

HISTORIC PRESERVATION COMMISSION

Isiah Leggett County Executive William Kirwan
Chairman

Date: December 19, 2018

MEMORANDUM

TO: Diane Schwartz Jones

Department of Permitting Services

FROM: Michael Kyne

Historic Preservation Section

Maryland-National Capital Park & Planning Commission Historic

SUBJECT: Area Work Permit #850252: Building Addition

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the October 10, 2018 Historic Preservation Commission meeting.

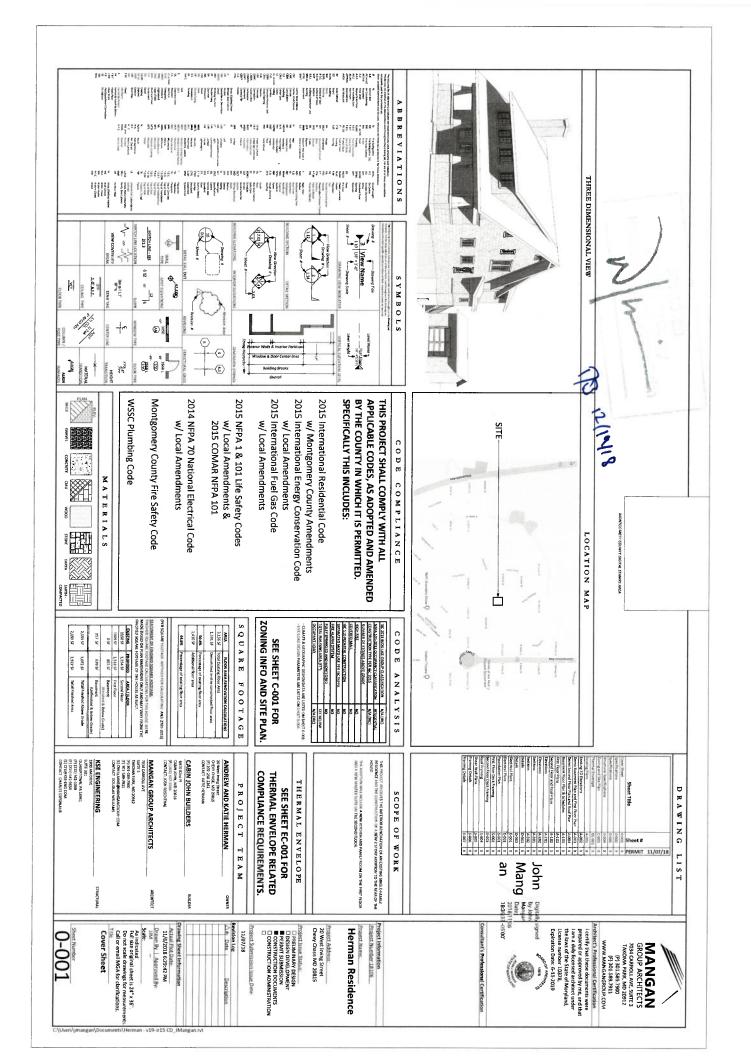
The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

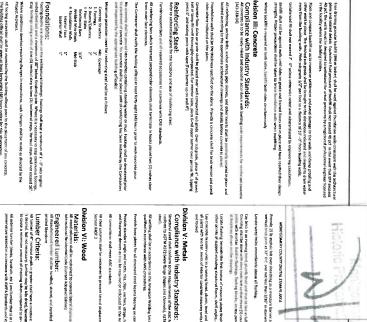
Applicant: Andrew & Katie Herman Address: 20 W. Irving St., Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Michael Kyne at 301.563.3403 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.





Division II: Site Work Scope of the Work: Revolved the Work: The work used the section implies all clearing, problem, exceeding, filling, rough/filling grading and all related teams necessary to complete the work. **Division 3: General Requirements** troude termite protection at required by charact pair treatment, preservaine treated lumber, naturally termine securate would be for doze physical luminers that meet with the approval of building effects. The said food around the building and provide the formership with in the fig. year juncanese. The said and provide the formership with in the fig. year juncanese. We work shall be performed by facrosed continuation that have been in business for at least five (3) years. the Contractor shall be responsible for finish grading the sub grade under all areas before placing finished surfaces All earth work, compaction and supervision shall be done according to the recommendations of the soil investigation report proposed by a factored gent technical engineer. Coverete alls and froming calculations are based on oil hearing expectly noted under "American Design Leads". If on-the benings reveal leases values, notify the stricklest, in artiface. Soil Investigation and Report: Discrepanticles: The Contractor shit conserve and coordinate all deprivage, When, in the opinion of the Contractor, a discrepancy constitute in the state of the Contractor shit conserve and coordinate all deprivage, When, in the opinion of the Contractor shit conserve and cons all products and materials shall be installed in stret accordance with the manufacturer's specifications. In event of conflict terment the drawings and the manufacturer's manufacturer, continuers shall notify the Architect and declain written classification. if excavated material that cannot be used as back fill for the new building shaft be in the fact of an dispersed by the superintendent. over dates designed or tales as "suce ground. When freezing is opported, do not excavate to the full depth Souther, unless concrete can septeced immediately after the excavation to been completed. Protect the botto footings so craspation is substituted of the justices of discovers is delayed. Revind Cassin Maximum pd coder all footings and above are short a dook 14 to thouston, Auto BEHANDER, Beld verified to a secretal soft expiner. Water Table: Minimum 2 to above the fortion of all cookerts slots and footing. Water Table: Minimum 2 to above the forting of all cookerts slots and footing. covate to the elevations and effected on security, show the defined space is request for most perfect on and searchest of functions of a terrelation space and conform to one create the functional requirements. Security of the control of the contr materials stored on site shall be protected from exposure to weather or during conditions in an to inhibit modi conthill find its detected at any time during construct. we for the application for briefly agend, Contracts and dismarks product with an electric district of the image of implication of the contract Yous general notes and typeus details apply throughout the project unless noted extensives hade requirement may be superscaled by more stringent information contained within the develop-te more stringent shade by Gillowed. toted dimensions take precedence over all scale references. Drawings shall not be scaled, contractors shall consult the Project Architect with any questions hese documents are the property of John Mangan, Mangan Graup Architects. Thy use of the documents without the written consent of the Architect is strictly prohibitated. er approval by the Authorect. talkation of all products and materials shall follow manufacturer's recommended procedures. e General Contractor and Rs Subconerions and conditions. Contractor shall inspect the site prior to starting his work for proper grades, soft spots, and other anomalies. profetences' dissesses and specifications shall be constitued as part of the conditions of the work. In the event contain distances if the construction are not stay bears in the dissesse, carrier national, stata and local codes undirected, regulations a supervision to a next of contents building records adal govern. The truction shall be of the same character as the samilar conditions that are shown codes. refilted accepts no expension in for charges and denations from these plans unless such changes are thy signed letter or change order. Abstitution of products and materials identified by brand or manufacturer name shall be accepted without lachitect shall not be responsible for, and will not have any occurred one; mentioned means, methods, inclus, sequences and procedures or for the safety personations and any area is connection with the work will not be responsible for the failure of the "ont or his contract on, failurest entires, are any one class smiles any part of the work. anothers and assumptions sated in these specifications shall be swifted by the Contractor for conditions oriformation to local codes. In the event of a storagency between these specifications and conditions the late Contractor shall shall write on the decision is melting of the discrepancy are decistate any special senting requirements that meet to be applied to assure hardways are account integrity. ts of all withing shall extend below the froat live of the locality and a movement of 30° balous existing disturbed soil or sell compacted to 95% dry decarry having the sell boaring capacity lated above. Or shall constrain the grading around the business so that the ground is peched to prevent water from receivable disease or damaging the structure. par ad questionates for size word, planning supply/waste, electrical orionity, where meditioning systems and prefavorable doof trusted are not part of the professional as the Corell unders included under their specement, Any discrepances with Ness document, see litted above as shown in the documents shall be reported to the Architect immediately. hall be responsible for the on-site verification of all Division IV: Unit Masonry Materials: **Division III: Concrete** Meanum prosection coefficient (and shall be as follows: Commany Structure Man, Commany 1 from State 1 from Stat All manuary shall be presented from freezing for not less than 48 hours after installation and shall not be laid is temperatures below it integers after books it without precautions meets any to prevent freezing. No actificets assume a was be added to mortar. Lui de mit de juntement d'inservent PRE, pope in nOOT ME, OF parel The president extendit - Commonse beroot de se materies quel l'in books par de Tener de moi de ties que de la common de de la common del common de la common del l Use Type M motter for below grade applications and Type I metter for all other applications. Accounty centers build conform in excepted grades for majority files a consentrous material and odd in a mechanical builds meet for a primerus of the Coll Immune. A chair the considercy of the motions the partial account (the motion all motter that he used within 2-1/2 hours of the bollul moting and that not be used after it has begun to set Prock that the water from they or shake and conform to ASTM Specification CG2. For framedization, were below grade and work in contact with earth, use Grade SW that Grade MW for extension of the framework of the contact with earth of the contact of while faced with bring brick. All materials to be used into in most ASTM or published standards accepted by the ASTM. Drain to disylight or a sump pamp par the engineer's drawings. Filter fabric thall have an open area of 40% or tess and an equiralent opening sare of a No. 40 Sieve Waterproofing and Drain Tites: Waterproofing was with a membrane extended from the top of the board in final grade Waterproof foundation was with a membrane extended from the top of the board in final grade The membrane half foundation of 2-by four mapping that was highest depond and a seed on shall be of other code The membrane half foundation of 2-by four mapping that was placed speed and a seed on shall be of other code. Anchor straps may be substituted if spaced as required to provide anchorage equivalent to $1/2^{\circ}$ dismeter anchor body. Install 12" imbinum) (someter anchor batts at the models that of the sill plate spaced a maximum of 6.0° or (longle sill plate) and or 0.0° or (triple sill plate), with a tightwend that all washer on each both There shall be a mineroun of two belts per plate with both root more than 12" and not less than 3" and damaters from each end. If Reinforcing Steel: Refer to architectural plans for the locations and size of remiforcing steel Compliance with Industry Standards: All concrete is to be ready-mixed and placed in accordance with building [ACI-319-14] All footing excavation shall be inspected by the building official prior to the placement of any concrete. The building official shall be given at least forty-eight (48) hours notice for this observation. Unbalanced IIII shall not exceed $F \cdot 0^s$ unless other shall extend 7" minimum into masonry or concrete onry work shall conform to the applicable requires



him her (decks, handralis, etc.) and lumber that is in contact with masonry or covered that he extented in accordance with AWFA Standards and stamped "Ground Contact 8 at the tuber feet."

No structural member shall be omitted, northed, r.u., blocked out, or relocated without the prior approval of the Architect.

The endford such jets, bearn, or gifeler shall have not less than 15° of bearing on wood or metal and not less than 3° on maxony or concrete except where supported on a 1° s f° ribbon surjo and saided to the adjacent studior by use approved jout hanger: Jobb, rafters, and beards shall be set with the crown edge up. Double josts/safters to form headers and trimmers around rough openings as required, providing blacking or sustable edge support between members where necessars

Bridging and Blocking: loss shall a expected lazaris at the crisis leads support by full-depth solid becking execut where the crisis (seem an index or balled to handed, band or tree jood, or to an adjourning stock, doed becking shall be no in a servine for its area in sections. Floor framing members with caramic tile or hardwood floors floars shall be framed a maximum of 19.2" Q.C. All other areas shall be framed at a maximum of 24" D.C. or as otherwise noted on the framing stans.

Cutting of Beams, Joists, and Rafters: Notices in the top or bottom of solid lumber joint shall not exceed 3/6 the depth of the joint, shall not be longer than 1/3 of the depth of the joint, and shall not be located in the meddle that of the span.

Where solid lumber joists are notched on the ends, the notch shall not exceed 1/4 the jost depth

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Built-Up Beams: built-up beams or joists formed by a multiple of 2X me

of ACI 530.1 13 and ASCE 6 13.

Stand Member Method of Interconnection
1 Up to \$1.00 Staggered]
2 Over 9-1/4* Gue/Internal with (3) rows 16d at 24* 0.0 (Staggered)

Used weater shall be attached to wood forming with domains restaunt 25 gaps compated generated netall total serveres min 70° which because the contract and 24° CC as not become any 47° CC or and place support not more than 25° square feet is servered. See these than 25° square feet is servered to the other contracts are contracted to the contract than 25° square feet is servered. Fitch beams shall have a Fb=1500 psl and E=1,400,000 psl with mini-than 2" from the top and bottom and 2" from each end.

morphism was bacter under this wave the distance from the eight of wall in the edge of undisturbed solution before T_{ij} and T_{ij} and T_{ij} and T_{ij} and T_{ij} are the solution T_{ij} and T_{ij

Provide 15 ib asphali felt over sheathing as a moisture barner and partical limit jums at 35° O.C. and not less than $3/16^\circ$ in diameter.

By Drick that neworg throot, glants, band land true to time in full bods of mortar.

Counting deal the doine with many maintains and many many (5) counters equal edget (3) endoer. Completely (18 and mortar within funding in floring blocks, across panels, force finish, funding metal, and other work of the force of the dealers, and the dealers, a

Lay concrete massers units in a vinning bond, plants, level and true to live to find bests of eventar. Completely fill as it justs with nortar, somes of metrior concrete massers units that will be exposed or painted shall be cut flust and coosed. Locate flashing beneath the first course of masonry above finels grade above the foundation wait in slab and at other points of support including structural floors, shelf angles, and limitels.

