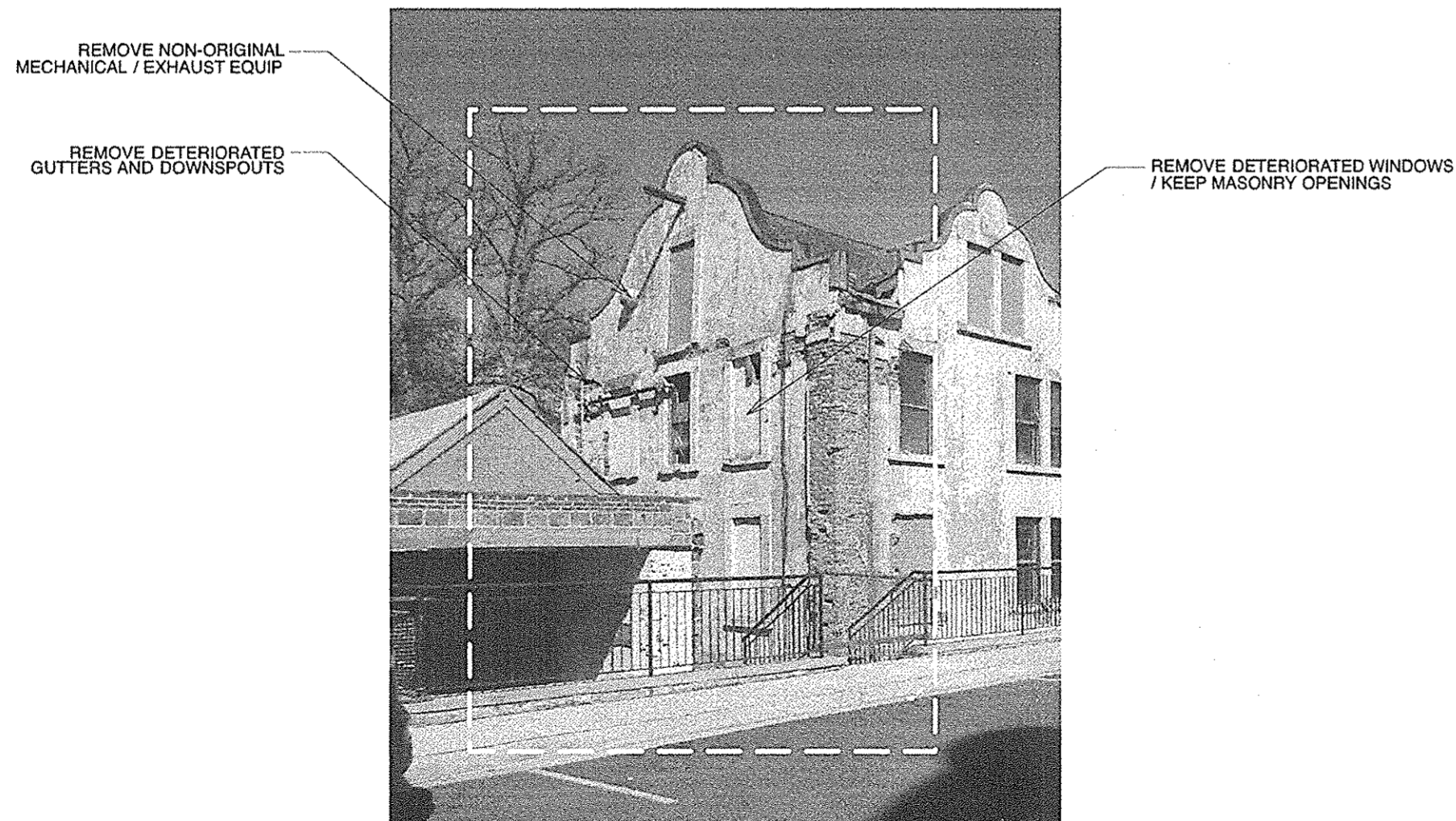
A10



1 WEST ELEVATION - CARPENTER SHOP
A11 NOT TO SCALE



2 EAST ELEVATION - CARPENTER SHOP
A11 NOT TO SCALE



3 WEST ELEVATION - SERVANT QUARTERS
A11 NOT TO SCALE

725306
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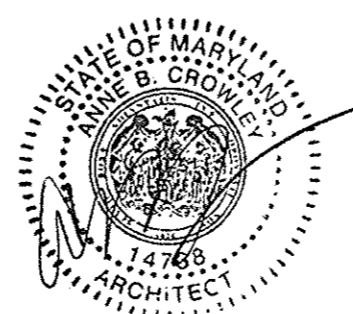
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P: 202.337.3003 | F: 202.318.4317

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EAST & WEST ELEVATIONS - EXISTING

12/09/13 CONCEPT DESIGN
01/22/14 PLAN UPDATES
02/17/14 PLAN UPDATES
07/01/14 MHT CHANGE / ALTERATION SET
07/31/14 MHT UPDATES
08/22/14 MHPC SET
07/01/15 PERMIT SET

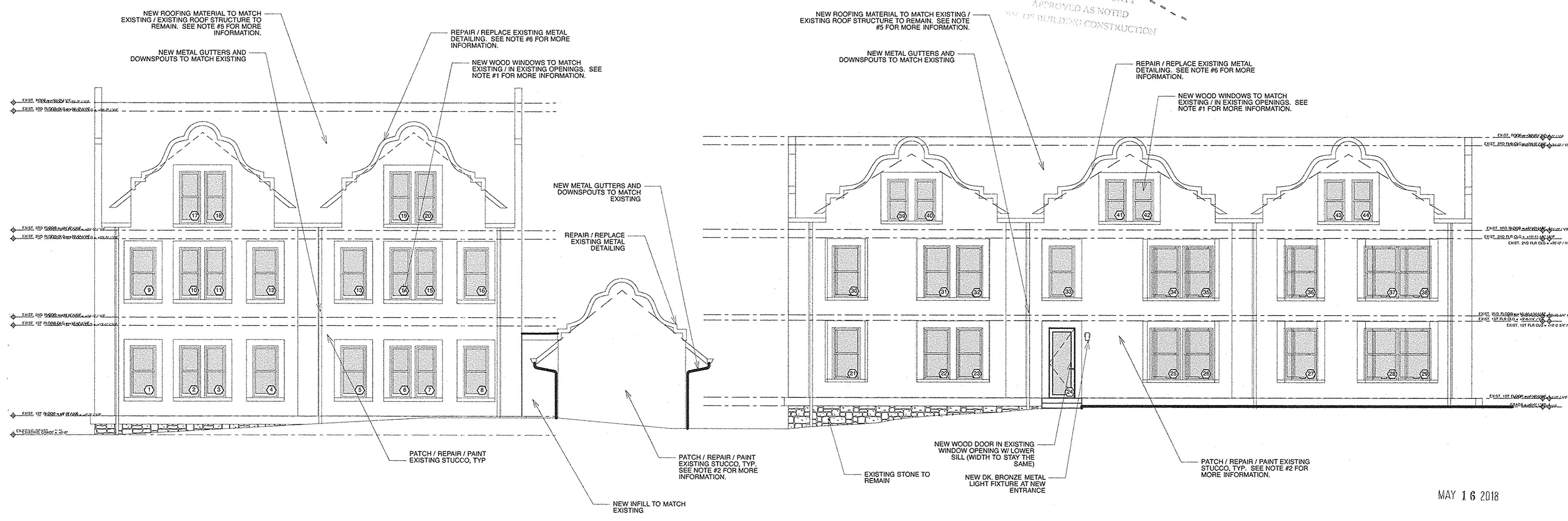
A11

CLIMATE ZONE	1		2		3		4 EXCEPT MARINE		5 AND MARINE 4		6		7		8	
	U-factor	SHGC	U-factor	SHGC	U-factor	SHGC	U-factor	SHGC	U-factor	SHGC	U-factor	SHGC	U-factor	SHGC	U-factor	SHGC
Vertical fenestration																
U-factor																
Fixed fenestration	0.50	0.50	0.45	0.45	0.38	0.38	0.38	0.38	0.38	0.38	0.38	0.38	0.38	0.38	0.38	0.38
Operable fenestration	0.65	0.65	0.60	0.60	0.45	0.45	0.45	0.45	0.43	0.43	0.37	0.37	0.37	0.37	0.37	0.37
Entrance doors	1.10	0.83	0.77	0.77	0.77	0.77	0.77	0.77	0.77	0.77	0.77	0.77	0.77	0.77	0.77	0.77
SHGC																
Orientation*	SEW	N	SEW	N	SEW	N	SEW	N	SEW	N	SEW	N	SEW	N	SEW	N
PF < 0.5	0.25	0.33	0.25	0.33	0.25	0.33	0.25	0.33	0.25	0.33	0.25	0.33	0.25	0.33	0.25	0.33
0.5 < PF < 0.8	0.30	0.37	0.30	0.37	0.30	0.37	0.30	0.37	0.30	0.37	0.30	0.37	0.30	0.37	0.30	0.37
PF > 0.8	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40
Skylights																
U-factor																
SHGC																

ALL NEW WINDOWS AND DOORS TO MEET REQUIREMENTS OF IBC 2015 C402.

05/07/2018

725296
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1 SOUTH ELEVATION - CARPENTER SHOP
A12
0 1 5 10 20

2 SOUTH ELEVATION - ANNEX
A12
0 1 5 10 20

3 SOUTH ELEVATION - SERVANT QUARTERS
A12
0 1 5 10 20

MAY 16 2018

- GENERAL NOTES**
- WINDOW / DOORS:** Specifications for replacement windows and doors to be reviewed and approved by Maryland Historic Trust prior to installation.
 - STUCCO:** Existing stucco condition to be documented prior to the start of construction. Any replacement stucco must match the existing in material, installation, texture, composition, and tooling.
 - ROOF:** Any proposed roof penetrations to be reviewed and approved by Maryland Historic Trust.
 - FOUNDATION:** Methodology on repairing the foundation and specifications for any mortar composition to be reviewed and approved by Maryland Historic Trust.
 - ROOF MATERIAL:** Deteriorated areas of roof to be repaired. If roof is damaged beyond repair and must be replaced, roof shingle specifications to be reviewed and approved by Maryland Historic Trust prior to installation. Replacement shingles must match exactly the size, configuration, scale, width, and color of the existing.
 - METAL TRIM:** Deteriorated areas of decorative metal trim to be repaired and preserved in place. If portions of trim are damaged beyond repair, verification of existing condition to be submitted to Maryland Historic Trust for review and approval prior to installation. Replacement trim to match existing.
 - RAILING:** Existing half piers and pipe railings on porches to remain in place. Tension wires to be added to the existing to make railing code compliant. Proposed details to be submitted to Maryland Historic Trust for review and approval.
 - HISTORIC FEATURES:** Other miscellaneous historic features to be repaired where possible. In instances where feature is too deteriorated to be repaired and must be replaced, replacement material will match the old in design, color, texture, and other visual qualities.
 - TRIM:** New trim will be proportional in size to existing historic trim, but will be differentiated slightly in the detail of the trim. Any new trim will be submitted to Maryland Historic Trust for review and approval prior to installation.

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- 12/09/13 CONCEPT DESIGN
- 01/22/14 PLAN UPDATES
- 02/17/14 PLAN UPDATES
- 07/01/14 MHT CHANGE / ALTERATION SET
- 07/31/14 MHT UPDATES
- 08/22/14 MHPC SET
- 07/01/15 PERMIT SET
- 05/07/18 PERMIT REV. 6

SOUTH ELEVATIONS - PROPOSED

A12

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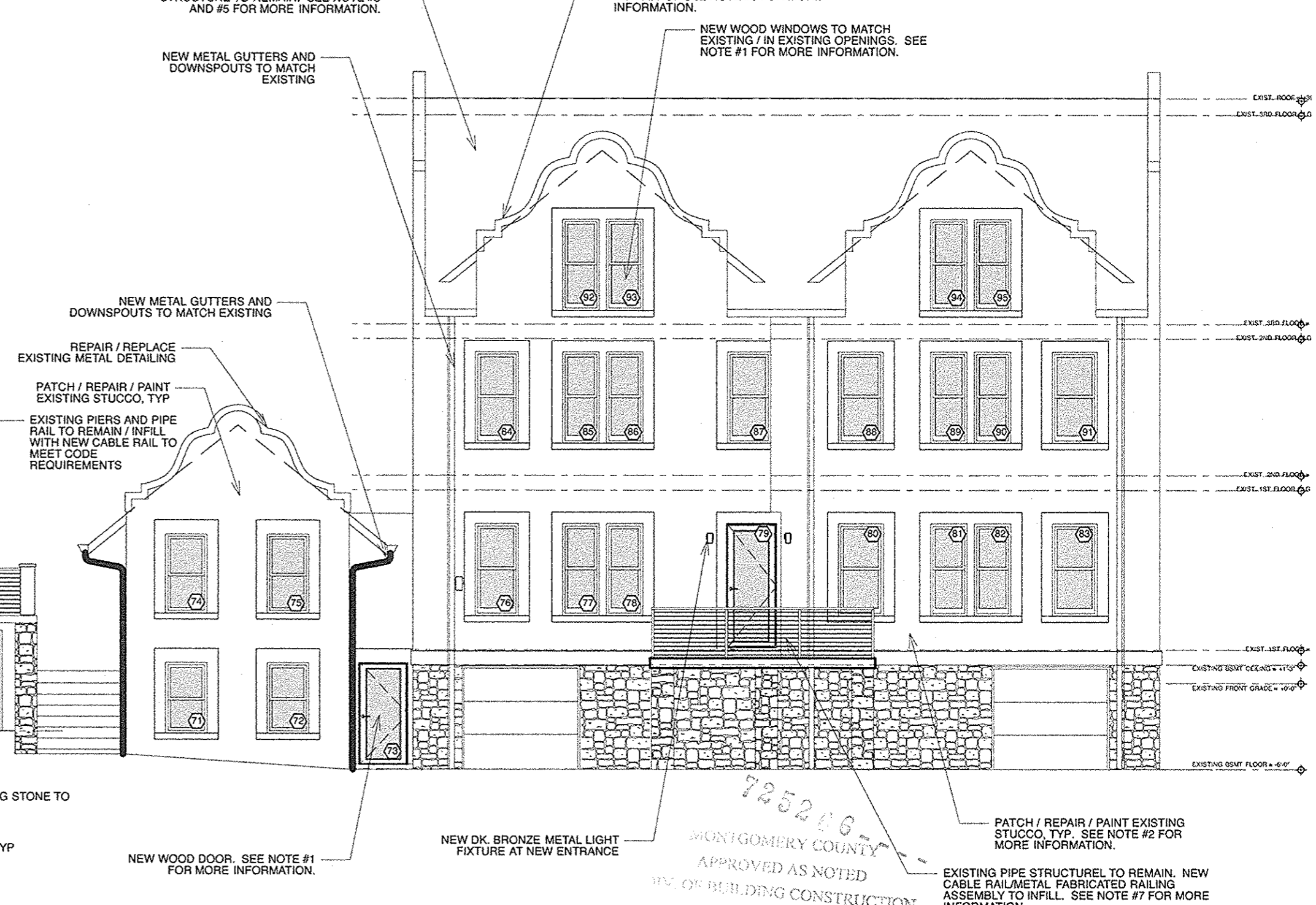
TABLE C402.4 BUILDING ENVELOPE FENESTRATION MAXIMUM U-FACTOR AND SHGC REQUIREMENTS													
CLIMATE ZONE	1		2		3		4 EXCEPT MARINE		5 AND MARINE 4		6	7	8
Vertical fenestration													
U-factor													
Fixed fenestration	0.50	0.50	0.46	0.38	0.38	0.38	0.38	0.38	0.38	0.29	0.29	0.29	0.29
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Orientation ^a	SEW	N	SEW	N	SEW	N	SEW	N	SEW	N	SEW	N	SEW
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0.2 ≤ PF < 0.5	0.30	0.37	0.30	0.37	0.30	0.37	0.48	0.58	0.48	0.58	0.48	0.58	NR
PF ≥ 0.5	0.40	0.40	0.40	0.40	0.40	0.40	0.64	0.64	0.64	0.64	0.64	0.64	NR
Skylights													
U-factor	0.75	0.65	0.55	0.50	0.50	0.50	0.50	0.50	0.50	0.50	0.50	0.50	0.50
SHGC	0.35	0.35	0.35	0.40	0.40	0.40	0.40	0.40	0.40	0.40	0.40	NR	NR

NR = No requirement. PF = Projection factor.
^a "SEW" indicates vertical fenestration oriented within 45 degrees of true north. "SEW" indicates orientations other than "N". For buildings in the southern hemisphere, reverse south and north.
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ALL NEW WINDOWS AND DOORS TO MEET REQUIREMENTS OF IBC 2015 C402.
 05/07/2018



1 NORTH ELEVATION - SERVANT QUARTERS
 A13 0 1 5 10 20



2 NORTH ELEVATION - ANNEX
 A13 0 1 5 10 20

3 NORTH ELEVATION - CARPENTER SHOP
 A13 0 1 5 10 20

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 BY: [Signature] OF BUILDING CONSTRUCTION

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NORTH ELEVATIONS - PROPOSED

12/09/13 CONCEPT DESIGN
 01/22/14 PLAN UPDATES
 02/17/14 PLAN UPDATES
 07/01/14 MHT CHANGE / ALTERATION SET
 07/31/14 MHT UPDATES
 08/22/14 MHPC SET
 07/01/15 PERMIT SET
 11/07/16 PERMIT REV. 2
 05/07/18 PERMIT REV. 6

A13

TABLE C402.4
BUILDING ENVELOPE FENESTRATION MAXIMUM U-FACTOR AND SHGC REQUIREMENTS

CLIMATE ZONE	1	2	3	4 EXCEPT MARINE	5 AND MARINE 4	6	7	8
Vertical fenestration								
U-factor								
Fixed fenestration	0.50	0.50	0.46	0.38	0.38	0.38	0.29	0.29
Operable fenestration	0.65	0.65	0.60	0.45	0.45	0.43	0.37	0.37
Entrance doors	1.10	0.83	0.77	0.77	0.77	0.77	0.77	0.77
SHGC								
Orientation*	SEW	N	SEW	N	SEW	N	SEW	N
PF < 0.2	0.25	0.33	0.25	0.33	0.25	0.33	0.40	0.53
0.2 ≤ PF < 0.5	0.30	0.37	0.30	0.37	0.30	0.37	0.48	0.58
PF ≥ 0.5	0.40	0.40	0.40	0.40	0.40	0.40	0.64	0.64
Skylights								
U-factor	0.75	0.65	0.55	0.50	0.50	0.50	0.50	0.50
SHGC	0.35	0.35	0.35	0.40	0.40	0.40	NR	NR

NR = No requirement. PF = Projection factor.
 * "N" indicates vertical fenestration oriented within 45 degrees of true north. "SEW" indicates orientations other than "N." For buildings in the southern hemisphere, reverse south and north. Buildings located at less than 23.5 degrees latitude shall use SEW for all orientations.

ALL NEW WINDOWS AND DOORS TO MEET REQUIREMENTS OF IBC 2015 C402.
05/07/2018



1 NORTH ELEVATION - SERVANT QUARTERS
A13a NOT TO SCALE

2 NORTH ELEVATION - ANNEX
A13a NOT TO SCALE

3 NORTH ELEVATION - CARPENTER SHOP
A13a NOT TO SCALE

725206
MONTGOMERY COUNTY
APPROVED AS NOTED
BY: [Signature]
MAY 18 2018

Studio: CrowleyHall, pllc
2017 Park Road, NW
Washington, DC 20010
P: 202.387.3003 | F: 202.318.4317

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NORTH ELEVATIONS - PROPOSED
ALTERNATE

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07/01/14 MHT CHANGE / ALTERATION SET
07/31/14 MHT UPDATES
08/22/14 MHPC SET
07/01/15 PERMIT SET
05/07/18 PERMIT REV. 6

A13a

NEW ROOFING MATERIAL TO MATCH EXISTING / EXISTING ROOF STRUCTURE TO REMAIN, TYP. SEE NOTES #3 AND #5 FOR MORE INFORMATION.

NEW METAL GUTTERS AND DOWNSPOUTS TO MATCH EXISTING, TYP.

REPAIR / REPLACE EXISTING METAL DETAILING, TYP. SEE NOTE #6 FOR MORE INFORMATION.

NEW WOOD WINDOWS TO MATCH EXISTING / IN EXISTING OPENINGS, TYP. SEE NOTE #1 FOR MORE INFORMATION.

EXIST. ROOF = 28'3" / V.F.
EXIST. 2ND FLOOR CLG = 28'3" / V.F.

EXIST. 3RD FLOOR CLG = 24'3" / V.F.
EXIST. 2ND FLOOR CLG = 24'3" / V.F.

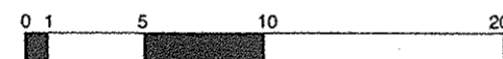
EXIST. 1ST FLOOR CLG = 12'2" / V.F.
EXIST. 2ND FLOOR CLG = 12'2" / V.F.

EXIST. 1ST FLOOR CLG = 12'2" / V.F.
EXIST. 2ND FLOOR CLG = 12'2" / V.F.

NEW BASEMENT FLOOR = 4'-0"

PATCH / REPAIR / PAINT EXISTING STUCCO, TYP. SEE NOTE #2 FOR MORE INFORMATION.

1 WEST ELEVATION - CARPENTER SHOP



2 EAST ELEVATION - CARPENTER SHOP

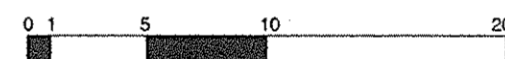


TABLE C402.4
BUILDING ENVELOPE PENETRATION MAXIMUM U-FACTOR AND SHGC REQUIREMENTS

CLIMATE ZONE	1		2		3		4 EXCEPT MARINE		5 AND MARINE 4		6		7		8	
	SEW	N	SEW	N	SEW	N	SEW	N	SEW	N	SEW	N	SEW	N	SEW	N
U-factor	Vertical fenestration															
Fixed fenestration	0.50	0.50	0.46	0.38	0.38	0.36	0.29	0.29								
Operable fenestration	0.65	0.65	0.60	0.45	0.45	0.43	0.37	0.37								
Entrance doors	1.10	0.83	0.77	0.77	0.77	0.77	0.77	0.77								
SHGC	Orientation*															
PF < 0.2	0.25	0.33	0.25	0.33	0.25	0.33	0.40	0.53	0.40	0.53	0.40	0.53	0.45	NR	0.45	N
0.2 ≤ PF < 0.5	0.30	0.37	0.30	0.37	0.30	0.37	0.48	0.58	0.48	0.58	0.48	0.58	NR	NR	NR	NR
PF ≥ 0.5	0.40	0.40	0.40	0.40	0.40	0.40	0.64	0.64	0.64	0.64	0.64	0.64	NR	NR	NR	NR
U-factor	Skylights															
SHGC	0.75	0.65	0.55	0.50	0.50	0.50	0.50	0.50	0.50	0.50	0.50	0.50	NR	NR	NR	NR

NR = No requirement, PF = Projection factor.
* "N" indicates vertical fenestration oriented within 48 degrees of true north. "SEW" indicates orientations other than "N". For buildings in the southern hemisphere, reverse south and north. Buildings located at less than 25.5 degrees latitude shall use SEW for all orientations.

ALL NEW WINDOWS AND DOORS TO MEET REQUIREMENTS OF IBC 2015 C402.

05/07/2018

GENERAL NOTES

- WINDOW/DOORS:** Specifications for replacement windows and doors to be reviewed and approved by Maryland Historic Trust prior to installation.
- STUCCO:** Existing stucco condition to be documented prior to the start of construction. Any replacement stucco must match the existing in material, installation, texture, composition, and tooling.
- ROOF:** Any proposed roof penetrations to be reviewed and approved by Maryland Historic Trust.
- FOUNDATION:** Methodology on repairing the foundation and specifications for any mortar composition to be reviewed and approved by Maryland Historic Trust.
- ROOF MATERIAL:** Deteriorated areas of roof to be repaired. If roof is damaged beyond repair and must be replaced, roof shingle specifications to be reviewed and approved by Maryland Historic Trust prior to installation. Replacement shingles must match exactly the size, configuration, scale, width, and color of the existing.
- METAL TRIM:** Deteriorated areas of decorative metal trim to be repaired and preserved in place. If portions of trim are damaged beyond repair, verification of existing condition to be submitted to Maryland Historic Trust for review and approval prior to installation. Replacement trim to match existing.
- RAILING:** Existing half piers and pipe railings on porches to remain in place. Tension wires to be added to the existing to make railing code compliant. Proposed details to be submitted to Maryland Historic Trust for review and approval.
- HISTORIC FEATURES:** Other miscellaneous historic features to be repaired where possible. In instances where feature is too deteriorated to be repaired and must be replaced, replacement material will match the old in design, color, texture, and other visual qualities.
- TRIM:** New trim will be proportional in size to existing historic trim, but will be differentiated slightly in the detail of the trim. Any new trim will be submitted to Maryland Historic Trust for review and approval prior to installation.

EXIST. ROOF = 28'3" / V.F.
EXIST. 2ND FLOOR CLG = 28'3" / V.F.

EXIST. 3RD FLOOR CLG = 24'3" / V.F.
EXIST. 2ND FLOOR CLG = 24'3" / V.F.

EXIST. 1ST FLOOR CLG = 12'2" / V.F.
EXIST. 2ND FLOOR CLG = 12'2" / V.F.

EXIST. 1ST FLOOR CLG = 12'2" / V.F.
EXIST. 2ND FLOOR CLG = 12'2" / V.F.

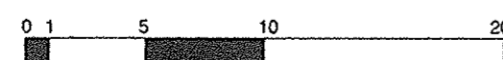
NEW ROOFING MATERIAL TO MATCH EXISTING / EXISTING ROOF STRUCTURE TO REMAIN, TYP. SEE NOTES #3 AND #5 FOR MORE INFORMATION.

NEW METAL GUTTERS AND DOWNSPOUTS TO MATCH EXISTING, TYP.

REPAIR / REPLACE EXISTING METAL DETAILING, TYP. SEE NOTE #6 FOR MORE INFORMATION.

NEW WOOD WINDOWS TO MATCH EXISTING / IN EXISTING OPENINGS, TYP. SEE NOTE #1 FOR MORE INFORMATION.

3 WEST ELEVATION - SERVANT QUARTERS



4 EAST ELEVATION - SERVANT QUARTERS



PATCH / REPAIR / PAINT EXISTING STUCCO, TYP. SEE NOTE #2 FOR MORE INFORMATION.

MONTGOMERY COUNTY
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DIV. OF BUILDING CONSTRUCTION

MAY 16 2018

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2017 Park Road, NW
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Carpenter Shop and Servant Quarters

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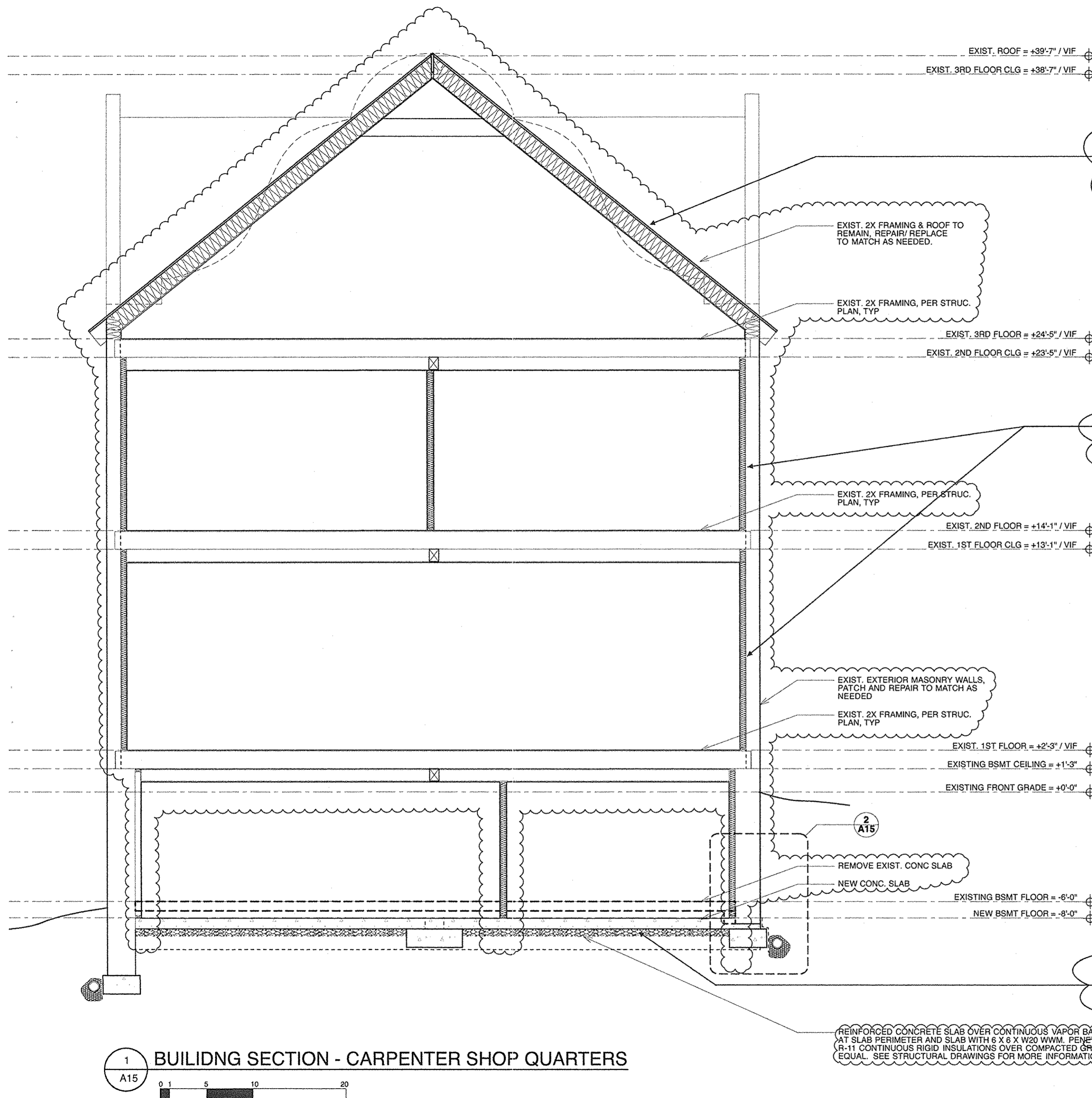
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EAST & WEST ELEVATIONS - PROPOSED

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- 07/01/15 PERMIT SET
- 11/07/16 PERMIT REV. 2

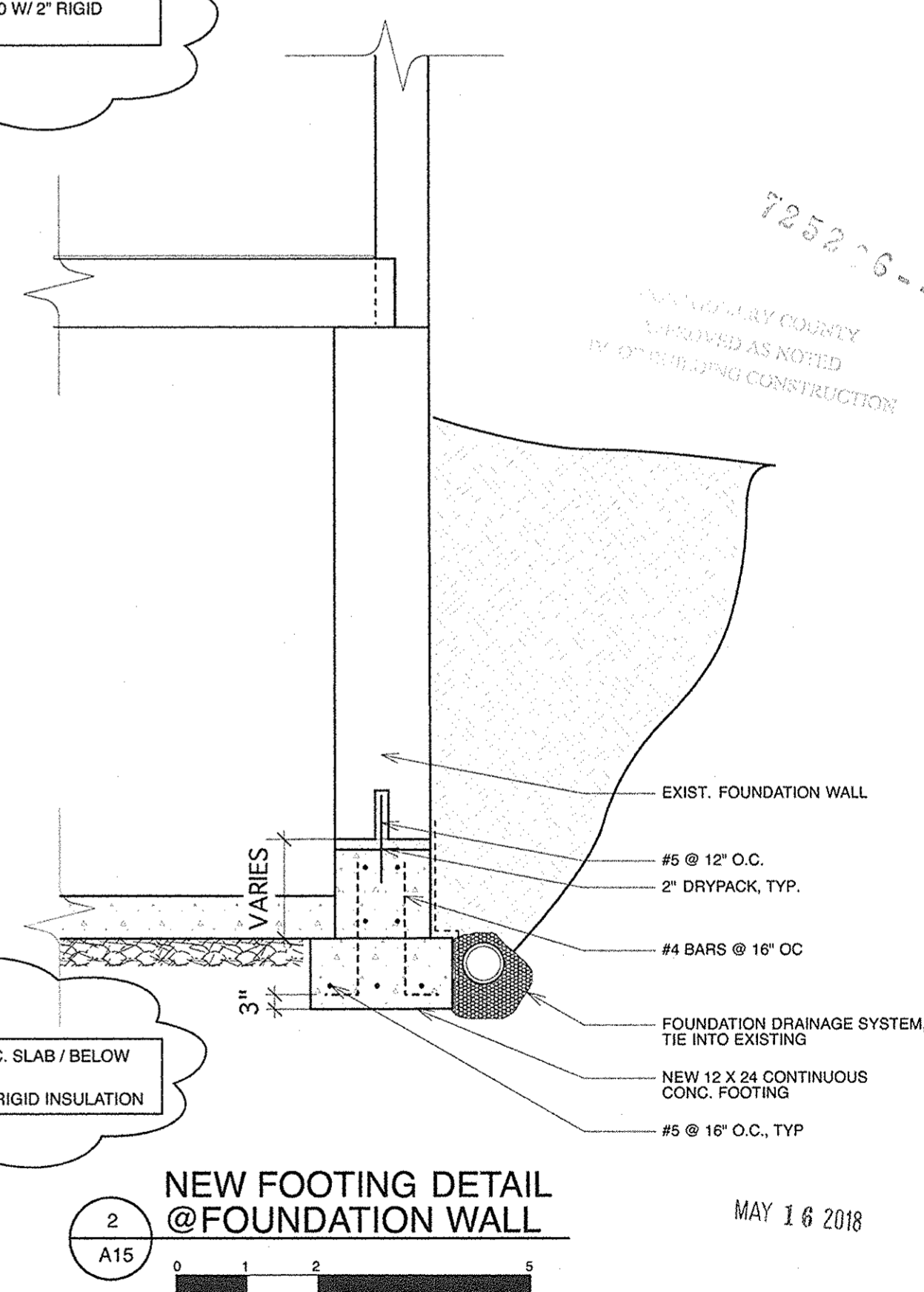
A14



EXISTING ROOF FRAMING TO REMAIN.
 TYPICAL ROOF ASSEMBLY:
 • MIN. INSTALL AIR-IMPERMEABLE INSULATION AT UNDERSIDE OF ROOF DECKING, TO R-49 DEPTH.
 05/07/2018

EXISTING MASONRY WALL TO REMAIN: MIN. R-10 W/ 2" RIGID INSULATION
 05/07/2018

BASEMENT CONC. SLAB / BELOW GRADE:
 • MIN. R-10 W/ 2" RIGID INSULATION
 05/07/2018



NEW FOOTING DETAIL @ FOUNDATION WALL

1 BUILDING SECTION - CARPENTER SHOP QUARTERS
 A15 0 1 5 10 20

2 NEW FOOTING DETAIL @ FOUNDATION WALL
 A15 0 1 2 5

7252-6
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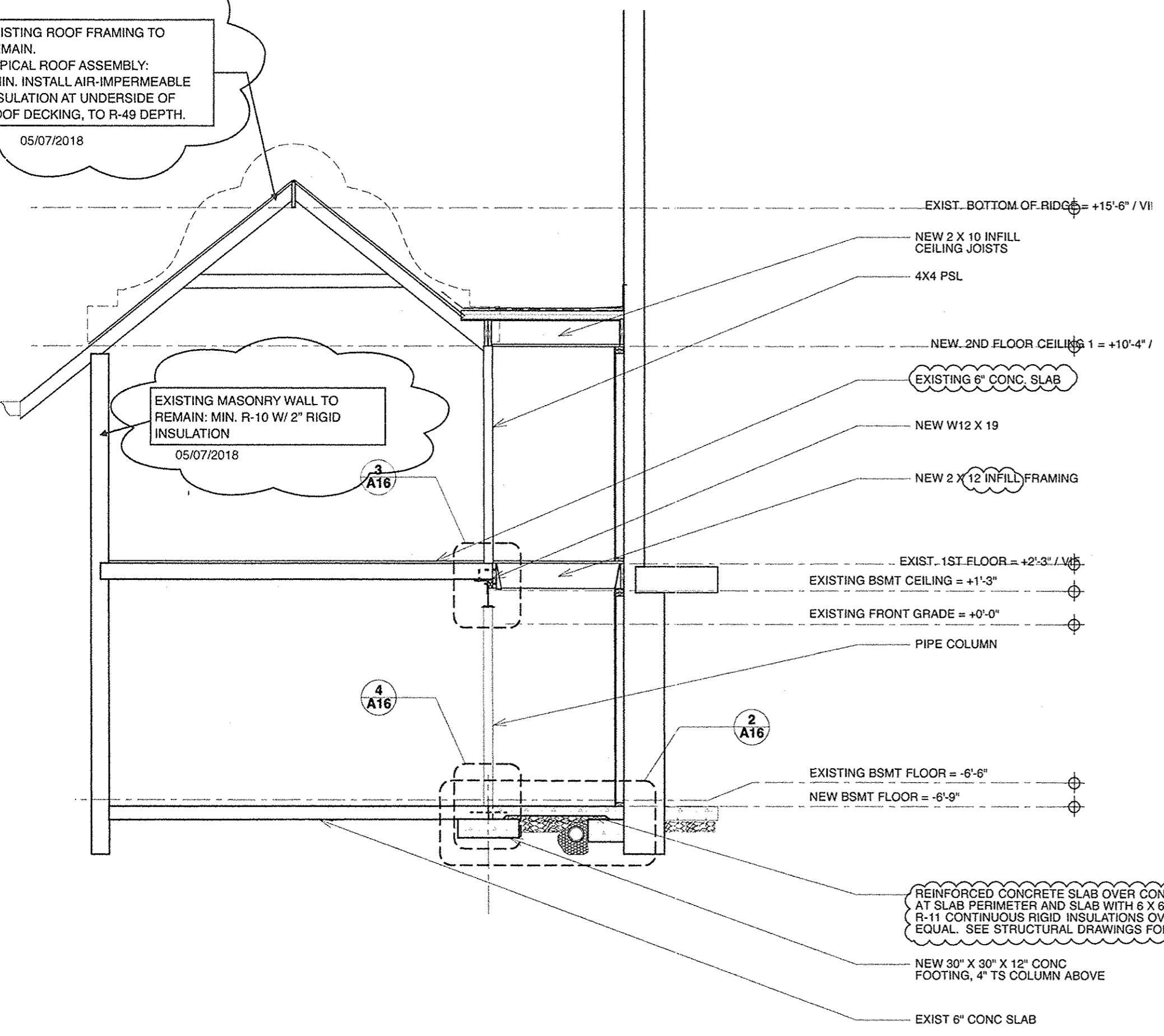
BUILDING SECTION - CARPENTER'S SHOP

12/09/13 CONCEPT DESIGN
 01/22/14 PLAN UPDATES
 02/17/14 PLAN UPDATES
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 07/01/15 PERMIT SET
 11/07/16 PERMIT REV. 2
 05/07/18 PERMIT REV. 6

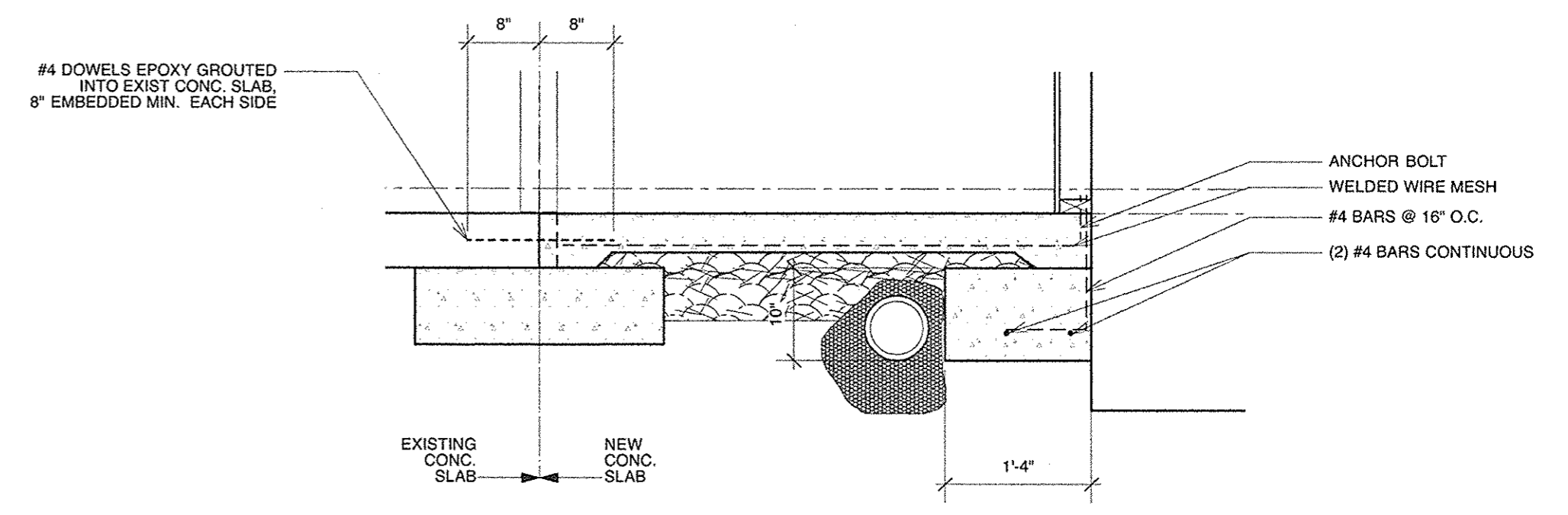
A15

EXISTING ROOF FRAMING TO REMAIN.
TYPICAL ROOF ASSEMBLY:
• MIN. INSTALL AIR-IMPERMEABLE INSULATION AT UNDERSIDE OF ROOF DECKING, TO R-49 DEPTH.

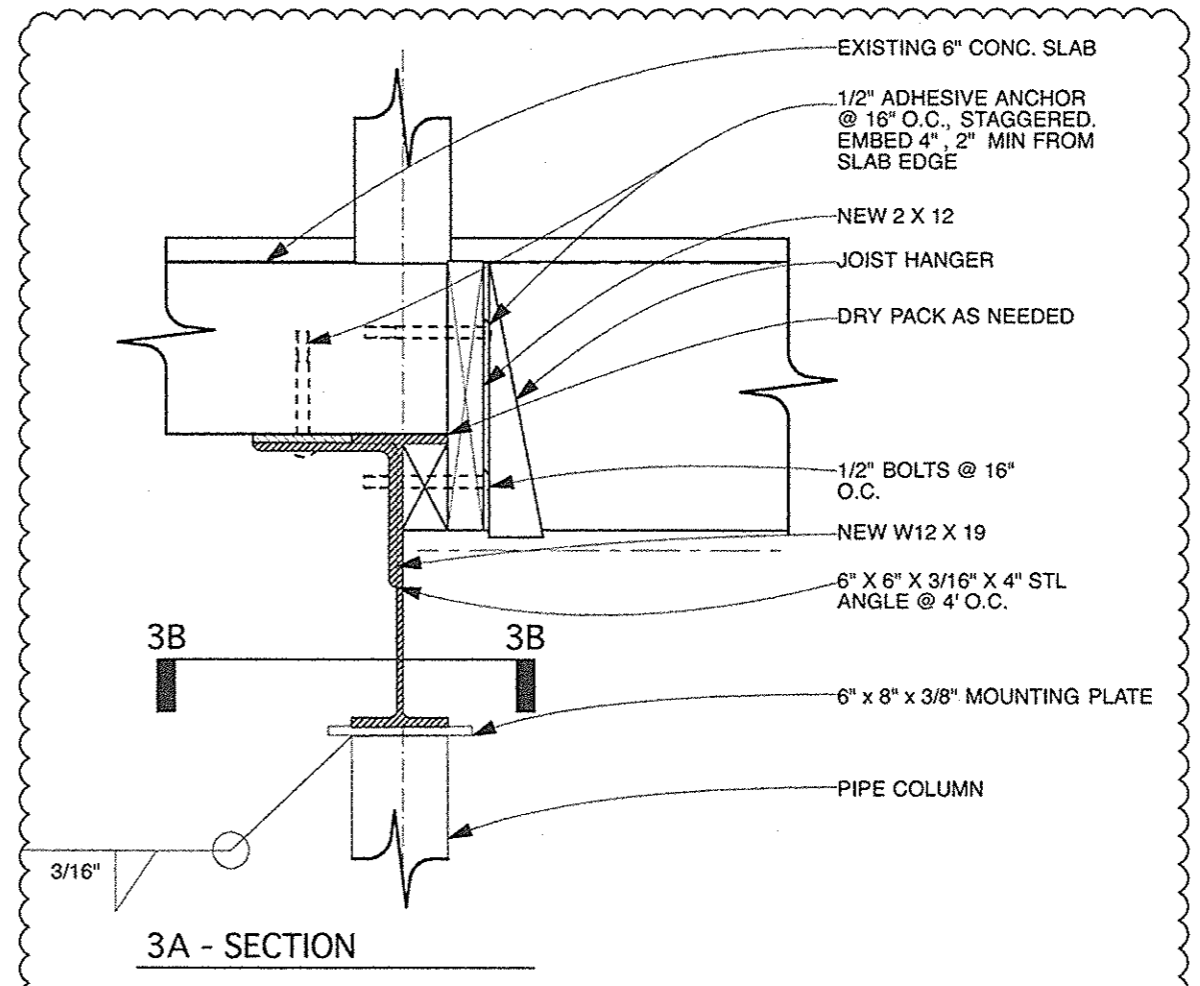
05/07/2018



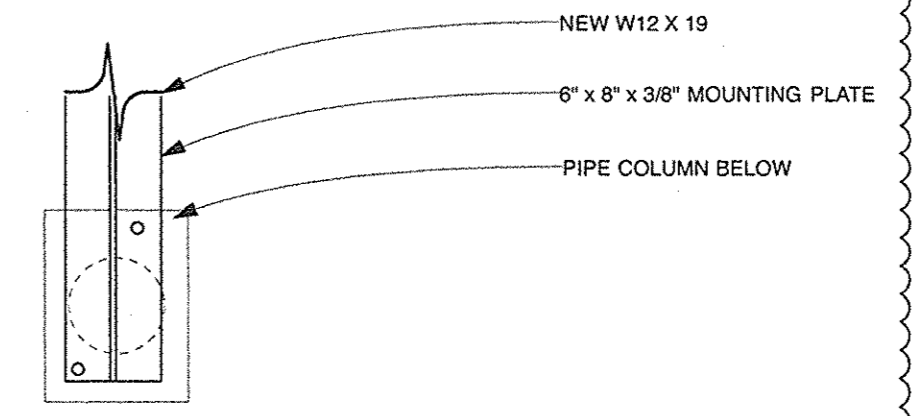
1 BUILDING SECTION - CARPENTER'S SHOP



2 NEW SLAB DETAIL



3A - SECTION



3B - PLAN

FRAMING TO CONC. SLAB DETAIL

3 SCALE: 1-1/2" = 1'-0"

7252-6
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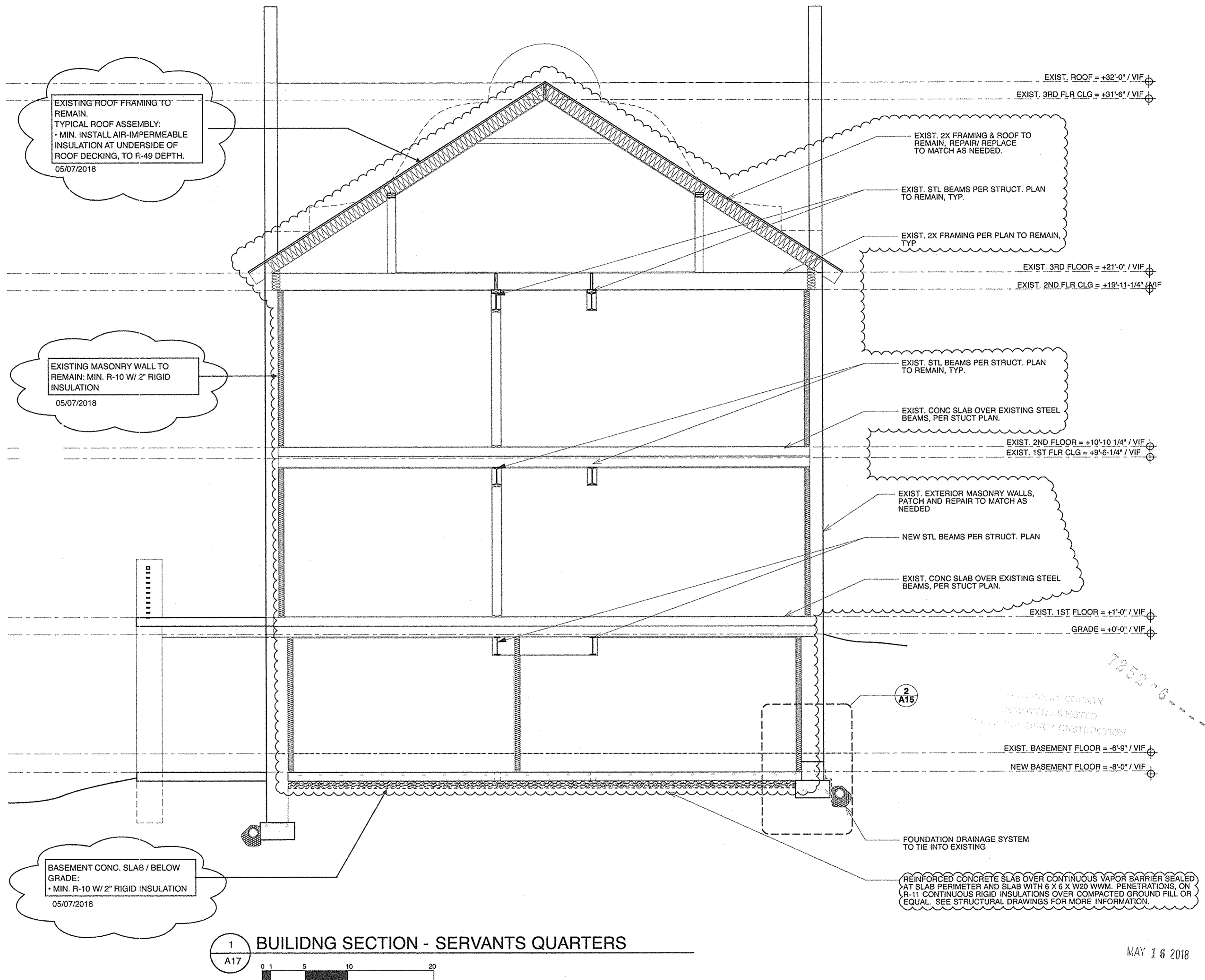
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BUILDING SECTION - CARPENTER'S SHOP

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01/22/14 PLAN UPDATES
02/17/14 PLAN UPDATES
07/01/14 MHT CHANGE / ALTERATION SET
07/31/14 MHT UPDATES
08/22/14 MHPC SET
07/01/15 PERMIT SET
01/13/16 PERMIT REV. 1
11/07/16 PERMIT REV. 2
05/07/18 PERMIT REV. 6

A16



1 BUILDING SECTION - SERVANTS QUARTERS
A17

MAY 16 2018

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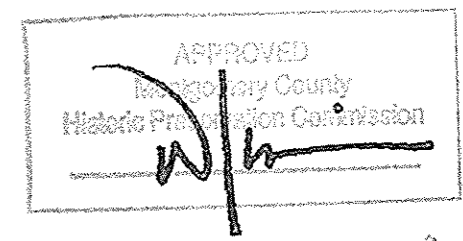
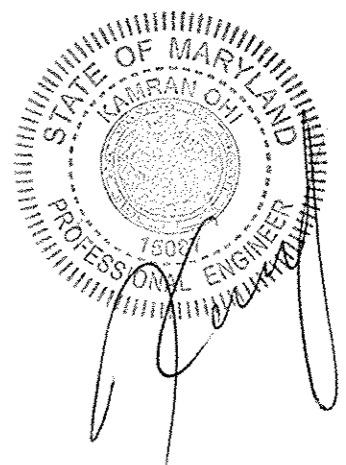
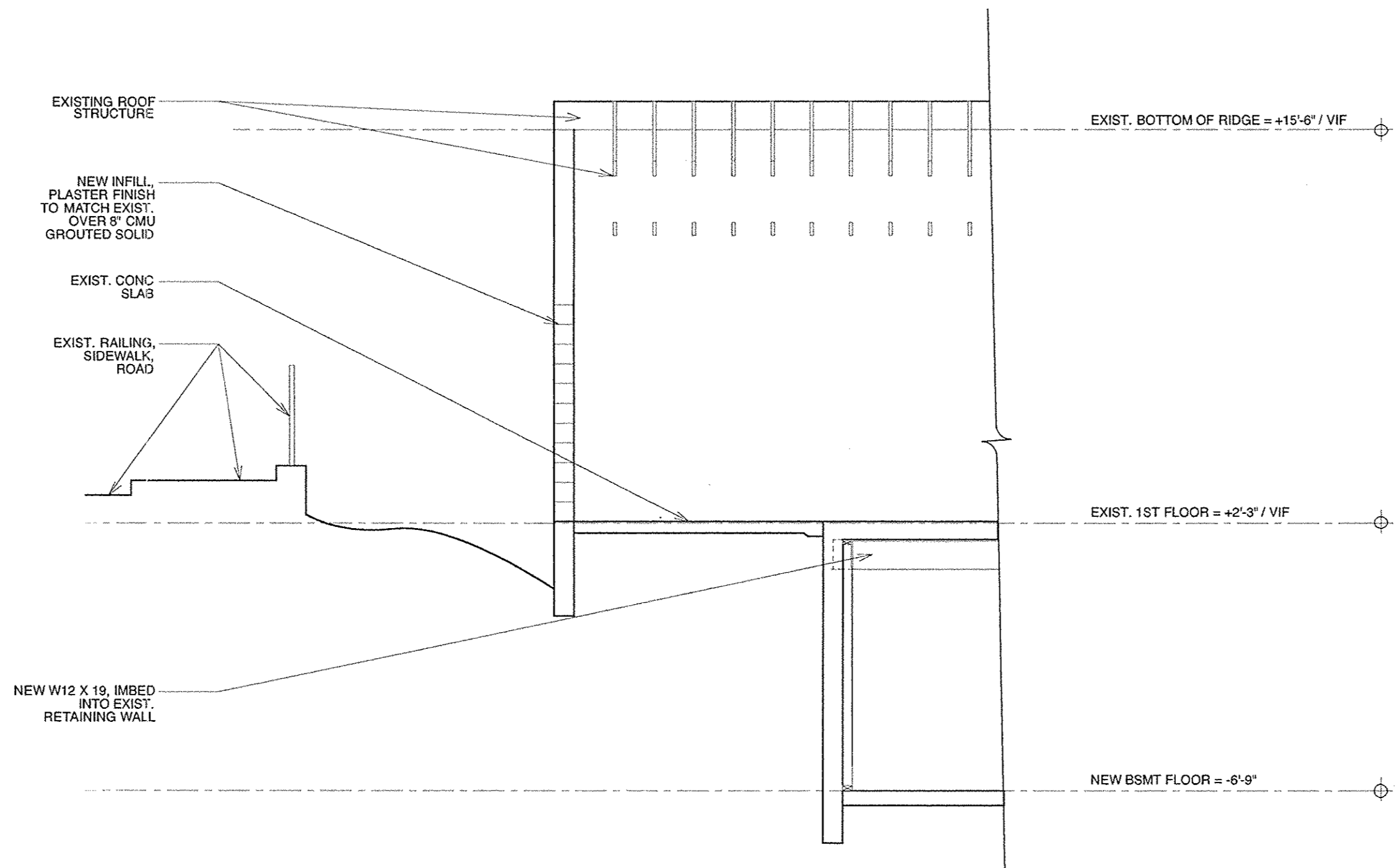
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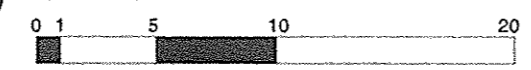
BUILDING SECTION - SERVANT'S QUARTERS

