



HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

William Kirwan
Chairman

Date: December 19, 2018

MEMORANDUM

TO: Diane Schwartz Jones
Department of Permitting Services

FROM: Michael Kyne
Historic Preservation Section
Maryland-National Capital Park & Planning Commission Historic

SUBJECT: Area Work Permit #850252: Building Addition

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the October 10, 2018 Historic Preservation Commission meeting.

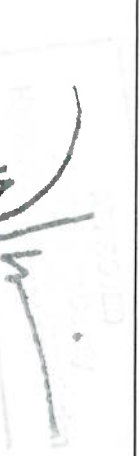
The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

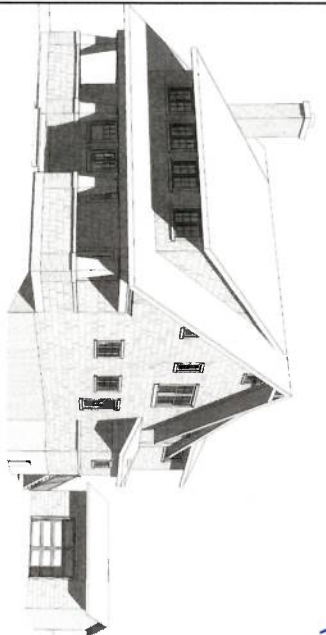
Applicant: Andrew & Katie Herman
Address: 20 W. Irving St., Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Michael Kyne at 301.563.3403 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.

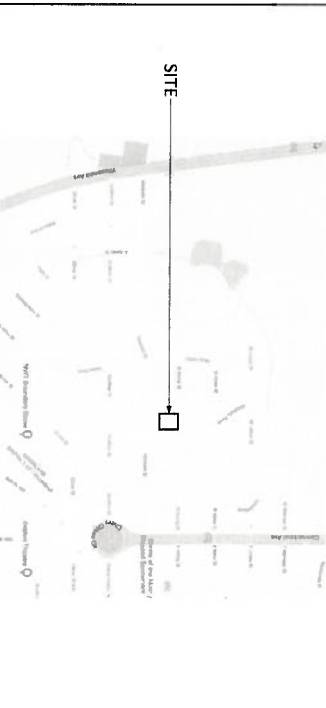




THREE DIMENSIONAL VIEW



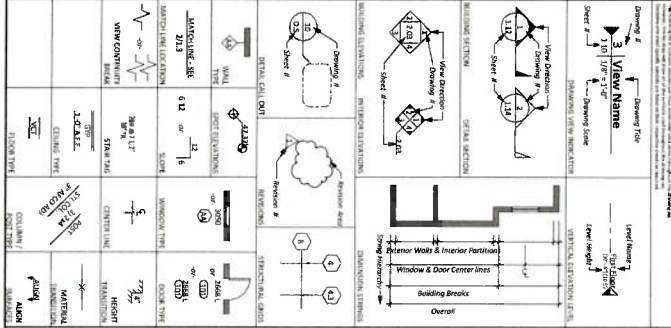
LOCATION MAP



ABBREVIATIONS

Table of abbreviations with symbols and descriptions for architectural elements like walls, doors, windows, and materials.

SYMBOLS



CODE COMPLIANCE

THIS PROJECT SHALL COMPLY WITH ALL APPLICABLE CODES, AS ADOPTED AND AMENDED BY THE COUNTY IN WHICH IT IS PERMITTED, SPECIFICALLY THIS INCLUDES:

- List of applicable codes: 2015 International Residential Code w/ Montgomery County Amendments, 2015 International Energy Conservation Code w/ Local Amendments, 2015 International Fuel Gas Code w/ Local Amendments, 2015 NFPA 1 & 101 Life Safety Codes w/ Local Amendments, 2015 COMAR NFPA 101, 2014 NFPA 70 National Electrical Code w/ Local Amendments, Montgomery County Fire Safety Code, WSSC Plumbing Code.

CODE ANALYSIS

Table for code analysis with columns for code type and compliance status (e.g., International Residential Code, International Energy Conservation Code).

SEE SHEET C-001 FOR ZONING INFO AND SITE PLAN.

SQUARE FOOTAGE

Table of square footage for various areas: Total, Floor Area, and other metrics.

DRAWING LIST

Table listing drawing sheets, titles, and sheet numbers (e.g., Sheet Title: PERMIT, Sheet #: 11/07/18).

SCOPE OF WORK

THE PROJECT INCLUDES THE LIMITED REVISION OF AN EXISTING SHEET FOR THE WORK...

THERMAL ENVELOPE

SEE SHEET EC-001 FOR THERMAL ENVELOPE RELATED COMPLIANCE REQUIREMENTS.

PROJECT TEAM

- List of project team members: Andrew and Katie Herman (OWNER), Cabin John Builders (BUILDER), Mangan Group Architects (ARCHITECT), K&S Engineering (STRUCTURAL).

Mangan Group Architects logo and contact information: 7030 CARROLL AVE, SUITE 3, FREDERICK, MD 21701.

Project Information: Project Name: Herman Residence, Project Address: 201 Wood Irving Street, Chevy Chase, MD 20815.

Project Submittal Schedule Table with columns for Revision, Date, and Description.

Exterior and Interior Partitions

The design of exterior and interior partitions shall conform with Title 24, Section 1102.

Any exterior wall or partition shall be finished and insulated conforming to the requirements of ASCE 7-10 by an approved quality control system.

- Exterior partitions shall be finished and insulated in accordance with the requirements of ASCE 7-10 by an approved quality control system.
- Interior partitions shall be finished and insulated in accordance with the requirements of ASCE 7-10 by an approved quality control system.
- Interior partitions shall be finished and insulated in accordance with the requirements of ASCE 7-10 by an approved quality control system.
- Interior partitions shall be finished and insulated in accordance with the requirements of ASCE 7-10 by an approved quality control system.
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Wood Roof Trusses:

Wood roof trusses shall be designed in accordance with WVF's Standard.

Trusses shall be designed to support a minimum of 20 psf dead load and 20 psf live load. Trusses shall be designed to support a minimum of 20 psf dead load and 20 psf live load. Trusses shall be designed to support a minimum of 20 psf dead load and 20 psf live load.

Roof Truss Bracing:

Roof truss bracing shall be provided in accordance with WVF's Standard.

Trusses shall be braced to resist lateral forces and to maintain their shape under load. Bracing shall be provided in accordance with WVF's Standard.

Ceiling Joists and Rafters:

Ceiling joists and rafters shall be designed in accordance with WVF's Standard.

Ceiling joists and rafters shall be designed to support a minimum of 20 psf dead load and 20 psf live load. Joists and rafters shall be designed to support a minimum of 20 psf dead load and 20 psf live load.

Division VII: Thermal and Moisture Protection

Thermal and moisture protection shall be provided in accordance with WVF's Standard.

Thermal and moisture protection shall be provided in accordance with WVF's Standard. This includes insulation, vapor barriers, and air barriers.

Roofing:

Roofing shall be provided in accordance with WVF's Standard.

Roofing shall be provided in accordance with WVF's Standard. This includes roof decks, insulation, and waterproofing.

Flashing:

Flashing shall be provided in accordance with WVF's Standard.

Flashing shall be provided in accordance with WVF's Standard. This includes flashing around windows, doors, and roof penetrations.

Division VIII: Windows and Doors

Windows and doors shall be provided in accordance with WVF's Standard.

Windows and doors shall be provided in accordance with WVF's Standard. This includes window and door frames, glazing, and hardware.

Air Filtration:

Air filtration shall be provided in accordance with WVF's Standard.

Air filtration shall be provided in accordance with WVF's Standard. This includes air filters and air handling equipment.

Protection Measures:

Protection measures shall be provided in accordance with WVF's Standard.

Protection measures shall be provided in accordance with WVF's Standard. This includes fire protection, security, and safety measures.

Code Requirements:

Code requirements shall be provided in accordance with WVF's Standard.

Code requirements shall be provided in accordance with WVF's Standard. This includes building codes, fire codes, and safety codes.

Headroom Location Glazing:

Headroom location glazing shall be provided in accordance with WVF's Standard.

Headroom location glazing shall be provided in accordance with WVF's Standard. This includes glazing in areas where headroom is a concern.

Thermal Insulation:

Thermal insulation shall be provided in accordance with WVF's Standard.

Thermal insulation shall be provided in accordance with WVF's Standard. This includes insulation in walls, floors, and ceilings.

Rough and Finishing Hardware:

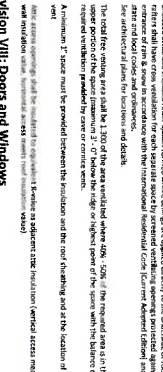
Rough and finishing hardware shall be provided in accordance with WVF's Standard.

Rough and finishing hardware shall be provided in accordance with WVF's Standard. This includes door and window hardware.

Miscellaneous: Passive Radon Gas Controls

Miscellaneous: Passive radon gas controls shall be provided in accordance with WVF's Standard.

Miscellaneous: Passive radon gas controls shall be provided in accordance with WVF's Standard. This includes radon gas mitigation measures.



Architect's Professional Certification

I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland.

Expiration Date: 6-11-2019

Digitally signed by John Mangan

DN: cn=John Mangan, o=John Mangan, ou=John Mangan, email=jmangan@jmangrp.com, c=US

10/18/14 10:16:18 AM

18-11-14

85-90

Consultant's Professional Certification

I certify that these documents were prepared or approved by me, and that I am a duly licensed consultant under the laws of the State of Maryland.

Expiration Date: 6-11-2019

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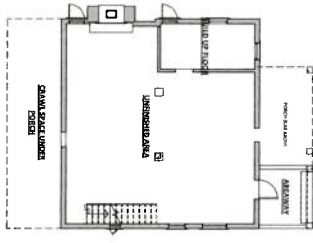
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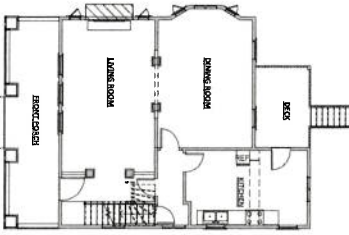
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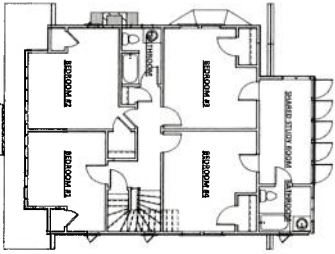
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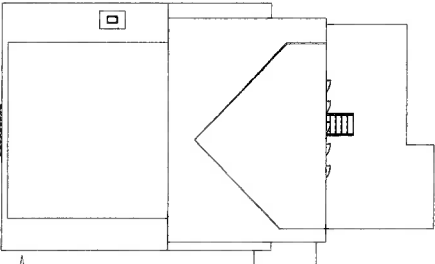
1 | EXISTING BASEMENT PLAN
Scale: 1/8" = 1'-0"



2 | EXISTING FIRST FLOOR PLAN
Scale: 1/8" = 1'-0"



3 | EXISTING SECOND FLOOR PLAN
Scale: 1/8" = 1'-0"



4 | EXISTING ROOF PLAN
Scale: 1/8" = 1'-0"

Handwritten signature and date: 12/19/18



MANGAN GROUP ARCHITECTS
705 ANNAPOLIS AVENUE, SUITE 13
MAYWOOD, MARYLAND 21113
(410) 389-7900
(7) 301.589.7911
WWW.MANGANGROUP.COM

Architect's Professional Certification
I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland.
Expiration Date: 6-11-2019

Consultant's Professional Certification

Project Information
Project Number: 11101
Project Name: **Herman Residence**

Project Address:
20 West Irons Street
Chevy Chase MD 20815

Project Issue Status:
 PRELIMINARY DESIGN
 PERMIT SUBMISSION
 CONSTRUCTION DOCUMENTS
 CONSTRUCTION ADMINISTRATION

Project Submission Issue Date:
11/07/18

Revision Log	Description
Δ #	Date

Drawing Sheet Information
Actual Print Date:
11/7/2018 6:05:39 PM
Drawn By: J. Anderson
Scale:
As indicated

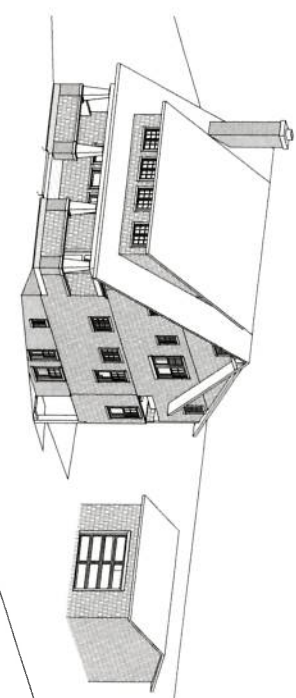
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Do not scale drawings for measurement.
Call or email MGA for clarifications.

Existing Plans
Sheet Number
A-001

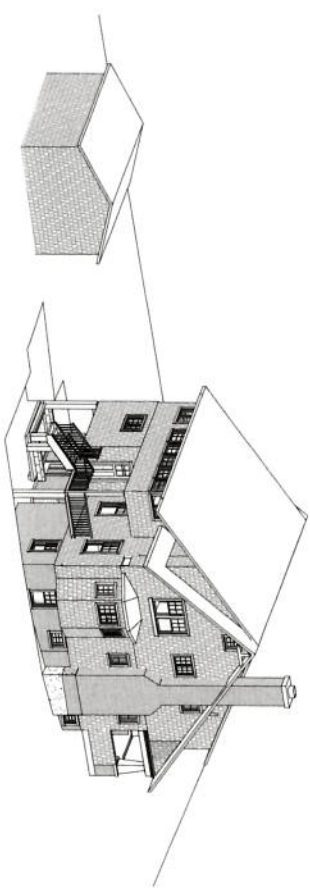
THE ARCHITECT DOES NOT WARRANT OR GUARANTEE THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED HEREON. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

MONTICELLO COUNTY DIGITAL STAMP AREA

Handwritten signature and date: *M/K*
 12/19/18



1.1 EXISTING FRONT 3D
 Scale: 1/8" = 1'-0"



2.1 EXISTING REAR 3D
 Scale: 1/8" = 1'-0"

THE ARCHITECT DOES NOT REPRESENT NOR WARRANT THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN ON THESE DRAWINGS AS FACTUAL, NOR CONDUCT ANY SURVEY OR FIELD VERIFICATION OF THE INFORMATION SHOWN ON THESE DRAWINGS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION SHOWN ON THESE DRAWINGS.



MANGAN
 GROUP ARCHITECTS
 7034 CARROLL AVE, SUITE 3
 TAKOMA PARK, MD 20912
 (301) 589-7900
 WWW.MANGANARCHITECTS.COM

Architect's Professional Certification
 I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland.
 License Number: 10378
 Expiration Date: 6-31-2019

Consultant's Professional Certification

Project Information
 Project Name: **Herman Residence**

Project Address:
 20 West Pine Street
 Chevy Chase MD 20815

- Project Issue Status:
- PRELIMINARY DESIGN
 - DESIGN DEVELOPMENT
 - CONSTRUCTION DOCUMENTS
 - CONSTRUCTION ADMINISTRATION

Project Submission Issue Date: 11.07/18

Revision No.	Description

Drawing Sheet Information
 Actual Plot Date: 11/7/2018 6:10:40 PM
 Drawn By: J. Approved By: JMM
 Scale: 1/8" = 1'-0"
 Full size original sheet is 24" x 36".
 Do not scale drawings for measurement.
 Call or email MGA for clarifications.
EXISTING 3D Elevations

