



Isiah Leggett
County Executive

HISTORIC PRESERVATION COMMISSION

William Kirwan
Chairman

Date: December 19, 2018

MEMORANDUM

TO: Diane Schwartz Jones
Department of Permitting Services

FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #856259: Window well installation and other alterations

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the November 14, 2018 Historic Preservation Commission (HPC) meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Betsy Williams and Tom Moore
Address: 20 W. Kirke St., Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



AIR BARRIER AND INSULATION NOTES

PER TABLE R403.4.1.1 (2012 IECC)

- 1) AIR BARRIER & THERMAL BARRIER: A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED. AIR -PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.
- 2) CEILING/ATTIC: THE AIR BARRIER IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED W/ THE INSULATION & ANY GAPS IN THE AIR BARRIER SEALED. SEAL ACCESS OPENINGS, DROP DOWN STAIR OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES.
- 3) WALLS: CORNERS & HEADERS SHALL BE INSULATED & THE JUNCTION OF THE FOUNDATION & SILL PLATE BE SEALED. THE JUNCTION OF THE TOP PLATE & TOP OF EXTERIOR WALLS SHALL BE SEALED. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT & CONTINUOUS ALIGNMENT W/ THE AIR BARRIER. KNEE WALLS SHALL BE SEALED.
- 4) WINDOWS, SKYLIGHTS, AND DOORS: THE SPACE BETWEEN WINDOW/DOOR JAMBS & FRAMING SKYLIGHTS & FRAMING SHALL BE SEALED.
- 5) RIM JOISTS: RIM JOIST SHALL BE INSULATED & INCLUDE THE AIR BARRIER.
- 6) FLOORS: (including above-garage & cantilevered floors) INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT W/ UNDERSIDE OF SUB-FLOOR DECKING. THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.
- 7) CRAWL SPACE WALLS: WHERE PROVIDED IN LIEU OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRAWL SPACE WALLS. EXPOSED EARTH IN UNVENTED CRAWL SPACES SHALL BE COVERED WITH A 'CLASS I' VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED.
- 8) SHAFTS, PENETRATION: DUCT SHAFTS, UTILITY PENETRATIONS & FLUE SHAFTS OPENING TO THE EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.
- 9) NARROW CAVITIES: BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.
- 10) RECESSED LIGHTING: RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT, IC RATED, & SEALED TO THE DRYWALL.
- 11) PLUMBING & WIRING: BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING & PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING & WIRING.
- 12) SHOWER/TUB ON EXTERIOR WALL: EXTERIOR WALLS ADJACENT TO SHOWERS & TUBS SHALL BE INSULATED & THE AIR BARRIER INSTALLED SEPARATING THEM FROM THE SHOWERS & THE TUBS.
- 13) ELECTRICAL/PHONE BOX ON EXTERIOR: THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR SEALED BOXES SHALL BE INSTALLED.
- 14) HVAC REGISTER BOOTS: HVAC REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPES SHALL BE SEALED TO THE SUB-FLOOR OR DRYWALL.

INSULATION/ENERGY NOTES

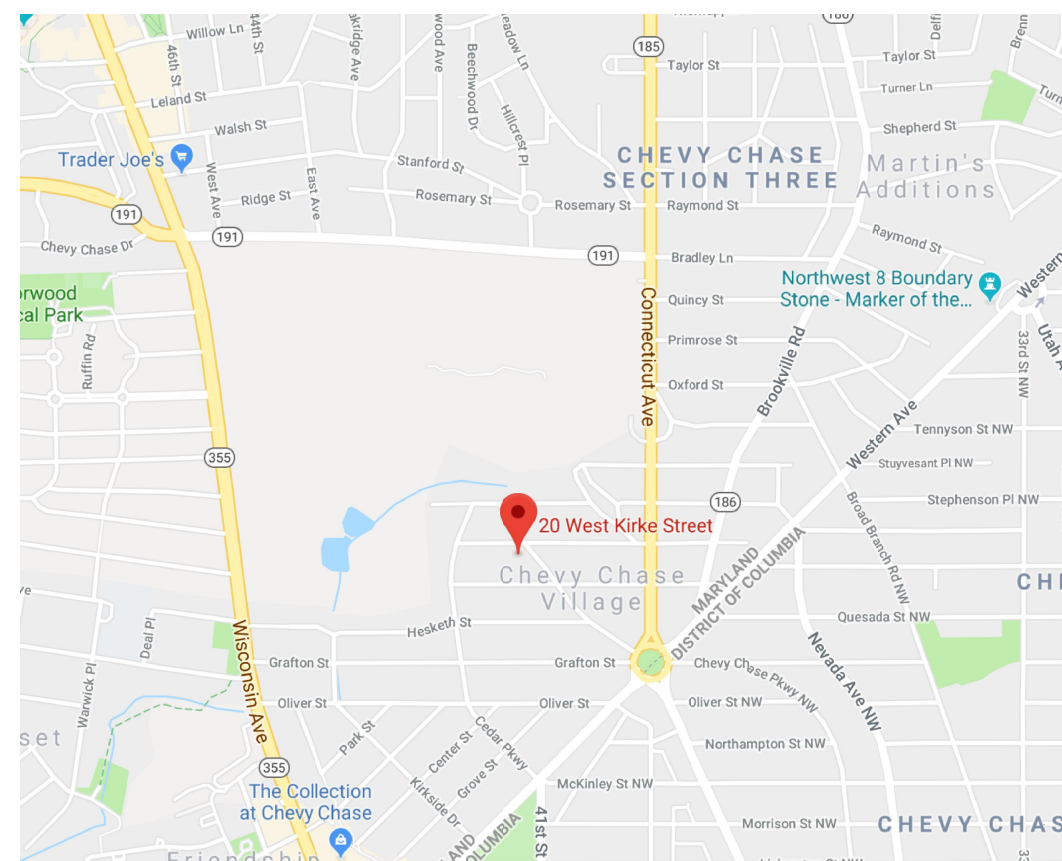
CLIMATE ZONE:	4
FENESTRATION U-FACTOR:	0.35
SKYLIGHT U-FACTOR:	0.55
GLAZED FENESTRATION SHGC:	0.40
CEILING R-VALUE:	49
WOOD FRAME R-VALUE:	20
MASS WALL R-VALUE:	8/13
FLOOR R-VALUE:	19
BASEMENT WALL R-VALUE:	10/13 (CONTINUOUS/CAVITY)
SLAB R-VALUE & DEPTH:	10/2FT
CRAWL SPACE WALL R-VALUE:	10

APPLICABLE CODES

2015 INTERNATIONAL RESIDENTIAL CODE, NFPA NATIONAL ELECTRICAL CODE/2014, FIRE ALARM CODE NFPA-72/2013, 2015 INTERNATIONAL ENERGY CONSERVATION CODE, 2015 INTERNATIONAL FUEL GAS CODE, 2015 INTERNATIONAL MECHANICAL CODE, 2012 INTERNATIONAL EXISTING BUILDING CODE, 2015 INTERNATIONAL PLUMBING CODE, LIFE-SAFETY NFPA1 & 101/2015, MBRC MARYLAND BUILDING REHABILITATION CODE

VICINITY MAP

(NOT TO SCALE)



WILLIAMS-MOORE RESIDENCE

20 WEST KIRKE STREET
CHEVY CHASE, MD 20815

PROPERTY/ZONING DATA

PROPERTY INFORMATION

BLOCK:	32	EXISTING FLOOR AREA:	
LOT:	LOT 13 & PART OF 14	BASEMENT:	1,556 GSF
NEIGHBORHOOD:	CHEVY CHASE VILLAGE	FIRST FLOOR:	3,367 GSF
JURISDICTION:	MONTGOMERY COUNTY	SECOND FLOOR:	2,844 GSF
AREA OF LOT:	18,128 SQ FT	TOTAL:	7,767 GSF +/-
LIVING AREA:	5,594 SQ FT		
BUILT:	1913		
ZONE DISTRICT:	R-60		
HISTORIC:	C.C. VILLAGE HISTORIC		

ZONING DISTRICT

R-60 : THE INTENT OF THE R-60 ZONE IS TO PROVIDE DESIGNATED AREAS OF THE COUNTY FOR MODERATE DENSITY RESIDENTIAL USES. IN THE R-60 ZONE, THE PREDOMINANT USE IS RESIDENTIAL IN A DETACHED HOUSE.

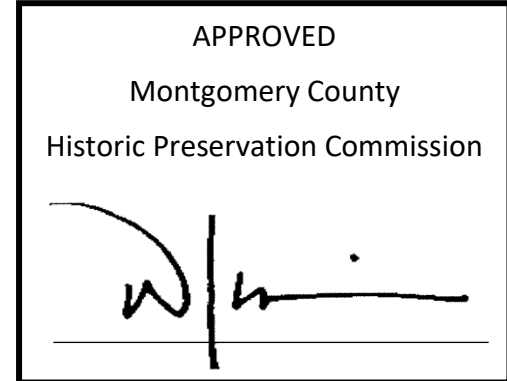
MAX LOT OCCUPANCY:	20%	LOT COVERAGE PROPOSED:	UNCHANGED
MAX HEIGHT:	35 FEET		
FRONT SETBACK:	25 FEET		
REAR SETBACK:	20 FEET		
SIDE STREET:	15 FEET		
SIDE SETBACK:	8 FEET		

PROPERTY OWNER

NAME(S): TOM MOORE & BETSY WILLIAMS
PHONE: 202 - 588 - 8153
EMAIL: mooretw73@gmail.com

OWNER'S AGENT

NAME: DUSTIN HIRT
PHONE: 202 - 285 - 1499
EMAIL: dhirt@saltboxdesign.com
COMPANY: SALTBOX ARCHITECTURE



ISSUED SETS

DATE	ISSUED FOR
11.01.18	PRELIMINARY PRICING SET
12.18.18	PERMIT SET

SCOPE OF WORK

- SECOND STORY REAR ADDITION OVER EXISTING FOOTPRINT.
- INTERIOR REMODEL WORK ON ALL FLOORS.
- INTERIOR REMODEL WORK AT POOL HOUSE.
- NEW WINDOW LOCATIONS PER PLAN.
- NEW BASEMENT EGRESS WINDOW WELLS.
- MECHANICAL, PLUMBING, AND ELECTRICAL WORK.
- ALL WORK PER PLANS.

