



HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

William Kirwan
Chairman

Date: October 12, 2018

MEMORANDUM

TO: Diane Schwartz Jones
Department of Permitting Services

FROM: Michael Kyne
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #852428: Siding replacement, hardscape alteration, window alteration, and fence alteration

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the October 10, 2018 Historic Preservation Commission (HPC) meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

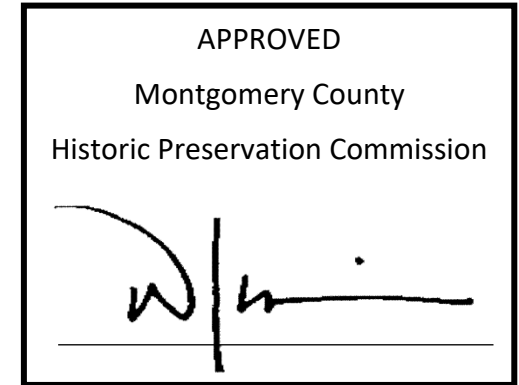
Applicant: Elizabeth McGrann
Address: 23 Primrose St., Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3403 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



MCGRANN RESIDENCE

23 PRIMROSE STREET
CHEVY CHASE, MD 20815



The above drawings and specifications and all ideas, designs, inventions and arrangements represented thereon are and shall remain the sole and exclusive property of the Designer and no part thereof shall be copied, disclosed to others or used in connection with any other work or project, except for the specified project for which they have been prepared and developed, without the prior written consent of the Designer. The Contractor shall verify, and be responsible for, all dimensions and conditions on the job and the Designer shall be notified of any variations from or discrepancies between the dimensions and conditions shown on this set of drawings.

DRAWING REVISIONS

EXISTING PHOTOGRAPHS



DRAWING INDEX

COVER SHEETS

C001 COVER SHEET

ARCHITECTURAL

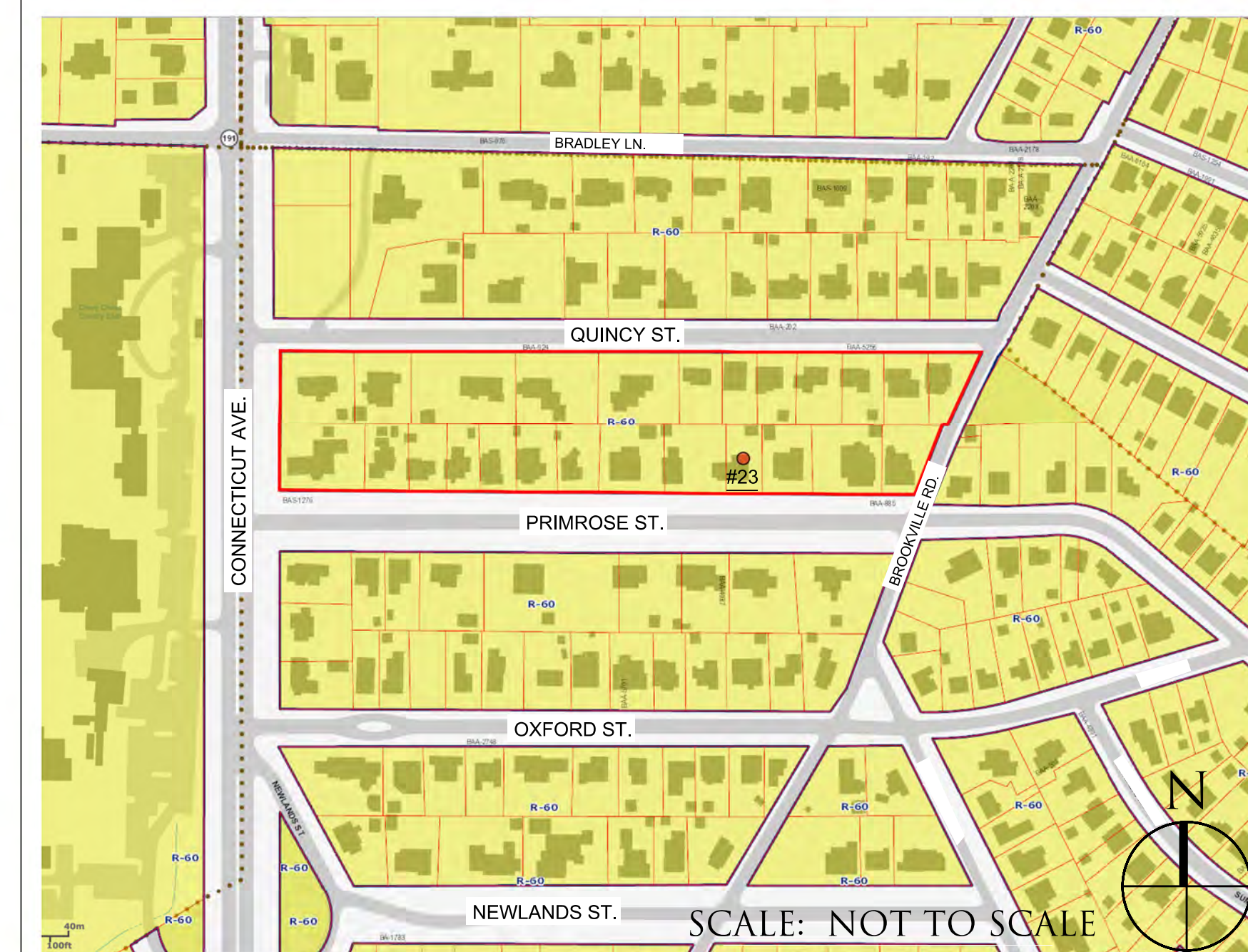
- A000 SITE PLANS
- A001 FIRST FLOOR PLAN
- A002 SOUTH ELEVATION AND SIDING DETAILS
- A003 EAST ELEVATION
- A004 NORTH ELEVATION
- A005 PARTIAL SECTIONS
- A006 SPECIFICATIONS
- A007 EXTERIOR FIREPLACE & GRILL DETAILS