Sheet Number
A-002

GENERAL DEMOLITION NOTES

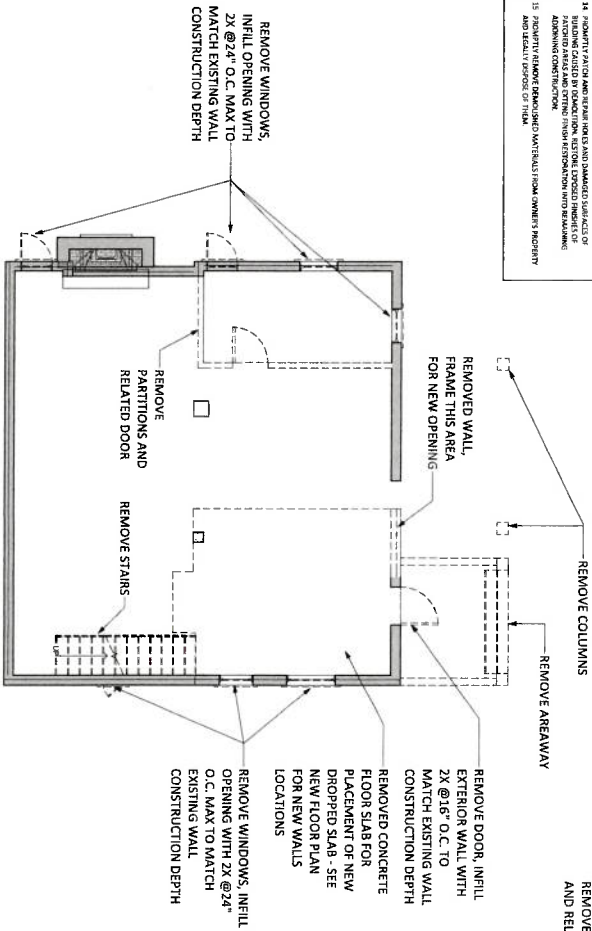
1. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND THE ACCURACY OF THE DEMOLITION OR EXISTING CONDITIONS AS SHOWN ON THESE DRAWINGS BY ACTUAL FIELD SURVEYING AND SHALL VERIFY THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS FROM TO THE COMMENCEMENT OF THE WORK AND SHALL PROVIDE NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR OMISSIONS IN THE EXISTING CONDITIONS UPON SUCH DISCOVERY.
2. UNLESS OTHERWISE SPECIFIED, DEMOLISHED MATERIALS BECOMING THE CONTRACTOR'S PROPERTY TO REMOVE FROM PROJECT SITE.
3. ITEMS SPECIFIED TO BE REMOVED AND MAINTAINED BY THE CONTRACTOR SHALL BE REMOVED AND MAINTAINED BY THE CONTRACTOR'S PROPERTY TO REMOVE FROM PROJECT SITE.
4. DEMOLITION OF STRUCTURES AND SPECIAL REGULATION OF CONTRACTOR SHALL BE REMOVED AND MAINTAINED BY THE CONTRACTOR'S PROPERTY TO REMOVE FROM PROJECT SITE.
5. IN CASES WHERE OWNER WOULD OCCUPY REMAINING STRUCTURES, CONTRACTOR SHALL CONDUCT DEMOLITION WITHOUT REMOVAL OF CONTRACTOR'S USE OF THE BUILDING.
6. MAINTAIN AND PROTECT EXISTING UTILITIES TO REMAIN IN SERVICE BEFORE COMMENCING DEMOLITION. PROTECTING SPECIAL CONNECTIONS TO OTHER PARTS OF THE BUILDING.
7. LOCATE, IDENTIFY, SHUT OFF, PROTECT AND CAP OR PLUG ALL PARTS OF A CATEGORY 1, CATEGORY 2 OR CATEGORY 3 SYSTEMS AND TO CONTROL AGENTS AND VIBRATION FROM CONTRACTOR'S WORK.
8. CONDUCT DEMOLITION OPERATIONS AND REMOVE DEBRIS TO PREVENT HAZARDOUS MATERIALS FROM BEING RELEASED TO THE ENVIRONMENT.
9. MAINTAIN AND PROTECT EXISTING UTILITIES TO REMAIN IN SERVICE BEFORE COMMENCING DEMOLITION. PROTECTING SPECIAL CONNECTIONS TO OTHER PARTS OF THE BUILDING.
10. PROTECT AND MAINTAIN EXISTING STRUCTURES OF CONTRACTOR'S PROPERTY TO PRESERVE BUILDING STABILITY AND PREVENT IMPROPER SETTLEMENT OR COLLAPSE.
11. PROTECT BUILD STRUCTURE OF INTERIOR FROM WEATHER AND WATER LOADS ON DEBRIS.
12. PROTECT EXISTING WALLS, CEILING, FLOOR, AND EXPOSED FINISHES REMAINING IN BUILDING. FURNISHINGS, AND EQUIPMENT REMAINING IN BUILDING.
13. VERIFY CUT OPENINGS AND HOLE IN SLAB, CEILING AND FLOOR TO MAINTAIN RECORDS. USE CUTTING METHODS THAT LEAST TO DAMAGE CONSTRUCTION TO REMAIN ON EXISTING CONSTRUCTION.
14. IDENTIFY AND CAP OR PLUG ALL OPENINGS AND DAMAGED STRUCTURES OF CONTRACTOR'S PROPERTY TO PRESERVE BUILDING STABILITY AND PREVENT IMPROPER SETTLEMENT OR COLLAPSE.
15. PROTECT AND MAINTAIN EXISTING STRUCTURES FROM OWNER'S PROPERTY AND DEBRIS TO BE REMOVED.

DEMOLITION LEGEND

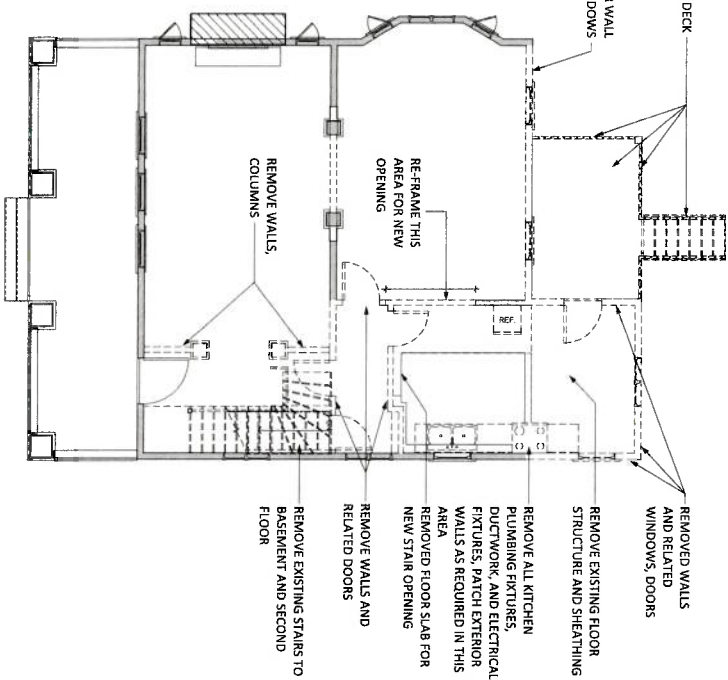
- EXISTING WALLS TO REMAIN
- WALLS TO BE DEMOLISHED
- WALLS TO BE DEMOLISHED AND RECONSTRUCTED WITH DIFFERENTIAL NOTES

APPROVED
 Mangan Group Architects
 No 12/18/18

1. BASEMENT DEMOLITION PLAN



2. FIRST FLOOR DEMOLITION PLAN



MANGAN GROUP ARCHITECTS
 7032 WINDYWAY, SUITE 3
 TAKOMA PARK, MD 20912
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 (F) 301.589.7911
 WWW.MANGANGROUP.COM

Architect's Professional Certification
 I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland.
 Expiration Date: 5-11-2019



Consultant's Professional Certification

Project Information
 Project Name: **Herman Residence**
 Project Number: 181111
 Project Address: 20 Wee-Long Street, Chevy Chase MD 20815
 Project Issue Status:
 PRELIMINARY DESIGN
 PERMIT SUBMISSION
 CONSTRUCTION DOCUMENTS
 CONSTRUCTION ADMINISTRATION

Revision	Date	Description
11/07/18		Project Submittal Issue Sheet

Drawing Sheet Information
 Actual Plot Date: 11/7/2018 6:10:40 PM
 Drawn By: J. Anderson
 Checked By: J.M.
 As indicated, full size original sheet is 24" x 36". Do not scale drawings for measurements. Call or email MGA for clarifications.
Demo Basement Plan and First Floor Plan

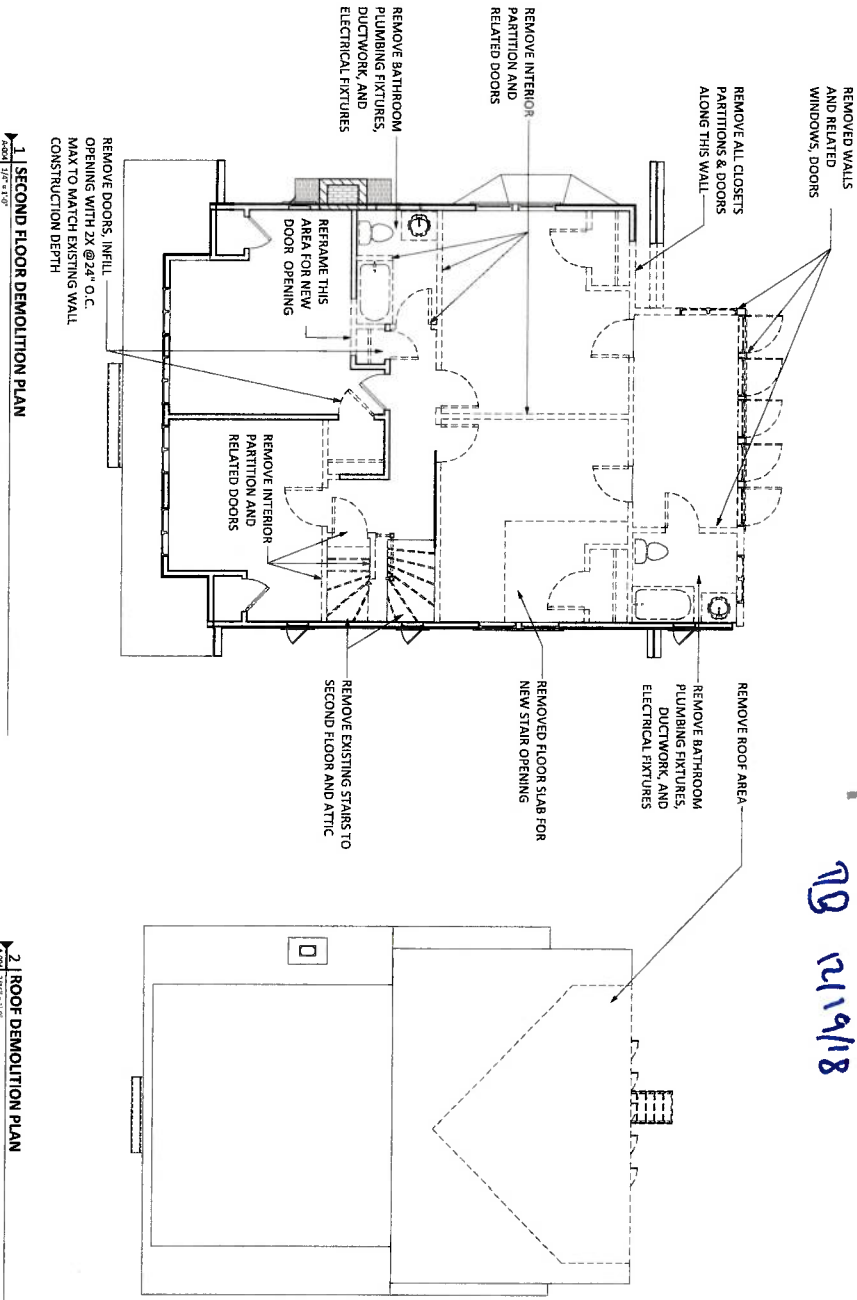
Sheet Number
A-003

GENERAL DEMOLITION NOTES

1. THE ARCHITECT DOES NOT REPRESENT HER LIABILITY OR LIABILITY OF THE DEMOLITION OR DEMOLITION CONTRACTORS AS SHOWN ON THESE DRAWINGS OR ACTUAL FIELD CONDITIONS MAY VARY.
2. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE ARCHITECT OF ANY AND ALL DISCREPANCIES, HIDDEN, AND UNEXPECTED CONDITIONS UNDER SUCH OCCURRENCE.
3. UNLESS OTHERWISE INDICATED, DEMOLISHED MATERIALS SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REMOVE FROM PROJECT SITE.
4. ITEMS INDICATED TO BE REMOVED AND SALVAGED REMAIN OWNERS RESPONSIBILITY TO REMOVE, STORE, AND DELIVER TO OWNERS DESIGNATED STORAGE AREA.
5. DEMOLITION WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS OF APPLICABLE AGENCIES AND AGENCIES.
6. REMOVAL OF EXISTING WALLS SHALL OCCUR IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS OF APPLICABLE AGENCIES AND AGENCIES.
7. MAINTAIN AND PROTECT EXISTING UTILITIES TO REMAIN IN SERVICE. BEFORE ANY DEMOLITION WORK, CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES, INCLUDING BUT NOT LIMITED TO: GAS, WATER, SEWER, AND OTHER UTILITIES.
8. DEMOLITION WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS OF APPLICABLE AGENCIES AND AGENCIES.
9. DEMOLITION WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS OF APPLICABLE AGENCIES AND AGENCIES.
10. REMOVE AND MAINTAIN SPRINKLER, SLACKING, OR STRUCTURAL SUPPORT TO PRESERVE BUILDING STABILITY AND PREVENT COLLAPSE.
11. REMOVE ALL UTILITY STRUCTURE IN INTERIOR FROM WALLING AND WATER SERVICE TO SERVICE.
12. REMOVE ALL WALLS, CEILING, FLOOR, AND EXISTING PARTITIONS.
13. REMOVE ALL PARTITIONS AND RELATED DOORS.
14. REMOVE ALL CLOSETS PARTITIONS AND DOORS.
15. REMOVE ALL BATHROOM PLUMBING FIXTURES, DUCTWORK, AND ELECTRICAL FIXTURES.
16. REMOVE EXISTING STAIRS TO SECOND FLOOR AND ATTIC.
17. REMOVE FLOOR SLAB FOR NEW STAIR OPENING.
18. REMOVE ROOF AREA.
19. REMOVE BATHROOM PLUMBING FIXTURES, DUCTWORK, AND ELECTRICAL FIXTURES.
20. REMOVE INTERIOR PARTITION AND RELATED DOORS.
21. REFRAME THIS AREA FOR NEW DOOR OPENING.
22. REMOVE DOORS, INFILL OPENING WITH 2X @ 24" O.C. MAX TO MATCH EXISTING WALL CONSTRUCTION DEPTH.

DEMOLITION LEGEND

- EXISTING WALLS TO REMAIN
- REMOVE FROM THIS DEMOLITION PLAN
- REMOVE FROM THIS DEMOLITION PLAN
- REMOVE FROM THIS DEMOLITION PLAN



1 | SECOND FLOOR DEMOLITION PLAN

2 | ROOF DEMOLITION PLAN

Mangan Architects
 NG 12/19/18



MANGAN
 GROUP ARCHITECTS
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 (301) 589-7911
 WWW.MANGANGROUP.COM

I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland.
 License number: 03797
 Expiration Date: 01/01/2019

Consultant's Professional Certification

Project Information:
 Project Name: **Herman Residence**
 Project Address: 20 West Tenth Street, Chevy Chase MD 20815
 Project Issue Status: PRELIMINARY DESIGN, DESIGN DEVELOPMENT, PERMIT APPLICATION, CONSTRUCTION DOCUMENTS, CONSTRUCTION ADMINISTRATION

Revision No.	Date	Description

Drawing Sheet Information:
 Actual Plot Date: 11/7/2018 8:10:41 PM
 Drawn By: JMM
 Checked By: JMM
 Scale: As indicated
 Full size original sheet is 24" x 36".
 Do not scale drawings for measurements. Call or email MGA for clarifications.
Demo Second Floor Plan and Roof Plan
 Sheet Number: **A-004**

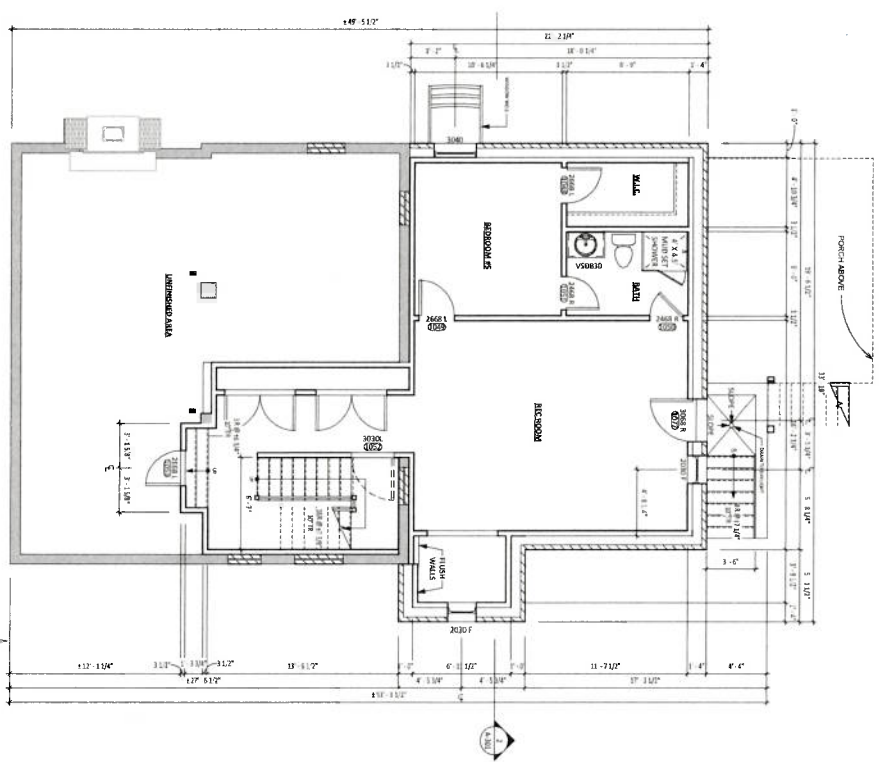
GENERAL FLOOR PLAN NOTES

1. ALL DIMENSIONS TO FINISH CONSTRUCTION UNLESS INDICATED OTHERWISE.
2. FACE OF STUDY TO BE CONSTRUCTION TO EXISTING CONSTRUCTION.
3. ALL INTERIOR WALLS SHALL BE 1/2" GYPSUM BOARD ON 2x4 STUDS. ALL EXTERIOR WALLS SHALL BE 8" CMU ON 2x4 STUDS. ALL INTERIOR WALLS SHALL BE 1/2" GYPSUM BOARD ON 2x4 STUDS. ALL EXTERIOR WALLS SHALL BE 8" CMU ON 2x4 STUDS. ALL INTERIOR WALLS SHALL BE 1/2" GYPSUM BOARD ON 2x4 STUDS. ALL EXTERIOR WALLS SHALL BE 8" CMU ON 2x4 STUDS.
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9. ALL INTERIOR WALLS SHALL BE 1/2" GYPSUM BOARD ON 2x4 STUDS. ALL EXTERIOR WALLS SHALL BE 8" CMU ON 2x4 STUDS. ALL INTERIOR WALLS SHALL BE 1/2" GYPSUM BOARD ON 2x4 STUDS. ALL EXTERIOR WALLS SHALL BE 8" CMU ON 2x4 STUDS.
10. ALL INTERIOR WALLS SHALL BE 1/2" GYPSUM BOARD ON 2x4 STUDS. ALL EXTERIOR WALLS SHALL BE 8" CMU ON 2x4 STUDS. ALL INTERIOR WALLS SHALL BE 1/2" GYPSUM BOARD ON 2x4 STUDS. ALL EXTERIOR WALLS SHALL BE 8" CMU ON 2x4 STUDS.
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13. ALL INTERIOR WALLS SHALL BE 1/2" GYPSUM BOARD ON 2x4 STUDS. ALL EXTERIOR WALLS SHALL BE 8" CMU ON 2x4 STUDS. ALL INTERIOR WALLS SHALL BE 1/2" GYPSUM BOARD ON 2x4 STUDS. ALL EXTERIOR WALLS SHALL BE 8" CMU ON 2x4 STUDS.
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APPROVED
 Mangan Group Architects
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Mangan