DRAWING INDEX

G001	COVER SHEET
SCHEDULES	
G002	WINDOW/SKYLIGHT AND DOOR (SEE E100 FOR LIGHTING)
SITE PLAN	
Z001	SITE PLAN
DEMOLITION	
D001	BASEMENT FLOOR PLAN
D002	FIRST FLOOR PLAN
D003	SECOND FLOOR PLAN
D004	POOL HOUSE FLOOR PLANS
D100	EXTERIOR ELEVATIONS- NORTH & EAST SIDE
D101	EXTERIOR ELEVATIONS- SOUTH & WEST SIDE

ARCHITECTURAL

A001	PROPOSED BASEMENT & FOUNDATION PLAN
A002	PROPOSED FIRST FLOOR PLAN
A003	PROPOSED SECOND FLOOR PLAN
	PARTIAL ROOF PLAN
A004	PROPOSED POOL HOUSE FLOOR PLANS
A100	EXTERIOR ELEVATIONS - NORTH & EAST SIDE
A101	EXTERIOR ELEVATIONS - SOUTH & WEST SIDE
A500	BUILDING SECTION & DETAILS

MECHANICAL

M001	BASEMENT PLAN
M002	FIRST FLOOR PLAN
M003	SECOND FLOOR PLAN
M004	POOL HOUSE FLOOR PLANS
M100	NOTES & SCHEDULES

ELECTRICAL

E001	BASEMENT POWER PLAN
E002	BASEMENT LIGHTING PLAN
E003	FIRST FLOOR POWER PLAN
E004	FIRST FLOOR LIGHTING PLAN
E005	SECOND FLOOR POWER PLAN
E006	SECOND FLOOR LIGHTING PLAN
E007	POOL HOUSE ELECTRICAL PLANS
E100	NOTES & LIGHTING SCHEDULE

PLUMBING

P001	BASEMENT FLOOR PLAN
P002	FIRST FLOOR PLAN
P003	SECOND FLOOR PLAN
P004	POOL HOUSE PLANS
P100	SCHEMATIC RISER DIAGRAMS

STRUCTURAL

S001	FOUNDATION PLAN
S002	BASEMENT PLAN/FIRST FLOOR FRAMING
S003	FIRST FLOOR PLAN/SECOND FLOOR FRAMING
S004	SECOND FLOOR PLAN/ROOF FRAMING
S100	FIRST FLOOR WIND BRACING PLAN
S101	SECOND FLOOR WIND BRACING PLAN
S200	DETAILS & SECTIONS
S201	DETAILS & GENERAL NOTES

PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT IN STATE OF MARYLAND, LICENSE NO. 10633.

REVISION

PHASE	DATE	SCALE	DRAWN	REV.
PERMIT SET	12.18.18	AS SHOWN	DTH/AWF	

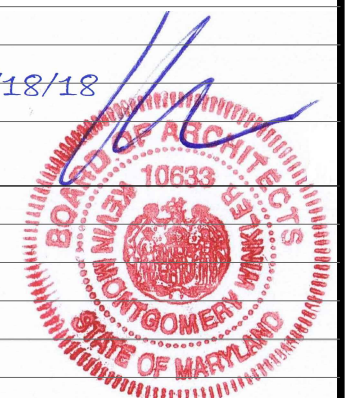
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COVER SHEET

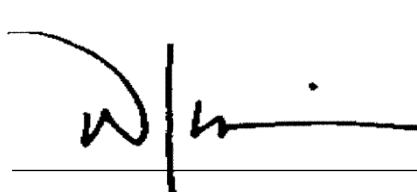
SHEET

G001

SALTBOX ARCHITECTURE
5217 WISCONSIN AVENUE NW
WASHINGTON, D.C. 20015
OFFICE: 202-350-0300
WWW.SALTBOXDESIGN.COM



APPROVED
 Montgomery County
 Historic Preservation Commission



Window & Skylight Schedule

Symbol	Floor	Location	Elevation	Type	Manufacturer	Callout	Unit Size	QTY	Exterior Finish/Color	Interior Finish	Exterior Trim	Glazing	U-Factor	SHGC	Grill/Lite Pattern	Comments		
A	Basement	Playroom	1/A100	Casement (Egress)	Jeldwen	SCC3642	36 x 42	1	Wood, TBD	Wood-Prime	Azek by contractor- See exterior elevations.	Insulated LoE w/ Argon (tempered)	0.35 (max)	0.40 (max)	Full lite (Verify)			
B								1										
C		Basement Bedroom						1										
E	First Floor	Kitchen	2/A101	Casement (LH)	Jeldwen	SCC3254	32x54	1	Wood, White	Wood-Prime	Azek by contractor to resemble existing exterior trim- See exterior elevations.	Insulated LoE w/ Argon	0.35 (max)	0.40 (max)	7/8" SDL- 2wx2h	Verify width works with interior elevations		
F								1										
G								1										
H								1/A101									1	
J		1																
K	China Room	2/A100	1	1	SCD2148	21-3/8 x48	1								7/8" SDL- 4 over 4			
S1		n/a	Skylight	Velux or EQ	FCM	24x48	1	---			Insulated LoE w/ argon (laminated)			n/a				
L	Second Floor	New Stair No. 02	1/A101	Casement	Jeldwen	SCC2460	24x60	1	Wood/White	Wood-Prime	Azek to resemble ex. exterior trim	Insulated LoE w/ Argon	0.35 (max)	0.40 (max)	7/8" SDL- 2wx4h			
M								1										
N								1										
S2		n/a	Skylight	Velux or EQ	FCM	48x48	1	---			Insulated LoE w/ argon (laminated)			n/a	Flared drywall shaft			
P	New Stair No. 01	2/A101	Double Hung	Jeldwen	SCD3364	33 3/8x64 (verify)	1	1	Wood, White	Wood-Prime	Azek to resemble ex. exterior trim	Insulated LoE w/ Argon			7/8" SDL- TBD	Verify window type		
								Total qty:										15

Window Notes:
 1) Verify all windows with existing openings before ordering.
 2) Verify all Rough Opening measurements with Manufacturer.
 * Including (2) skylights

Exterior Door Schedule

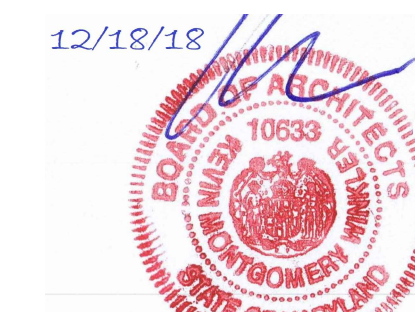
Symbol	Floor	Location	Elevation	Type	Manuf.	Unit Size	Qty	Description	Door Swing	Hardware	Hardware Finish	Glass	Grill/Pattern	Pre-Bore	Comments
11	First Floor	Eating Area	2/A101	Exterior multi-sliding	Weathershield or Eq	100 1/4x85 1/2	1	Premium Series, 3-3072	n/a	With Door	TBD	3/4" Clear IG (tempered)	7/8" SDL- See Exterior Elevation		Roller Screen --- VERIFY JAMB THICKNESS
17		Mudoom	2/A100	Exterior French swinging	Weathershield	71 1/4x82	1	Signature Series- 8510-2-60610	LH	With Door	TBD	3/4" Clear IG (tempered)	7/8" SDL- See Exterior Elevation		

Door Notes:
 1) Verify all doors with existing openings and proposed plans before ordering.

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 WASHINGTON, D.C. 20015
 WWW.SALTBOXDESIGN.COM

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DATE	12.18.18
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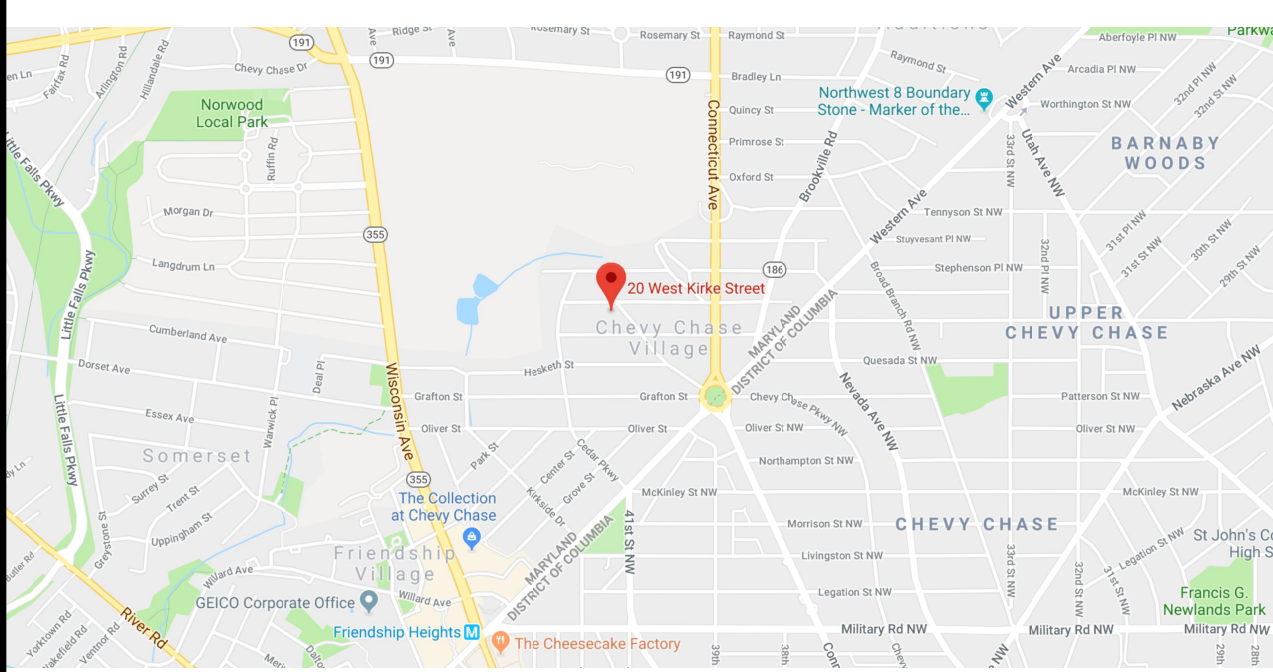


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SCHEDULES-
 WINDOW/SKYLIGHT
 & EXT. DOOR
 SHEET

G002

VICINITY MAP



MISS UTILITY

FOR LOCATION OF UTILITIES, CALL 'MISS UTILITY' AT 1-800-257-777, IN ADVANCE OF ANY WORK IN THIS VICINITY. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION & HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF THE LOCAL JURISDICTION.

PROPERTY/ZONING DATA

PROPERTY INFORMATION

BLOCK: 32
 LOT: LOT 13 & PART OF 14
 NEIGHBORHOOD: CHEVY CHASE VILLAGE
 JURISDICTION: MONTGOMERY COUNTY
 AREA OF LOT: 18,128 SQ FT
 LIVING AREA: 5,594 SQ FT
 BUILT: 1913
 ZONE DISTRICT: R-60
 HISTORIC: C.C. VILLAGE HISTORIC

EXISTING FLOOR AREA:
 BASEMENT: 1,556 GSF
 FIRST FLOOR: 3,367 GSF
 SECOND FLOOR: 2,844 GSF
 TOTAL: 7,767 GSF +/-

ZONING DISTRICT

R-60 : THE INTENT OF THE R-60 ZONE IS TO PROVIDE DESIGNATED AREAS OF THE COUNTY FOR MODERATE DENSITY RESIDENTIAL USES. IN THE R-60 ZONE, THE PREDOMINANT USE IS RESIDENTIAL IN A DETACHED HOUSE.