PROJECT SCOPE

EXTERIOR WORK TO INCLUDE:

- MODIFICATION TO EXISTING FENCE.
- NEW ENTRY PORCH ON SOUTH FACADE.
- MODIFY SHINGLE PATTERN IN GABLES TO MATCH REST OF HOUSE
- NEW REAR STONE PATIO
- NEW GENERATOR IN SIDE YARD.
- SITE WORK TO REAR AND SIDE YARDS.
- REMOVE EXISTING DOOR/WINDOW UNIT ON REAR FACADE

VICINITY PLAN



APPLICABLE CODES

- 2014 NFPA 70 NATIONAL ELECTRICAL CODE
- 2015 ICC ENERGY CONSERVATION CODE
- WSSC PLUMBING CODE
- 2015 ICC INTERNATIONAL RESIDENTIAL CODE
- 2013 MBRC MARYLAND BUILDING REHABILITATION CODE

RENOVATION TO THE McGRANN RESIDENCE

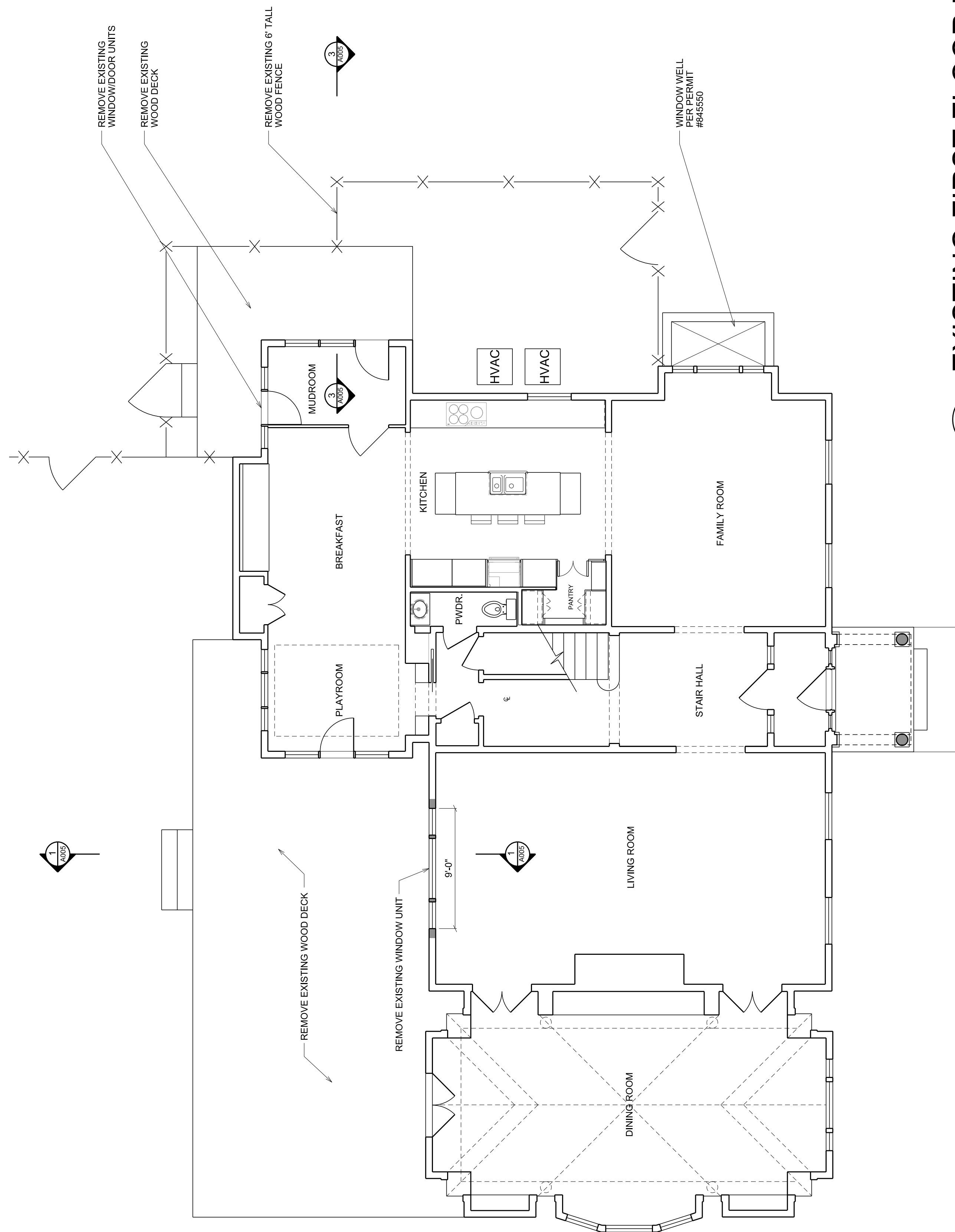
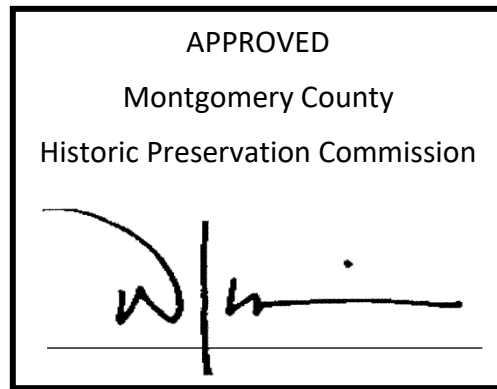
23 PRIMROSE STREET
CHEVY CHASE, MD 20815