SUPERIOR SHE SHE CONFORM to the requirements of the ASC Manual of Steel Construction, Stees edition, and shall Conform to AST M AST 2 (note farge shapes and Chanuels), ASTM ASCO (stack pipe columns), or ASTM ASG (all other steel).

Wi welding shall be in accordance to the American Welding Society Code and shall be perfor audified in accordance with AWS procedures.

Provide standard angle and inserts, ties, clips, enchars, straps, hangers, bolts, bearing plates, and other hardware and factioning devices as may be required or indicated on the Archimetural Drawings.

Engineered Lumber: 48 maautumined hanbor shall be handled, stored, and installed in strict according

Lumber Criteria:

All hance of a forment eight imperer shall have a meetine content not greater than 19%. Air davis lamber 15 factors that for contents to the most may be the david however, the dying operar must be davi and regulated to couse a minimum annual of creating when compared to any close a minimum annual of creating when compared to any close a minimum annual of creating when compared to any close a minimum annual of creating when compared to any close a minimum annual of creating when compared to any close a minimum annual of creating when compared to any close a minimum annual of creating when compared to any close a minimum annual of creating when compared to any close a minimum annual of creating when compared to any close and compared to any close any close and compared to any close and compared to any close any close and compared to any close and compared to any close any close and compared to any close and compared to any close and close any close any close and close any close and close any close and close any close any close any close and close any close any close and close any close and close any close and close any clo

tore all lumber above grade and protect from exposure from weather

both having a depth-to-independence are in exceeding Fig. 1, based on normal is investigate, that the supported bloods ρ and belong a depend belong [asset or netted] or 1.3 bridging, which is the bottom of the past at hierarch in the asset of the past of the past in the asset of the past of the past of the past in the asset of the past o

Drilled or boyed twiss in units familier justs shall not exceed 1/3 the depth of the joid, and shall be a mailman of 2" from the top and notions of the just and any other hole located in that reprober.

The state of the s

The length of the belt shall be a min Washers shall be placed under the head of lag bolts bearing on wood. mum of 2/3 the depth of the exembers being bolted together

MANGAN
GROUP ARCHITECTS
7034 CARROLL ME, SUITE 3
7044 CARROLL ME, SUITE 3
7040 CARROLL ME, SUITE

Jost hangers shall be prime quality steel which conforms to ASTM-AS26, minimum 22-gauge Acceptable products shall be Simpson, USP Kant Sag, or equivalent.

sheething shall conform with Section 8803 mess of sheathing based on Table 8803.1 vable spars diaxed on Table R503.2 1.1(1).

All end joints shall be staggered and shall butt slong the cent Each WSP sheet shall bear the "APA" grade trademark.

All floors shall be gived and railest with an AFA approved elastement atractural adheshe and 6d com-or ring-sharit rules, spaced at 6° 0°C, at panel edges and 100°C. At intermediate supports.

Corner Bracing;
Lip wall plates at all corners. At single plates fasten corners with a splice 1x or 2x black

Nailing:

An array unterstanced otherwise, that comply with nashing the schedules in the international featibilities for the schedules of the schedules of the international featibilities are all table and local hadring codes or manufacture's recommendations.

Drilling and Notching of Studs in Framed Walls:

Single studies in an electric partitions may be drived out to exceed (60%) of the depth of a larger studied hole studies a minimum of 1,10 from the edge of the studies and the hole is not located in the same section as a out on addition. Any single stud may be draised or horsed holes shall not exceed J4036 of the depth of a single stud and hole shall be a minimum of 5/6" from the edge of the stud, and the hale is not lecated in the same section as a cut or notch. Notifies in any stud in exterior well or bearing partition shall not exceed 1/4 (25%) of the width of the stud. Nonbreading partitions shall not be notiched not to exceed (40%) of the width of the stud.

or bearing pertition may have distilled on a or of how the former. Land, and joinful of all be doubled with no more than two successive consistent in the bored, and hole the odge of the stud, and the form is not located in the same section as a cut or

Drilling and Northing of Top Plate.

When soph accrease in deer or years in accrease an a source burning and recentrating contragations of effective recolorated refer to great in accrease and a source burning and reconstructions of effective recolorated refer to great in a reconstruction (Stop) of the days a global set in a recolorated refer to great in a refer to a days and a state of the approximation and the state and secure and the plate in a days and a state of the approximation and a state of the accretion as a state of the accretion and a state of the accretion as a state of the accretion and a state of the accretion as a

When the entire side of the wall with natch or cut is covered by wood structural sheathing, metal strap required.

Fireblocking: Freblocking stall are provided in wood frame construction to cut oil all concealed draft openings, both horizontal and method, and to form an effective fire turner between startes, and between a top story and the roof space per RC Section R00 11.

Treducing Australia proposed:

(I) in consisted species of the walls and bendered species of the order of the concealed vertical and immunital spaces such as soffits and dropped celling and stringers of the rop and somme of the run at the caree, and wires at caring and floor level actions about 14 the line of dwelling unit separation

Draftstopping:
Oraftstopping:
Oraftstopping boatlons and draftstopping materials shall be used in accordance with IRC Section R302.12

Draftstooping shall be provided in wood frame construction where there is usable space both above and below the concealed space of a floor/resimg assembly Draftstops shall be installed to form concealed spaces not to exceed 1,000 st, and dividing concealed spaces into approximately equal areas.

Alignment of Framing Members: At mitters and joints framing from opposite sodes shall be as least soci6) inches and shall be spiked together

Draftstopping shalf be provided in floor/or open web floor truss assemblies

When framing and to end, joists shall be secured together by metal straps.

Bolts in Wood Framing:
All bots in wood framing shall as standard machine washers.
Lag bots shall be square or hax headed and of struct

but hale it wood shall be drilled 1/15" larger than the diameter of the bolt

Joist Hangers: As puries, josts, and beams not framed over susporting mambers shall be supported by means of metal hangers

Sheathing/WSP:
Floor sheathing shall make the action of th

Wood Structural Panel (WSP) sheathing shall coform with Miowable spans based on Table (\$503.2.1.1(1).

Mang pare hearms John Signed by John Mangan

an days of another

onsultant's Professional Certification

NASS shall be placed a meminium of \$18° from the edge of sheets. The minimum nail penetration into framing members shall be 1-1/2° for 8d nais and 3-3/8° for 10d nais. The face grain of phywood shall be laid at right angles to the justs and trusses and parallel to the stock

All fire examinat physical/DSS deathing shift be provided with written verification from the treatment company conclosing that the treatment company is the treatment conduction and the contraction of the provided with the treatment contraction and the provided with the treatment contraction of the provided with the p

Project Number 18106

roject Information

Herman Residence

20 West Irving Street Chevy Chase MD 20815

PRELIMINARY DESIGN

DESIGN DEVELOPMENT

PERMIT SHAMISSION

CONSTRUCTION DOCUMENTS

CONSTRUCTION ADMINISTRATION

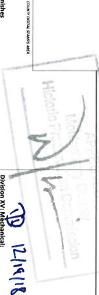
11/07/18 ssion issue Date:

Description

Drawing Sheet Information
Actual Plot Date:
11/6/2018 6:29:42 PM JIM - Approved By 1" 1'-0"
full size original sheet is 24" x 35".
Do not scale drawings for measurement
Call or email MGA for clarifications.

Specifications

Division VII: Thermal and Moisture Protection Openings to roof and ceiling framing shall be framed with header and trimmer joists in accordance with section 1901.9 bood firming members and crising point buring a depth-to-thickness ratio exceeding § 10.1 based on monitral demonstance shall be provided with real support at power of berangs to prevent rocasion. For rathers with culting obts situated per Table 800.2 3(1), the depth-brothickness and on for the total exceeding will be determined using the combined thickness of the rather of in the situathed calling joint. Ceiling Joists and Rafters: The ents of ceiming ents shall have not least than 1-127 of beaving on wood or metal and sail loss than 3° on Ensoing or concrete. Roof Truss Bracing: India permanent brains for all wood tood trustee is specified in bestall on Sheet 5 IDI, following all immendations specified in make in those front in the vertice; installing, Bestations & Beaching of Medal trustees with Convected Wood Trustee, WTCATH ICS-2008 icissor Trusses: Ameliture sha ekidat beizent trust of truses subjected to design loads and shall include tots demission with deep drawage. Wood Roof Trusses: Finber trusses shall be designed in accordance with NFPA Standards alwarms WHE Supporting One or More Floors. A tradit, spaced H 15° O.C. of the type of knober specified up to energy and the constructed of billions from 10° O'C to 12° O'' in begit, wells shall be constructed of bill study, spaced at 10° O'C on 10° O'C elling jolst and rafter spans per Tables R802.4(1), R802.4(1) and R802.5.1(1) - R802.5(5) respectively ructural roof members shall not be cut, bored, or arricane ties shall be provided at each truss end to adequately satisfy wind uplift. aus step drawings indicating catalostocis, loading, load test dat, hollociabilithrod, and any other information quied, shall be assaled by a professional implemer registered in the jurisdiction where the construction is taking are, and submitted to bushing officials prior to fibrication. his cator mat stands two sets of components whose drawings and trust lipport plan, a basked by a dissuance register registered in this justician where the construction is desirely place, to the skellest prioc réducation (one copy for the Architect's records and one copy to be returned to the Constator after review) aring stud walls must be sheathed with a minimum 1/2" gypsum board, "assa soutacturer's recommendations. s diagrams and truss layout plan show design intent enby. Truss manufacturer shall verify all spans, ensions, had begins, pitches, and provide structural engineering for each truss profile truss to be sourced at one will with a metal inflier tile type anchor and a stissor trus connector, or shared, or approved equal, at the other end to be down the trus white permitting the truss to move and without deflecting the wall. truss shall be secured at bearing with anairafter be type metal anchor at each end. lations, joint scrength information (alkowable load per square both or per ruit, allevenbe edge distance rable and distances), food test data, and either information in reconsary phalible submitted to focal united for approval pieer to futrication. actural waveform are the seed of substantianed by engineering calculations, stamped by a professional priver likewed to proceed in the jurisdation where construction it thinky place seed or calculations is in the provided to the Architect for approval prior to construction top plates at corners and intersections (suzent interforman loading bearing using top plates water). ses above grade in path a way as to prevent bending, warping or deflection of the trusses. p plans of less than 2) bels or 2) bels is used, floor justs shall be centered directly over and below shall with a tulerarum of no more than 1° unless substantiated by engineering calculations. tables manufacturer's instructions. liting at 4' - 0' O.C. between the end just and first interior parallel just usely directly over studs. Division VIII: Doors and Windows Scope of Work: The workequired under this section involves the furnal litems necessary to complete the work. Hazardous Location Glazing: Leaners general requirement in suspect course and he produce and a sendander in despitely Leaners general requirement in suspect course and he produce and a sendander in despitely Leaners and the despitely as the set officed, suspecting connections the story of the sendander is not an extended of the sendander of the sendander is not an extended under the sendander in the sendander is not an extended under the sendander in the sendander is the sendander in the sendander in the sendander is the sendander in the sendander in the sendander is the sendander in the sendander in the sendander is the sendander in the sendander in the sendander is the sendander in the sendan Code Requirements: All dwellings shall be provided with a means of egress in accordance with section R311. (is fixedly in colorate to well continued on fixed present and fatheds find mill under when the better consent when the fixed to the colorate to the content of the colorate to the colorate to the colorate to the colorate to be colorate to the colorate to be colorate to (content to the colorate to (content to the colorate to (colorate depose to the colorate to (colorate depose to the colorate to (colorate depose to the colorate to (colorate to the colorate to (colorate to the colorate to (colorate to the colorate to (colorate to the colorate to (colorate to the colorate to (colorate to the colorate to (colorate to the colorate to (colorate to the colorate to (colorate to the colorate to (colorate to the colorate to (colorate to the colorate to the colora bleive adjacent grade elevation energency egen a wednes shad he provided with a weadow well with a melmuch horizontal as all sequent as all enteres the statements of provided not well of 18°, allowing the sporting to be fully usered. A under or tinys that he provided for wells greater that at " in vertical depth. en de de la company de la comp Basement (Redried or unfinished), habitate artis, and news steeping room shall have at least one (1) specialle emergency except and resum opening (wastew or shoot). Such openings that have a sitt haight not to exceed 44° above the fision. At halitable rooms shall have an agreagate glazing area of not less than 8% of the floor area of such rooms. The minimum operative area to the outdoors shall be 4% of the floor area being ventilated. Scres indicated on plane are normal sizes why The Contractor shall consist with window mandfethurer to determine exact sizes and rough openings Window fell prevention devices shall be installed when the window sill is below 24° from the interior floor in necondance with seatmen 6312.2 Protection Measures: Care shall be used to the handley of doors and we Afric access openings shall be mudated to equivalent Konsine as adjacent attic insulation (vertical access meets wall insulation value, humanidal access meets rood mudation value) A minimum 1" space must be provided between the insulation and the roof sheathing and at the location of the year. when the test interesting and Jessel interest indicated the planty where executioning the cells in the Jessel in 18 feet of the planty planty adjacent to the last plant of the lesses because the planty of the lesses and the planty of the lesses of the cells of the Jessel interest of the lesses of the lesses that the lesses that the object cells of the Jessel interest of the lesses of the lesses of the lesses which it is induced controlled to a completion of the planty. All windows shalf have insulating glass. xterior windows and doors shall be in accordance with section R609 entre la colonia maria della prima della colonia della colonia. La finazi della colonia prima di colonia qui della qui della colonia mits upright on pieces of lumber in a dry locatio



Exterior and Interior Partitions:
The design of exterior and Interior walks shall comply with section NGO2.