11/19/18



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Architect's Professional Certification
 I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland.
 Expiration Date: 5/31/2019

Herman Residence
 Project Address: 20 West Irving Street
 Chevy Chase MD 20815
 Project Number: 18108
 Project Name: Herman Residence

Project Issue Status:
 PRELIMINARY DESIGN
 PERMIT SUBMISSION
 CONSTRUCTION DOCUMENTS
 CONSTRUCTION ADMINISTRATION

Project Submission Issue Date: 11/07/18

Revision Log	Description	Date

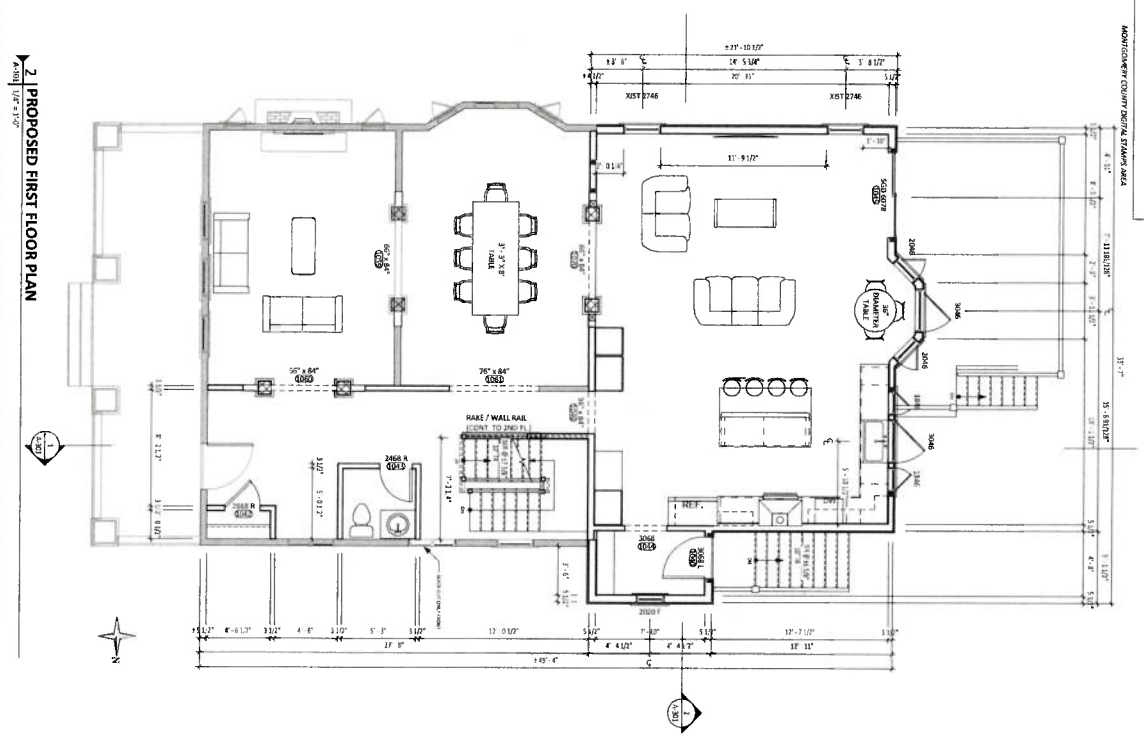
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 Actual Plot Date: 11/7/2018 6:04:42 PM
 Drawn By: I. Approved By:
 Scale:
 As indicated Full size original sheet is 36" x 36".
 Do not scale drawings for measurements.
 Call or email MGA for clarifications.

Basement Floor Plan & Schedules
 Sheet Number: **A-100**

- ### GENERAL FLOOR PLAN NOTES
1. ALL DIMENSIONS TO NEW CONSTRUCTION ARE FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.
 2. ALL DIMENSIONS TO EXISTING CONSTRUCTION ARE FROM FACE OF STUD UNLESS NOTED OTHERWISE.
 3. ALL DIMENSIONS TO EXISTING CONSTRUCTION ARE FROM FACE OF STUD UNLESS NOTED OTHERWISE.
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 9. ALL DIMENSIONS TO EXISTING CONSTRUCTION ARE FROM FACE OF STUD UNLESS NOTED OTHERWISE.
 10. ALL DIMENSIONS TO EXISTING CONSTRUCTION ARE FROM FACE OF STUD UNLESS NOTED OTHERWISE.
 11. ALL DIMENSIONS TO EXISTING CONSTRUCTION ARE FROM FACE OF STUD UNLESS NOTED OTHERWISE.
 12. ALL DIMENSIONS TO EXISTING CONSTRUCTION ARE FROM FACE OF STUD UNLESS NOTED OTHERWISE.
 13. ALL DIMENSIONS TO EXISTING CONSTRUCTION ARE FROM FACE OF STUD UNLESS NOTED OTHERWISE.
 14. ALL DIMENSIONS TO EXISTING CONSTRUCTION ARE FROM FACE OF STUD UNLESS NOTED OTHERWISE.

APPROVED

 12/16/18



MANGAN GROUP ARCHITECTS
 7034 CARROLL AVE, SUITE 3
 TAKOMA PARK, MD 20912
 (301) 585-2911
 WWW.MANGANGROUP.COM

Architect's Professional Certification
 I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland.
 License Number: 10378
 Expiration Date: 6-11-2019

HERMAN RESIDENCE

Project Information:
 Project Name: Herman Residence
 Project Number: 110718
 Project Address: 20 Ward Jones Street, Chevy Chase, MD 20815
 Project Issue Status: PRELIMINARY DESIGN DESIGN DEVELOPMENT CONSTRUCTION DOCUMENTS CONSTRUCTION ADMINISTRATION

Project Submission Issue Date: 11/07/18

Revision Log	Date	Description

Drawing Sheet Information:
 Actual Plot Date: 11/7/2018 6:10:42 PM
 Drawn By: J. Anderson
 Scale: As indicated
 Full size original sheet is 34" x 36".
 Do not scale drawings for measurement.
 Call or email MGA for clarifications.
First Floor Plans

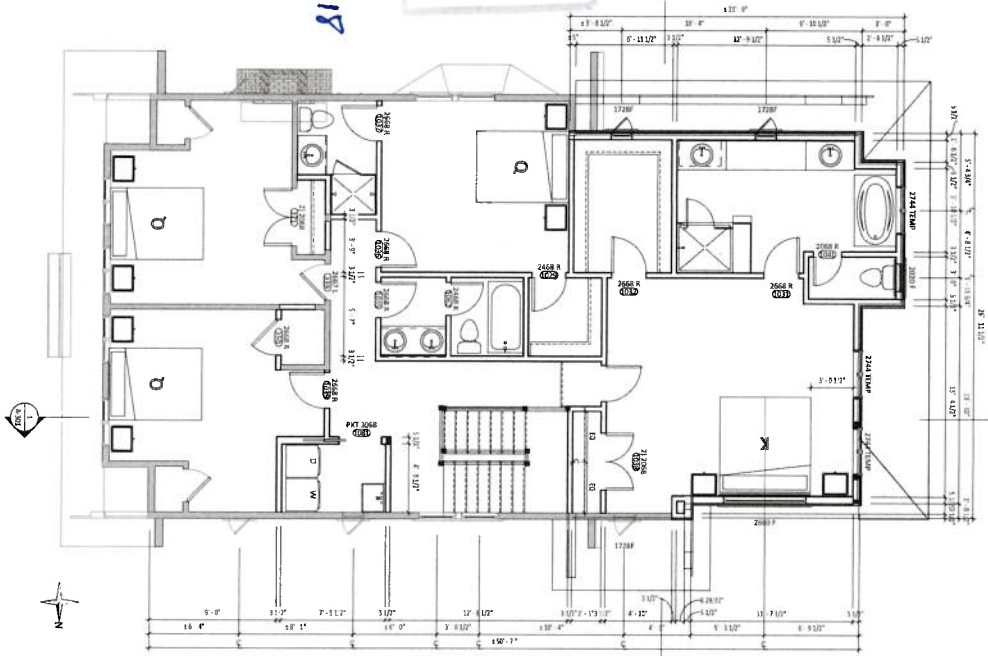
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GENERAL FLOOR PLAN NOTES

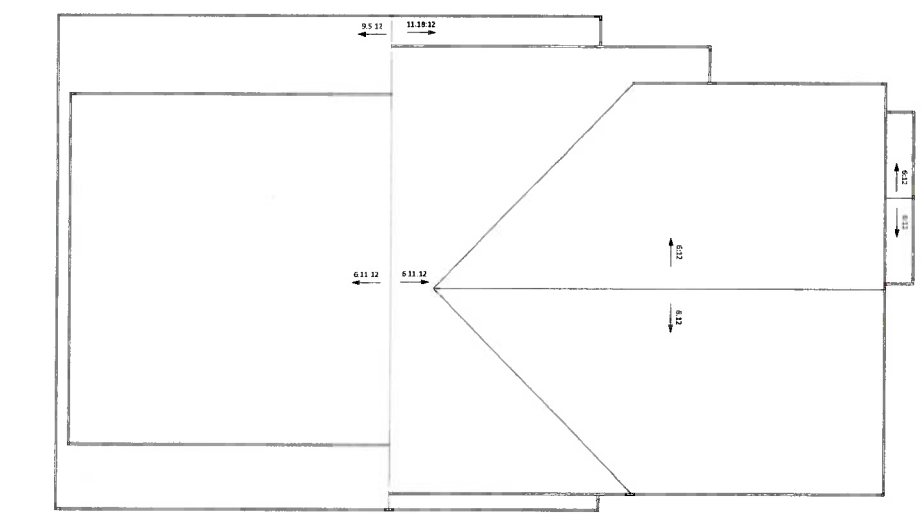
1. ALL DIMENSIONS TO NEW CONSTRUCTION ARE FROM FACE OF EXISTING FACE OF STUDY WALL. ALL DIMENSIONS TO EXISTING CONSTRUCTION ARE TO FACE OF EXISTING CONSTRUCTION UNLESS NOTED OTHERWISE.
2. ALL INTERIOR WALLS SHALL BE FINISHED WITH 1/2" GYP BOARD OVER 5/8" GYP BOARD ON EXTERIOR WALLS AND 1/2" GYP BOARD ON INTERIOR WALLS. ALL INTERIOR WALLS SHALL BE FINISHED WITH 1/2" GYP BOARD OVER 5/8" GYP BOARD ON EXTERIOR WALLS AND 1/2" GYP BOARD ON INTERIOR WALLS. ALL INTERIOR WALLS SHALL BE FINISHED WITH 1/2" GYP BOARD OVER 5/8" GYP BOARD ON EXTERIOR WALLS AND 1/2" GYP BOARD ON INTERIOR WALLS.
3. ALL NON-STRUCTURAL EXTERIOR WALLS SHALL BE FINISHED WITH 1/2" GYP BOARD OVER 5/8" GYP BOARD ON EXTERIOR WALLS AND 1/2" GYP BOARD ON INTERIOR WALLS. ALL NON-STRUCTURAL EXTERIOR WALLS SHALL BE FINISHED WITH 1/2" GYP BOARD OVER 5/8" GYP BOARD ON EXTERIOR WALLS AND 1/2" GYP BOARD ON INTERIOR WALLS.
4. ALL INTERIOR WALLS, STAIRWELL, STAIRCASE, AND STAIRCASE WALLS SHALL BE FINISHED WITH 1/2" GYP BOARD OVER 5/8" GYP BOARD ON EXTERIOR WALLS AND 1/2" GYP BOARD ON INTERIOR WALLS. ALL INTERIOR WALLS, STAIRWELL, STAIRCASE, AND STAIRCASE WALLS SHALL BE FINISHED WITH 1/2" GYP BOARD OVER 5/8" GYP BOARD ON EXTERIOR WALLS AND 1/2" GYP BOARD ON INTERIOR WALLS.
5. ALL OTHER EXTERIOR WALLS SHALL BE FINISHED WITH 1/2" GYP BOARD OVER 5/8" GYP BOARD ON EXTERIOR WALLS AND 1/2" GYP BOARD ON INTERIOR WALLS. ALL OTHER EXTERIOR WALLS SHALL BE FINISHED WITH 1/2" GYP BOARD OVER 5/8" GYP BOARD ON EXTERIOR WALLS AND 1/2" GYP BOARD ON INTERIOR WALLS.
6. ALL EXTERIOR WALLS SHALL BE FINISHED WITH 1/2" GYP BOARD OVER 5/8" GYP BOARD ON EXTERIOR WALLS AND 1/2" GYP BOARD ON INTERIOR WALLS. ALL EXTERIOR WALLS SHALL BE FINISHED WITH 1/2" GYP BOARD OVER 5/8" GYP BOARD ON EXTERIOR WALLS AND 1/2" GYP BOARD ON INTERIOR WALLS.
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Handwritten signature and date: *TRB 12/19/18*

1 | PROPOSED SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"



2 | ROOF PLAN
Scale: 1/4" = 1'-0"



ROOF VENTILATION CALCULATION

AREA / 360 = 3.32
 (SQ FT)
 OPENING AREA
 (SQ FT)
 3.32 * 144 = 477.28
 VENTILATION AREA
 (SQ FT)

* Note: Minimum of 100 sq ft and maximum of 1000 sq ft required for 1" of free area. The above calculation is based on the minimum required area for 1" of free area. Provided by MANGAN GROUP ARCHITECTS.

- GENERAL ROOF NOTES**
1. ALL GUTTERS AND LEAKERS TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
 2. ROOF COVERING SHALL BE AS SPECIFIED ON DRAWINGS. IF NOT SPECIFIED, THE ROOF COVERING SHALL BE 30 YEAR WARRANTY ROOFING.
 3. ROOF COVERING SHALL BE INSTALLED OVER A 1/2" GYP BOARD ON EXTERIOR WALLS AND 1/2" GYP BOARD ON INTERIOR WALLS.
 4. ROOF COVERING SHALL BE INSTALLED OVER A 1/2" GYP BOARD ON EXTERIOR WALLS AND 1/2" GYP BOARD ON INTERIOR WALLS.
 5. ROOF COVERING SHALL BE INSTALLED OVER A 1/2" GYP BOARD ON EXTERIOR WALLS AND 1/2" GYP BOARD ON INTERIOR WALLS.
 6. ROOF COVERING SHALL BE INSTALLED OVER A 1/2" GYP BOARD ON EXTERIOR WALLS AND 1/2" GYP BOARD ON INTERIOR WALLS.
 7. ROOF COVERING SHALL BE INSTALLED OVER A 1/2" GYP BOARD ON EXTERIOR WALLS AND 1/2" GYP BOARD ON INTERIOR WALLS.
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 11. ROOF COVERING SHALL BE INSTALLED OVER A 1/2" GYP BOARD ON EXTERIOR WALLS AND 1/2" GYP BOARD ON INTERIOR WALLS.
 12. ROOF COVERING SHALL BE INSTALLED OVER A 1/2" GYP BOARD ON EXTERIOR WALLS AND 1/2" GYP BOARD ON INTERIOR WALLS.
 13. ROOF COVERING SHALL BE INSTALLED OVER A 1/2" GYP BOARD ON EXTERIOR WALLS AND 1/2" GYP BOARD ON INTERIOR WALLS.
 14. ROOF COVERING SHALL BE INSTALLED OVER A 1/2" GYP BOARD ON EXTERIOR WALLS AND 1/2" GYP BOARD ON INTERIOR WALLS.