LOT: P16 BLOCK: 58

COVER
SHEET

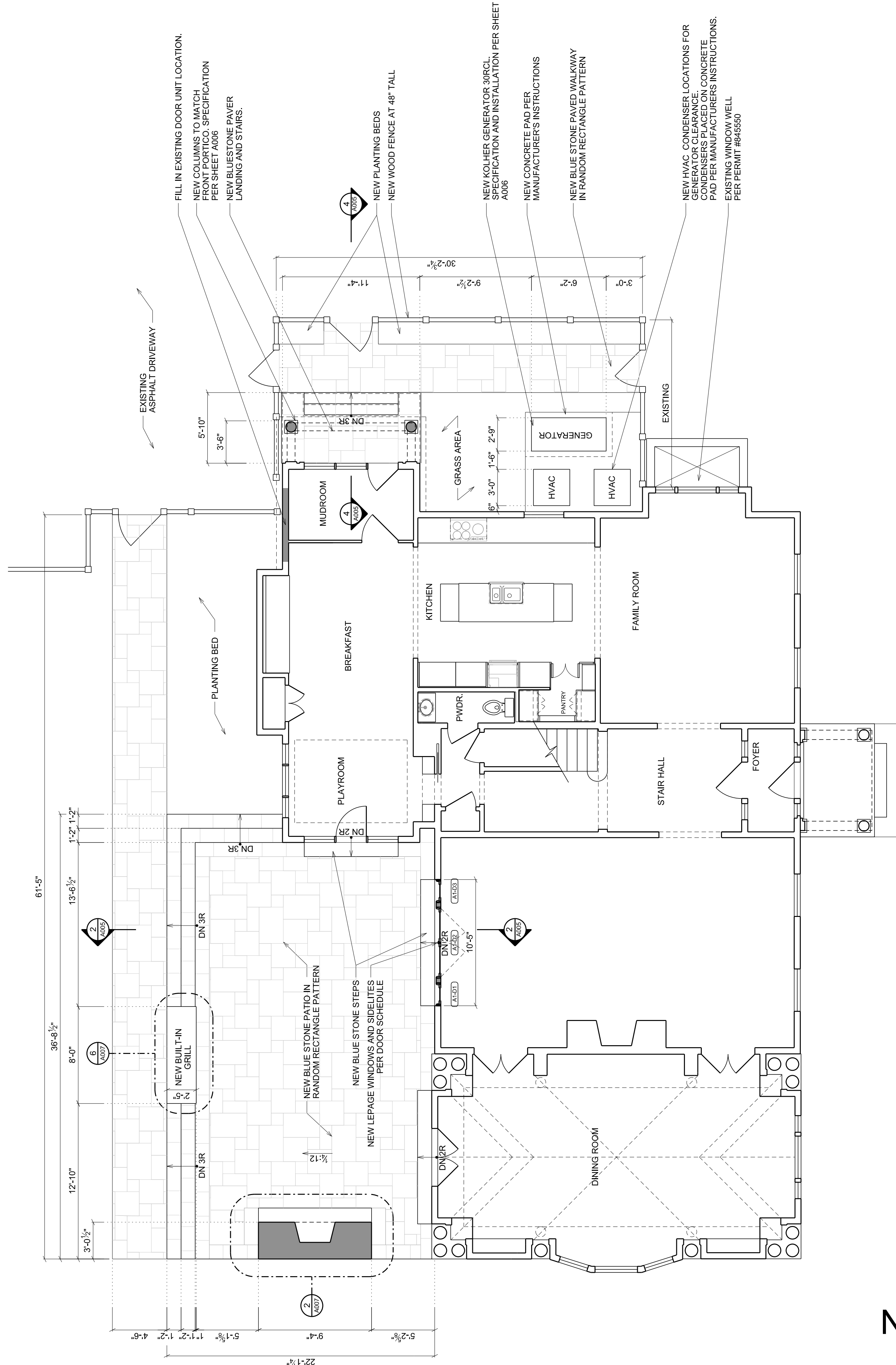
C001

DATE: 10-02-2018



1
A001
EXISTING FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"

DEMOLITION



2
A001
PROPOSED FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"

NEW CONSTRUCTION



The above drawings and specifications and all ideas, designs, inventions and arrangements represented thereon are and shall remain the sole and exclusive property of the Designer and no part thereof shall be copied, disclosed to others or used in connection with any other work or project, except for the specified project for which they have been prepared and developed, without the prior written consent of the Designer. The Contractor shall verify, and be responsible for, all dimensions and conditions on the job and the Designer shall be notified of any variations from or discrepancies between the dimensions and conditions shown on this set of drawings.

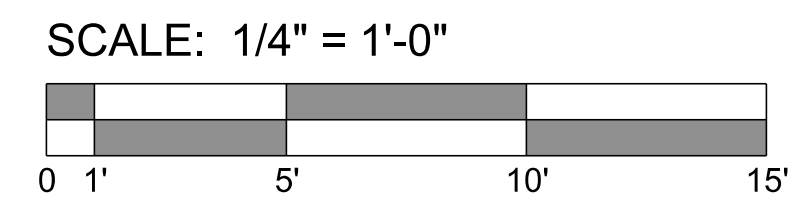
DRAWING REVISIONS	
GENERAL NOTES	
1.	ALL DIMENSIONS TAKEN TO FRAMING UNLESS NOTED
2.	ALL WALLS TO BE 2X4 STUDS UNLESS NOTED
3.	REMOVE ALL RADIATORS AND PIPES THROUGHOUT HOUSE
4.	SEAL ALL HOLES AROUND PERIMETER OF HOUSE FOR RODENT/PEST PROTECTION.