MAX LOT OCCUPANCY: 20%
 LOT COVERAGE PROPOSED: UNCHANGED

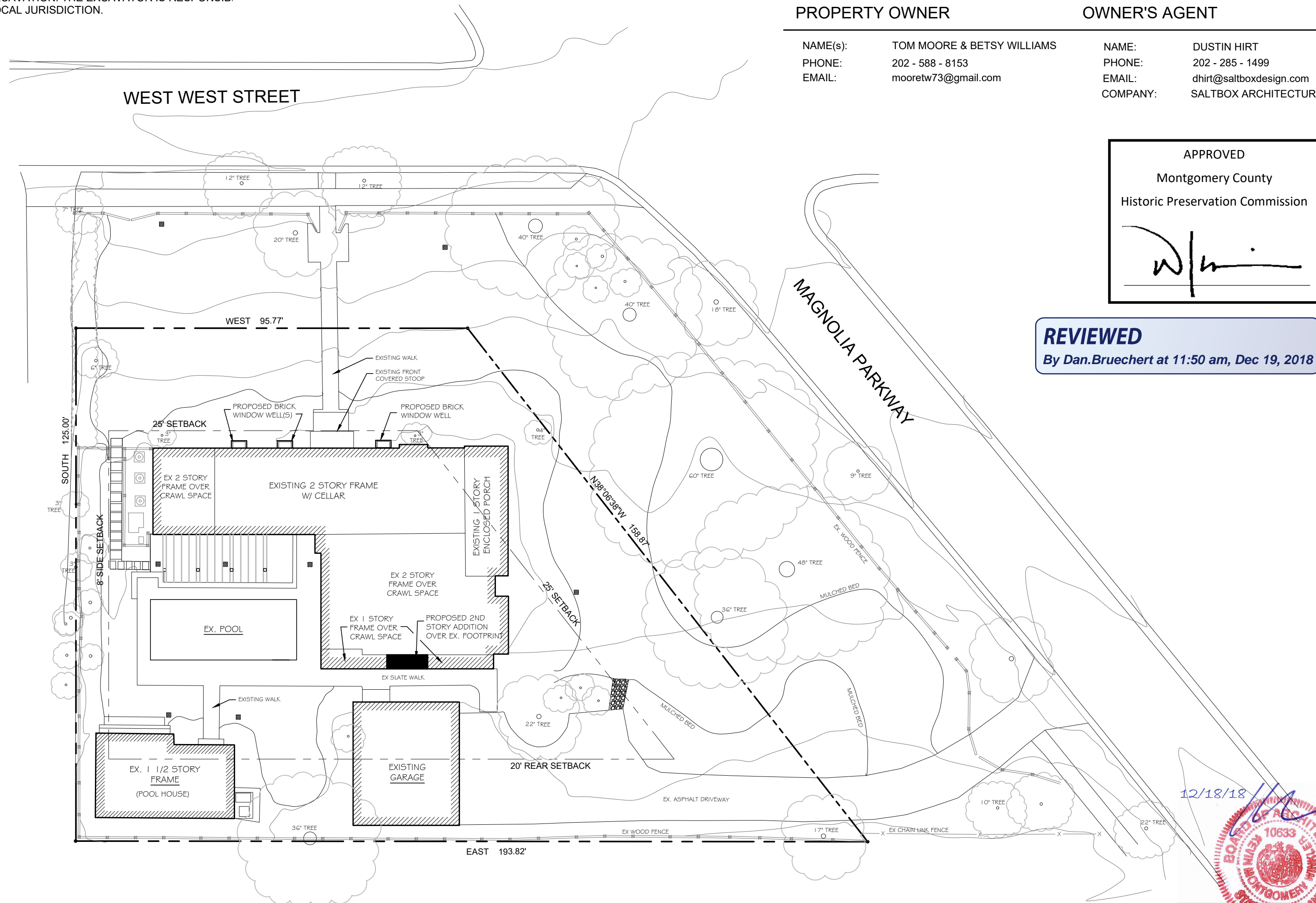
MAX HEIGHT: 35 FEET
 FRONT SETBACK: 25 FEET
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PROPERTY OWNER

NAME(s): TOM MOORE & BETSY WILLIAMS
 PHONE: 202 - 588 - 8153
 EMAIL: mooretw73@gmail.com

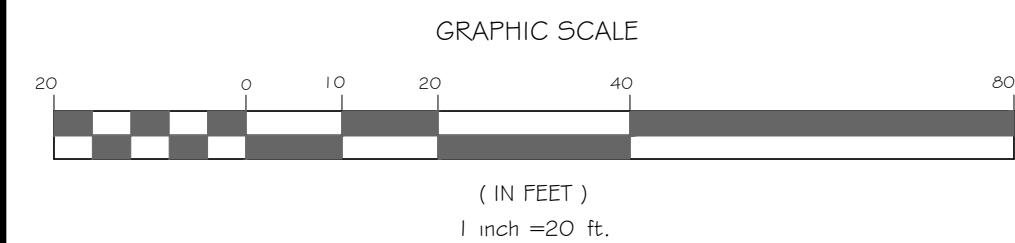
OWNER'S AGENT

NAME: DUSTIN HIRT
 PHONE: 202 - 285 - 1499
 EMAIL: dhirt@saltboxdesign.com
 COMPANY: SALTBOX ARCHITECTURE



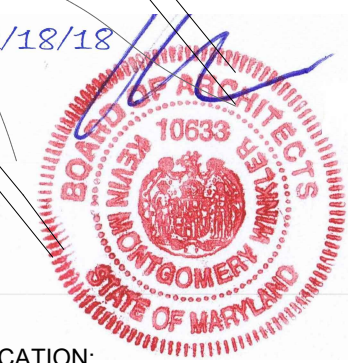
APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature]

REVIEWED
 By Dan.Bruechert at 11:50 am, Dec 19, 2018



SITE PLAN
 SCALE: 1"=20'-0"

PROFESSIONAL CERTIFICATION:
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT IN STATE OF MARYLAND, LICENSE NO. 10633.



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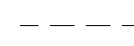
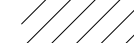
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SITE PLAN
 SHEET

Z001

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DEMOLITION PLAN LEGEND:

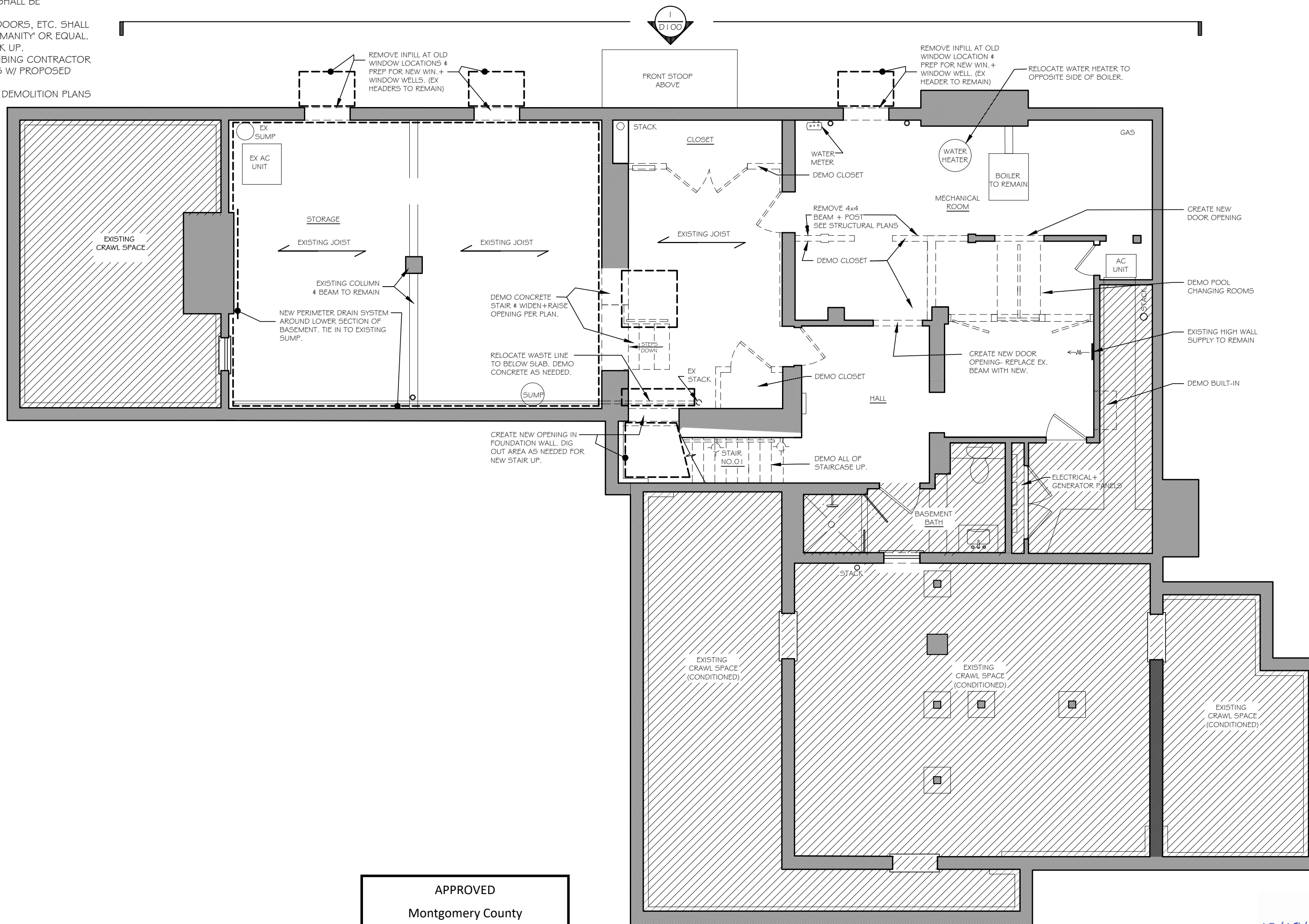
-  EXISTING WALLS
-  EXISTING TO BE REMOVED
-  NO WORK IN THIS AREA

STRUCTURAL DEMOLITION NOTES:

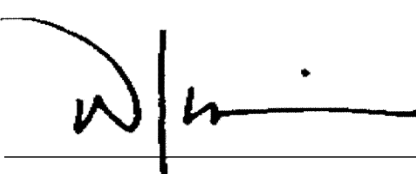
1. INSTALL TEMPORARY SHORING FOR THE EX. STRUCTURE THAT IS TO REMAIN BEFORE DEMOLITION PROCEEDS. THE SHORING SHALL BRACE THE EXISTING STRUCTURE AGAINST BOTH VERTICAL AND LATERAL LOADS.
2. DEMOLITION SHALL TAKE PLACE FROM THE ROOF DOWN WHEN APPLICABLE. THE EXISTING STRUCTURE SHOULD BE SAW CUT AT ALL JOINTS BEFORE ANY IMPACT DEMOLITION TAKES PLACE.

DEMOLITION GENERAL NOTES:

1. ALL ITEMS & MATERIALS REMOVED SHALL BE DISPOSED OF, UNLESS OTHERWISE NOTED.
2. WHERE EXTERIOR WINDOWS/DOORS ARE REMOVED, COVER TEMPORARILY W/ FLYWOOD.
3. DUST PARTITIONS ARE TO BE BUILT TO COORDINATE W/ WORK.
4. ALL EX. FLOOR/FURNITURE/WALLS SHALL BE PROTECTED AS NEEDED.
5. PLUMBING FIXTURES, WINDOWS, DOORS, ETC. SHALL BE DONATED TO "HABITAT FOR HUMANITY" OR EQUAL. CONTRACTOR IS TO ARRANGE PICK UP.
6. ELECTRICAL, MECHANICAL, & PLUMBING CONTRACTOR SHALL VERIFY ALL EX. CONDITIONS W/ PROPOSED PLANS BEFORE WORK BEGINS.
7. CONTRACTOR IS TO COORDINATE DEMOLITION PLANS W/ ARCHITECTURAL PLANS.