- 12/09/13 CONCEPT DESIGN
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- 05/07/18 PERMIT REV. 6

A17



1 BUILDING SECTION - CARPENTER'S SHOP
 A18



7253 06
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- 07/01/15 PERMIT SET

A18

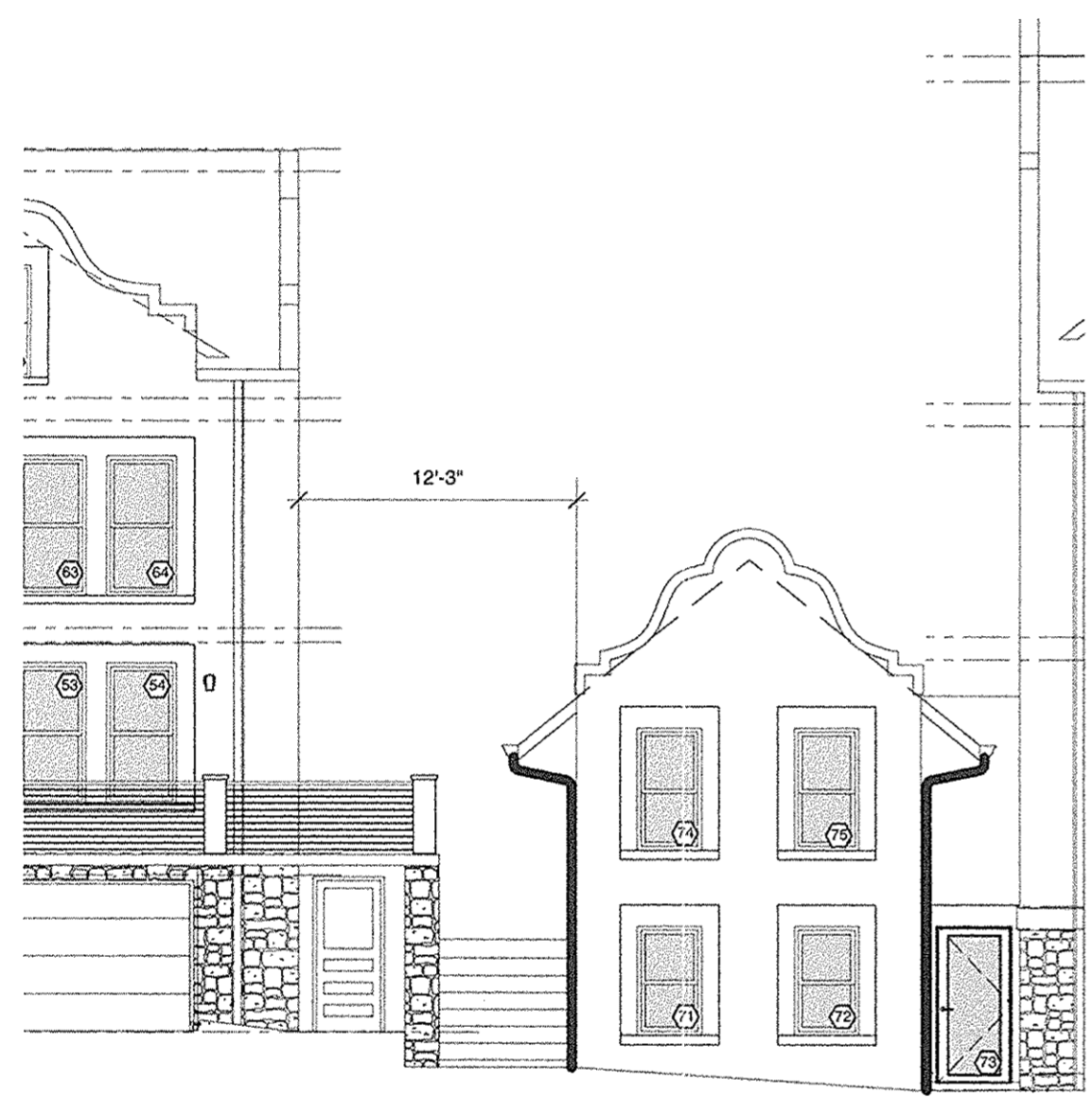
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PF ≥ 0.5	0.40	0.40	0.40	0.40	0.40	0.40	0.64	0.64
Skylights								
U-factor	0.75	0.65	0.55	0.50	0.50	0.50	0.50	0.50
SHGC	0.35	0.35	0.35	0.40	0.40	0.40	NR	NR

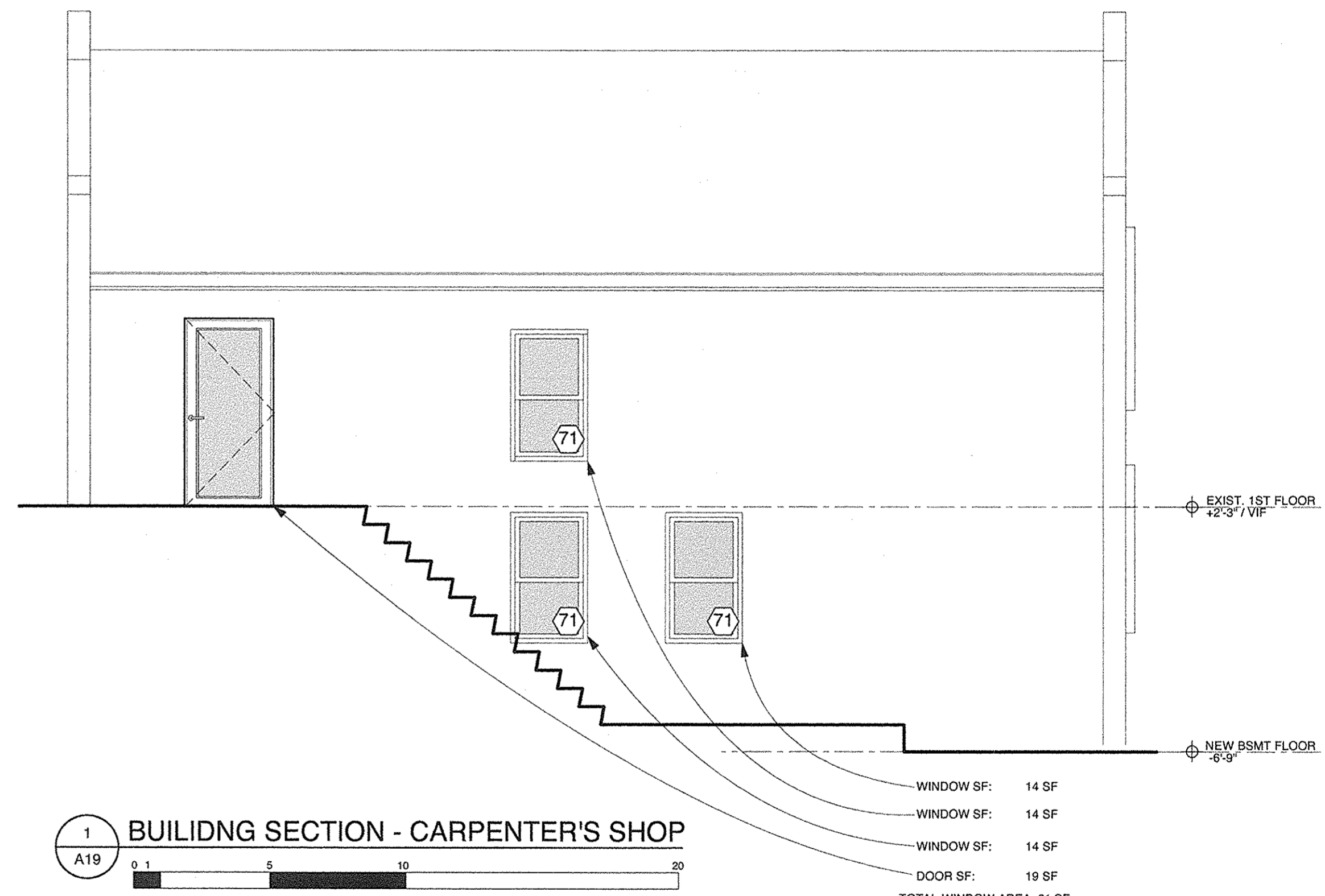
NR = No requirement, PF = Projection factor.
a. "N" indicates vertical fenestration oriented within 45 degrees of true north. "SEW" indicates orientations other than "N." For buildings in the southern hemisphere, reverse south and north. Buildings located at less than 23.5 degrees latitude shall use SEW for all orientations.

ALL NEW WINDOWS AND DOORS TO MEET REQUIREMENTS OF IBC 2015 C402.

05/07/2018



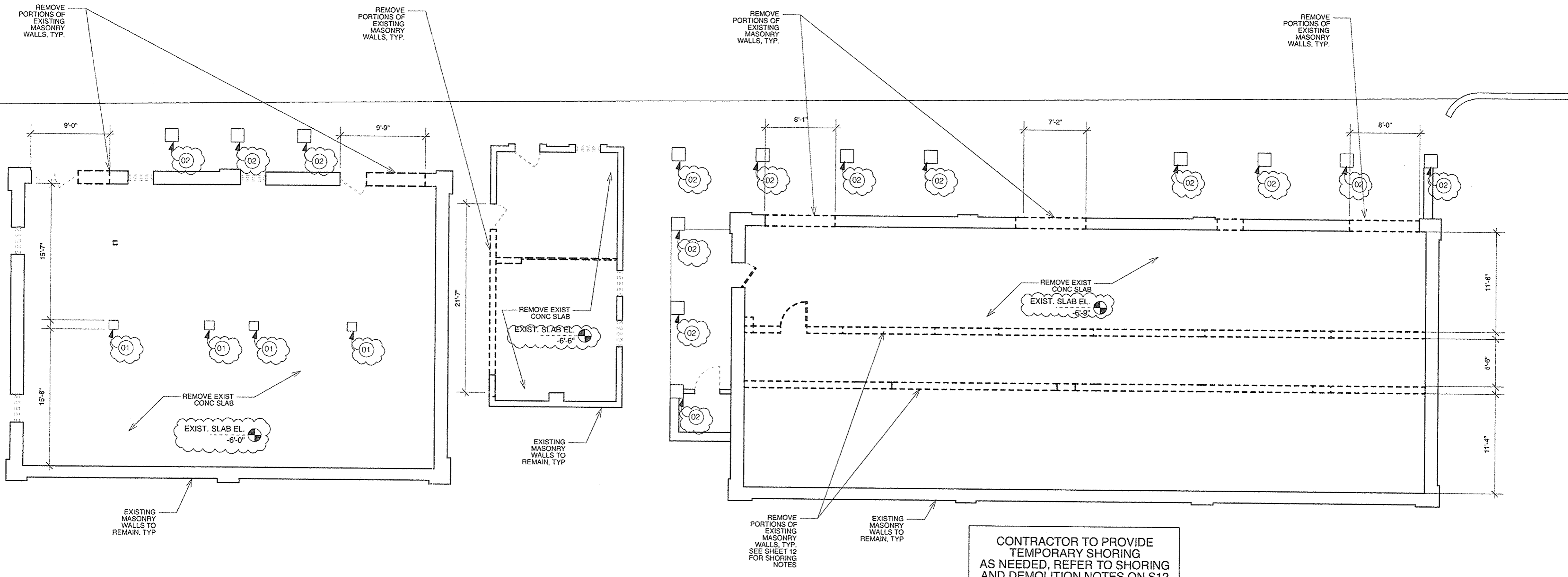
2 BUILDING ELEVATION - CARPENTER'S SHOP
A19
0 1 5 10 20



1 BUILDING SECTION - CARPENTER'S SHOP
A19
0 1 5 10 20

725286
MONTGOMERY COUNTY
APPROVED AS NOTED
FOR BUILDING CONSTRUCTION
MAY 16 2018

Studio: CrowleyHall, pllc 2017 Park Road, NW Washington, DC 20010 P: 202.387.3003 F: 202.318.4317	National Park Seminary Carpenter Shop and Servant Quarters 2715, 2717, 2719, 2721, 2723, 2725 Cassidy Street Silver Spring, MD 20910	PROFESSIONAL CERTIFICATION <small>I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 14738, expiration date 08/25/2018*</small>	MOHI ENGINEERING <small>Office 202-499-5588 1025 Thomas Jefferson Street NW Suite 420 east lobby Washington DC 20007 www.ohiengineeringgroup.com</small>	PROFESSIONAL CERTIFICATION <small>I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 15087, EXP. DATE SEPT 25, 2018</small>	Copyright 2018 Studio: CrowleyHall, pllc <small>The drawings and specifications--and the ideas, designs and arrangements represented thereby--are and shall remain property of the architect. No part thereof shall be copied, disclosed to others or used in connection with any work or project or by any other person for any purpose other than for the specific project for which they have been prepared and developed, without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence and acceptance of these restrictions. Absent a written agreement to the contrary, and strictly conditioned on the full and timely payment of all sums due to Architect under this agreement, upon Architect's delivery of sealed construction drawings to client, Architect grants client a nontransferable, nonexclusive right to construct the building depicted in the plans once and only once, and only on the site identified in the plans.</small>	03/16/2018 ARCH & LS REVISION 05/07/18 PERMIT REV. 6	A19
CARPENTER'S SHOP-ALLOWABLE OPENING AREA CALCULATION							



1
S1
EXISTING AND DEMO BASEMENT
PLAN CARPENTER'S SHOP
SCALE: 1/8" = 1'-0"

2
S1
EXISTING AND DEMO BASEMENT
PLAN SERVANT'S QUARTERS
SCALE: 1/8" = 1'-0"

CONTRACTOR TO PROVIDE
TEMPORARY SHORING
AS NEEDED, REFER TO SHORING
AND DEMOLITION NOTES ON S12

KEYED NOTES:
1- EXISTING 12X12 CONCRETE COLUMNS TO REMAIN, NOTE EXISTING COLUMN
FOOTINGS ARE 2.6' BELOW EXISTING SLAB
2- EXISTING CONCRETE PIERS SUPPORTING CONC. BALCONY ABOVE TO REMAIN

MONTGOMERY COUNTY
APPROVED AS NOTED
DIV. OF BUILDING CONSTRUCTION



Montgomery County Department of Permitting Services
Structural Review Condition of Permit

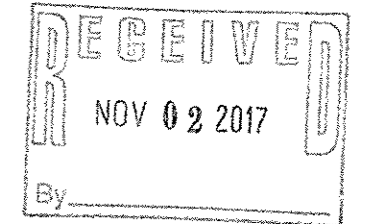
Project:	Carpenter Shop Servant Quarters	December 4, 2017
Address:	2715-2717-2719-2721-2723-2725 Cassidy St. Silver Spring MD 20910	
A/P #:	725266-725269-725270-725271-725272-725274	
Condition of Permit:	Application approval is based on the response letter provided by OHI Engineering Group PLLC dated October 2, 2017.	
	Separate permit or revision to original permit is required for underpinning. Underpinning shall be designed by a specialty engineer registered in the State of Maryland. A signed and sealed copy of the underpinning work reviewed and approved by the structural engineer of record shall be submitted to County to obtain approval for underpinning work.	

MONTGOMERY COUNTY
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DIV. OF BUILDING CONSTRUCTION

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LEGEND

	EXIST. WALL TO REMAIN
	EXIST. WALL TO BE REMOVED

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**National Park Seminary
Carpenter Shop and Servant Quarters**
2715, 2717, 2719, 2721, 2723, 2725
Cassedy Street
Silver Spring, MD 20910

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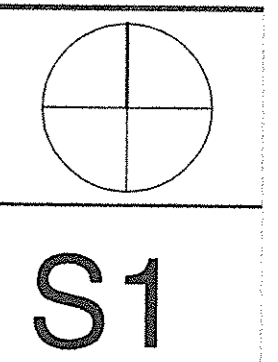


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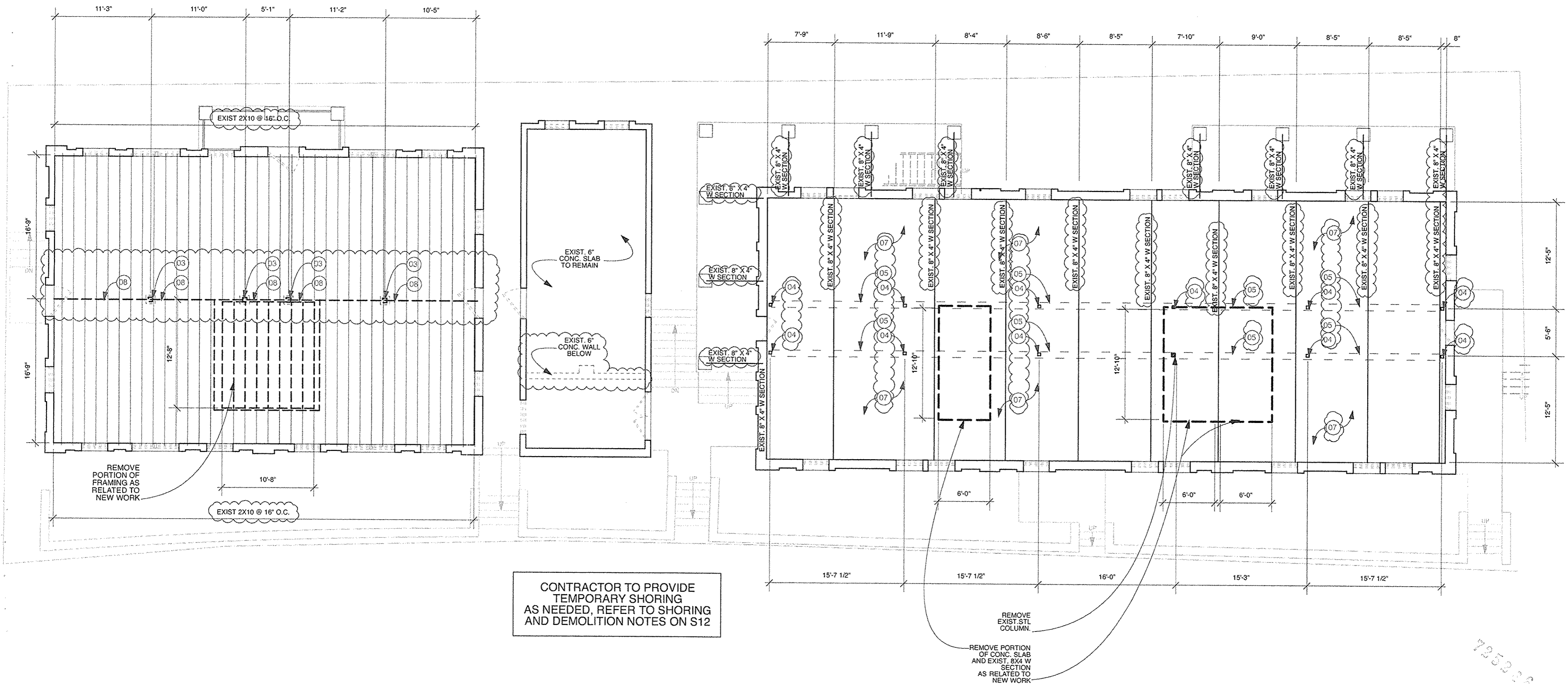
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- 02/17/14 PLAN UPDATES
- 07/01/14 MHT CHANGE / ALTERATION SET
- 07/31/14 MHT UPDATES
- 08/22/14 MHPC SET
- 07/01/15 PERMIT SET
- 10/02/17 PERMIT REV. 3



EXISTING AND DEMO BASEMENT STRUCTURAL PLAN



1
S2
EXISTING AND DEMO 1ST FLOOR
PLAN CARPENTER'S SHOP
SCALE: 1/8" = 1'-0"

2
S2
EXISTING AND DEMO 1ST FLOOR
PLAN SERVANT'S QUARTERS
SCALE: 1/8" = 1'-0"

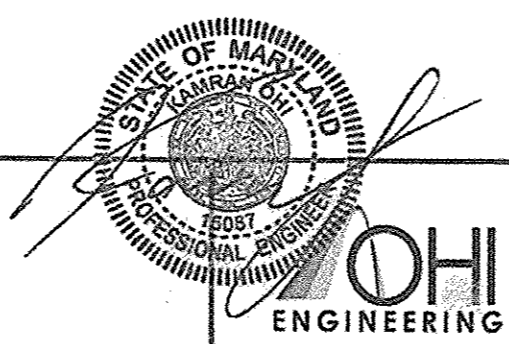
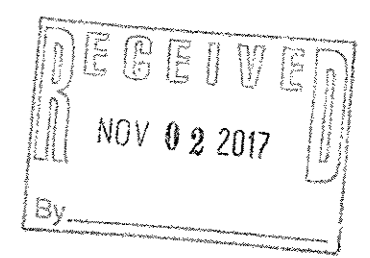
MONTGOMERY COUNTY
APPROVED AS NOTED
DIV. OF BUILDING CONSTRUCTION

- KEYED NOTES:**
- 1- EXISTING 12X12 CONCRETE COLUMNS TO REMAIN, NOTE EXISTING COLUMN FOOTINGS ARE 2.6' BELOW EXISTING SLAB
 - 2- EXISTING CONCRETE PIERS TO REMAIN
 - 3- EXISTING 6X6 WD COLUMNS TO BE REMOVED, SEE STRUCTURAL NOTES ON SHEET S12 UNDER SHORING & DEMOLITION FOR INFORMATION RELATED TO SHORING AND DEMOLITION
 - 4- EXISTING 4X4 STEEL COLUMNS TO REMAIN, UNLESS OTHERWISE NOTED
 - 5- EXISTING FOUNDATION WALLS BELOW TO BE REMOVED, SEE SHEET S1
 - 6- EXISTING 12 X 6-1/2" WIDE FLANGE STEEL BEAMS ENTIRE LENGTH OF BUILDING
 - 7- EXISTING CONCRETE SLAB
 - 8- EXISTING 6X6 WD BM TO BE REMOVED, SEE STRUCTURAL NOTES ON SHEET S12 UNDER SHORING & DEMOLITION FOR INFORMATION RELATED TO SHORING AND DEMOLITION

LEGEND

— EXIST. WALL TO REMAIN

- - - EXIST. WALL TO BE REMOVED



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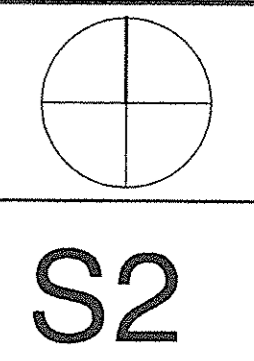
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EXISTING AND DEMO FIRST FLOOR STRUCTURAL PLAN

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- 01/22/14 PLAN UPDATES
- 02/17/14 PLAN UPDATES
- 07/01/14 MHT CHANGE / ALTERATION SET
- 07/31/14 MHT UPDATES
- 08/22/14 MHPC SET
- 07/01/15 PERMIT SET
- 10/02/17 PERMIT REV. 3

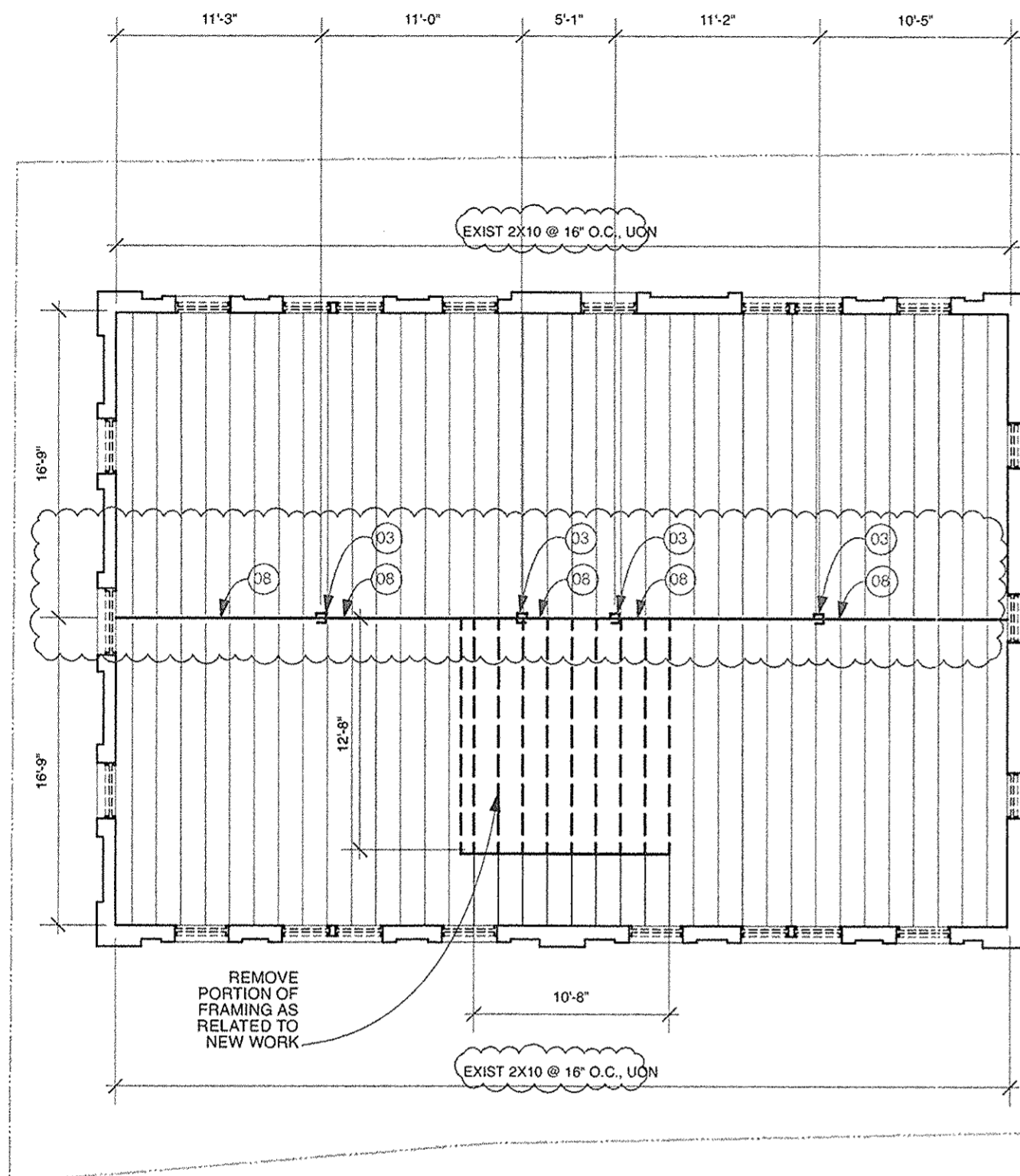


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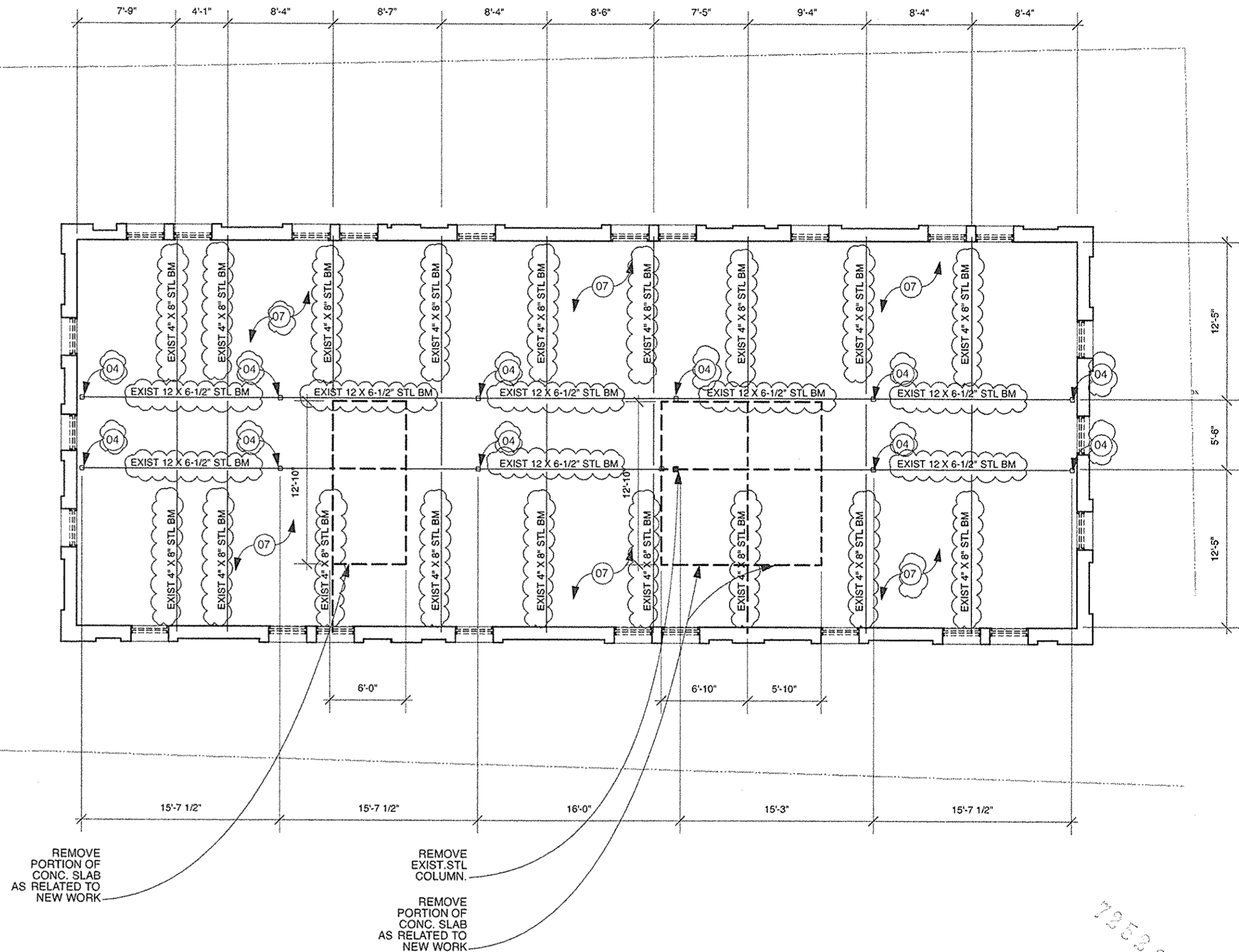
**National Park Seminary
Carpenter Shop and Servant Quarters**

2715, 2717, 2719, 2721, 2723, 2725
Cassedy Street
Silver Spring, MD 20910



CONTRACTOR TO PROVIDE TEMPORARY SHORING AS NEEDED, REFER TO SHORING AND DEMOLITION NOTES ON S12

1
S3
EXISTING AND DEMO 2ND FLOOR PLAN CARPENTER'S SHOP
SCALE: 1/8" = 1'-0"



2
S3
EXISTING AND DEMO 2ND FLOOR PLAN SERVANT'S QUARTERS
SCALE: 1/8" = 1'-0"

- KEYED NOTES:**
- 1- EXISTING 12X12 CONCRETE COLUMNS TO REMAIN, NOTE EXISTING COLUMN FOOTINGS ARE 2.6' BELOW EXISTING SLAB
 - 2- EXISTING CONCRETE PIERS TO REMAIN
 - 3- EXISTING 6X6 WD COLUMNS TO BE REMOVED, SEE STRUCTURAL NOTES ON SHEET S12 UNDER SHORING & DEMOLITION FOR INFORMATION RELATED TO SHORING AND DEMOLITION
 - 4- EXISTING 4X4 STEEL COLUMNS TO REMAIN, UNLESS OTHERWISE NOTED
 - 5- EXISTING FOUNDATION WALLS BELOW TO BE REMOVED, SEE SHEET S1
 - 6- OMITTED
 - 7- EXISTING CONCRETE SLAB
 - 8- EXISTING 6X6 WD BM TO BE REMOVED, SEE STRUCTURAL NOTES ON SHEET S12 UNDER SHORING & DEMOLITION FOR INFORMATION RELATED TO SHORING AND DEMOLITION

MONTGOMERY COUNTY
APPROVED AS NOTED
DIV. OF BUILDING CONSTRUCTION



- LEGEND**
- EXIST. WALL TO REMAIN
 - - - EXIST. WALL TO BE REMOVED



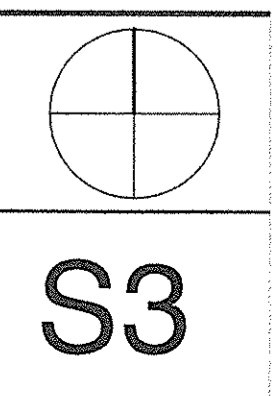
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EXISTING AND DEMO 2ND FLOOR STRUCTURAL PLAN

- 12/09/13 CONCEPT DESIGN
- 01/22/14 PLAN UPDATES
- 02/17/14 PLAN UPDATES
- 07/01/14 MHT CHANGE / ALTERATION SET
- 07/31/14 MHT UPDATES
- 08/22/14 MHPC SET
- 07/01/15 PERMIT SET
- 10/02/17 PERMIT REV. 3

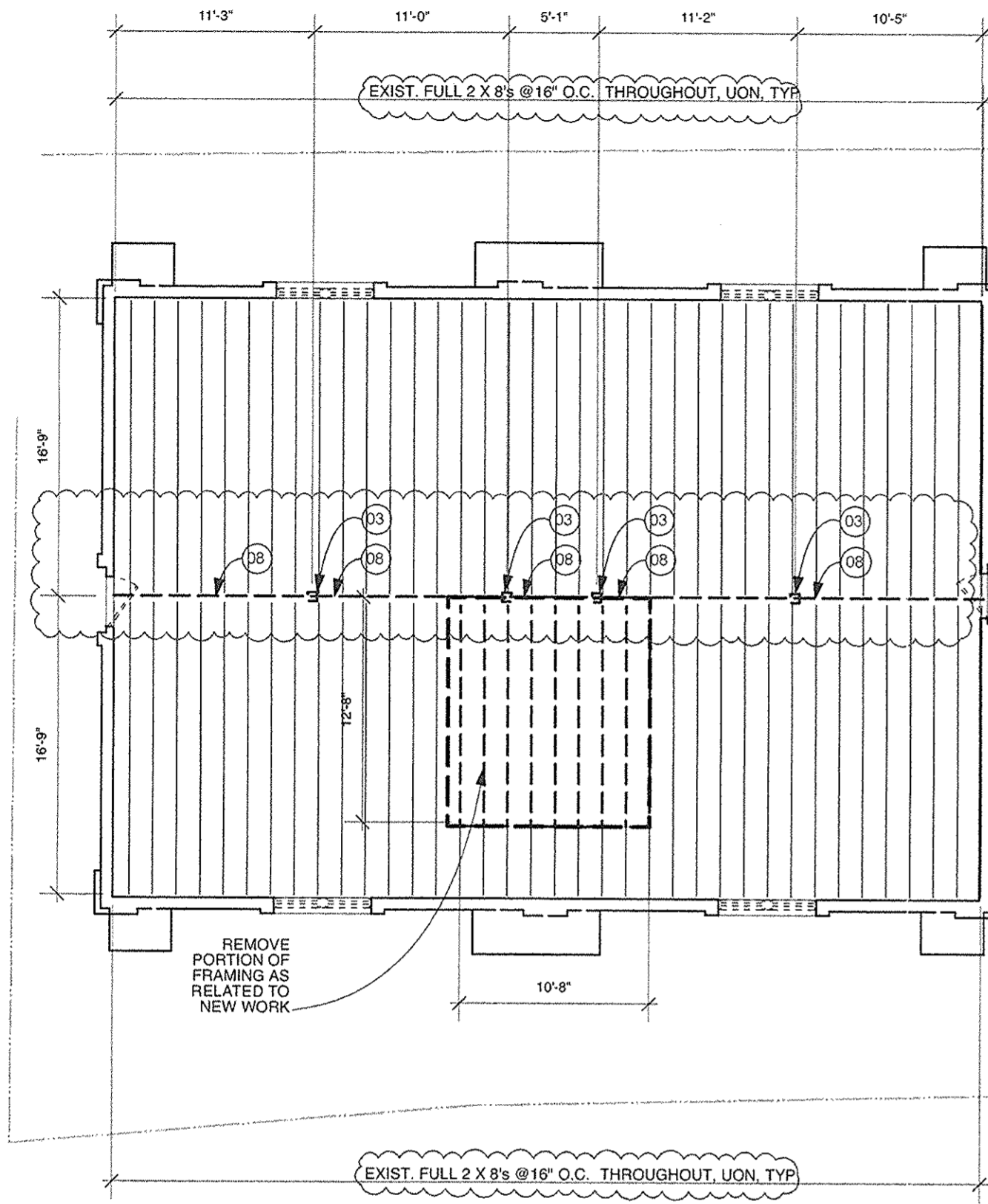


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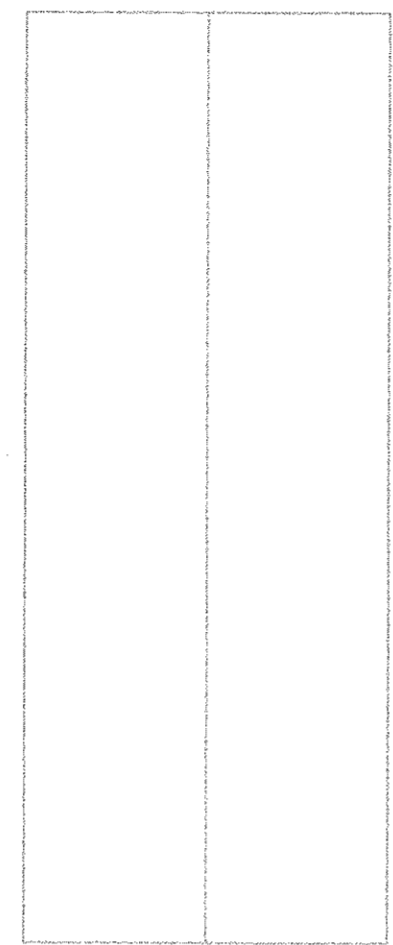
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**National Park Seminary
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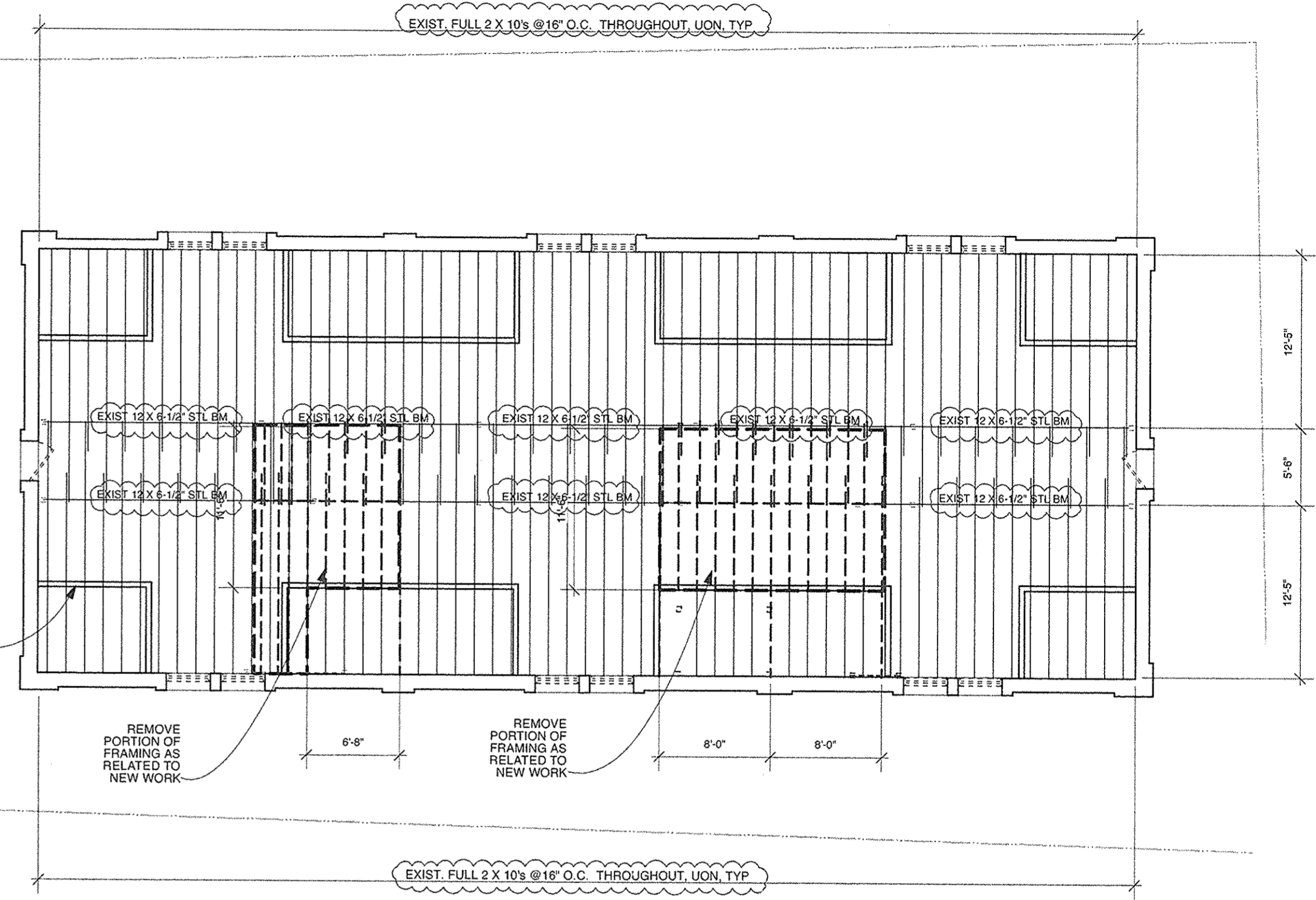
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1
S4
EXISTING AND DEMO 3RD FLOOR PLAN - CARPENTER'S SHOP
SCALE: 1/8" = 1'-0"



2x4 BEARING WALLS TO REMAIN, TYP.

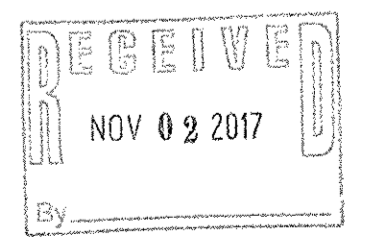


2
S4
EXISTING AND DEMO 3RD FLOOR PLAN - SERVANT'S QUARTERS
SCALE: 1/8" = 1'-0"

CONTRACTOR TO PROVIDE TEMPORARY SHORING AS NEEDED, REFER TO SHORING AND DEMOLITION NOTES ON S12

- KEYED NOTES:**
- 1- EXISTING 12X12 CONCRETE COLUMNS TO REMAIN, NOTE EXISTING COLUMN FOOTINGS ARE 2.6' BELOW EXISTING SLAB
 - 2- EXISTING CONCRETE PIERS TO REMAIN
 - 3- EXISTING 6X6 WD COLUMNS TO BE REMOVED, SEE STRUCTURAL NOTES ON SHEET S12 UNDER SHORING & DEMOLITION FOR INFORMATION RELATED TO SHORING AND DEMOLITION
 - 4- EXISTING 4X4 STEEL COLUMNS TO REMAIN, UNLESS OTHERWISE NOTED
 - 5- EXISTING FOUNDATION WALLS BELOW TO BE REMOVED, SEE SHEET S1
 - 6- OMITTED
 - 7- EXISTING CONCRETE SLAB
 - 8- EXISTING 6X6 WD BM TO BE REMOVED, SEE STRUCTURAL NOTES ON SHEET S12 UNDER SHORING & DEMOLITION FOR INFORMATION RELATED TO SHORING AND DEMOLITION

MONTGOMERY COUNTY
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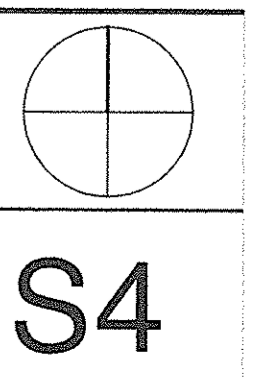
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EXISTING AND DEMO 3RD FLOOR STRUCTURAL PLAN

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- 01/22/14 PLAN UPDATES
- 02/17/14 PLAN UPDATES
- 07/01/14 MHT CHANGE / ALTERATION SET
- 07/31/14 MHT UPDATES
- 08/22/14 MHPC SET
- 07/01/15 PERMIT SET
- 10/02/17 PERMIT REV. 3



GENERAL STRUCTURAL NOTES:

1. All work to conform with latest approved local building codes and ordinances.
2. Notify the Architect of any dimension or existing conditions that vary from these documents.
3. All framing in contact with masonry to be pressure treated. 4. All framing, unless otherwise noted, to be D-FIR-L NO. 2 or greater.
5. Existing structural information is based on site investigations by the Architect. Notify the Architect of any unforeseen hidden conditions and structural conditions that vary from that shown in these drawings.
6. When advised by the Architect, investigation of conditions concealed by existing finishes shall be authorized and paid for by the Client. The Architect will not be responsible for verifying the condition of the existing structure.

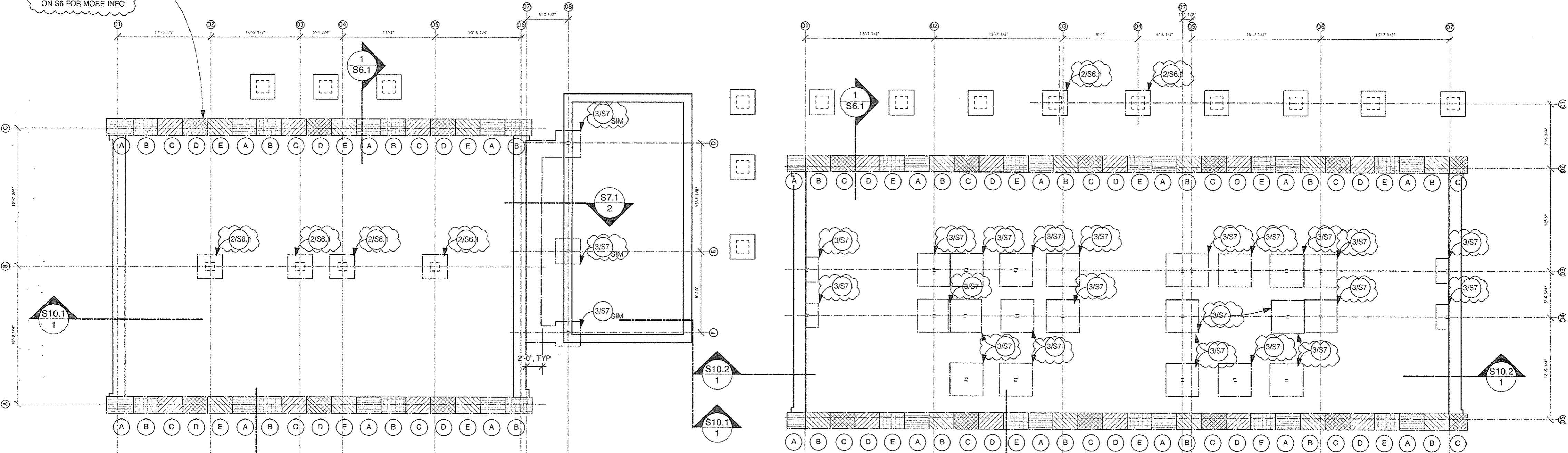
SEQUENCE OF FOOTING WORK:

1. REMOVE SOIL IN THE MIDDLE OF BASEMENT, LEAVING UNDISTURBED SOIL IN PLACE 12" ABOVE EXISTING FOOTINGS AND AT A 45 DEGREE ANGLE FOR STRUCTURAL SUPPORT OF EXISTING FOOTING AND WALL.
2. REMOVE SOIL IN 3' SECTIONS AROUND THE PERIMETER WALL, LEAVING 12" SECTIONS OF UNDISTURBED SOIL IN PLACE TO PROVIDE SUPPORT.
3. IN THE 3' SECTIONS THAT ARE EXPOSED, FIRST POUR THE NEW FOOTING, ADD REINFORCING AND THEN POUR CONCRETE WALL, LEAVING A SMALL GAP BETWEEN NEW WALL AND EXISTING WALL.
4. PACK THE GAP BETWEEN EXISTING WALL AND NEW WALL BELOW WITH NON-SHRINK GROUT TO CREATE CONTINUAL LOAD SUPPORT FROM EXISTING WALL DOWN TO NEW WALL.

UNDERPINNING NOTES (SEE S12 FOR FULL NOTES)

1. ASSUME 3,000 PSF SOIL-BEARING CAPACITY. SEE SOIL TESTING REPORT FOR CONFIRMATION.
 2. UNDERPINNING SHALL BE PERFORMED BY A LICENSED SPECIALTY CONTRACTOR, WITH AT LEAST 5 YEARS EXPERIENCE.
 3. COMPLETE UNDERPINNING OF ALL SEGMENTS MARKED A FIRST, B SECOND, C THIRD, D FOURTH, E LAST.
 4. LIMIT TO A MAX OF 3 OPEN PITS IN ANY WALL AT ANY ONE TIME.
 5. THOROUGHLY CLEAN SURFACE OF EXISTING FOOTINGS AND WALLS TO BE IN CONTACT WITH NEW WORK OF LOOSE MATERIALS AND DIRT.
 6. UNDERPINNING SHALL BE TERMINATED MIN 4" BELOW THE UNDERSIDE OF THE EXISTING FOUNDATION, DRY-PACK THIS GAP WITH HIGH-STRENGTH NON-SHRINK.
 7. THE MIN CONCRETE STRENGTH AT 28 DAYS SHALL BE 3,000 PSI.
 8. SLAB-ON-GRADE SHALL BE 4" THICK, REINFORCED W/ 6X6 W2.0XW2.0, PLACED ON 6 MIL POLYETHYLENE SHEET OVER 4" WASHED CRUSHED STONE.
- *ALL WORK TO COMPLY WITH 2006 IRC R301.5 AND 2003 BUILDING CODE SUPPLEMENT, DCMR 12A

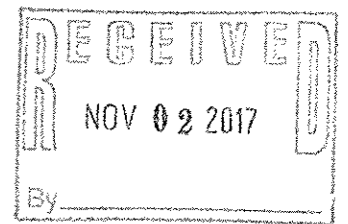
UNDERPINNING SEGMENTS, 24" X 36" X 12" TYP. SEE SEQUENCE OF FOOTING WORK AND UNDERPINNING NOTES ON S6 FOR MORE INFO.