Anyl siding shall be certified and labeled as conforming to the requirements of ASTM 03679 by an approved yealery control agency

Attit. Ventilation:

Totaled into serverselmine quant (prince levers others) are spaled deathy in the undersake of root fortiend that the serverselmine the spale as each prince deathland appearing to motivate algorithm in their shall be an extreme to the spale as each prince the server of the spale as each as the first and the shall call for the server of the serverselment on the first and the shall be a server of the serverselment of the servers

The cotal free entury area shall be 100 of the area workland where 45% : 55% of the required area is in the support portion of the space (maximum 3" - 0" below the ridge or highest point of the space with the balance of this required wealthton provided by pare or continue worth.

Division IX: Finishes

Sypsim well-board with the beinstalled until weather protection for the installation is provided. Storage you'd on a half be in strict accordance with many factors printed instructions.

Minhum temperature in west to receive drywal shall be 50 languar international. At such and about a fall be Latted Goode's Logdet's (Marenum index) [19] I for port, their be asspected or framing members. After 10th is installed, correct all surface damage and indicats as required.

The sibing and spacing of fasteriers shall comply with IRC as well as local and state codes and ordinances [as applicable].

Provide water resistant they-consent, float-nest reinforced consent, glass nest ground backers, or float-reinforced ground backers in complement with ASIM C. ESIM, C. ESIM, C. ESIM, C. ESIM, and installed in accordance with resolutionard's recommendations as the other backers of the set in the anti-flowers are and well punch in hower areas as now in the dealth in the architectural drawings.

The Accident Construction, Grapp endangs, mals, and before do when dejected to a shelling set that he of \$10 T10 per for other stated construction, according to the Life. design specified on the drawings when unit are the ignorial under the careful set an existent on the drawings.

larne spread and smoke index for walls and celling flushes shall be in accordance with section R302.9

Thermal Insulation:
Thermal Insulation within a factor as specified for areas of use [rod / wafts / fuor].
Insulation with the factor and the state of the state

Install R-31 batts in 6" nominal wale, R-30 batts in cellings above unconditioned space and R-49 batts in road install above conditioned space. Provide continuous R-10 (meanum) batt insulation with SSK fixing at unfluided batternent wall, from fixed to celling.

Sub on grade floors shall have manurum R-10 rigid assistant (or vertically) 24" under the slab.

rulation shall have vapor barners installed to the conditioned side of the wall/floor/celling assembly

Locks and strike plates shall be installed on the doors and door frames at the same height throughout the building door lookle, pulls, and other firsthed hardware until the building is painted, complete, and free from defect

Gypsum Wallboard:

System wellboard shalt comply with the requirements of ASTM CIS and CI42 with Amendments.

Plambing subcontractor shall review structural and plambing drawings and notify the Architect of any plumbing HVAC, structural, and design witers conflicts prior to construction.

All work shall be in full accordance with all current codes and regul

anitary drainage shall confirm in accordance with IRC Chapter 30

preed and smoke index for insulation shall be so ac

Catamic tila surfaces sixal be installed in accordance with ANNI A108.1, A108.4, A108.3, A108.6, A108.11, A118.1, A118.3, A138.1 and A137.1

discrement, fiber mat mediented eenees, glass mat gepsom backers or fiber-reinforced gepsom backers in complaines with ASTM CI288, CI225, C1278, or CI278 inexpectively, in accordance with manufacturer's recommendations.

Division XVI: Electrical:

All new single family homes must be fully sprinklad with an automatic fire sprinkler system designed and installed in accordancia with IRC Section P2004 or NFPA 130 All work shall be done in a next and workmap-like manner so as not to needlessly hamper that portion of the work performed by others

General:

At work hink to full accordance with all current codes and regulations of the governing agreems and
At work hink to full accordance with all current codes and regulations of the governing agreems and
Attack to the companies.

All work shall be done in a next and worken of the work performed by others.

Installation:

Measurement installed outdoors and exposed to the weather shall be weatherproof

Softoms of reospitacies and switches shall be located 5" above

Recobactes shall be installed ventrally at 12" above final-aid floor and maximum 12" - 0" 0.0 horizontally. All recessales within 6" 0" horizontally of a soft, bratien, or tub shall be wired to a pround last interrupted creat.

Rough and Finishing Hardware: install all rough hardware and metal fastening as shown on drawings or as required for proper

Aff gypsum wallboard shall be installed in accordance with the prov and ordinances [as applicable] ns of IRC as well as state and local codes

All edges and sends of groum wallboard shall cook on the firming members except along those edges this are perpendicular to the firming members. All edges of wallboard shall be in moderate consist except in summaries spaces wheat resistince construction is not required.

stible insulation shall comply with section R302 13.

rovide an allowance for all firshed hardware required for the execution of the contract.

When the winter design temperature in Table R001. 2(1) is below 60°F, every dwelling unet shall be provided with healing Edelbies capable of maximum promotion reconstructed 65°F as a point 3 feet above the floor healing for the capable of the capable of the continues of the design framediation. He established of one or more and to vide form across wait all babbles are marked to design framediation. He established of one or more portable space healters dual mat be used to otherw complance with 11st requirement. Heating, Ventilation and Air Conditioning:

Architect's Professional Certification
Learlify that these documents were
prepared or approved by me, and that
I am a duly licensed architect under
the laws of the State of Maryland,
License number 10378,
Expiration Date: 6-11-2019
Expiration Date: 6-11-2019

7034 CARROLL AVE, SUITE 3 TAKOMA PARK, MD 2091Z (P) 301.589,7900 (F) 301.589,7911 WWW.MANGANGROUP COM

MANGAN GROUP ARCHITECTS

Donn Digitally after the product of the profit condector was an an analysis of the profit condector was an analysis of the profit condector was an analysis of the profit of the profit

ultant's Professional Certification

raject Number 18106

Herman Residence

Project Address: 20 West Irving Street Chevy Chase MD 2081S

Project Submission issue Date:

A carbon moreuses altern is also required within any bedroom where a fuel-burning appliance is located within that bedroom or its intermed burnings. di cathen morphie salms shall be installed in accordance with section 8.33. When fault designations are used, userin morphies during shall be provided in all new construction outside of such designations in the immediate section of the best accord. UI smoke alarms shall be enstalled in accordance with section R314. Wistains shall be provided illumination in accordance with section R303 7

wike detectors shall be wared in a mainner such that activ

At Date 11/07/18 Description

Miscellaneous: Passive Radon Gas Controls
where required by the paradition, parties radon gas mitigation shall be prove
Appendix F of the IRC or as otherwise required by the paradiction.

natic garage door openers shall be listed in accordance with ULB2S

rent pipe shall extend versus all straight through the roof laws the sub-stab with 45 degree aboves allowed to be an amount destacles.

Actual Plot Date: 11/6/2018 6:29:42 PM

Scale:

As indicated
As indicated
Full size original sheet is 24" x 35".
Do not scale drawings for measurement
Call or email MGA for clarifications.
Tritle
Specifications

JIM Approved By

CLIMATE AND GEOGRAPHIC DESIGN CRITERIA

FlaShing: All fishing, counter flashing and coping, when made of metal, shall not be of less than 26-gauge comosion-resistant metal

roude ice protection seemble of two layers of underlayment cemented to ether or a self-athering polymer outlied bit was sheet from the early study to 24" leads the exterior wall line of building.

tarting at the save, apply a 36" wide theel overlapping successive sheets 19" install per manufacturer's recritations.

And a second sec

ECTION D STATE CONTRACTOR OF STATE CONTRACTOR

lopes from 2:12 to 4:12, underlayment shall be two layers with a 19° strip parallel with and starting at the

asite Asphalt Shingles: Previde and irritall twenty (20) year self-scaling alongles over one (1) layor of 15 ib 1-saturated left undertayment applied shingle fashion and lapped a minimum of 2" for slopes greater than

Tash and caulk wood beams and other pro and belcomy ledges.

izan under and at ends of masonry wood or estimate organics and and

lever all exposed plywood at building corners with waterproof building paper

Open vallery, verit pipes, chimney wass and all read provided ones. Hash all exterior window and apenings, and all tradeing corners with approved material to extend at least 4" behald wall severing

		WIN	NDESED			Stranto	TO DAMAGE FRO	M						
	Ground Ground	Speed (MPH)	Effects Effects	Seismic Design Category	Weathing	Une Une	Termès	Decay	Winter Design Temp	Ice Barrier Underfayment Required	Flood Hazards	ā	Aur Freezing ards index	
Montgomery	30 pg	115		99	Severe	30"	Moderate to	Slight to	13 F		July 2, 1979	-		
							Незму	Moderate						_