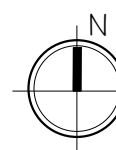


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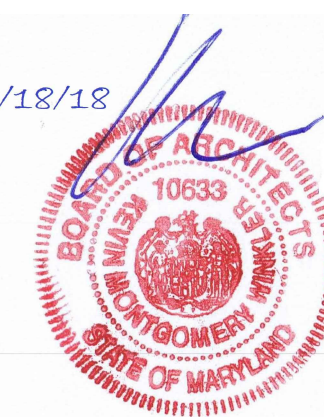


REVIEWED
 By Dan.Bruechert at 11:50 am, Dec 19, 2018

BASEMENT PLAN
 SCALE: 3/16"=1'-0"



12/18/18



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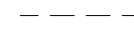

WILLIAMS-MOORE
RESIDENCE
 20 WEST KIRKE STREET
 CHEVY CHASE, MD 20815

DEMOLITION-BASEMENT PLAN

SHEET

D001

DEMOLITION PLAN LEGEND:

-  EXISTING WALLS
-  EXISTING TO BE REMOVED
-  NO WORK IN THIS AREA

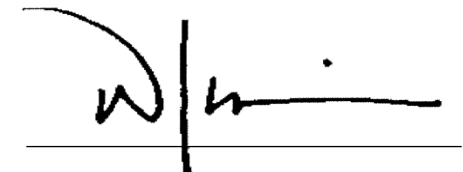
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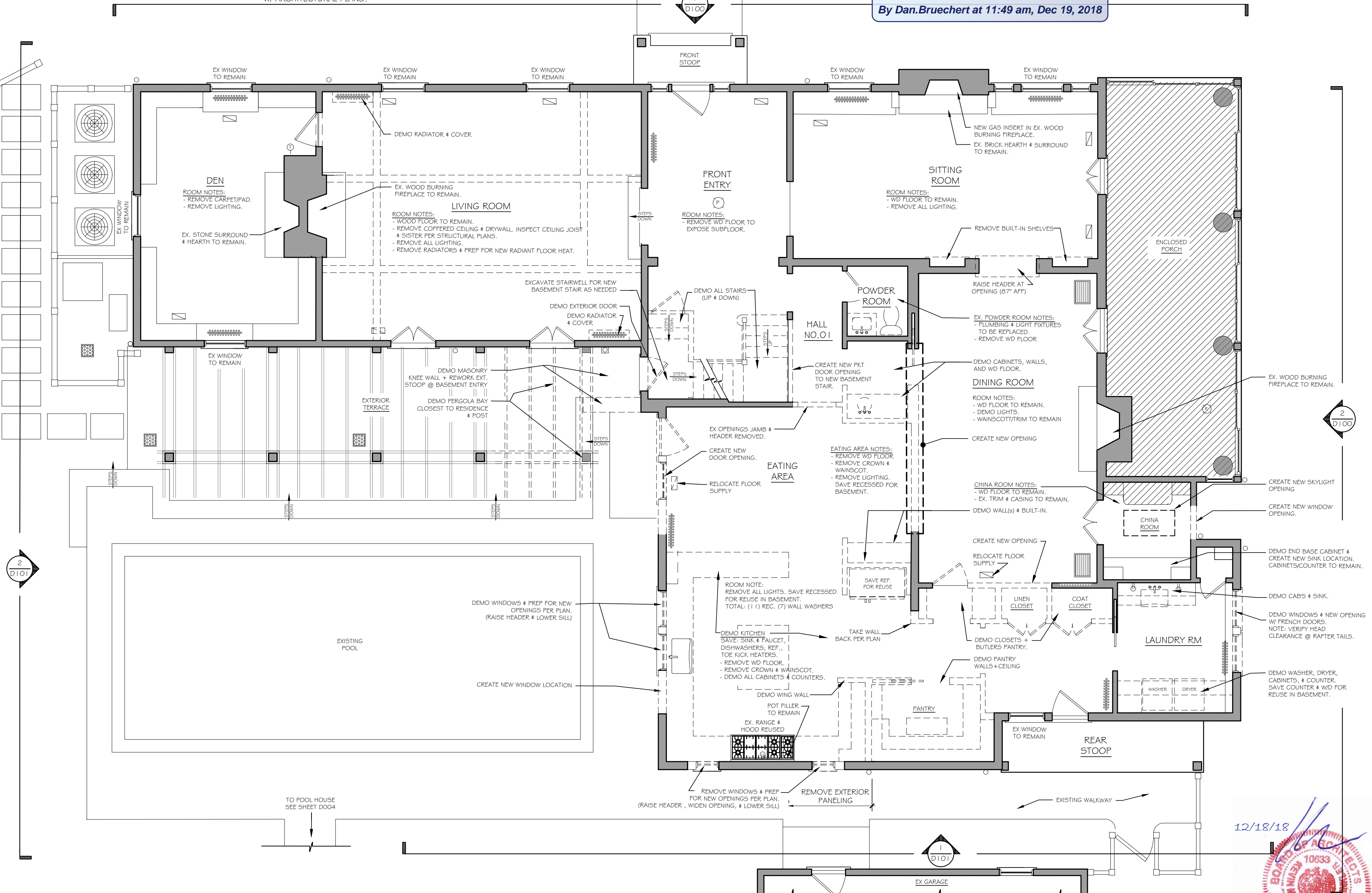
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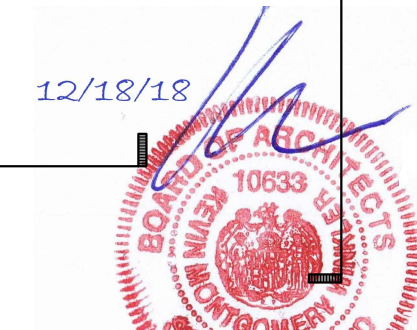
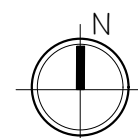
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Montgomery County
Historic Preservation Commission



REVIEWED
By Dan.Bruechert at 11:49 am, Dec 19, 2018



1
D101
FIRST FLOOR PLAN
SCALE: 3/16"=1'-0"



PROFESSIONAL CERTIFICATION:
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WASHINGTON, D.C. 20015 WWW.SALTBOXDESIGN.COM



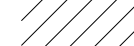
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		12.18.18	AS SHOWN	DTH/AWF	

WILLIAMS-MOORE RESIDENCE
20 WEST KIRKE STREET
CHEVY CHASE, MD 20815

DEMOLITION-FIRST FLOOR PLAN
SHEET

D002

DEMOLITION PLAN LEGEND:

-  EXISTING WALLS
-  EXISTING TO BE REMOVED
-  NO WORK IN THIS AREA

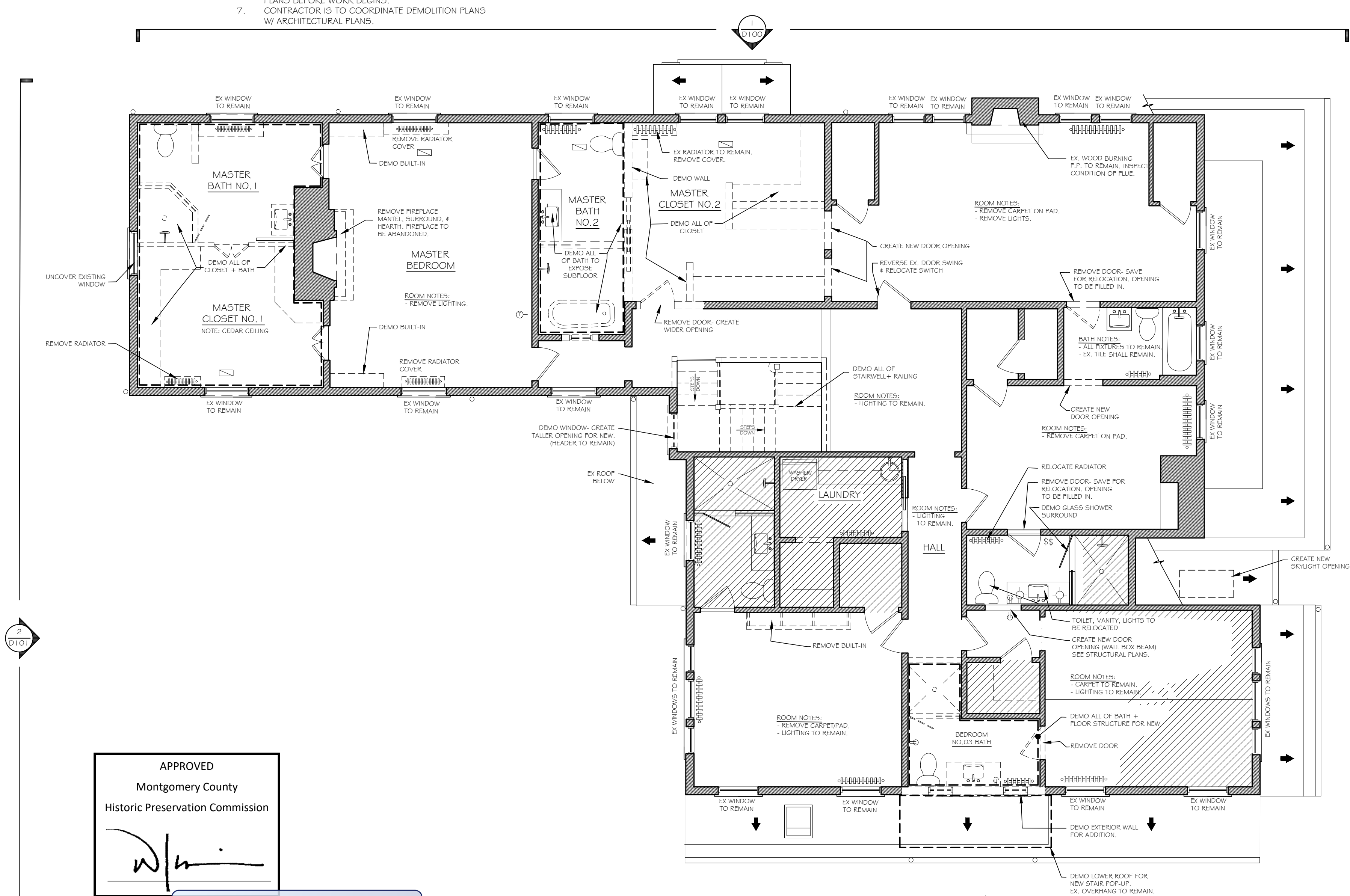
DEMOLITION GENERAL NOTES:

1. ALL ITEMS & MATERIALS REMOVED SHALL BE DISPOSED OF, UNLESS OTHERWISE NOTED.
2. WHERE EXTERIOR WINDOWS/DOORS ARE REMOVED, COVER TEMPORARILY W/ PLYWOOD.
3. DUST PARTITIONS ARE TO BE BUILT TO COORDINATE W/ WORK.
4. ALL EX. FLOOR/FURNITURE/WALLS SHALL BE PROTECTED AS NEEDED.
5. PLUMBING FIXTURES, WINDOWS, DOORS, ETC. SHALL BE DONATED TO 'HABITAT FOR HUMANITY' OR EQUAL. CONTRACTOR IS TO ARRANGE PICK UP.
6. ELECTRICAL, MECHANICAL, & PLUMBING CONTRACTOR SHALL VERIFY ALL EX. CONDITIONS W/ PROPOSED PLANS BEFORE WORK BEGINS.
7. CONTRACTOR IS TO COORDINATE DEMOLITION PLANS W/ ARCHITECTURAL PLANS.