RENOVATION TO THE
McGRANN
RESIDENCE
23 PRIMROSE STREET
CHEVY CHASE, MD 20815
LOT: P16 BLOCK: 58

FIRST FLOOR PLAN

A001

DATE: 10-02-2018

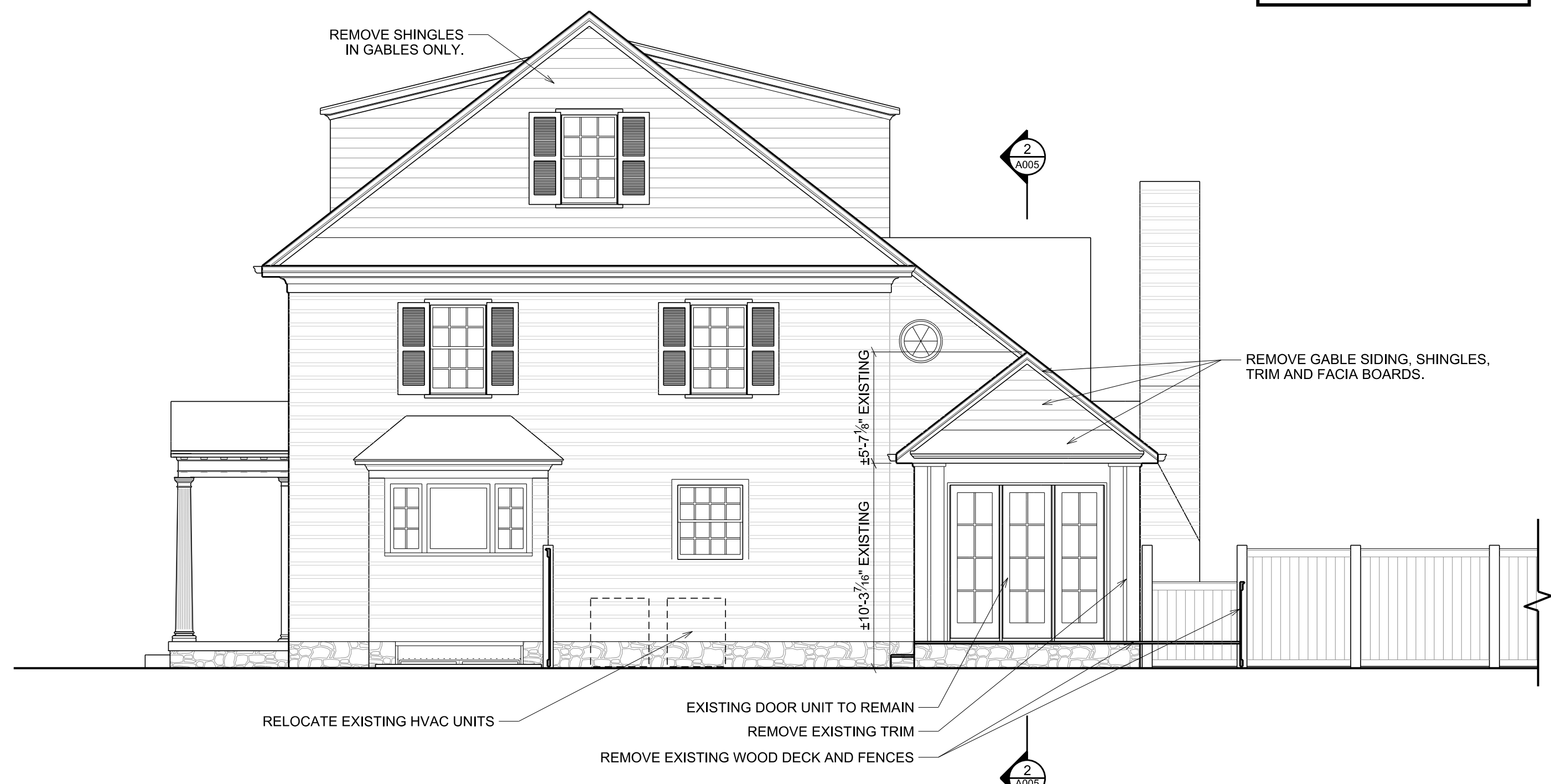


The above drawings and specifications and all ideas, designs, inventions and arrangements represented thereon are and shall remain the sole and exclusive property of the Designer and no part thereof shall be copied, disclosed to others or used in connection with any other work or project, except for the specified project for which they have been prepared and developed, without the prior written consent of the Designer. The Contractor shall verify, and be responsible for, all dimensions and conditions on the job and the Designer shall be notified of any variations from or discrepancies between the dimensions and conditions shown on this set of drawings.