MANGAN GROUP ARCHITECTS
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Architect's Professional Certification
 I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland.
 License number: 153376
 Expiration Date: 6-11-2019

Client's Professional Certification

I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland.
 License number: 153376
 Expiration Date: 6-11-2019

Project Information

Project Name: **Herman Residence**

Project Address: 201 West Irving Street, Chevy Chase, MD 20815

Project Number: 110718

Project Submission Issue Date: 11/07/18

Drawing Sheet Information

Actual Plot Date: 11/7/2018 6:04:43 PM

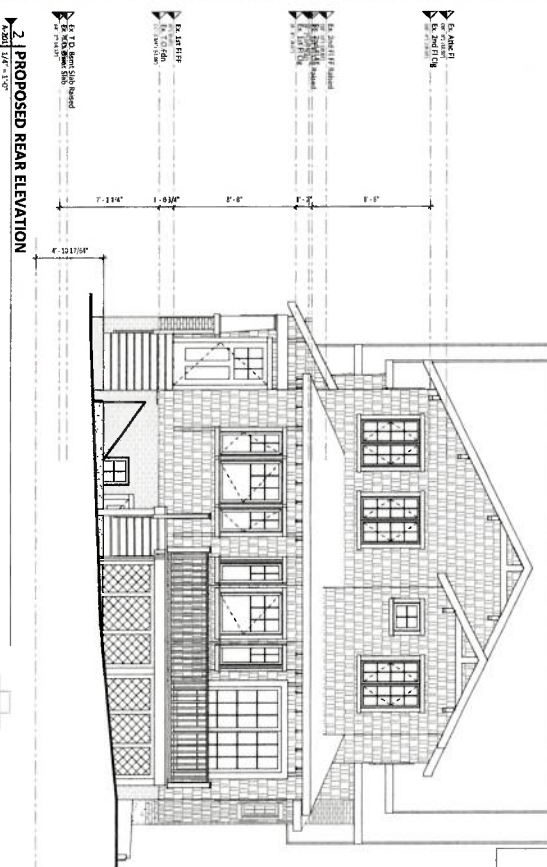
Drawn By: J. Anderson, B.S.

Scale: Full size original sheet is 24" x 36". Do not scale drawings for measurements. Call or email MGA for clarifications.

Title: **Second Floor and Roof Plans**

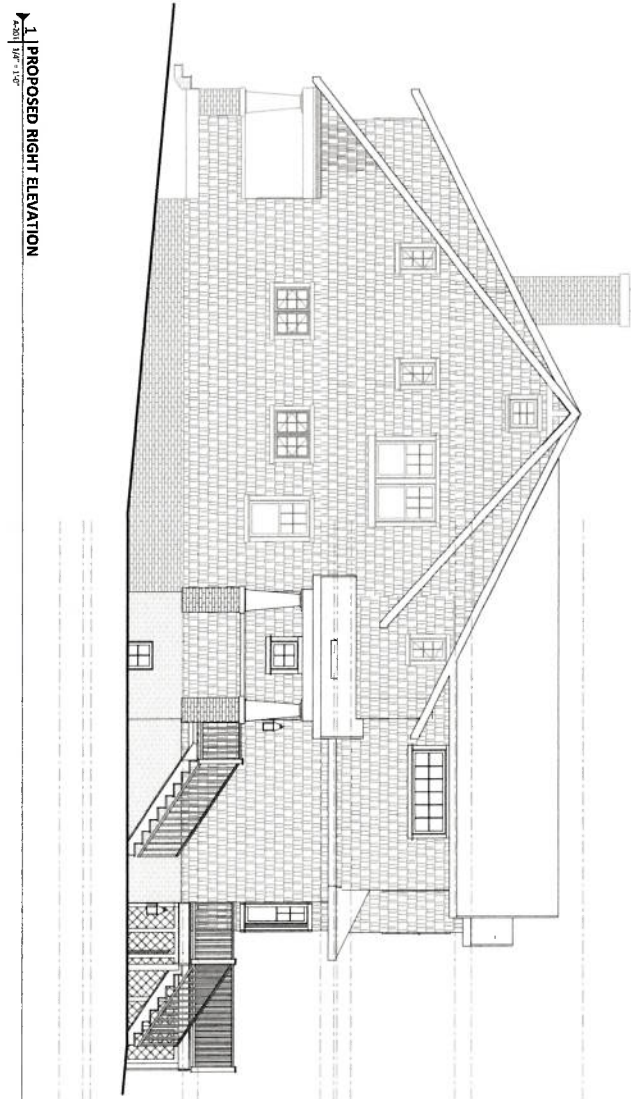
Sheet Number: **A-102**

5a. ANGLE
5b. ANGLE
5c. ANGLE



2. PROPOSED REAR ELEVATION
Scale: 1/4" = 1'-0"

5a. ANGLE
5b. ANGLE
5c. ANGLE



1. PROPOSED RIGHT ELEVATION
Scale: 1/4" = 1'-0"

MANAGEMENT COUNTY GENERAL STAFFS AND

Historic Commission
M/J
7/9 12/19/18

GENERAL ELEVATION NOTES

1. ALL ELEVATIONS SHALL BE PERMITTED BY PER
2. ALL ELEVATIONS SHALL BE PERMITTED BY PER
3. MAJOR OR STRUCTURAL CHANGES SHALL BE PERMITTED FOR COMMITTEE OF ATTY. GENERAL
4. ALL ELEVATIONS SHALL BE PERMITTED BY PER
5. THE BUILDING SHALL BE PERMITTED BY PER

MANGAN GROUP ARCHITECTS
7034 CORONA AVE. SUITE 3
TANOKMA PARK, MD 20912
(P) 301.585.7900
FJ 301.585.7911
WWW.MANGANGROUP.COM



Architect's Professional Certification
I certify that these documents were prepared or approved by me and that I am a duly licensed architect under license number 00378
Expiration Date: 6-11-2019

Consultant's Professional Certification

Herman Residence

Project Information
Project Number: 18106
Project Name:
Project Address:
20 West Irving Street
Chney Chase MD 20815
Project Issue Status:
 DESIGN
 PERMIT APPLICATION
 PERMIT SUBMISSION
 CONSTRUCTION DOCUMENTS
 CONSTRUCTION ADMINISTRATION
Project Submission Issue Date:
11/07/18

Revision	Date	Description

Drawing Sheet Information
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Drawn By: J. Abbot
Scale:
As indicated
Do not scale drawings for measurements.
Title:
Elevations

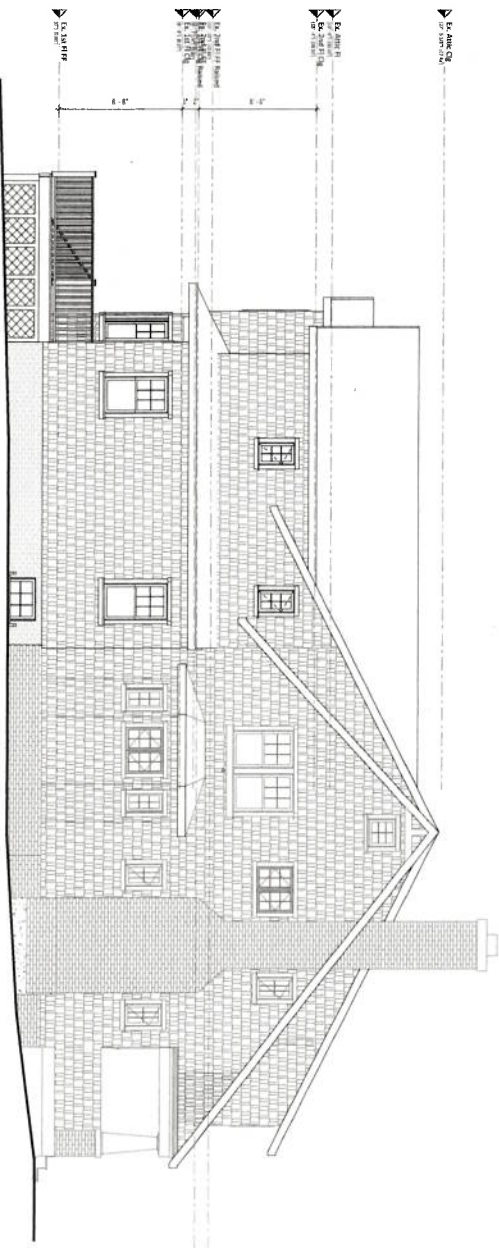
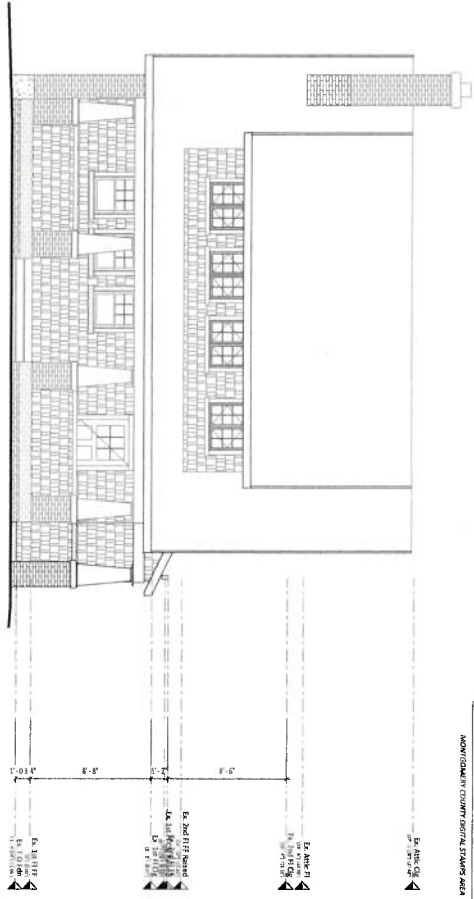
Sheet Number
A-201

ADDITIONAL COUNTY SPECIAL STANDARDS DATA

GENERAL ELEVATION NOTES

1. ALL GATES AND LOGS TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS
2. FLOOR COVERINGS SHOULD BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS
3. CONTRACTOR TO VERIFY SHALL BE INTERFERED FOR CONTRACTOR OF AT-RISK CONTRACTING
4. ALL EXTERIOR WORK SHALL BE IN ALUMINUM FINISHES
5. CHANGES SHALL BE MADE TO THE DRAWINGS THROUGH THE MOST HIGHEST POINT WHICH THE CHANGES PASS THROUGH THE HOPE

Mangan Architects
1/3 12/19/18



MANGAN
GROUP ARCHITECTS
 7058 CARROLL LANE, SUITE 3
 14460
 (P) 301.588.7900
 (F) 301.588.7911
 WWW.MANGANGROUP.COM

Architect's Professional Certification
 I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland.
 Expiration Date: 6-31-2019



Consultant's Professional Certification

Project Information
 Project Name: **Herman Residence**
 Project Address: 20 West Irving Street, Chevy Chase MD 20815

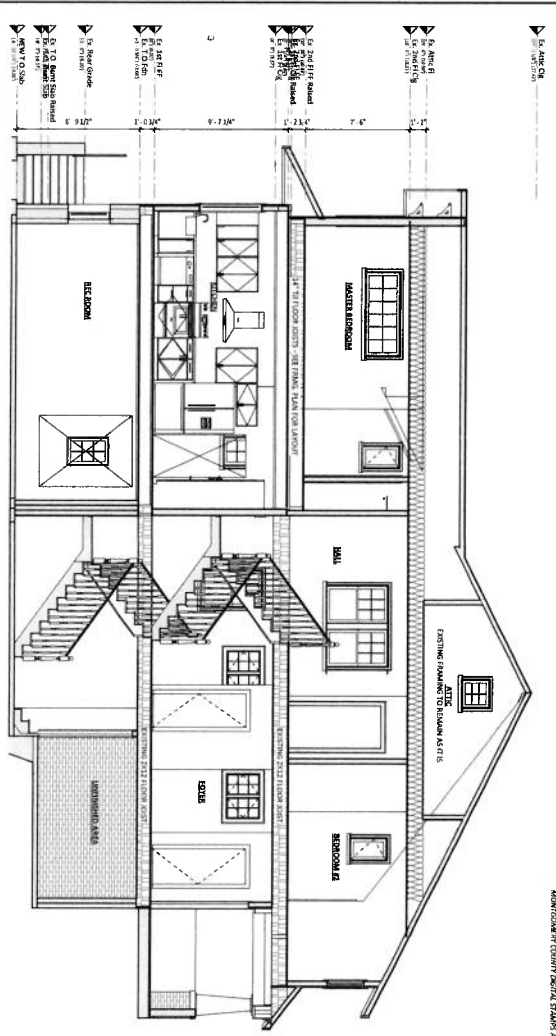
Project Issue Status:
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 PERMIT SUBMISSION
 CONSTRUCTION DOCUMENTS
 CONSTRUCTION ADMINISTRATION

Project Submission Issue Date: 11/07/18

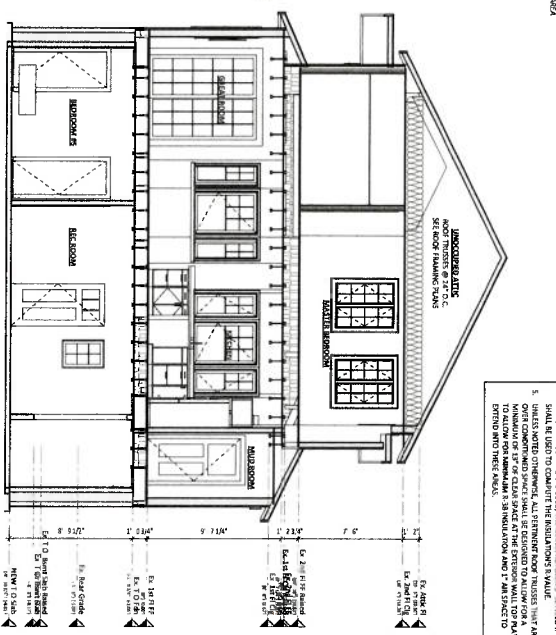
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 Do not scale drawings for measurements. Call or email MGA for clarifications.

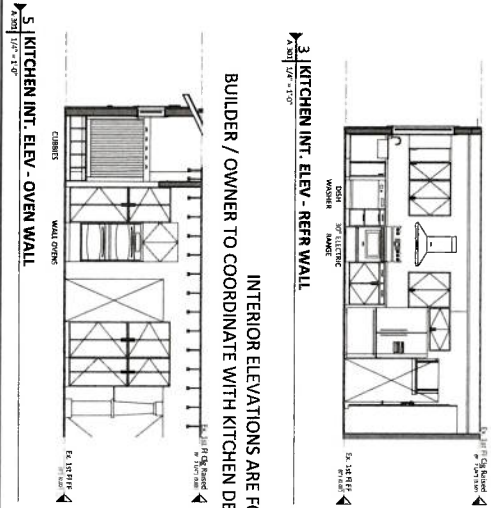
Sheet Number
A-202



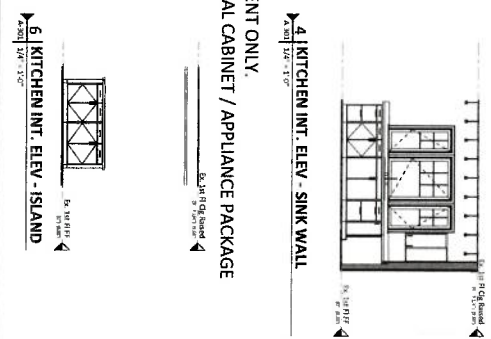
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Scale: 1/8" = 1'-0"



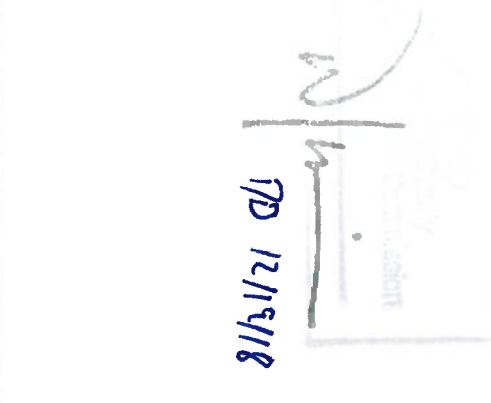
2. BUILDING SECTION THRU NEW ADDITION
Scale: 1/8" = 1'-0"



3. KITCHEN INT. ELEV. - REFR WALL
Scale: 1/8" = 1'-0"



4. KITCHEN INT. ELEV. - SINK WALL
Scale: 1/8" = 1'-0"



5. KITCHEN INT. ELEV. - OVEN WALL
Scale: 1/8" = 1'-0"

6. KITCHEN INT. ELEV. - ISLAND
Scale: 1/8" = 1'-0"

INTERIOR ELEVATIONS ARE FOR DESIGN INTENT ONLY.
BUILDER / OWNER TO COORDINATE WITH KITCHEN DESIGNER ON FINAL CABINET / APPLIANCE PACKAGE

- GENERAL SECTION NOTES**
1. PROVIDE 1/2" BATT INSULATION @ ALL NEW AND STUD WALLS AT EXTERIOR.
 2. PROVIDE 1 1/2" BATT INSULATION @ ALL NEW 2x4 STUD WALLS AT INTERIOR.
 3. PROVIDE 1/2" GYPSUM BOARD @ ALL INTERIOR WALLS AND CEILING.
 4. PROVIDE 1/2" GYPSUM BOARD @ ALL INTERIOR WALLS AND CEILING.
 5. UNLESS NOTED OTHERWISE, ALL EXTERIOR ROOF TRUSSES SHALL BE OVER COMPOUND SHEET SHALL BE DESIGNED TO ALLOW FOR A 15% TO ALLOW FOR HAIL DAMAGE TO INSULATION AND 1" AIR SPACE TO EXTERIOR AND INTERIOR EXPOS.