STRUCTURAL DEMOLITION NOTES:

1. INSTALL TEMPORARY SHORING FOR THE EX. STRUCTURE THAT IS TO REMAIN BEFORE DEMOLITION PROCEEDS. THE SHORING SHALL BRACE THE EXISTING STRUCTURE AGAINST BOTH VERTICAL AND LATERAL LOADS.
2. DEMOLITION SHALL TAKE PLACE FROM THE ROOF DOWN WHEN APPLICABLE. THE EXISTING STRUCTURE SHOULD BE SAW CUT AT ALL JOINTS BEFORE ANY IMPACT DEMOLITION TAKES PLACE.

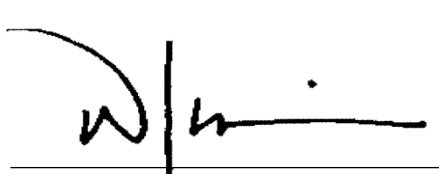
REVISION



2
D101

2
D100

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Montgomery County
Historic Preservation Commission



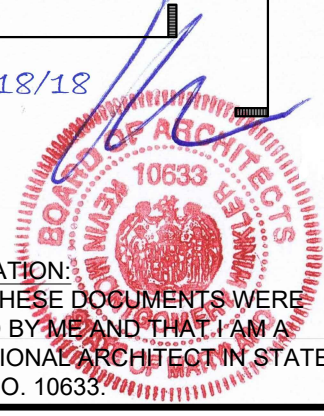
REVIEWED
By Dan.Bruechert at 11:49 am, Dec 19, 2018

1
D003
SECOND FLOOR PLAN
SCALE: 3/16"=1'-0"



12/18/18

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		12.18.18	AS SHOWN	DTH/AWF	

WILLIAMS-MOORE
RESIDENCE
20 WEST KIRKE STREET
CHEVY CHASE, MD 20815

DEMOLITION-
SECOND FLOOR
PLAN
SHEET

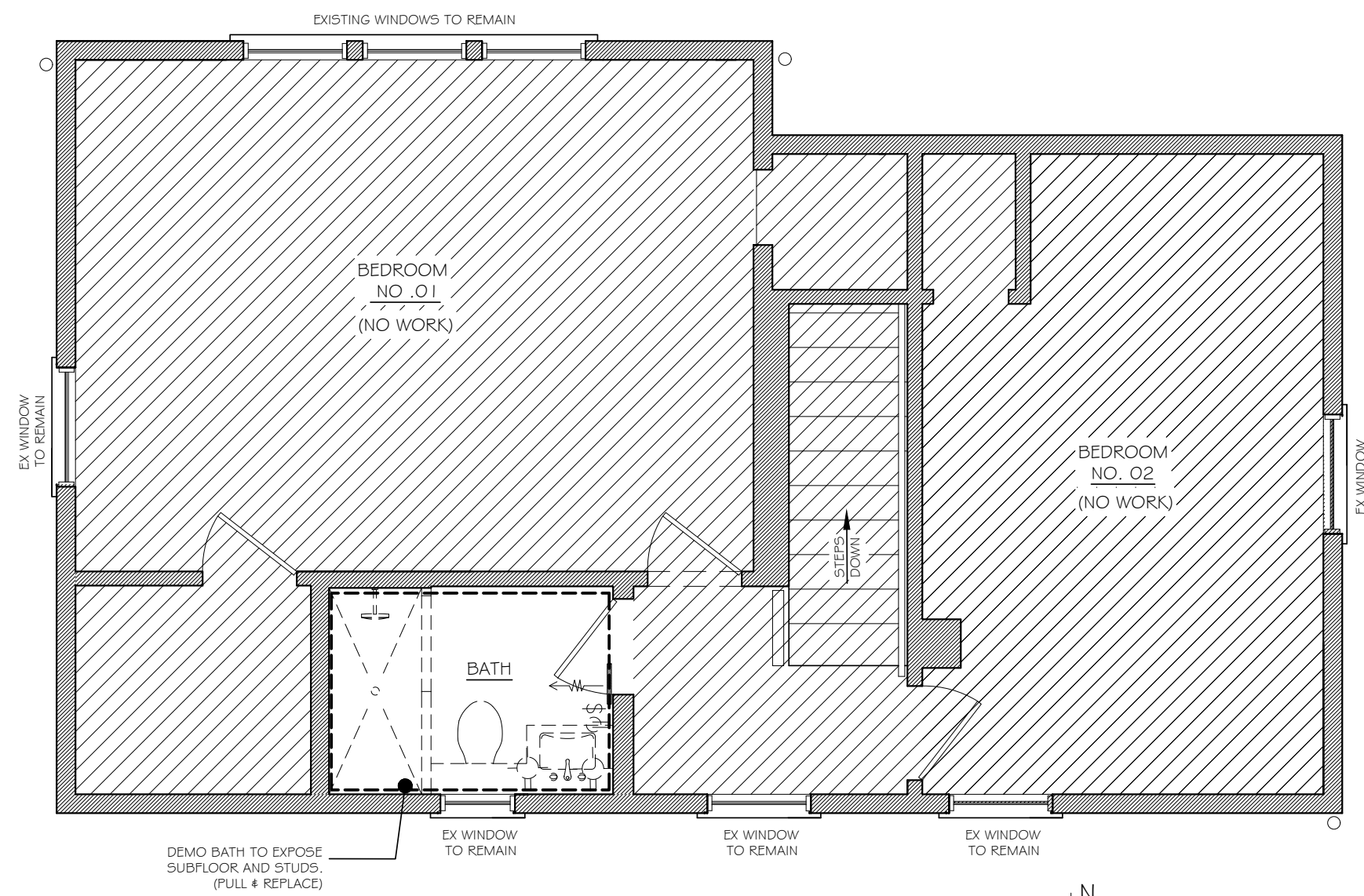
D003

DEMOLITION PLAN LEGEND:

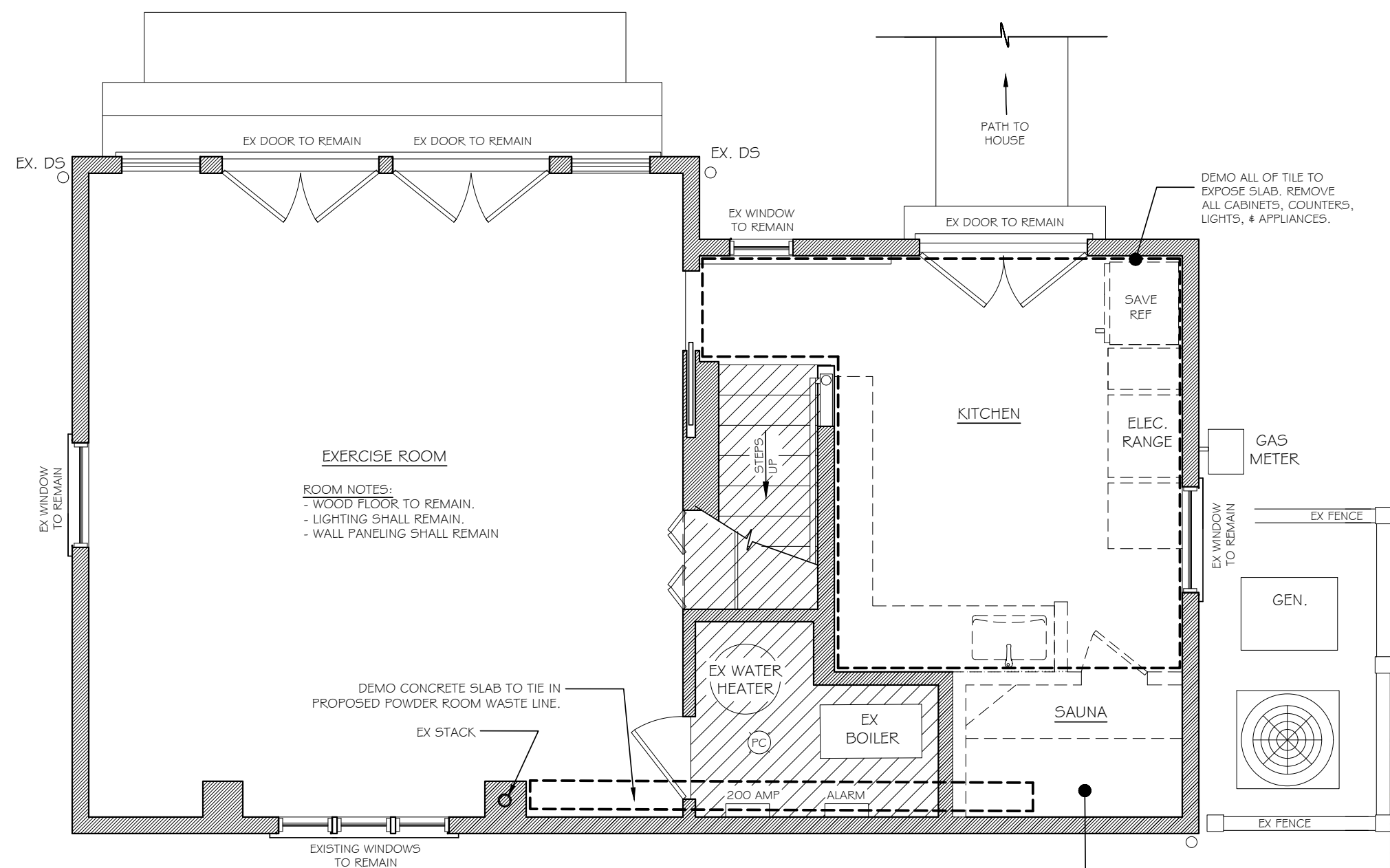
- EXISTING WALLS
- EXISTING TO BE REMOVED
- NO WORK IN THIS AREA

DEMOLITION GENERAL NOTES:

1. ALL ITEMS & MATERIALS REMOVED SHALL BE DISPOSED OF, UNLESS OTHERWISE NOTED.
2. WHERE EXTERIOR WINDOWS/DOORS ARE REMOVED, COVER TEMPORARILY W/ FLYWOOD.
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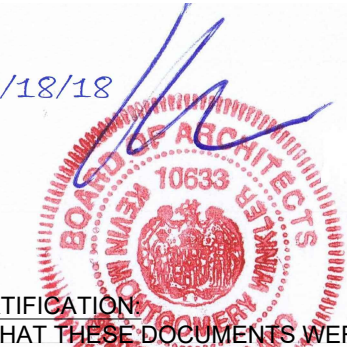
2 SECOND FLOOR PLAN
 SCALE: 1/4"=1'-0" (POOL HOUSE)



1 FIRST FLOOR PLAN
 SCALE: 1/4"=1'-0" (POOL HOUSE)

APPROVED
 Montgomery County
 Historic Preservation Commission

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PERMIT SET	12.18.18	AS SHOWN	DTH/AWF	