1.0 STRUCTURAL DESIGN CODES: ALL DESIGN CODES: INTLIADA RODE IVE LOAD ATTICLY FE LOAD WISTONAME 2015F C4:120 ATTICLY FE LOAD WISTONAME 2015F C4:120 ATTICLY FE LOAD WISTONAME 2015F C4:120 SOAV WHIRTLY COLUMNS - 15:15F C4:120 3.0 MAIN WIND FORCE RESISTANCE SYSTEM 2.0 DESIGN LOADING AND DEFLECTION CRITERIA: 4.0 MATERIAL SPECIFICATIONS: MINDOLAGAD; (C4 1 KG) MINDOLAGAD; (C4 1 KG) MINDOLAGAD; 115 MPH MINDOLAGAD; 110 MPH IN SERVICE AND THE SERVICE AND THE COUNTY OF THE AND THE SERVICE AND THE SERVI DEADLOAD: (cd: 0.50) - ROOF EADLOAD - FLOOR DEAD LOAD - CEMANIC THE / MARBIE / GRANITE COUNTERS - SDAX / WHIRLPOOL BATHS - SDAX / WHIRLPOOL BATHS - 5 PSF - SDAX / WHIRLPOOL BATHS 4.1 FOUNDATION AND EARTHWORK NO SCHARDSTOR STEEDEN SEEN PRIORISE ARE ANALOSEET ASSUMBLO SOLF PADERTIAL ASS AS THE SEEN SEEN TIS THE CONTRACTORS RESPONSIBILITY TO VEHITY ASSUMED PROPERTIES ARE ANALOSEE TIS THE CONTRACTORS RESPONSIBILITY TO VEHITY ASSUMED PROPERTIES ARE ANALOSEE. DONCRETE WALLS AND FOOTINGS SHALL HAVE A MIHMUM 78 DAY COMPRESSME STRENGTH OF 3,000 PSI INLESS OTHERWISE NOTED CONCRETE WORK SHALL CONFORM TO ACI318 SEE SECTION 4.3, THIS SHEET, FOR COLD WEATHER CONCRETE SPECIFICATION 4.2 CONCRETE 'ROYNDE WEATHER TIGHT COVERING FOR ALL FOUNDATIONS AFTER EXCAVATION, YO NOT EXPOSE TO RUNWATER OR FREEZING AL EARTHWORK AND SUB-GRODE PREPARATION SHALL BE EXECUTED PER AM ASSUMED 60 PCF EFF OH HEARING CAPACITY IS 2000 PSF (ASSUMED) <u>RC ISACTO WALL LINES AND IRRACED WALLS.</u> - USED AT FORTIONS OF THE STRUCTURE THAT CONFORM TO THE PROVISIONS OF SECTION REOZ 10 OF THE IRC. (MWFRS): WHO SEAS AND THE STANDARD AND THE STANDARD THESE THESE ARE MAJERIANY CHEST SECTION OF MICHAELD ON THE STANDARD THESE AND AND AND THE STANDARD AND THE STAND structural member supporting masonry deflection criteria; • 11/600 EAM DEFLECTION CRITERIA: LL/350 TL/240 *** MAX 5/4" (0.75") TOTAL LOAD DEFLECTION VANUFACTURED FLOOR DEFLECTION/SPACING ORITERIA: THE STREET HE SENDENCE CORE OF THE STREET HE S TEP FOOTINGS BELOW ALL SANITARY AND WATER LINES. QUALIFIED SOILS ENGINEER SHALL BE RESPONSIBLE FOR THE DISERVATION OF THE SITE WORK AND FOOTING XCAVATIONS, PROR TO HOUSING FOOTINGS, TO VERSEY THE BEARING STRATUM IS PROPERLY PREPARED APOR BARRIER - SMALL BE A 6 MEL POLYETHYLENE SHEET WITH ALL IOMRING EDGES LAPPED A MIRIMUM OF * AND TO BE PLACED OVER 4" TOPIOLIS GRANULAR FILL. LL INTERIOR CONCIETE SLABS 30'-O" OR GREATER IN ANY DIMENSION SHALL HAVE CONTROL JOHN'S. L HITERDO COMPORTE SLAIS, SHALL BE 3.5° (* NOAMMA) TRACE, AND HAYE A MARMAN BE BLUT COMPRESSIVE TRUMENT DE 7.500 EST AND SHALL BE REVIOURCED WITH BOSK MY 4. X MY 1.4 WAYE AND BE POURED OVER A X (B) MAL POLY VIAPOR BARRIER OVER 4° FORDUS GRAMULAR FALL. TUZNO TUZNO TUZNO TUZNO TUZNO MAX: 3/8" (0.375") LIVE LOAD DEFLECTION ALL STRUCTURAL LIMITED TO CONTRY WITH 15 OF "MARRIED LIMITED DI LIMITED DI LIMITED DE MARRIE STANDARD" AND WITH THE APPLICABE ROLL OF REALEST CONTROL CONTRY WITH 150 OF "MARRIEDOM MARKE MADE FOLDE SHARED CONTROL AGENCY FOUN MOVING COMPULANCE." WITH GRANDES STAMP OF MASTICTION AGENCY FOUN MOVING COMPULANCE. WITH GRANDES STAMP OF MASTICTION AGENCY FOUN MOVING COMPULANCE. WITH GRANDES STAMP OF MASTICTION AGENCY FOUN MOVING COMPULANCE. 4.3 COLD WEATHER CONCRETE TO INTERESTREE AND ARROWMEN BENEFITHED FOR CRISING BAST THE MEAN DALY TRANSPATING BODD SECON ARROWMEN BAST COLD WITHOUT COLD WITHOUT TRANSPATING BODD SECON ARROWMENT TRANSPATING COLD WITHOUT TRANSPATING BODD SECON ARROWMENT COLD WITHOUT TRANSPATING BODD SECON ARROWMENT COLD WITHOUT THAT ARE A POLICE OF THE MOUTH PRINCIPLE SECOND BY LANGUAGE CONCRETE. WEEP HOLES 2 MOHES IN DIAMETER SHALL BE PROVIDED THRU SASE OF FOUNDATION WALLS AT § - 0° D.C. OR PER LOCAL CODE. MOST RESTRICTIVE GOVERNS. ALL CONTINUOUS HORIZONTAL REROTORICEMENT SHALL HAVE 90 DEGREE BENDS AT CORNERS AND SHALL HAVE 25" LAP AT SPUCES. 4.5 STEEL AS THE STANDARD FOR ACLAID STORE MARKACHED OF THE FOLLOWING STREATHS. AND PLANES SHAPE ONE DIAMENTS. SETTIA MAST CROUDE SIGN. ASTER THES. ALTOMERSTEEL SATIA MASS. ALTOMERSTEEL SATIA MASS. ALTOMERSTEEL SATIA MASS. AL STRUCTURAL (UMART: SHALL BE IN ACCORDANCE WITH THE RIDS, INCLUDING THE AMERICAN WOOD COUNCY ADDESIGNANT OT THAT PUBLICATION REGARDING THE DESIGN VALUES OF SOUTHERN TRUOW PRICE. $4.4\,$ WOOD ALTORICH JUMBER SHALL CONSONATIO THE MOST CURRENT APPLICABLE SPECIFICATIONS OF THE AMERICAN INSTITUTE OF THIRER CONSTRUCTION. THE LIST OF CALCIALE OFFICIARIES SHALL BE FEMALIES ONLY IN CONFERENCIAL BASEMENT FOLORISALS ON GRADE AND IS AND FEMALIES IN ANY CITAGES CONCETTE REPORTATION. THE ANOLOGY OF CALCIAM CHICAGO PERANTIED IN UN-REMODRED BASEMENT FLOOR SLASS SHALL NOT EXCEED 1% BY WEIGHT OF CEMENT MAMTAN ADEQUATE PROTECTION DF SUB GRADE AND ADEQUATE DRAINAGE AWAY FROM EDPOSED CONCRETE DEMENT AFTER THE 72 HOUR PENIOD THE INSULATION, FORMS, AND HEATERS MAY BE REMOVED HE COMPACTOR SMLL PROTON ADQUANT POSTEROIN OF COMPATE AGAINST FEATING AND MANTHAN A COMPACT TEMPORATING OF SCHOOLST ADAPTION THE COMPATE PACKAGNIT THE MAY RECOMPATE PACKAGNIT THE PACKA THE TEMPERATURE OF CONCRETE AT PLACEMENT SHALL BE 55 DEGRESS FAHRENHEIT MINIMUM. ALL FOOTINGS AND TURNED DOWN SLABS SHALL BE LOCATED AT A MINRALIM OF 30" BELOW THE FROST UNHERGRADE PER LOCAL CODE amene concrete flat work abuts an existing concrete slab, provide a 1/2" asphalt impreshateo. Tree roard Espansky, John. I" GRANULAR FILL MINI BELDW CONCRETE SLAB ALL EXTERIOR CONCRETE SLABS SHALL BE AIR ENTRAWED IAIR CONTENT BETWEEN 5% AND 7%) AND HAVE A 28-DAY COMPRESSIVE STRENGTH OF 3,500 PS (INCLUDING THE GABAGE SLAB). ALL REINFORCING BARS SIZE #3 OR GREATER SHALL BE ASTM A61.5 GRADE 60 REBAR ALL MATERIALS AND EQUIPMENT REQUIRED FOR PROTECTION SHALL BE AVAILABLE AT THE PROJECT SITE REFORE COLD WEATHER CONCRETE NREACT, LARS MOSK SHORNS BODME WANDDWLETCH AROUND LOCKWELLE BY TOWN THE WORK SHOUND BOTH WHICH SHOUND HE SHORNS OF SHOUNDEST CONTROL THE SHOUND SHOUND HAVE SHOUND SHOUND HAVE SHOUND SHOUND HAVE SHOUND HAVE SHOUND SHOUND HAVE SHOUND SHOUND HAVE SHOUND SHOUND HAVE SHOUND HAVE SHOUND SHOUND HAVE SHOUND SHOUND HAVE SHOUND SHOUND HAVE SHOUND VELDED DOWEL BAR INCHFORCING SHALL BE ASTM A705 WILLD PERMISSIVE STELL HATTREK BUTTIMEN BUT AND HANDER, ON RECURS TRANSPORTACION OF OPEN TOPO TO ACCIATIO BAUNANDO TREA THANKES TIES, ALBOM BRONZ BOM BER ALCOHANCE MENONE TOPO AND ARTE SOCIO CARROLLO BAUNANDO TREA THANKES TIES, ALBOM BRONZ BOM BER ALCOHANCE MENONE TOPO CHANDERT SOCIO CANCENO BECCHANDRO NOR MEN SECRETO CHANDE SCHOLES SECROMANDO AND ARTE COMPANDA O STRANA 653 THE CREAT PARC CANTEL GRANAMESS SELEC, OF GENERALITY, SHALL BUT SOLD THE CREAT PARC CANTEL GRANAMESS SELEC, OF GENERALITY, SHALL BUT SOLD THE CREAT PARC CANTEL GRANAMESS SELEC, OF GENERALITY, SHALL BUT SOLD THE CREAT PARC CANTEL GRANAMESS SELEC, OF GENERALITY, SHALL BUT SOLD THE CREAT PARC CANTEL GRANAMESS SELEC, OF GENERALITY, SHALL BUT SOLD THE CREAT PARC CANTEL GRANAMESS SELEC, OF GENERALITY, SHALL BUT SOLD THE CREAT PARC CANTEL GRANAMESS SELEC, OF GENERALITY, SHALL BUT SOLD THE CREAT PARC CANTEL GRANAMESS SELEC, OF GENERALITY, SHALL BUT SOLD THE CREAT PARC CANTEL GRANAMESS SELECT, OF GENERALITY, SHALL BUT SOLD THE CREAT PARC CANTEL GRANAMESS SELECT OF GENERALITY, SHALL BUT SOLD THE CREAT PARC CANTEL GRANAMESS SELECT OF GENERALITY, SHALL BUT SOLD THE CREAT PARC CANTEL COMPRETEND DESIGN PROVINCED BY THE ELEPHONE SHALL AT A MINIMALM REACH THE AVISAGE 28 DAY MIX CHAMMARKSHIN STREAM IN A MINIMALM TA HOUSE OF ADOUTE - HUMOFORD IS GREATED. CONTRICTION SHALL SHAMET A HIX DESIGN TO THE EMORRER FOR RECREW PRIOR TO USE. I DRESSARE REALTO PRODO SAML RE PRESSARE TRANTO WITH WATER-ADARE PRESSARVANTS. PRESSARE REALWARD TO COMMY WITH THE REQUIREMENTS OF AMPRICAL PLAN DAY SECTION WITH. ALL LUMBER OF THE ADDRESS DREADS SAML REPRESSARE TRANSIC. MROMUM CONCRETE TEMPERATURE AT THE TIME OF MIXING SHALL NOT BE BELOW &S DEGREES FAHRENHEIT CRETE MANUFACTURET SHALL FOLLOW GUIDELINES SET FORTH BY ACI 306H (LATEST EDITION). WEATHER CONCRETE WORK SHALL CONFORM TO ACISOS. LUMARES IN COMPACT WITH MASONINY OR OTHERWISE EXCRÉCT OR WEAKERIMES SMALL RE PRESSURE TREATER (FT) RED ARRIED SALL MAE. SOTTOM SOAT) PAATE DE CONTACT WITH MASONINY PT STPS 2 OR RETTER SYSTEMS SHALL BE SEPARATED FROM POURED CONCRETE POLICHES / PATIOS BY A LÍZ" ASPHALT SHATED SBERS ROMAID LIZHARRON ICHT AND A 25 GAGE ALUMINUM FLASHING ANDICHS 6 MIL POLY BARRETS. NOZ DEC CRACIPSI CRIME. REM TO CONTROL OF THE RELEVANT OF THE MONTGOMERY COUNTY DIGITAL STAMPS AREA SISTITIZAS ADSOLUCIANO. IN MOTINA MATERIANI SE REPUBLICO MININTO DE PA, MATERIA DE GOUAL DE RETTO MANENDOS. IN MOTINA MATERIANI SE REPUBLICO DE PA, MATERIA DE GOUAL DE RETTO MANENDO. IN MOTINA MATERIANI DE MATERIA DE MATERIA DE GOUAL DE STOTO DE MATERIA MATERIA DE MATERIA MATERIA DE 4.9 THREADED ROD ANCHORS/HOLDDOWNS THEWATER DAD MANAGES AND HALD DOWNS AND RESCRIPTED TO CONCRETE TRANSLATION WITH USP DIA-GES TENTO'S ELEMANTH HOLE SHALL BE DIRELTED AT A DAWNITER JUST LAKESTE WHAT THE MUSTO HOLD DEPTH FOR FAM. RICOR TRUSSES SHALL RE DESIGNED USING THE REALING LOCATIONS, O.C. SPACING, AND DEPTH OF TRUSSES INDICATED ON THE RICOR FRAMING PLANS. 4.7 PRE-FABRICATED WOOD ROOF OR FLOOR TRUSSES KOS HAN DOOR TRUSS MAN, UR BOSINIST DIAMENT HE FLOORING STOPLES AND DOF ROOS HAN DOOR TRUSS MAN, UR BOSINIST DIAMENT HE FLOORING STOPLES AND DOF ROOS HAN DOOR TRUSS MAN, UR BOSINIST DIAMENTS OF HE FLOORING HE SUPPRISON OF A LOCATIO HOU COMMAL REMIETE, HANGE COMMENTS OF HE DOES HANDOWN AND HE HANGE CHARGE HOW MAND THE MAN HANGE HE HANGE THE MANDET OF HEAD HE HANDOWN AND HE HANGE CHARGE MAND THE HANGE HE HANGE THE HANGE OF HE HANGE HAND HE HANGE HANGE HE HANGE HANGE HANGE HE H 4.10 ENGINEERED WOOD PRODUCTS ENGINEERED WOOD PRODUCTS PROVIDED BY ILIPEL/WEYERHAUSEA. EIGOR DECK SEKTHING GENTEM: FICON DECK SEKTHING GENTEM: SE MAY, 23/32" TOWGUE AND GROOVE APA RATED SHIATHING, U.N.O. SHIATHING SHALL SE (ASTENED WITH JIDO COMMON MAILS, 6"O C., AT PANILL EDGES, 12" O.C. FLOOR DESIGN CHITENIA: LUADING AND DEFLECTION CHITERIA PER SECTION 2 0, THIS SHEET 4.8 MANUFACTURED WOOD I-JOISTS MANUFACTURED WOOD HORSTS SHALL BE DESCRIFE USING THE BEARING LOCATIONS, O.C. SHACING, AND DETHY OF MOSTS MODICATED ON THE FLOOR FRAMENC PLANS. FLOOR DECK SEATHING CHITTING. FINDED DECK SHEATHING CHITTING. SHEATHING SHALL BE FASTENED WITH 100 COMMANN HALLS, 6" O.C. AT PANEL EDGES, 12" O.C. SHEATHING SHALL BE FASTENED WITH 100 COMMANN HALLS, 6" O.C. AT PANEL EDGES, 12" O.C. HOLD SHEATHING SHALL BE FASTENED WITH 100 COMMANN HALLS, 6" O.C. AT PANEL EDGES, 12" O.C. A COMMENTAL MARKET SET AND A PER SETTING 2. THIS SHELL C. SHAMEN SET AND A SETTING 2. THIS SHELL C. SHAMEN SET AND A SETTING 2. THIS SHELL C. SHAMEN SET AND A SETTING 3. THIS SHELL COMMENT SHEME AND ASSET AND A SETTING 2. THIS SHELL COMMENT OF AND ADDRESS. COMMENT OF AND ADDRESS. RODE DESIGN CRITERIA; LICADNIG AND DEFLICTION CRITERIA PER SECTION 2.0, THIS SHEET. O.C. SPACING PER PLAN THE NOMINAL DIAMICTER AND LENGTH OF TYPICAL FASTENERS SPECIFIED FOR THIS PRILIECT ARE AS LISTED IN TABLE 4,5-1 NAIL LEGEND, THIS SHEET WHEN A BORED HOLE IS REQUIRED TO PREVENT SPLITTING OF A WOOD DUE TO FASTENER PENETRATION. THE BORED HOLE SHALL NOT EXCEED 75% OF THE NAIL OR SPIKE DIAMETER 4.6 NAILS COMMON WAS USED AND THEFOURD INAUGUED STEEL MALE SHALL CONFORM TO THE NOMINAL SIZES SECURED MATINES AND THEFOURD INAUGUED SIZES APPLY TO FASTERIES SECORE APPLICATION OF PROTECTIVE COMMING. SHEATHING SHALL BE GLUED AND NAILED. ALTERNATE FASTENERS PERMITTED AS PROVIDED IN IRC TABLE R502 3(2). OC SPACHSHER HAM OC SPACHSHER THAN MAX 19F0 OC SPACHS MAX 19F0 OC SPACHS (UNIX) PROPER MICKURES ARE TAKEN PER MICS SENIOR AND AND APPEAR MICKURES ARE TAKEN PER MICKURES OF THE TILE COUNCE OF AMERICA. IN THE FIELD. SHEATHANG SHALL BE GLUED AND NAMED. ALTERNATE FASTENERS PERMITTED AS INCAPOLO IN IRC TABLE R602 3(2) TABLE 4.6-1 NAIL LEGEND TABLE ARY BRACING SHALL BE THE RES DINSTRUCTION IS COMPLETE. INTRACTOR AND SHALL BE LEFT IN PLACE ABBREVIATIONS: NIK, MIRANDA NAX, MARINDAM OC. OIL CRITES AND AND OC. OIL CRITES OC. OIL CRITE 5.0 DEFINITIONS: 7.0 GENERAL STRUCTURAL NOTES: THE STRUCTURAL DRAWNINGS SHALL GOVERN THE WORK FOR ALL STRUCTURAL FEATURES, I. SELAMANTE TRANSITURMENT LIGHT PRIMETER MODE PRODUCT DE SELAMATIF 1. PALAMATER SINCE MODERNE SE REMONERANT MODERNO PRODUCT DE LEMANATIF 1. PALAMATER SINCE MODERNE SE REMONERANT MODERNO DE LEMANATIF DE LEMANATIF MODERNE SE REMONERANT MODER 4.11 BRICK/LINTELS REKCYDELE - MADDEMYL THE AT MY O.C. - WHITCH THE EXAMENA BROCHER SHALK RESILLED RECORDANG WITH LAND 4113, THE SHALLED REBROCHER SHALK RESILLED RECORDANG RETURN LAND SHALLED SHAP WITH JUNES HAND THAN A SHALLED RECORDANG SHOPPING A THAN 6 OF LAWN 131 14" "I" WOOD SCIEN BROCHER SHALLED RESILLED RECORDANG SHOPPING A THAN 6 OF LAWN 131 14" "I" WOOD SCIEN BROCHER SHALLED RECORDANG A SHALLED RECORD SHAP BROCHER SHALLED RECORDANG SHOPPING A SHALLED SHAP BROCHER SHALLED RECORDANG SHOPPING A SHAP BROCHER SHAP I HE COMPACTION ENERGHABLE SHE ME COMPRICIONAL ITS VERTI NOLLONG BUT HEIL UNTIL TO PROVINNEN PROVENT ENCORTO TENPORALE SHEEMEN, BUCCHE, CHANNOT, CAUTEROLIN, BUT DIES ALETTI LOUISMANET ELIZABE TO PROVIDE THE TRIFFICHIS MORRES, AND CORREA, HE BL. A MERIANA DE MACHEN MACHEN PACI CAUTER HE CONTROLLONG PARTICIONAL TO AND CONTROLLONG PARTICIONAL TO AND CONTROLLONG PACIFICATION OF THE TOTAL TO AND CONTROLLONG PACIFICATION OF THE TOTAL THE TOTAL AND CHESTIANT CONTROLLONG PACIFICATION OF THE TOTAL THE TOTAL PACIFICATION OF THE TOTAL THE TOTAL PACIFICATION OF THE TOTA SHALL REFERENCE AND RECEIPED TO THE ADMINISTRATION OF A RECORD THE REPORT OF A RECORD OF THE ADMINISTRATION OF A RECORD OF THE ADMINISTRATION OF THE ADMIN UNLESS NOTED OTHERWISE. THE ARCHITECTURAL DRAWINGS SHALL GOVERN THE WORK FOR ALL CIMENSIONAL PURPOSES. TABLE 4.1.1 BRICK UNTEL INSTALIATION SPECIFICATIONS UNICAMISMS UNI 173 12/11/18 2 COMMON TO THE PROPERTY OF THE Drawing Sheet Information 20 West Irving Street Chevy Chase MD 20815 Project Number:18106 onsultant's Professional Certification I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland. JIM Approved By Actual Plot Date: 11/6/2018 6:29:42 PM **Herman Residence** 1/4 = 1.0" 1/4 = 1.0" Full vze original sheet is 24" x 36". Do not scale drawings for measurements. Call or email MGA for clarifications.