**PROPOSED UNDERPINNING PLAN
CARPENTER'S SHOP**
SCALE: 1/8" = 1'-0"

**PROPOSED UNDERPINNING PLAN
SERVANT'S QUARTERS**
SCALE: 1/8" = 1'-0"

- KEYED NOTES:**
- 1- EXISTING 12X12 CONCRETE COLUMNS TO REMAIN, NOTE EXISTING COLUMN FOOTINGS ARE 2.6' BELOW EXISTING SLAB
 - 2- EXISTING CONCRETE PIERS TO REMAIN
 - 3- EXISTING 6X6 WD COLUMNS TO BE REMOVED, SEE STRUCTURAL NOTES ON SHEET S12 UNDER SHORING & DEMOLITION FOR INFORMATION RELATED TO SHORING AND DEMOLITION
 - 4- EXISTING 4X4 STEEL COLUMNS TO REMAIN, UNLESS OTHERWISE NOTED
 - 5- EXISTING FOUNDATION WALLS BELOW TO BE REMOVED, SEE SHEET S1
 - 6- EXISTING 12 X 6-1/2" WIDE FLANGE STEEL BEAMS ENTIRE LENGTH OF BUILDING
 - 7- EXISTING CONCRETE SLAB
 - 8- EXISTING 6X6 WD BM TO BE REMOVED, SEE STRUCTURAL NOTES ON SHEET S12 UNDER SHORING & DEMOLITION FOR INFORMATION RELATED TO SHORING AND DEMOLITION
 - 9- NEW 5-1/4 X 5-1/4 PSL
 - 10- NEW W12 X 19 BEAMS, CONTINUOUS TO REPLACE EXISTING FOUNDATION WALLS IN BASEMENT



- LEGEND**
- EXISTING STRUCTURAL MEMBER TO BE REMOVED
 - EXISTING STRUCTURAL MEMBER TO REMAIN
 - NEW STRUCTURE

MONTGOMERY COUNTY
APPROVED AS NOTED
DIV. OF BUILDING CONSTRUCTION

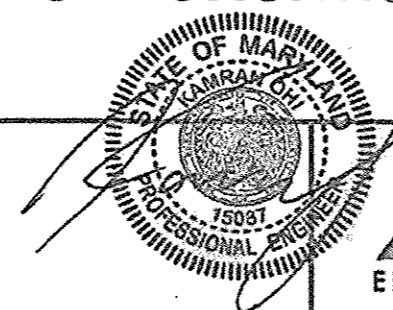
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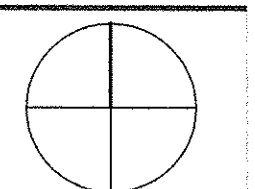
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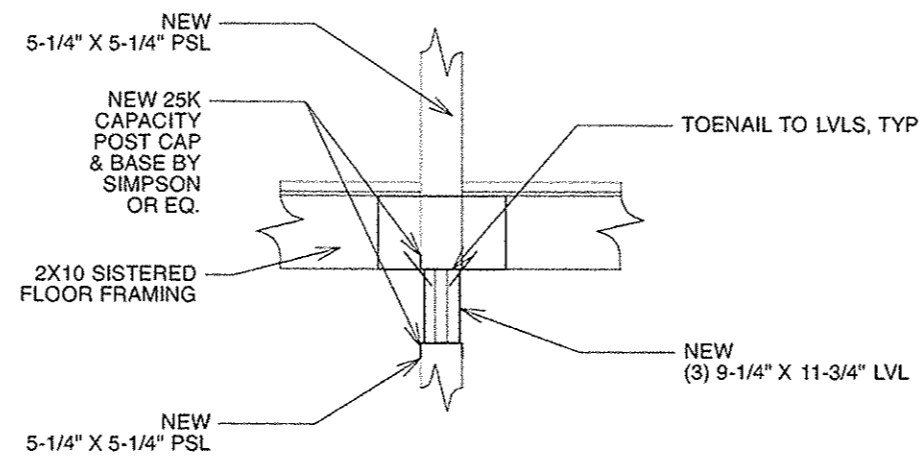
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BASEMENT FOUNDATION - PROPOSED

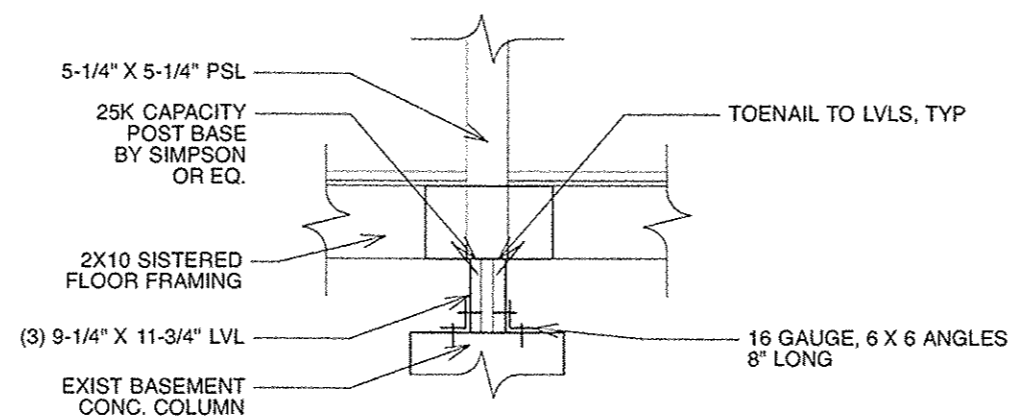
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01/22/14	PLAN UPDATES
02/17/14	PLAN UPDATES
07/01/14	MHT CHANGE / ALTERATION SET
07/31/14	MHT UPDATES
08/22/14	MHPC SET
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01/13/16	PERMIT REV. 1
11/07/16	PERMIT REV. 2
10/02/17	PERMIT REV. 3



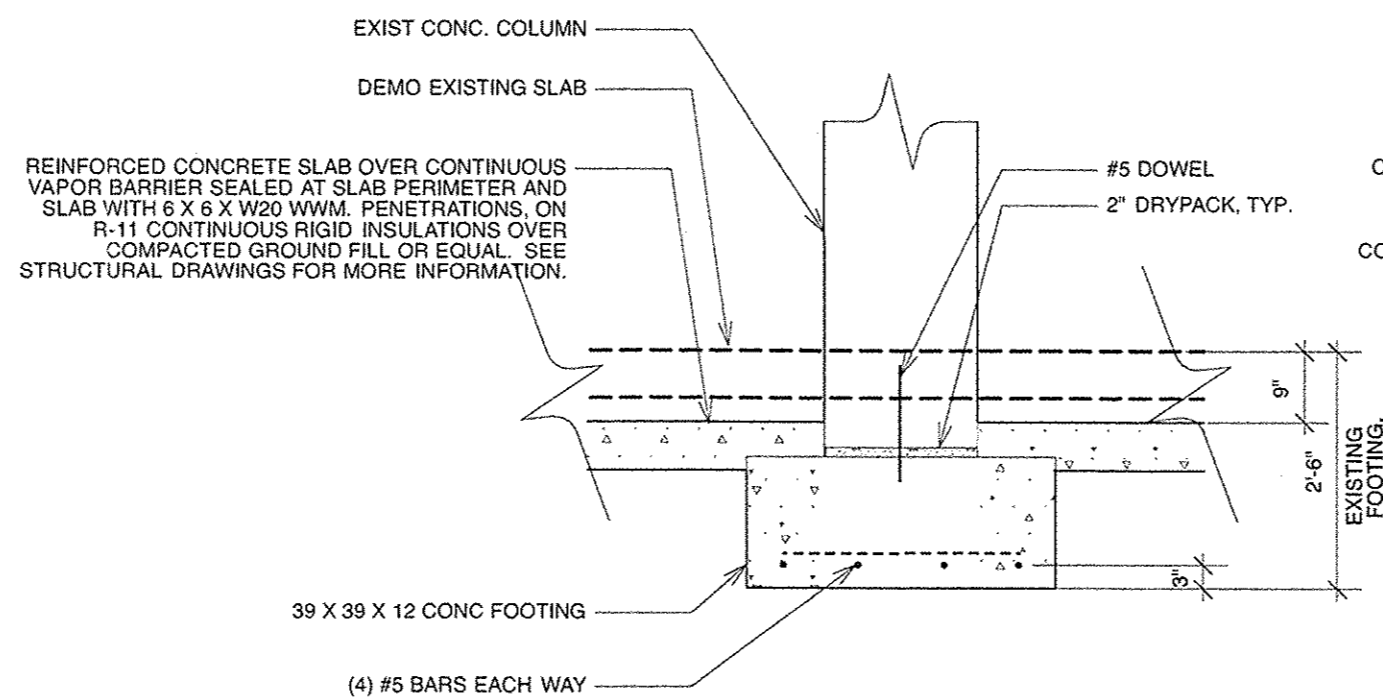
S6



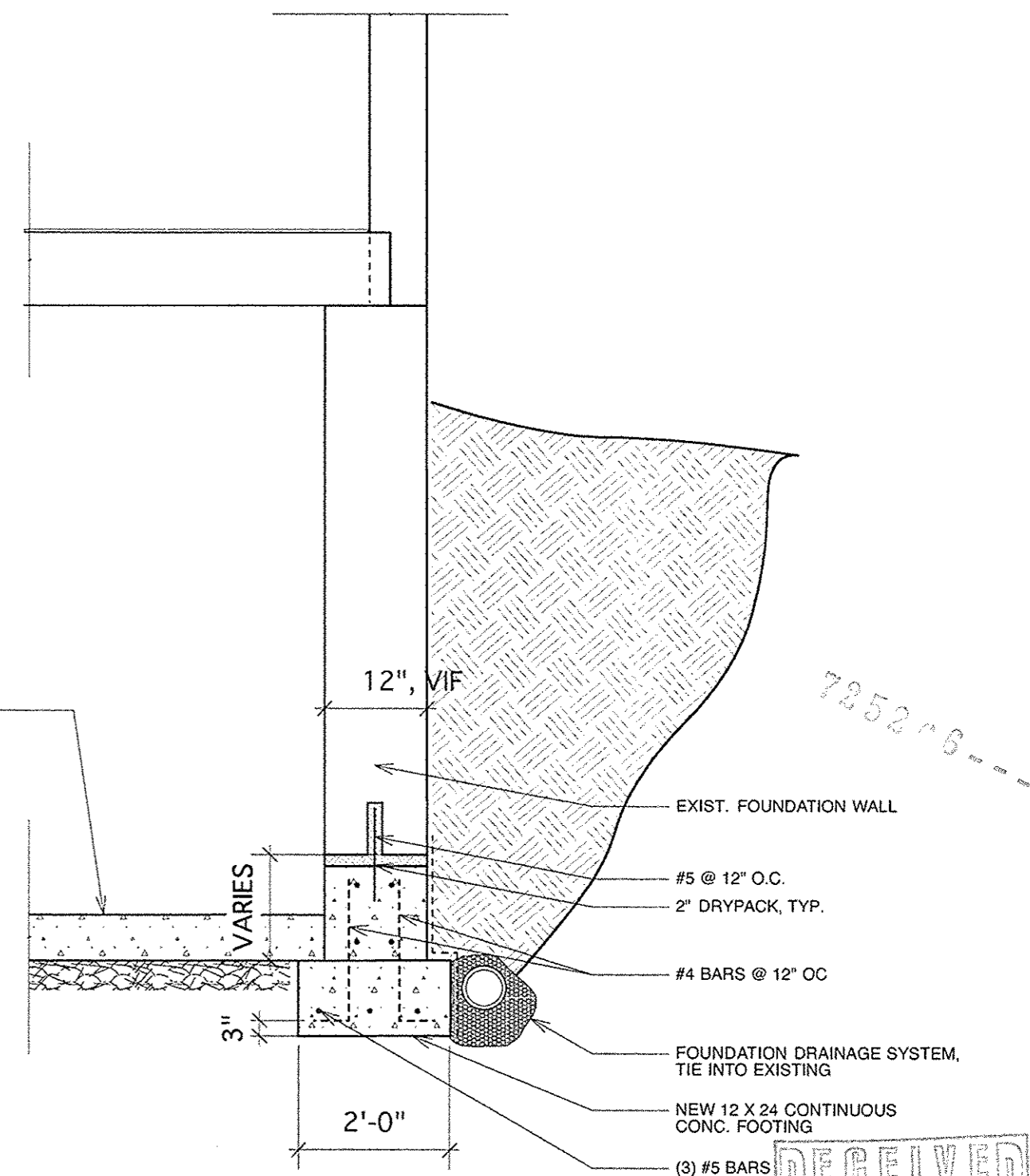
4
S6.1
NEW COLUMN TO NEW LVL DETAIL @ CARPENTER'S SHOP
NOT TO SCALE



3
S6.1
NEW COLUMN TO NEW LVL DETAIL @ CARPENTER'S SHOP

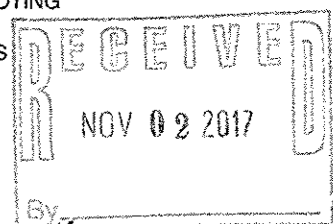


2
S6.1
NEW FOOTING @ INTERIOR COLUMN - CARPENTER'S SHOP



1
S6.1
NEW FOOTING DETAIL @ FOUNDATION WALL

7252-6



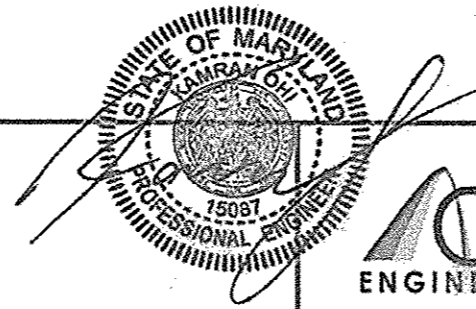
MONTGOMERY COUNTY
APPROVED AS NOTED
DIV. OF BUILDING CONSTRUCTION

Studio: CrowleyHall, pllc

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Silver Spring, MD 20910

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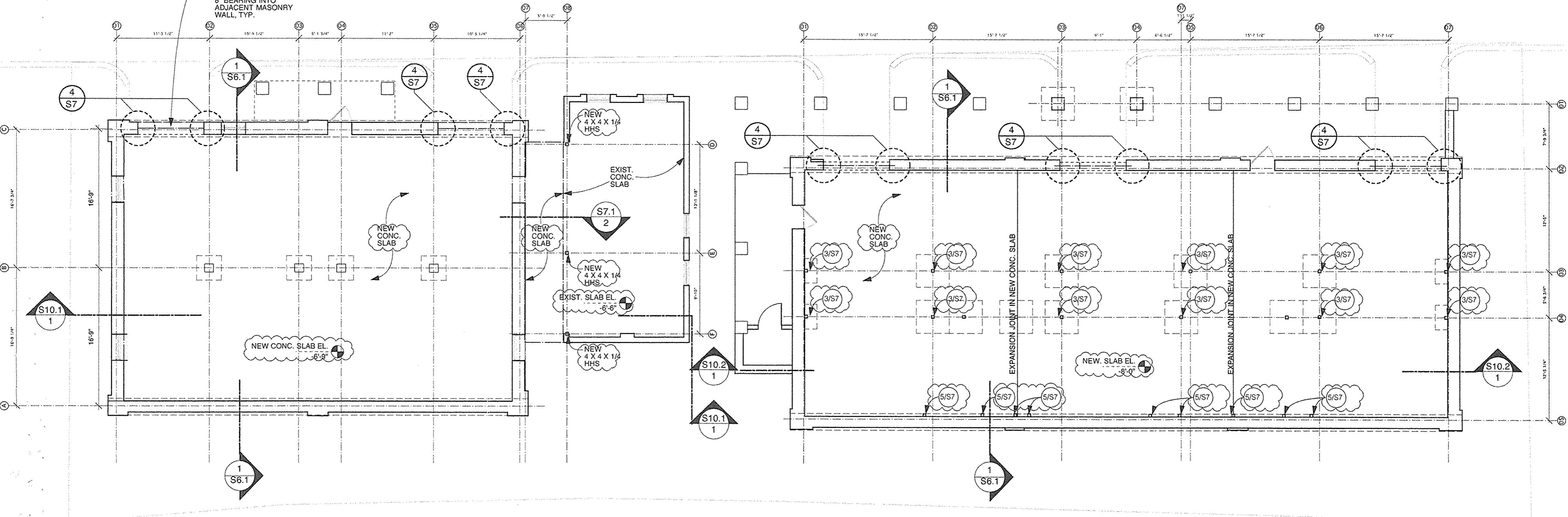
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10/02/17 PERMIT REV. 3

STRUCTURAL DETAILS

S6.1

FOR EACH 4" OF MASONRY WALL PROVIDE W8X13 HDR, GROUDED SOLID MIN. 8" BEARING INTO ADJACENT MASONRY WALL, TYP.

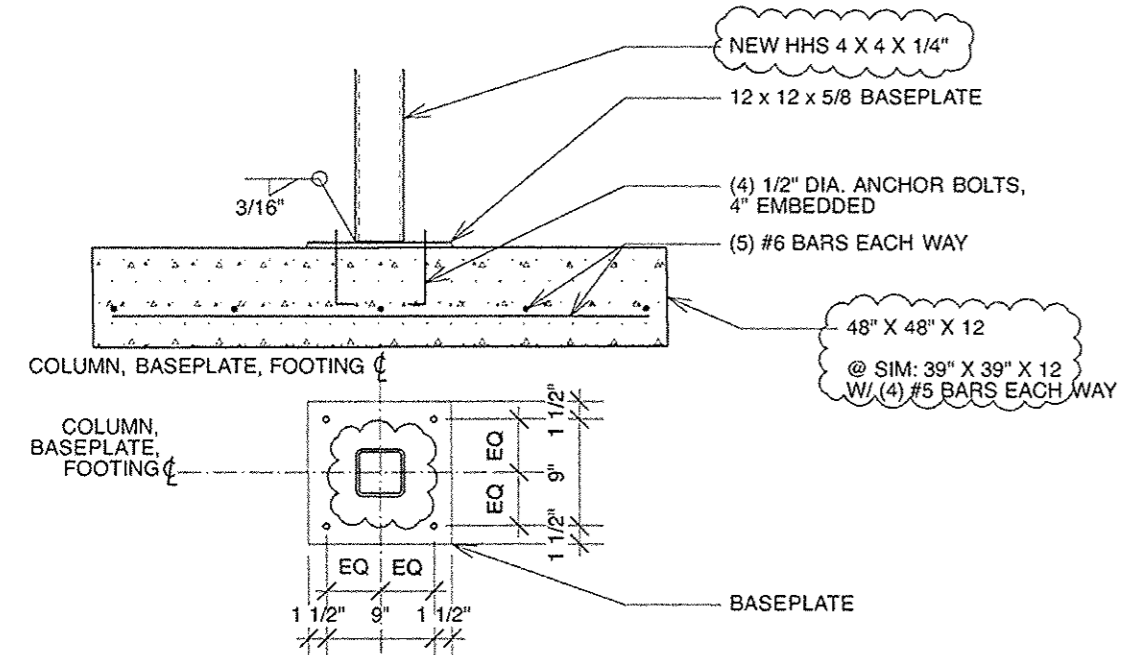


PROPOSED BASEMENT STRUCTURAL PLAN CARPENTER'S SHOP

1
S7
SCALE: 1/8" = 1'-0"

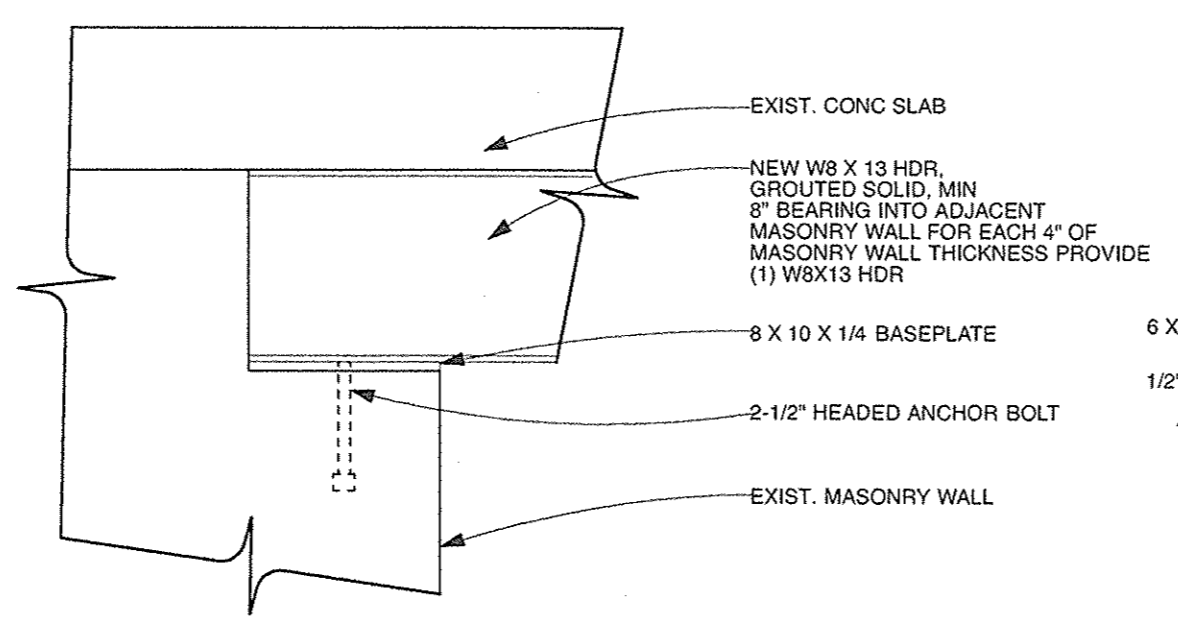
PROPOSED BASEMENT STRUCTURAL PLAN SERVANT'S QUARTERS

2
S7
SCALE: 1/8" = 1'-0"



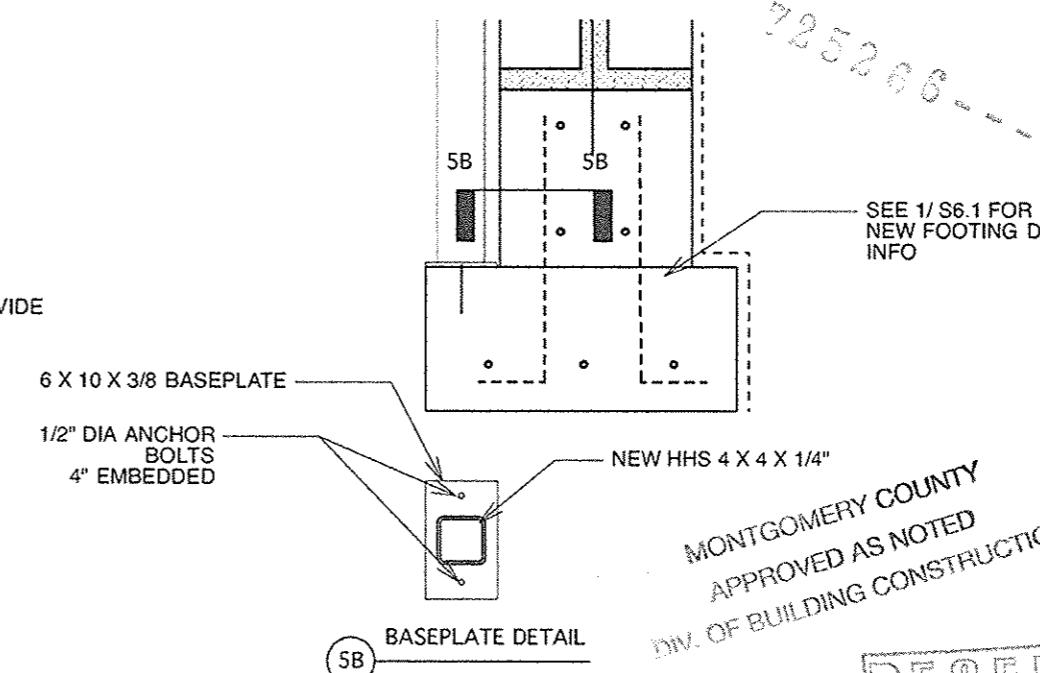
NEW FOOTING & MOUNTING PLATE DETAIL

3
S7
SCALE: 1-1/2" = 1'-0"



NEW LINTEL @ GARAGE DOOR DETAIL

4
S7
SCALE: 1-1/2" = 1'-0"



BASEPLATE & COL DETAIL

5
S7
SCALE: 1-1/2" = 1'-0"

- KEYED NOTES:**
- 1-EXISTING 12X12 CONCRETE COLUMNS TO REMAIN, NOTE EXISTING COLUMN FOOTINGS ARE 2.6' BELOW EXISTING SLAB
 - 2-EXISTING CONCRETE PIERS TO REMAIN
 - 3-EXISTING 6X6 WD COLUMNS TO BE REMOVED, SEE STRUCTURAL NOTES ON SHEET S12 UNDER SHORING & DEMOLITION FOR INFORMATION RELATED TO SHORING AND DEMOLITION
 - 4-EXISTING 4X4 STEEL COLUMNS TO REMAIN, UNLESS OTHERWISE NOTED
 - 5-EXISTING FOUNDATION WALLS BELOW TO BE REMOVED, SEE SHEET S1
 - 6-OMITTED
 - 7-EXISTING CONCRETE SLAB
 - 8-EXISTING 6X6 WD BM TO BE REMOVED, SEE STRUCTURAL NOTES ON SHEET S12 UNDER SHORING & DEMOLITION FOR INFORMATION RELATED TO SHORING AND DEMOLITION
 - 9-NEW 5-1/4 X 5-1/4 PSL
 - 10- NEW W12 X 19 BEAMS, CONTINUOUS TO REPLACE EXISTING FOUNDATION WALLS IN BASEMENT

LEGEND

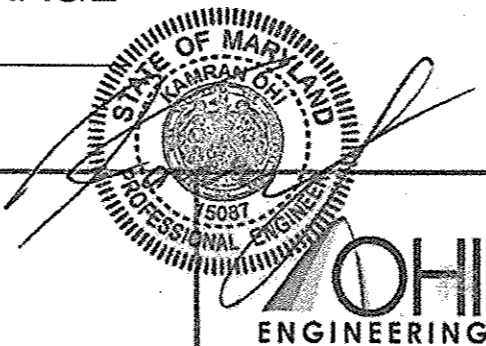
	EXISTING STRUCTURAL MEMBER TO BE REMOVED
	EXISTING STRUCTURAL MEMBER TO REMAIN
	NEW STRUCTURE

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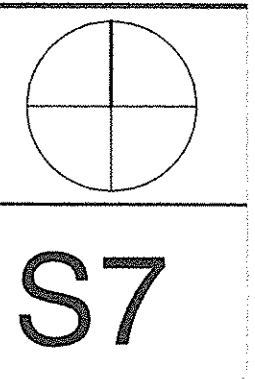
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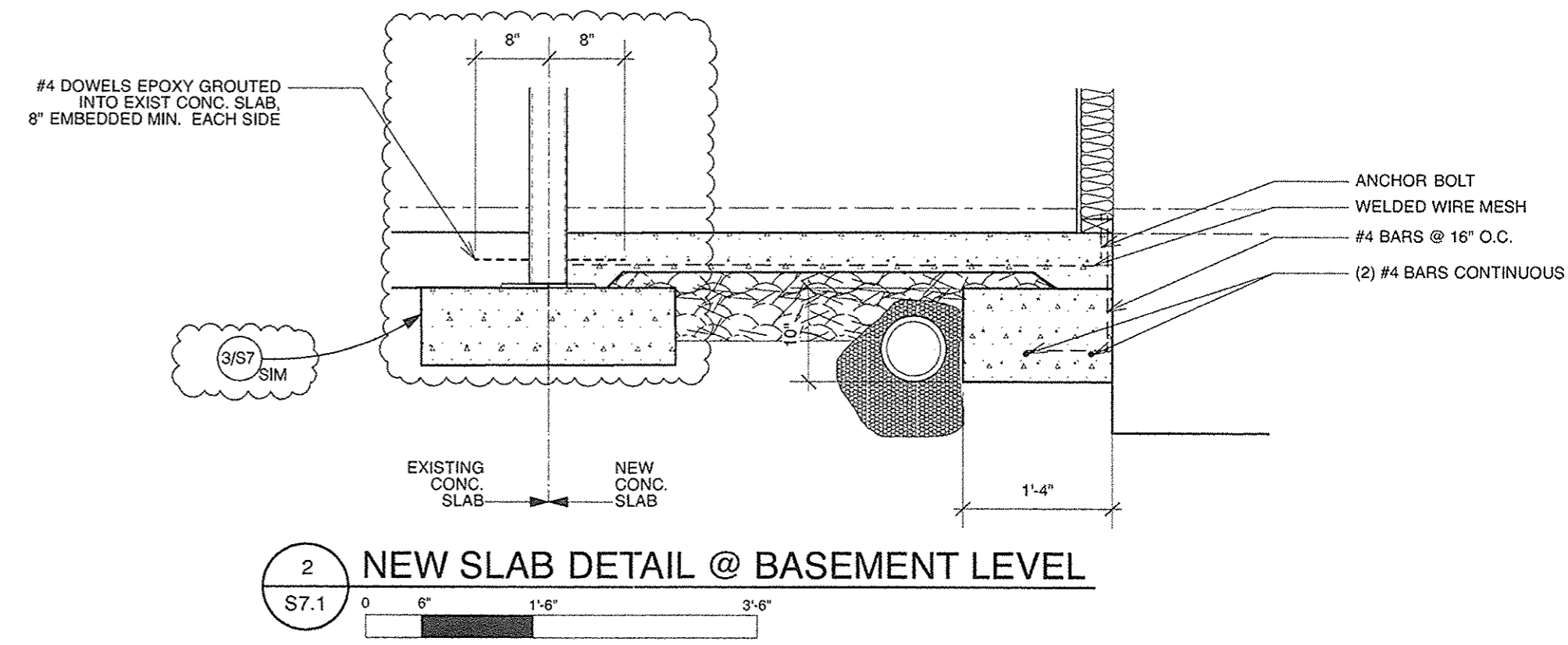
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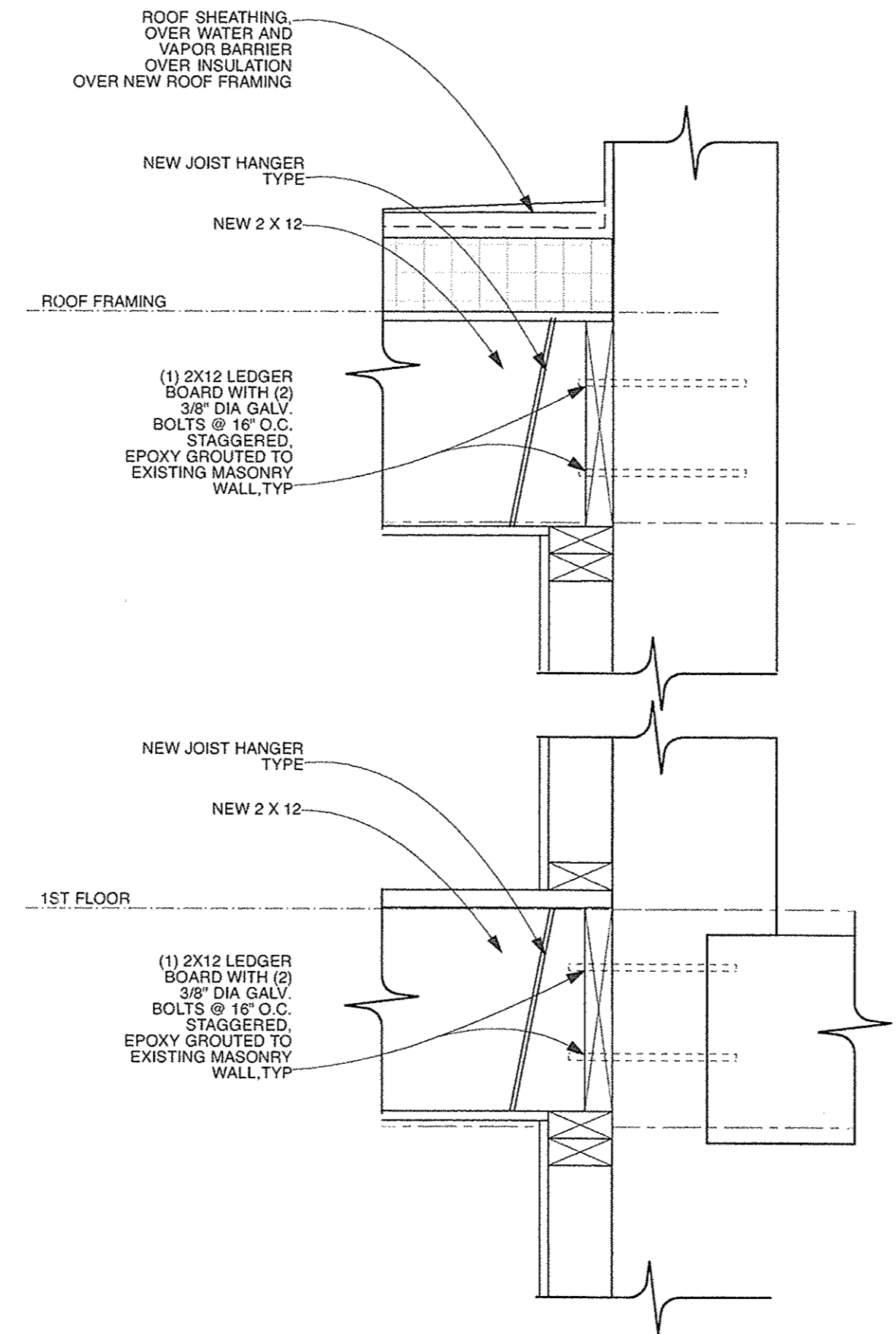
BASEMENT STRUCTURAL - PROPOSED

12/09/13	CONCEPT DESIGN
01/22/14	PLAN UPDATES
02/17/14	PLAN UPDATES
07/01/14	MHT CHANGE / ALTERATION SET
07/31/14	MHT UPDATES
08/22/14	MHPC SET
07/01/15	PERMIT SET
01/13/16	PERMIT REV. 1
11/07/16	REVISION 2
10/02/17	PERMIT REV. 3

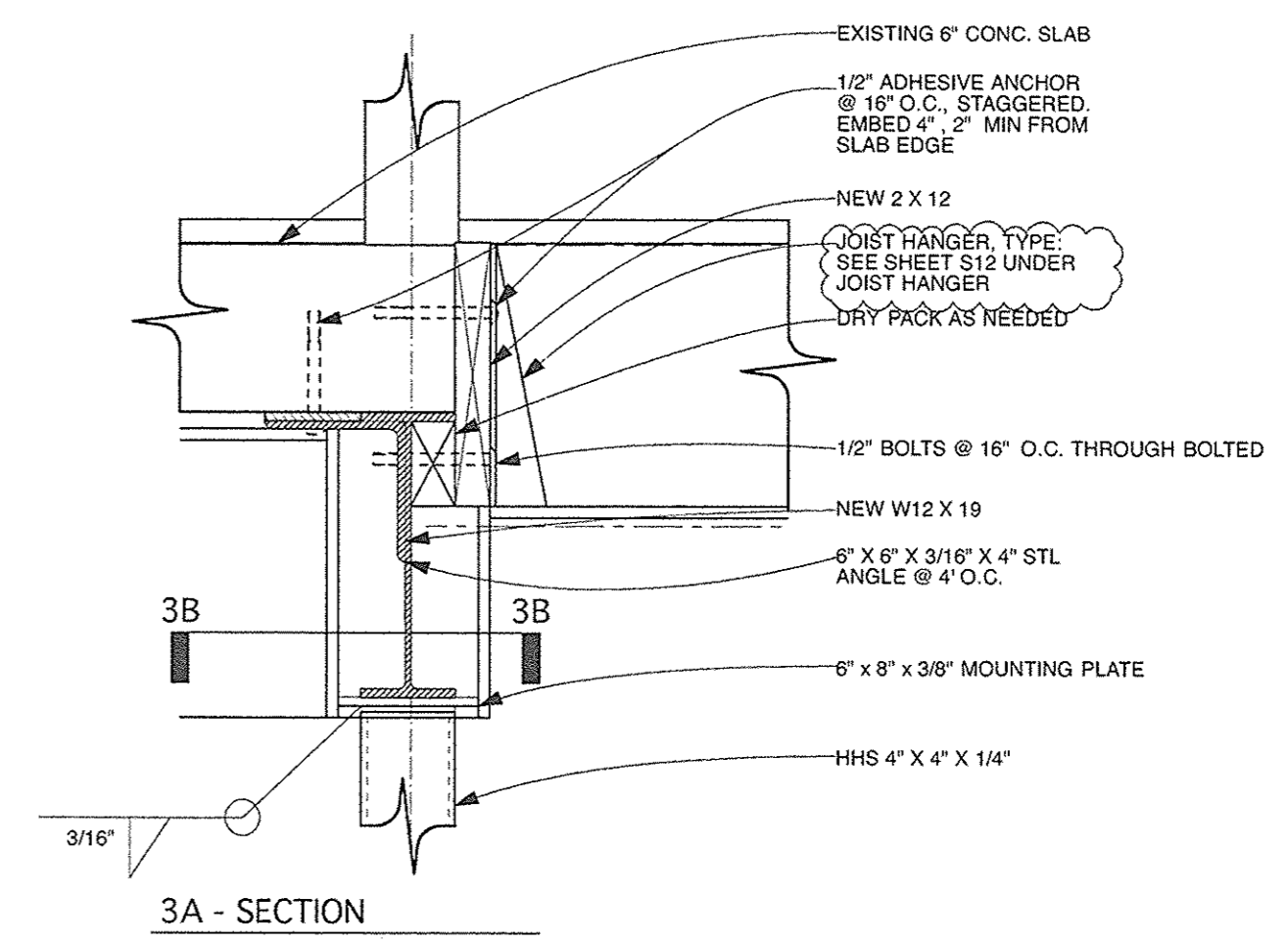




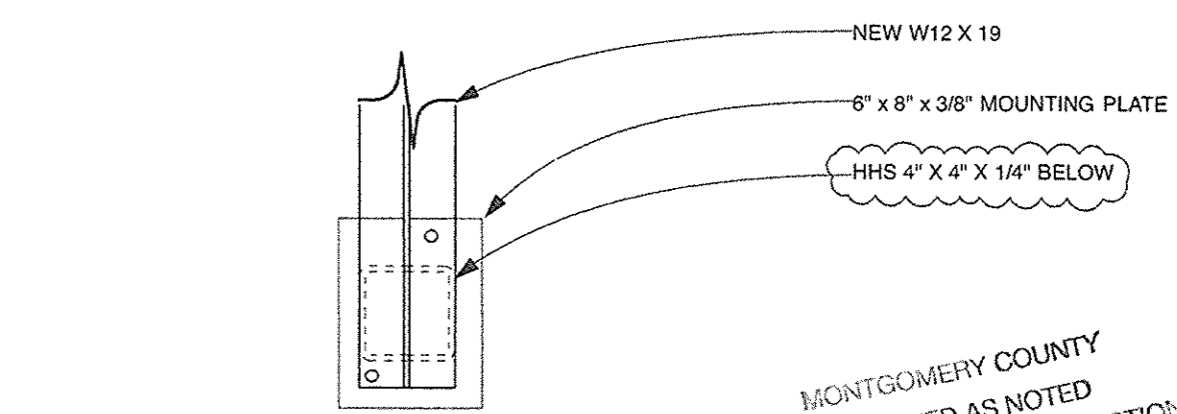
2 NEW SLAB DETAIL @ BASEMENT LEVEL
S7.1



3 NEW FRAMING TO EXIST. EXTERIOR MASONRY WALL
S7.1 SCALE: 1-1/2" = 1'-0"



3A - SECTION



3B - PLAN

1 FRAMING TO CONC. SLAB DETAIL
S7.1 SCALE: 1-1/2" = 1'-0"

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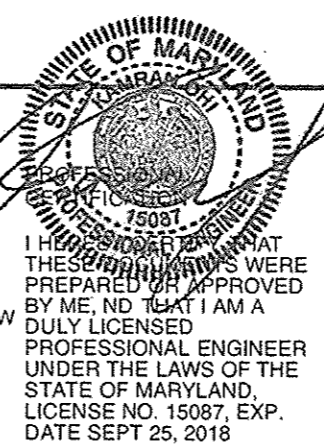
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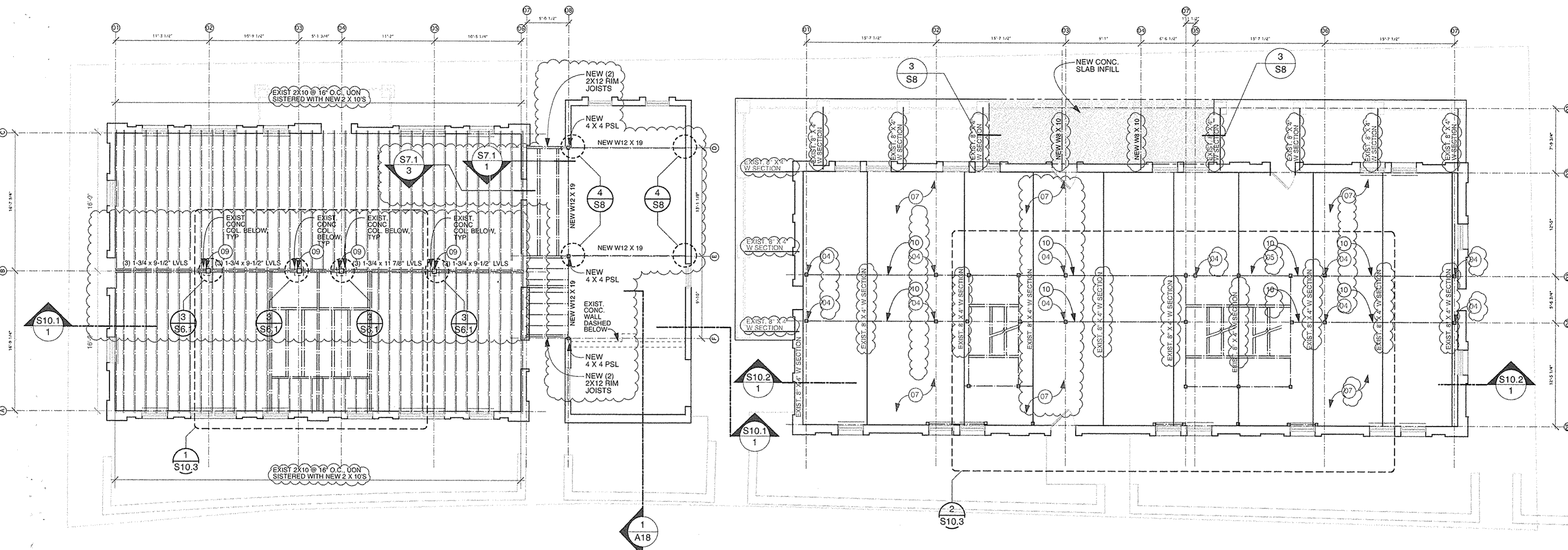


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STRUCTURAL DETAILS

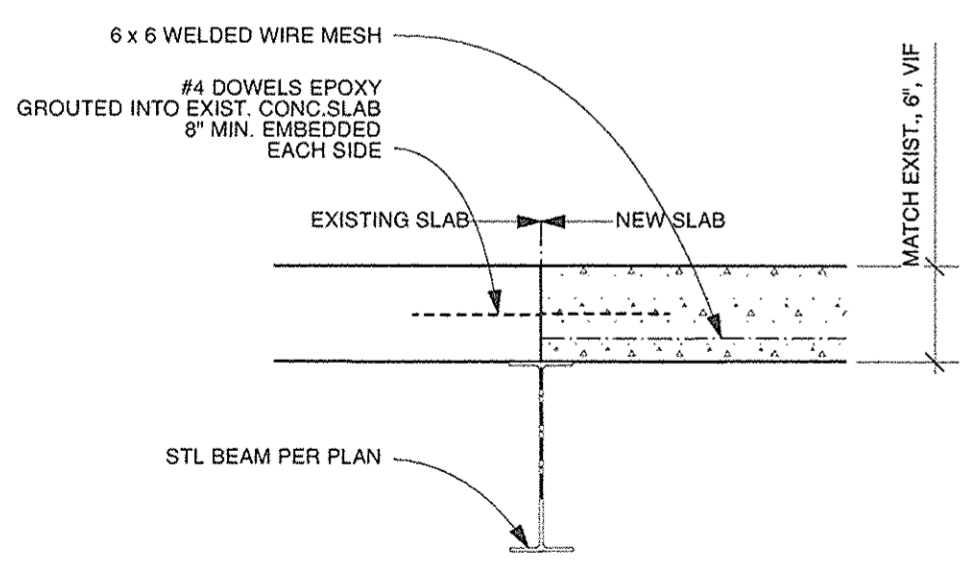
09/17/17 PERMIT REV. 3
10/02/17 PERMIT REV. 3

S7.1

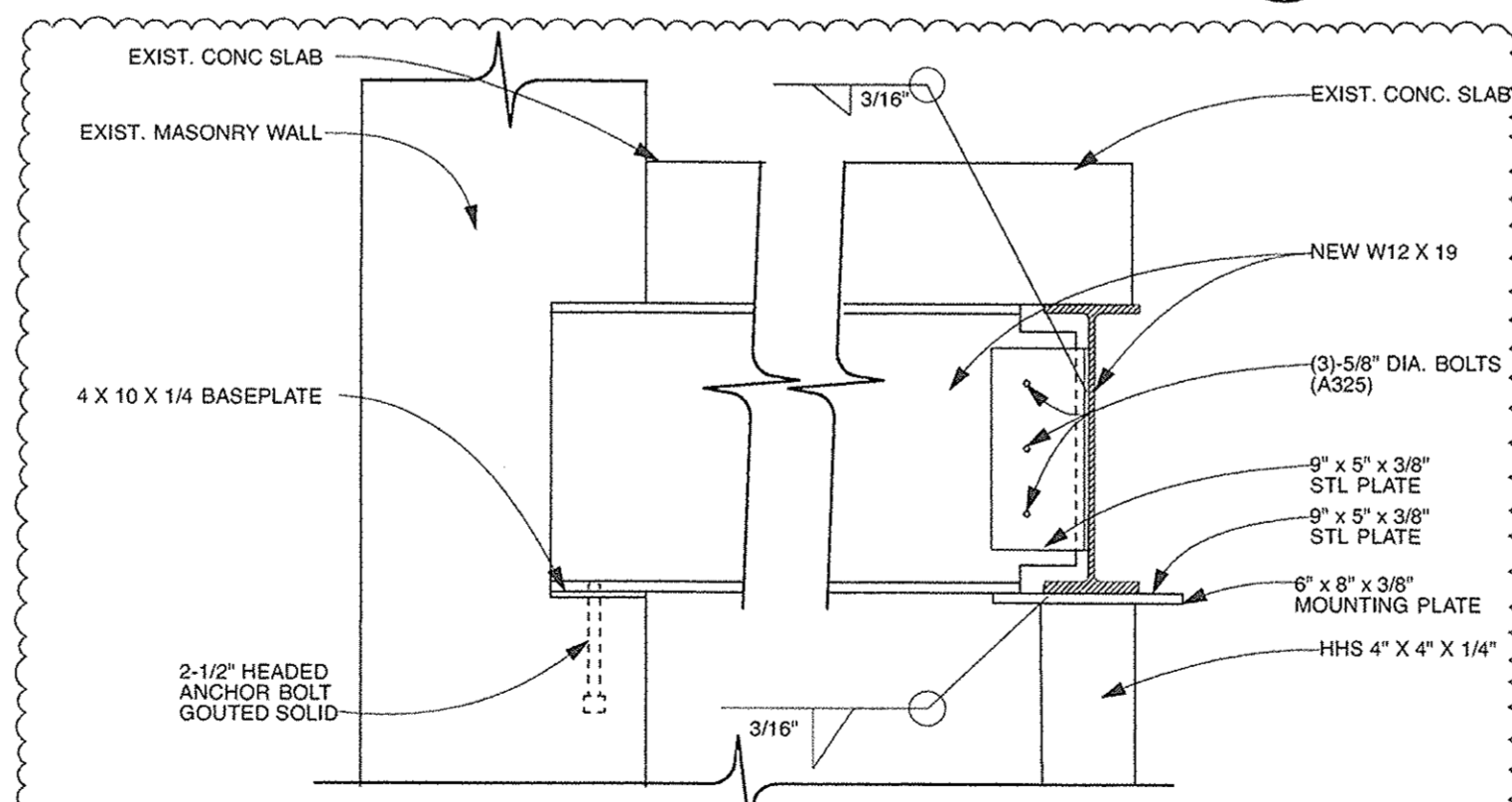


1
S8
**PROPOSED 1ST FLOOR STRUCTURAL PLAN
CARPENTER'S SHOP**
SCALE: 1/8" = 1'-0"

2
S8
**PROPOSED - 1ST FLOOR STRUCTURAL PLAN
SERVANTS QUARTERS**
SCALE: 1/8" = 1'-0"



3
S8
NEW CONC. SLAB DETAIL
SCALE: 1-1/2" = 1'-0"



4
S8
NEW CONC. SLAB DETAIL
SCALE: 1-1/2" = 1'-0"

- KEYED NOTES:**
- 1- EXISTING 12X12 CONCRETE COLUMNS TO REMAIN, NOTE EXISTING COLUMN FOOTINGS ARE 2.6' BELOW EXISTING SLAB
 - 2- EXISTING CONCRETE PIERS TO REMAIN
 - 3- EXISTING 6X6 WD COLUMNS TO BE REMOVED, SEE STRUCTURAL NOTES ON SHEET S12 UNDER SHORING & DEMOLITION FOR INFORMATION RELATED TO SHORING AND DEMOLITION
 - 4- EXISTING 4X4 STEEL COLUMNS TO REMAIN, UNLESS OTHERWISE NOTED
 - 5- EXISTING FOUNDATION WALLS BELOW TO BE REMOVED, SEE SHEET S1
 - 6- OMITTED
 - 7- EXISTING CONCRETE SLAB
 - 8- EXISTING 6X6 WD BM TO BE REMOVED, SEE STRUCTURAL NOTES ON SHEET S12 UNDER SHORING & DEMOLITION FOR INFORMATION RELATED TO SHORING AND DEMOLITION
 - 9- NEW 5-1/4 X 5-1/4 PSL
 - 10- NEW W12 X 19 BEAMS, CONTINUOUS TO REPLACE EXISTING FOUNDATION WALLS IN BASEMENT

LEGEND

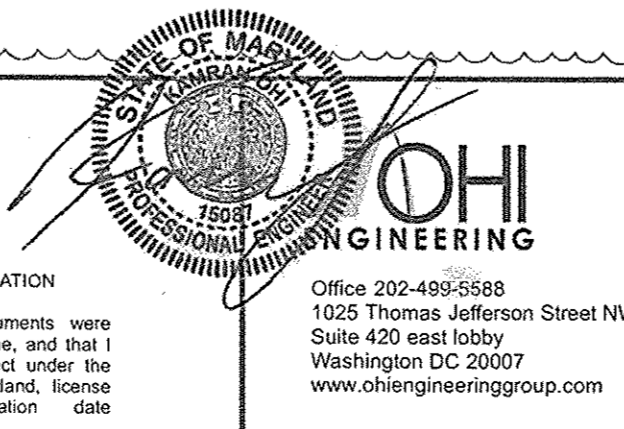
- - - - - EXISTING STRUCTURAL MEMBER TO BE REMOVED
- — — — — EXISTING STRUCTURAL MEMBER TO REMAIN
- — — — — NEW STRUCTURE



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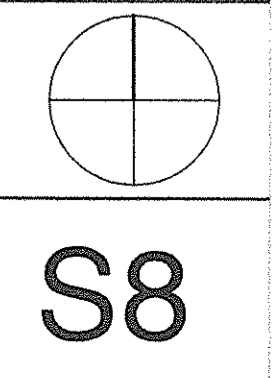
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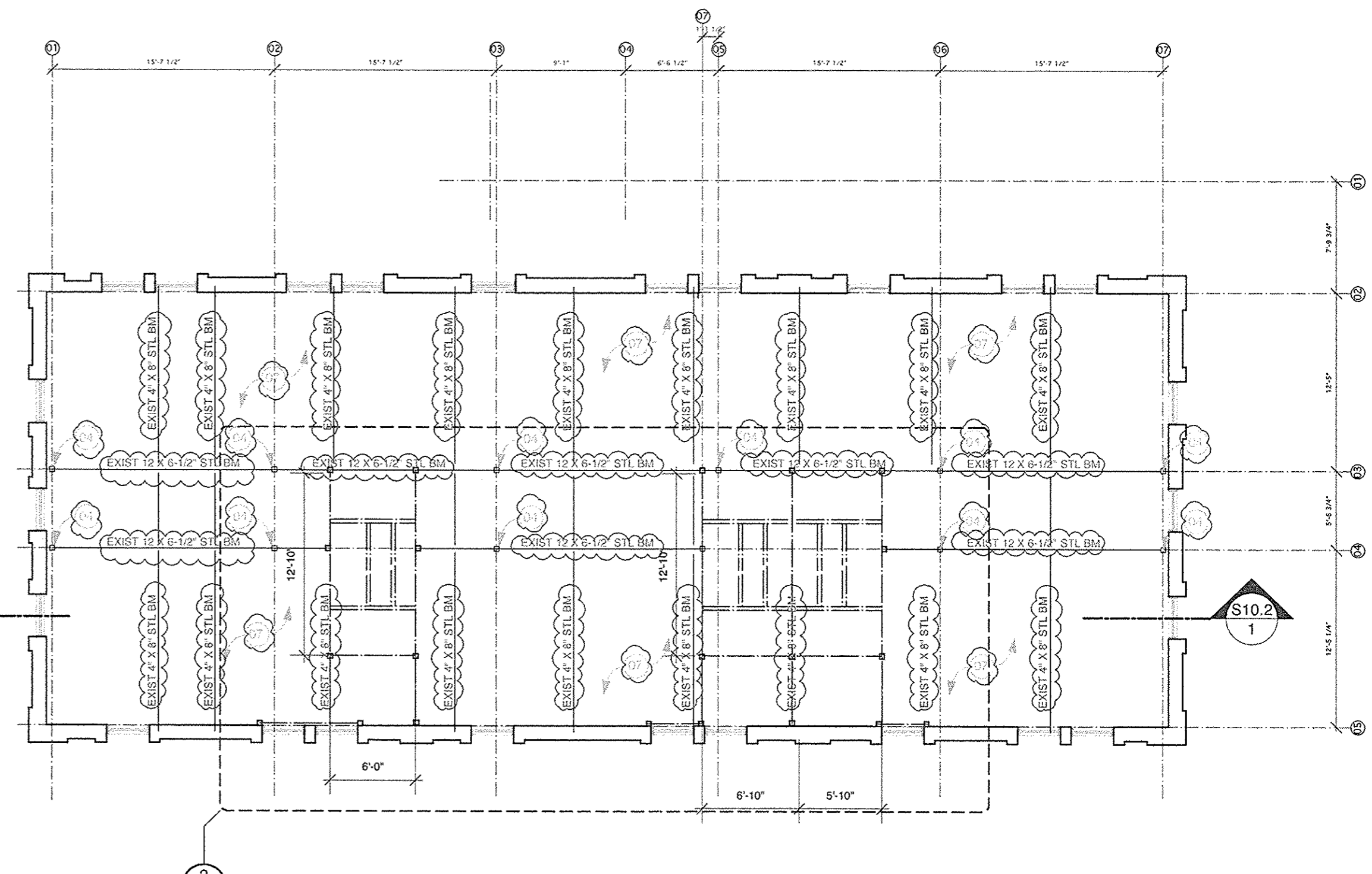
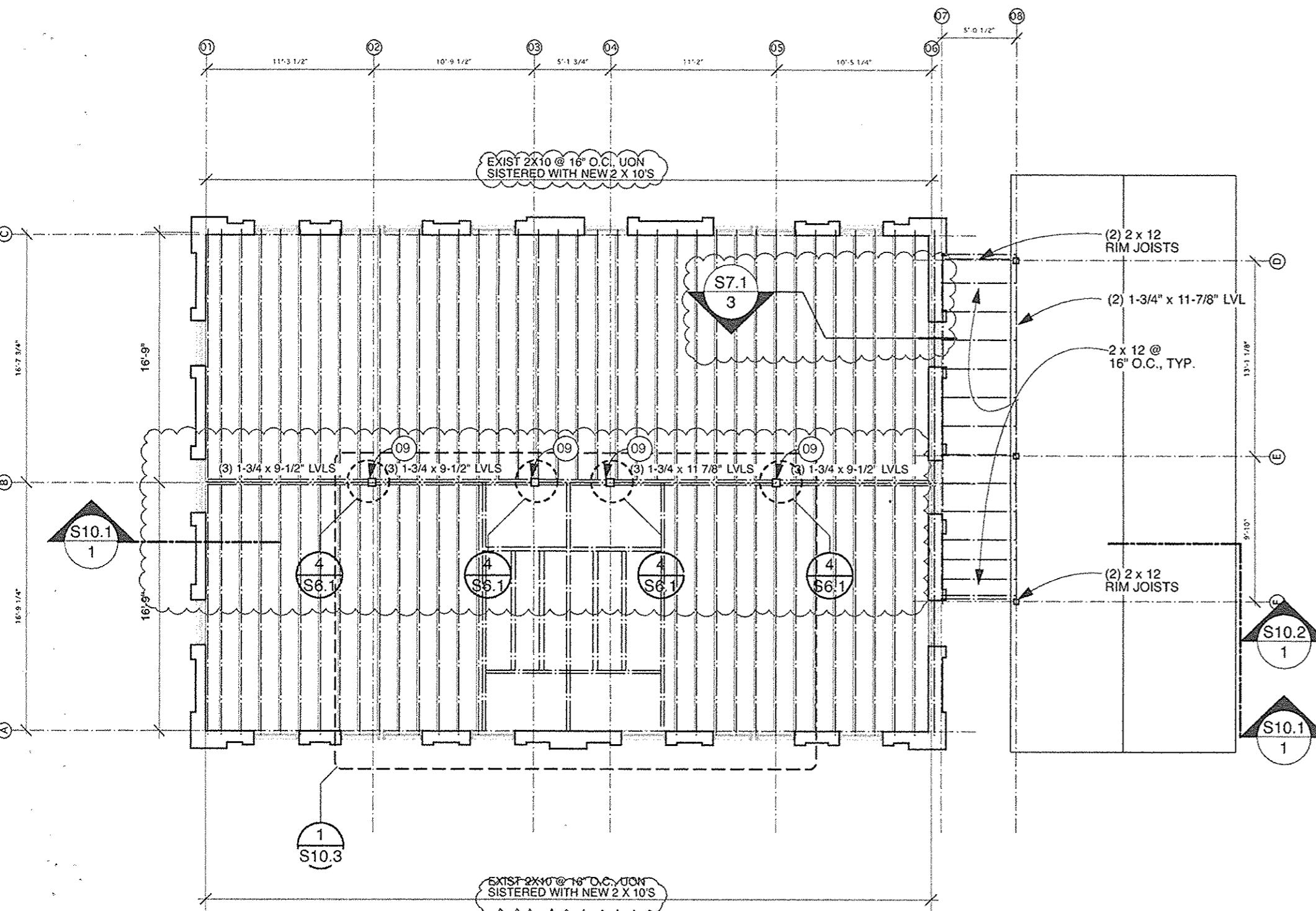
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PROPOSED 1ST FLOOR STRUCTURAL