Handwritten signature and date:
M.H.
7/20 12/19/18



MANGAN GROUP ARCHITECTS
7034 CARROLL LANE, SUITE 13
DUBLIN, VA 22024
(703) 589-7900
WWW.MANGANGROUP.COM

Project Information
Project Name: **Herman Residence**
Project Number: 18110
Project Location: 20 West Irving Street, Chevy Chase, MD 20815
Project Start Date: 11/07/18

Project Issue Checklist:
 PRELIMINARY DESIGN
 PERMIT SUBMISSION
 CONSTRUCTION DOCUMENTS
 CONSTRUCTION ADMINISTRATION

Project Submission Issue Date: 11/07/18

Revision	Date	Description

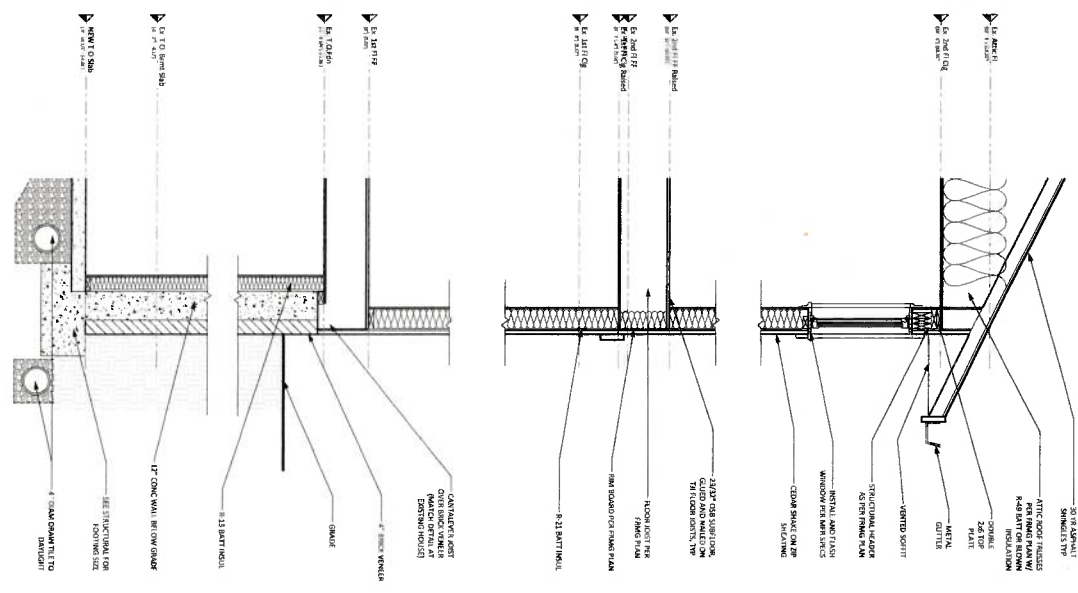
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 Drawn By: [Name]
 Checked By: [Name]

Scale: As indicated
 Full size original sheet is 36" x 36"
 Do not scale drawings for measurements
 Call or email MGA for clarifications.

Sections

Sheet Number: **A-301**

1 | TYPICAL WALL SECTION



ANNAPOLIS COUNTY DESIGN STAMPS, LLC

Handwritten signature and date:
 DB 12/19/18



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Architect's Professional Certification
 I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland. License Number: 10352
 Expiration Date: 6-31-2019



Consultant's Professional Certification

Project Information
 Project Name: **Herman Residence**
 Project Number: 18106

Project Address:
 20 West Irving Street
 Chevy Chase MD 20815

Contract Issue Status:
 DESIGN DEVELOPMENT
 PERMIT SUBMISSION
 CONSTRUCTION DOCUMENTS
 CONSTRUCTION ADMINISTRATION

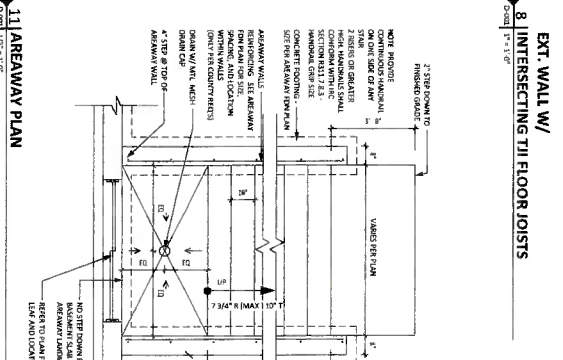
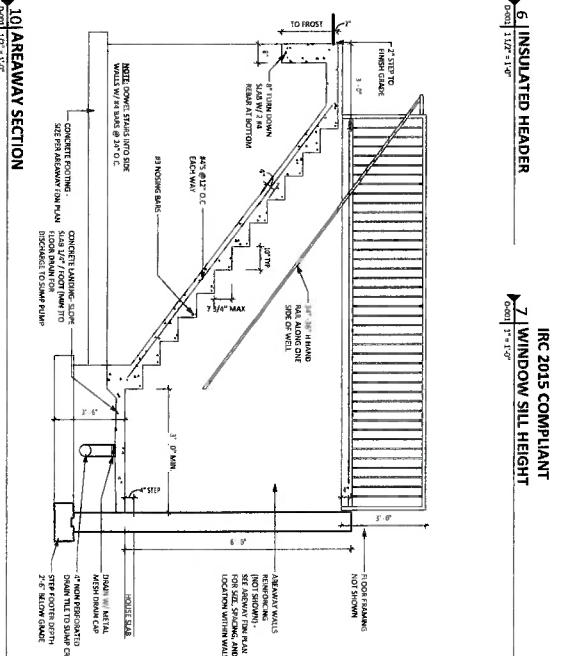
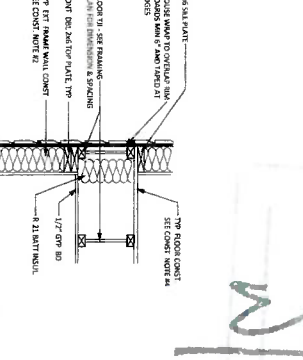
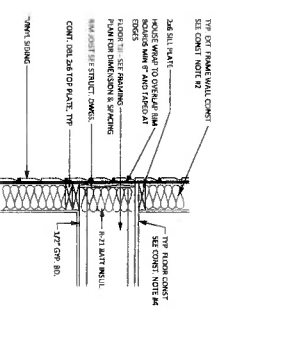
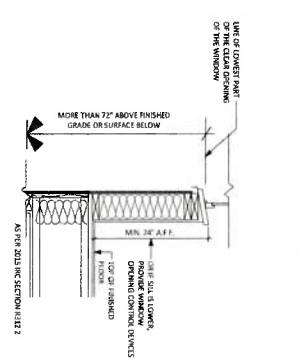
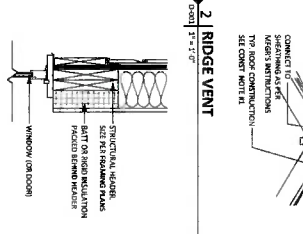
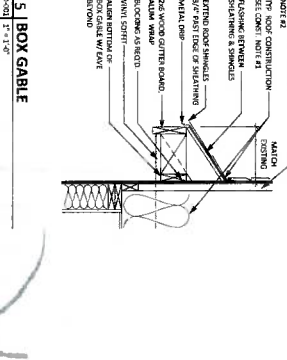
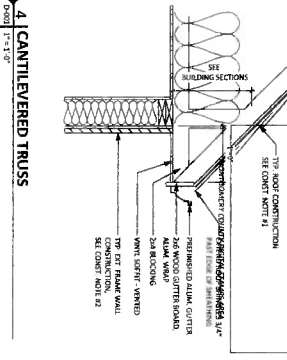
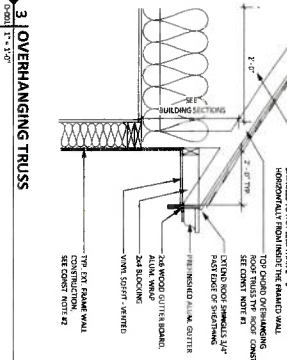
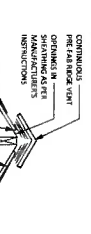
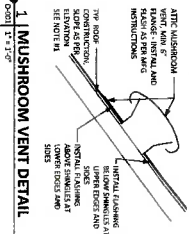
Project Submission Issue Date:
 11/07/18

Revision Log	Description

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 Drawn By: [Signature]
 Scale: 3/4" = 1'-0"
 Full size original sheet is 24" x 36".
 Do not scale drawings for measurement. Use callouts or email MGA for dimensions.

Section
 Sheet Number
A-302

NOTE: CONSTRUCTION SHALL VERIFY THAT THE PROTECTIVE MEMBRANE IS FULLY ADHERED TO THE SUBSTRATE AND IS NOT CRACKED OR DISINTEGRATED. THE WALL IS TO BE CONSTRUCTED WITH A MINIMUM OF 2" OF FINISH ABOVE THE FINISHED FLOOR AREA.



7B 12/19/18

MANGAN GROUP ARCHITECTS
 7036 CARROLL AVE. SUITE 3
 TAKOMA PARK, MD 20912
 (P) 301.583.7980
 (F) 301.583.7911
 WWW.MANGANGROUP.COM

Architect's Professional Certification
 I certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland. License number: 10378. Expiration Date: 6-31-2019

Project Information
 Project Number: 10106
Herman Residence

Project Address:
 20 West Tindal Street
 Chevy Chase MD 20815

Project Submission Date:
 11/07/18

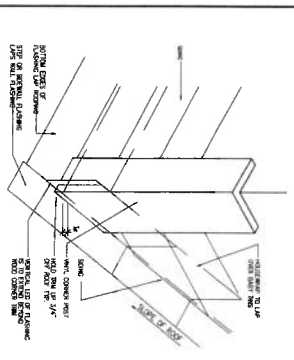
Project Submission Issue Date:
 11/07/18

Revision Log

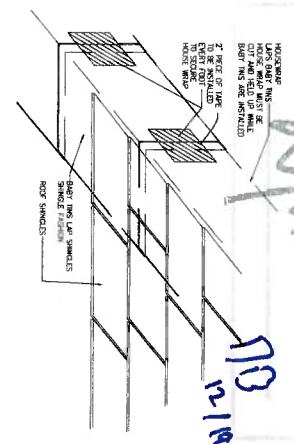
Rev.	Date	Description

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 Drawn By: J. Anderson
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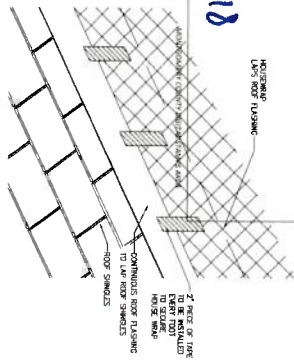
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D-001



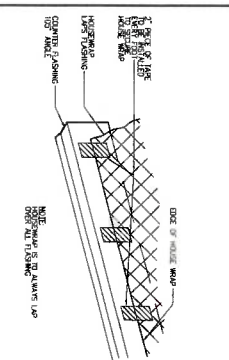
1 SECOND STORY WALL TO ROOF FLASHING
 Detail 1-1-17'



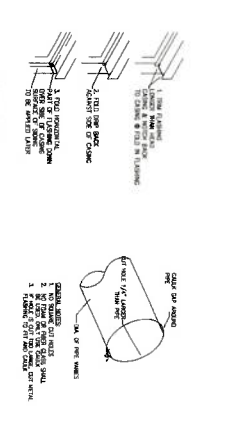
2 HOUSE WRAP DETAIL AT BABY TINS
 Detail 2-1-17'



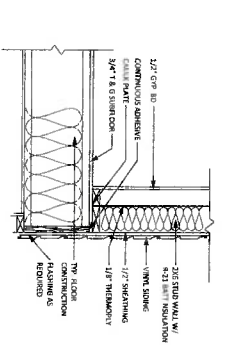
3 HOUSE WRAP AT SHED ROOF FLASHING
 Detail 3-1-17'



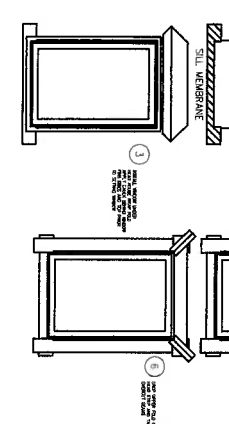
4 HOUSE WRAP AT FLASHING DETAIL
 Detail 4-1-17'



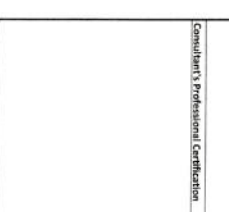
5 WINDOW AND DOOR HEAD FLASHING
 Detail 5-1-17'



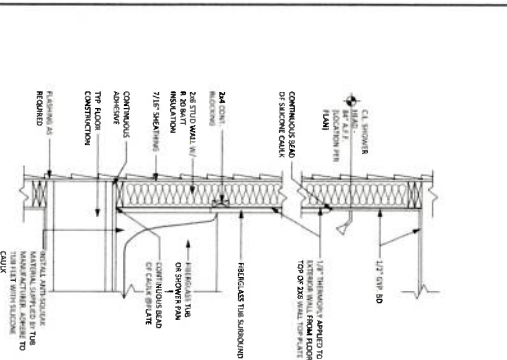
6 EXTERIOR BORING GUIDE
 Detail 6-1-17'



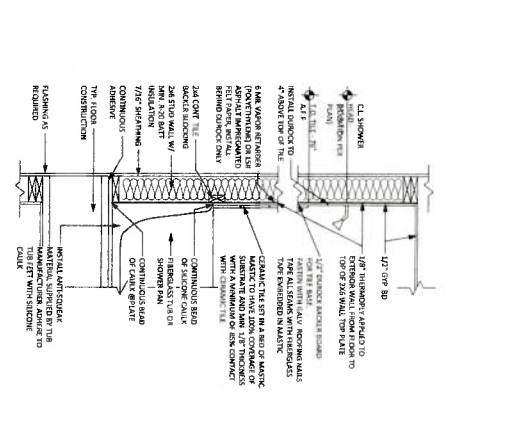
7 AIR BARRIER DETAILS AT DOUBLE WALLS
 Detail 7-1-17'



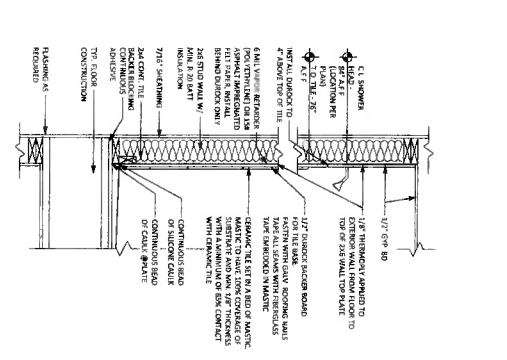
8 HOUSE WRAP WINDOW DETAIL
 Detail 8-1-17'



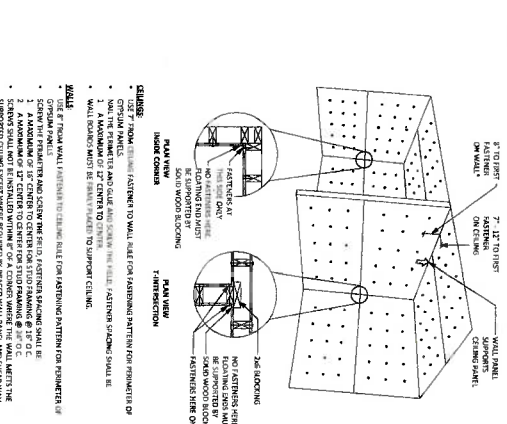
10 TUB / SHOWER W/ FIBERGLASS SURROUND EXTERIOR AIR BARRIER DETAIL AT FIBERGLASS
 Detail 10-1-17'



11 TUB / SHOWER W/ CERAMIC TILE SURROUND EXTERIOR AIR BARRIER DETAIL AT FIBERGLASS
 Detail 11-1-17'



12 SHOWERS W/ CERAMIC TILE SURROUND EXTERIOR AIR BARRIER DETAIL AT MUD-SET
 Detail 12-1-17'



13 GYPSUM PANELS W/ FLOATING CORNERS EXTERIOR AIR BARRIER DETAIL AT MUD-SET
 Detail 13-1-17'

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 WWW.MANGANGROUP.COM

I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland. Expiration Date: 6-11-2019

Consultant's Professional Certification

Project Information
 Project Number: 1501
 Project Name: **Herman Residence**
 Project Address: 20 West Ingle Street, Chevy Chase MD 20815

Project Issuance Status:
 PRELIMINARY DESIGN
 DESIGN DEVELOPMENT
 CONSTRUCTION DOCUMENTS
 CONSTRUCTION ADMINISTRATION

Project Submission Issue Date: 11/07/18

Revision	Date	Description

Drawing Sheet Information
 Actual Plot Date: 11/7/2018 6:10:51 PM
 Drawn By: J. Anagnostou
 Date: 11/7/18

As indicated, full size original sheet is 24" x 36". Do not scale drawings for measurements. Call or email MGAN for clarification.

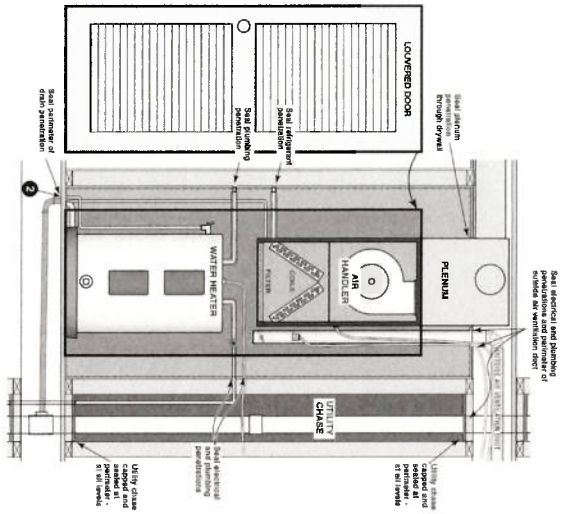
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Sheet Number: **D-002**

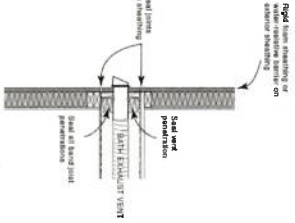
AIR SEALING ILLUSTRATIONS

AIR SEALING ILLUSTRATIONS ARE INTENDED FOR A GENERAL DESCRIPTION OF METHODS. SEE BUILDING SECTIONS ON A-300 SERIES AND DETAILS ON D SERIES SHEETS FOR ACTUAL CONSTRUCTION, AIR-SEALING AND INSULATING REQUIREMENTS.