WILLIAMS-MOORE RESIDENCE
 20 WEST KIRKE STREET
 CHEVY CHASE, MD 20815

DEMOLITION-
 POOL HOUSE
 PLANS

SHEET

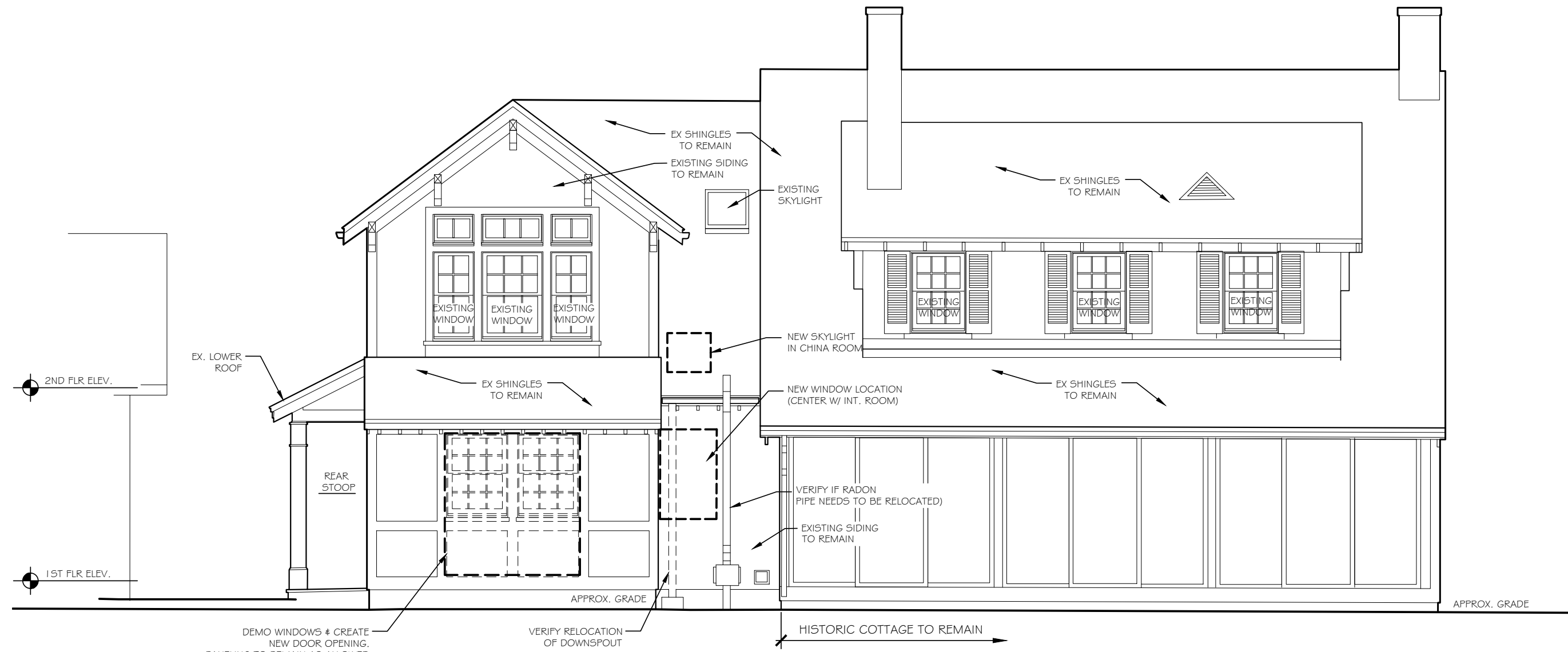
D004

DEMOLITION PLAN LEGEND:

- EXISTING WALLS
- EXISTING TO BE REMOVED
- NO WORK IN THIS AREA

DEMOLITION GENERAL NOTES:

1. ALL ITEMS & MATERIALS REMOVED SHALL BE DISPOSED OF, UNLESS OTHERWISE NOTED.
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2 EXTERIOR ELEVATION- EAST
D100 SCALE: 3/16"=1'-0"



1 EXTERIOR ELEVATION- NORTH (FRONT)
D100 SCALE: 3/16"=1'-0"

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Montgomery County
Historic Preservation Commission

[Signature]

REVIEWED
By Dan.Bruechert at 11:49 am, Dec 19, 2018

REMOVE INFILL AT OLD WINDOW LOCATIONS & PREP FOR NEW WIN. + WINDOW WELLS. (EX HEADERS TO REMAIN)

REMOVE INFILL AT OLD WINDOW LOCATIONS & PREP FOR NEW WIN. + WINDOW WELLS. (EX HEADERS TO REMAIN)

12/18/18



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PERMIT SET	12.18.18	AS SHOWN	DTH/AWF	

WILLIAMS-MOORE
RESIDENCE
20 WEST KIRKE STREET
CHEVY CHASE, MD 20815

DEMOLITION-
EXTERIOR
ELEVATIONS

SHEET

D100

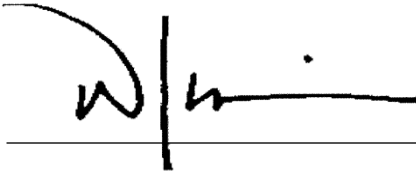
DEMOLITION PLAN LEGEND:

- EXISTING WALLS
- EXISTING TO BE REMOVED
- NO WORK IN THIS AREA

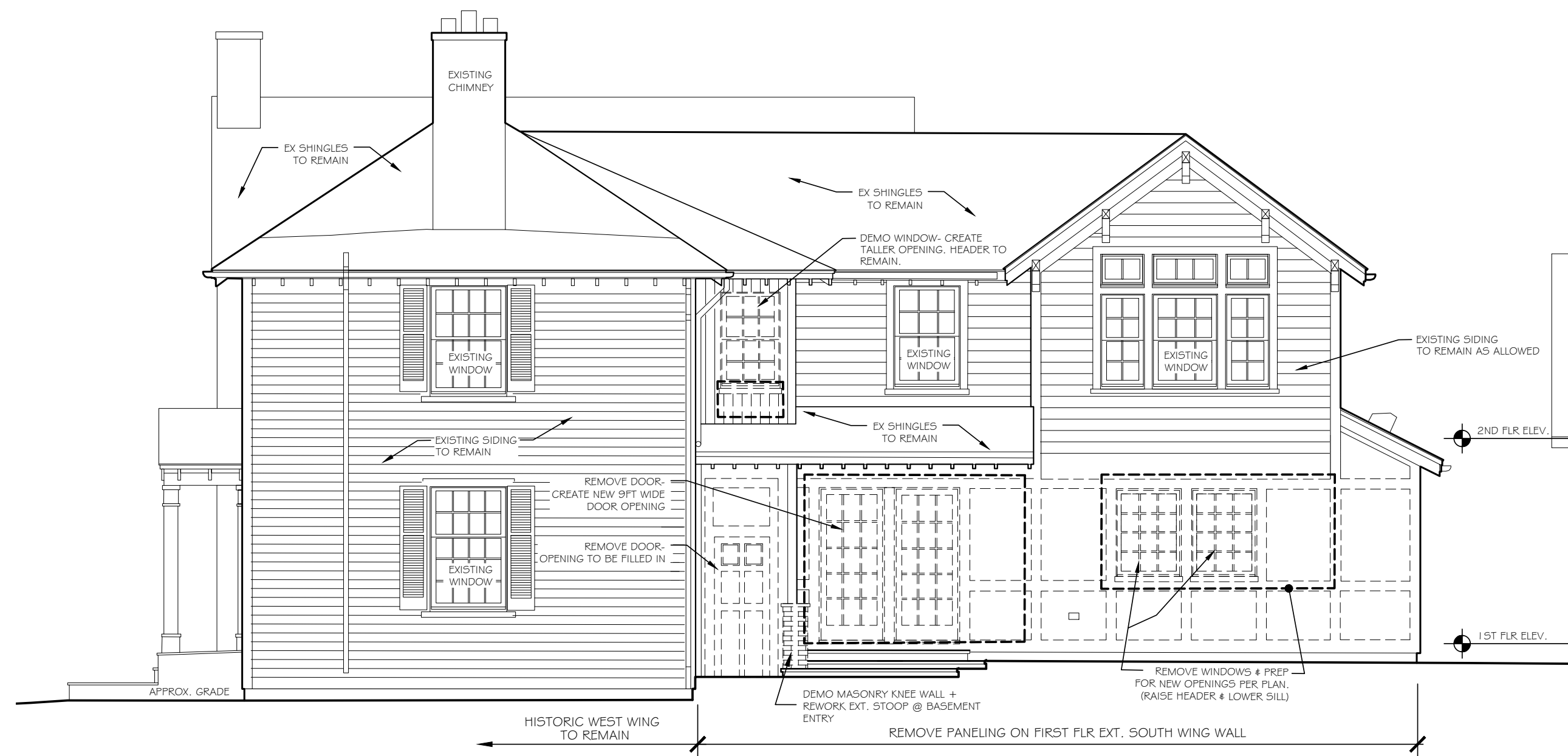
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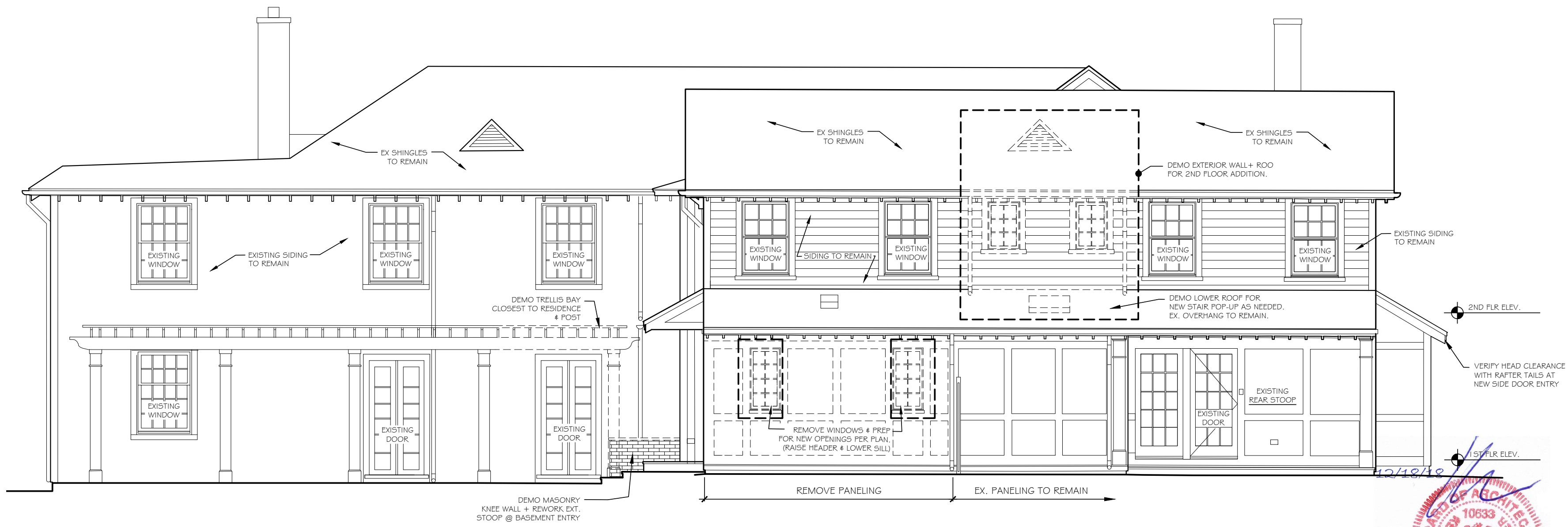
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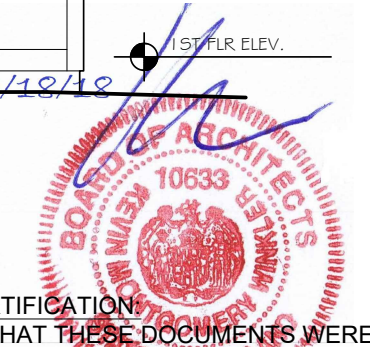
REVIEWED
By Dan.Bruechert at 11:49 am, Dec 19, 2018