- 12/09/13 CONCEPT DESIGN
- 01/22/14 PLAN UPDATES
- 02/17/14 PLAN UPDATES
- 07/01/14 MHT CHANGE / ALTERATION SET
- 07/31/14 MHT UPDATES
- 08/22/14 MHPC SET
- 07/01/15 PERMIT SET
- 01/13/16 PERMIT REV. 1
- 11/07/16 PERMIT REV. 2
- 10/02/17 PERMIT REV. 3





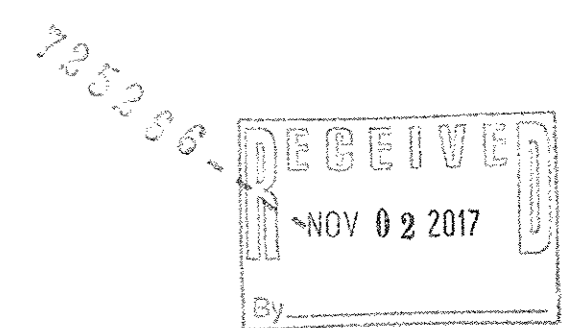
**PROPOSED 2ND FLOOR STRUCTURAL PLAN
CARPENTER'S SHOP**

1
S9 SCALE: 1/8" = 1'-0"

**PROPOSED 2ND FLOOR STRUCTURAL PLAN
SERVANT'S QUARTERS**

2
S9 SCALE: 1/8" = 1'-0"

- KEYED NOTES:**
- 1- EXISTING 12X12 CONCRETE COLUMNS TO REMAIN, NOTE EXISTING COLUMN FOOTINGS ARE 2.6' BELOW EXISTING SLAB
 - 2- EXISTING CONCRETE PIERS TO REMAIN
 - 3- EXISTING 6X6 WD COLUMNS TO BE REMOVED, SEE STRUCTURAL NOTES ON SHEET S12 UNDER SHORING & DEMOLITION FOR INFORMATION RELATED TO SHORING AND DEMOLITION
 - 4- EXISTING 4X4 STEEL COLUMNS TO REMAIN, UNLESS OTHERWISE NOTED
 - 5- EXISTING FOUNDATION WALLS BELOW TO BE REMOVED, SEE SHEET S1
 - 6- OMITTED
 - 7- EXISTING CONCRETE SLAB
 - 8- EXISTING 6X6 WD BM TO BE REMOVED, SEE STRUCTURAL NOTES ON SHEET S12 UNDER SHORING & DEMOLITION FOR INFORMATION RELATED TO SHORING AND DEMOLITION
 - 9- NEW 5-1/4 X 5-1/4 PSL
 - 10- NEW W12 X 19 BEAMS, CONTINUOUS TO REPLACE EXISTING FOUNDATION WALLS IN BASEMENT



MONTGOMERY COUNTY
APPROVED AS NOTED
DIV. OF BUILDING CONSTRUCTION

- LEGEND**
- - - EXISTING STRUCTURAL MEMBER TO BE REMOVED
 - EXISTING STRUCTURAL MEMBER TO REMAIN
 - NEW STRUCTURE



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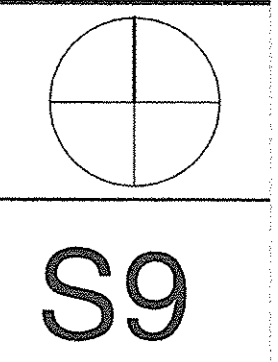
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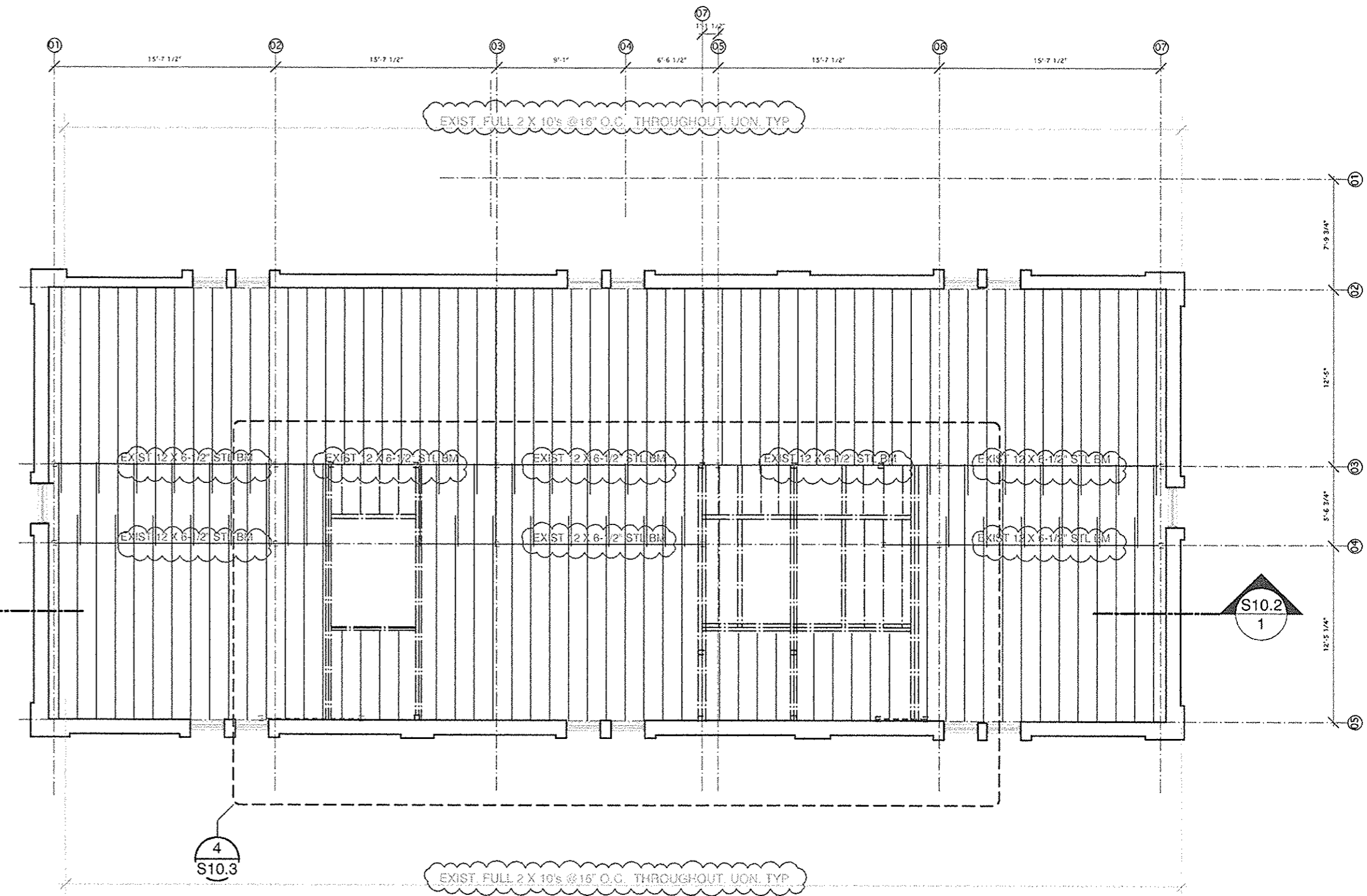
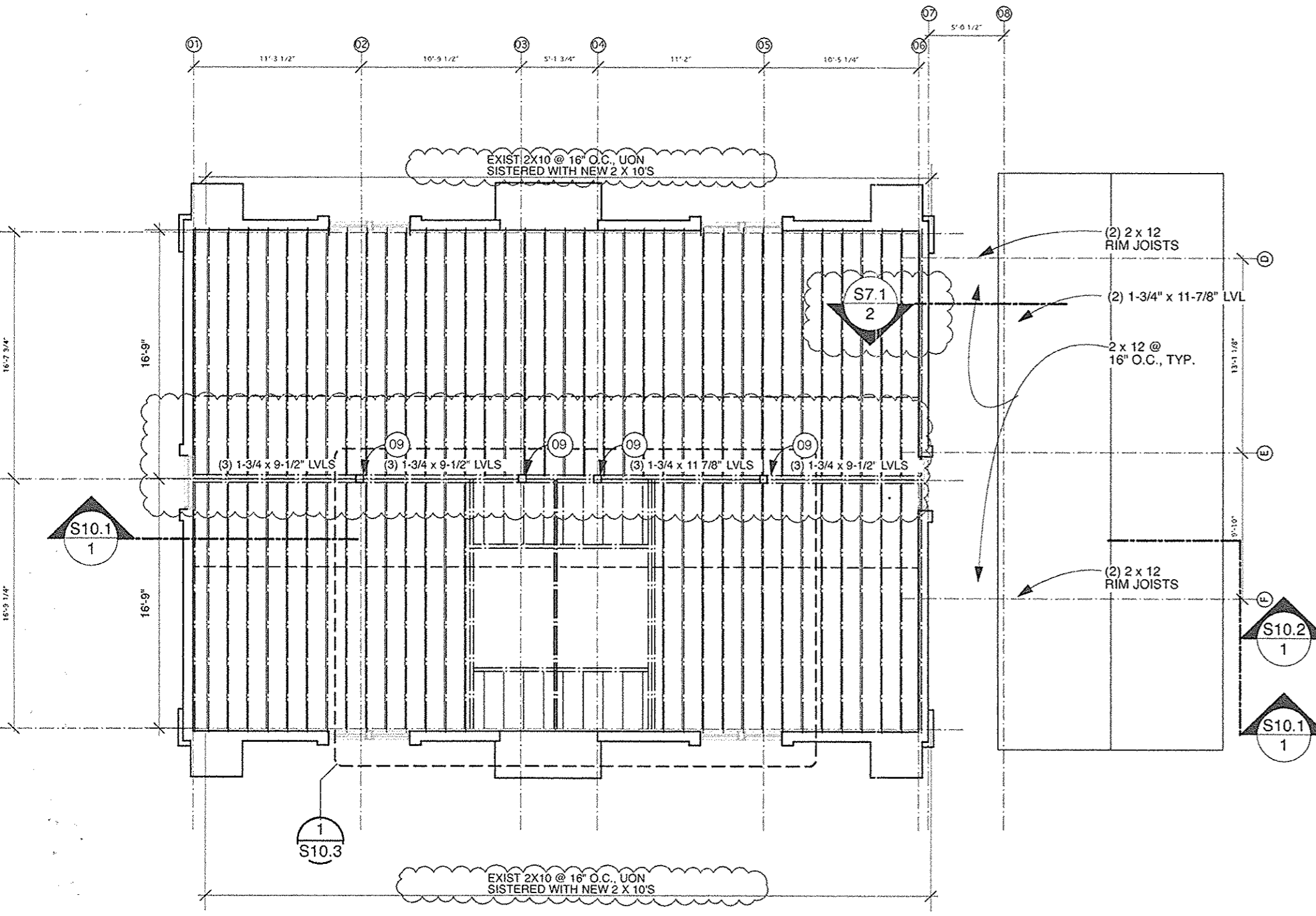
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2ND FLOOR STRUCTURAL - PROPOSED

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- 01/22/14 PLAN UPDATES
- 02/17/14 PLAN UPDATES
- 07/01/14 MHT CHANGE / ALTERATION SET
- 07/31/14 MHT UPDATES
- 08/22/14 MHPC SET
- 07/01/15 PERMIT SET
- 01/13/16 PERMIT REV. 1
- 11/07/16 PERMIT REV. 2
- 10/02/17 PERMIT REV. 3



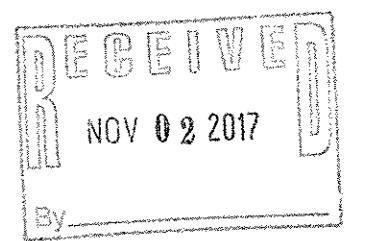


1
PROPOSED 3RD FLOOR STRUCTURAL PLAN
CARPENTER'S SHOP
 S10 SCALE: 1/8" = 1'-0"

2
PROPOSED 3RD FLOOR STRUCTURAL PLAN
SERVANTS QUARTERS
 S10 SCALE: 1/8" = 1'-0"

- KEYED NOTES:**
- 1- EXISTING 12X12 CONCRETE COLUMNS TO REMAIN, NOTE EXISTING COLUMN FOOTINGS ARE 2.6' BELOW EXISTING SLAB
 - 2- EXISTING CONCRETE PIERS TO REMAIN
 - 3- EXISTING 6X6 WD COLUMNS TO BE REMOVED, SEE STRUCTURAL NOTES ON SHEET S12 UNDER SHORING & DEMOLITION FOR INFORMATION RELATED TO SHORING AND DEMOLITION
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 - 5- EXISTING FOUNDATION WALLS BELOW TO BE REMOVED, SEE SHEET S1
 - 6- OMITTED
 - 7- EXISTING CONCRETE SLAB
 - 8- EXISTING 6X6 WD BM TO BE REMOVED, SEE STRUCTURAL NOTES ON SHEET S12 UNDER SHORING & DEMOLITION FOR INFORMATION RELATED TO SHORING AND DEMOLITION
 - 9- NEW 5-1/4 X 5-1/4 PSL
 - 10- NEW W12 X 19 BEAMS, CONTINUOUS TO REPLACE EXISTING FOUNDATION WALLS IN BASEMENT

MONTGOMERY COUNTY
 APPROVED AS NOTED
 DIV. OF BUILDING CONSTRUCTION



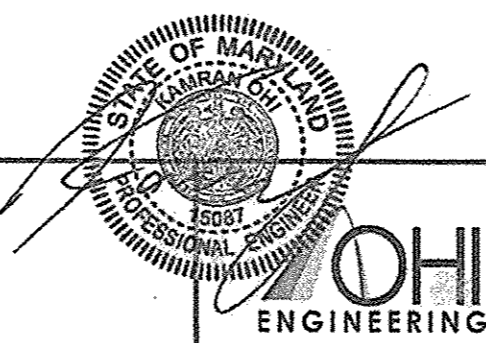
- LEGEND**
- - - - - EXISTING STRUCTURAL MEMBER TO BE REMOVED
 - — — — — EXISTING STRUCTURAL MEMBER TO REMAIN
 - — — — — NEW STRUCTURE

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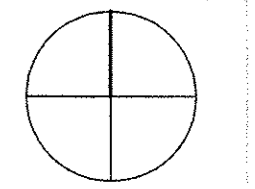
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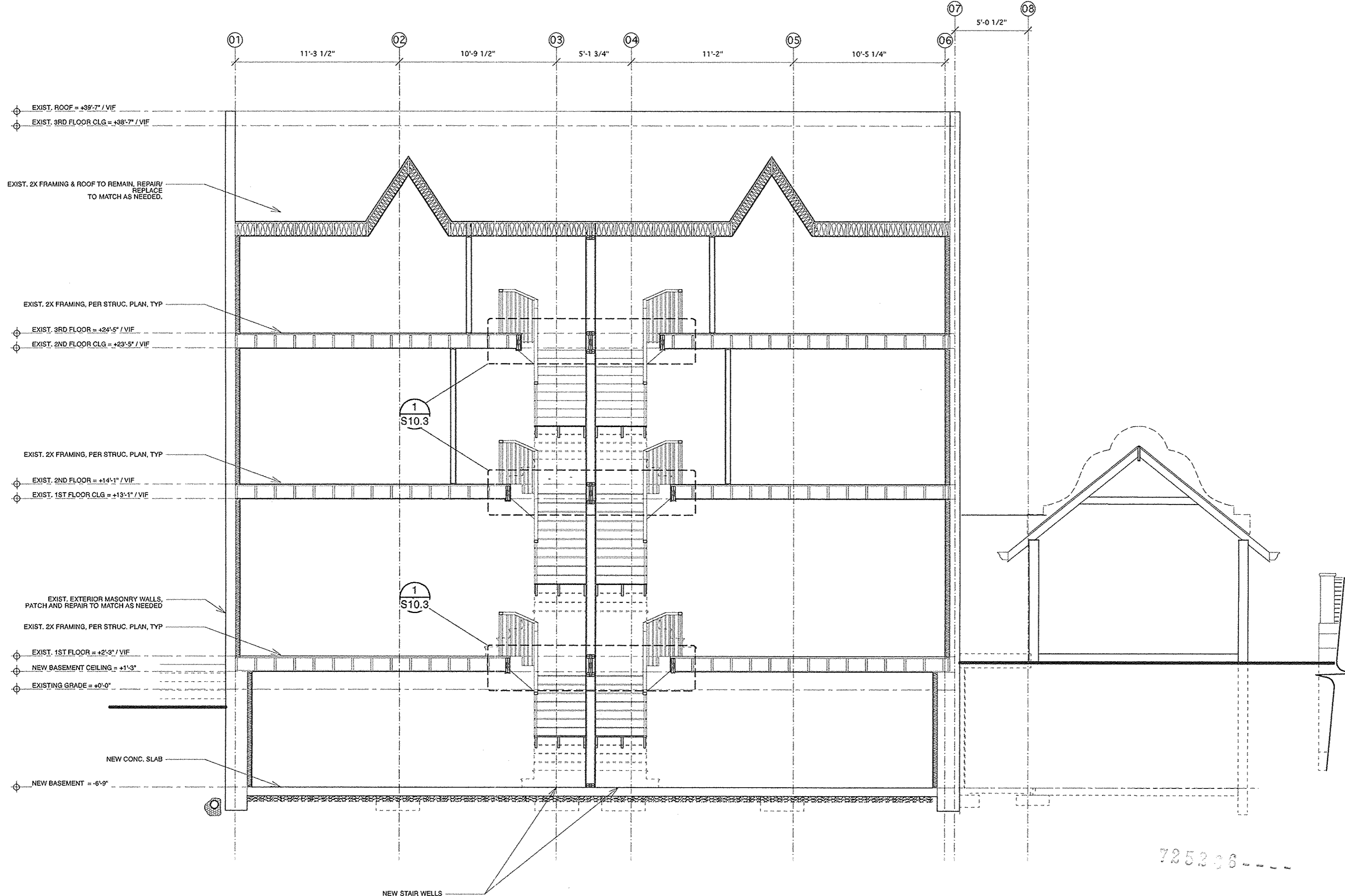
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3RD FLOOR STRUCTURAL - PROPOSED

- 12/09/13 CONCEPT DESIGN
- 01/22/14 PLAN UPDATES
- 02/17/14 PLAN UPDATES
- 07/01/14 MHT CHANGE / ALTERATION SET
- 07/31/14 MHT UPDATES
- 08/22/14 MHPC SET
- 07/01/15 PERMIT SET
- 01/13/16 PERMIT REV. 1
- 11/07/16 PERMIT REV. 2
- 10/02/17 PERMIT REV. 3



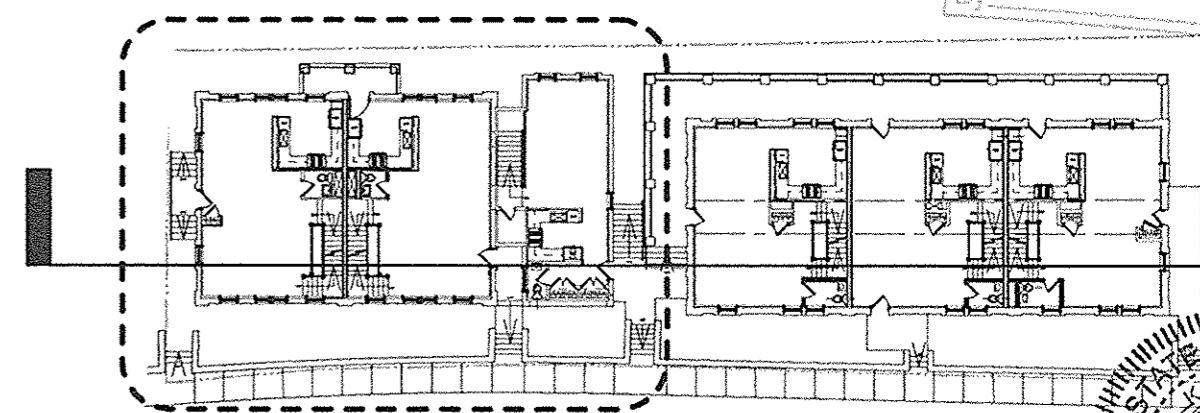
S10



2
S10 STRUCTURAL SECTION - CARPENTER'S SHOP
SCALE: 1/8" = 1'-0"

MONTGOMERY COUNTY
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DIV. OF BUILDING CONSTRUCTION

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JUL 17 2017



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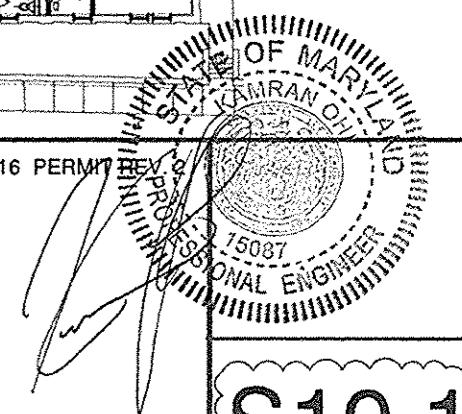
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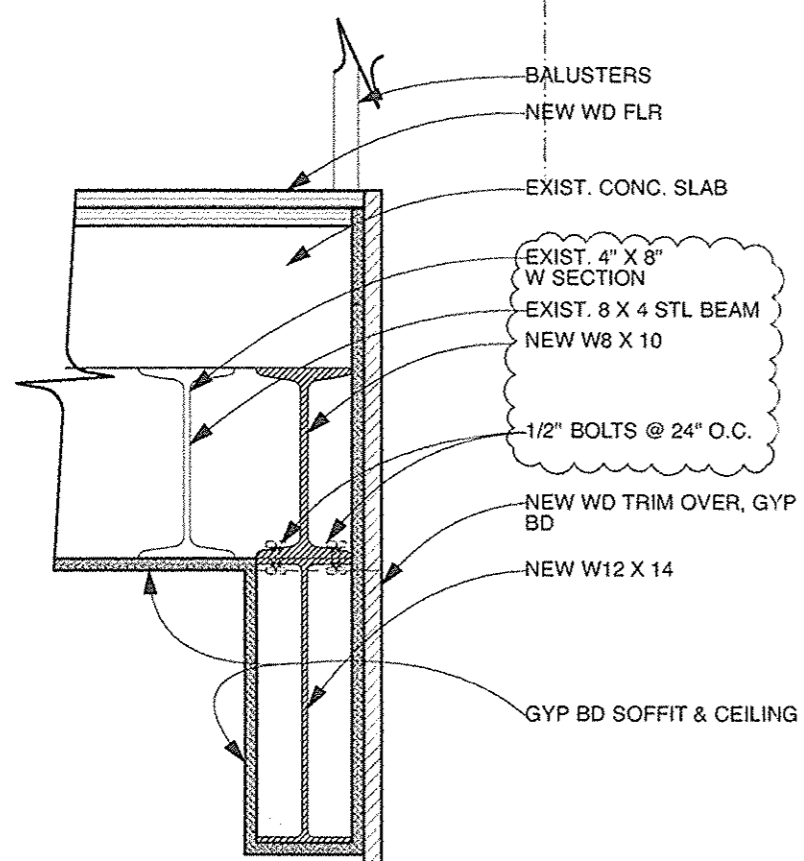
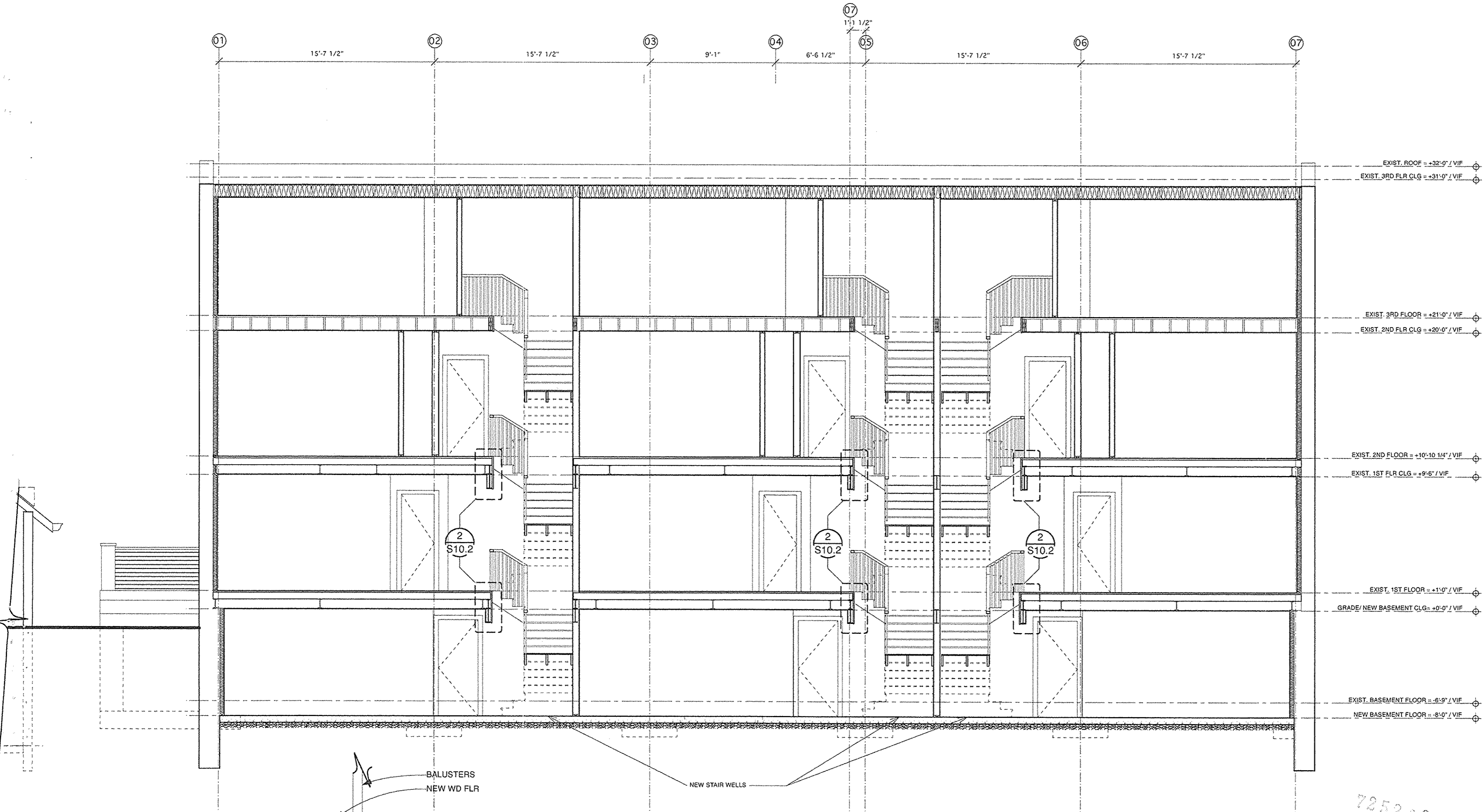
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11/07/16 PERMIT



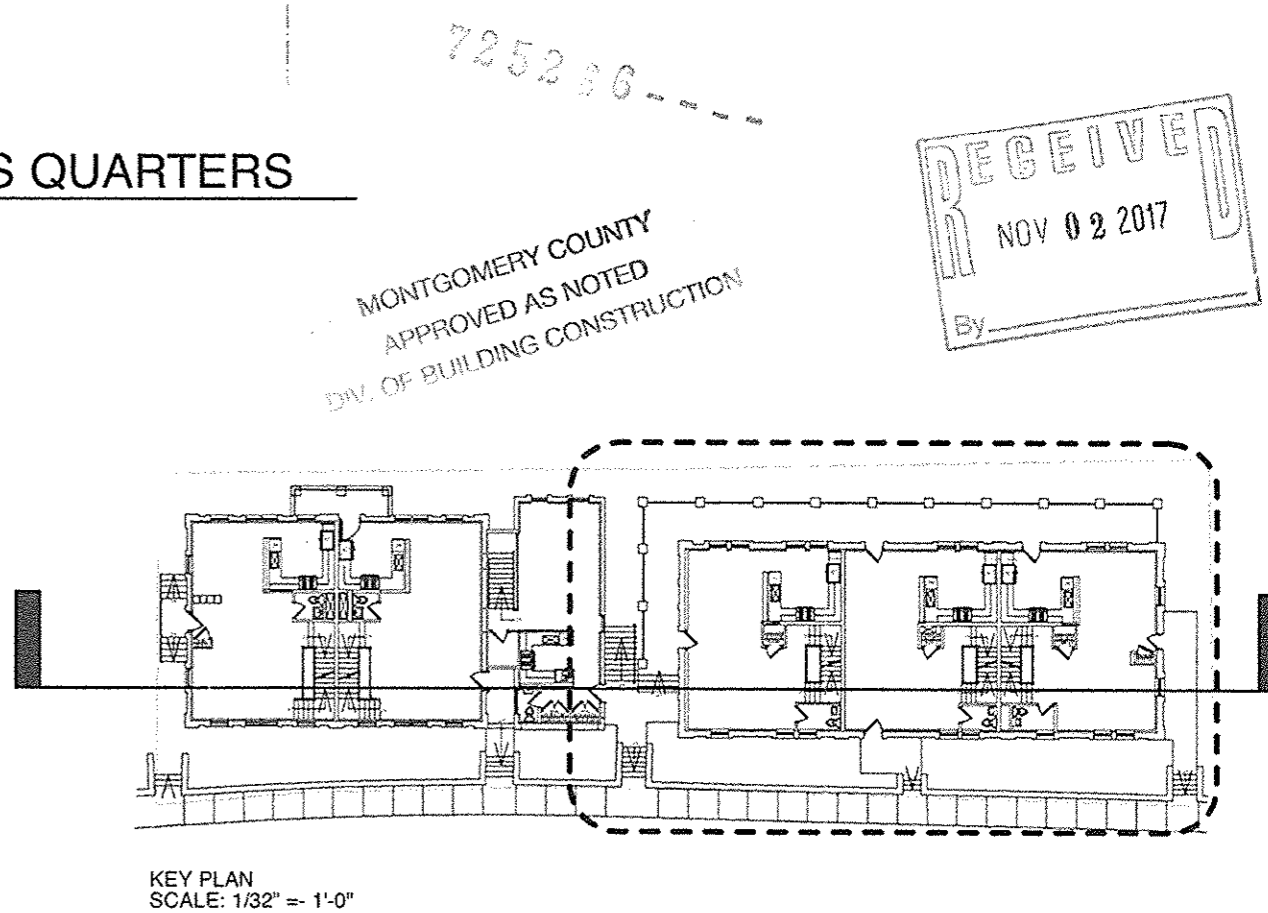
STRUCTURAL SECTION - CARPENTER'S SHOP

S10.1



1 STRUCTURAL SECTION - SERVANT'S QUARTERS
S10.2 SCALE: 3/16" = 1'-0"

2 TYPICAL SLAB EDGE DETAIL
S10.2 SCALE: 3/16" = 1'-0"



KEY PLAN
SCALE: 1/32" = 1'-0"

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P: 202.387.3003 | F: 202.318.4317

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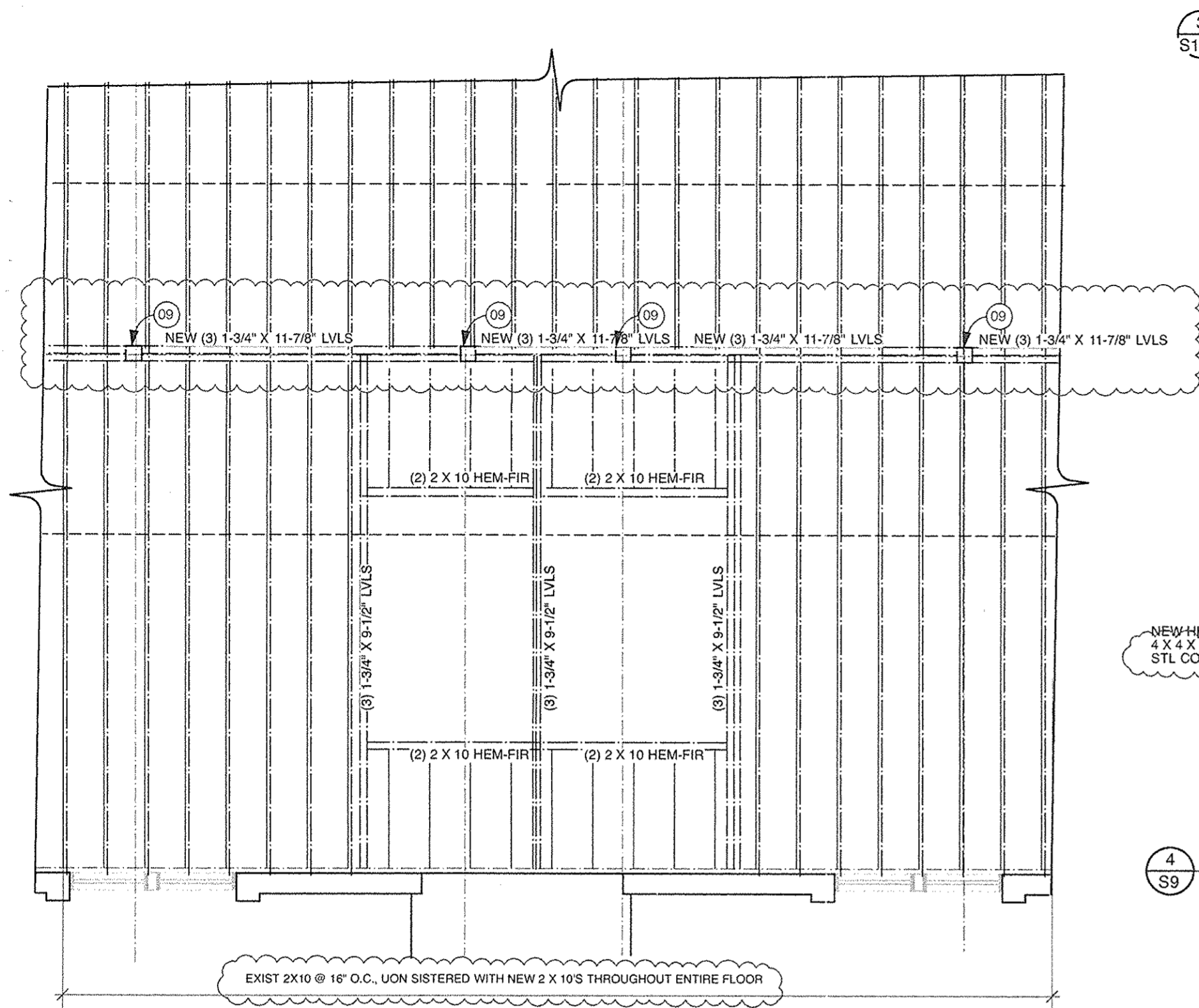
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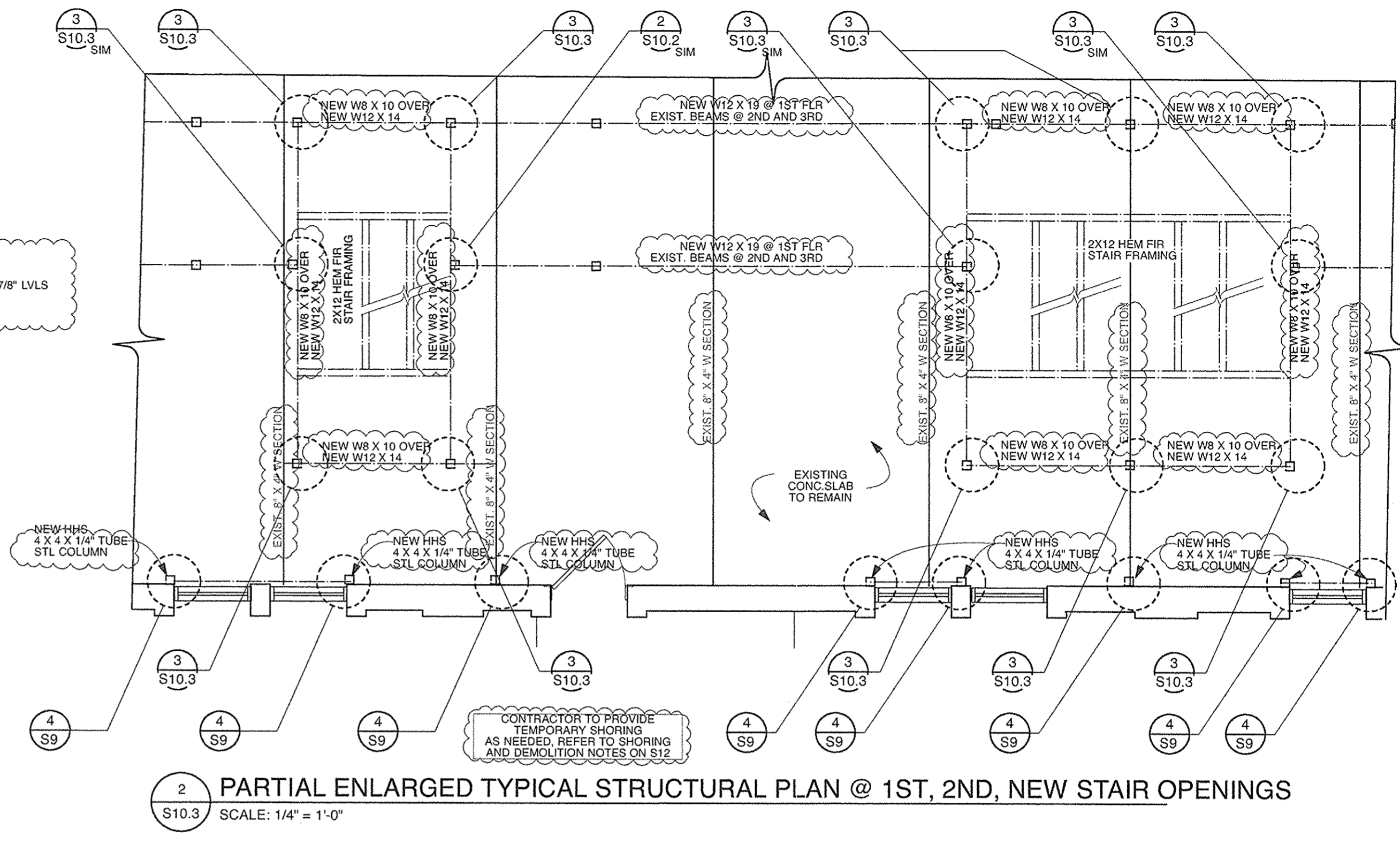
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11/07/16 PERMIT REV. 2
10/02/17 PERMIT REV. 3
STRUCTURAL SECTION - SERVANT'S QUARTERS

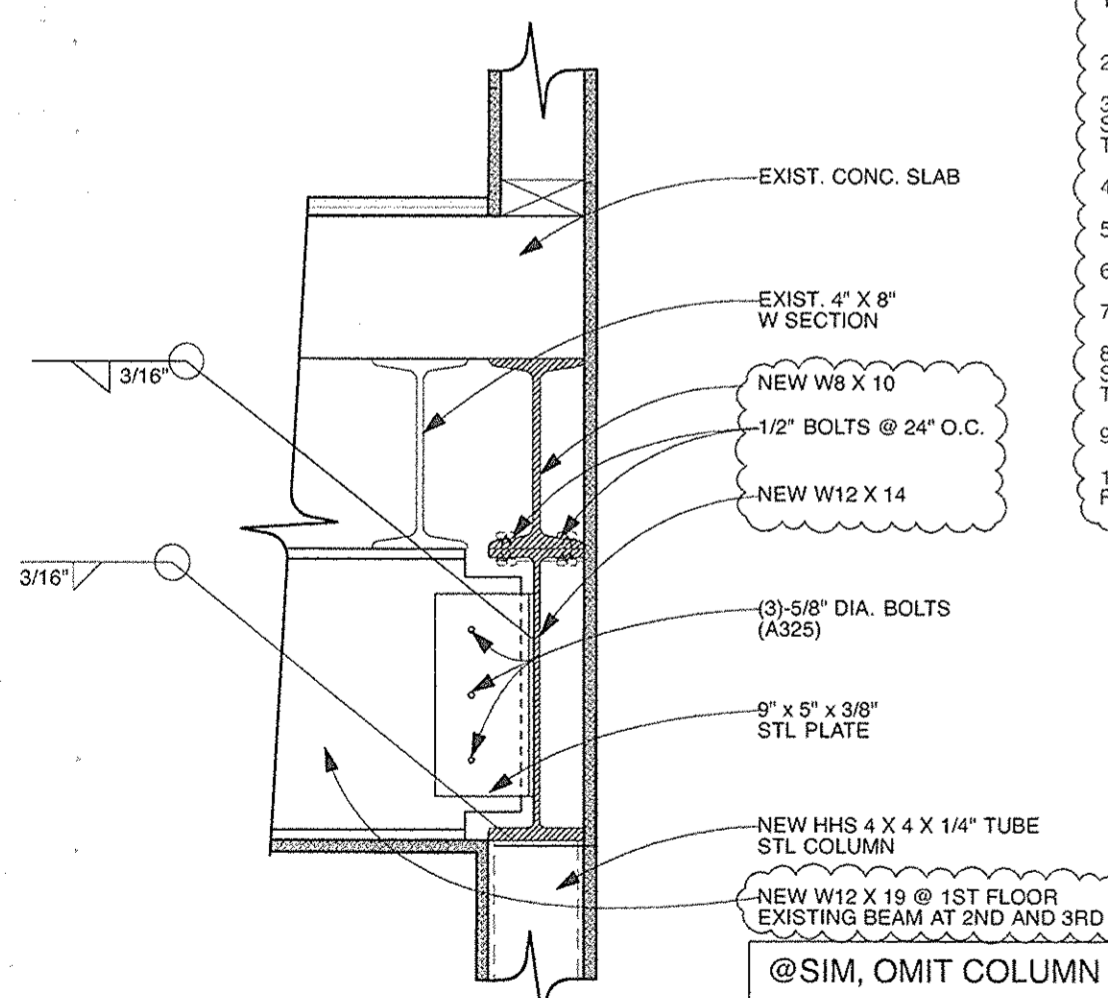
S10.2



1 PARTIAL ENLARGED TYPICAL STRUCTURAL PLAN
S10.3 SCALE: 1/4" = 1'-0"

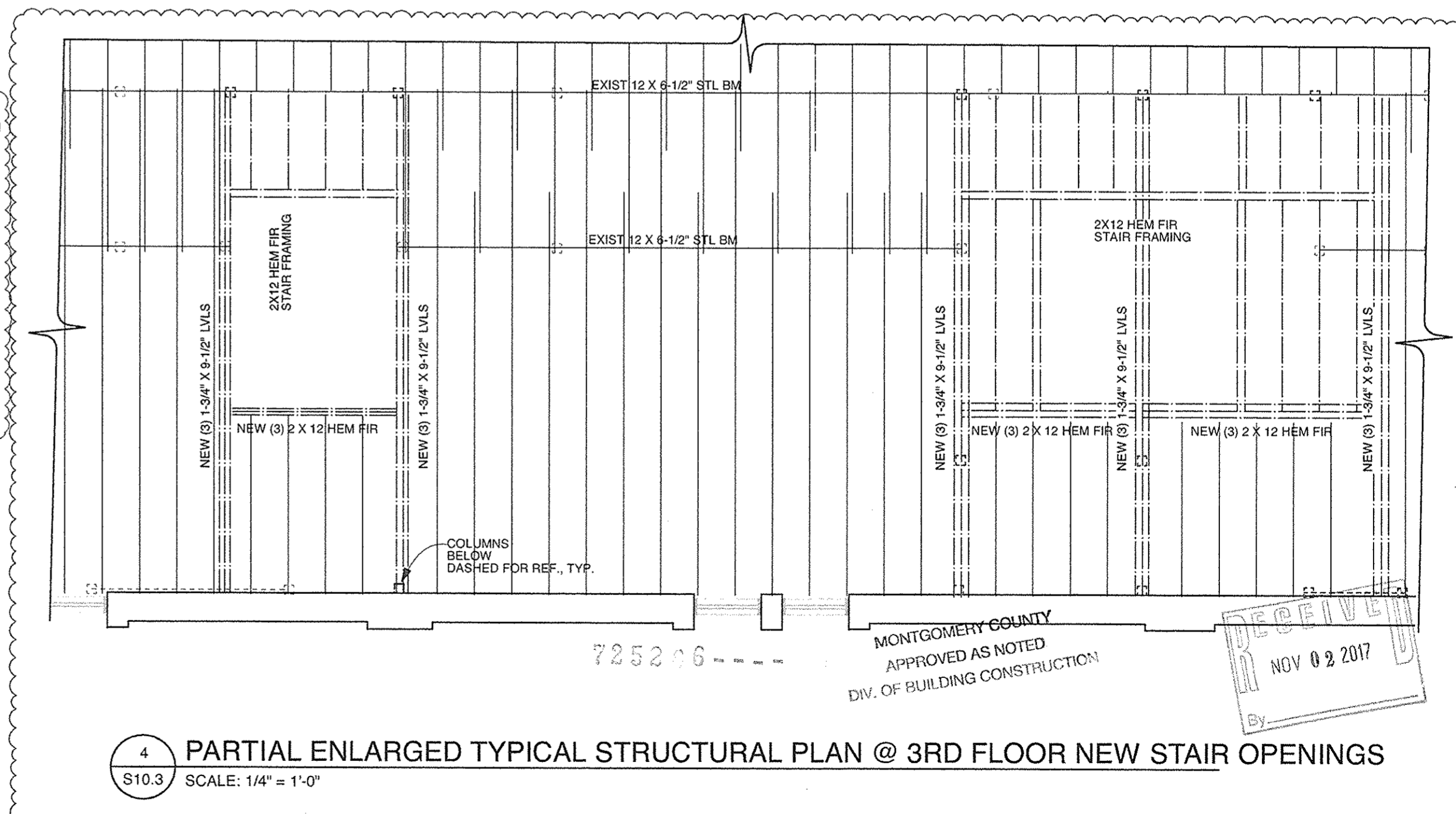


2 PARTIAL ENLARGED TYPICAL STRUCTURAL PLAN @ 1ST, 2ND, NEW STAIR OPENINGS
S10.3 SCALE: 1/4" = 1'-0"



3 TYPICAL SLAB EDGE @ STAIR OPENING, CONT. WALL
S10.3 SCALE: 3/16" = 1'-0"

- KEYED NOTES:**
- EXISTING 12X12 CONCRETE COLUMNS TO REMAIN, NOTE EXISTING COLUMN FOOTINGS ARE 2.6' BELOW EXISTING SLAB
 - EXISTING CONCRETE PIERS TO REMAIN
 - EXISTING 6X6 WD COLUMNS TO BE REMOVED, SEE STRUCTURAL NOTES ON SHEET S12 UNDER SHORING & DEMOLITION FOR INFORMATION RELATED TO SHORING AND DEMOLITION
 - EXISTING 4X4 STEEL COLUMNS TO REMAIN, UNLESS OTHERWISE NOTED
 - EXISTING FOUNDATION WALLS BELOW TO BE REMOVED, SEE SHEET S1
 - OMITTED
 - EXISTING CONCRETE SLAB
 - EXISTING 6X6 WD BM TO BE REMOVED, SEE STRUCTURAL NOTES ON SHEET S12 UNDER SHORING & DEMOLITION FOR INFORMATION RELATED TO SHORING AND DEMOLITION
 - NEW 5-1/4 X 5-1/4 PSL
 - NEW W12 X 19 BEAMS, CONTINUOUS TO REPLACE EXISTING FOUNDATION WALLS IN BASEMENT



4 PARTIAL ENLARGED TYPICAL STRUCTURAL PLAN @ 3RD FLOOR NEW STAIR OPENINGS
S10.3 SCALE: 1/4" = 1'-0"

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Silver Spring, MD 20910

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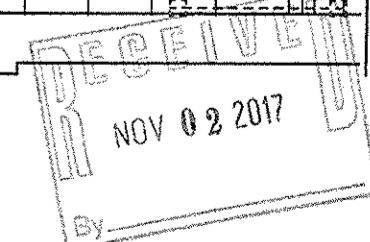
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11/07/16 PERMIT REV. 2
10/02/17 PERMIT REV. 3

ENLARGED PARTIAL STRUCTURAL PLANS & DETAILS

S10.3



FASTENING SCHEDULE

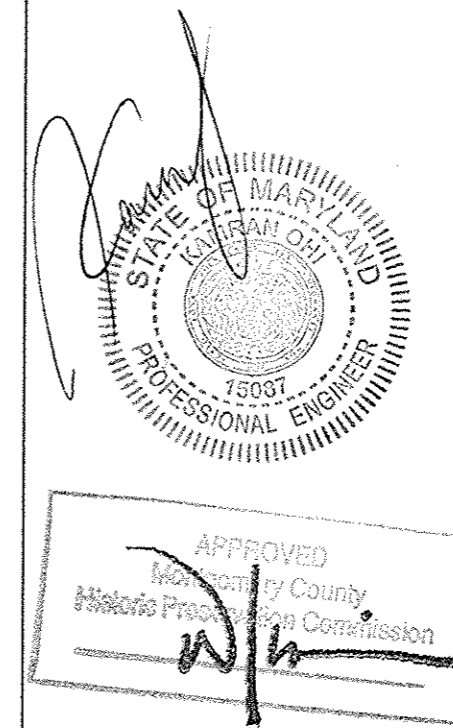
BUILDING COMPONENT	FASTENER	NOTES
FLOOR CONSTRUCTION		
joists to sill or girder	8d nails	3 toe nail
bridging to joists	8d nails	2 each end
blocking between joists	8d nails	3 toe nail
rim joist to top plate	8d nails	6" o.c.
joist to band joist	16d nails	2 toe nail or face nail
built-up girders & beams	20d nails	6" o.c. @ panel edges, or 12" o.c. @ intermediate supports
3/4" floor sheathing	8d nails	6" o.c. @ panel edges, 12" o.c. @ intermediate supports
	no. 10 screws	9" o.c. @ panel edges, 18" o.c. @ intermediate supports
WALL CONSTRUCTION		
sole plate to joist or blocking	16d nails	16" o.c.
top plate to stud	16d nails	2 end nail
stud to sole plate	8d nails	4 toe nail
	16d nails	2 end nail
stud to plate	16d nails	2 toe nail or 2 direct
double studs	16d nails	16" o.c.
corner studs	16d nails	24" o.c.
interior bearing wall sole plate to parallel joist	16d nails	12" o.c.
double top plate	16d nails	16" o.c.
top plate laps	16d nails	8 direct nails
2 piece header	16d nails	16" o.c. along edge
header to stud	8d nails	4 toe nail
gypsum wall sheathing	6d nails or drywall screws	7" o.c. @ all edges, studs & blocking
1/2" wall sheathing	8d nails	6" o.c. @ panel edges, 12" o.c. @ intermediate supports
ROOF CONSTRUCTION		
ceiling joist to plate	16d nails	3 toe nail
ceiling joists, laps over partitions	16d nails	3 face nail (minimum)
ceiling joist to parallel rafter	16d nails	3 face nail (minimum)
rafter to plate	16d nails	3 toe nail
rafter to ridge	16d nails	4 toe nail
jack rafter to hip	10d nails	3 toe nail
collar tie to rafter	10d nails	3 face nail
roof sheathing	8d nails	6" o.c. @ panel edges, 12" o.c. @ intermediate supports

- NOTES:
 1. This fastening schedule to be used for all connections unless otherwise noted in drawings.
 2. All nails to be standard common wire nails, unless otherwise noted in drawings.
 3. Floor sheathing to be glued with subfloor adhesive.

IBC 2012 / R301.5 LIVE LOAD

TABLE R301.5 MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS

USE	LIVE LOAD
Uninhabitable attics without storage	10
Uninhabitable attics with limited storage	20
Habitable attics and attics with fixed stairs	30
Balconies (exterior) and decks	40
Fire escapes	40
Guardrails and handrails	200
Guardrail in-fill components	50
Passenger vehicle garages	50
Rooms other than sleeping room	40
Sleeping rooms	30
Stairs	40



1 **GUARDRAIL & HANDRAIL - MINIMUM LIVE LOAD**
 S2 NOT TO SCALE

ADDITIONAL NAILING REQUIREMENTS

TJI JOISTS AT BEARINGS:

(2) 8d (2 1/2") box nails (1 each side), 1 1/2" from end

BLOCKING PANELS, RIM JOISTS OR RIM BOARD TO BEARING PLATE:

TJI blocking panels or rim joists: 10d (3") box nails at 6" o.c.

Trus Joist Rim Board: toenail with 10d (3") box nails at 6" o.c. or 16d (3 1/2") box nails at 12" o.c.