DRAWING REVISIONS



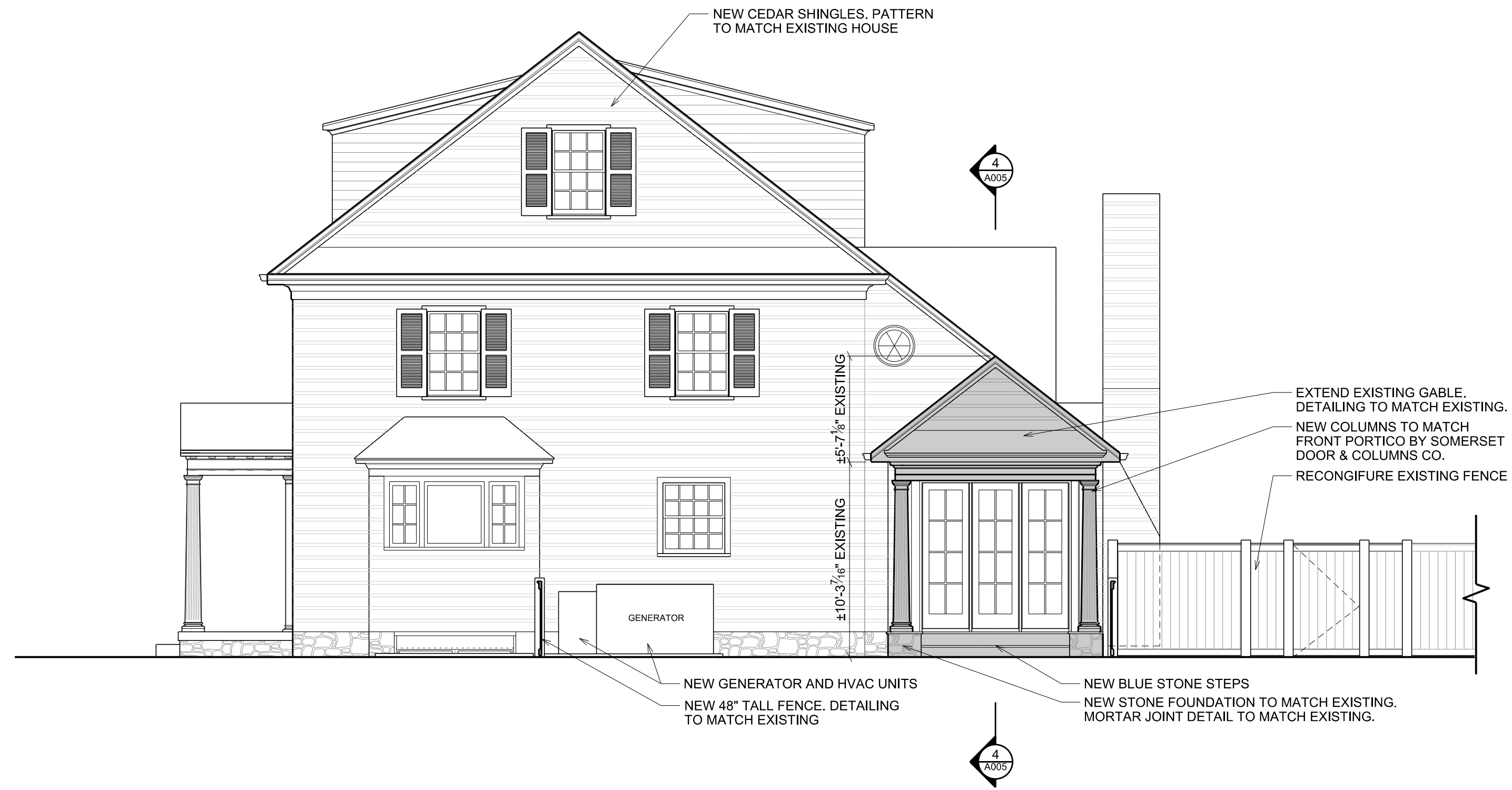
1 EXISTING EAST FENCE ELEVATION
 A003 SCALE: 3/16" = 1'-0"
 DEMOLITION



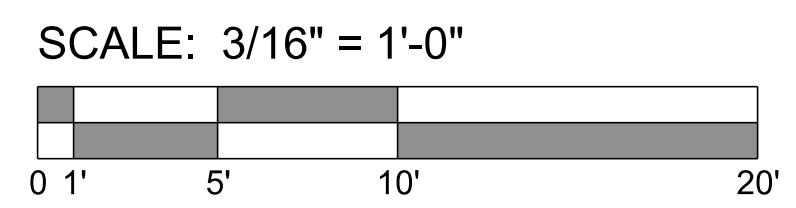
2 EXISTING EAST ELEVATION
 A003 SCALE: 3/16" = 1'-0"
 DEMOLITION



3 PROPOSED EAST FENCE ELEVATION
 A003 SCALE: 3/16" = 1'-0"
 NEW CONSTRUCTION



4 PROPOSED EAST ELEVATION
 A003 SCALE: 3/16" = 1'-0"
 NEW CONSTRUCTION



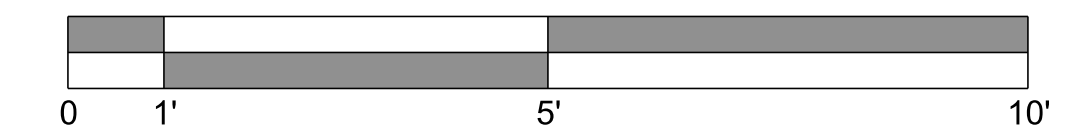
RENOVATION TO THE
McGRANN
 RESIDENCE
 23 PRIMROSE STREET
 CHEVY CHASE, MD 20815
 LOT: P16 BLOCK: 58