2
DT01
EXTERIOR ELEVATION- WEST
SCALE: 3/16"=1'-0"



1
DT01
EXTERIOR ELEVATION- SOUTH
SCALE: 3/16"=1'-0"



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PHASE	DATE	SCALE	DRAWN	REV.
PERMIT SET	12.18.18	AS SHOWN	DTH/AWF	

WILLIAMS-MOORE
RESIDENCE
20 WEST KIRKE STREET
CHEVY CHASE, MD 20815

DEMOLITION-
EXTERIOR
ELEVATIONS

SHEET

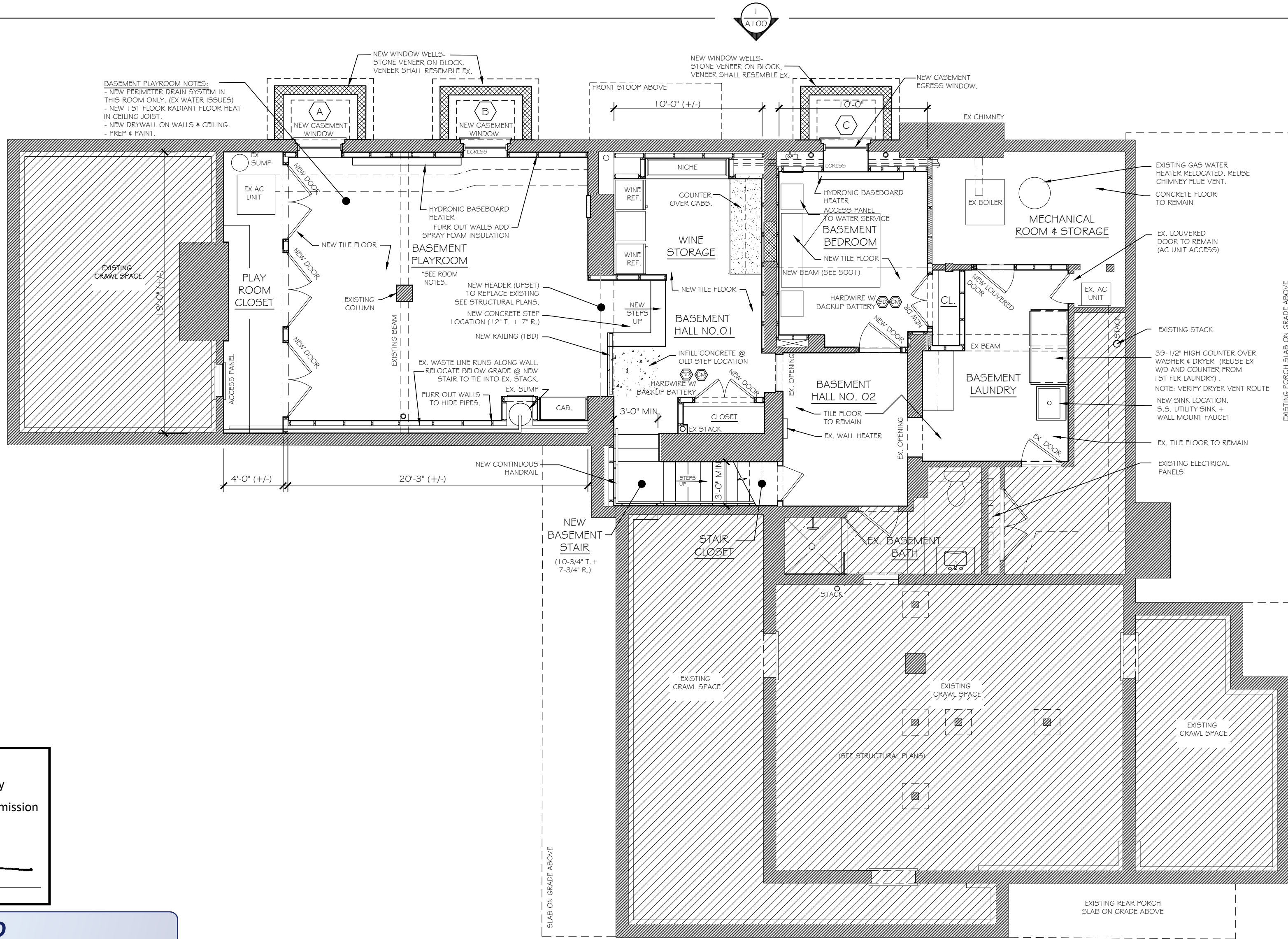
D101

PLAN LEGEND:

- EXISTING WALL
- NEW WOOD STUD WALL
- NEW CMU WALL
- BATT INSULATION
- NO WORK IN THIS AREA

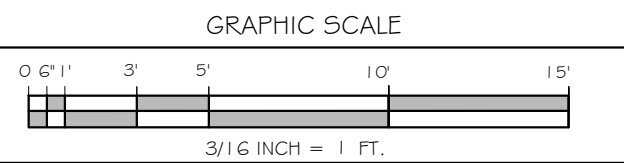
GENERAL NOTES

1. CONTRACTORS SHALL VERIFY ALL DIMENSIONS, GRADES, & ANY OTHER SITE CONDITIONS W/ THE PROPOSED PLANS & SCHEDULES PRIOR TO COMMENCING W/ THE WORK.
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3. ALL NEW BEDROOM & BATHROOM WALLS TO GET SOUND DEADENING INSULATION.

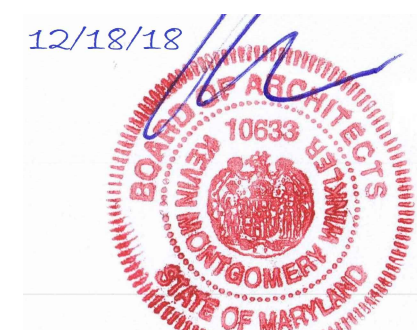


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Historic Preservation Commission

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By Dan.Bruechert at 11:49 am, Dec 19, 2018



(1) A001 PROPOSED PLAN- BASEMENT
SCALE: 3/16" = 1'-0"



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PHASE	DATE	SCALE	DRAWN	REV.
PERMIT SET	12.18.18	AS SHOWN	DTH/AWF	


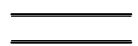

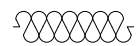
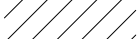
WILLIAMS-MOORE
RESIDENCE
20 WEST KIRKE STREET
CHEVY CHASE, MD 20815

PROPOSED PLAN-
BASEMENT

SHEET

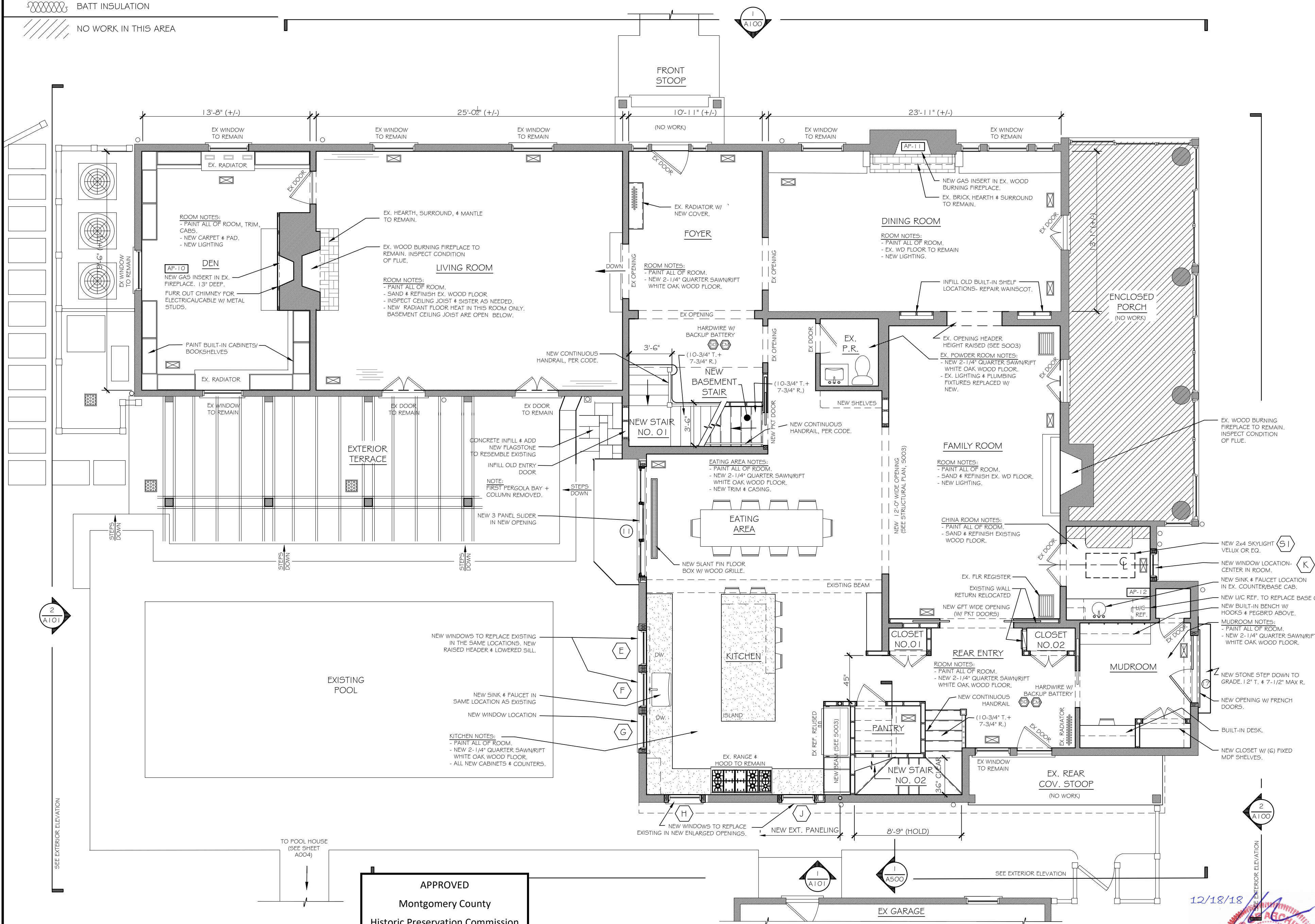
A001

PLAN LEGEND:

-  EXISTING WALL
-  NEW WOOD STUD WALL
-  NEW CMU WALL
-  BATT INSULATION
-  NO WORK IN THIS AREA

GENERAL NOTES

1. CONTRACTORS SHALL VERIFY ALL DIMENSIONS, GRADES, & ANY OTHER SITE CONDITIONS W/ THE PROPOSED PLANS & SCHEDULES PRIOR TO COMMENCING W/ THE WORK.
2. CONTRACTOR IS TO COORDINATE WITH OTHER TRADES AS NEEDED TO PROPERLY PERFORM WORK.
3. ALL NEW BEDROOM & BATHROOM WALLS TO GET SOUND DEADENING INSULATION.