Shear Transfer: connections equivalent to decking nail schedule

RIM BOARD, RIM JOIST OR CLOSURE TO TJI AT JOIST

1 3/4" width or less: (2) 10d (3") box nails, one each at top and bottom flange,

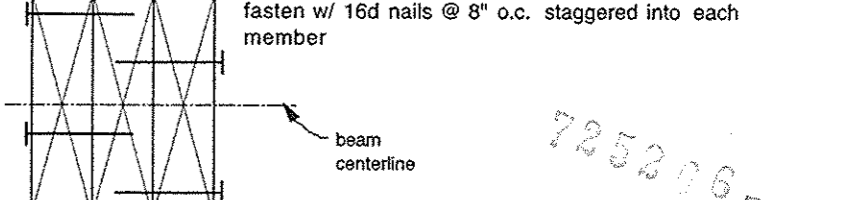
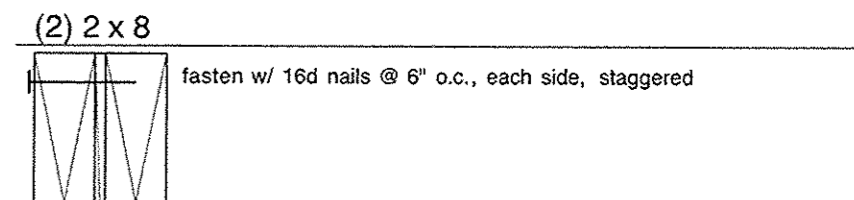
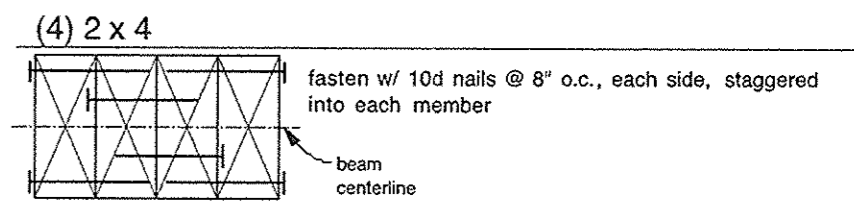
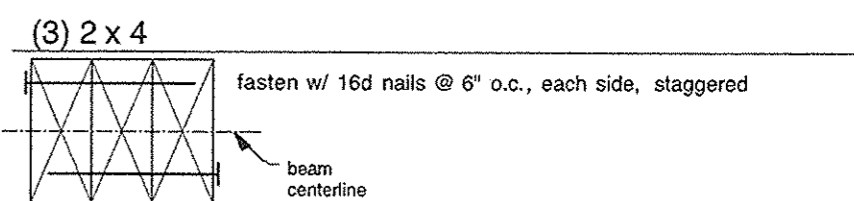
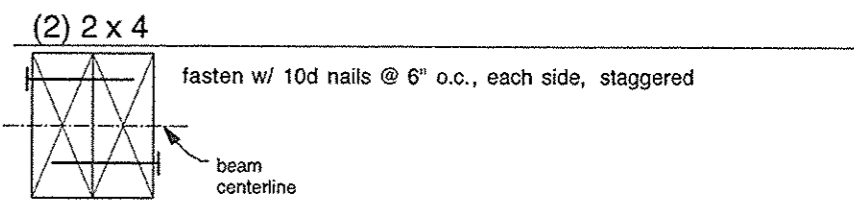
TJI / Pro 130, 350, 100C and d300C rim joists: (2) 16d (3 1/2") box nails, one each at top and bottom flange

TJI/Pro 550 & 400C Rim Joist: toenail joist to rim joist w/ (1) 10d (3") box nail each side of joist top flange

2 X 4 MINIMUM SQUASH BLOCKS

(2) 10d (3") box nails, one each at top and bottom flange

TYPICAL BUILT-UP WOOD COLUMNS



725206
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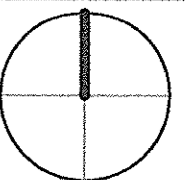
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STRUCTURAL NOTES

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01/22/14	PLAN UPDATES
02/17/14	PLAN UPDATES
07/01/14	MHT CHANGE / ALTERATION SET
07/31/14	MHT UPDATES
08/22/14	MHP SET
07/01/15	PERMIT SET



S11

STRUCTURAL NOTES

1. Roof Snow Loads:
 - a. ground snow load, $P_g=30$ PSF (county amendment)
 - b. flat roof snow load, P_f
 - i. $pf = 0.7 Ce Ct I s pg = 0.7(0.9)(1.0)(1.0)(30) = 18.9$
 - c. snow exposure factor, C_e
 - i. category B, fully exposed $\rightarrow 0.9$
 - d. snow importance factor, I_s
 - i. 1.0
 - e. thermal factor, C_t
 - i. 1.0
 - f. Drift surcharge loads
 - i. n/a
2. Wind Design Data
 - a. Wind speeds
 - i. Ultimate design wind speed (Vult): 115 mph, 3-second gust
 - ii. Nominal design wind speed (Vasd): 89 mph (Montgomery county)
 - b. Risk category
 - i. II
 - c. Wind exposure (applicable wind direction > one wind exposure is utilized)
 - i. Exposure B
 - d. Applicable internal pressure coefficient
 - i. +0.18, -0.18
 - e. Design wind pressure for the main wind force-resisting system
 - i. 19.7 PSF, 29.5 PSF(edge zone)
 - f. Design wind pressures to be used for exterior component and cladding materials not specifically
 - i. 25.1 psf (wall area 4), 33.6 psf (wall area 5), 23 psf (roof area 1), 40 psf (roof area 2), 59.2 psf (roof area 3)
3. Earthquake Design Data
 - a. Risk category
 - i. II
 - b. Seismic importance factor, I_e
 - i. 1.0
 - c. Mapped spectral response accelerations, S_s & S_1
 - i. $S_s = 12.5\%$
 - ii. $S_1 = 5.5\%$
 - d. Design spectral response acceleration parameters
 - i. $S_d s = 0.133$
 - ii. $S_d l = 0.088$
 - e. Seismic Design Category
 - i. B

General Inspection:

A third party inspections for soil, foundation, all masonry, steel, concrete and light gage work are performed periodically or continues as per Chapter 17 of IBC 2015 special inspection. All inspection report reviewed and approved by SER shall be kept at the site at all times for the inspector to review and submitted to County for record. Continues inspection is required for all soil and foundation work as per Montgomery County amendment.

General

This building has been designed using the International Building Code 2012 w/ attention to MD addenda.

Design Loads

Live Loads: Floor = 40 psf, Attic = 20 psf, Roof = 30 psf
 Snow Loads: Ground Snow Load = 30 psf
 Wind Loads: Basic Wind Speed = 90 mph, Wind Exposure = B, Design Wind Pressure = 13 psf
 Earthquake Load: Seismic Design Category = B

General Contractor is responsible for determining allowable construction loads related to design loads above for all bracing, formwork, staging, or other temporary elements related to the construction of the building. Any additional loads not related to the design loads above shall be provided with their own support and bracing as determined by the General Contractor. General Contractor is responsible to "verify in field" all dimension and structural conditions and notify the Architect of conditions different than indicated on the drawings.

Soils & Foundations

New and existing footings are designed, unless otherwise noted, assuming a 1,500 psf capacity. Footings shall bear on undisturbed soils at least as 1'-0" below original grade or on engineered compacted fill. Bottoms of all exterior footings shall be minimum of 30" below finished exterior grade. General Contractor is responsible verifying soil conditions in the field and notifying the Architect of conditions that vary from design intentions. General contractor is responsible for protecting all exposed soil bearing conditions from freezing, water or other situations that may compromise the soil bearing capacity.

Concrete

All concrete, unless noted otherwise, shall be 3,000 psi Fc, stone-aggregate at 28 days. All exterior concrete slab or flat work shall be 3,500 psi Fc. All exterior concrete of 3,500 psi shall have 6% air entrainment (+/- 1.5%) All other concrete to be 4.5% air entrained content. Remove and clean all existing concrete surfaces of loose debris, etc. where new concrete will be in contact. Contact surfaces shall have thorough coating of one part sand & one part cement paring with only enough water for the application. Unless otherwise noted, all concrete slabs on grade shall be 4" thick reinforced with 6"x6"Wx2.9 x W2.9 welded wire fabric over 6 mil rated vapor barrier and 4" washed gravel or compacted sand. All concrete work shall comply with latest locally approved versions of ACI 211 Proportions of Concrete, ACI 214 Compression Tests, ACI 301 Specifications, ACI 304 Placing Concrete, ACI 304 Hot Weather, ACI 306 Cold Weather, ACI 315 Detailing, ACI 318 Code and ACI 347 Formwork. All concrete field and lab testing shall comply with latest locally approved versions of ASTM C31 Field Cylinder Specimens, ASTM C39 Lab Testing Cylinders, ASTM C42 Hardened Cores, ASTM C143 Slump Test, ASTM C172 Sampling Fresh Concrete, and ASTM C173 or C231 Air Content - when those needed apply. Use of concrete additives shall be approved by the Architect / Engineer prior to use. No calcium chloride shall be used. General Contractor is responsible for coordinating all sub-surface utilities, their access during construction and after project completion, as related to all concrete work. All concrete reinforcing shall conform to ASTM A615, grade 60, and shall be fabricated and installed in accordance with ACI 315 Manual of Standard Practice for Detailing Concrete Structures. Unless otherwise noted, all steel reinforcing dowels shall be the same size as the adjacent specified material. Steel reinforcing for concrete shall be protected with 3" at footings against earth, 3/4" at interior conc. slabs and walls, 1 1/2" at exterior walls and slabs and 1 1/2" at beams and columns. Reinforcing splices shall lap 34 bar diameters for up to #6 bars and 43 for #7 and larger. Bend horizontal wall reinforcing 24" around corners to match horizontal reinforcing. Epoxyed dowels shall be installed at existing concrete using Hilli HIT System. Follow manuf. specifications for installation. Welded wire fabric (WWF) shall conform to ASTM A185 and shall be min. 6" x 6" Wx2.9 x W2.9 installed 20 from top of slab. Lap mesh one full grid width and extend into adjacent supporting beams or walls when present.

Masonry

All masonry construction shall comply with ACI 530-02/ASCE 5-02/TMS 402-02 Building Code Requirements for Masonry Structures and ACI 530.1-02/ASCE 6-02/TMS 602-02 Specifications for Masonry Structures. Masonry bearing walls, partitions, and piers shall consist of load bearing units meeting ASTM C90 or ASTM C145 requirements, grade N-1. Use full head an embed joints and bond brick or masonry piers and cross walls into adjacent walls. Masonry construction and materials shall be accordance with all local approved building codes and related recommendations of the Brick Industry Association (BIA) and National Concrete Masonry Association (NCMA). Provide (3) continuous courses of brick or 8" min. depth of 100% solid masonry below all joist or slab bearing conditions. Provide min. 24" width and 16" depth of brick or 100% solid masonry below all lintels or wall bearing beams unless otherwise noted. Where indicated on drawings, 100% solid masonry units shall consist of ASTM C145 masonry units or hollow load bearing filled filled with Portland cement grout. All below-grade masonry shall be constructed using type S mortar conforming to ASTM C270 and shall have min. compressive strength of 1800 psi at 28 days. All above-grade masonry shall be constructed using type N mortar conforming to ASTM C270 and shall have min. compressive strength of 750 psi at 28 days. Grout for masonry cores shall be coarse type, conforming to ASTM C476 with min compressive strength of 2500 psi. All piers and partitions shall be bonded to adjacent masonry walls. Contractor shall provide adequate bracing and support for all masonry work until final work is completed. All masonry mortar shall comply with ASTM C270. Masonry loose lintel sizes for each 4" width is noted below. All steel angles shall have long leg oriented vertical and 6" min. bearing. Lintels over openings at interior partition walls not otherwise specified shall be precast lightweight concrete lintels 8" deep with 1 #5 reinf. bar top and bottom for each 4" width. 3-1/2" x 3-1/2" x 5/16" angle for 0" to 3'-0" 4" x 3 1/2" x 5/16" angle for 3'-1" to 5'-0" 6" x 3 1/2" x 5/16" angle for 5'-1" to 6'-0"

A. All lintels for masonry walls shall be as follows unless otherwise shown or noted in the drawings.
 1. Steel angle lintels: Spans under 5'-0" shall be A325x3/4"x5/16" angle for each 4" of wall thickness. Spans to 7'- 4" shall be 1'-6"x3 1/2"x5/16" angle for each 4" of wall thickness. Lintel angles shall have a minimum end bearing of 6", but not less than one inch of such bearing for each foot of opening width.

Steel

All structural steel wide flange shapes shall comply with ASTM A36. All HSS shapes shall comply with ASTM A500. Grade B with $F_y = 42$ ksi for round HSS and $F_y=46$ for rectangular HSS. All other structural steel angles, channels, plates, etc., shall comply with ASTM A36. All steel shall be detailed, fabricated and constructed in accordance with the current version of AISC Code of Standard Practice for Steel Buildings and Bridges required by local code. All shop and field connections shall be by welding or with 3/4" dia. A325 high strength bolts. Typical field connections shall be bolted and shop connections welded. Connections not detailed shall be designed for Type 2 construction, in accordance with the AISC manual. Except for composite beams or where reactions are shown, connections shall develop the maximum end reaction using the Uniform Load Constants in part two of the AISC manual for the given beam, grade or steel and span specified. Welding shall be performed by certified welders in accordance with AWS D1.1 (latest edition). All electrodes shall be E-70XX, low hydrogen, unless otherwise noted. Holes shall not be cut in steel members unless indicated on the drawings or approved in writing by the engineer. Anchor bolts shall be ASTM A36 rods with tack-welded hex head nuts at embedded end or A307 bolts with the head embedded. Unless specifically excluded, all steelwork shall be given two coats of rust inhibitive paint.

Wood

All wood construction, including nailing and details, shall comply with approved local building code and the latest edition of the National Design Specification for Wood Construction (NDS) by American Forest and Paper Association (AFPA). All framing lumber shall be SPF #1/#2 or better, unless otherwise noted. Lumber to be graded by National Lumber Grades Authority (NLGA) rules. Provide double joists at parallel partitions where partition length exceeds 1/3 joist span. All wood members designated as pressure treated shall be Southern Pine #2 or engineer approved equal and water-borne preservative treated in accordance with the American Wood Preservers Association (AWPA) Standard C1-03, All Timber Products - Preservative Treatment by Pressure Processes. The following wood members shall be pressure treated: Sills or plates bearing on concrete or masonry exterior walls, exterior wood siding, sheathing and wall framing with clearances of less than 6" from grade, sills and sleepers bearing directly on a concrete slab in direct contact with the ground, and wood furring strips or framing members attached directly to the interior surface of exterior concrete or masonry walls below grade. Sill plates shall be pressure treated and shall be anchored with 1/2" diameter anchor bolts embedded in foundations to a depth of 8" min. for poured-in-place concrete, and 18" min. in grouted unit masonry. There shall be a minimum of two bolts per section of plate and anchor bolts shall be placed 120 form the end of each section of plate, with intermediate bolts spaced 6'-0" max. o.c. for one and two story buildings and 4'-0" max. o.c. for buildings over two stories in height. Use Simpson Strong-Tie, USP or approved equal structural wood connectors, unless noted otherwise for all wood connections. Timber and laminated lumber beams and headers shall be connected to posts with post cap connectors. Post bases shall be fastened to their supports in a like manner. All joists and beams shall be supported with joist or beam hangers as noted. Every roof joist or roof truss shall be attached to its support with hurricane ties, unless noted otherwise. JOIST HANGER NOTES: Provide manufacturers standard joist or standard beam hangers at wall wood to wood connections that require joist or beams framing into the side or face of the supporting member of the capacity of the hanger shall be for the reaction shown on plans, if no reaction is shown, the capacity of the hanger shall be for the maximum shear capacity of the joists or beam. Provide erection bracing for floor and roof framing which shall include strut bracing, cross bracing for bottom chord bearing, bottom chord restraint and sway bracing. Beams, headers and lintels designated OML or are to be Microlam LVL wood beams manufactured by Trus Joist or approved equal, with the following structural properties: $F_b=2600$ psi (for 12" depth), $F_v=285$ psi, and $E=1900$ ksi. Sizes to be as indicated on drawings. Unless otherwise noted, multiple Microlams are to be fastened together with a min. of (2) rows of 16d common nails at 12" o.c. (staggered). Multiple Microlams which are 14" or more deep are to be fastened together with (3) rows of 16d common nails at 12" o.c., staggered. Nails are to be spaced 30 from the top and bottom of the beam. Microlams are designated on plans as follows: 1' 3/4", 5.5 ML = 5 1/2" deep, 9.25 ML = 9 1/4" deep, 11.8 ML = 11 7/8" deep, and 14.0 ML = 14" deep, etc. Structural members designated "Timberstrand" are to be Timberstrand LSL Rim Board as manufactured by Trus Joist or approved equal, with the following section properties: $F_b=1200$ psi (for 12" depth), $F_v=400$ psi, and $E=800$ ksi. Sizes to be as shown on drawings. Floor and roof framing members designated "TJ" shall be Trus Joists manufactured by Trus Joist or approved equal. Multiple joists and special joist framing have been indicated where required. All multiple joists shall be fastened together per the manufacturer's recommendations. All joists must be framed with web stiffeners at bearing points and concentrated loads, as required by the manufacturer. Unless otherwise noted, all lintels and headers shall be (2) 2x12 SPF #1/#2, min. in 2x4 stud bearing walls, and (3) 2x10 SPF #1/2 min. at 2x6 stud bearing walls. At bearing walls provide (2) jack studs and one king stud at each end, unless shown otherwise. All jacks or posts shall line up with those at the floor below. All jack studs or posts are to be continuous, or increased as shown, to the lowest level of the structure. Stud bearing partitions shall have (2) continuous plates at the top unless noted otherwise, which are to be spliced at stud locations only. Splices to be staggered at least 48". Contractor to provide min. of one row of blocking at mid-height of interior stud walls. Mid-height blocking shall consist of same size, species and grade of lumber as for the wall studs. Mid-height blocking is required in the exterior walls if the structural sheathing is not already in place. All exterior stud walls shall be braced at 8' corners until the structural sheathing is in place. This bracing shall be 2" wide x 16 gauge steel flat wall bracing conforming to ASTM A446 Grade A specifications or 1x4 wood member installed at a 45 degree angle or 24" min. width of plywood sheathing at the corners each way. Bracing shall be attached with 16d common nails in the top and bottom plates and 8d common nails in each intersection stud. Lateral bracing is not to be used to avert any loss of cross-sections are of the studs.

Sheathing

Roof sheathing shall be standard 5/8" C-D 24/16 (span rating) exterior glue plywood. Nail plywood to joists and trusses with 8d common nails at 16" o.c. at sheet edges and at 12" o.c. at all intermediate joists and trusses. Floor sheathing shall be 3/4" 24" o.c. span tongue and groove plywood. Glue with subfloor adhesive and screw plywood to joists and trusses with No. 10 screws at 9" o.c. at direct edges and 18" o.c. at all intermediate joists and trusses. Wall sheathing shall be standard 1/2" 24/16 (span rating) exterior glue plywood. Nail plywood to studs and plates with 6d nails at 6" o.c. at sheet edges and at 12" o.c. at all intermediate locations. Interior gypsum shall be 1/2" min., attached to studs with 6d nails or drywall screws at 7" o.c. max. at all edges, intermediate studs and, blocking.

Shoring & Demolition

The contractor shall be experienced in shoring and demolition work and should carefully evaluate the situation that exists prior to starting work. The contractor shall notify the architect or engineer if any circumstances exist which affect the stability of the existing structure or the shoring. The contractor is cautioned that needling, shoring and demolition are potentially hazardous and are difficult types of work requiring care and caution during performance. The contractor shall be responsible for monitoring the performance of the temporary shoring and have additional shoring readily available on site in the event of deflection or other movement of the shoring. The contractor shall be responsible for the design, installation, maintenance and performance of all temporary bracing and shoring. Adequate bracing and connections between the components of the shoring system shall be provided by and the responsibility of the general contractor.

Studio: CrowleyHall, pllc

National Park Seminary
 Carpenter Shop and Servant Quarters

2715, 2717, 2719, 2721, 2723, 2725
 Cassidy Street
 Silver Spring, MD 20910

2017 Park Road, NW
 Washington, DC 20010
 P: 202.387.3003 | F: 202.318.4317

PROFESSIONAL CERTIFICATION

"I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 14738, expiration date 08/25/2018"



OHIO ENGINEERING

Office 202-499-5588
 1025 Thomas Jefferson Street NW
 Suite 420 east lobby
 Washington DC 20007
 www.ohioengineeringgroup.com

PROFESSIONAL CERTIFICATION

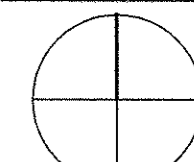
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, ND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 15087, EXP. DATE SEPT 25, 2018

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STRUCTURAL NOTES

12/09/13 CONCEPT DESIGN
 01/22/14 PLAN UPDATES
 02/17/14 PLAN UPDATES
 07/01/14 MHT ALTERATION / ALTERATION SET
 07/31/14 MHT UPDATES
 08/22/14 MHPIC SET
 07/01/15 PERMIT SET
 01/13/16 PERMIT REV. 1
 11/01/16 PERMIT REV. 2



S12

APPROVED AS NOTED

OFFICE OF BUILDING CONSTRUCTION

RECEIVED
 NOV 02 2017

MECHANICAL SPECIFICATIONS
MECHANICAL INSULATION

SUMMARY

A. SCOPE: EXTENT OF MECHANICAL INSULATION REQUIRED BY THIS SECTION IS INDICATED ON THE DRAWINGS, BY THE REQUIREMENTS OF THIS SECTION.

B. TYPES: TYPES OF MECHANICAL INSULATION SPECIFIED IN THIS SECTION INCLUDE THE FOLLOWING

1. FIBERGLASS DUCT INSULATION.

QUALITY ASSURANCE

A. CODES AND STANDARDS: PROVIDE INSULATION CONFORMING TO THE FOLLOWING STANDARDS:

1. AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM) MANUFACTURE AND TEST INSULATION IN ACCORDANCE WITH THE ASTM STANDARDS, INCLUDING:
 - A. C547 SPECIFICATION FOR MINERAL FIBER PERFORMED PIPE INSULATION.
 - B. E84 TEST METHOD FOR SURFACE BURNING CHARACTERISTICS OF BUILDING MATERIALS.
2. NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) MANUFACTURE INSULATION IN ACCORDANCE WITH THE FOLLOWING NFPA STANDARDS:
 - A. 255 TEST METHOD, SURFACE BURNING CHARACTERISTICS OF BUILDING MATERIALS.
 - B. FLAME/SMOKE RATING: PROVIDE COMPOSITE MECHANICAL INSULATION JACKETS, COVERINGS, SEALERS, MASTICS AND ADHESIVES WITH FLAME-SPREAD INDEX OF 50 OR LESS, AND SMOKE-DEVELOPED INDEX OF 50 OR LESS, AS TESTED, SHALL NOT DRIP FLAME PARTICLES, AND FLAME SHALL NOT BE PROGRESSIVE. PROVIDE UNDERWRITERS LABORATORIES INC., LABEL OR LISTING, OR SATISFACTORY CERTIFIED TEST REPORT FROM AN APPROVED TESTING LABORATORY TO PROVE THAT FIRE HAZARD RATINGS FOR MATERIALS PROPOSED FOR USE DO NOT EXCEED THOSE SPECIFIED.

SUBMITTALS

A. PRODUCT DATA: SUBMIT MANUFACTURER'S TECHNICAL PRODUCT DATA AND INSTALLATION INSTRUCTIONS FOR EACH TYPE OF MECHANICAL

THICKNESS, AND FURNISHED ACCESSORIES FOR EACH EACH MECHANICAL SYSTEM REQUIRING INSULATION. ALSO, FURNISH NECESSARY TEST DATA CERTIFIED BY INDEPENDENT TESTING.

DELIVERY, STORAGE, AND HANDLING

A. DELIVERY: DELIVER INSULATION, COVERINGS, CEMENTS, ADHESIVES, AND COATING TO THE SITE IN CONTAINERS WITH MANUFACTURER'S STAMP OR LABEL AFFIXED SHOWING FIRE HAZARD INDEXES OF PRODUCTS.

B. STORAGE AND HANDLING: PROTECT INSULATION AGAINST DIRT, WATER, CHEMICAL, AND MECHANICAL DAMAGE. DO NOT INSTALL DAMAGED OR WET INSULATION; REMOVE FROM PROJECT SITE.

MANUFACTURERS (ARMSTRONG, OWENS-CORNING, CERTAINTED OR APPROVED EQUAL)

- A. GENERAL: PROVIDE CELLULAR GLASS PRE FORMED PIPE INSULATION CONFORMING TO ASTM C552, 0.40 "K" VALUE AT 75 DEGREES F WITH MAXIMUM WATER VAPOR TRANSMISSION 0.1 PERM.
- B. JACKET: PVC PLASTIC CONFORMING TO ASTM C921, ONE PIECE MOLDED TYPE FITTING COVERS AND SHEET MATERIAL.

GENERAL INSULATION INSTALLATION

- A. GENERAL: INSTALL INSULATION MATERIAL WITH SMOOTH AND EVEN SURFACES. UNLESS OTHERWISE SPECIFIED, INSTALL INSULATION MATERIALS, ACCESSORIES AND FINISHES IN ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS.
- B. SURFACE CONDITION: DO NOT APPLY INSULATION MATERIALS UNTIL ALL SURFACES TO BE COVERED ARE CLEAN AND DRY; ALL FOREIGN MATERIALS, SUCH AS RUST, SCALE, AND DIRT HAVE BEEN REMOVED; AND, WHERE SPECIFIED, SURFACE HAVE BEEN PAINTED. INSULATION SHALL BE CLEAN AND DRY WHEN INSTALLED AND DURING THE APPLICATION OF ANY FINISH.
- C. JACKETS: PROVIDE AS FOLLOWS:
 1. INSTALL JACKETS DRAWN TIGHT WITH ALL JOINTS HAVING LAPS OR BUTT STRIPS OF MATERIAL IDENTICAL WITH JACKET, SECURED WITH ADHESIVE OR VAPOR BARRIER COMPOUND. PROVIDE JACKETS ON PIPING WITH NOT LESS THAN 1-1/2 INCH LAPS AT LONGITUDINAL JOINTS AND NOT LESS THAN 3-INCH WIDE BUTT STRIPS. SEAL ALL OPENINGS, PUNCTURES AND BREAKS IN VAPOR BARRIER JACKETS WITH VAPOR BARRIER, COMPOUND, CATEGORY 6.

OVER THE TYPE I OR II JACKET, PAINTED SPECIFIED.

D. WALL AND FLOOR OPENINGS: INSTALL INSULATION AND COATING OF JACKET CONTINUOUS THROUGH WALL AND FLOOR OPENINGS, EXCEPT AT FIRE DAMPERS AND SMOKE DAMPERS.

E. INSULATION THICKNESS: 1 INCH THICK.

DUCTWORK

SECTION INCLUDES

A. DUCTWORK AND DUCT ACCESSORIES.

SUBMITTALS

- A. SHOP DRAWINGS: PROVIDE LAYOUT OF DUCTS WITH NOTATION OF SIZE FOR EACH BRANCH AND CFM FOR EACH UNIT.
- B. PRODUCT DATA: INCLUDE FOR MANUFACTURED PRODUCTS AND ASSEMBLIES.
- C. OPERATING AND MAINTENANCE INSTRUCTIONS: INCLUDE INSTRUCTIONS FOR LUBRICATION, FILTER REPLACEMENT, SPARE PARTS LIST, AND WIRING DIAGRAMS.

QUALITY ASSURANCE

A. SOUND RATINGS: AMCA 30J; TESTED TO AMCA 300

B. FABRICATION: CONFORM TO AMCA 99.

DUCTWORK

- A. MATERIALS:
 1. STEEL DUCT: GALVANIZED STEEL SHEET, LOCK-FORMING QUALITY.
- B. METAL DUCTWORK:
 1. FABRICATE AND SUPPORT IN ACCORDANCE WITH SMACNA HVAC DUCT CONSTRUCTION STANDARDS-METAL AND FLEXIBLE, EXCEPT AS INDICATED.
 2. CONSTRUCT T'S, BENDS, AND ELBOWS WITH RADIUS OF 1-1/2 TIMES WIDTH OF DUCT ON CENTERLINE. WHERE NOT POSSIBLE PROVIDE TURNING VANES.
 3. INCREASE DUCT SIZES GRADUALLY, NOT EXCEEDING 30 DEGREES DIVERGENCE AND 45 DEGREE CONVERGENCE.
 4. CONNECT FLEXIBLE DUCTS TO METAL DUCT WITH MECHANICAL FASTENERS PLUS TAPE.
 5. USE CRIMP JOINTS WITH OR WITHOUT BEAD FOR JOINING ROUND DUCT SIZES 8 INCHES AND SMALLER WITH CRIMP IN DIRECTION OF AIR FLOW.

VOLUME CONTROL DAMPERS

- A. AND FLEXIBLE, AND AS INDICATED.
- B. FABRICATE SPLITTER DAMPERS OF SAME MATERIAL AND GAGE AS DUCT TO 24 INCHES (600 MM) SIZE IN EITHER DIRECTION, AND TWO GAGES HEAVIER FOR LARGER SIZES, SECURED WITH CONTINUOUS HINGE OR ROD, OPERATED WITH MINIMUM 1/4 INCH (6 MM) DIAMETER ROD.
- C. FABRICATED SINGLE BLADE DAMPERS FOR DUCT SIZE TO 9-1/2x30 INCH (240x760 MM).
- D. PROVIDE LOCKING, INDICATING QUADRANT REGULATORS ON SINGLE AND MULTI-BLADE DAMPERS.

AIR TURNING DEVICES

A. MULTI-BLADE DEVICE WITH RADIUS BLADES ATTACHED TO PIVOTING FRAME AND BRACKET, STEEL OR ALUMINUM CONSTRUCTION, WITH PUSH-PULL OPERATOR STRAP.

INSTALLATION

- A. INSTALL IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- B. BURNING CONSTRUCTION PROVIDE TEMPORARY CLOSURES OF METAL OR TAPED POLYETHYLENE ON OPEN DUCTWORK SYSTEM.
- C. PAINT DUCTWORK VISIBLE BEHIND AIR OUTLETS AND INLETS MATTE BLACK.

MECHANICAL NOTES

THE INTENT OF THESE DRAWINGS IS TO PROVIDE A COMPLETE AND FUNCTIONING H.V.A.C. SYSTEM. PROVIDE ALL LABOR AND MATERIAL TO ACHIEVE SUCH ENDS. THESE DRAWINGS ARE SCHEMATIC IN NATURE AND INTEND TO DEPICT THE GENERAL LOCATION OF H.V.A.C. COMPONENTS. FIELD VERIFY ALL EXISTING CONDITIONS AND PROPER DIMENSIONS AND LOCATION OF EQUIPMENT. BY SUBMISSION OF BID, THE CONTRACTOR SHALL ACKNOWLEDGE ACCEPTANCE OF THIS PLAN SET AS AN ADEQUATE DEFINITION OF HIS WORK AND EXTRA COST CLAIMS CONSIDERED.

ALL WORK SHALL BE INSTALLED IN COMPLIANCE WITH APPLICABLE CODES THAT GOVERN AND BASE CONTRACT DRAWINGS AND SPECIFICATIONS.

CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS PERTAINING TO HIS WORK PRIOR TO THE START AND DURING THE COURSE OF CONSTRUCTION AS REQUIRED.

ALL RIGID DUCT SHALL BE GALVANIZED SHEET METAL OF PROPER GAUGE AND SHALL BE INSTALLED IN ACCORDANCE WITH SMACNA AND ASHRAE STANDARDS FOR LOW PRESSURE DUCT. MOUNT DUCT AT MAXIMUM HEIGHT.

MOUNT THERMOSTAT AT 5'-6" A.F.F.

ALL DIFFUSERS ARE 24"x24" "T" BAR LAY-IN, BUILDING STANDARD UNLESS OTHERWISE NOTED.

CONTRACTOR SHALL PAY FOR AND COORDINATE ALL ROOF PENETRATIONS.

CONTRACTOR SHALL COORDINATE AND PAY FOR ALL GAS AND/OR ELECTRICAL POWER CONNECTIONS AND ALL CONTROL WIRING.

PROVIDE 1" SOUND INSULATION A MINIMUM OF 10'-0" FROM FAN. PROVIDE 1" FIBERGLASS INSULATION AND JACKET ON ALL DUCTS IN UNCONDITIONED AREAS.

ALL TAKE-OFFS SHALL BE PROVIDED WITH MANUAL SHEET METAL DAMPERS.

THE CONTRACTOR SHALL PROCURE THE SERVICES OF AN INDEPENDENT AIR BALANCE AND TESTING AGENCY, APPROVED BY THE CONTRACTING OFFICER, WHICH SPECIALIZES IN BALANCING AND TESTING OF HVAC SYSTEMS. ADJUST AIR TERMINALS TO PROVIDE AIR FLOWS AS DESIGNED AND SUBMIT WRITTEN REPORT.

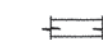











PROVIDE A MINIMUM R-8 FIBERGLASS DUCT INSULATION AND ON ALL SUPPLY DUCTS. ALL DUCTWORK IN UNCONDITIONED AREAS SHALL, ALSO, BE PROTECTED WITH A VAPOR BARRIER JACKET.

PROVIDE PRE-FORMED PIPE INSULATION ON REFRIGERANT PIPING. PROTECT PIPING EXPOSED TO WEATHER WITH AN ALUMINUM JACKET.

ALL TAKE-OFFS SHALL BE PROVIDED WITH MANUAL SHEET METAL DAMPERS.

PROVIDE GRAVITY BACKDRAFT DAMPERS ON ALL EXHAUST AND INTAKE VENTS PER IECC R403.5.

MECHANICAL LEGEND

-  - NEW DUCTWORK
-  - SIDE REGISTER (SR)
-  - CEILING DIFFUSER (CD)
-  - RETURN AIR GRATE (RAC)
-  - THERMOSTAT
-  - TOILET EXHAUST FAN (TEF) OR EXHAUST FAN (EF)
-  - EXHAUST DUCT UP
-  - RETURN DUCT UP
-  - SUPPLY DUCT UP
-  - TRANSFER DUCT W/ FIRE DAMPER
-  - CONDENSATE LINE
-  - REFRIGERANT LINE (REF)
- RTU - ROOF TOP UNIT
- CFM - CUBIT FEET PER MINUTE

MECHANICAL PLANS RELEASED
SUBJECT TO FIELD
INSPECTION AND APPROVAL

MONTGOMERY COUNTY
APPROVED AS NOTED
DIV. OF BUILDING CONSTRUCTION

725006

MAY 16 2018

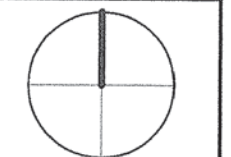
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National Park Seminary
Carpenter Shop and Servant Quarters
2715-2725 Cassedy Street
Silver Spring, MD 20910

CHARLES FORD & ASSOCIATES
CONSULTING - ENGINEERS & PLANNERS
6925 4TH ST, N.W. WASH., D.C. (202) 722-4150
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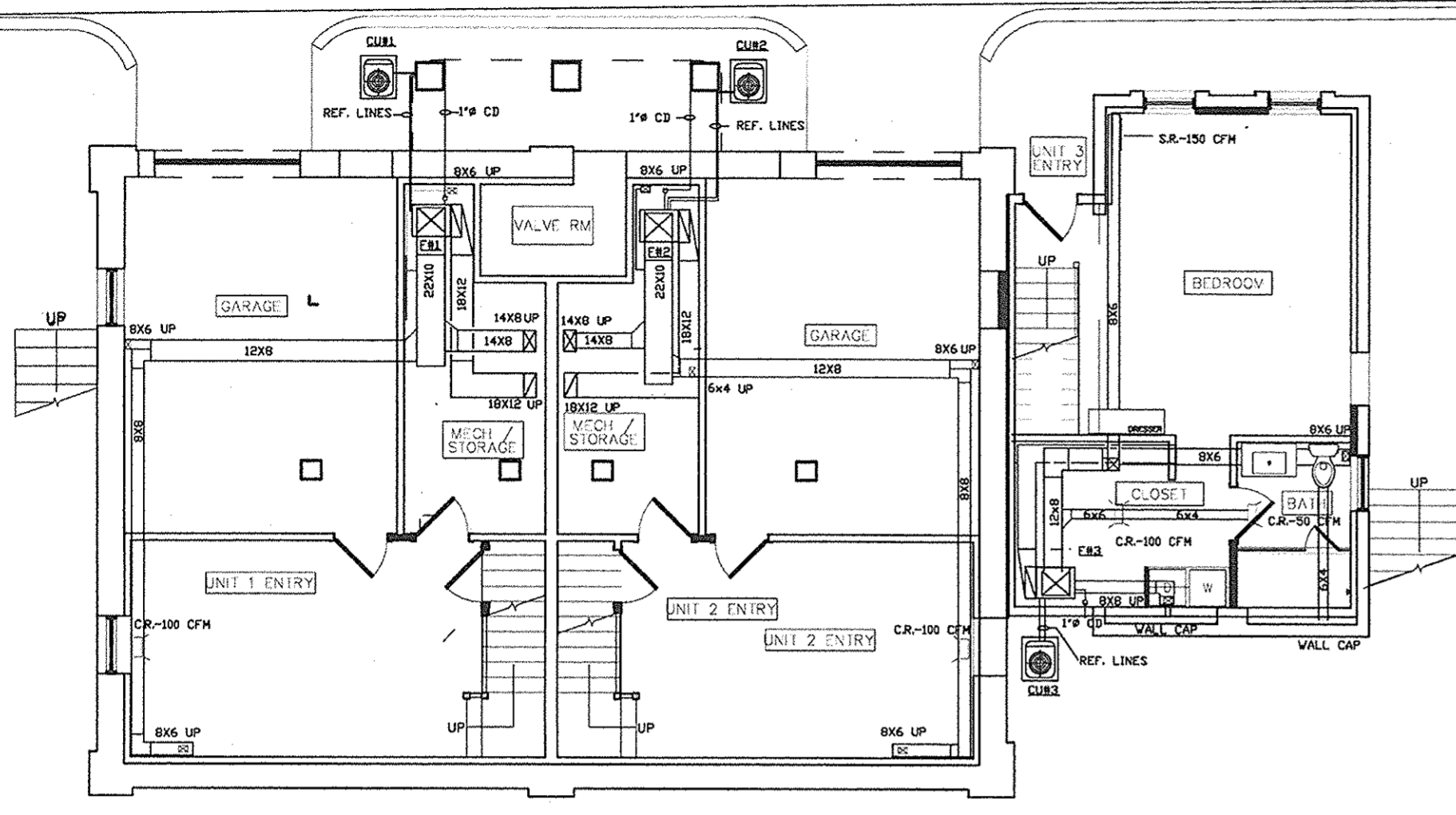
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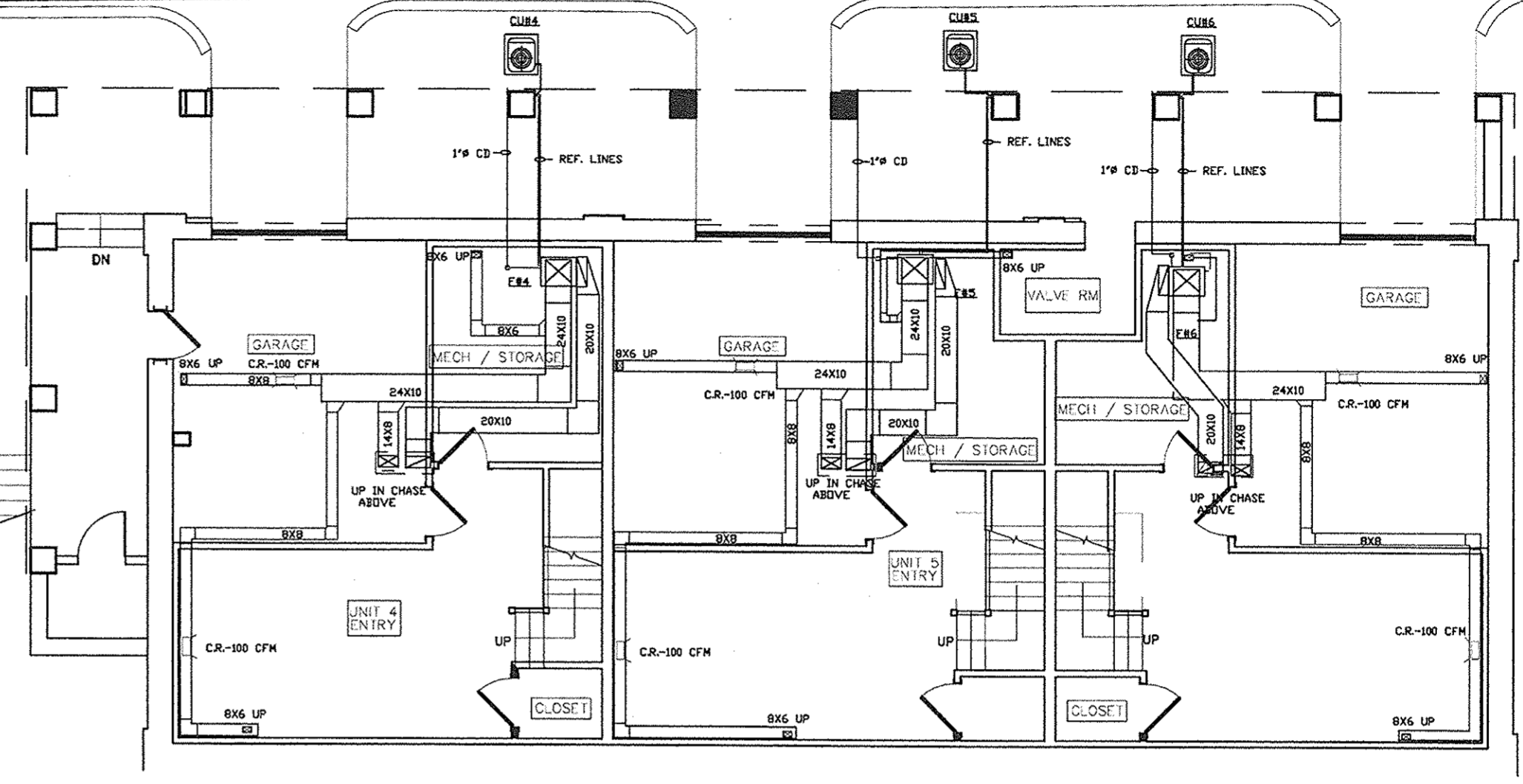
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M-0

MECHANICAL GENERAL NOTES



1 MECHANICAL BASEMENT PLAN - CARPENTER SHOP
M-1 SCALE: 1/8" = 1'-0"



2 MECHANICAL BASEMENT PLAN - SERVANT QUARTERS
M-1 SCALE: 1/8" = 1'-0"

MECHANICAL PLANS RELEASED
SUBJECT TO FIELD
INSPECTION AND APPROVAL

MONTGOMERY COUNTY
APPROVED AS NOTED
DIV. OF BUILDING CONSTRUCTION

785206----

WORK LOCATED WITHIN A LIMITED
FLOOR/CEILING AND/OR ROOF/CEILING
ASSEMBLY SHALL CONFORM TO THE
REQUIREMENTS OF THE LISTED ASSEMBLY

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]

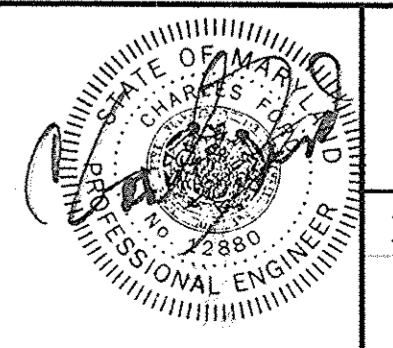
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2017 Park Road, NW
Washington, DC 20010
P: 202.387.3003 | F:
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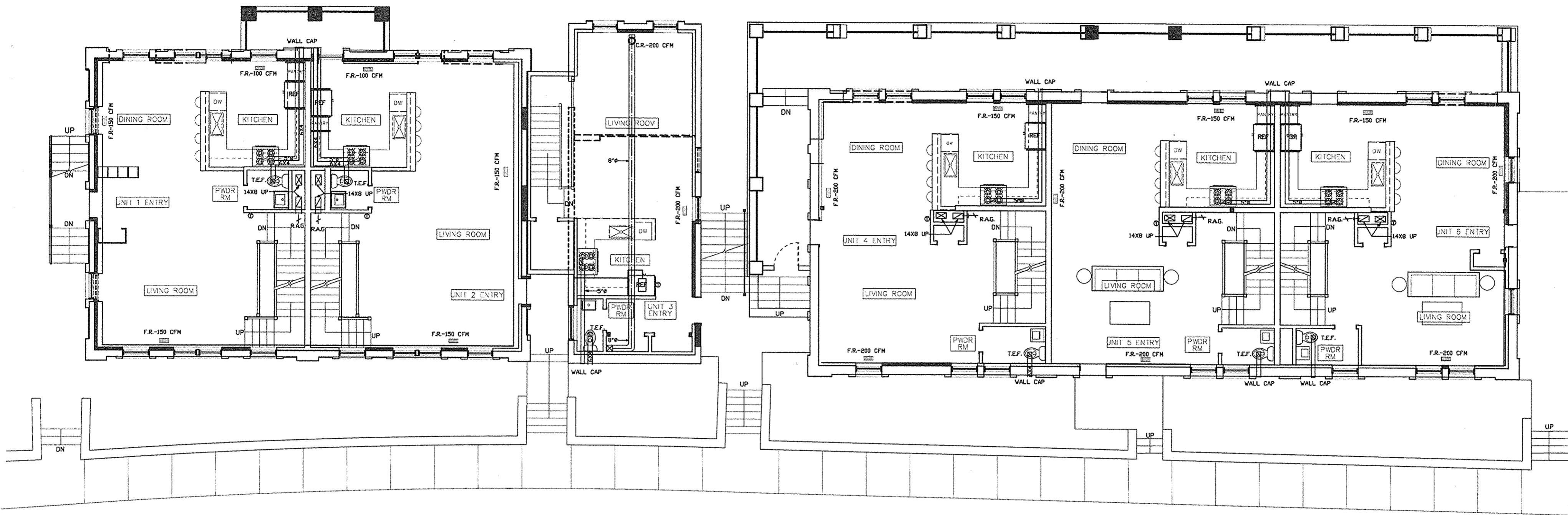
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2-27-15
M-1

MECHANICAL BASEMENT PLAN



1 MECHANICAL 1ST FLOOR PROPOSED PLAN - CARPENTER SHOP
 M-2 SCALE: 1/8" = 1'-0"

2 MECHANICAL 1ST FLOOR PROPOSED PLAN - SERVANT QUARTERS
 M-2 SCALE: 1/8" = 1'-0"

MECHANICAL PLANS RELEASED
 SUBJECT TO FIELD
 INSPECTION AND APPROVAL

MONTGOMERY COUNTY
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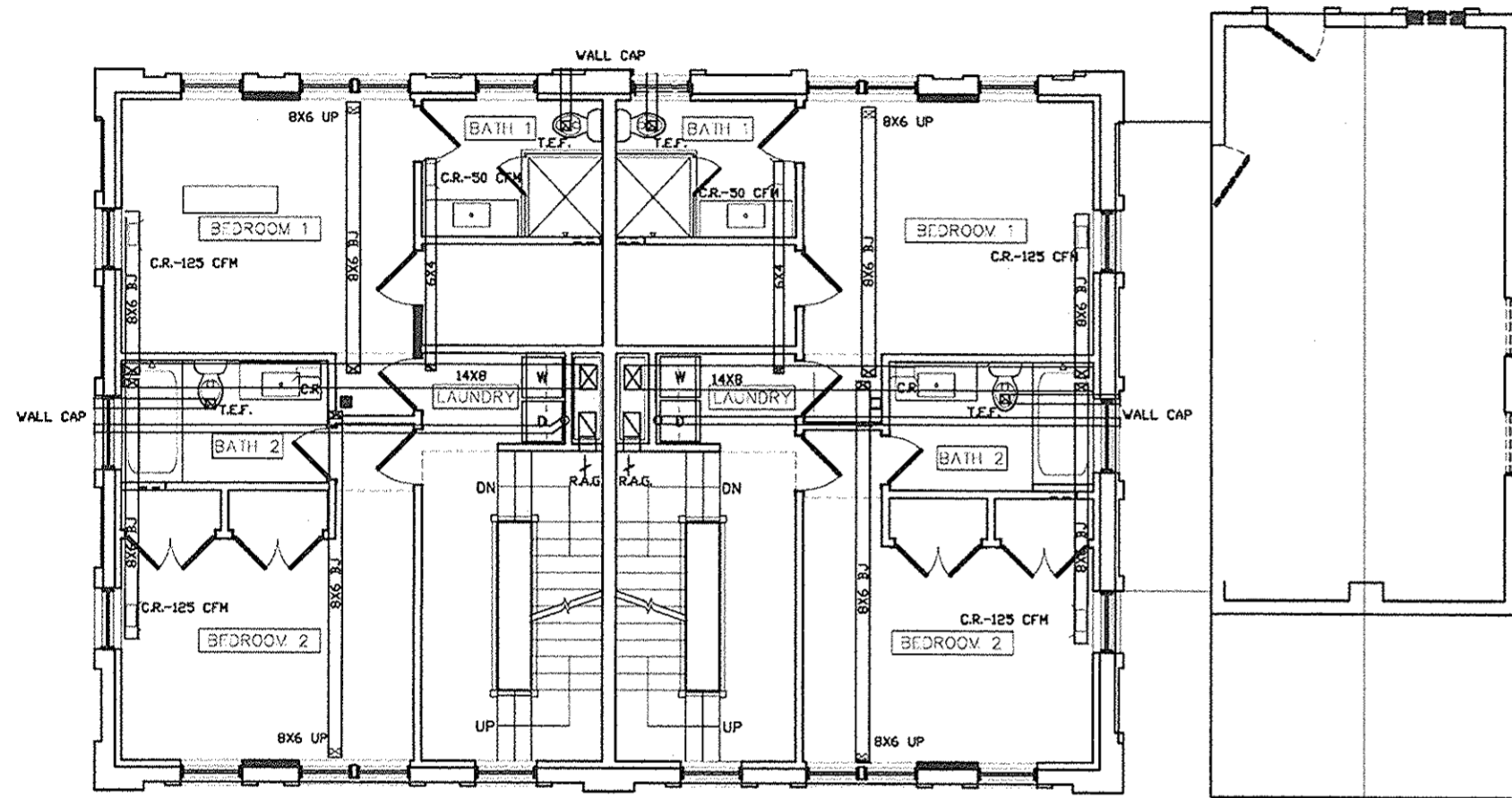
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WORK LOCATED WITHIN PLANNED
 FLOOR/CEILING AND/OR ROOF/CEILING
 ASSEMBLY SHALL CONFORM TO THE
 REQUIREMENTS OF THE LISTED ASSEMBLIES

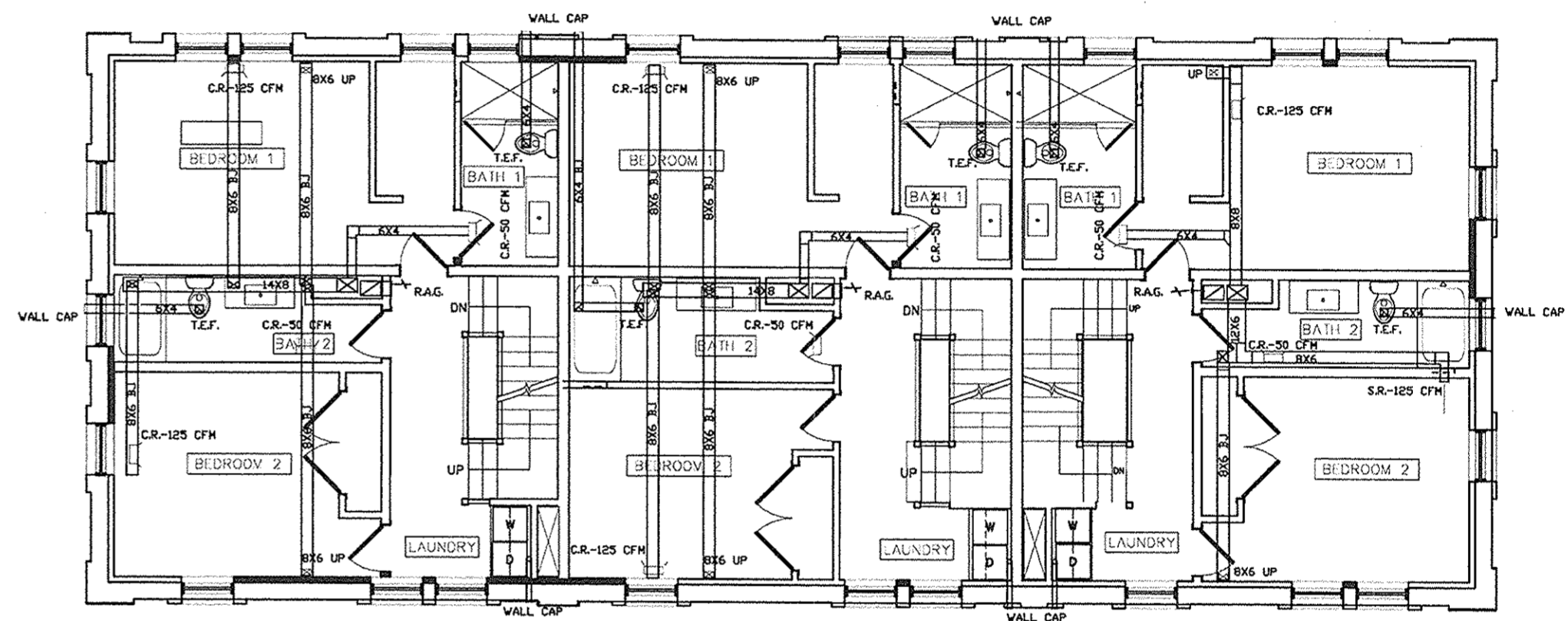
APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature]

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<p>Studio: CrowleyHall, pllc 2017 Park Road, NW Washington, DC 20010 P: 202.387.3003 F: 202.318.4317</p>	<p>National Park Seminary Carpenter Shop and Servant Quarters 2715-2725 Cassedy Street Silver Spring, MD 20910</p>	<p>CHARLES FORD & ASSOCIATES CONSULTING - ENGINEERS & PLANNERS 6925 4TH ST, N.W. WASH., D.C. (202) 722-4150 www.charlesfordandassociates.com</p>	<p>Copyright 2014 Studio: CrowleyHall, pllc The drawings and specifications—and the ideas, designs and arrangements represented hereby—are and shall remain property of the architect. No part thereof shall be copied, disclosed to others or used in connection with any work or project or by any other person for any purpose other than for the specific project for which they have been prepared and developed, without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence and acceptance of these restrictions. Absent a written agreement to the contrary, and strictly conditioned on the full and timely payment of all sums due to Architect under this agreement, upon Architect's delivery of sealed construction drawings to client, Architect grants client a nontransferable, nonexclusive right to construct the building depicted in the plans once and only once, and only on the site identified in the plans.</p>	<p>MECHANICAL 1ST FLOOR PROPOSED PLAN</p> <p>STATE OF MARYLAND PROFESSIONAL ENGINEER 12880</p> <p>2-27-15 M-2</p>
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1 2ND FLOOR MECHANICAL PLAN - CARPENTER SHOP
V-3