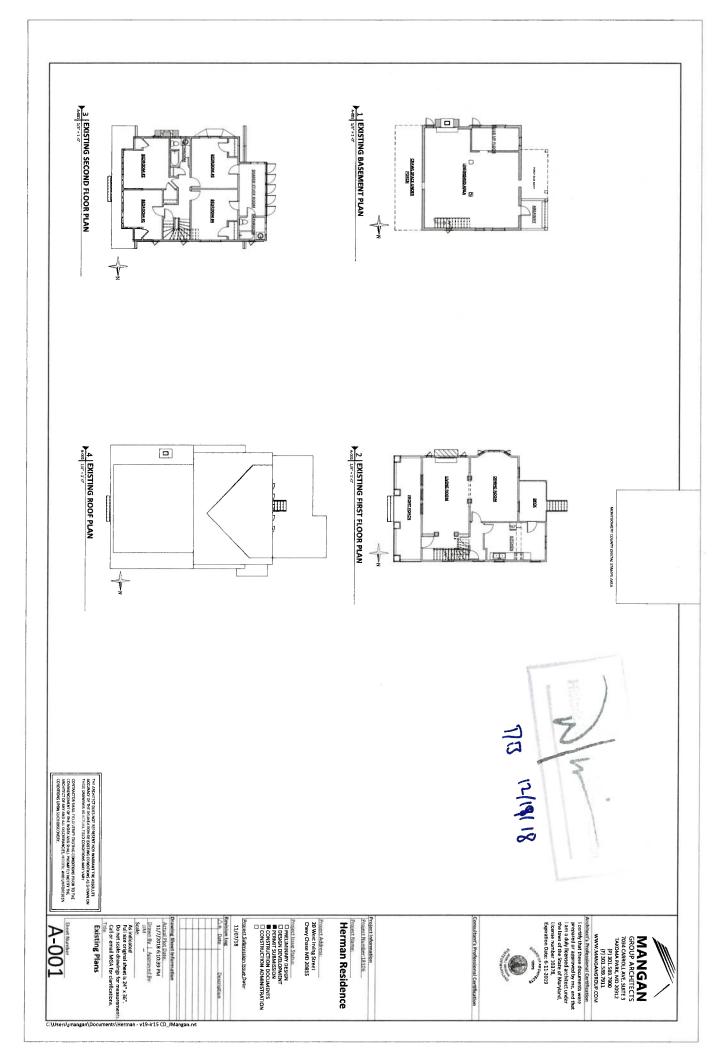
MANGAN
GROUP ARCHITECTS
7034 CARROLL AVE, SUITE 3
TAKOMA PARK, MD 20912
(P) 301.589,7900
(F) 301.589,7911
WWW.MANGANGROUP COM

I's Professional Certification

11/07/18

ion Issue Date

Structural Specifications



2 EXISTING REAR 3D 1 EXISTING FRONT 3D 田田田田 73 12/19/18 Architect's Professional Certification
Lordin's that these documents were
prepared or approved by me, and that
I am a obly licensed architect under
the laws of the State of Manyland,
License number 10378,
Expiration Date 5, 611.2015 Actual Plot Date: 11/7/2018 6:10:40 PM Project Information
Project Number 18106
Project Nume:
Herman Residence Project Address
20 West Irving Street
Chevy Chase MD 20815

MANGAN
GROUP ARCHITECTS
7034 CARROLL AVE, SUPE 3
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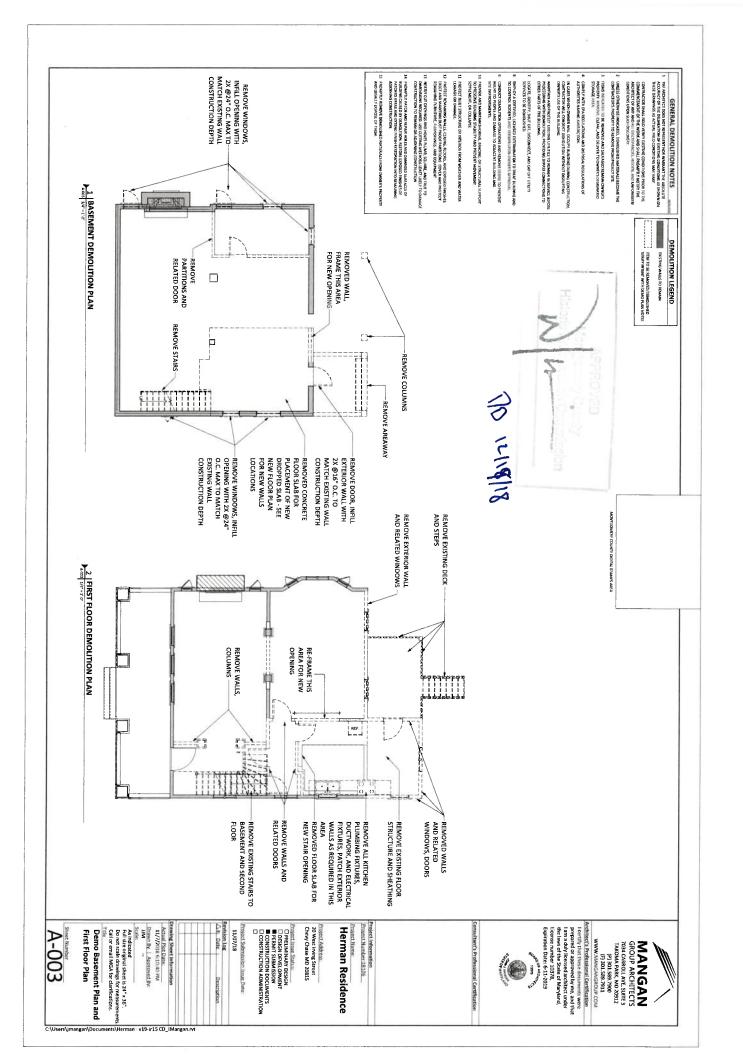
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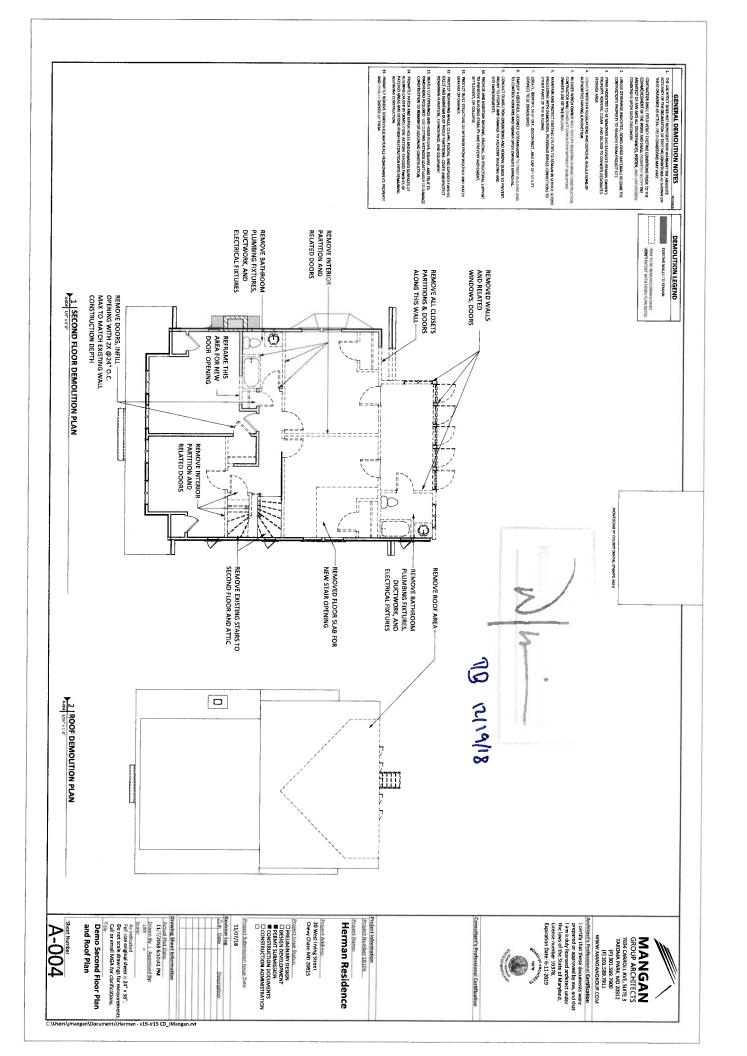
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call or small MSA for derifications.
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Existing 3D Elevations

roject Submission Issue Date: 11/07/18







1 PROPOSED BASEMENT PLAN

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As indicated Full size original sheet is 24" x 36". Do not scale drawings for measurems Call or email MGA for clarifications.