EAST ELEV
 & DETAILS

A003

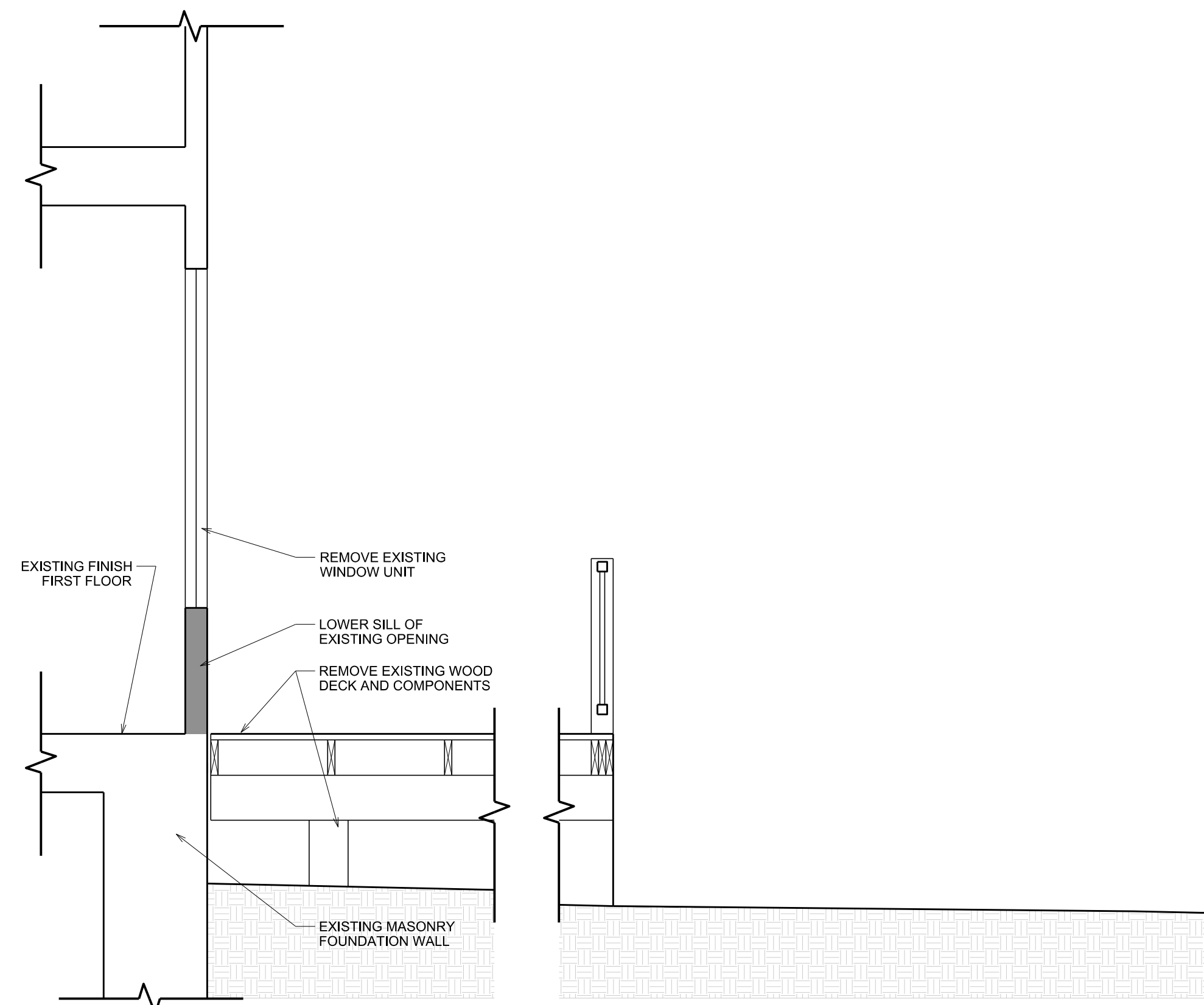
DATE: 10-02-2018

SCALE: 1/2" = 1'-0"