2 2ND FLOOR MECHANICAL PLAN - SERVANT QUARTERS
M-3

MECHANICAL PLANS RELEASED
SUBJECT TO FIELD
INSPECTION AND APPROVAL

MONTGOMERY COUNTY
APPROVED AS NOTED
DIV. OF BUILDING CONSTRUCTION

STRUCTURE LOCATED WITHIN EXISTING
FOOR/CORING AND/OR BOOFACING
ASSEMBLY SHALL CONFORM TO THE
REQUIREMENTS OF THE BUILDING CODE

725206----

APPROVED
Montgomery County
Historic Preservation Commission

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Carpenter Shop and Servant Quarters

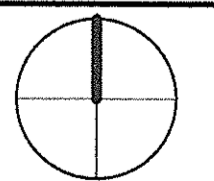
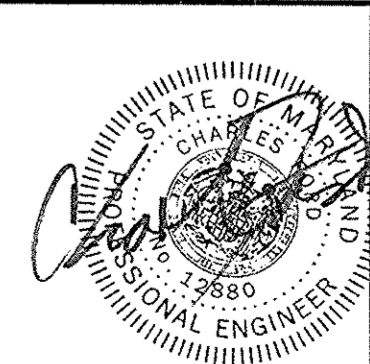
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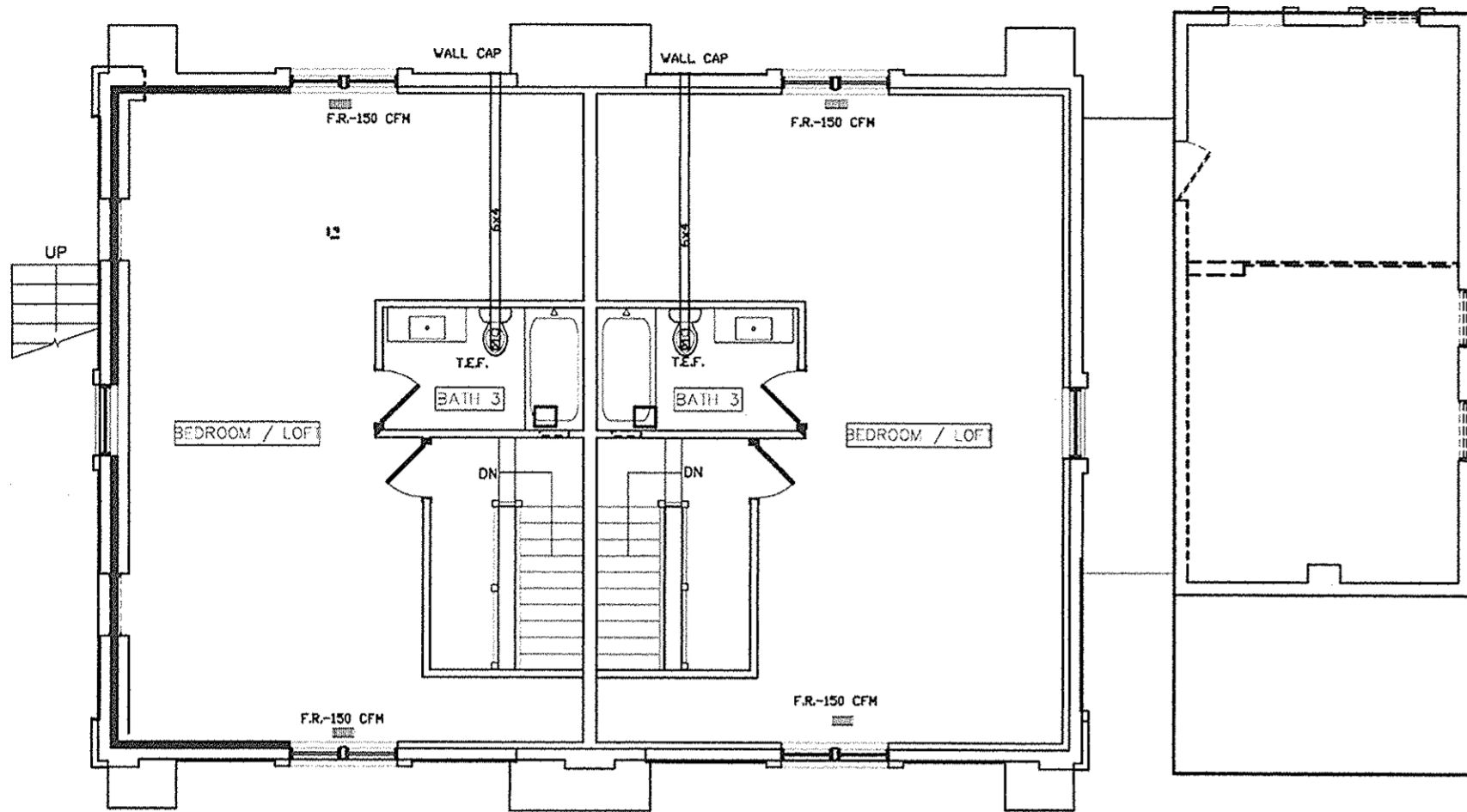
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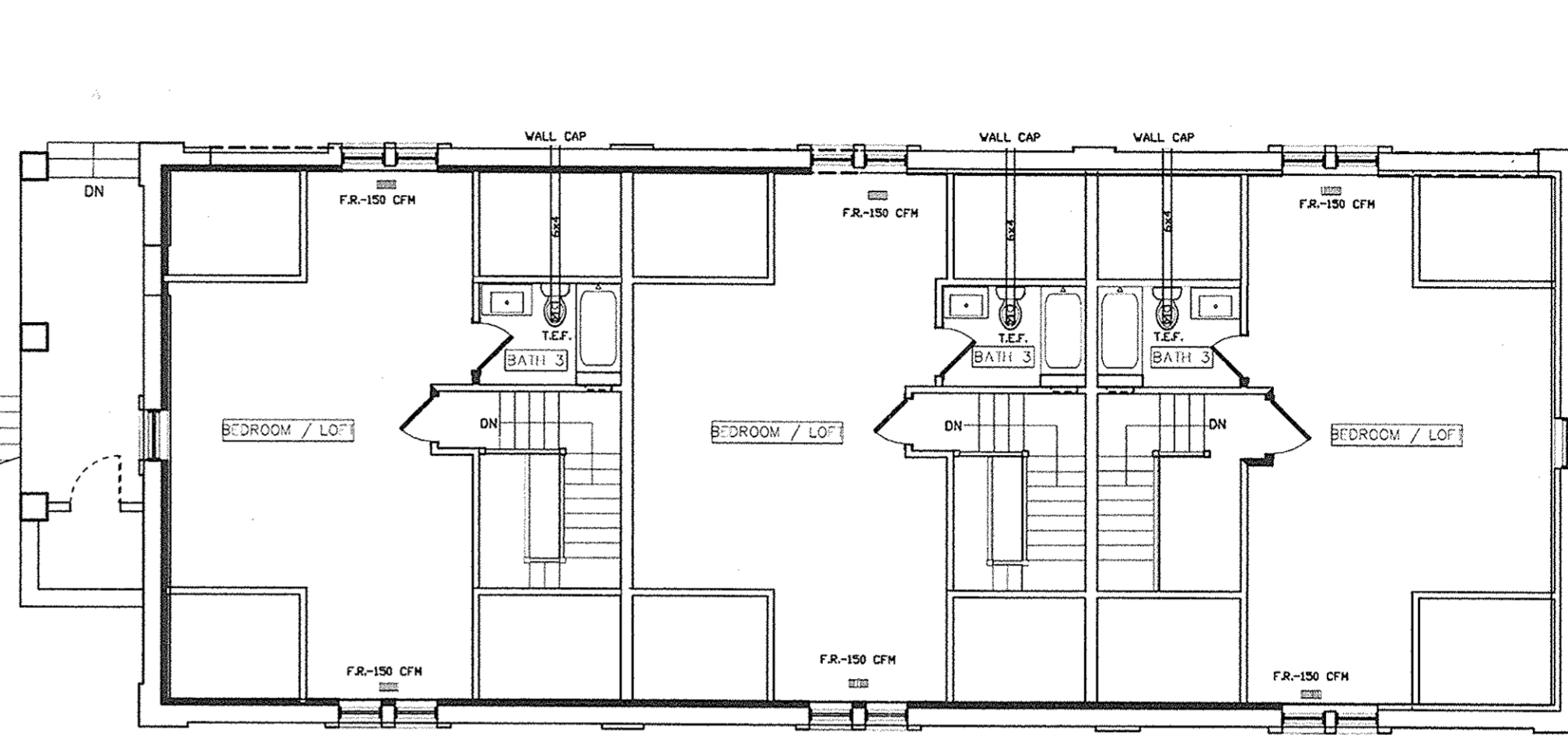


2-27-15

M-3



1 3RD FLOOR MECHANICAL PLAN - CARPENTER SHOP
M-4



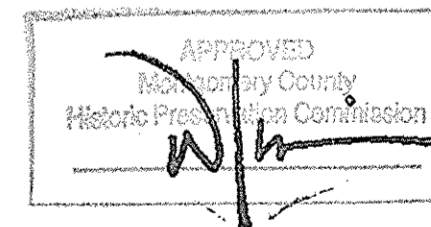
2 3RD FLOOR MECHANICAL PLAN - SERVANT QUARTERS
M-4

MECHANICAL PLANS RELEASED
SUBJECT TO FIELD
INSPECTION AND APPROVAL

MONTGOMERY COUNTY
APPROVED AS NOTED
DIR. OF BUILDING CONSTRUCTION

725206

PLEASE PRINT LOCATE THESE PLANS AND
RECORDING AND/OR RECORDING
YOURSELF SHALL COMPLY TO THE
REQUIREMENTS OF THE LISTED ADDRESS



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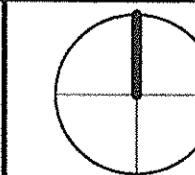
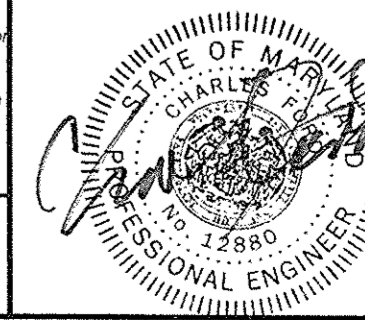
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3RD FLOOR MECHANICAL PLAN



2-27-15

M-4

FURNACE AND AIR CONDITIONING SPLIT SYSTEM SCHEDULE

FURNACE/AC AIR HANDLING UNIT INDOOR SECTION											OUTDOOR UNIT							REMARKS			
UNIT NO.	NOMINAL UNIT TONS COOLING CAPACITY	SUPPLY AIR CFM	O.A. CFM	EXT. S.P. H2O	MAX. FAN MOTOR HP	COOLING @ 95° AMBIENT				INDOOR UNIT MODEL NUMBER	HEATING (MBH)		INDOOR ELECTRICAL V-β-Hz	UNIT NO.	COMP. RLA	TOTAL UNIT MCA	FAN MOTOR FLA		OUTDOOR UNIT MODEL NUMBER	OUTDOOR ELECTRICAL V-β-Hz	
						ENTERING AIR F.D.B. °F	SENS. °F	TOTAL MBH	MAX. SYSTEM COOLING KW		INPUT	OUTPUT									
F-1&2	3.5	1350	0	0.70	1/2	80	67	30.2	42.0	3.53	CARRIER	80	73.6	120/1/60	C-1&2	9.0	22.0	1.2	CARRIER	208/1/60	UPFLOW
F-3	2.0	800	0	0.50	1/2	80	67	17.3	24.0	2.99	CARRIER	50	46.0	120/1/60	C-3	16.7	11.7	0.5	CARRIER	208/1/60	UPFLOW
F-4,5&6	4.0	1500	0	0.70	1/2	80	67	34.6	48.0	4.53	CARRIER	80	73.6	120/1/60	C-4,5&6	9.0	23.5	1.7	CARRIER	208/1/60	UPFLOW

- EACH UNIT SHALL BE COMPLETE WITH ELECTRONIC AIR CLEANER, COOLING COIL AND HUMIDIFIER.
 - EACH UNIT SHALL BE 92% MINIMUM EFFICIENCY.
 - EQUIPMENT BASED ON CARRIER EQUIPMENT - MINIMUM SEER 16.0 USING "PURON" OR R134A REFRIGERANT.
 - UNIT IS SIDE RETURN. PROVIDE A RETURN AIR PLENUM. SEE DRAWINGS FOR MORE INFORMATION.

- USE CARRIER INFINITY 17 SERIES AIR CONDITIONER OR APPROVED EQUAL.
 - COORDINATE UNIT LOCATIONS AND DISTANCES WITH ROUTING AND SIZES OF REFRIGERANT PIPING. LONG LENGTH RUNS MAY REQUIRE SPECIAL SIZES OF PIPING. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR SIZES AND QUANTITY OF PIPING.

EXHAUST FAN SCHEDULE

FAN NO.	SERVING	MOTOR HP	CFM	S.P.	RPM	TIP SPEED	TYPE & DRIVE	CONTROL	ELECT. CHAR.	REMARKS
EF-1	TYPICAL BATHROOM	---	75	---	---	---	CEILING FAN, DIRECT	MANUAL	120V/1PH/60Hz	① ②
EF-2	TYPICAL MECHANICAL ROOM	---	100	.10	---	---	CEILING FAN, DIRECT	MANUAL	120V/1PH/60Hz	① ②

NOTES:
 ① TOILET EXHAUST FAN PLACEMENT & NUMBER DESIGNATION IS TYPICAL OF EACH UNIT. EACH UNIT SHALL BE BROAN MODEL #505 OR APPROVED BY OWNER.
 ② FAN SHALL BE INDIVIDUALLY SWITCHED.

HVAC DUCT CONSTRUCTION SCHEDULE

SYSTEM	SMACNA DUCT PRESSURE CLASS (INCHES W.G.)						NOTES
	SUPPLY DISCHARGE	RETURN DISCHARGE	SUCTION	EXHAUST DISCHARGE	SUCTION	OUTSIDE AIR DISCHARGE	
GENERAL SUPPLY	2.0	---	2.0	---	---	2.0	
GENERAL EXHAUST & VENTILATION	---	---	---	2.0	2.0	---	1

GENERAL:
 A. MIXED AIR DUCTS (RA & OA) AND INLET PLENUMS SHALL BE CONSTRUCTED SAME AS RETURN DUCTS.
 B. PROVIDE DUCT JOINT TYPES WHICH ASSURE COMPLIANCE WITH THE ASSOCIATED LEAKAGE FACTOR.

MINIMUM RECTANGULAR DUCT CONSTRUCTION REQUIREMENTS								
2.0 INCHES W.G. STATIC (POS. OR NEG.)			3.0 INCHES W.G. STATIC (POS. OR NEG.)			4.0 INCHES W.G. STATIC (POS. OR NEG.)		
DUCT DIMENSION (INCHES)	MINIMUM STEEL GAGE	MAXIMUM REINFORCEMENT SPACING (FEET)	DUCT DIMENSION (INCHES)	MINIMUM STEEL GAGE	MAXIMUM REINFORCEMENT SPACING (FEET)	DUCT DIMENSION (INCHES)	MINIMUM STEEL GAGE	MAXIMUM REINFORCEMENT SPACING (FEET)
10" LESS	26	NONE	18" LESS	24	5.0	18" LESS	24	5.0
11"-12"	24	NONE	19"-28"	22	5.0	19"-28"	22	5.0
13"-30"	24	5.0	29"-48"	22	2.5	29"-42"	22	2.5
31"-42"	22	5.0	49"-72"	20	2.5	43"-60"	20	2.5
43"-48"	22	2.5	73"-84"	18	2.5	61"-72"	18	2.5
49"-84"	20	2.5	85" UP	16	2.5	73"-96"	16	2.5
85" UP	18	2.5						

GENERAL:
 DUCT REINFORCEMENT SHALL BE AS LISTED BY SMACNA DUCT CONSTRUCTION STANDARDS

DUCT SEAL CLASS AND LEAKAGE REQUIREMENTS				
PRESS. CLASS (INCHES W.G.)	SEAL CLASS (NOTE 1)	TEST PRESS. (INCHES W.G.)	LEAKAGE FACTOR (NOTE 2)	NOTES
2.0	C	2.0	10	1. SMACNA SEAL CLASS DESCRIPTIONS: A - SEAL ALL TRANSVERSE JOINTS, LONGITUDINAL SEAMS AND DUCT WALL PENETRATIONS. B - SEAL ALL TRANSVERSE JOINTS AND LONGITUDINAL SEAMS. C - SEAL TRANSVERSE JOINTS. 2. DUCT LEAKAGE FACTOR 9CFM/100 SQ. FT. OF DUCT SURFACE AREA. MAXIMUM LEAKAGE RATE AT TEST PRESSURE.
3.0	B	3.0	8	
4.0	A	4.0	8	
6.0	A	6.0	10	
10.0	A	10.0	15	

GENERAL:
 • THE LEAKAGE REQUIREMENTS SCHEDULED ABOVE ARE FOR STANDARD HVAC APPLICATIONS.
 • SEAL ALL DUCTS AS INDICATED ON THIS SCHEDULE.
 • UNLESS OTHERWISE NOTED ABOVE LEAK TEST ALL DUCTS. LEAKAGE RATES SHALL NOT EXCEED LEAKAGE FACTORS INDICATED ON THIS SCHEDULE FOR THE APPLICABLE PRESSURE CLASSES.

CONDENSER SCHEDULE

NO	CAPACITY (MBH)	ENT. AIR °F	LOW TEMP. °F	FAN (CFM)	ELECTRICAL			COMPRESSOR kW	SERVING
					HP	VOLT	PHASE		
C-1,2	42	95	0	2800	1/6	208	1	3.75	F-1&2
C-3	24	95	0	2800	1/6	208	1	2.2	F-3
C-4,5,6	48	95	0	2800	1/6	208	1	4.3	F-4,5&6

- CONDENSING UNIT SHALL BE AN AIR-COOLED UNIT W/ CONDENSER FAN, SEMI-HERMETIC COMPRESSOR AND LOW AMBIENT OPERATION. USE TRANE, CARRIER OR APPROVED EQUAL.

SEQUENCE OF OPERATIONS

TEMPERATURE CONTROL SHALL BE MAINTAINED BY MEANS OF A WALL MOUNTED 24 Hr. 7 DAY PROGRAMMABLE MICRO ELECTRONIC THERMOSTAT, (T), LOCATED AS SHOWN ON DRAWINGS. THERMOSTAT SHALL BE CAPABLE OF SUMMER/WINTER CHANGEOVER, SEQUENCING FOR MORNING, DAY AND NIGHT SET-BACK.

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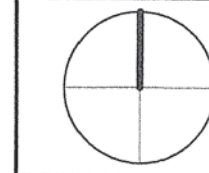
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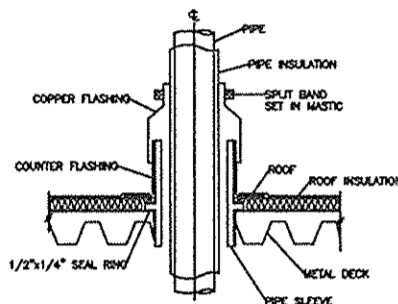
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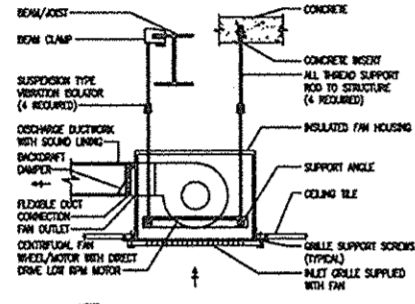
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M-5

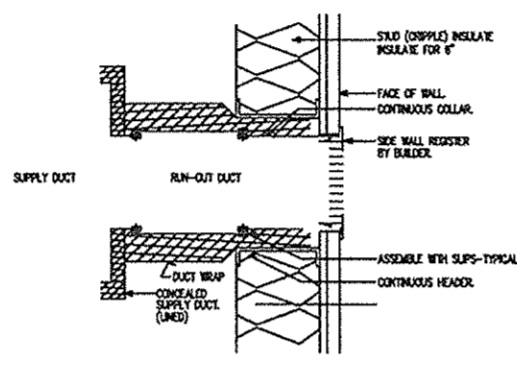
MECHANICAL SCHEDULES



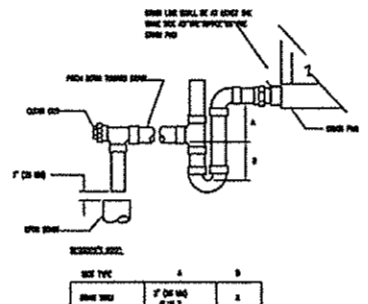
PIPE/VENT THRU ROOF DETAIL
SCALE: NONE



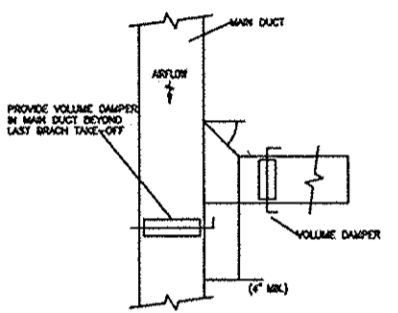
CEILING MOUNTED EXHAUST/VENTILATION FAN DETAIL
SCALE: NONE



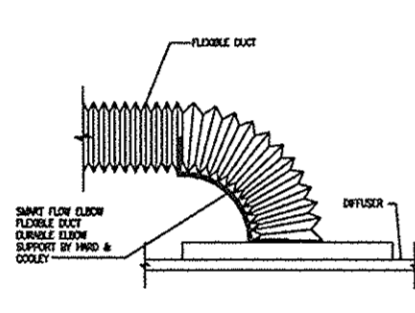
ROUND DUCT SIDE TAKEOFF CONNECTION DETAIL
SCALE: NONE



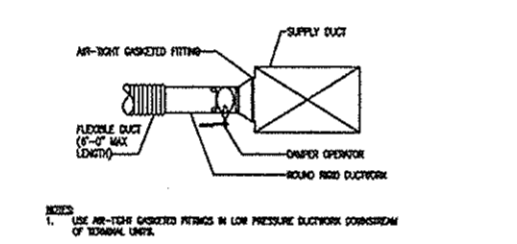
FURNACE GAS MANIFOLD DETAIL (TYP.)
NO SCALE



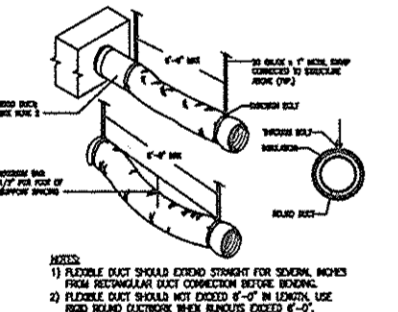
RECTANGULAR SIDE TAKE-OFF CONNECTION DETAIL
SCALE: NONE



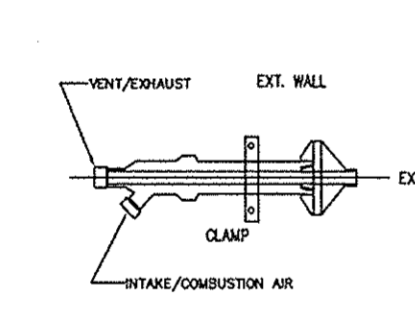
FLEXIBLE DUCTWORK ELBOW SUPPORT DETAIL
SCALE: NONE



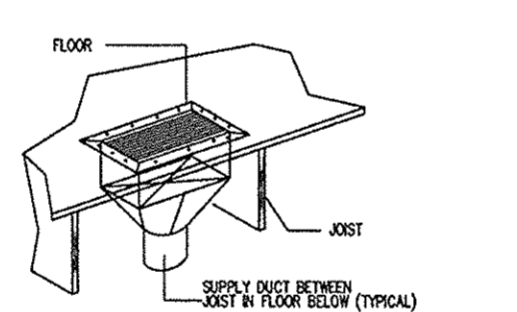
ROUND DUCT SIDE TAKEOFF CONNECTION DETAIL
SCALE: NONE



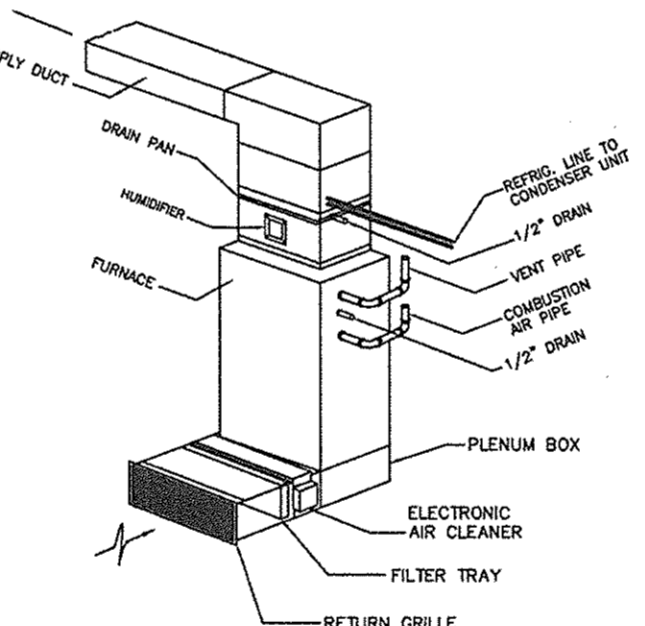
FLEXIBLE DUCTWORK RUN-OUT SUPPORT DETAIL
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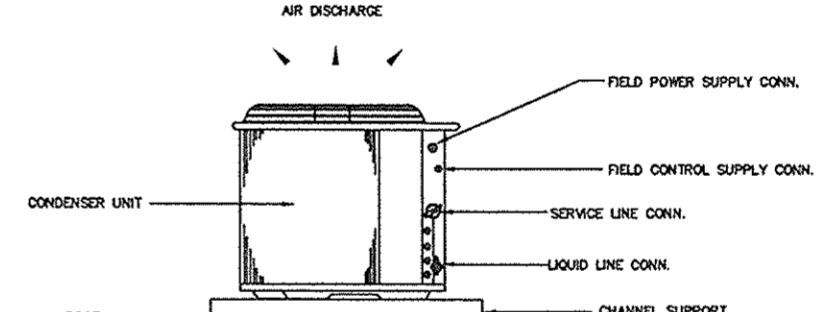
CONCENTRIC VENT DETAIL
SCALE: NONE



FLOOR REGISTER DETAIL
SCALE: NONE



FURNACE DETAIL (TYP.)
NO SCALE

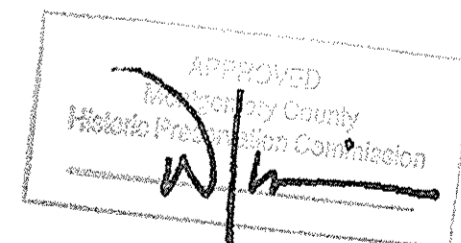


CONDENSER UNIT DETAIL (TYP.)
NOT TO SCALE

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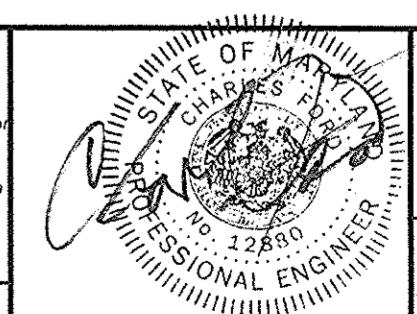


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2-27-15
M-6

MECHANICAL DETAILS

PLUMBING SPECIFICATIONS:

- 1.1 SECTION INCLUDES:
 A. COLD AND HOT WATER DISTRIBUTION.
 B. PLUMBING WASTE AND VENT PIPING.
 C. PLUMBING FIXTURE.
 D. QUALITY ASSURANCE.
- 1.2 QUALITY ASSURANCE:
 A. CODES AND STANDARDS:
 1. COMPLY WITH CODES AND REGULATIONS AND OBTAIN ALL REQUIRE INSPECTIONS AND APPROVALS.
 2. WHERE PROVISIONS OF PERTINENT CODES, STANDARDS, OR CONTRACT DOCUMENTS CONFLICT, THE MORE STRINGENT PROVISIONS SHALL GOVERN.
 B. COMPLIANCE WITH SPECIFICATIONS:
 1. WHENEVER REQUIRED DURING PROGRESS OF THE WORK AND AFTER COMPLETION OF CONSTRUCTION, IMMEDIATELY FURNISH PROOF ACCEPTABLE TO THE OWNER THAT ALL ITEMS OF PLUMBING INSTALLED EQUAL OR EXCEED ALL REQUIREMENTS SPECIFIED FOR THIS WORK.
 2. IN THE EVENT SUCH PROOF IS NOT AVAILABLE, OR IS NOT SATISFACTORY TO THE OWNER, THE OWNER MAY REQUIRE THE CONTRACTOR TO REMOVE THE ITEM OR ITEMS AND REPLACE WITH MATERIAL MEETING THE SPECIFIED REQUIREMENTS AND TO REPAIR ALL DAMAGE CAUSED IN THE REMOVAL AND REPLACEMENT, ALL AT NO ADDITIONAL COST TO THE OWNER.
 1.3 SUBMITTALS
 A. MATERIAL CUT SHEETS:
 WITHIN 20 DAYS AFTER AWARD OF CONTRACT, AND BEFORE ANY MATERIALS ARE DELIVERED, SUBMIT TO THE OWNER A COMPLETE SET OF MATERIAL CUT SHEETS.
 B. UPON COMPLETION OF THE WORK OF THE IS SECTION AND AS A CONDITION OF ITS ACCEPTANCE, DELIVER TO THE OWNER 2 COPIES OF A MANUAL COMPILED IN ACCORDANCE WITH THE PROVISION OF SECTION 1.2, INCLUDE IN EACH COPY OF THE MANUAL A COPY OF THE AS-BUILT DRAWINGS.
 2.1 PRODUCTS
 A. SOIL, WASTE, AND VENTS IN BUILDINGS:
 1. ALL WASTE AND SOIL PIPING SHALL BE SERVICE WEIGHT CAST IRON OR SCHEDULE 40 P.V.C. INSULATED BY OTHERS.
 2. ALL PIPE AND FITTINGS SHALL CONFORM TO RESIDENTIAL STANDARDS.
 3. AT CONTRACTOR'S OPTION, COMPRESSION-TYPE PIPE AND FITTINGS WITH NEOPRENE JOINTS OR NO-HUBS CAST IRON MAY BE USED SUBJECT TO APPROVAL OF ALL AGENCIES HAVING JURISDICTION.
 4. VENT PIPING ABOVE GROUND SHALL BE SCHEDULE 40 GALVANIZED STEEL PIPE, SERVICE WEIGHT CAST IRON, OR SCHEDULE 40 PVC UP & DN.
 5. PVC SHALL NOT BE RUN IN AIR PLENUM AREAS.
 B. SOIL WASTE, EXTERIOR:
 1. FROM FIVE FEET OUTSIDE THE BUILDINGS, USE SERVICE WEIGHT CAST IRON PIPE AND FITTINGS.
 2. JOINTS SHALL BE TY-SEAL OR ANY EQUAL APPROVED IN ADVANCE BY ARCHITECT.
 C. DOMESTIC WATER PIPING:
 1. ALL HOT AND COLD WATER PIPING, HARD-DRAWN COPPER TUBE, MADE UP WITH WROUGHT OR FORGED COPPER FITTINGS AND 50-50 SOLDER. STEEL NIPPLES WILL NOT BE ALLOWED. USE GROUND JOINT OR FLANGE UNIONS AT ALL CONNECTIONS TO METERS, TANKS AND OTHER OTHER EQUIPMENT AS REQUIRED FOR ASSEMBLY OF THE SYSTEM. ALL EXPOSED FINAL CONNECTION PIPING TO FIXTURES SHALL BE CHROMIUM PLATED BRASS.
 2. BELOW-GRADE AND BELOW STAB PIPING TO FIXTURES SHALL BE "K1" ALL OTHER COPPER PIPING SHALL BE TYPE "L" CONFORMING TO ASTM B 88-69 AND ANSI H23.1-1976a.
 3. PROVIDE AND INSTALL SHUT OFF VALVES ON HOT AND COLD WATER SUPPLY TO EACH FIXTURE.
 4. PROVIDE AND INSTALL SHUT OFF VALVE FOR WATER SERVICE TO EACH RISER IN AN ACCESSIBLE LOCATION.
 5. INSULATE ALL WATER PIPING PLACED ON EXTERIOR WALLS, ALL COLD WATER IN THE BASEMENT AND ALL RISERS.
 D. CONDENSATE AND SAFE PAN DRAINS: SCHEDULE 40 PVC PIPING WITH SOLVENT DRAINAGE FITTINGS OR SCHEDULE 40 PVC PIPING WITH SOLVENT CEMENTED SOCKET-TYPE FITTING.
 E. REFRIGERANT PIPING: TYPE K COPPER TUBING WITH WROUGHT-COPPER SOLDER JOINT FITTINGS, JOINED WITH NON-CORROSSIVE FLUX AND SILVER SOLDER HAVING A MELTING POINT OF NOT LESS THAN 1300 F.

- F. HANGERS AND SUPPORTS:
 1. ALL PIPING SHALL BE SECURELY SUPPORTED BY MEANS OF ADJUSTABLE PIPE HANGERS OF THE SPLIT RING OR CLEVIS TYPE SUPPORTED FROM ROUND IRON RODS. THE ROD SHALL BE SECURELY SUPPORTED FROM ROUND IRON RODS. THE ROD SHALL BE SECURELY SUPPORTED BY SUBSTANTIAL CEILING INSERTS. WHERE THE LINES ARE SUBJECT TO EXPANSION THE SUPPORTS SHALL BE CAREFULLY WORKED OUT TO ALLOW THE PIPE TO EXPAND WITHOUT RESTRICTION. WHERE NECESSARY, ROLLER OR FLEXIBLE HANGERS OR BASE SUPPORTS SHALL BE INSTALLED. GROUP HANGERS OR BRACKETS CONSTRUCTED OF CHANNEL IRON OR PIPE MAY BE INSTALLED ONLY WHEN APPROVED BY ENGINEER. ALL VERTICAL LINES SHALL BE SECURELY SUPPORTED BY APPROVED DEVICES. AND ISOLATED FROM DIRECT CONTACT WITH THE BUILDING CONSTRUCTION BY AN APPROVED METHOD.
 2. PIPE HANGERS SHALL BE AUTO-GRIP STEEL CLEVIS HANGERS. SELECTED WITHIN MANUFACTURERS' PUBLISHED LOAD RATINGS ACCURATELY ADJUSTED TO MAINTAIN SPECIFIED PIPE GRADES AND SECURELY ATTACHED TO THE BUILDING BY MEANS OF CONCRETE INSERTS, EXPANSION PLUGS, CLAMPS, BRACKETS, LAG SCREWS, ETC., AS APPLICABLE.
 G. PLUMBING FIXTURES
 1. PLUMBING FIXTURES SHALL BE COMPLETE WITH ALL ITEMS NECESSARY FOR A COMPLETE INSTALLATION AND OPERABLE FACILITY, INCLUDING ANY MOTOR STARTERS, CONTROL WIRING TRAPS TO DRAINAGE SYSTEM, AND STOPS ON WATER SUPPLY LINES.
 2. FOR EASE OF MAINTENANCE AND PARTS REPLACEMENT, TO THE MAXIMUM EXTENT POSSIBLE USE EQUIPMENT OF A SINGLE MANUFACTURER. THE ARCHITECT RESERVES THE RIGHT TO REJECT ANY MATERIALS LIST WHICH CONTAINS EQUIPMENT FROM FEWER MANUFACTURERS, AND TO REQUIRE THAT SOURCE OF MATERIALS TO BE UNIFIED TO THE MAXIMUM EXTENT POSSIBLE.
 3. PLUMBING FIXTURES SHALL BE MANUFACTURED BY AMERICAN STANDARD, KOHLER OR APPROVED EQUAL.
 3.1 INSTALLATION
 A. GENERAL:
 1. INSTALL ALL PIPING PROMPTLY, CAPPING OR PLUGGING ALL OPEN ENDS AND MAKING PIPE GENERALLY LEVEL AND PLUMB, FREE FROM TRAPS, AND IN A MANNER TO CONSERVE SPACE FOR OTHER WORK.
 2. PROVIDE UNIFORM PITCH OF AT LEAST 1/4 INCH PER FOOT FOR ALL HORIZONTAL PIPING WITHIN THE BUILDING; PITCH ALL VENTS FOR PROPER DRAINAGE; INSTALL VENT PIPING WITH EACH BEND 45 DEGREES MINIMUM FROM THE HORIZONTAL WHEREVER STRUCTURAL CONDITIONS WILL PERMIT.
 3. SMOOTHLY REAM ALL CUT PIPE; CUT ALL THREADS STRAIGHT AND TRUE; APPLY BEST QUALITY JOINT COMPOUND TO ALL MALE PIPE THREADS AT SCREW JOINTS.
 4. FURNISH ALL REQUIRED PERSONNEL AND EQUIPMENT AND MAKE ALL TEST REQUIRED TO RECEIVE THE APPROVAL OF THE ARCHITECT AND ALL AGENCIES HAVING JURISDICTION.

PLUMBING GENERAL NOTES

- THE DRAWINGS ARE NOT INTENDED FOR FINAL SYSTEM INSTALLATION AND ARE NOT TO BE SCALED. GENERAL ROUTING OF PIPING, THE GENERAL LOCATION OF EQUIPMENT, FIXTURES AND SPECIALTIES ARE INDICATED AND DO NOT INDICATE ALL OFFSETS, TRANSITIONS, OR INSTALLATION DETAILS REQUIRED FOR FINAL INSTALLATION. DETAILS OF PIPING AND EQUIPMENT ARE PROVIDED FOR CONVENIENCE AND INDICATE MINIMUM INSTALLATION REQUIREMENTS WITH RESPECT TO THE WORK OF THIS DIVISION. PROVIDE A COMPLETE SYSTEM INCLUDING ALL REQUIRED OFFSETS, TRANSITIONS, AND ADJUSTMENTS FOR THE LOCATION OF ALL WATER, WASTE, VENT AND GAS SYSTEMS REQUIRED FOR THE FINAL INSTALLATION.
- THOROUGHLY REVIEW AND EXAMINE THE CONTRACT DOCUMENTS OF ALL DIVISIONS. ACCURATELY LAYOUT AND COORDINATE THE WORK REQUIRED USING THE DIMENSIONED ARCHITECTURAL CONTRACT DRAWINGS AND THE CONTRACT DRAWINGS OF ALL OTHER TRADES PRIOR TO ANY PURCHASE AND INSTALLATION OF EQUIPMENT AND FABRICATION AND INSTALLATION OF SYSTEMS. COORDINATE AND SCHEDULE THE INSTALLATION OF ALL WORK UNDER THIS DIVISION WITH THE WORK OF ALL OTHER DIVISIONS INVOLVED TO PREVENT ANY CONFLICT OF WORK AND TO PROVIDE A WORKMANLIKE AND FIRST CLASS COMPLETED INSTALLATION.
- INSTALL ALL EQUIPMENT IN ACCORDANCE WITH THE MANUFACTURER'S PRINTED INSTALLATION INSTRUCTIONS, THE SPECIFICATIONS, AND REVIEWED SHOP DRAWINGS. SERVICE AND OPERATION CLEARANCES AROUND ALL SIDES OF EQUIPMENT SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S PRINTED REQUIREMENTS AND RECOMMENDATIONS.
- ALL PIPING SHALL BE RUN BETWEEN JOISTS AND IN PIPE SPACES.
- WATER, WASTE, AND GAS PIPING INCOMING SERVICES ARE SHOWN ON THE FLOOR PLANS.
- GRAVITY PIPING 3" AND SMALLER SHALL TYPICALLY SLOPE AT 1/4" PER FOOT. GRAVITY PIPING 4" AND LARGER SHALL TYPICALLY SLOPE AT 1/8" PER FOOT.
- MAINTAIN CLEAR ACCESS TO CONTROLS, SERVICE VALVES, GAUGES, THERMOMETERS AND ALL OTHER ACCESSORIES REQUIRING SERVICE, VISUAL INSPECTION OR HAND OPERATION.
- PROVIDE DRAIN VALVES AT ALL PIPING LOW POINTS.
- PROVIDE SLEEVED SEALABLE OPENINGS WHERE REQUIRED TO RUN PIPING THROUGH FLOORS AND WALLS. OPENING SIZES SHALL BE KEPT TO A MINIMUM.
- INSTALL WATER SUPPLY PIPING TO EACH FIXTURE WITH A VALVE ON EACH SUPPLY.
- UTILIZE RISER DIAGRAMS WITH PLANS FOR THE INSTALLATION OF PIPING.
- EXISTING SANITARY, AND WATER PIPE LOCATIONS ARE SHOWN ON THE FLOOR PLANS FOR DRAFTING PURPOSES ONLY. THE CONTRACTOR SHALL FIELD VERIFY THE INVERT ELEVATIONS AND EXACT LOCATION OF EXISTING PIPING AND PIPE SIZES ON THE JOB SITE PRIOR TO STARTING CONSTRUCTION.

PLUMBING LEGEND

SYMBOL	ABBRV.	DESCRIPTION
—	C.W.	COLD WATER LINE
—		HOT WATER RECIRCULATING LINE
—	H.W.	HOT WATER LINE
—○—	UP-DN.	PIPE UP-PIPE DOWN
—	W	SOIL OR WASTE LINE
—	V	VENT LINE
—G—	G	GAS LINE
⌋⌋	V.P.T.R.	VENT PIPE THRU ROOF
⊗	FD	3" FLOOR DRAIN



FIRE PROTECTION NOTES:

- BUILDING SHALL BE 100 PERCENT SPRINKLERED. A CERTIFIED FIRE PROTECTION CONTRACTOR SHALL PROVIDE EACH DWELLING UNIT A SPRINKLER FIRE PROTECTION SYSTEM THROUGHOUT THE BUILDING. CONTRACTOR SHALL ALSO PROVIDE SPRINKLER SHOP DRAWINGS AND HYDRAULIC CALCULATIONS IN ACCORDANCE WITH NFPA 13D, AND ALL APPLICABLE LOCAL CODES & REGULATIONS. COORDINATE LOCATION OF SPRINKLER HEADS WITH ARCHITECTURAL PLANS & SPRINKLER PIPING ROUTING WITH DUCTWORK, AIR DEVICES, LIGHTING & STRUCTURE.
- ALL WORK, PLANS AND CALCULATIONS SHALL BE SUBJECT TO FIRE MARSHALL'S APPROVAL AND ACCEPTANCE.
- OCCUPANCY CLASSIFICATION: LIGHT HAZARD EXCEPT FOR STORAGE ROOMS, AND MECHANICAL ROOMS UNLESS OTHERWISE DIRECTED BY FIRE MARSHALL OR CODE REQUIREMENTS.
- STORAGE ROOM, AND MECHANICAL ROOMS SHALL BE CLASSIFIED ORDINARY HAZARD GROUP 1 OCCUPANCY UNLESS OTHERWISE DIRECTED BY FIRE MARSHALL OR CODE REQUIREMENTS.
- SYSTEM WORKING PRESSURE: NOT TO EXCEED 175 PSIG. ALL COMPONENTS SHALL BE UL-LISTED AND FM APPROVED.
- PIPING SHALL BE SUPPORTED IN ACCORDANCE WITH NFPA 13.
- SPRINKLER HEADS SHALL BE RESIDENTIAL TYPE OR TYPE AS APPLICABLE.
- CONTRACTOR SHALL PERFORMING FLOW TEST AT SITE AND BASE DESIGN ON TEST RESULTS.

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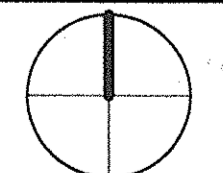
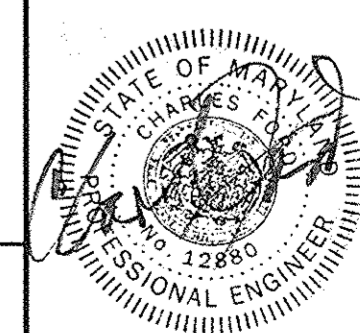
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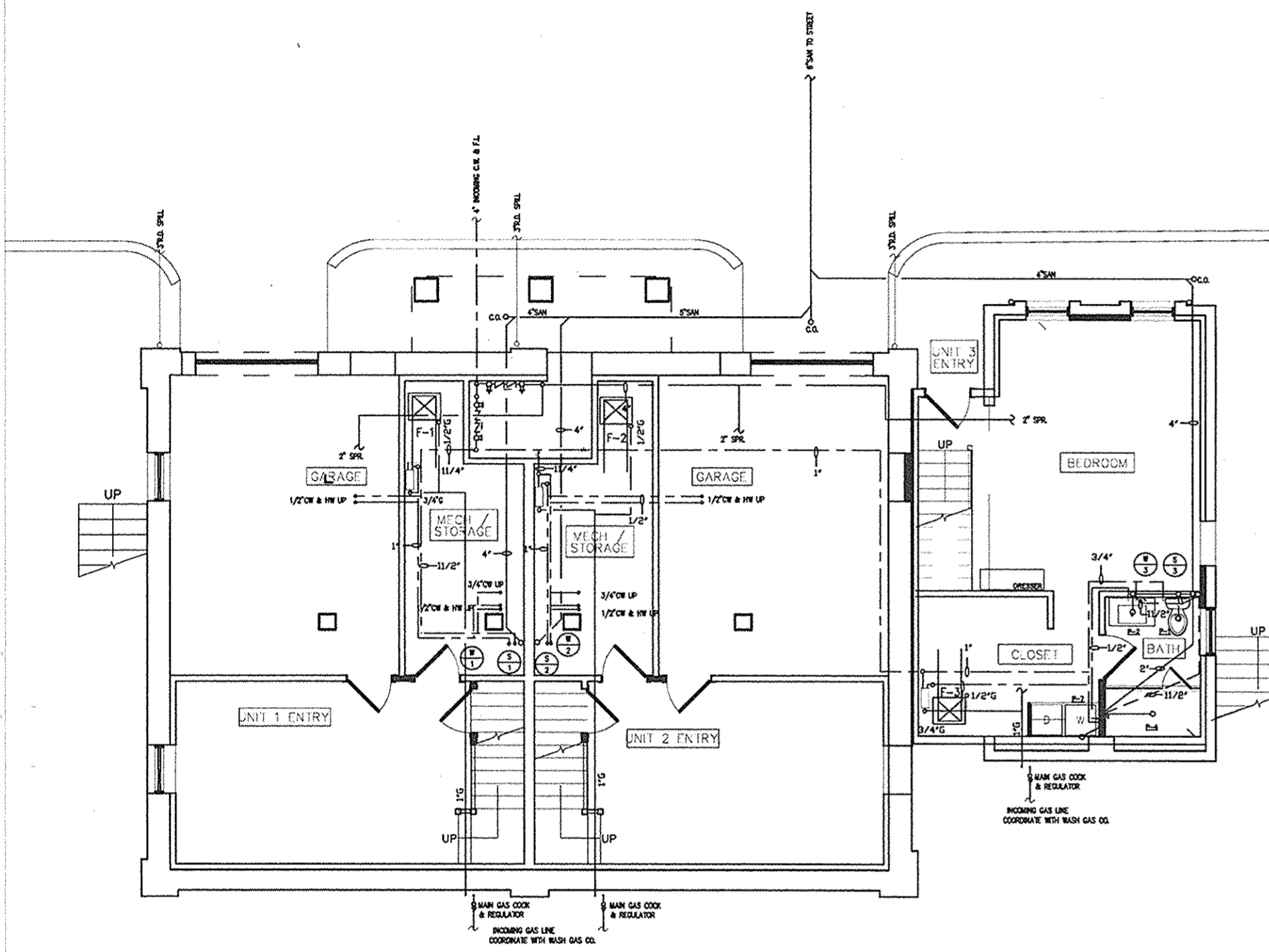
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PLUMBING GENERAL NOTES
 AND LEGEND

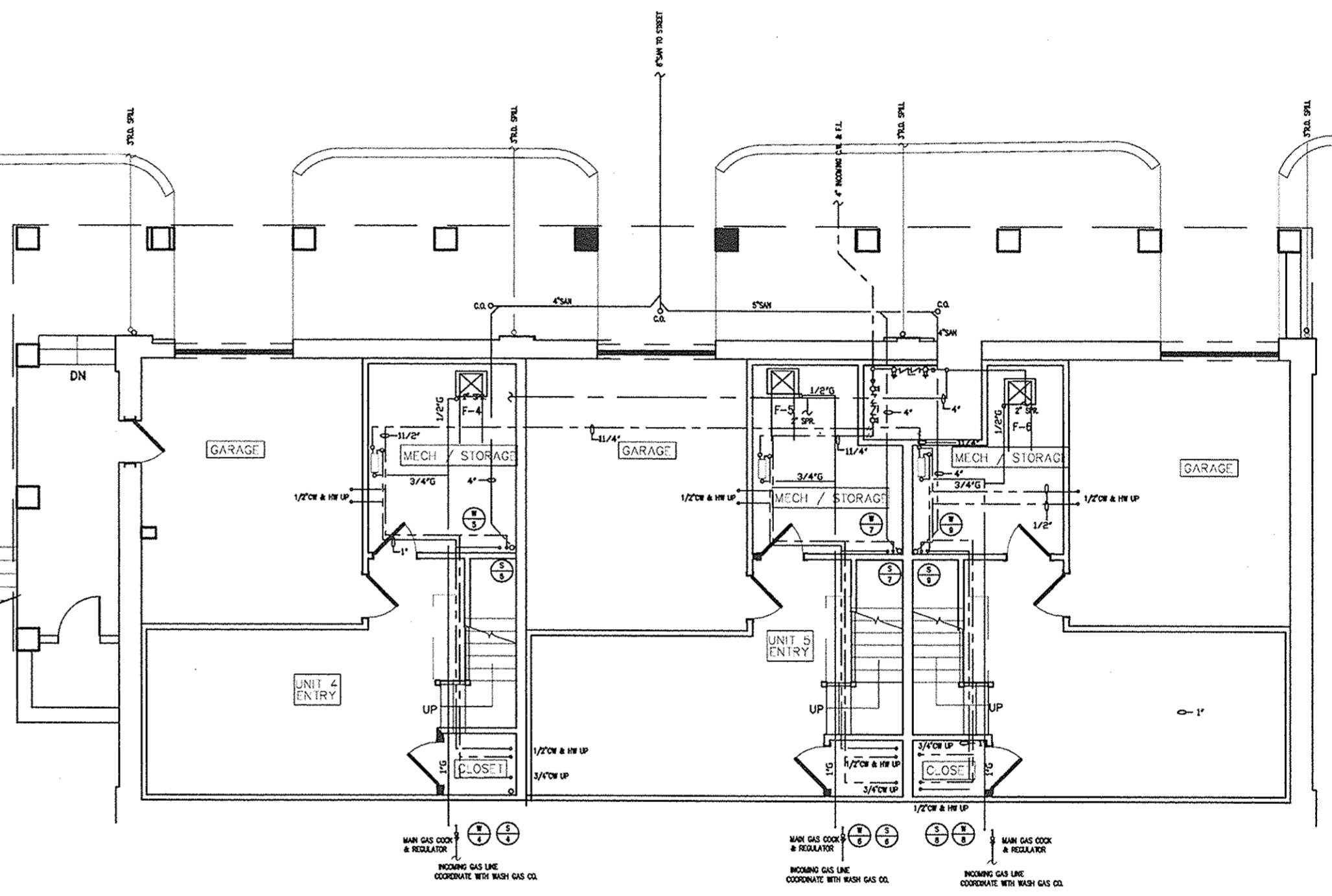


2-27-15

P-0



1 PLUMBING BASEMENT PLAN - CARPENTER SHOP
 P-1 SCALE: 1/8" = 1'-0"



2 PLUMBING BASEMENT PLAN - SERVANT QUARTERS
 P-1 SCALE: 1/8" = 1'-0"

APPROVED
 Historic Preservation Commission
 725206

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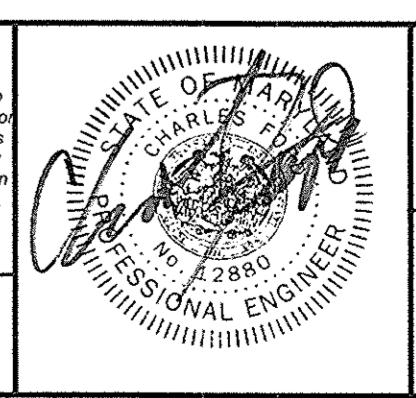
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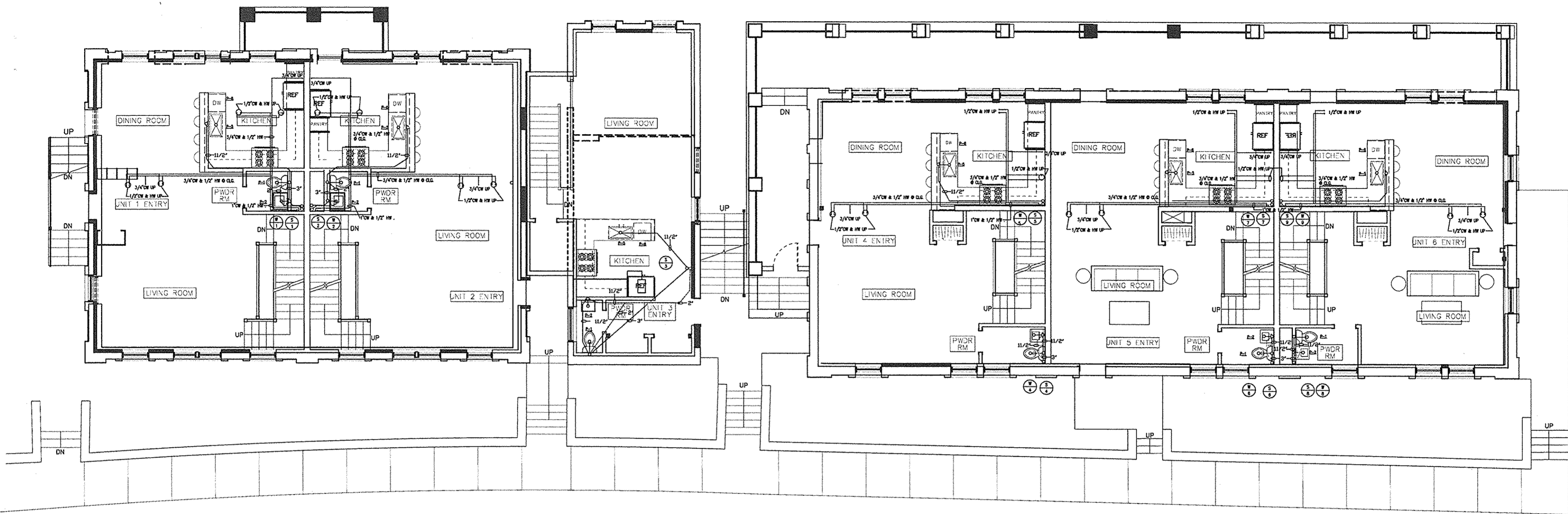
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PLUMBING BASEMENT PLAN