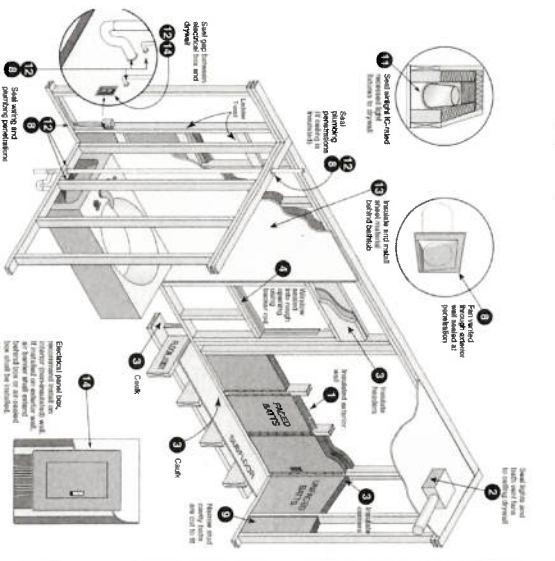
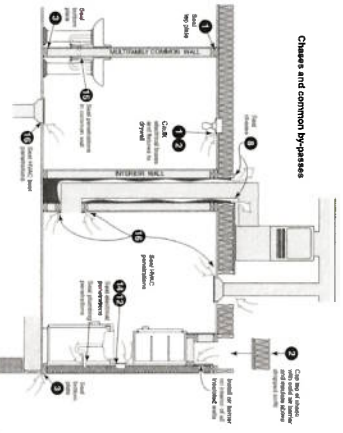
Handwritten signature and date:
 NBS 12/19/18



- Additional, Multifamily Air-sealing Keynotes**
1. Cap and seal in chase including keynotes for seal alignment penetration
 2. Seal penetrations in mechanical chase including:
 - a. supply plenum
 - b. return plenum
 - c. refrigerant line
 - d. plumbing
 - e. electrical
 3. Seal gaps at exterior sheathing side and all penetrations through band
 4. All seal at drywall finishing for any wall adjacent to floor level - All seal this gap at every building envelope (e.g. refrigerant lines)



Chases and common bypasses



NUMBER	COMMENT	CRITERIA
1	Air barrier and thermal barrier	Exterior thermal envelope insulation for framed walls is installed in substantial contact and continuous alignment with building envelope air barrier or joints in the air barrier are filled or sealed. As-permeable insulation is not used in a sealing material. As-permeable insulation is a vapor or air barrier. All barrier or any dropped ceiling system is substantially aligned with attic access (except invented attic) show wall door or drop down stair is sealed. Corners and headers are insulated. Junction of foundation and all joints is sealed. Splice between window/door frame and framing is sealed.
2	Carpeting	Carpeting is installed in accordance with manufacturer's instructions.
3	Walls	Walls are insulated and include an air barrier. Joints are sealed and include an air barrier.
4	Windows and doors	Windows and doors are installed in accordance with manufacturer's instructions.
5	Rim joists	Rim joists are insulated and include an air barrier.
6	Flashed flashing, above-decks and cantilevered floors	Flashed flashing, above-decks and cantilevered floors are installed in accordance with manufacturer's instructions.
7	Chase spaces walls	Insulation is permanently attached to walls. Exposed depth in unvented crawl spaces is covered with Class 1 vapor retarder with overlapping joints taped.
8	Studs, penetrations	Stud studs, utility penetrations, knee walls and fire studs opening to exterior or conditioned spaces are sealed. Beds or narrow cavities are cut to fit, or narrow cavities are filled by spray-foam-in-place insulation.
9	Narrow cavities	As sealing is provided between the garage and conditioned spaces.
10	Garage separation	Recessed light fixtures are all light, AC rated and sealed to drywall. Recessed light fixtures are all light, AC rated and sealed to drywall. Recessed light fixtures are all light, AC rated and sealed to drywall.
11	Recessed lighting	Recessed lighting is installed in accordance with manufacturer's instructions.
12	Punching and wiring	Insulation is placed between outside and press. Insulation is placed between outside and press. Insulation is placed between outside and press.
13	Showers or exterior wall	Showers and exterior walls have vapor insulation and an air barrier. Showers and exterior walls have vapor insulation and an air barrier.
14	Enclosed/pressure box on exterior walls	Air barrier extends behind boxes or air barrier-type boxes are installed. Air barrier is installed in common wall behind existing units. Air barrier is installed in common wall behind existing units.
15	Common wall	Common wall is installed in accordance with manufacturer's instructions.
16	HVAC register boxes	HVAC register boxes that penetrate building envelope are sealed to exterior of drywall.
17	Fireplaces	Fireplaces walls include an air barrier.



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Architect's Professional Certification
 I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland.
 Signature: _____
 Expiration Date: 6/31/2019



Consultant's Professional Certification

Herman Residence

Project Information
 Project Number: 18108
 Project Name: Herman Residence
 Project Address: 20 West Wing Street, Chevy Chase MD 20815
 Project Status: DESIGN, PERMITS, CONSTRUCTION DOCUMENTS, PERMIT SUBMISSION, CONSTRUCTION ADMINISTRATION

Project Submittal Issue Date: 11/07/18
 Revision Log: A, B, Date, Description

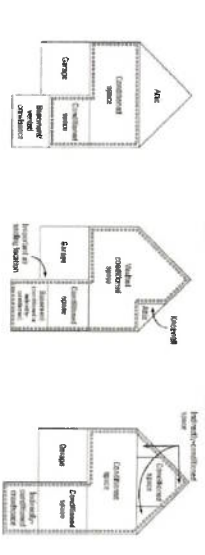
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 Drawn by: MANGAN
 Scale: 1/8" = 1'-0"

Full size of original sheet is 24" x 36".
 Do not scale drawings for measurements.
 All dimensions are in feet and inches unless otherwise noted.
 Details - Air Sealing

Sheet Number: **D-003**

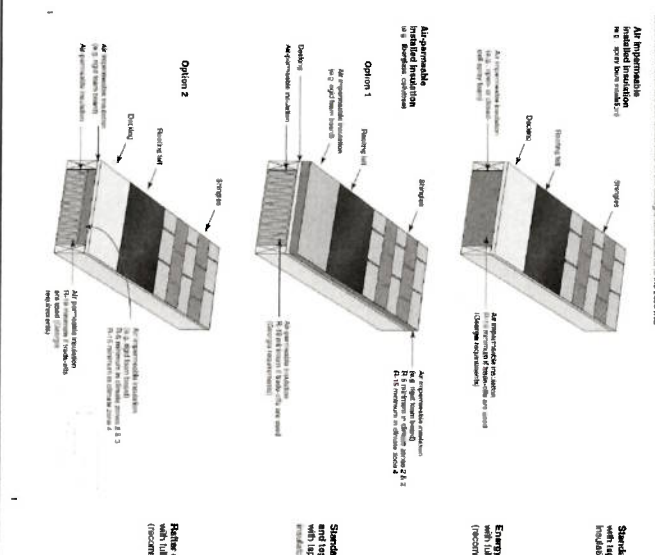
Building Thermal Envelope - The thermal envelope includes the floor, roof and any other building elements that enclose conditioned space. This envelope separates the conditioned space from the unconditioned space. The envelope must be continuous and airtight.

The building thermal envelope is the barrier that separates the conditioned space from the outside or unconditioned space. The building envelope consists of two parts - an exterior and an interior barrier that meet both continuous and airtight. Examples of conditioned space include attics, vented crawl spaces, and basements. Examples of unconditioned space include attics, vented crawl spaces, and basements. Examples of unconditioned space include attics, vented crawl spaces, and basements.



This is a conventional approach. But it may become an exception in unconditioned spaces. It may require airtightness at the exterior and interior boundaries. The building envelope must be continuous and airtight.

Roofline Insulated Options



AIR SEALING ILLUSTRATIONS

AIR SEALING ILLUSTRATIONS ARE INTENDED FOR A GENERAL DESCRIPTION OF METHODS. SEE BUILDING SECTIONS ON A-300 SERIES AND DETAILS ON D SERIES SHEETS FOR ACTUAL CONSTRUCTION, AIR-SEALING AND INSULATING REQUIREMENTS.

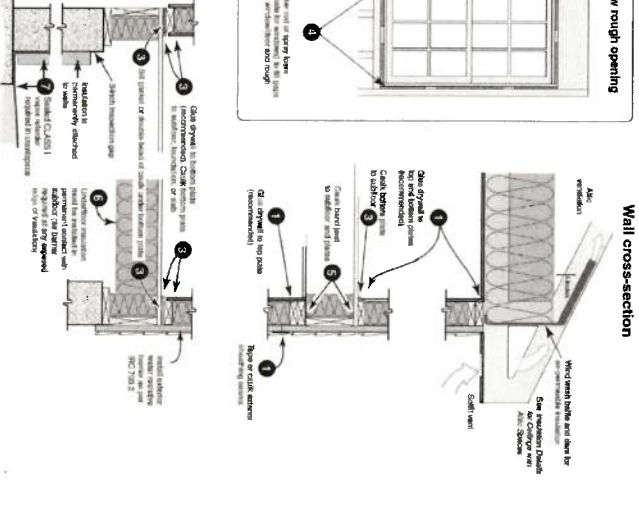
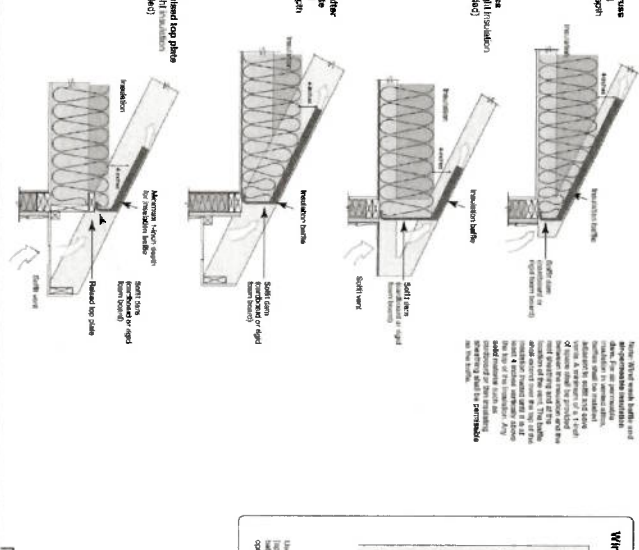


NUMBER	COMPONENT	CRITERIA
1	Air barrier and thermal barrier	Exterior thermal envelope (masonry for framed walls, a continuous substrate for exterior wall and continuous alignment with building envelope air barrier). The air barrier can be rigid or applied. Air-permeable insulation is not used as a sealing material. Air-permeable insulation is used as an air barrier.
2	Chimney attic	Attic barrier in any dropped ceiling/garage is substantially aligned with insulation and any gas air sealant. Attic barrier (except vented attic) may vent door or drop down stair is sealed.
3	Walls	Corner and junction air required. Junction of foundation and all joints is sealed.
4	Windows and doors	Signs between window/door joints and framing is sealed. From joints are installed and include air barrier. Insulation is installed to maintain permanent contact with underside of insulation. Air barrier is installed at any exposed edge of insulation.
5	Flooring above garage and (unvented attics)	Insulation is permanently attached to walls. Exposed depth in unvented attics is covered with Class I vapor barrier with overlapping joints sealed.
6	Crawl space walls	Duct sheath, utility penetrations, hose walls and raw slate opening to exterior or unconditioned space are sealed.
7	Stair, penetrations	Batts in narrow cavities are cut to fit, or narrow cavities are filled by spray-on insulation.
8	Narrow cavities	As sealing is provided between the garage and conditioned spaces. Recessed light fixtures are air tight, R-C sealed and sealed to drywall. Exception—Recessed lights in conditioned space.
9	Garage separation	Recessed lighting
10	Recessed lighting	Recessed lighting
11	Finishing and wiring	Finishing and wiring
12	Shower/bath or exterior wall	Shower/bath or exterior wall
13	Exterior/phone box on exterior wall	Exterior/phone box on exterior wall
14	Exterior/phone box on exterior wall	Exterior/phone box on exterior wall
15	Exterior/phone box on exterior wall	Exterior/phone box on exterior wall
16	HVAC register boots	HVAC register boots and common wall building units are sealed to exterior or drywall.
17	Fireplaces	Fireplaces include an air barrier.

MANGAN
GROUP ARCHITECTS
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TOWSON PARK, MD 20912
(410) 281-2900
WWW.MANGANGROUP.COM

Architect's Professional Certification
I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland. License number 10378. Expiration Date: 6-15-2019

Project Information
Project Name: **Herman Residence**
Project Address: 20100 ...
Project Start Date: 11/07/18



Project Information
Project Name: **Herman Residence**
Project Address: 20100 ...
Project Start Date: 11/07/18

Project Status:
DESIGN DEVELOPMENT
CONSTRUCTION DOCUMENTS
CONSTRUCTION ADMINISTRATION

Project Information:
Project Name: **Herman Residence**
Project Address: 20100 ...
Project Start Date: 11/07/18

Project Status:
DESIGN DEVELOPMENT
CONSTRUCTION DOCUMENTS
CONSTRUCTION ADMINISTRATION

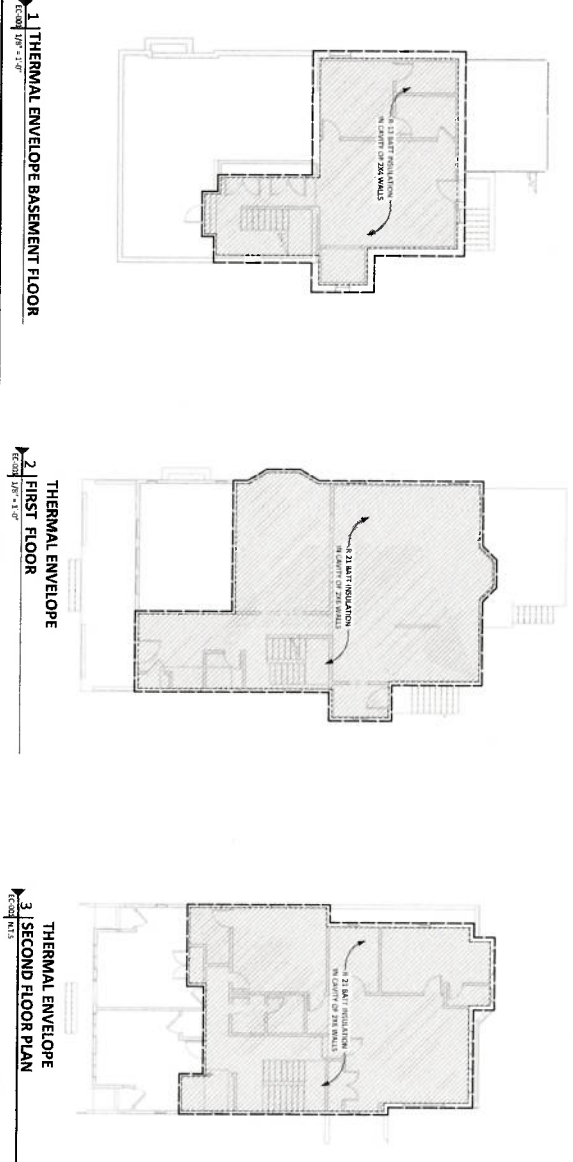
Project Information:
Project Name: **Herman Residence**
Project Address: 20100 ...
Project Start Date: 11/07/18



ADJUTANT COUNTY DEPTAL STAFF, 2018 12/19/18

Code	Description	Compliance	Notes
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M1101.2 (IBCC 2.2)
M1101.3 (IBCC 2.3)
M1101.4 (IBCC 2.4)
M1101.5 (IBCC 2.5)
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M1101.50 (IBCC 2.50)

THERMAL ENVELOPE PLANS



1 THERMAL ENVELOPE BASEMENT FLOOR

2 THERMAL ENVELOPE FIRST FLOOR

3 THERMAL ENVELOPE SECOND FLOOR PLAN

INSPECTION CHECKLIST IS PROVIDED AS A SEPARATE DOCUMENT.