Basement Floor Plan & Schedules

A-100

3-15% 3-15%

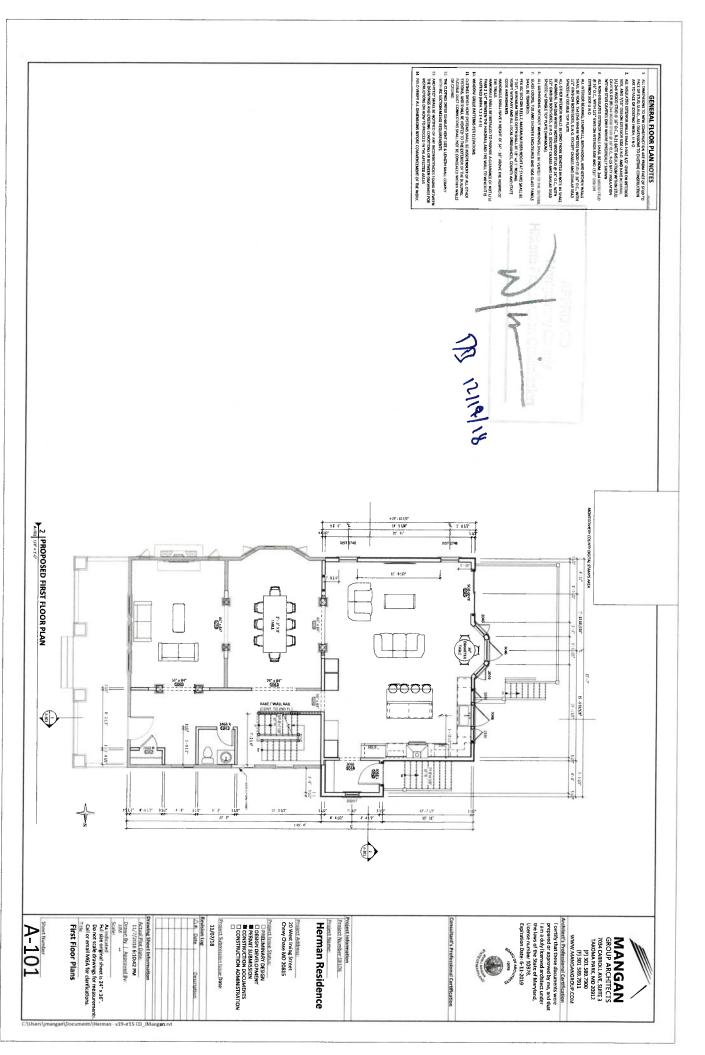
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Actual Plot Date:
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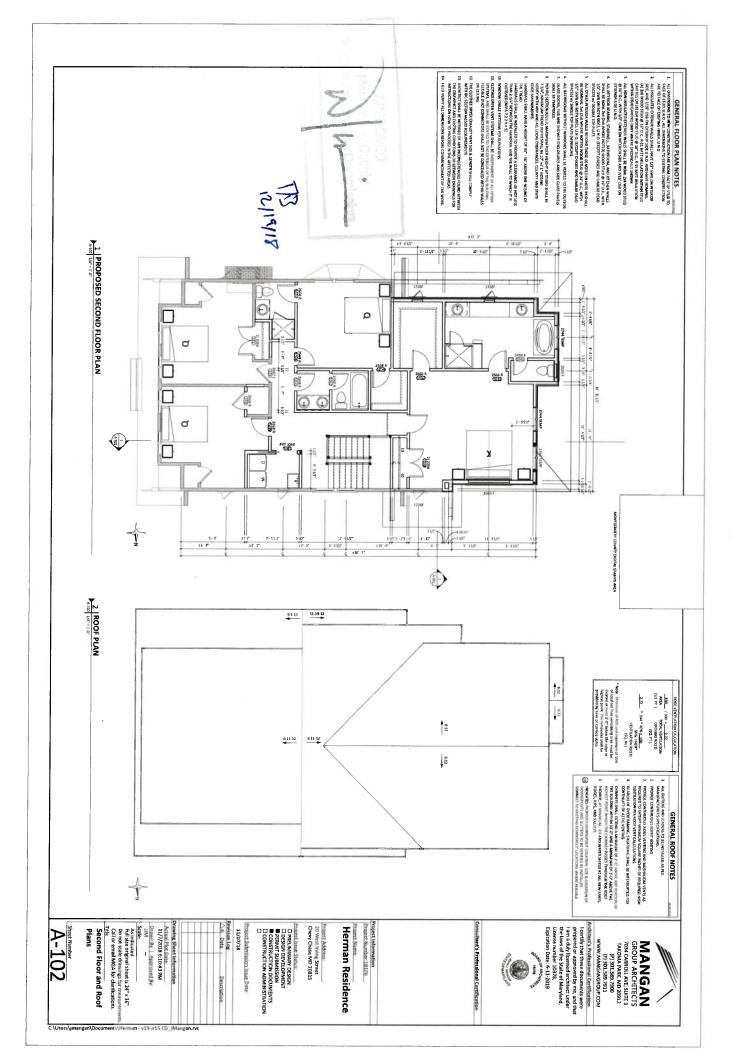
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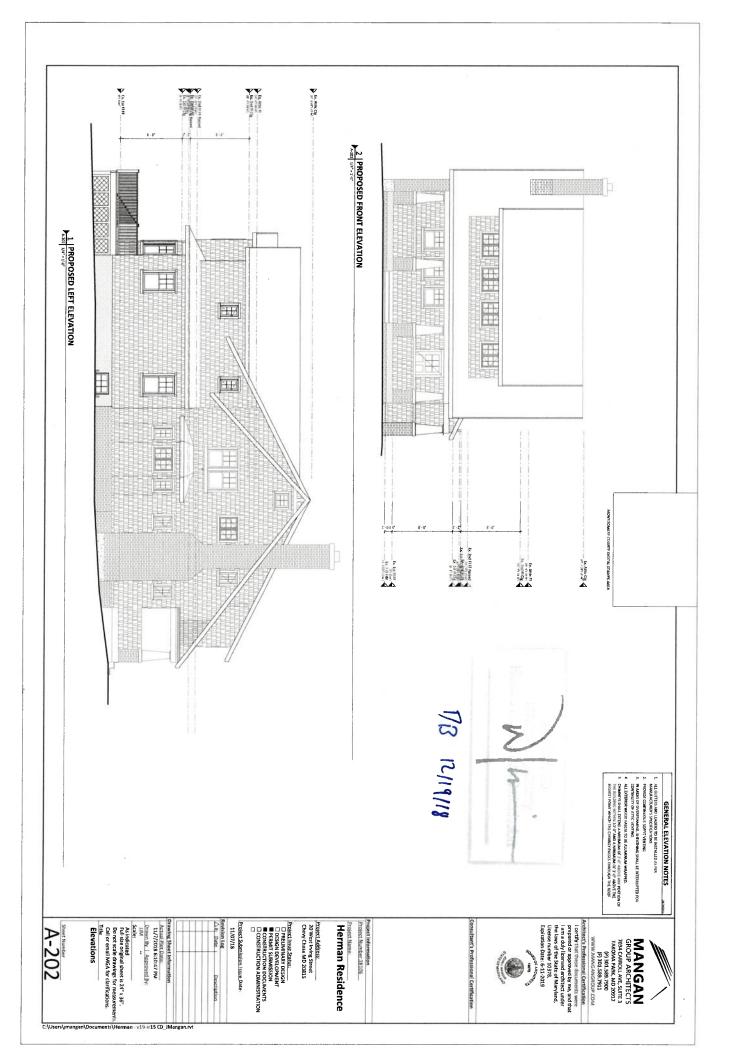
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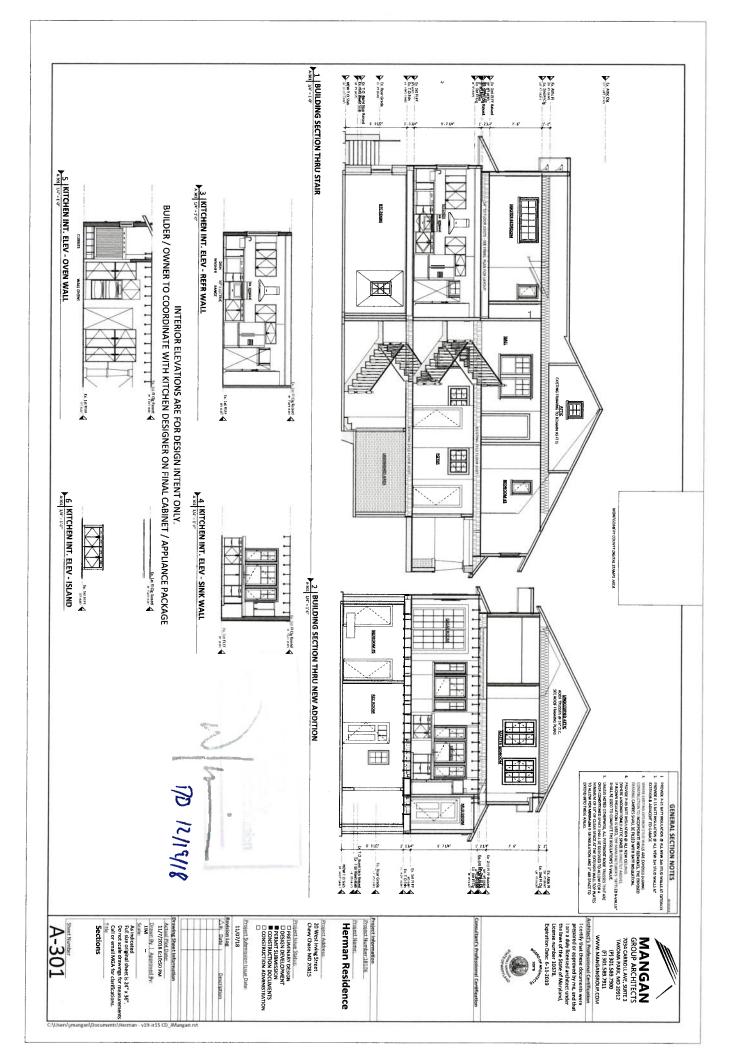
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Ex 19 FEB Ex 2nd FLFF Ex 40xFRCy Raised or 1447 hard Ex 2nd FI Cig Ex. T.Q.Fdo By Agric F 1 TYPICAL WALL SECTION <u>.....</u> - 23/32" OSB SUBFLOOR, GLUED AND NAILED ON THE FLOOR HOISTS, TYP WINDOW PER MER SPECS STRUCTURAL HEADER AS PER FRING PLAN PER FRAG PLAN W/
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Project Submission Issue Date: 11/07/18

Project Address: 20 West Irving Street Chevy Chase MD 20815

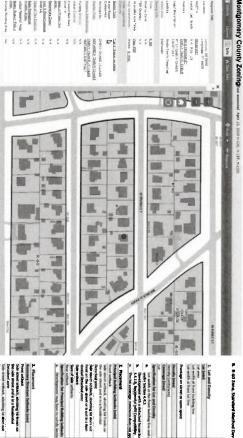
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MANGAN
GROUP ARCHITECTS
7034 CARROLL AVE, SUITE 3
TAKOMA PARK, MD 20912
IP) 301.589.7900
(F) 301.589.7911
WWWW.MANGANGROUP.COM

2 ZONING INFORMATION



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Capitol Surveys, Inc. 19762 Dhode Island Avenue Beltsville, Yanyhand 20705 Dhone 3014914560 Fax 301491457

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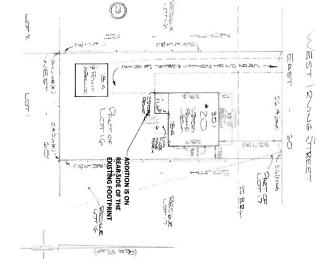
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Learthy that these documents were
prepared or approved by me, and shall
Jam a duly licensed scribitect under
the laws of the State of Manyland,
Leonte number 10378,
Expiration Date 6-17.2019

MANGAN
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7034 CARROLL AVE, SUITE 3
TAKOMA PARK, MD 20912
[P) 301.589.7900
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Project Address:
20 West Irving Street
Chevy Chase MD 20815 Herman Residence