2-27-15
 P-1



1 PLUMBING 1ST FLOOR PROPOSED PLAN - CARPENTER SHOP
 P-2 SCALE: 1/8" = 1'-0"

2 PLUMBING 1ST FLOOR PROPOSED PLAN - SERVANT QUARTERS
 P-2 SCALE: 1/8" = 1'-0"

725206
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 Montgomery County
 Historic Preservation Commission
 W/h

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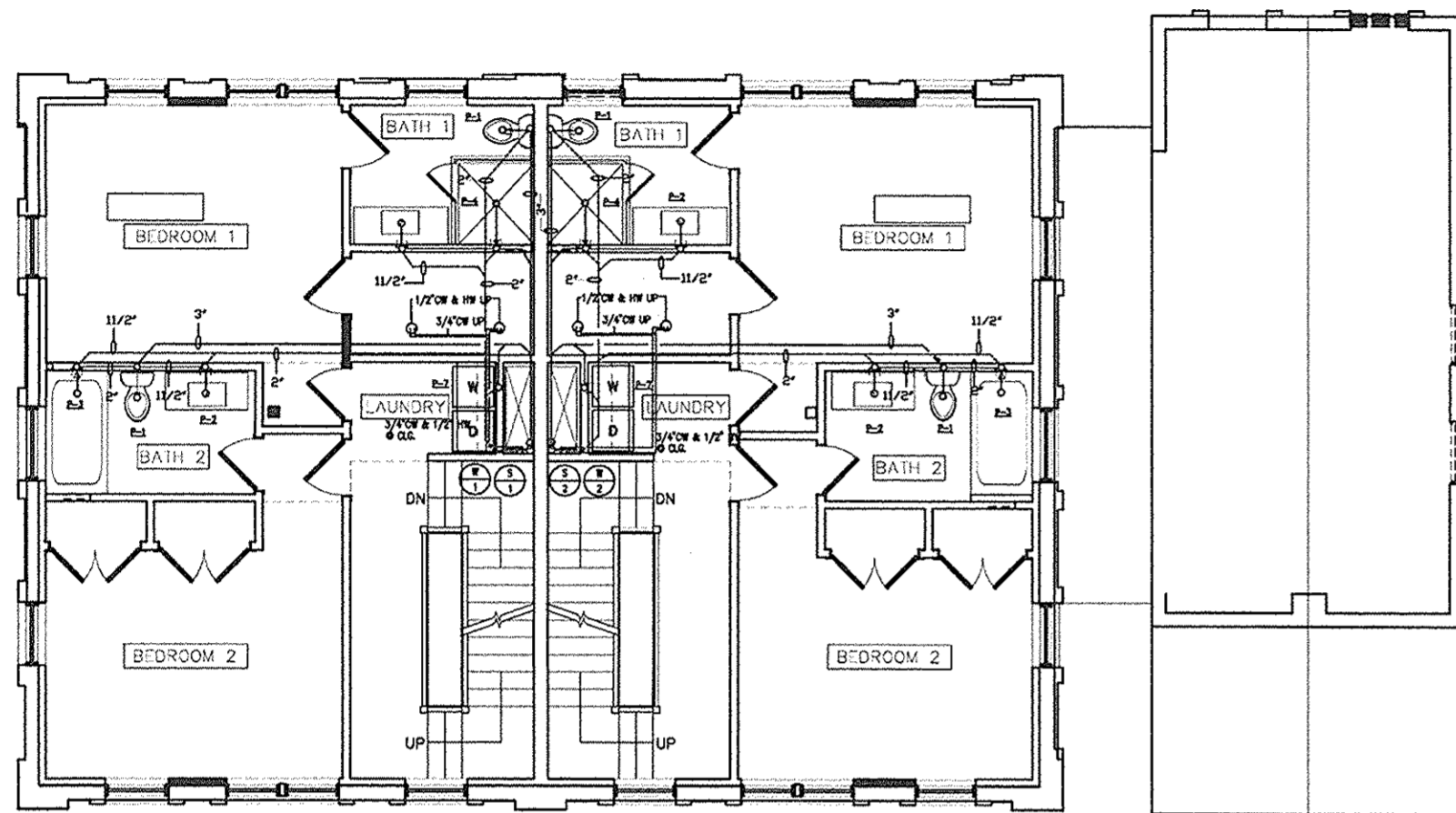
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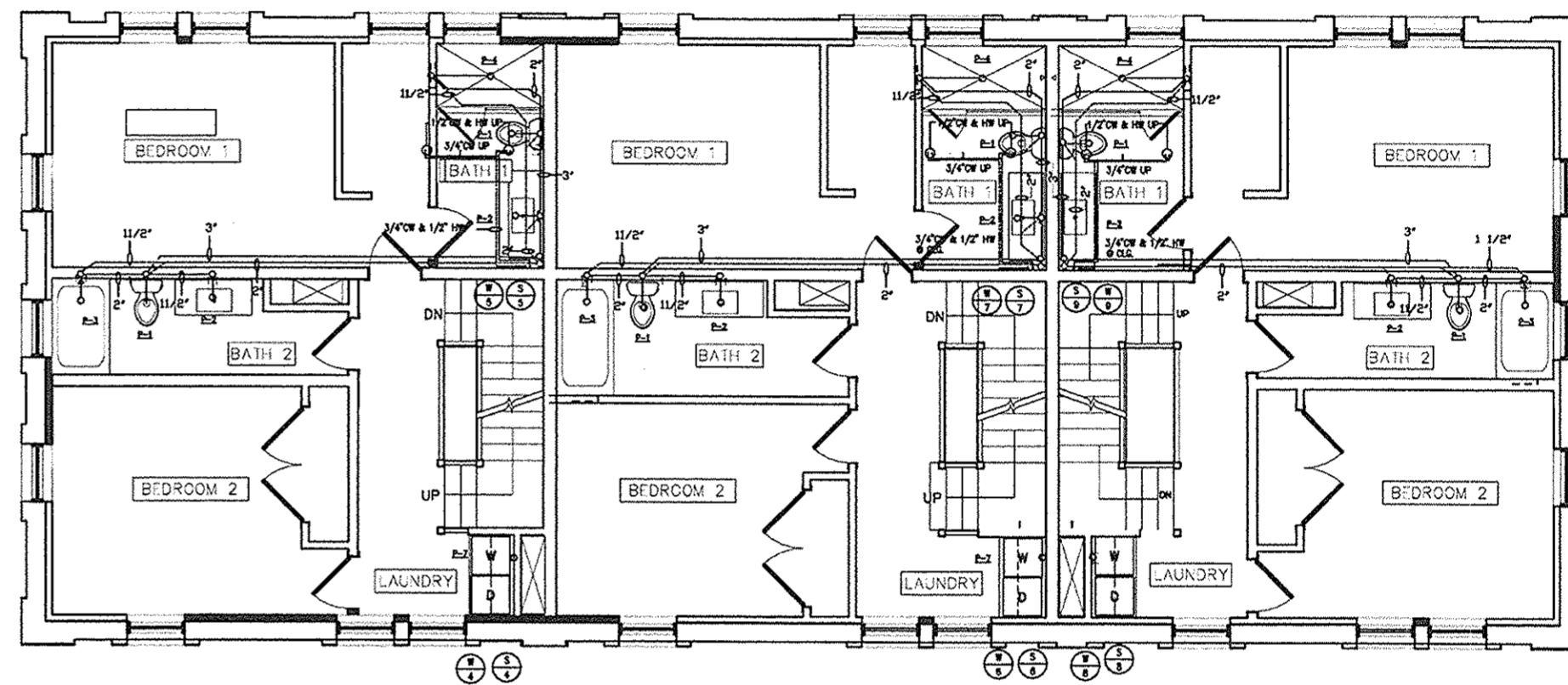


2-27-15
 P-2

PLUMBING 1ST FLOOR PLAN



1 2ND FLOOR PLUMBING PLAN - CARPENTER SHOP
P-3



2 2ND FLOOR PLUMBING PLAN - SERVANT QUARTERS
P-3

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Historic Preservation Commission
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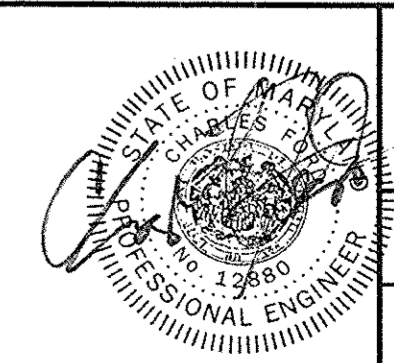
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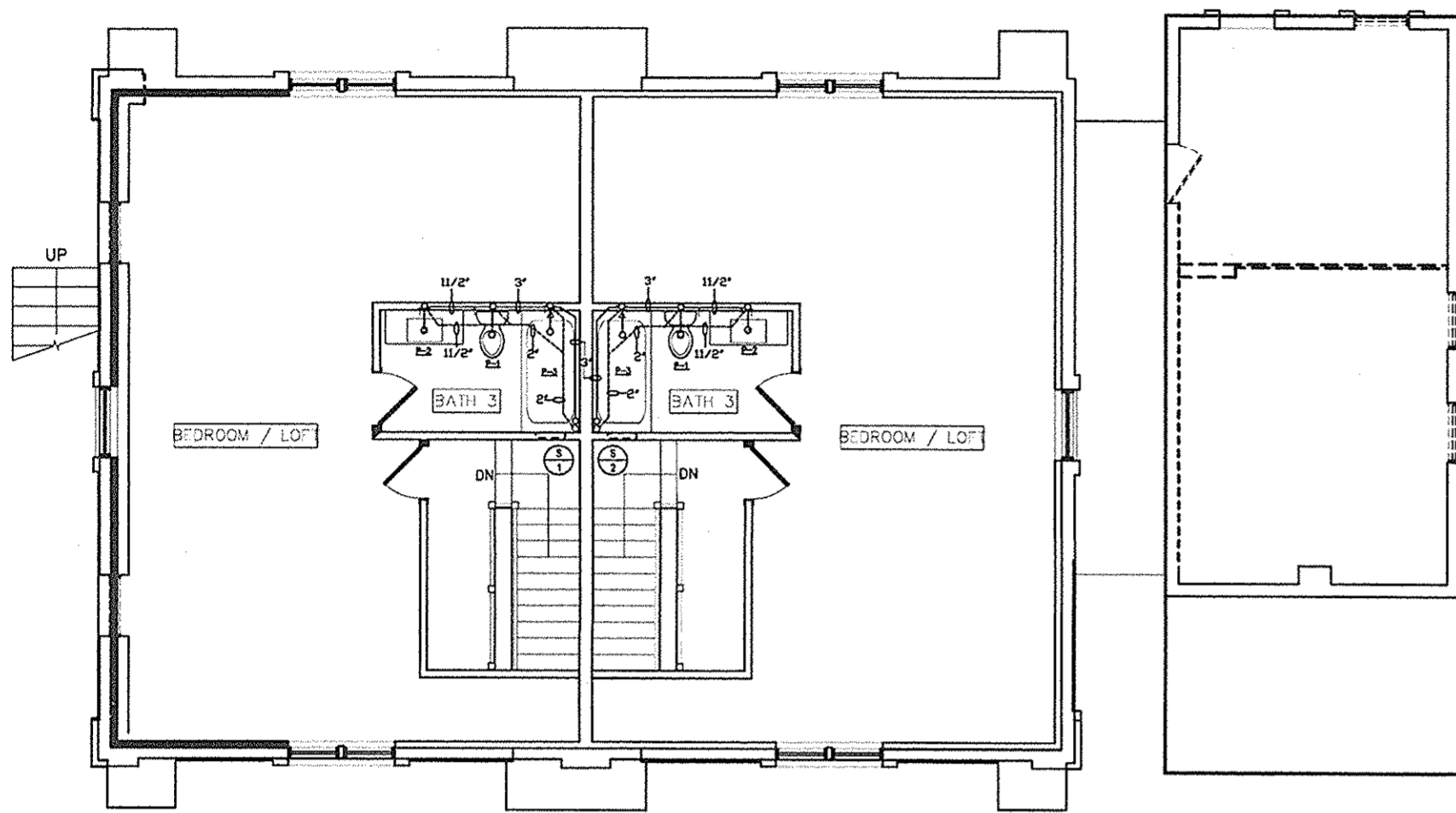
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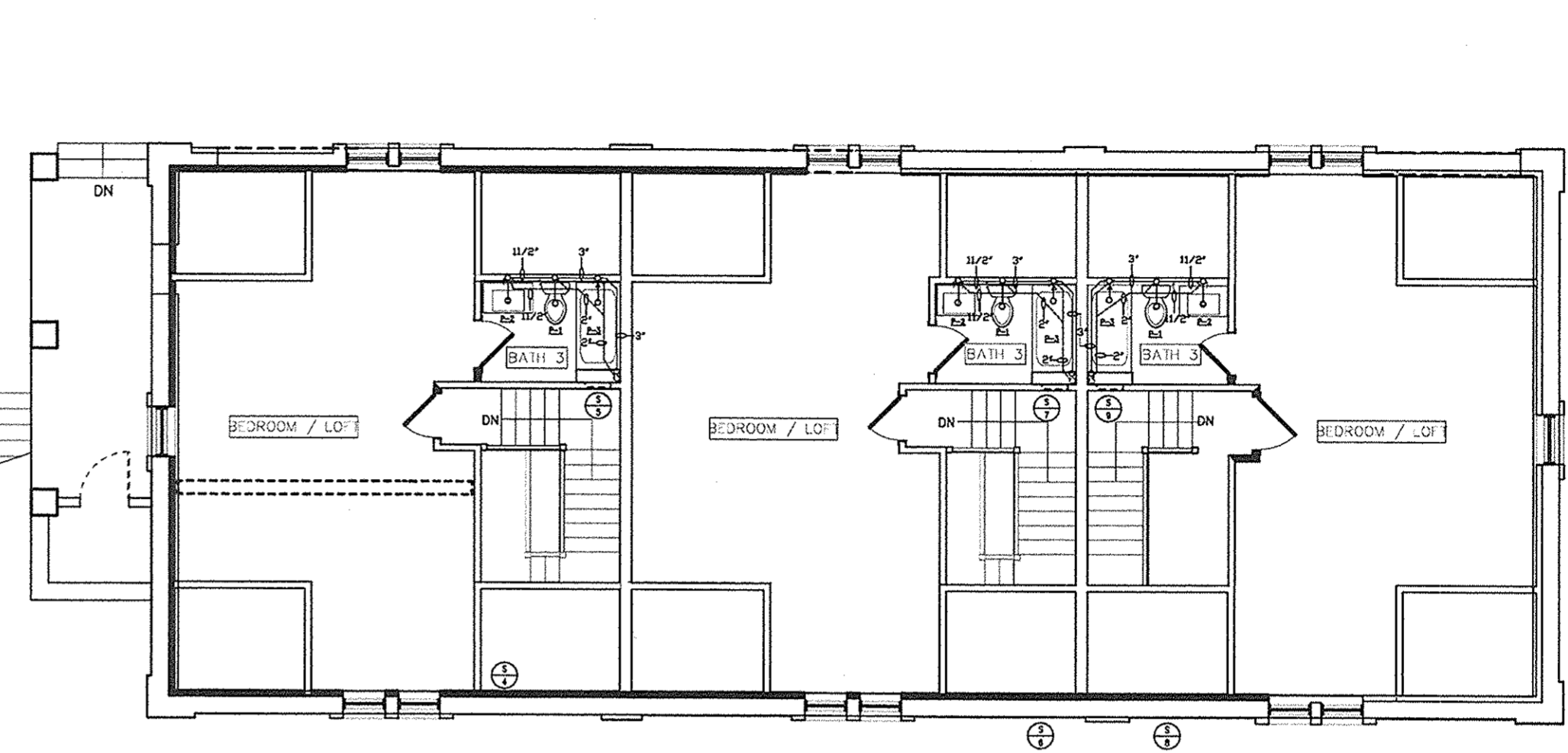


2-27-15
P-3

2ND FLOOR PROPOSED PLAN

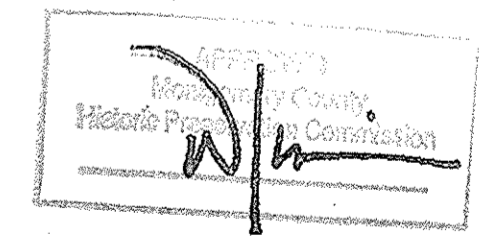


1 3RD FLOOR PLUMBING PLAN - CARPENTER SHOP
P-4



2 3RD FLOOR PLUMBING PLAN - SERVANT QUARTERS
P-4

7252-6



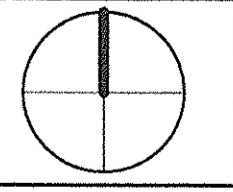
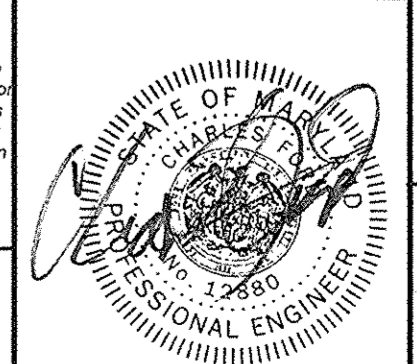
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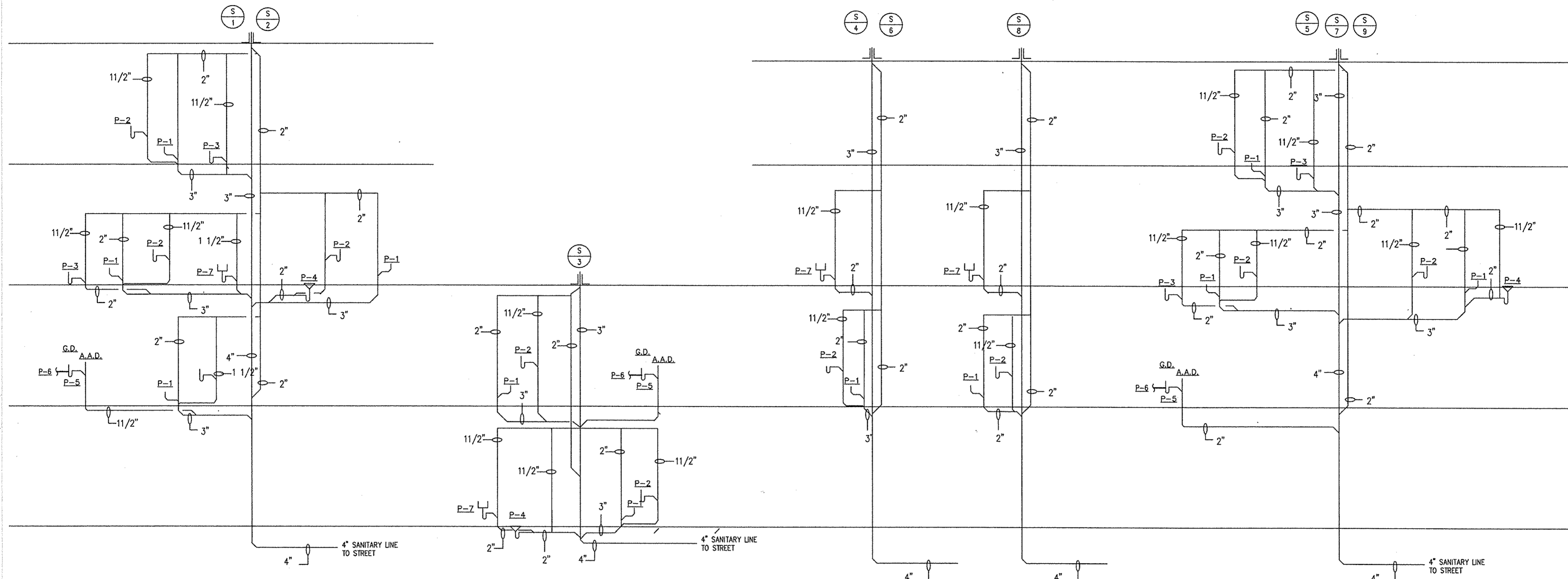
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2-27-15

P-4

3RD FLOOR PLUMBING PLAN



SANITARY RISER DIAGRAM
SCALE: NONE

725296



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PLUMBING SANITARY RISER

2-27-15
P-5

ROOF

3RD. FLR.

2ND FLOOR

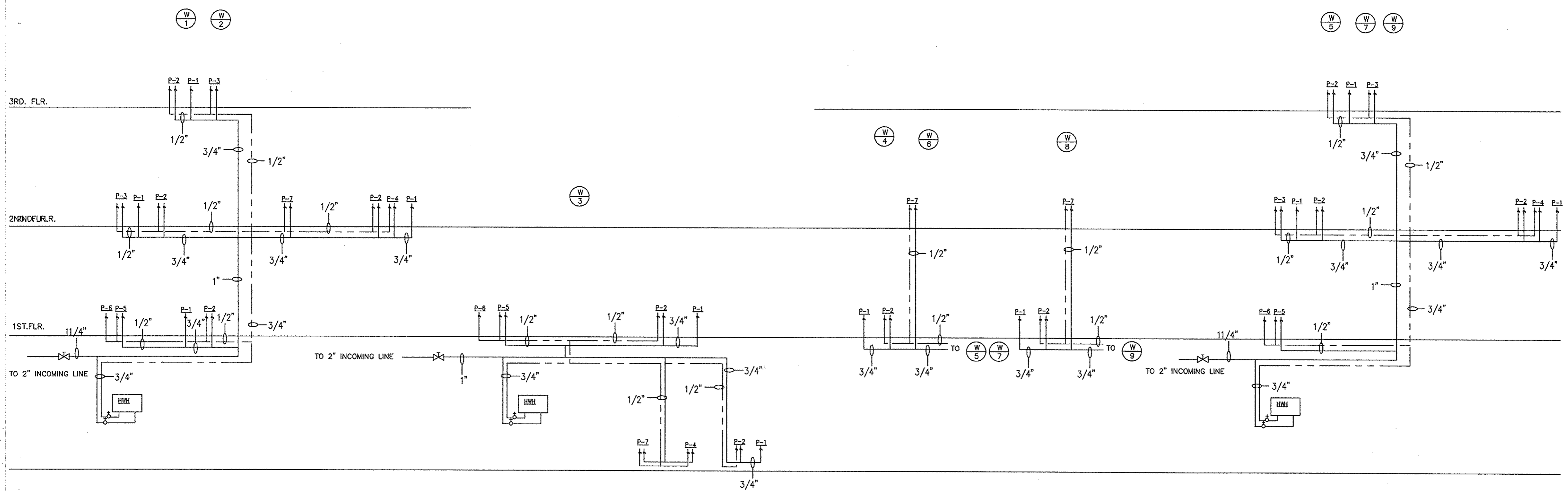
1ST.FLR.

TO 2" INCOMING LINE

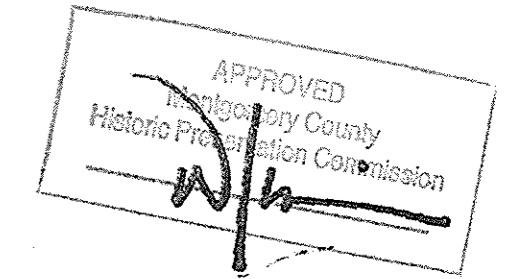
TO 2" INCOMING LINE

TO 2" INCOMING LINE

WATER RISER DIAGRAM ~ NOT TO SCALE ~



725236



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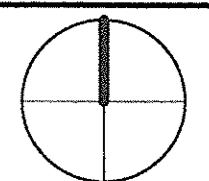
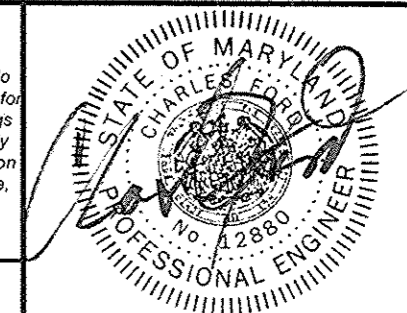
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P-6

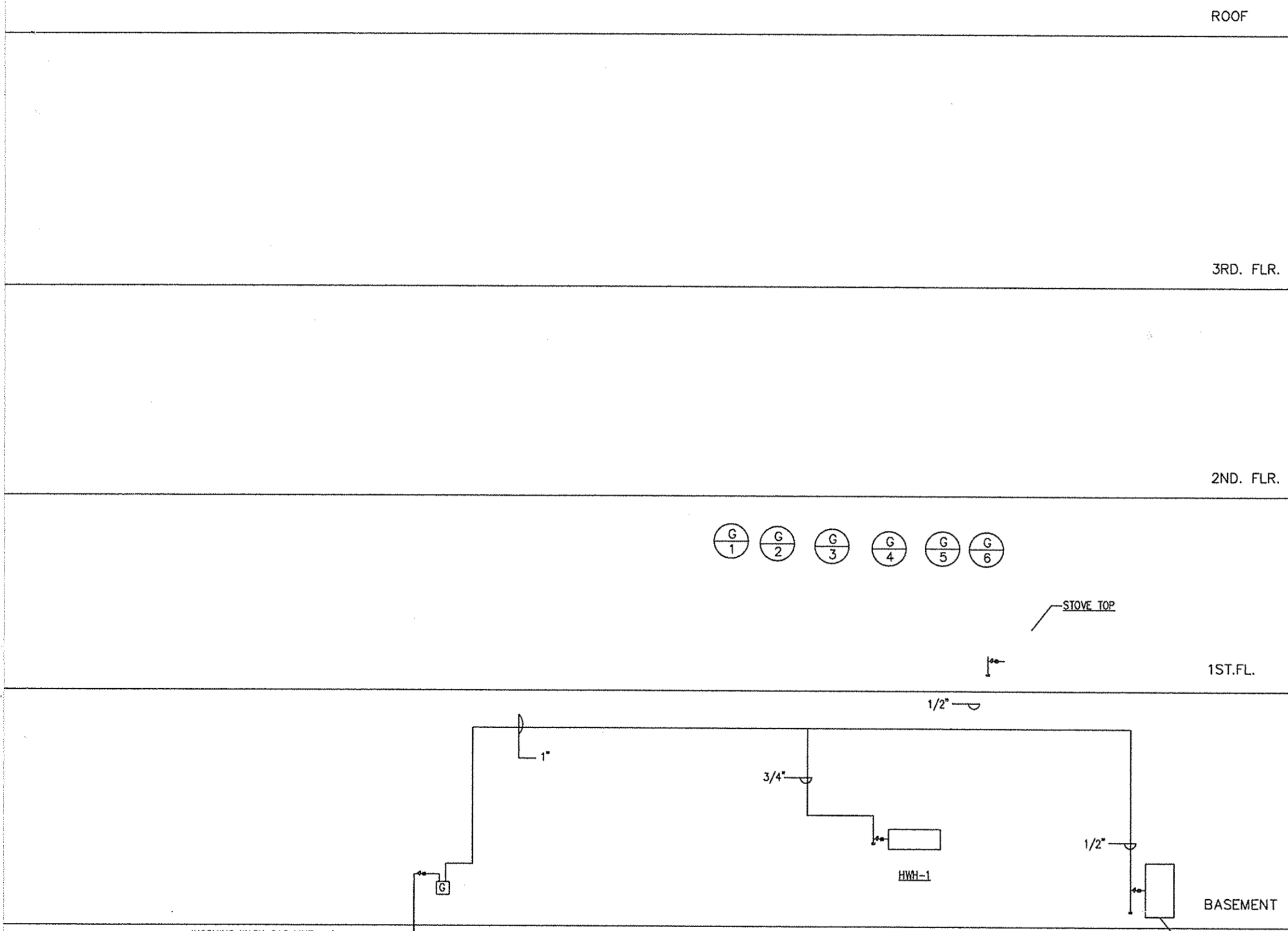
PLUMBING WATER RISER

PLUMBING ROUGH-IN SCHEDULE

NO.	FIXTURE	C.W.	H.W.	W.	V.	REMARKS
P- 1	WATER CLOSET	1/2"		3"		FLOOR MOUNTED, FLUSH TANK, BOTTOM OUTLET
P- 2	LAVATORY	1/2"	1/2"	1 1/2"	1 1/2"	COUNTERTOP
P- 3	BATHTUB/SHOWER	1/2"	1/2"	2"		
P- 4	SHOWER	1/2"	1/2"	2"		
P- 5	KITCHEN SINK	1/2"	1/2"	1 1/2"	1 1/2"	COUNTERTOP, WITH DISPOSER
P- 6	DISHWASHER		1/2"			SEE NOTE 1
P- 7	CLOTHES WASHER	1/2"	1/2"	2"	1 1/2"	SEE DETAIL THIS SHHET
P- 8	HOSE BIBB	1/2"				EXTERIOR, WITH VACUUM BREAKER

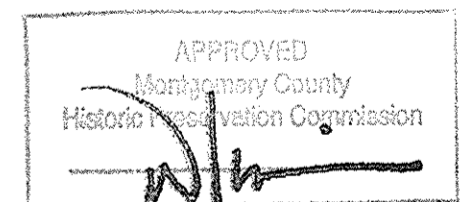
NOTES

- EXTEND 3/4" DISHWASHER DRAIN & CONNECT TO KITCHEN SINK DISPOSER, LOOP 3/4" DRAIN UP & SECURELY FASTEN TO UNDERSIDE OF COUNTERTOP.



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5. PIPING SHALL BE SUPPORTED IN ACCORDANCE WITH NFPA 13.
6. SPRINKLER HEADS SHALL BE RESIDENTIAL TYPE OR TYPE AS APPLICABLE.
7. CONTRACTOR SHALL PERFORMING FLOW TEST AT SITE AND BASE DESIGN ON TEST RESULTS.



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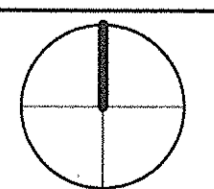
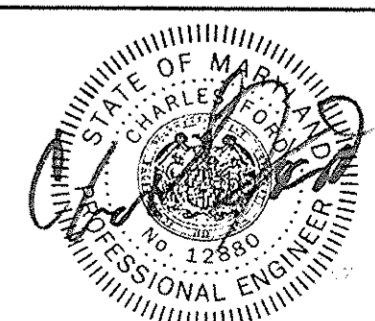
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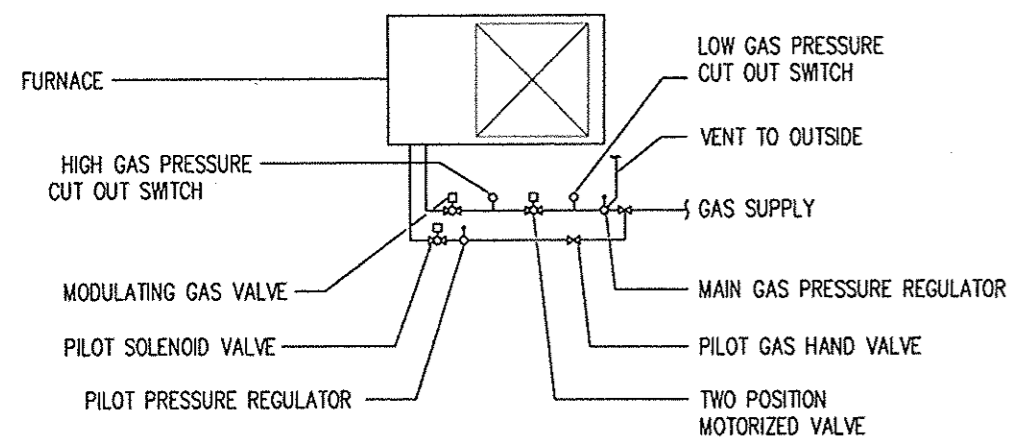
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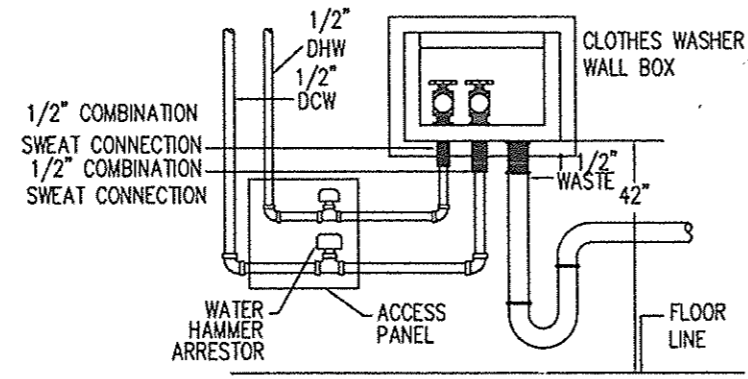
P-7

PLUMBING GAS RISER



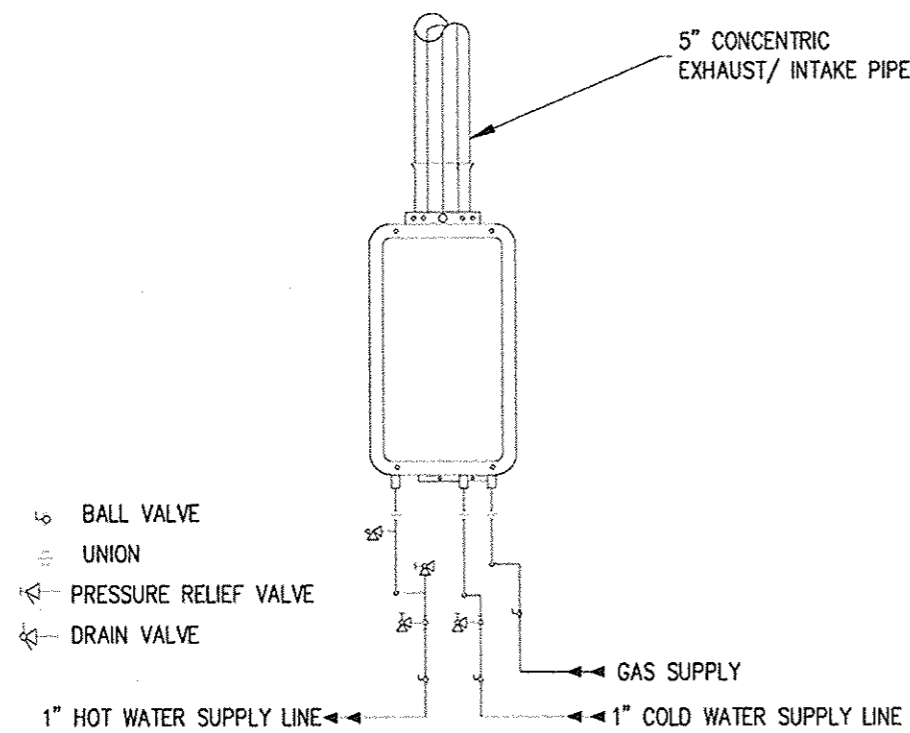
FURNACE GAS MANIFOLD DETAIL (TYP.)

NO SCALE



UTILITY WALL BOX FOR CLOTHES WASHER

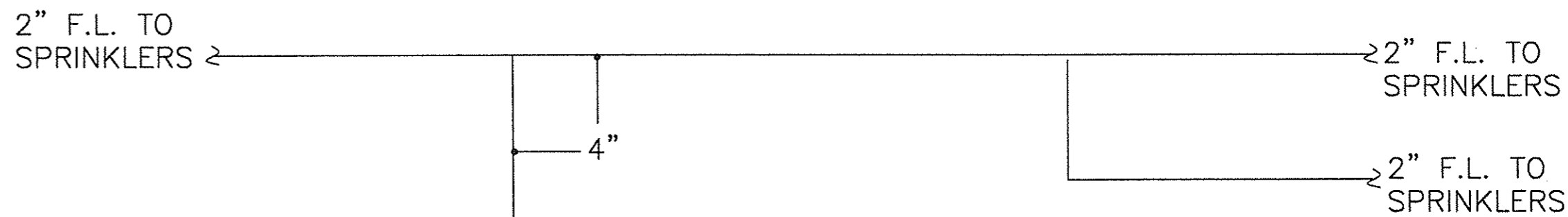
NO SCALE



TANKLESS GAS HWH DETAIL

SCALE: N.T.S.

NOTE:
 - USE RINNAI TANKLESS WATER MODEL V53I,
 5"-10"W.C. OR APPROVED EQUAL AS BASIS OF
 DESIGN.
 - HOT WATER CAPACITY
 0.6 TO 5.3 GPM AT 45F RISE
 - MINIMUM/MAXIMUM GAS RATE (INPUT BTUs)
 NATURAL GAS: 15,000-150,000 BTU
 - THERMAL EFFICIENCY
 NATURAL GAS: 84%



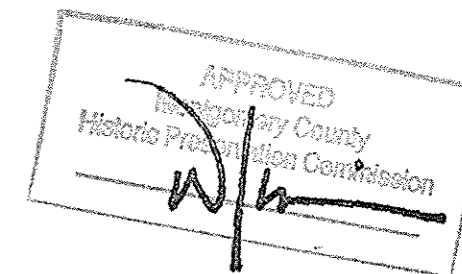
INCOMING WATER DETAIL

NTS

NOTE:
 THE DOMESTIC WATER BACKFLOW PREVENTOR
 DOUBLE CHECK VALVE ASSEMBLIES SHALL BE
 ASSE-1015 WATTS MODEL#007

THE SPRINKLER BACKFLOW PREVENTOR DOUBLE
 CHECK DETECTOR CHECK VALVE ASSEMBLIES SHALL
 BE AN AMES MODEL#3000 SS-ASSE1048.

725296



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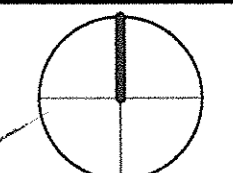
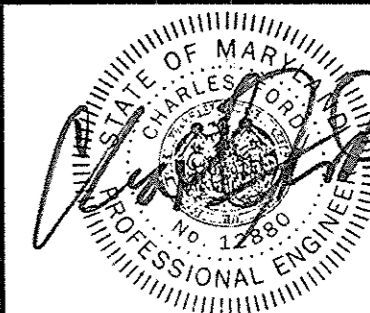
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P-8

PLUMBING DETAILS

ELECTRICAL SPECIFICATIONS

CONDUIT AND FITTINGS:

- A. ELECTRIC METAL TUBING (EMT):** ANSIC80.3.
1. FINISH: ZINC COATING INSIDE AND OUTSIDE.
 2. FITTINGS: CAST, COMPRESSION TYPE.
 3. MINIMUM SIZE: 3/4 IN.
 4. MAXIMUM SIZE: 2 IN.
 5. INSTALLATION: BRANCH CIRCUIT WIRING CONCEALED IN WALLS OR ABOVE SUSPENDED CEILINGS OR EXPOSED 4 FT. ABOVE FINISHED FLOOR.
- B. FLEXIBLE METAL CONDUIT:**
1. CONDUIT: GALVANIZED OR ZINC COATED ON INTERLOCKING STEEL GRIP TYPE, WITH EXTRUDED LIQUID TIGHT OUTER JACKET WHEN EXPOSED TO OUTSIDE WEATHER CONDITIONS.
 2. FITTINGS: CAST AND MACHINED, LIQUID-TIGHT.
 3. MINIMUM SIZE: 3/4 IN.
 4. INSTALLATION: 18 IN. MINIMUM LENGTH FINAL CONNECTION TO MOTORS AND DRY TYPE TRANSFORMERS.
- C. METAL CLAD CABLE, TYPE MC:**
1. UL 1569, METAL CLAD CABLE, TYPE MC CABLE.
 2. COPPER CONDUCTORS, WITH TYPE THHN INSULATION.
 3. NYLAR ASSEMBLY TYPE, WITH GALVANIZED STEEL ARMOR.
 4. OVERSIZED NEUTRAL CONDUCTOR 200% OF THE PHASE CONDUCTOR CAPACITY. STRANDED CONDUCTOR FOR LARGER THAN NO. 10AWG.
 5. INSULATED GROUNDING CONDUCTOR.
 6. MINIMUM CONDUCTOR SIZE, #12 AWG.

BOXES:

- A. GALVANIZED FORMED SHEET STEEL.**
- B. BRANCH CIRCUIT CONCEALED ABOVE SUSPENDED CEILINGS:** 4 IN. OCTAGONAL, 2-1/8 INCH DEEP.
- C. BRANCH CIRCUIT FLUSH WALL MOUNTED:** 4 INCH SQUARE 1 1/2 IN. DEEP
- D. BRANCH CIRCUIT EXPOSED:** 4 INCH SQUARE 1-1/2 INCH DEEP.
- E. PULL AND JUNCTION:** COMPLY WITH N.E.C. ARTICLE 370. PANELBOARDS (CUTLER HAMMER PDV-R-LINE-1A OR EQUAL)

A. CONSTRUCTION:

1. DEAD FRONT, INTERIORS FACTORY ASSEMBLED, HINGED DOORS WITH KEYS ALIKE CYLINDER LOCKS.
2. BOLT-ON MOLDED CASE, THERMAL-MAGNETIC, CIRCUIT BREAKERS, REPLACEABLE WITHOUT DISTURBING ADJACENT UNITS.
3. LUGS: MECHANICAL LUGS AND POWER-DISTRIBUTION CONNECTORS FOR NUMBER, SIZE AND MATERIAL OF CONDUCTORS INDICATED.
4. SHUT TRIP, WHERE INDICATED.
5. BUS HARD DRAWN COPPER OF 98 PERCENT CONDUCTIVITY.

B. INSTALLATION:

1. INDOOR LOCATION: NEMA PBI, TYPE 1.

CONDUCTORS:

- A. 600 VOLT BUILDING WIRE:**
1. THERMOPLASTIC INSULATED COPPER, COMPLY WITH NEMA VC 3.
 2. STRANDED SOLID CONDUCTOR FOR NO.10 AWG AND SMALLER; STRANDED CONDUCTOR FOR LARGER THAN NO. 10 AWG.
 3. COLOR CODED.
 4. NO. 12 AWG MINIMUM SIZE, EXCEPT CONTROL CIRCUIT WIRING MAY BE NO. 14 AWG MINIMUM SIZE.

- B. CONNECTORS AND SPLICES:** UL-LISTED, FACTORY-FABRICATED WIRING CONNECTORS OF SIZE, CAPACITY RATING, MATERIAL, TYPE, AND CLASS FOR APPLICATION AND SERVICE INDICATED.

DISCONNECT SWITCHED: CUTLER-HAMMER TYPE DH SERIES OR EQUIVALENT.

- A. CONSTRUCTION:** QUICK MAKE-QUICK BREAK OPERATING MECHANISM.
- B. ENCLOSED, NONFUSIBLE SWITCH:** NEMA KS 1, TYPE HD, WITH LOCKABLE.
- C. ENCLOSED:** NEMA KS 1, TYPE I, UNLESS OTHERWISE SPECIFIED OR REQUIRED TO MEET ENVIRONMENTAL CONDITIONS OF INSTALLED LOCATION.
1. OUTDOOR LOCATIONS TYPE 3R.

WIRING DEVICES: COMPLY WITH NEMA VDI

A. RECEPTACLES:

1. STRAIGHT-BLADE AND LOCKING RECEPTACLES: HEAVY-DUTY GRADE.
2. GFCI RECEPTACLES: FEED-THROUGH TYPE, WITH INTEGRAL NEMA 5-6, CONNECTED DOWNS STREAM RECEPTACLES ON SAME CIRCUIT. DESIGN UNITS FOR INSTALLATION IN A 2-3/4 INCH DEEP OUTLET BOX WITHOUT AN ADAPTER.
3. DESIGNATED CIRCUITS PROVIDE ORANGE FINISH.

B. LIGHTING SWITCHES:

1. SNAP SWITCHES: HEAVY-DUTY, QUITE TYPE.
2. DIMMER SWITCHES: MODULAR, FULL-WAVE, SOLID-STATE UNITS WITH INTEGRAL, QUITE ON/OFF SWITCHES AND AUDIOBLE AND ELECTROMAGNETIC NOISE FILTERS.
 - A. CONTROL:** CONTINUOUSLY ADJUSTABLE SLIDE, SINGLE-POLE OR THREE-WAY SWITCH TO SUIT CONNECTIONS.
 - B. INCANDESCENT LAMP DIMMERS:** MODULAR, 120 V, 60 HZ WITH CONTINUOUSLY ADJUSTABLE SLIDE KNOB, ON/OFF PRESET TOGGLE SWITCH, SINGLE-POLE WITH SOFT TAP SWITCH, ELECTROMAGNETIC FILTER TO ELIMINATE NOISE, RE, AND TV INTERFERENCE, AND WIRE CONNECTING LEADS.
- C. COVERS:**
 1. FLUSH MOUNTED: 0.040 IN THICK, TYPE 302 STAINLESS STEEL, SATIN FINISH.
 2. SURFACE MOUNTED: GALVANIZED FORMED SHEET STEEL.

GENERAL ELECTRICAL NOTES

- SCOPE OF WORK:** SHALL INCLUDE FURNISHING AND INSTALLING FIRST CLASS WORKING SYSTEMS, TESTED READY FOR OPERATIONS, COMPLETE WITH LABOR, MATERIALS, APPARATUS, TRANSPORTATION AND TOOLS REQUIRED FOR THE INSTALLATION IN CONFORMANCE WITH DRAWINGS AND SPECIFICATIONS.
- CODES:** COMPLY WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE, LOCAL ELECTRICAL CODES, UTILITY COMPANY'S REQUIREMENTS AND ORDINANCES AND ALL APPLICABLE ADA STANDARDS REQUIREMENTS. ALL DEVICES AND MATERIALS NOT SHOWN ON DRAWINGS BUT REQUIRED BY CODE SHALL BE PROVIDED AND INSTALLED BY CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. IN THE EVENT OF A CONFLICT THE MOST STRINGENT SHALL GOVERN. SHOULD A CONFLICT ARISE BETWEEN CONSTRUCTION DOCUMENTS AND APPLICABLE CODES, WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE ENFORCING CODE AUTHORITIES.
- PERMITS:** SECURE AND PAY FOR ALL REQUIRED PERMITS AND INSPECTIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- TEMPORARY WIRING:** CONTRACTOR SHALL FURNISH AND INSTALL ALL TEMPORARY WIRING FOR HANDHELD TOOLS AND CONSTRUCTION LIGHTING PER LATEST OSHA STANDARDS AND ARTICLE 527, NEC, AND INCLUDE ALL COSTS IN BASE BID.
- CUTTING AND PATCHING:** CUT AND PATCH EXISTING STRUCTURE AS REQUIRED. PROVIDE U.L. LISTED FIRE STOP METHODS FOR PENETRATIONS OF FIRE-RATED BUILDING COMPONENTS OR BARRIERS IN ACCORDANCE WITH BOCA, NEC AND NFPA CODES. WATERPROOF OUTDOOR PENETRATIONS.
- MATERIALS:** ALL MATERIALS SHALL BE NEW AND SHALL BE LISTED AND BEAR THE APPROPRIATE LABEL OF UNDERWRITERS LABORATORIES, INC., OR ANOTHER NATIONALLY RECOGNIZED TESTING LABORATORY FOR THE SPECIFIC PURPOSE. THE MATERIAL SHALL BE OF THE SIZE AND TYPE SPECIFIED ON THE DRAWINGS AND/OR IN THE SPECIFICATIONS.
- LOAD BALANCING:** CONTRACTOR SHALL CONNECT ALL LOADS, BRANCH CIRCUITS, AND FEEDERS PER PANEL SCHEDULE, BUT SHALL VERIFY AND MODIFY THESE CONNECTIONS AS REQUIRED TO BALANCE CONNECTED AND COMPUTED LOADS TO WITHIN 20% VARIATION.
- DRAWINGS:** THE CONTRACTOR SHALL MAINTAIN ON SITE ONE SET OF UP-TO-DATE ELECTRICAL DRAWINGS AND MARKUP AS-BUILT RECORDS WHERE REQUIRED ON THESE DRAWINGS. THESE SHALL BE TURNED OVER TO THE OWNER AT THE END OF THE PROJECT.
- SPLICE BOXES:** JUNCTION BOXES AND PULL BOXES SHALL BE INSTALLED WHEREVER REQUIRED FOR A COMPLETE INSTALLATION OF THE ELECTRICAL WORK AND SHALL BE SIZED PER NEC. DO NOT INSTALL BACK-TO-BACK JUNCTION BOXES ON ANY PARTITION UNLESS OTHERWISE NOTED.
- WIRING METHOD:**
 - (a) WIRING, UNLESS OTHERWISE SPECIFIED, SHALL BE NONMETALLIC-SHEATHED(NM), ARMORED(AC), METAL-CLAD(MC) AND OR "BX" CABLE AS PERMITTED BY CODE, ADEQUATELY SIZED AND INSTALLED ACCORDING TO THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE AND LOCAL ORDINANCES. WIRE SIZES ARE FOR 75° C THW COPPER, UNLESS OTHERWISE NOTED. MINIMUM WIRE SIZE SHALL BE #12 AWG.
 - (b) CONDUCTORS SHALL BE SOLID UP THROUGH #10 AWG.
 - (c) ALUMINUM SHALL NOT BE USED EXCEPT WHERE IT IS SPECIFICALLY DESIGNATED FOR FEEDERS ON DRAWINGS.
 - (d) PANELBOARD FEEDERS SHALL BE THW OR THWN WITHIN CONDUITS.
 - (e) CONDUITS SHALL BE METALLIC STEEL, PER CODE, MINIMUM SIZE 3/4 INCH WITH LARGER SIZES AS INDICATED OR REQUIRED BY N.E.C. CONDUITS SHALL BE RUN CONCEALED ABOVE CEILINGS, IN WALLS AND IN OR BELOW FLOORS. EXPOSED CONDUITS SHALL BE RUN PARALLEL AND PERPENDICULAR TO BUILDING CONSTRUCTION. FINISH SHALL MATCH EXPOSED SURFACES.
 - (f) EQUIPMENT CONNECTIONS SHALL BE FLEXIBLE METALLIC RACEWAY INDOORS OR FLEXIBLE LIQUIDTIGHT RACEWAY OUTDOORS OR IN DAMP LOCATIONS. BRANCH CIRCUIT WIRING WITHIN WALLS OR DROPS TO LIGHT FIXTURES, MAY BE MC OR AC CABLE, AS PERMITTED BY CODE.
- GROUNDING AND BONDING:**
 - (a) PROVIDE GROUNDING IN ACCORDANCE WITH NEC 250. AS A MINIMUM INCLUDE (2) 5/8" DIA. x 8'-0" COPPER CLAD STEEL GROUND RODS, BONDED TO BUILDING STEEL FRAME AND TO WATER MAIN AHEAD OF METER. BONDING SHALL BE VIA #1/0 COPPER CONDUCTORS TO BUILDING STEEL AND WATER MAIN AT ENTRANCE TO BUILDING AND #6 COPPER CONDUCTORS TO GROUND RODS.
 - (b) FEEDERS, BRANCH CIRCUITS, CABLE ASSEMBLIES, AND OTHER WIRING SYSTEMS SHALL HAVE A GREEN INSULATED GROUND WIRE.
- PANELBOARDS:** ALL PANELBOARDS SHALL BE FURNISHED WITH TYPED-CARD DIRECTORIES WITH PROPER DESIGNATION OF THE BRANCH-CIRCUIT LOADS, FEEDER LOADS AND EQUIPMENT SERVED. THE DIRECTORIES SHALL BE LOCATED IN THE PANEL IN A HOLDER FOR CLEAR VIEWING. CONTRACTOR TO PROVIDE LOCKABLE BREAKERS FOR NITE/EMERG/EXIT BRANCH CIRCUITS AS INDICATED.
- EQUIPMENT INSTALLATION:**
 - (a) CONSULT WITH OTHER CONTRACTORS FURNISHING EQUIPMENT TO VERIFY LOADS AND SECURE LOCATION OF OUTLETS, JUNCTION BOXES, ETC.
 - (b) MAJOR ITEMS OF EQUIPMENT AND COMPONENTS SHALL BE PROVIDED WITH AN IDENTIFICATION NAMEPLATE AS REQUIRED.
 - (c) INSTALL EQUIPMENT IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND CONDITION FOR WARRANTY AND GUARANTEE. PROVIDE ALL ACCESSORIES REQUIRED FOR A COMPLETE AND SATISFACTORY INSTALLATION READY FOR CONTINUOUS USE.
 - (d) COORDINATE ELECTRICAL CHARACTERISTICS AND CIRCUIT PROTECTION REQUIREMENTS OF EQUIPMENT SUPPLIED, REGARDLESS OF TRADE, PRIOR TO ROUGH-IN. VERIFY HORSEPOWER AND NAMEPLATE RATINGS OF EQUIPMENT AND COORDINATE CIRCUIT CHARACTERISTICS TO PROVIDE CODE CONFORMANCE.
- TELEPHONE/DATA OUTLETS:**
 - (a) PROVIDE PLASTER RING FOR RECESSED MOUNTED 4"x4" JUNCTION BOX WITH TWO PULL STRINGS IN 3/4" CONDUIT TO CEILING PLENUM FOR TELE/DATA FEEDS BY OTHERS.
 - (b) PROVIDE TELEPHONE LINE FOR THE ELEVATOR CAR.
- FINAL CLEAN-UP:** UPON COMPLETION OF INSTALLATION, CONTRACTOR SHALL REVIEW AND CHECK THE ENTIRE INSTALLATION, CLEAN EQUIPMENT AND DEVICES, REMOVE SURPLUS MATERIALS AND RUBBISH FROM OWNER'S PROPERTY, LEAVING WORK IN NEAT AND CLEAN ORDER AND IN COMPLETE WORKING CONDITION.
- GUARANTEE OF INSTALLATION:** CONTRACTOR SHALL GUARANTEE ALL WORK AND MATERIALS FOR A PERIOD OF ONE FULL YEAR AFTER FINAL ACCEPTANCE BY THE ARCHITECT/ENGINEER, ELECTRICAL INSPECTOR AND THE SCHOOL AUTHORITY, UNLESS SPECIFIED OTHERWISE IN THE GENERAL CONDITIONS. CONTRACTOR SHALL REPLACE, REPAIR, OR ADJUST ANY ITEM OR WORKMANSHIP FOUND TO BE UNACCEPTABLE. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES CAUSED BY OR RESULTING FROM DEFECTS IN WORKMANSHIP.