RESHECK SOFTWARE VERSION 4.6.3 COMPLIANCE CERTIFICATE

Project: Herman Residence

Inspector: CHRY CHAN, Maryland

Address: 4 (1427) HDB

Construction Date: 2018

Inspector's License No: 1512

Inspector's Expiration Date: 12/31/2021

Code	Description	Compliance	Notes
M1101.1 (IBCC 2.1)
M1101.2 (IBCC 2.2)
M1101.3 (IBCC 2.3)
M1101.4 (IBCC 2.4)
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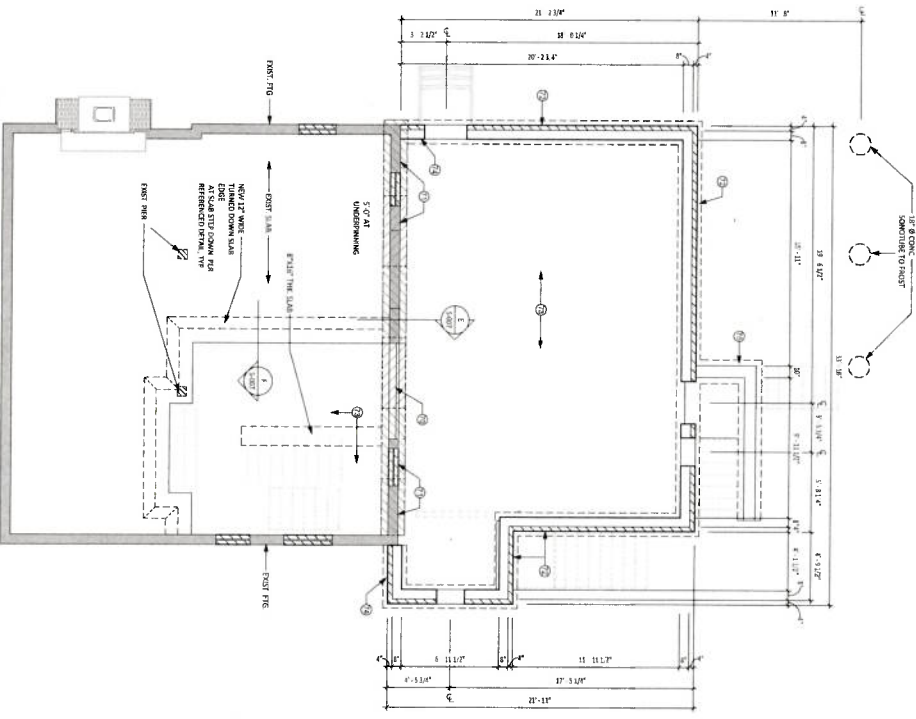
Sheet Number: EC-001



11/19/18

- ③ REMOVE SECTION OF EXISTING FOOTING & FDN. WALL AFTER UNDERPINNING OF FTGS COMPLETE
- ③ UNDERPIN EXIST. MASONRY FTG S IN APPROX 5'-0" SECTIONS PER E/S 007, AT SHADED AREAS
- ③ NEW 8" CONC. WALL @ 4" BRICK VENEER WITH #5 VERTICAL REIN. LOCATED 1 1/4" CLEAR OF BASEMENT FACE OF WALL AND (3) #4 HORIZONTAL BARS, ONE WITHING 12" OF TOP OF WALL, ONE 3'-0" ABOVE FTG. AND ONE 6'-0" ABOVE FTG. ON 8"x20" CONC. FTG.
- ③ NEW 4" CONC. SLAB ON GRADE WITH 6x6-W/1.4AW/1.4 WWF IN CENTER OF SLAB ON 4" CRUSHED STONE ON COMPACTED SOIL
- ③ WHERE EXIST. FTG. ABUTTS NEW UNDERPINNING PROVIDE (2) #4 X 24" LONG HORIZONTAL DOVELLS MID-HGT OF FTG. DRILLED AND EPOXIED 5" INTO UNDERPINNING
- ③ NEW 10" CONC. WALL (6" STEM + 4" BRICK LEDGE) ON 8"x18" CONC. FTG. TYP. AT AREWAY.

1. FOUNDATION PLAN



1800 ANN DRIVE, SUITE 201
 GAITHERSBURG, MD 20878
 Phone: (210) 541-1068
 Fax: (210) 984-4459

Sheet Number: **S-001**

Foundation Plan

Full size original sheet is 24" x 36"
 Do not scale drawings for measurements.
 Call or email MGA for clarifications.

Project Information

Project Number: 18-001
 Project Name: Herman Residence

Project Address:
 20 West Irving Street
 Chevy Chase MD 20815

Project Issue Status:
 PRELIMINARY DESIGN
 DESIGN DEVELOPMENT
 CONSTRUCTION DOCUMENTS
 CONSTRUCTION ADMINISTRATION

Project Submission Issue Date:
 11/07/18

Revision Log

Δ/Rev. Date	Description

Drawing Sheet Information

Actual Plot Date:
 11/17/2018 6:50:55 PM
 Drawn By: KSE
 Scale: 1/4" = 1'-0"

Full size original sheet is 24" x 36"
 Do not scale drawings for measurements.
 Call or email MGA for clarifications.

Project Information

Project Number: 18-001
 Project Name: Herman Residence

Project Address:
 20 West Irving Street
 Chevy Chase MD 20815

Project Issue Status:
 PRELIMINARY DESIGN
 DESIGN DEVELOPMENT
 CONSTRUCTION DOCUMENTS
 CONSTRUCTION ADMINISTRATION

Project Submission Issue Date:
 11/07/18

Revision Log

Δ/Rev. Date	Description

Drawing Sheet Information

Actual Plot Date:
 11/17/2018 6:50:55 PM
 Drawn By: KSE
 Scale: 1/4" = 1'-0"

Full size original sheet is 24" x 36"
 Do not scale drawings for measurements.
 Call or email MGA for clarifications.

Project Information

Project Number: 18-001
 Project Name: Herman Residence

Project Address:
 20 West Irving Street
 Chevy Chase MD 20815

Project Issue Status:
 PRELIMINARY DESIGN
 DESIGN DEVELOPMENT
 CONSTRUCTION DOCUMENTS
 CONSTRUCTION ADMINISTRATION

Project Submission Issue Date:
 11/07/18

Revision Log

Δ/Rev. Date	Description

Drawing Sheet Information

Actual Plot Date:
 11/17/2018 6:50:55 PM
 Drawn By: KSE
 Scale: 1/4" = 1'-0"

Full size original sheet is 24" x 36"
 Do not scale drawings for measurements.
 Call or email MGA for clarifications.



Architect's Professional Certification
 I certify that these documents were prepared or approved by me and that I am a duly licensed architect under the laws of the State of Maryland.
 Expiration Date: 6-31-2019
 WWW.MANGANGROUP.COM

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Sheet Number: **S-001**

Foundation Plan

Full size original sheet is 24" x 36"
 Do not scale drawings for measurements.
 Call or email MGA for clarifications.

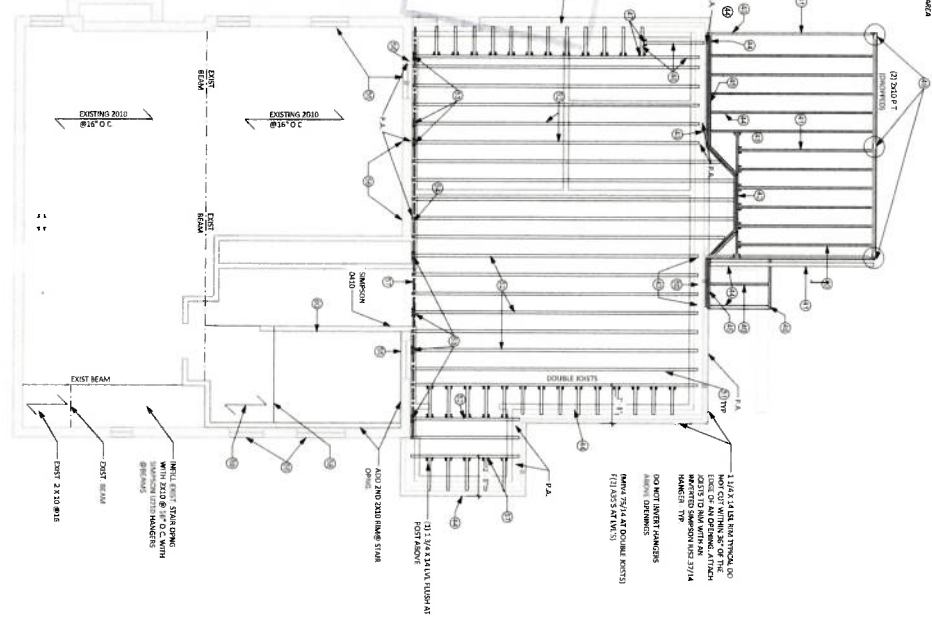
GENERAL STRUCTURAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND DETAILING OF ALL NEW AND EXISTING STRUCTURE. THE DESIGN SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AS SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS AND THE LOCATION OF ALL EXISTING STRUCTURE. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING STRUCTURE AND THE LOCATION OF ALL EXISTING STRUCTURE.
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1. 2X10 P.T. JOISTS @16" O.C. WITH SIMPSON ULS210Z HANGERS AT RIM/BEAM
2. (2) 2X10 P.T. FLUSH WITH SIMPSON UJ10-Z2
3. ROCKET BEAM THROUGH RIM TO ROOM IN 8" ON FND. SILL PLATE
4. AT THE BOTTOM OF BEAM/POST TO FND. SILL PLATE WITH A SIMPSON OTTIZ DECK THE BACK ANCHOR
5. 2X10 P.T. BOLT TO RIM BOARD L1/2" DIA GALV. THROUGH BOLTS @ 20" O.C.
6. (3) 1 3/4" X 14 LV LVL FLUSH WITH SIMPSON HVA14
7. SIMPSON HVA14
8. 6X6 P1 POST WITH SIMPSON ASW66Z POST BASICS NOTCH. TOP OF POST FOR 2 X210 BEAM. ATTACH BEAM TO POST WITH (2) GALV.
9. 18" DIA. CONC. SMOO TUBE TO FROST
10. DROPPED (2) 1 3/4" X 9 1/4 LV LVL HEADER, POCKET INTO CONC. WALL EACH END MIN 8"
11. (2) 1 3/4" X 14 LV LVL FLUSH AT POST ABOVE
12. (2) 1 3/4" X 14 LV LVL
13. SIMPSON HVA10 TYPICAL AT 14" TI. 2X10 JOISTS @16" O.C.
14. 1 3/4 X 14 LV LVL LEDGER ATTACH TO EXISTING 2X10 RIM WITH (3) SIMPSON SDS23512 SCREWS AT 16" O.C.
15. INFLU. EXIST. OPNG. IN END WALL WITH 8" SOLID CMU
16. PROVIDE 2X6 POST BLOCKING IN 1ST FLOOR TO MATH POST ABOVE
17. CUT OUT EXISTING 2X10 RIM AND TRIM EXIST. FLOOR JOISTS AS REQ'D PROVIDE NEW (3) 1 3/4 X 9 1/4 LV LVL FLUSH WITH MIN 16" BEARING EACH END OF OPNG. FASTEN PILES OF LV LVL TOGETHER WITH (2) ROWS SIMPSON SDS25312 SCREWS @ 12" O.C. EACH FACE. FASTEN EXIST. JOISTS TO NEW LV LVL WITH SIMPSON UJ10-Z2 AT BEAMS/RIM
18. NEW (2) 2X10 FLOOR JOISTS FOR NEW STAIR OPNG. ATTACH TO BEAMS WITH SIMPSON UJ10 HANGERS
19. CUT EXIST. FLOOR JOISTS FOR NEW STAIR OPNG. ATTACH TO BEAMS WITH SIMPSON UJ10 HANGERS
20. NEW (2) 1 3/4 X 9 1/4 LV LVL FLUSH

Handwritten notes: "12/11/19" and "775" in blue ink.

1 FIRST FL. DECK FRAMING - BEDROOM WING



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 1090 EAST BAY BL. SUITE 201
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 PHONE: (757) 541-1069
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 7034 CARROLL AVE., SUITE 3
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Professional Certification
 I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland.
 License Number: 00979
 Expiration Date: 12/31/2019

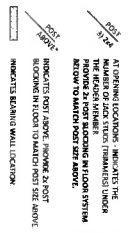
Project Information
 Project Name: **Herman Residence**
 Project Address: 20 West Tower Street, Chevy Chase MD 20815
 Project Start Date: 11/07/18
 Project Completion Date: 11/07/18

Drawing Sheet Information
 Actual Plot Date: 11/7/2018 6:10:56 AM
 Drawing By: L. Anderson
 Checked By: KSE
 Title: **First Floor Deck Framing**
 Scale: Full size original sheet is 24" x 36". Do not scale drawings for measurements. Call or email MGA for clarifications.

Sheet Number
S-002

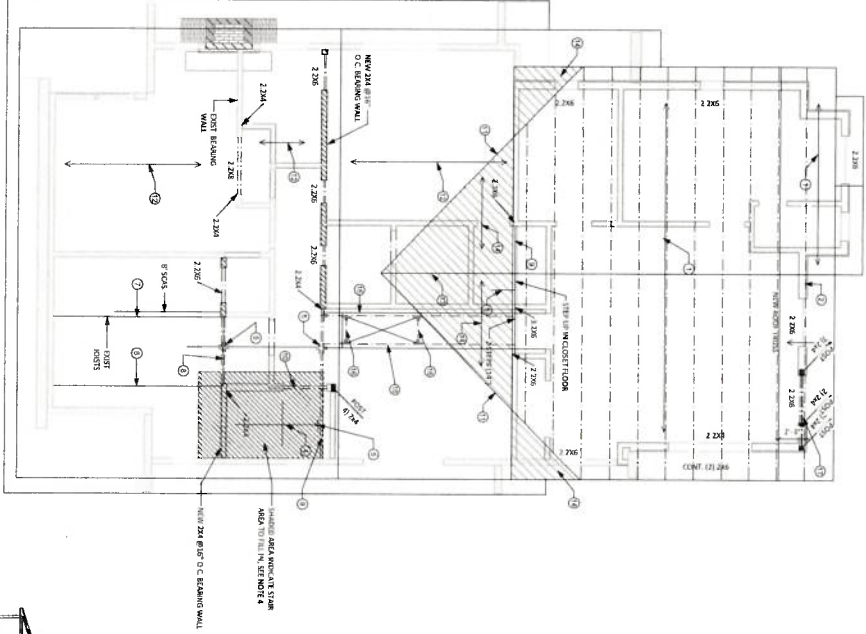
GENERAL STRUCTURAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND DETAILING OF ALL NEW AND EXISTING STRUCTURE EQUIPPED ON THE PROJECT.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AS REQUIRED.
3. THE DESIGN SHALL BE BASED ON THE DESIGN LOADS SHOWN IN THE DRAWINGS. LOADS ON THE ROOF SHALL BE BASED ON THE DESIGN LOADS SHOWN IN THE DRAWINGS.
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5. ALL DIMENSIONS SHALL BE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
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1. NEW ROOF TRUSSES @ 24" O.C.
2. STRUCTURAL GABLE AND ROOF TRUSS HOLD TOP CHORD DOWN FOR 2X6 FLY RAFTERS
3. 2X6 @ 24" O.C. FLY RAFTERS
4. INFLU. EXIST. STAIR OPNG. AT ATTIC WITH NEW 2X10 FLOOR JOISTS @ 16" O.C. CANTILEVERED OVER NEW BEARING WALL
5. NEW SIMPSON U210 HANGER EACH NEW/EXISTING JOIST AT NEW BEAM-TYP. PROVIDE NEW 2X9 2" OSB FLOOR SHEATHING @ NEW JOISTS
6. LAT. CANTO JOISTS MIN. 10" PAST. END OF EXIST. FRONT FLOOR/CEILING JOISTS. FASTEN EXIST. TO NEW JOISTS WITH MIN. (3) SIMPSON SDS23500 SCREWS
7. PROVIDE A NEW 2X10 X 9'0" SCAB AT EXISTING FLOOR CEILING JOISTS WITH REAR END OF SCAB BEARING ON NEW BEARING WALL OR HANGERING INTO NEW FLUSH BEAM GLE AND FASTEN SCAB TO JOIST. JOIST WITH (2) SIMPSON SDS23500 SCREWS @ 16" O.C. WITH (5) ADDITIONAL SDS23500 SCREWS FRONT END OF SLAB AND REAR END OF EXIST. JOIST.
8. NEW (2) 2X10 FLUSH
9. NEW (2) 1 3/4 X 9 1/4 LVL FLUSH CONT.
10. NEW (2) 2X10 FLAT VALLEY PLATE WITH (2) 160 NAILS EACH EXIST. RAFTER
11. EXIST. 2X10 ATTIC FLOOR/CEILING JOISTS. EXIST RAFTERS SPANNING FRONT TO BACK NOT SHOWN
12. 2X6 OVER FRAMING RAFTERS @ 16" O.C.
13. SISTER EXIST. ATTIC FROM JOISTS WITH A NEW 2X10 WITH (2) 100 NAILS @ 16" O.C. HANGER EACH END TO NEW BEAMS WITH SIMPSON U210-2 HANGERS
14. NEW (2) 2X10 HANGER AT ATTIC ACCESS WITH SIMPSON U210-2 EACH END. CUT OUT EXIST. ATTIC FLOOR & JOISTS PER NEW PULL DOWN ATTIC ACCESS LADDER. HANGER CUT JOISTS TO HEADERS WITH SIMPSON U210 HANGERS
15. NEW (3) 2X12 CONT. AT ONE SIDE FO PARTIAL FRAME PER 4/5-006