Project Information
Project Number 18106

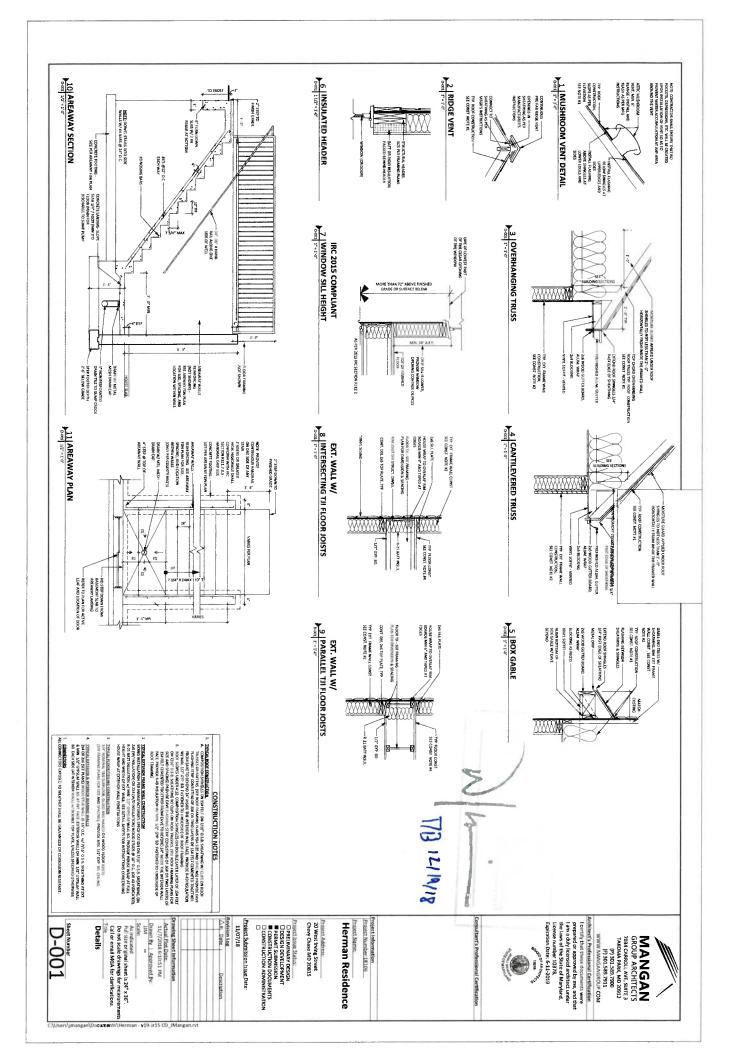
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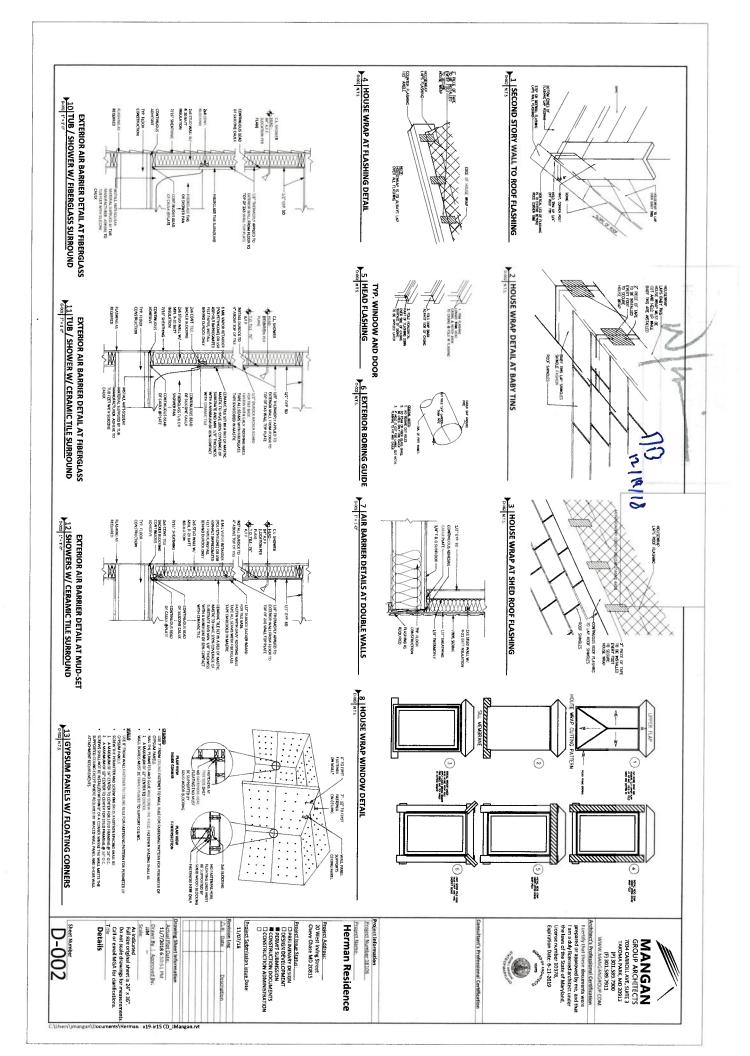
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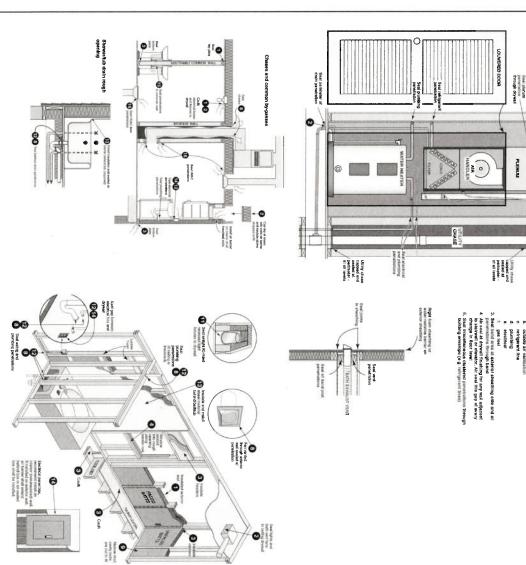
Drawing Sheet Information
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Zoning and Site Plan

I hareby cartify the location straining was prepared in accordance with the measurum standards of practice for the State of Mayland and is corned in the best of my based of what cam be visually and accessably observed.







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Itant's Professional Certification

Floors (Including above-garage and cantilevered floors) Air berrier and thermal barri Recessed lighting Narrow cavities Rim Joists 8/BB/W HVAC register boots Shower/tub on exterior wall Plumbing and wiring Shafts, penetrations Crawl space walls Garage separation Windows and doors Air barrier extends behind boxes or air seeled-type boxes are installed. insulation is permanently attached to waits. Exposed earth in unvented crawl spaces is covered with Class I vapor returder with overdapping joints taped. Air barrier in any dropped ceiling sorth is substantially aligned with insulation and any gape are seeled.

Aftic access (except lenvented aftic) knee well door, or drop down stell is seeled. Extenor thermal envelope insulation for framed walls is installed in substantial contact and continuous alignment with building envelope air barner Showers and tubs on exterior walls have insulation and an air barrier separating them from the exterior wall. Rsulation is placed between outside and pipes. Belt insulation is cut to fit around wiring and plumbing, or sprayed/blown insulation extends behind piping and wiring. Recessed light futures are air tight. IC rated, and sealed to drywali.

Exception—futures in conditioned space. Air sealing is provided between the garage and conditioned spaces Batts in narrow cavities are cut to fit, or nerrow cavities are filled by sprayed blown insulation Space between windowidoor jambs and framing is sealed. IVAC register boots that penetrate building envelope are sealed to upthor or drywall. Wr barrier is installed in common wait between dwelling units. Duct shefts, utility penetrations, knee walls and flue shafts opening to exterior or unconditioned space are sealed. itm joists are insulated and include an air barrier corners and headers are insulated.

Function of foundation and sill plate is sealed. Steaks or joints in the air barrier are filled or repained. Ur-permeable insulation is not used as a seeiing material tir-permeable insulation is made of an air barrier. Jacon is installed to maintain permanent contact with underside of floor decking. Air barrier is installed at any exposed edge of

Project issue Status:

I PRELIMINARY DESIGN

U DESIGN UPDELOPMENT

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CONSTRUCTION ADMINISTRATION

CONSTRUCTION ADMINISTRATION

20 West Irving Street Chevy Chase MD 20815

Project Submission Issue Date:

11/07/18

Project Information Project Number 18106

Herman Residence

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SERIES AND DETAILS ON D SERIES SHEETS FOR ACTUAL CONSTRUCTION, AIR-SEALING AND INSULATING REQUIREMENTS. AIR SEALING ILLUSTRATIONS ARE INTENDED FOR A GENERAL DESCRIPTION OF METHODS. SEE BUILDING SECTIONS ON A-300

AIR SEALING ILLUSTRATIONS

Iditional Multifamily Air-realing Kaypoints
Cap and seal all chases including chases for
grouped utility lines and radon wints
Seal penetrations in mechanical closet including

Architect's Professional Certification
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prepared or approved by me, and shall
tam a duty licensed architect under
the flow of the State of Manyland,
License number 19378,
Expiration Date: 6-11-2015

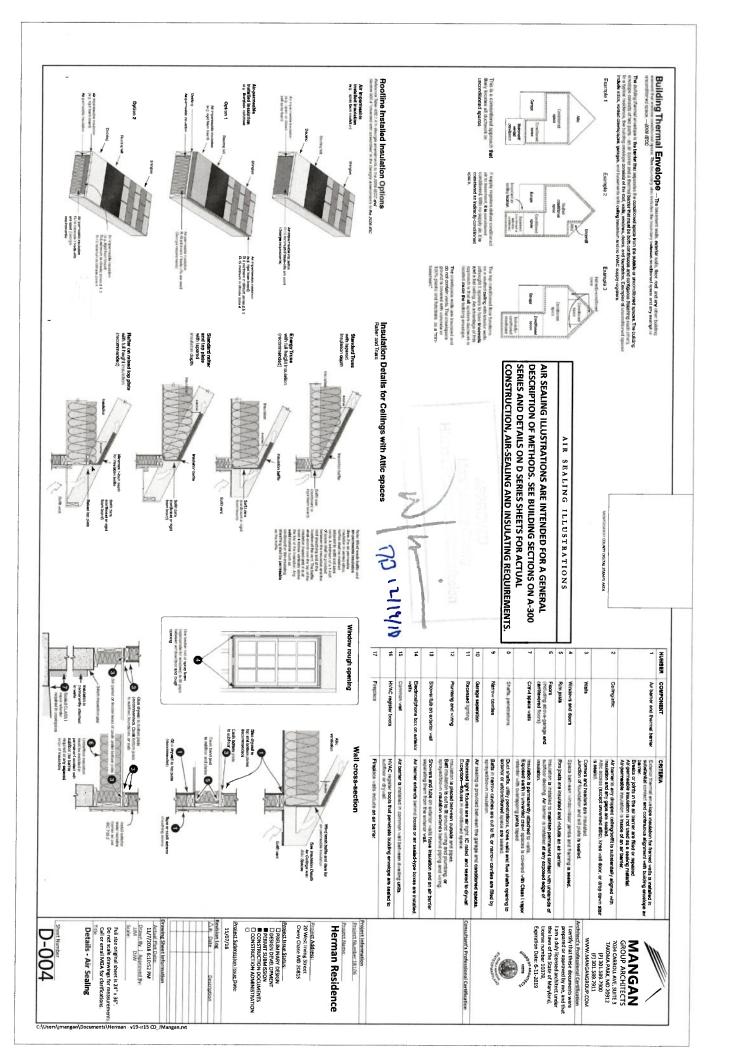
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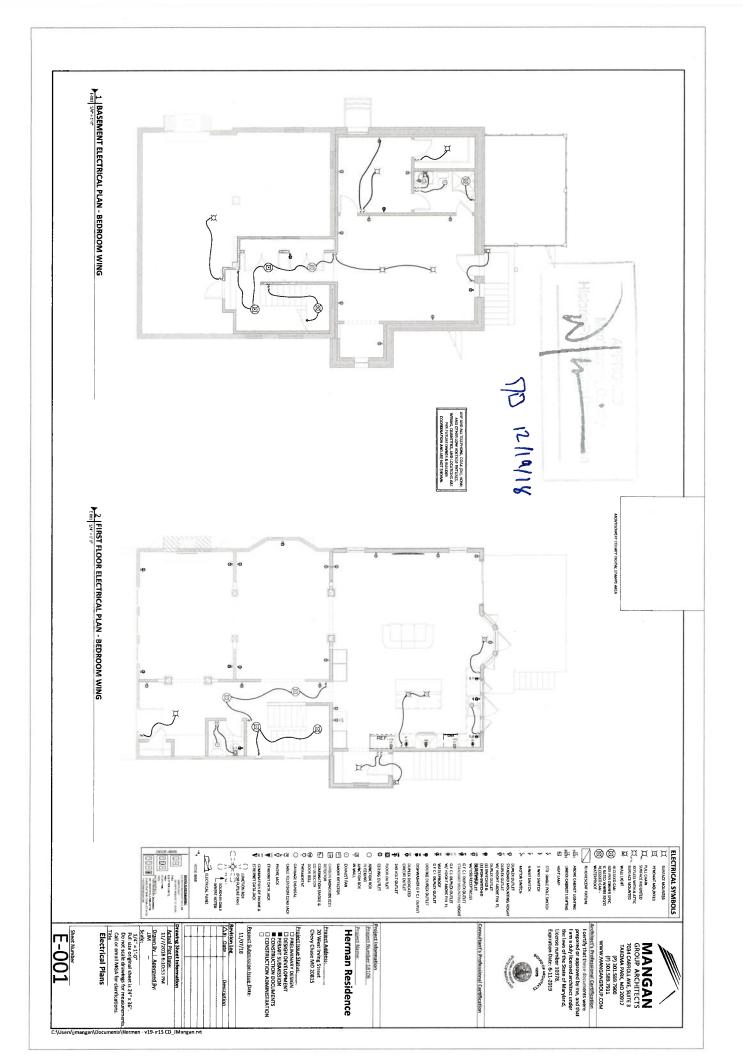
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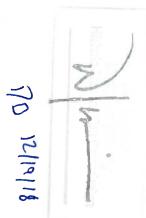
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1 SECOND FLOOR ELECTRICAL PLAN





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Electrical Plans

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Project Address: 20 West Irving Street Chery Chase MD 20815