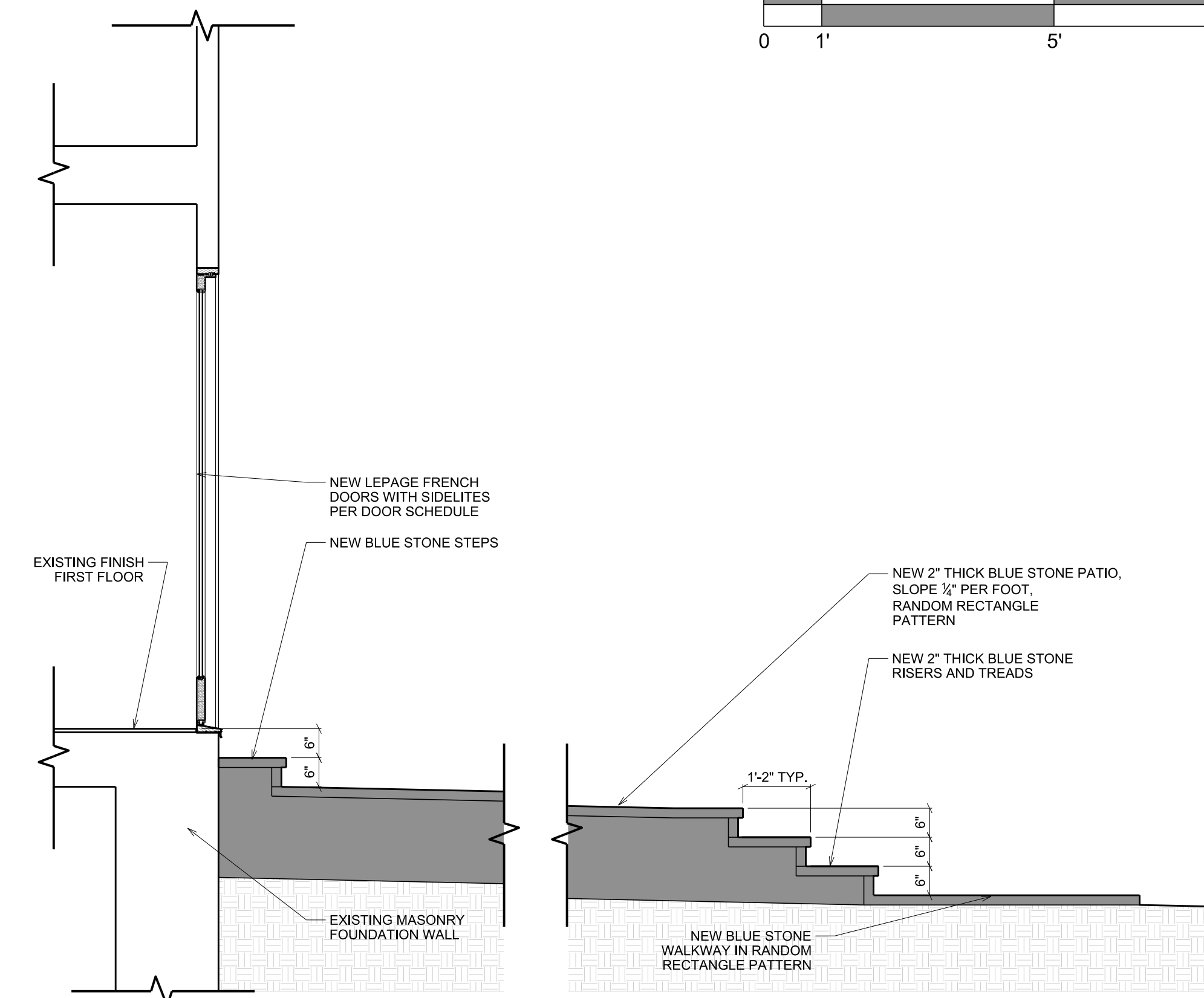


APPROVED
Montgomery County
Historic Preservation Commission
[Signature]

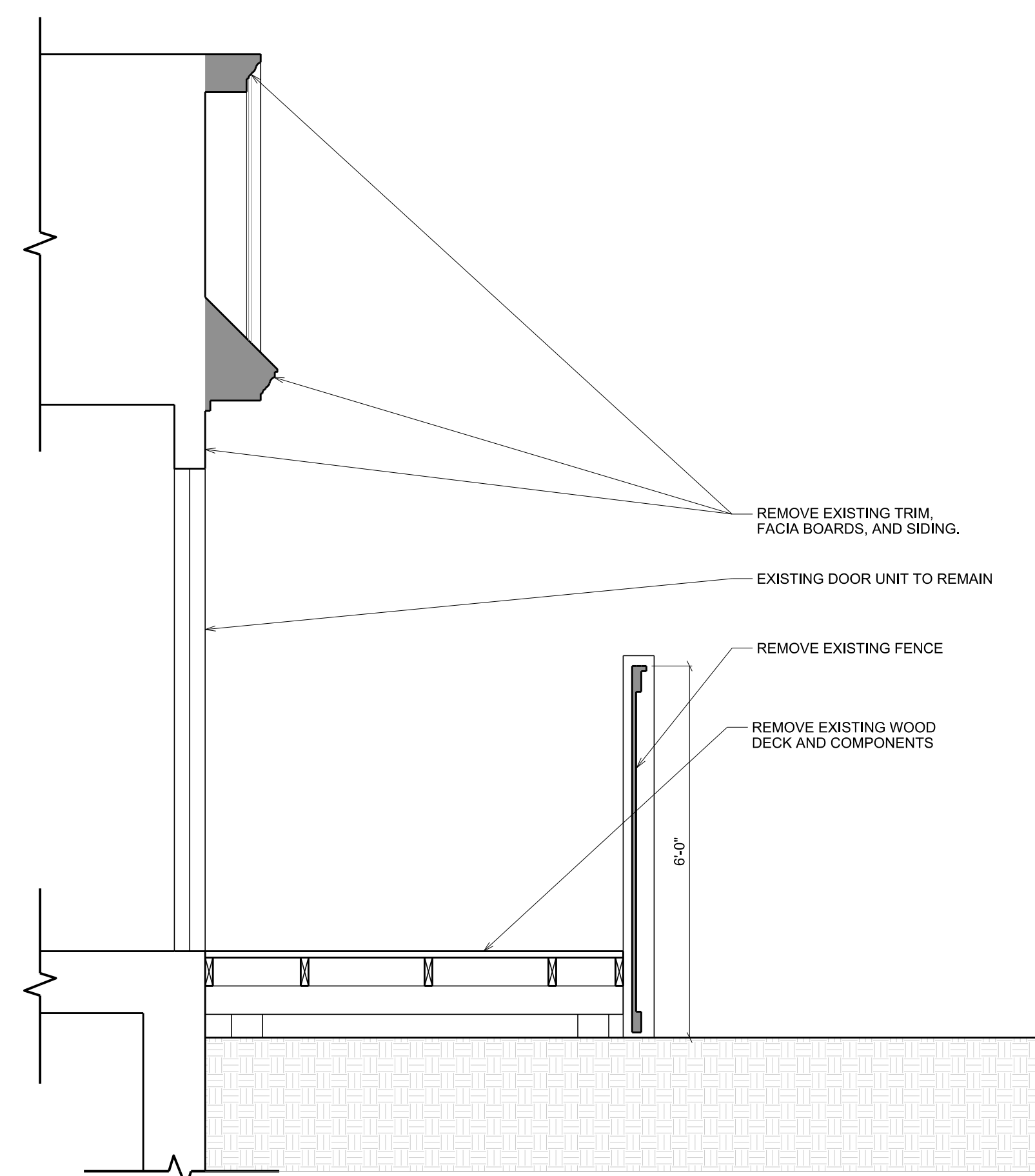
The above drawings and specifications and all ideas, designs, inventions and arrangements represented thereon are and shall remain the sole and exclusive property of the Designer and no part thereof shall be copied, disclosed to others or used in connection with any other work or project, except for the specified project for which they have been prepared and developed, without the prior written consent of the Designer. The Contractor shall verify, and be responsible for, all dimensions and conditions on the job and the Designer shall be notified of any variations from or discrepancies between the dimensions and conditions shown on this set of drawings.