1. ROOF FRAMING - BEDROOM WING



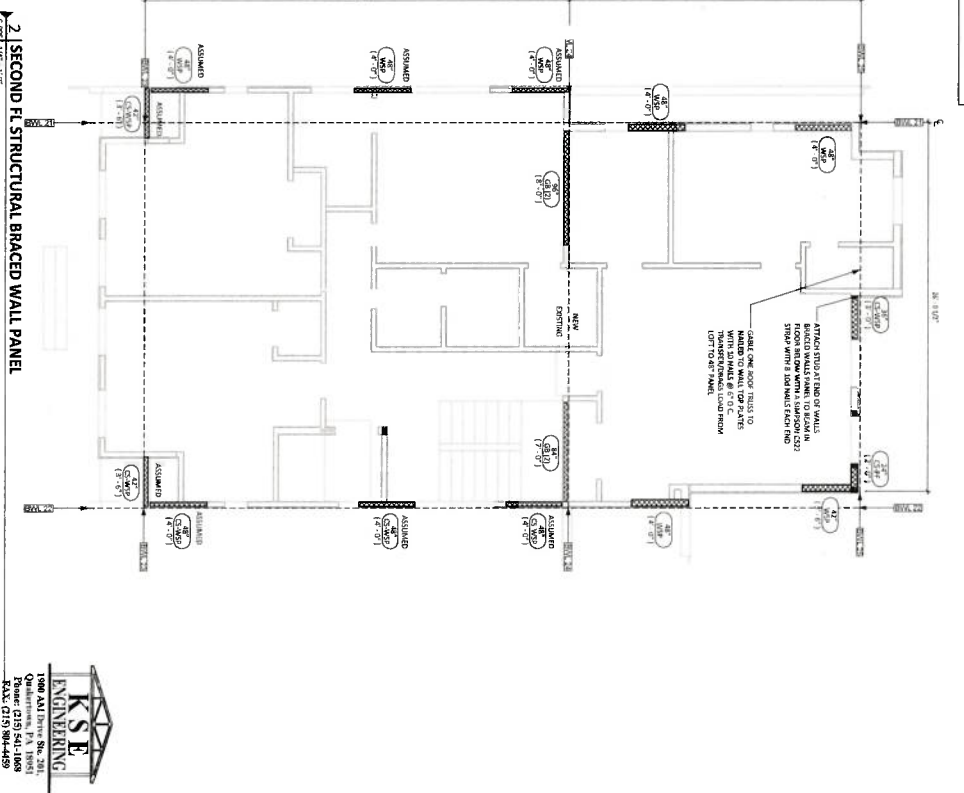
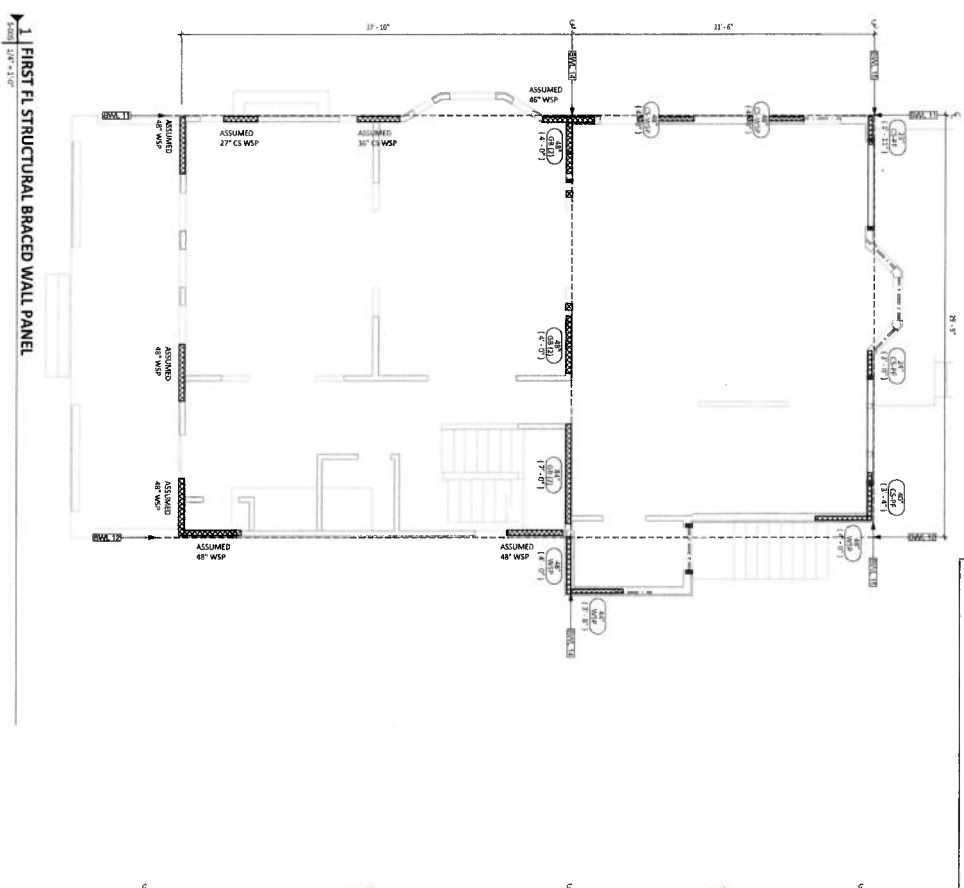
KSE ENGINEERING
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Sheet Number
S-004

BRACED WALL PANEL SCHEDULE

Panel Type	Material	Notes
WSP	WSP	WSP
CS	CS	CS
CMU	CMU	CMU
CMU	CMU	CMU
CMU	CMU	CMU

- NOTES**
- ALL EXTERIOR WALLS SHALL BE FINISHED WITH 1/2" G.I. SHEET ROUGH AND 1/2" G.I. SHEET FINISH.
 - ALL EXTERIOR WALLS SHALL BE FINISHED WITH 1/2" G.I. SHEET ROUGH AND 1/2" G.I. SHEET FINISH.
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 - ALL EXTERIOR WALLS SHALL BE FINISHED WITH 1/2" G.I. SHEET ROUGH AND 1/2" G.I. SHEET FINISH.



BRACED WALL & SHEAR WALL PANEL NOTES

SEE ALSO STRUCTURAL ENGINEER NOTES ON SHEET FOR ADDITIONAL STRUCTURAL DISPOSITIONS.

BRACED / SHEAR WALL LINE NUMBER

BRACED / SHEAR WALL LOCATION

WALL PANEL LENGTH (DIM) IS SET BRACED WALL PANEL

SPREAD

SECOND FLOOR WALL BRACING SUMMARY

Panel Type	Panel No.	Area (sq ft)	Length (ft)	Width (ft)	Height (ft)	Volume (cu ft)	Weight (kips)	Start Date	End Date
WSP	WSP-1	100	10	10	10	1000	10	11/07/18	11/07/18
CS	CS-1	100	10	10	10	1000	10	11/07/18	11/07/18
CMU	CMU-1	100	10	10	10	1000	10	11/07/18	11/07/18
CMU	CMU-2	100	10	10	10	1000	10	11/07/18	11/07/18
CMU	CMU-3	100	10	10	10	1000	10	11/07/18	11/07/18
CMU	CMU-4	100	10	10	10	1000	10	11/07/18	11/07/18
CMU	CMU-5	100	10	10	10	1000	10	11/07/18	11/07/18
CMU	CMU-6	100	10	10	10	1000	10	11/07/18	11/07/18
CMU	CMU-7	100	10	10	10	1000	10	11/07/18	11/07/18
CMU	CMU-8	100	10	10	10	1000	10	11/07/18	11/07/18
CMU	CMU-9	100	10	10	10	1000	10	11/07/18	11/07/18
CMU	CMU-10	100	10	10	10	1000	10	11/07/18	11/07/18

1. FIRST FL. STRUCTURAL BRACED WALL PANEL

2. SECOND FL. STRUCTURAL BRACED WALL PANEL



Sheet Number: **S-005**

As indicated, Full size original sheet is 24" x 36". Do not scale drawings for measurements. Call or email MGA for clarifications. 11/07/18

Shear Wall Plans

Project Information

Project Name: **Herman Residence**

Project Address: **20 West Irving Street, Chevy Chase MD 20815**

Project Number: **18106**

Project Status: **DRYING/MAINT DESIGN, PERMIT SUBMISSION, CONSTRUCTION DOCUMENTS, CONSTRUCTION ADMINISTRATION**

Project Submission Issue Date: **11/07/18**

Consultant's Professional Certification

I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under License number: **10278**

Expiration Date: **6-31-2019**

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Phone: (215) 541-1868

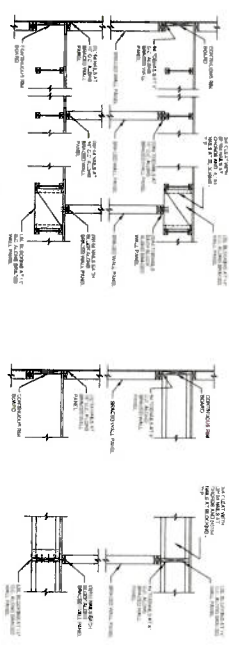
Fax: (215) 984-4459

11/07/18

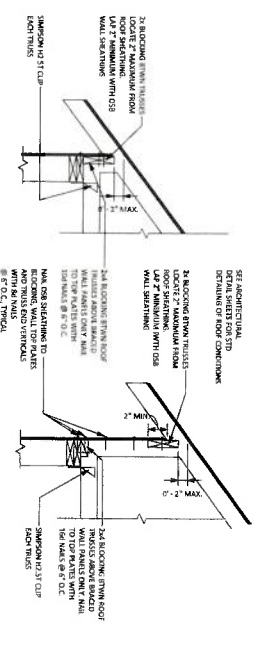
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11/07/18

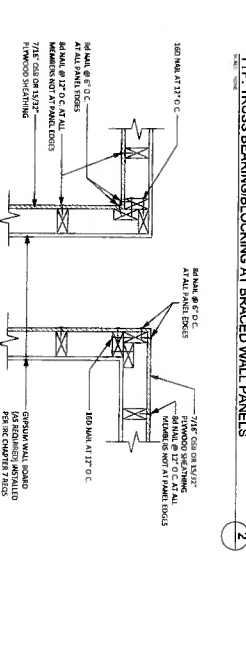
1. GENERAL NOTES: THESE DETAILS ARE TO BE USED IN CONJUNCTION WITH THE SPECIFICATIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE 2006 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
2. ALL EXTERIOR WALLS OF 8" OR GREATER THICKNESS SHALL BE CONSTRUCTED WITH FULL HEIGHT OF THE WALL AND FULL HEIGHT OF THE FOUNDATION. THE FOUNDATION SHALL BE CONSTRUCTED WITH FULL HEIGHT OF THE WALL AND FULL HEIGHT OF THE FOUNDATION. THE FOUNDATION SHALL BE CONSTRUCTED WITH FULL HEIGHT OF THE WALL AND FULL HEIGHT OF THE FOUNDATION.
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TYPICAL BRACED WALL PANEL TO FLOOR/CEILING FRAMING CONNECTIONS



HEEL HEIGHT GREATER THAN 15'



HEEL HEIGHT GREATER THAN 9.25' AND LESS THAN 15'

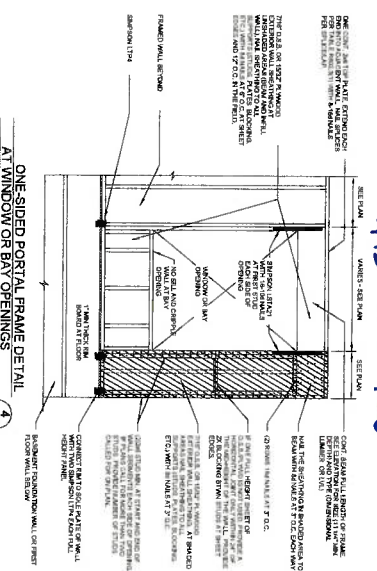
TYP. EXTERIOR CORNER WALL FRAMING

ITEM #	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	2x4 BRACED WALL PANEL TO FLOOR/CEILING CONNECTIONS	100	EA	1.50	150.00
2	2x4 BRACED WALL PANEL TO FLOOR/CEILING CONNECTIONS	100	EA	1.50	150.00
3	2x4 BRACED WALL PANEL TO FLOOR/CEILING CONNECTIONS	100	EA	1.50	150.00
4	2x4 BRACED WALL PANEL TO FLOOR/CEILING CONNECTIONS	100	EA	1.50	150.00
5	2x4 BRACED WALL PANEL TO FLOOR/CEILING CONNECTIONS	100	EA	1.50	150.00
6	2x4 BRACED WALL PANEL TO FLOOR/CEILING CONNECTIONS	100	EA	1.50	150.00
7	2x4 BRACED WALL PANEL TO FLOOR/CEILING CONNECTIONS	100	EA	1.50	150.00
8	2x4 BRACED WALL PANEL TO FLOOR/CEILING CONNECTIONS	100	EA	1.50	150.00
9	2x4 BRACED WALL PANEL TO FLOOR/CEILING CONNECTIONS	100	EA	1.50	150.00
10	2x4 BRACED WALL PANEL TO FLOOR/CEILING CONNECTIONS	100	EA	1.50	150.00

1. U.S.G. ALL EXTERIOR WALLS OF 8" OR GREATER THICKNESS SHALL BE CONSTRUCTED WITH FULL HEIGHT OF THE WALL AND FULL HEIGHT OF THE FOUNDATION. THE FOUNDATION SHALL BE CONSTRUCTED WITH FULL HEIGHT OF THE WALL AND FULL HEIGHT OF THE FOUNDATION.
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713 12/19/18



ONE SIDED PORTAL FRAME DETAIL AT WINDOW OR BAY OPENINGS



1000 ANTWERP ST. SUITE 200
 ANNAPOLIS, MD 21403
 PHONE: (410) 541-1088
 FAX: (410) 894-4539

Sheet Number
S-006

MANGAN GROUP ARCHITECTS
 7034 CARROLL AVE, SUITE 3
 TANKOY PARK, MD 20781
 (P) 301.589.2011
 WWW.MANGANGROUP.COM

Architect's Professional Certification
 I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland.
 License Number: 00373-0109
 Expiration Date: 06/30/2019

Project Information
 Project Name: **Herman Residence**
 Project Number: 11106
 Project Address:
 201 West Point Street
 Chevy Chase, MD 20815

Project Issue Status:
 PRELIMINARY DESIGN
 DESIGN DEVELOPMENT
 CONSTRUCTION DOCUMENTS
 CONSTRUCTION ADMINISTRATION

Project Submission Issue Date: 11/07/18

Revision Log

Rev. No.	Date	Description

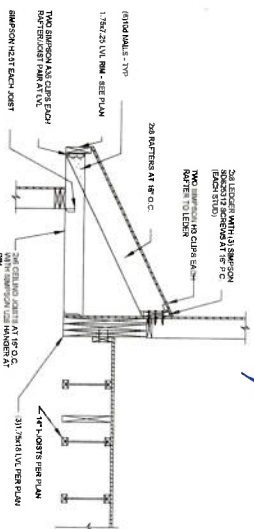
Drawing Sheet Information
 Actual Plot Date: 11/7/2018 6:10:59 AM
 Drawn By: J. Anderson
 Checked By: J. Anderson
 Date: 11/7/2018 6:10:59 AM

Notes:
 Full size original sheet is 34" x 36".
 Do not scale drawings for measurements.
 Call or email MGA for clarifications.

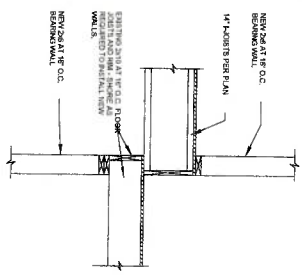
Framing Details



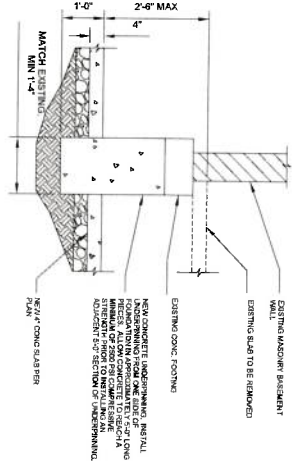
MONTGOMERY COUNTY ZONING STAMPS AREA



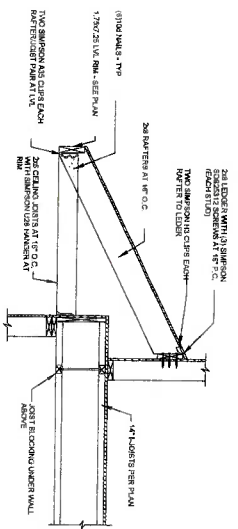
DETAIL A
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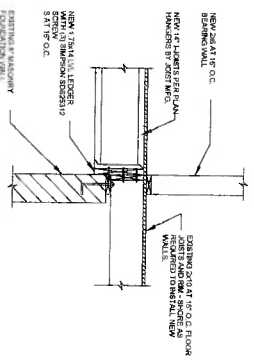
DETAIL C
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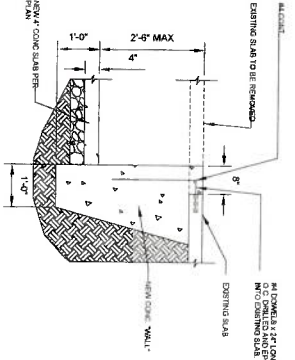
UNDERPINNING DETAIL E
SCALE: 3/4" = 1'-0"



DETAIL B
SCALE: 3/4" = 1'-0"



DETAIL D
SCALE: 3/4" = 1'-0"



STEP IN SLAB DETAIL F
SCALE: 3/4" = 1'-0"



MANGAN GROUP ARCHITECTS 7034 CARROLL AVE, SUITE 3 YAKOMA PARK, MD 20912 TEL: 410.558.2900 FAX: 410.558.2901 WWW.MANGANGROUP.COM		Architect's Professional Certification I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland. License number: 10378 Expiration Date: 6-11-2019	
Project Information PROJECT NUMBER: 21815 PROJECT NAME: Herman Residence PROJECT ADDRESS: 20 West Turing Street, Chevy Chase MD 20815		Consultant's Professional Certification I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland. License number: 10378 Expiration Date: 6-11-2019	
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