Herman Residence

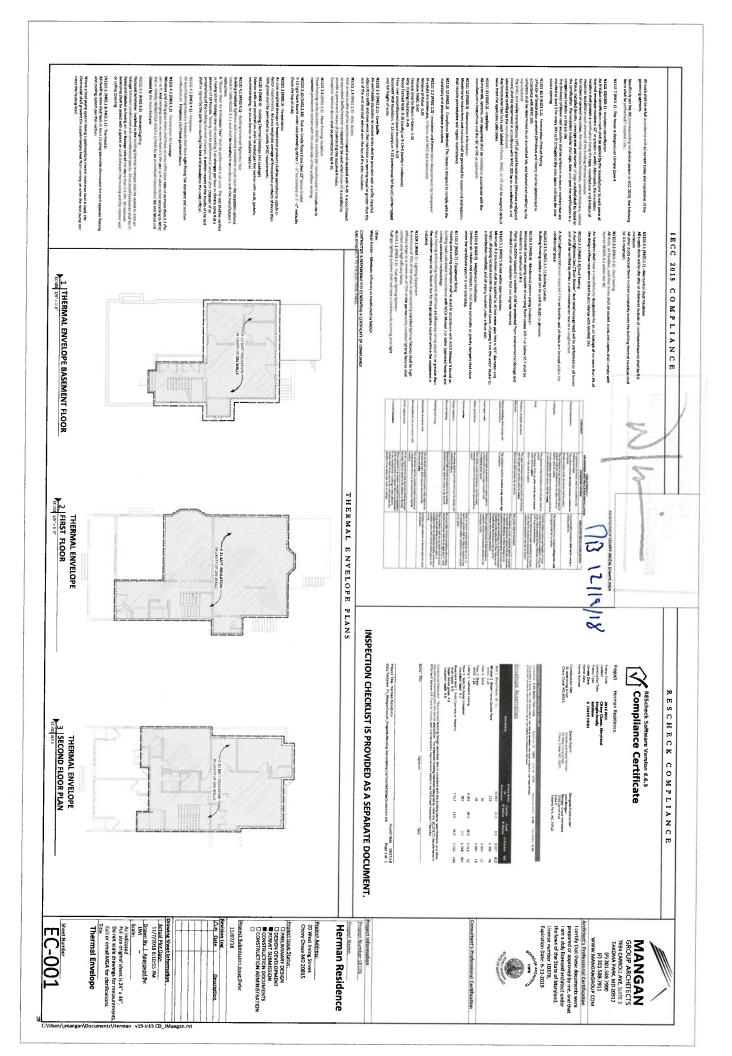
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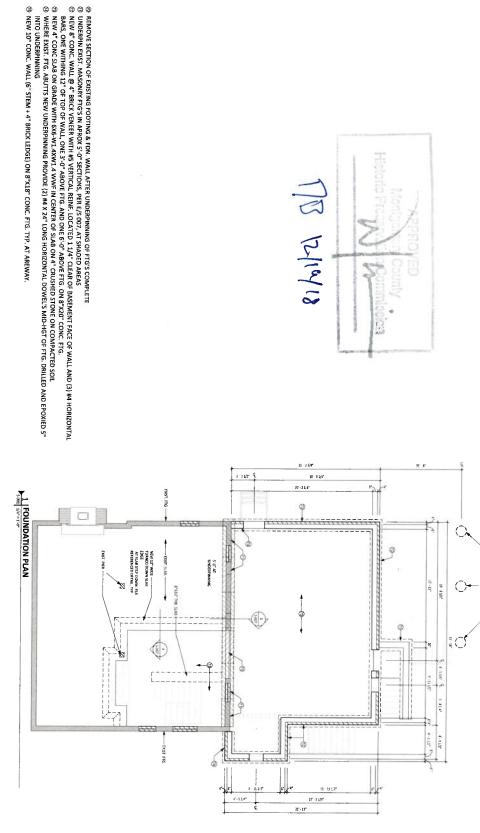
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GROUP ARCHITECTS
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Description

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| CONSTRUCTION ADMINISTRATION | 11/07/18 ject Submission Issue Date:

Project Address: 20 West Irving Street Chevy Chase MD 20815

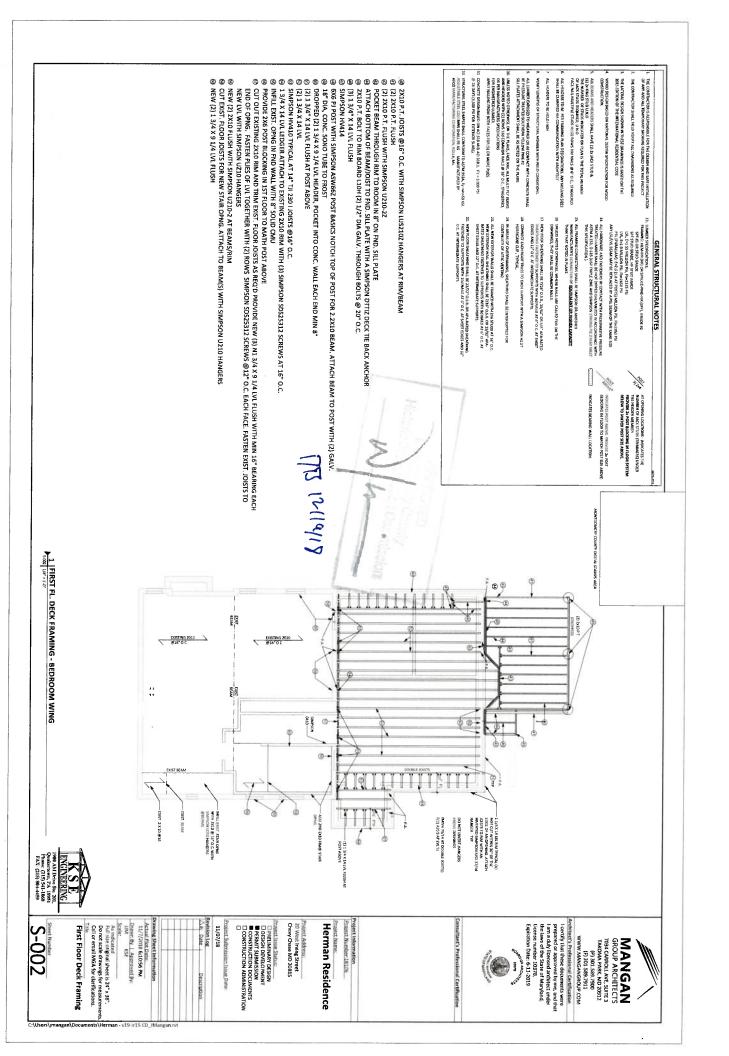
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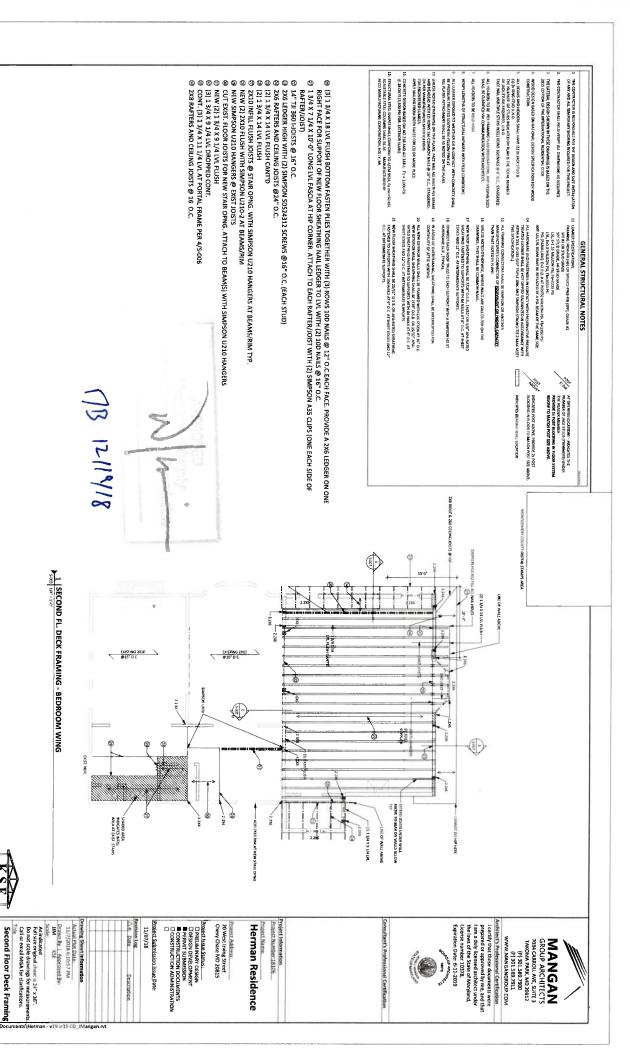
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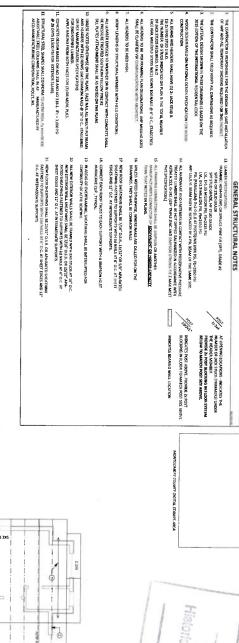
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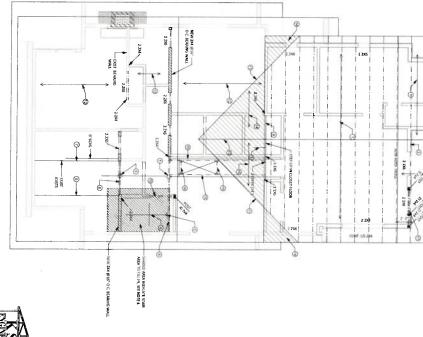
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Foundation Plan









1 ROOF FRAMING - BEDROOM WING

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Architect's Professional Certification
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Liam a duly licensed scribict under
the laws of the State of Maryland,
Licensa number 10978,
Expiration Date: 6-11-2019
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MANGAN GROUP ARCHITECTS 7034 CARROLL AVE, SUITE 3 TAKOMA PARK, MD 20912

Herman Residence oject Information

Project Address: 20 West Irving Street Chevy Chase MD 20815

Project Issue Status:

| PRELIMINARY DESIGN |
| DESIGN DEVELOPMENT |
| PERMIT SUBMISSION |
| CONSTRUCTION DOCUMENTS |
| CONSTRUCTION ADMINISTRATION |

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11/07/18

A Bate

NEW (2) 2X10 HANGER AT ATTIC ACCESS WITH SIMPSON U210-2 EACH END. CUT OUT EXIST ATTIC FLOOR & JOISTS PER NEW PULL DOWN
ATTIC ACCESS LADDER. HANGER CUT JOISTS TO HEADERS WITH SIMPSON U210 HANGERS
 NEW (3) 2X12 CONT. AT ONE SIDE FO PARTAL FRAME PER 4/5-006

© NEW (2) 2X40 FIUSH

© NEW (2) 13/4 X 9 1/4 LVL FIUSH CONT.

© NEW (2) 13/4 X 9 1/4 LVL DROPPED

© NEW (2) 13/4 X 9 1/4 LVL DROPPED

© XIG PLAT VALLEY PLATE WITH (2) 36D NAILS EACH EXIST. RAFTER

© XXIG PLAT VALLEY PLATE WITH (2) 36D NAILS EACH EXIST. RAFTER

© EXIST. 2X10 ATTIC FLOOD/CELLING JOISTS. EXIST RAFTERS SPANNING FRONT TO BACK NOT SHOWN

© EXIST. 2X10 ATTIC FLOOD (SELLING JOISTS. EXIST RAFTERS SPANNING FRONT TO BACK NOT SHOWN

© XXIST. 2X10 ATTIC FROM JOISTS WITH A NEW ZX10 WITH (2) 10D NAILS @15" O.C. HANGER EACH END TO NEW BEAMS WITH SIMPSON

DATE OF THE NAING FROM JOISTS WITH A NEW ZX10 WITH (2) 10D NAILS @15" O.C. HANGER EACH END TO NEW BEAMS WITH SIMPSON

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DATE OF THE NAING FROM JOISTS WITH SIMPSON

① PROVIDE A NEW 2X10 X 8'-0" SCAB AT EXISTING FLOOR CEILING JOISTS WITH REAR END OF SCAB BEARING ON NEW BEARING WALL OR HANGERING INTO NEW FLUSH BEAM GLUE AND FASTEN SCAB TO JOIST. JOIST WITH (2) SIMPSON SDS25300 SCREWS @16" O.C. WITH (5) ADDITIONAL SDS25300 SCREWS FRONT END OF SLAB AND REAR END OF EXIST. JOIST.

SDS25300 SCREWS

O NEW ROOF TRUSSES @ 24" O.C.

O STRUCTURAL GABLE AND ROOF TRUSS. HOLD TOP CHORD DOWN FOR 2X6 FLY RAFTERS

O STRUCTURAL GABLE AND ROOF. TRUSS. HOLD TOP CHORD DOWN FOR 2X6 FLY RAFTERS

O NEW LEWST. STAN DOPMS. AT ATTIC WITH NEW 2X10 FLOOR JOISTS @ 16" O.C., CANTALEVERED OVER NEW BEARING WALL

O NEW SIMPSON UZ10 HANGER EACH NEW/EXISTING JOIST AT NEW BEAM-TYP. PROVIDE NEW 23/32" OSB FLOOR SHEATHING @ NEW JOISTS

O LAP CANTO JOISTS WITH 10" PAST. END OF EXIST. FRONT FLOOR/CELLING JOISTS, FASTEN EXIST. TO NEW JOISTS WITH MIN (5) SIMPSON