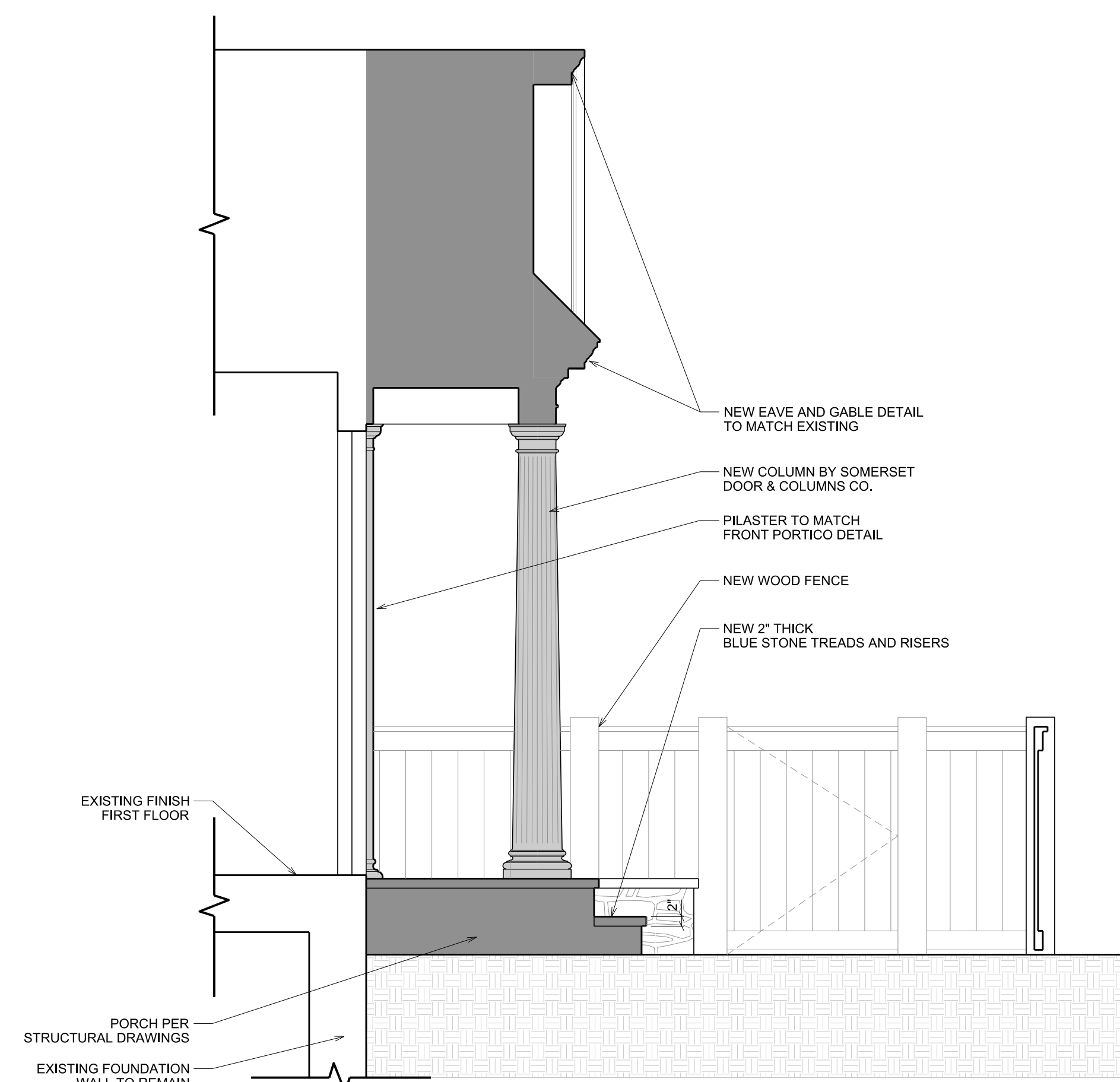
1 EXISTING REAR DOOR / PATIO SECTION
A005 SCALE: 1/2" = 1'-0"



2 PROPOSED REAR DOOR / PATIO SECTION
A005 SCALE: 1/2" = 1'-0"



3 EXISTING SIDE ENTRY
A005 SCALE: 1/2" = 1'-0"



4 PROPOSED SIDE ENTRY
A005 SCALE: 1/2" = 1'-0"

DRAWING REVISIONS

Empty table for drawing revisions.

RENOVATION TO THE

McGRANN
RESIDENCE

23 PRIMROSE STREET
CHEVY CHASE, MD 20815

LOT: P16 BLOCK: 58

PARTIAL SECTIONS

A005

DATE: 10-02-2018