ELECTRICAL SYMBOL LEGEND

- \$ - SINGLE POLE TOGGLE SWITCH, 48" A.F.F.
- ⚡ - THREE WAY SWITCH, 48" A.F.F.
- ⊕ - DUPLEX RECEPTACLE OUTLET, NEMA 5-20R, 18" A.F.F.
- ⊕⊕ - DUPLEX RECEPTACLE OUTLET W/GROUND FAULT INTERRUPTER, NEMA 5-20R, 44" A.F.F.
- ⊕⊕⊕ - DUPLEX RECEPTACLE OUTLET W/GROUND FAULT INTERRUPTER & WEATHERPROOF, NEMA 5-20R
- ▽ - TELEPHONE OUTLET, 18" A.F.F. - 3/4" CONDUIT STUBBED INTO CEILING W/INSULATED BUSHING.
- ⚡ - DATA OUTLET, 18" A.F.F. PROVIDE JUNCTION BOX AND 1" CONDUIT TO CEILING SPACE. TERMINATE DROPS AT BOTH ENDS FOR WORK BY OTHERS.
- ⊕ - JUNCTION BOX
- ⊕⊕ - EXHAUST FAN CONNECTION
- ⊕⊕⊕ - FUSED SAFETY SWITCH
- ⚡ - BRANCH CIRCUIT HOMERUN TO PANELBOARD, NUMBER OF ARROWS INDICATES NUMBER OF CIRCUITS. FULL SLASHES INDICATE UNGROUNDED "HOT" CONDUCTORS. HALF SLASHES INDICATE GROUNDED NEUTRAL CONDUCTOR(S). DOT INDICATES EQUIPMENT GROUNDING CONDUCTOR.
- ⚡ - BRANCH CIRCUIT WIRING CONCEALED IN WALLS OR CEILING. NO SLASHES INDICATE ONE "HOT", ONE NEUTRAL AND EQUIPMENT GROUNDING CONDUCTORS.
- ⚡ - EMERGENCY BRANCH CIRCUIT WIRING. NO SLASHES INDICATE ONE "HOT", ONE NEUTRAL AND EQUIPMENT GROUNDING CONDUCTORS.
- ⊕ - PANELBOARD, AS NOTED, MOUNT AT 6'-6" A.F.F. TO TOP

FIRE ALARM SYMBOL LEGEND

- ⊕ - FIRE ALARM GONG
- ⊕ - ELEVATOR RECALL SMOKE DETECTOR
- ⊕ - MANUAL PULL STATION - 48" A.F.F.
- ⊕ - FIRE ALARM BELL-80" A.F.F.
- ⊕ - DUCT SMOKE DETECTOR (HVAC DUCT MTD.)
- ⊕ - SMOKE DETECTOR (CEILING MTD.)
- ⊕ - HEAT DETECTOR (CEILING MTD.)
- ⊕ - OSY TAMPER SWITCH
- ⊕ - VISUAL STROBE-80" A.F.F.
- ⊕ - HORN-STROBE-80" A.F.F.
- ANNUN - FIRE ALARM ANNUNCIATOR
- F.A.C.P. - FIRE ALARM CONTROL PANEL
- ⊕ - BUZZER
- ⊕ - INTERCOM CALLBACK OUTLET
- ⊕ - JUNCTION BOX (PROVIDE 3/4" EMPTY CONDUIT UP TO CEILING SPACE FOR C.C.T.V. CAMERA)
- ⊕ - C.C.T.V. CAMERA
- ⊕ - INTRUSION ALARM CONTROLLER

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INSPECTION AND APPROVAL

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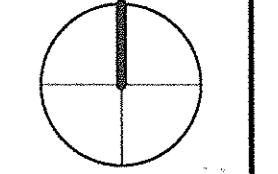
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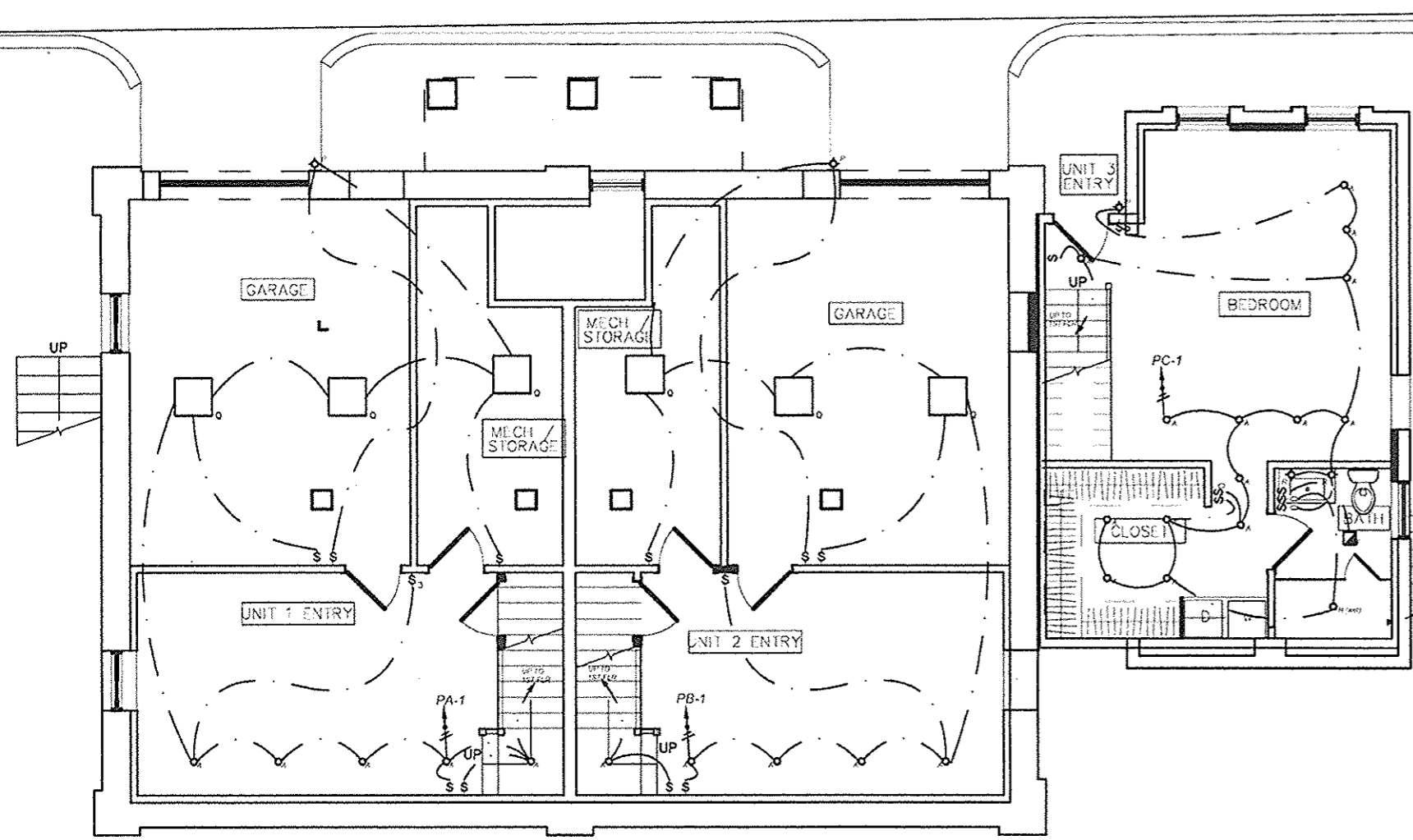
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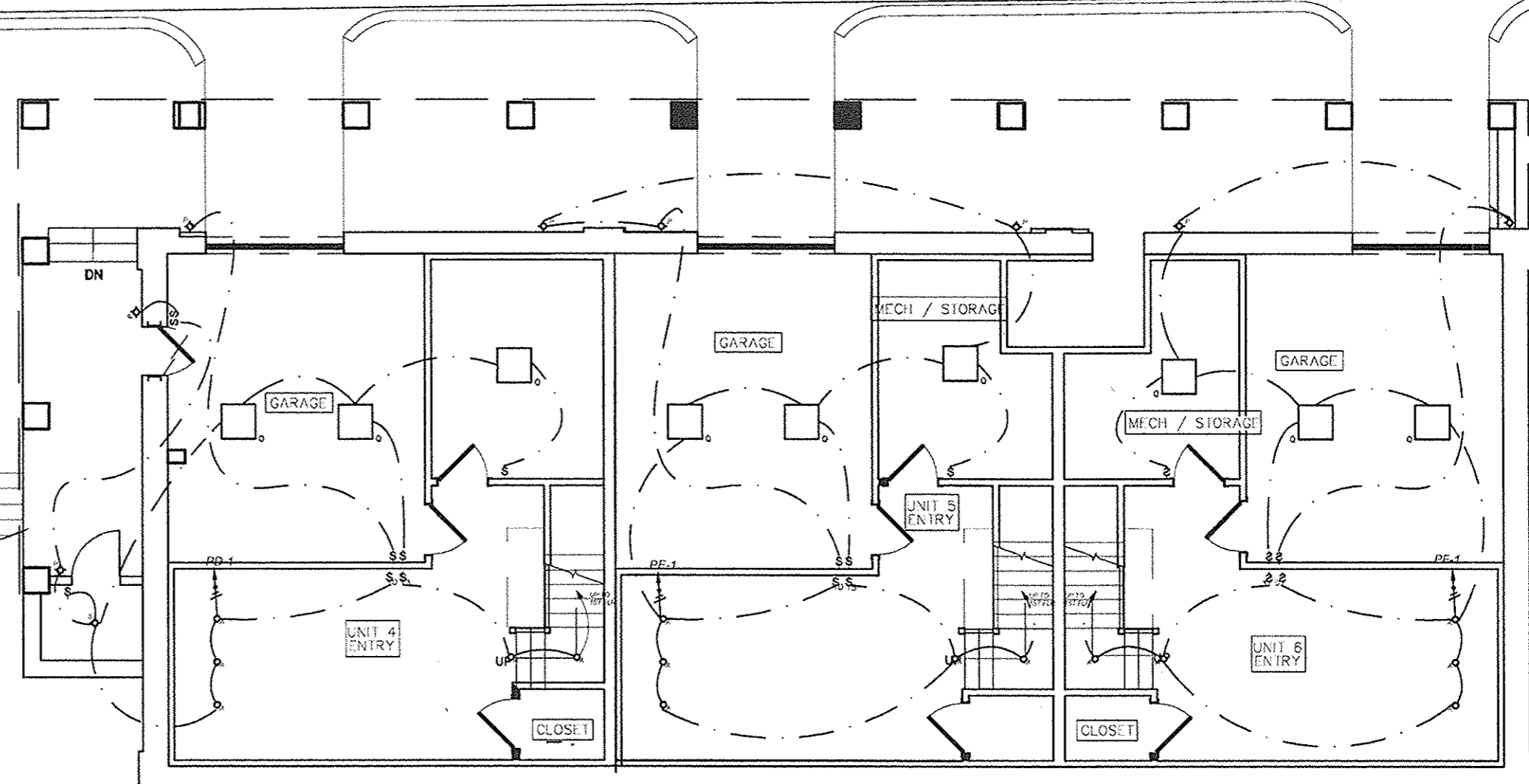
ELECTRICAL GENERAL NOTES & LEGENDS

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1 ELECTRICAL BASEMENT LIGHT PLAN -- CARPENTER SHOP
E-1.1 SCALE: 1/8" = 1'-0"



2 ELECTRICAL BASEMENT LIGHT PLAN -- SERVANT QUARTERS
E-1.1 SCALE: 1/8" = 1'-0"

NO.	MODEL	MANUFACTURER	LAMP	WIRE	DESCRIPTION
F1	LED DOWNLIGHT	TRULIGN	LED	---	FOR PLUMBING ADJUSTABLE TO WALL, WHITE
F2	DOWNLIGHT	TRULIGN	LED	100	FOR 4'-4" x 4'-4" PLUMBING PLATE, WHITE, ROUND HOUSING
F3	CLOSET LIGHT	TRULIGN	FLUO	---	HOUSING-10 8'-24" COMPACT FLUORESCENT
F4	PENDANT LIGHT	---	LED	---	---
F5	WALL WIPER	TRULIGN	LED	40	TRAC-HAL-LED/SLK
F6	LINEAR VOLTAGE LIGHT	---	FLUO	---	SURFACE MOUNT
F7	EXTERIOR DOWNLIGHT	TRULIGN	LED	100	TRAC-LED BRACKET ALUM 1/2" HOUSING
F8	WALL SINK	TRULIGN	LED	120	FOR BRACKET-LED WALL SINKED 2075LM
F9	UNDERCABINET LIGHT	---	LED	---	---
F10	WAXY LIGHT	---	TR-HE	300	TRAC-HE-1/2" x 1/2" x 1/2" x 1/2" x 1/2" x 1/2"
F11	EXHAUST FAN STANDARD	ALFONE	---	---	100 CFM EXHAUST FAN, WHITE PAINT, 20" DIA.

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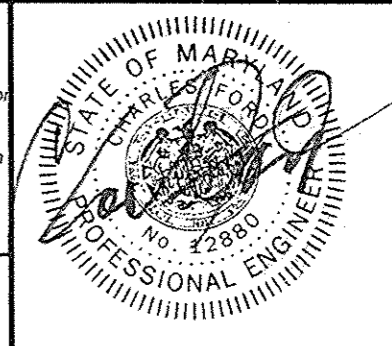
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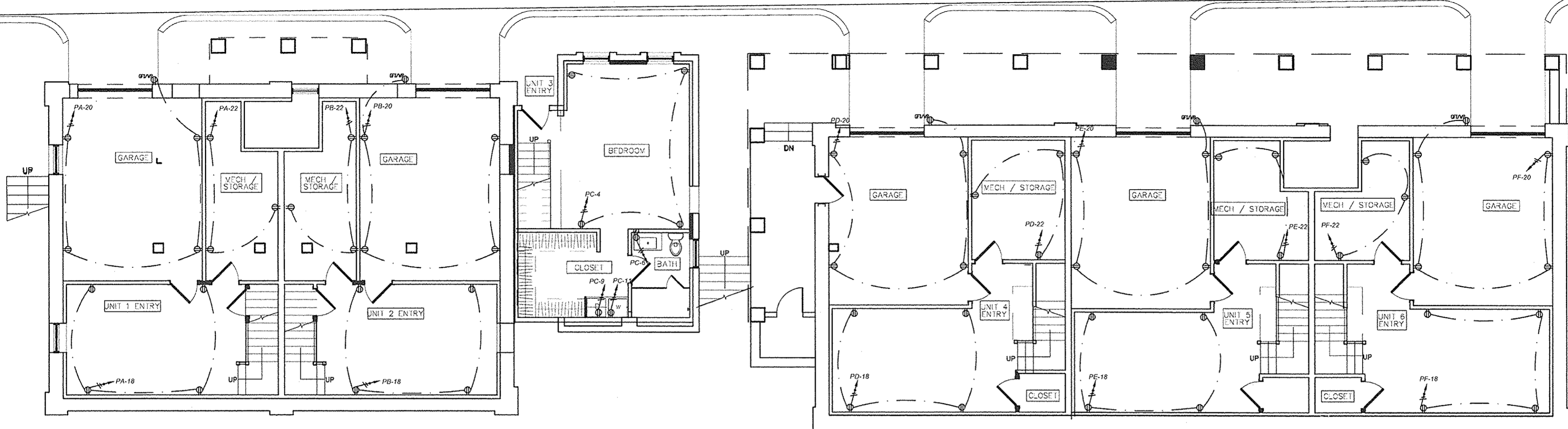
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2-27-15
E-1.1

ELECTRICAL BASEMENT LIGHT
PLAN



1 ELECTRICAL BASEMENT POWER PLAN - CARPENTER SHOP
E-1.2 SCALE: 1/8" = 1'-0"

2 ELECTRICAL BASEMENT POWER PLAN - SERVANT QUARTERS
E-1.2 SCALE: 1/8" = 1'-0"

- ◆ BRANCH CIRCUITS SERVING SMOKE ALARMS SHALL HAVE "OFF" CB-HANDLE LOCK ARRANGEMENT IN ORDER TO AVOID ACCIDENTAL TURNING OFF.
- ◆ ALL BEDROOM RECEPTACLE BRANCH CIRCUITS MUST HAVE ARC FAULT INTERRUPTER (AFCI) CIRCUIT BREAKER.
- ◆ FOR AC UNITS, PROVIDE "HACK" TYPE BREAKERS.
- ◆ HOUSE PANEL "Y" HOUR SHALL BE KEYS AND LOCKED.
- ◆ ALL RECEPTACLES THAT SERVE COUNTER TOPS AND ISLANDS SHALL BE GFCI TYPE.

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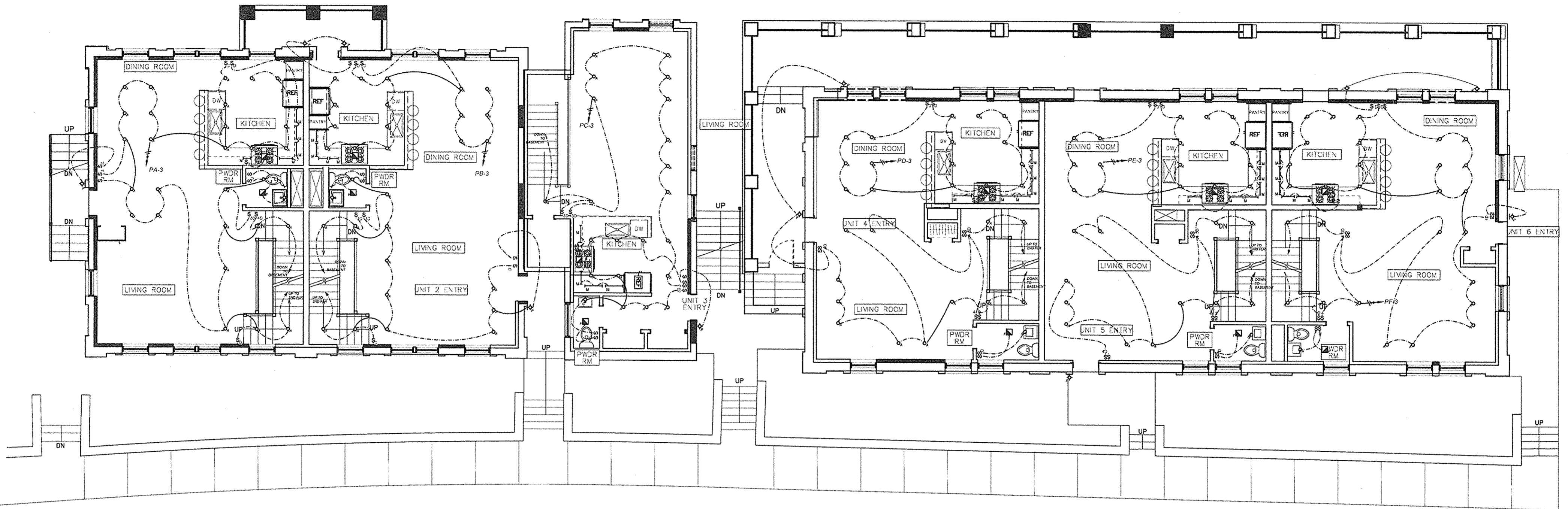
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ELECTRICAL BASEMENT POWER PLAN					



1 ELECTRICAL 1ST FLOOR LIGHT PLAN - CARPENTER SHOP
 E-2.1 SCALE: 1/8" = 1'-0"

2 ELECTRICAL 1ST FLOOR LIGHT PLAN - SERVANT QUARTERS
 E-2.1 SCALE: 1/8" = 1'-0"

ELECTRICAL PLANS RELEASED
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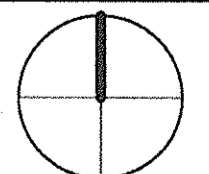
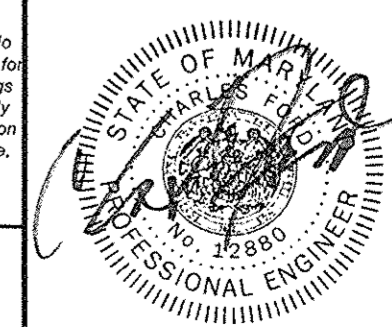
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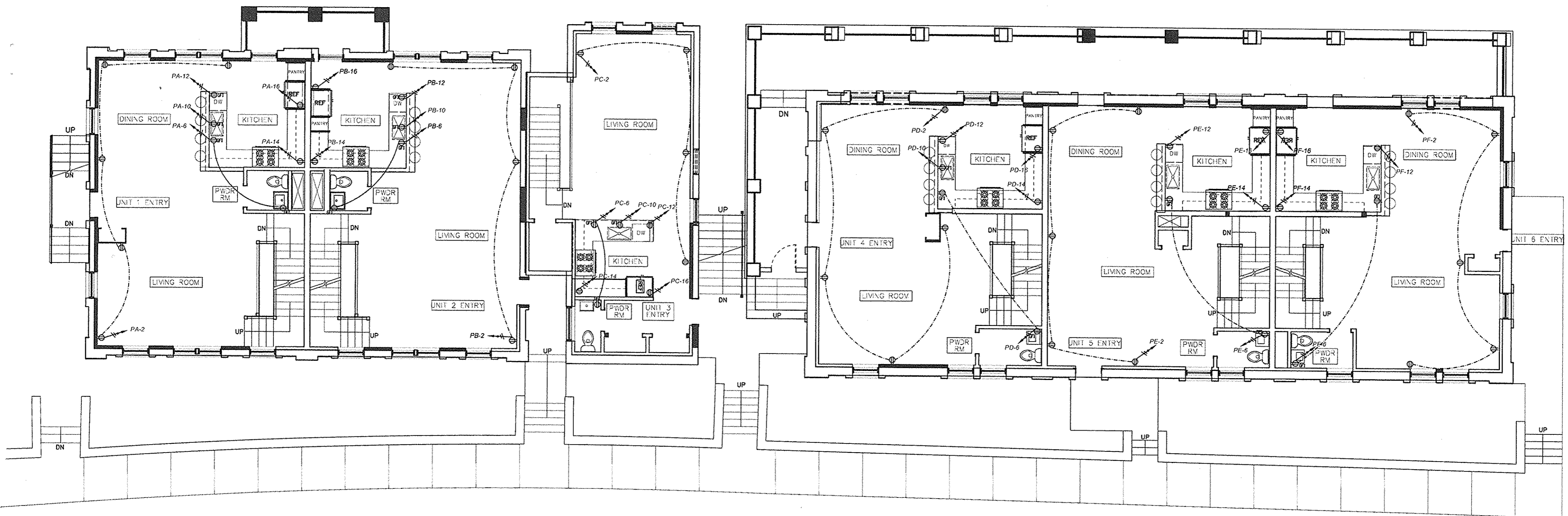
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ELECTRICAL 1ST FLOOR LIGHT
 PLAN



2-27-15

E-2.1



1 ELECTRICAL 1ST FLOOR POWER PLAN - CARPENTER SHOP
E-2.2 SCALE: 1/8" = 1'-0"

2 ELECTRICAL 1ST FLOOR POWER PLAN - SERVANT QUARTERS
E-2.2 SCALE: 1/8" = 1'-0"

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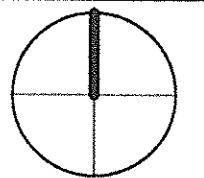
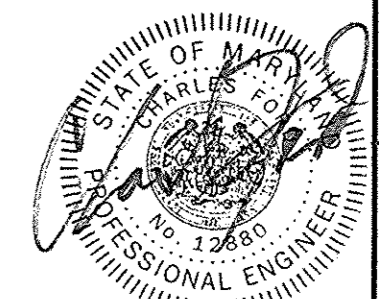
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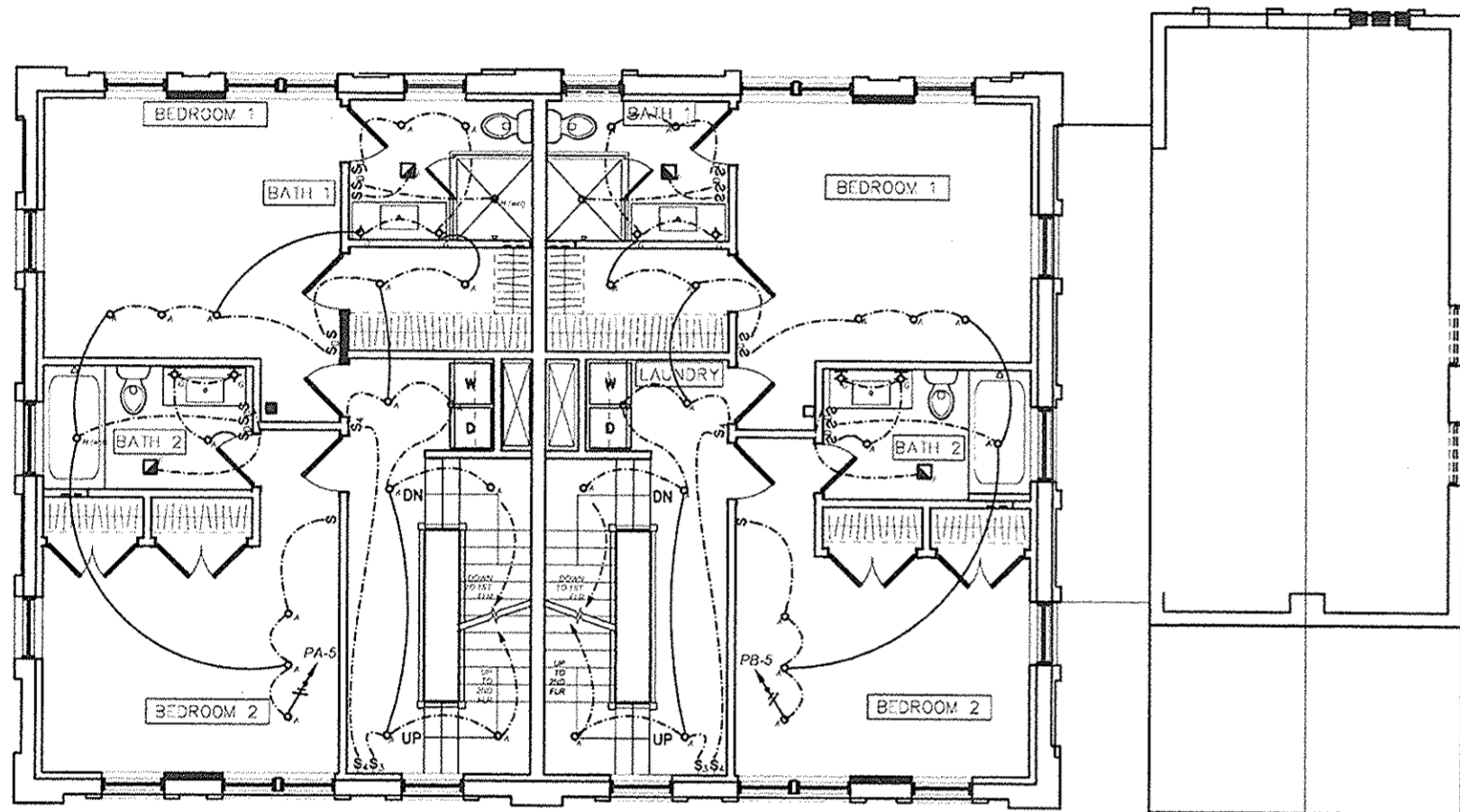
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ELECTRICAL 1ST FLOOR POWER
PLAN

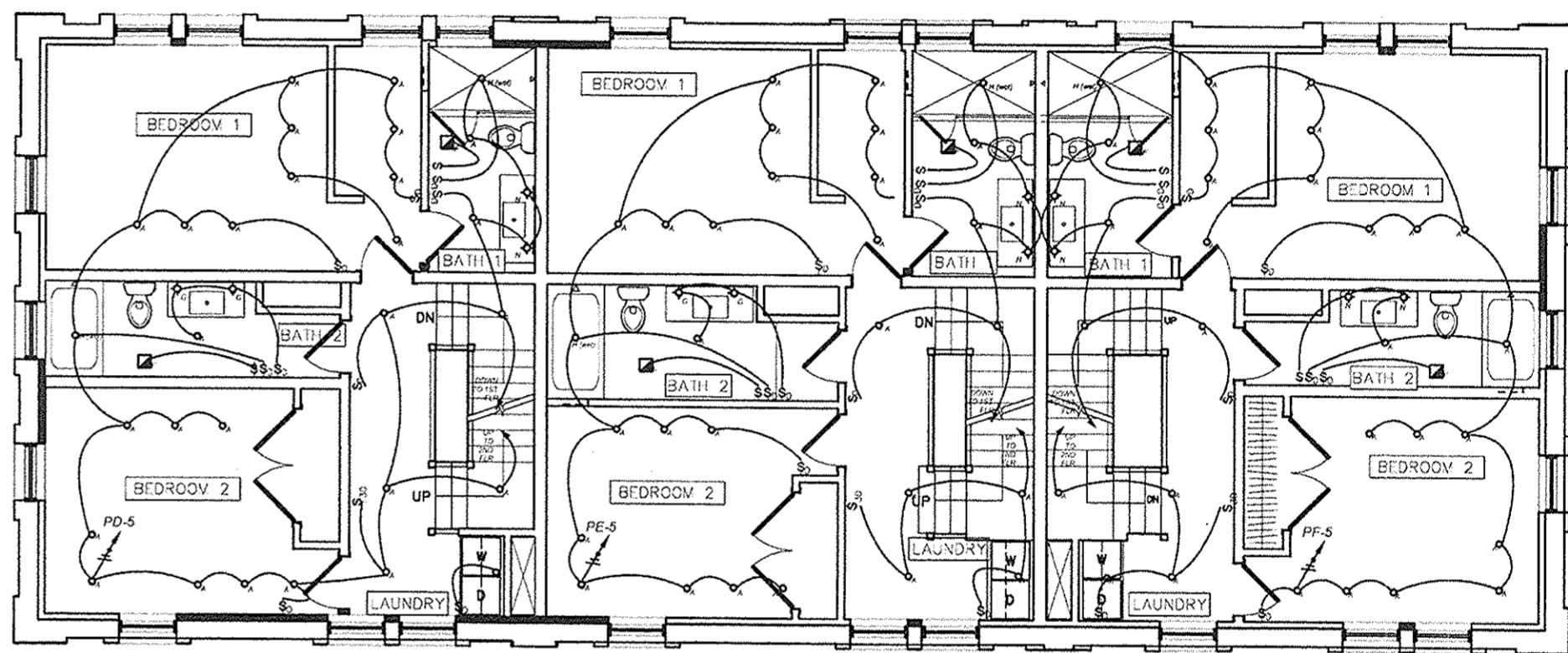


2-27-15

E-2.2



1 2ND FLOOR ELECTRICAL LIGHTING PLAN - CARPENTER SHOP
E-3.2



2 2ND FLOOR ELECTRICAL LIGHTING PLAN - SERVANT QUARTERS
E-3.2

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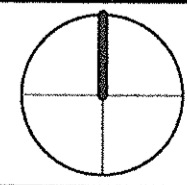
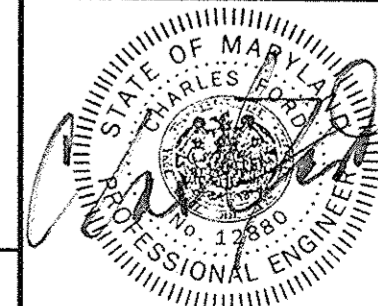
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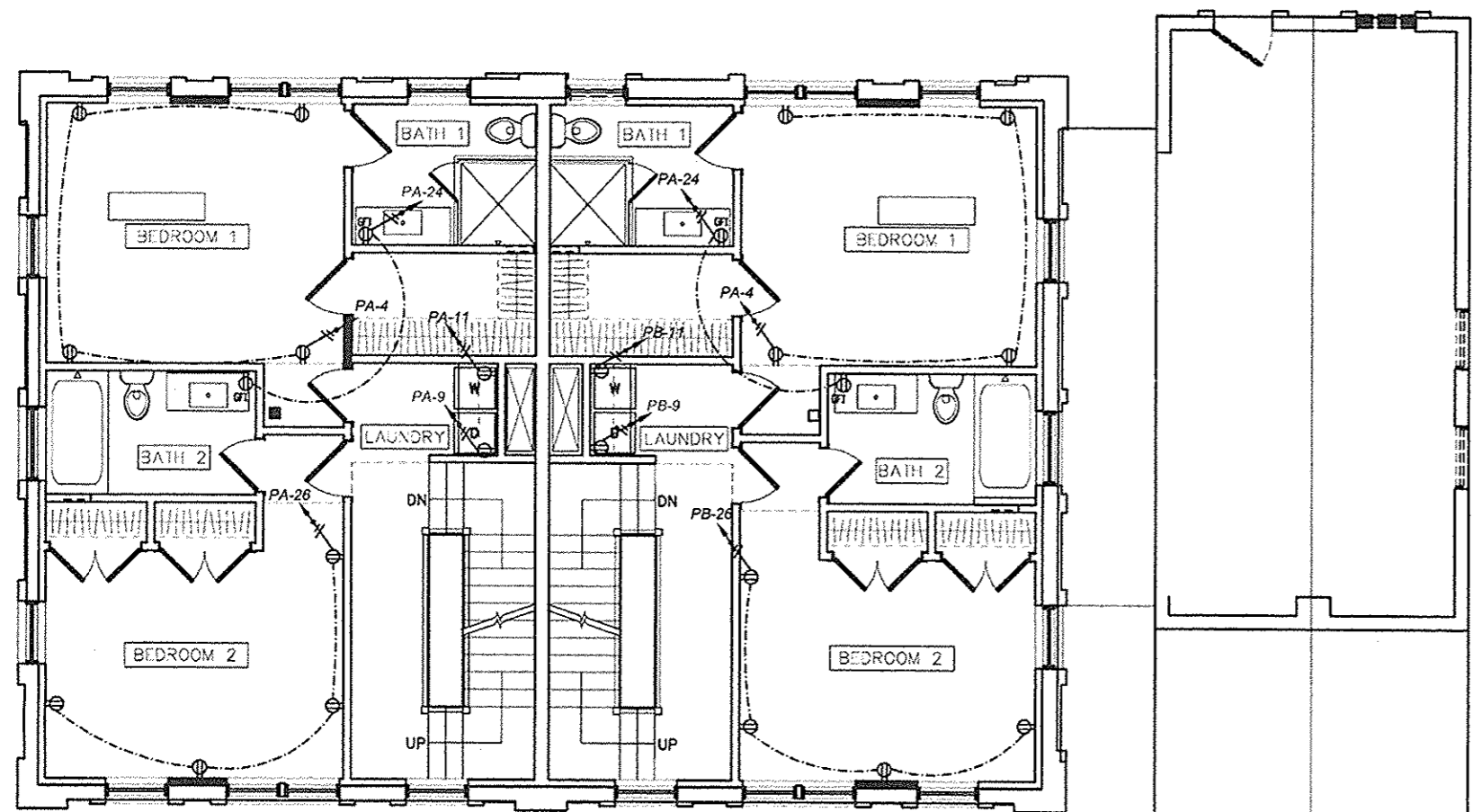
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2ND FLOOR LIGHTING PLAN

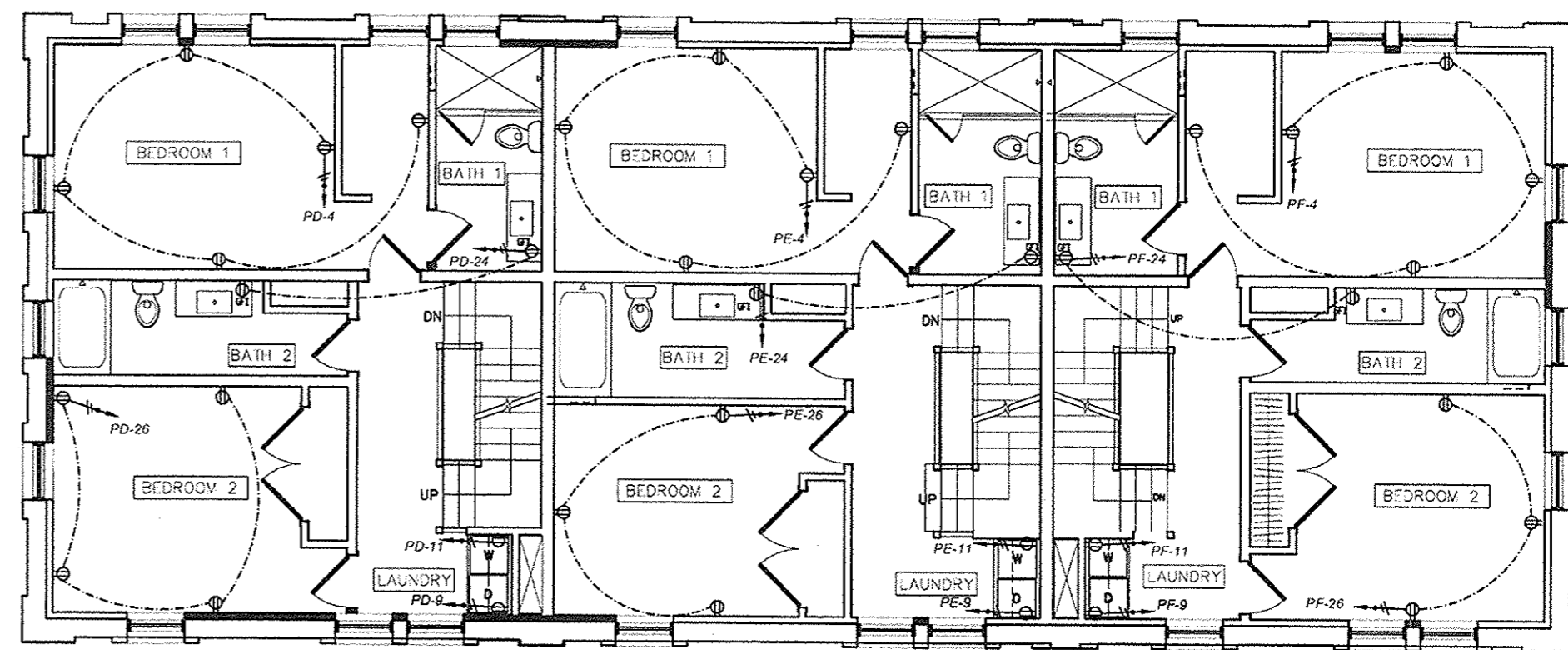


2-27-15

E-3.1



1 2ND FLOOR ELECTRICAL POWER PLAN - CARPENTER SHOP
E-3



2 2ND FLOOR ELECTRICAL POWER PLAN - SERVANT QUARTERS
E-3

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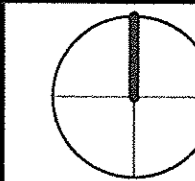
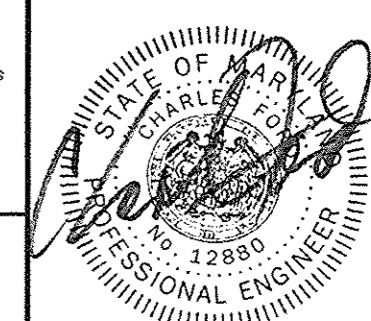
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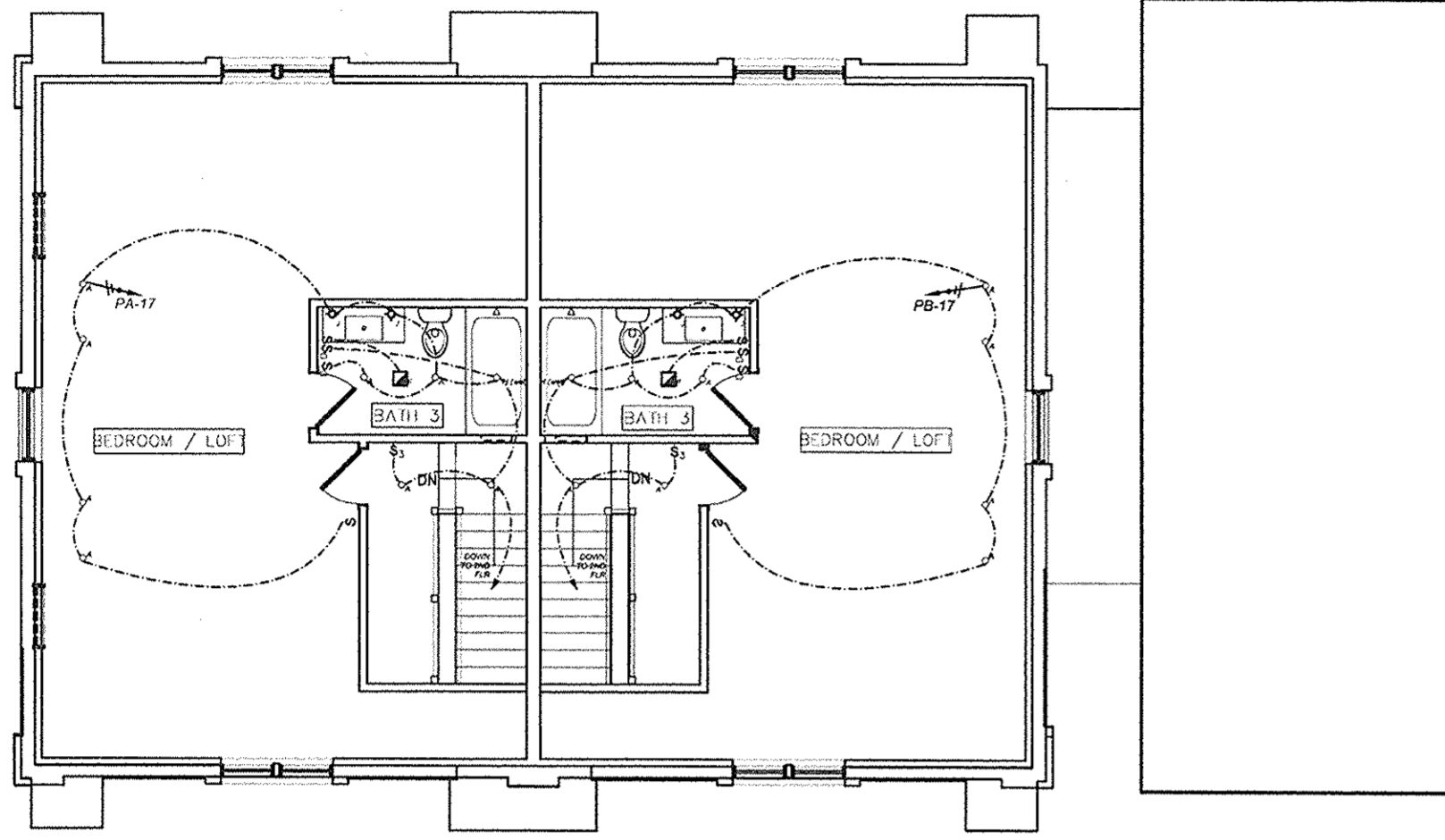
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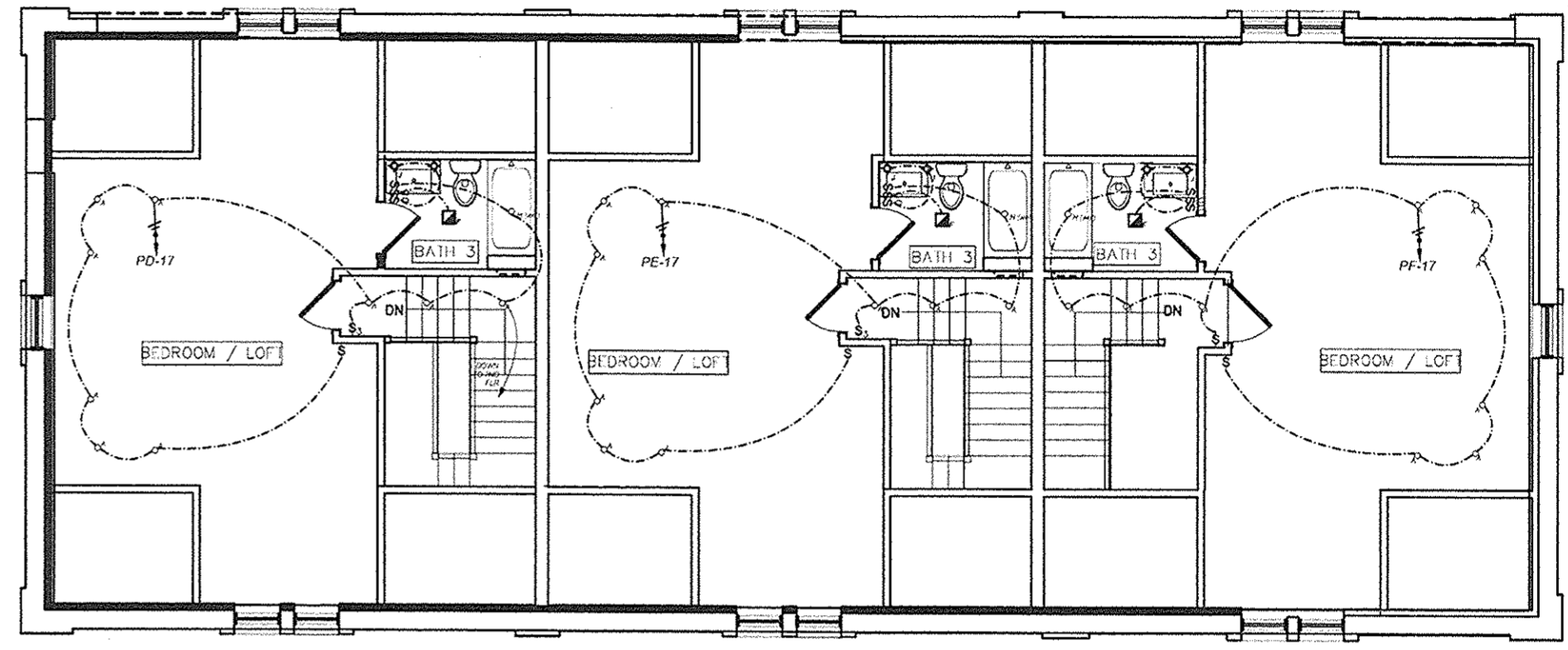
2ND FLOOR POWER PLAN



2-27-15
E-3.2



1 3RD FLOOR LIGHTING PLAN - CARPENTER SHOP
E-4-1



2 3RD FLOOR LIGHTING PLAN - SERVANT QUARTERS
E-4-1

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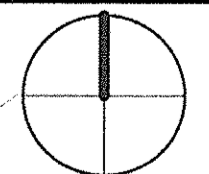
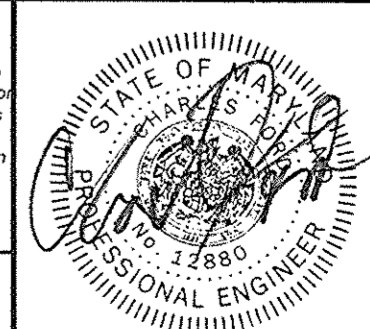
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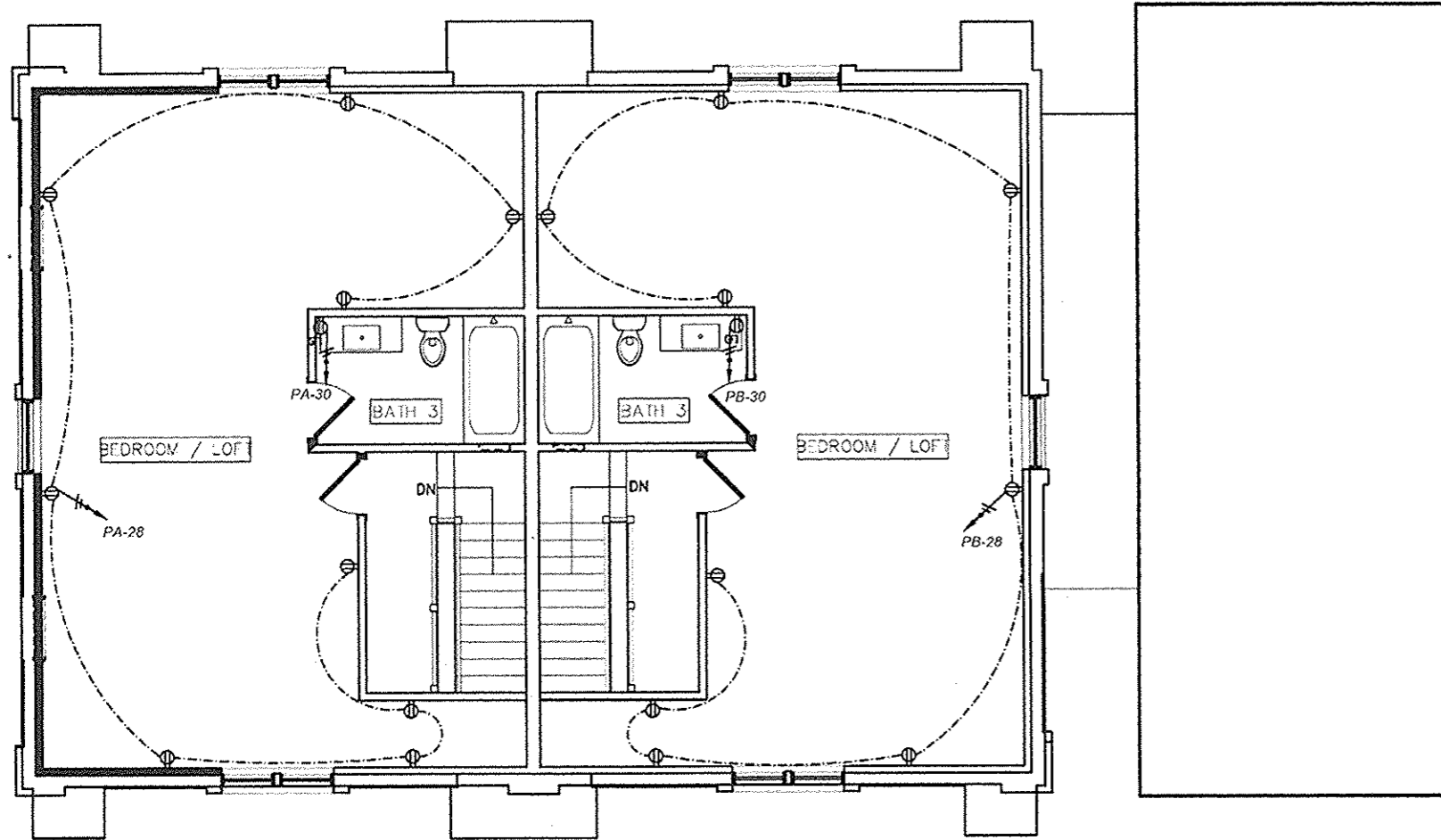
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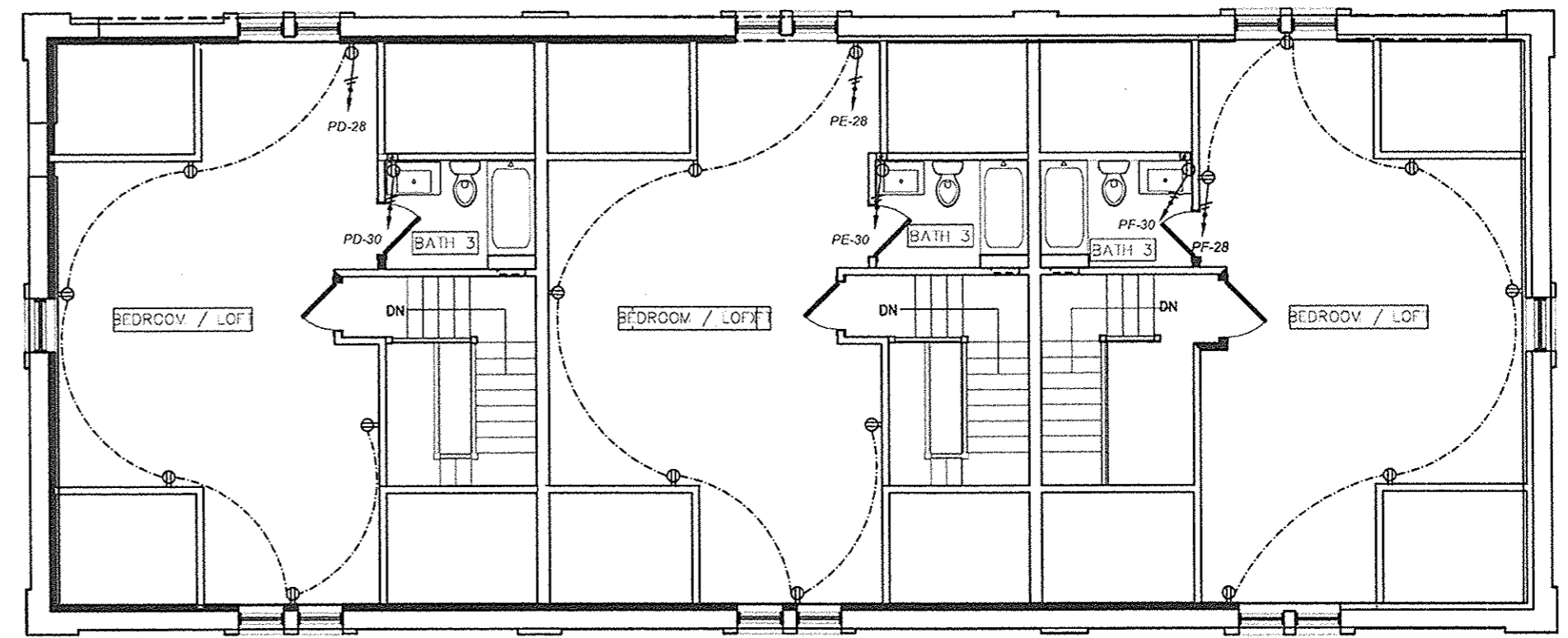
2-26-15

E-4.1

3RD FLOOR LIGHTING PLAN



1 3RD FLOOR POWER PLAN - CARPENTER SHOP
E-4.2



2 3RD FLOOR POWER PLAN - SERVANT QUARTERS
E-4.2

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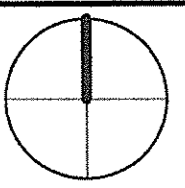
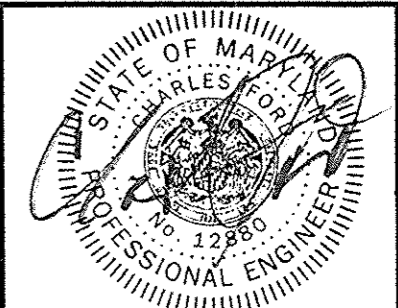
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E-4.2

3RD FLOOR POWER PLAN