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NO.	DATE	DESCRIPTION

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PERMIT SET	DATE	SCALE	DRAWN	REV.
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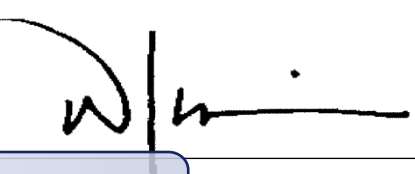
WILLIAMS-MOORE
RESIDENCE
 20 WEST KIRKE STREET
 CHEVY CHASE, MD 20815

PROPOSED PLAN-
 FIRST FLOOR

SHEET

A002

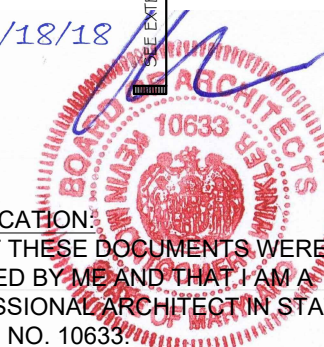
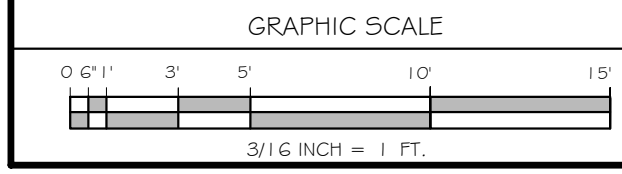
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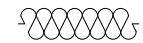
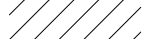
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 By Dan.Bruechert at 11:49 am, Dec 19, 2018

PROPOSED PLAN- FIRST FLOOR
 SCALE: 3/16" = 1'-0"

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PLAN LEGEND:

-  EXISTING WALL
-  NEW WOOD STUD WALL
-  NEW CMU WALL
-  BATT INSULATION
-  NO WORK IN THIS AREA

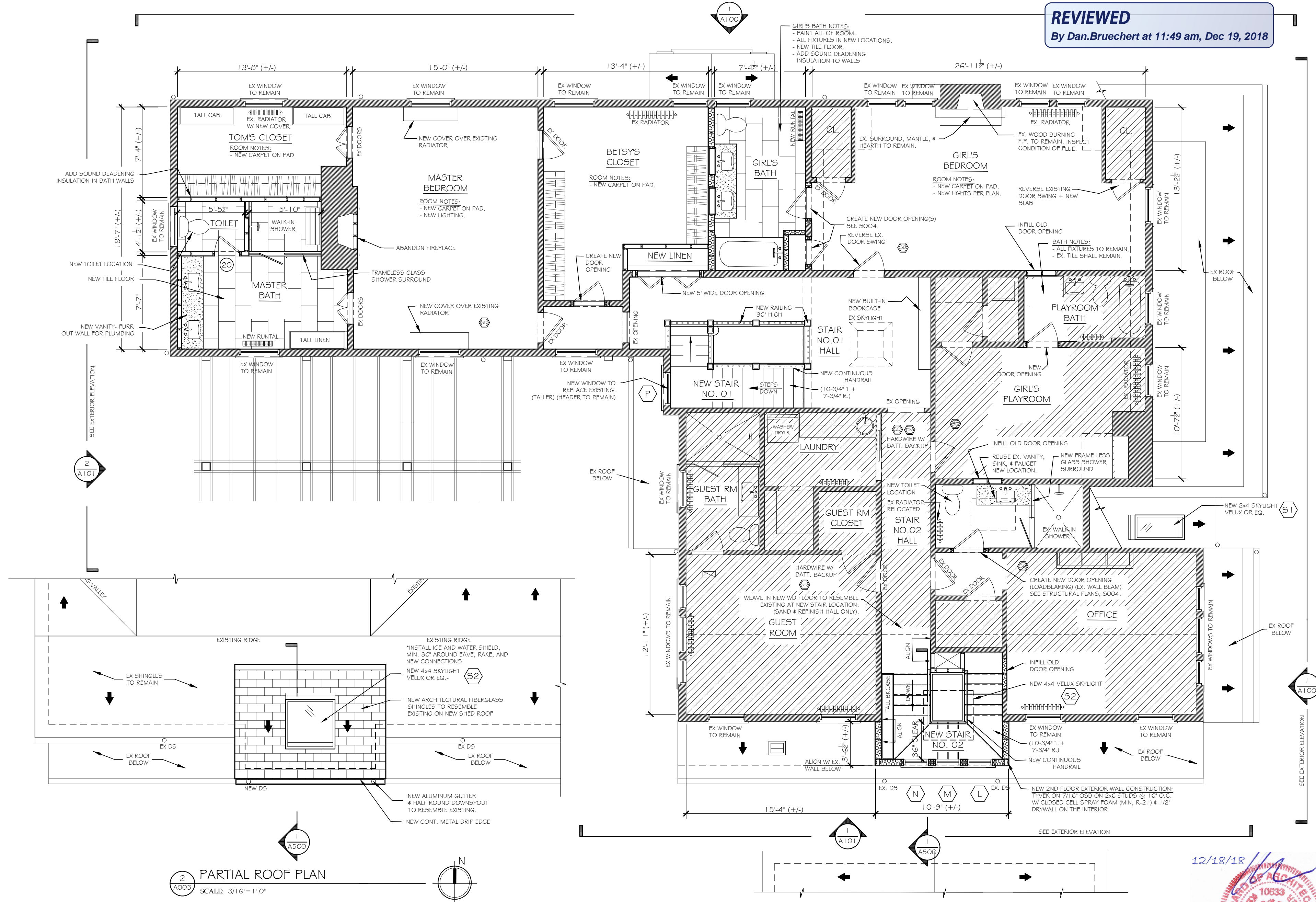
GENERAL NOTES

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Montgomery County
Historic Preservation Commission

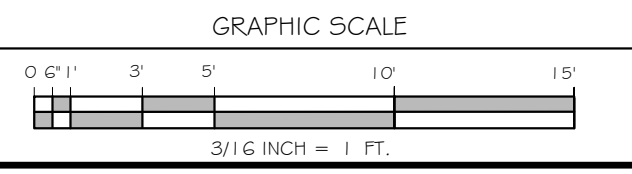
[Signature]

REVIEWED
By Dan.Bruechert at 11:49 am, Dec 19, 2018



2 PARTIAL ROOF PLAN
SCALE: 3/16" = 1'-0"

1 PROPOSED PLAN- SECOND FLOOR
SCALE: 3/16" = 1'-0"



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NO.	DATE	DESCRIPTION

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	12.18.18	AS SHOWN	DTH/AWF	

WILLIAMS-MOORE
RESIDENCE

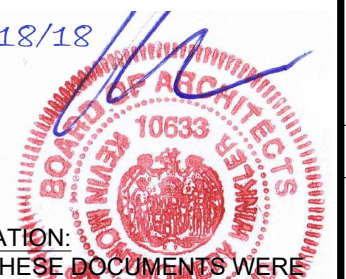
20 WEST KIRKE STREET
CHEVY CHASE, MD 20815

PROPOSED PLAN-
SECOND FLOOR +
PARTIAL ROOF

SHEET

A003

PROFESSIONAL CERTIFICATION:
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DULY LICENSED PROFESSIONAL ARCHITECT IN STATE
OF MARYLAND, LICENSE NO. 10633.



12/18/18

PLAN LEGEND

	EXISTING WALL
	NEW WOOD STUD WALL
	NEW CMU OR MASONRY WALL
	BATT INSULATION
	NO WORK IN THIS AREA

MECHANICAL SYMBOLS LEGEND

SYMBOL	DESCRIPTION
	EQUIPMENT IDENTIFICATION UNIT TYPE UNIT SIZE
	DEVICE ID. SUPPLY, RETURN
	THERMOSTAT @ 4' A.F.F.
	CEILING RETURN
	CEILING REGISTER (SUPPLY)
	WALL RETURN
	WALL REGISTER (SUPPLY)

MECHANICAL GENERAL NOTES

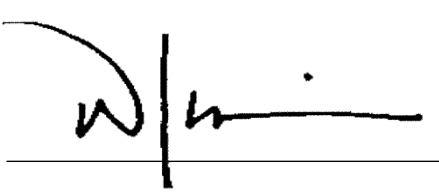
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LOCAL CODES, REGULATIONS & ORDINANCES. THE MECH. CONTRACTOR SHALL OBTAIN & PAY FOR ALL PERMITS & PAY ALL FEES RELATIVE TO THE INSTALLATION OF HIS WORK.
- THE MECHANICAL CONTRACTOR SHALL VISIT THE SITE & THOROUGHLY SURVEY ALL EXISTING CONDITIONS.
- THE MECHANICAL CONTRACTOR SHALL BALANCE & TEST THE HEATING, VENTILATING & AC SYSTEMS.
- PLANS ARE SCHEMATIC. CONTRACTOR SHALL PERFORM PROPER LOAD CALCULATION PER IRC RESIDENTIAL DUCT SYSTEMS MANUAL, & MAKE ANY ADJUSTMENTS NEEDED TO PROPERLY HEAT/COOL RESIDENCE.
- MAKE-UP AIR SHALL BE PROVIDED PER M I 503.4 OF THE 2015 IRC. EXHAUST HOOD SYSTEMS CAPABLE OF EXHAUSTING IN EXCESS OF 400 CUBIC FEET PER MINUTE SHALL BE PROVIDED WITH MAKEUP AIR AT A RATE APPROX. EQUAL TO THE EXHAUST AIR RATE. SUCH MAKEUP AIR SYSTEMS SHALL BE EQUIPPED WITH A MEANS OF CLOSURE & SHALL BE AUTOMATICALLY CONTROLLED TO START & OPERATE SIMULTANEOUSLY WITH THE EXHAUST SYSTEM.
- HVAC OPENINGS WILL BE PROTECTED DURING DUST-PRODUCING OPERATIONS, & FILTERS WILL BE REPLACED PRIOR TO BUILDING OCCUPANCY.
- HVAC PROTECTION: ENSURE THAT DUST & CONSTRUCTION DEBRIS DOES NOT ACCUMULATE IN HVAC DUCTS. MEASURES COULD INCLUDE WRAPPING HVAC DUCTS & EQUIPMENT IN PLASTIC. DUCTWORK & EQUIPMENT SHOULD BE STORED IN DRY & DUST FREE AREAS PRIOR TO INSTALLATION.
- IT IS IMPORTANT TO PROVIDE OUTSIDE AIR DURING CONSTRUCTION. PROVIDE NATURAL VENTILATION IN ACCORDANCE W/ THE I.M.C. BUILDINGS OR USE FANS THAT PRODUCE A MINIMUM OF THREE AIR CHANGES/HOUR.
- OUTDOOR AIR INTAKES & EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING.

AIR BARRIER AND INSULATION NOTES

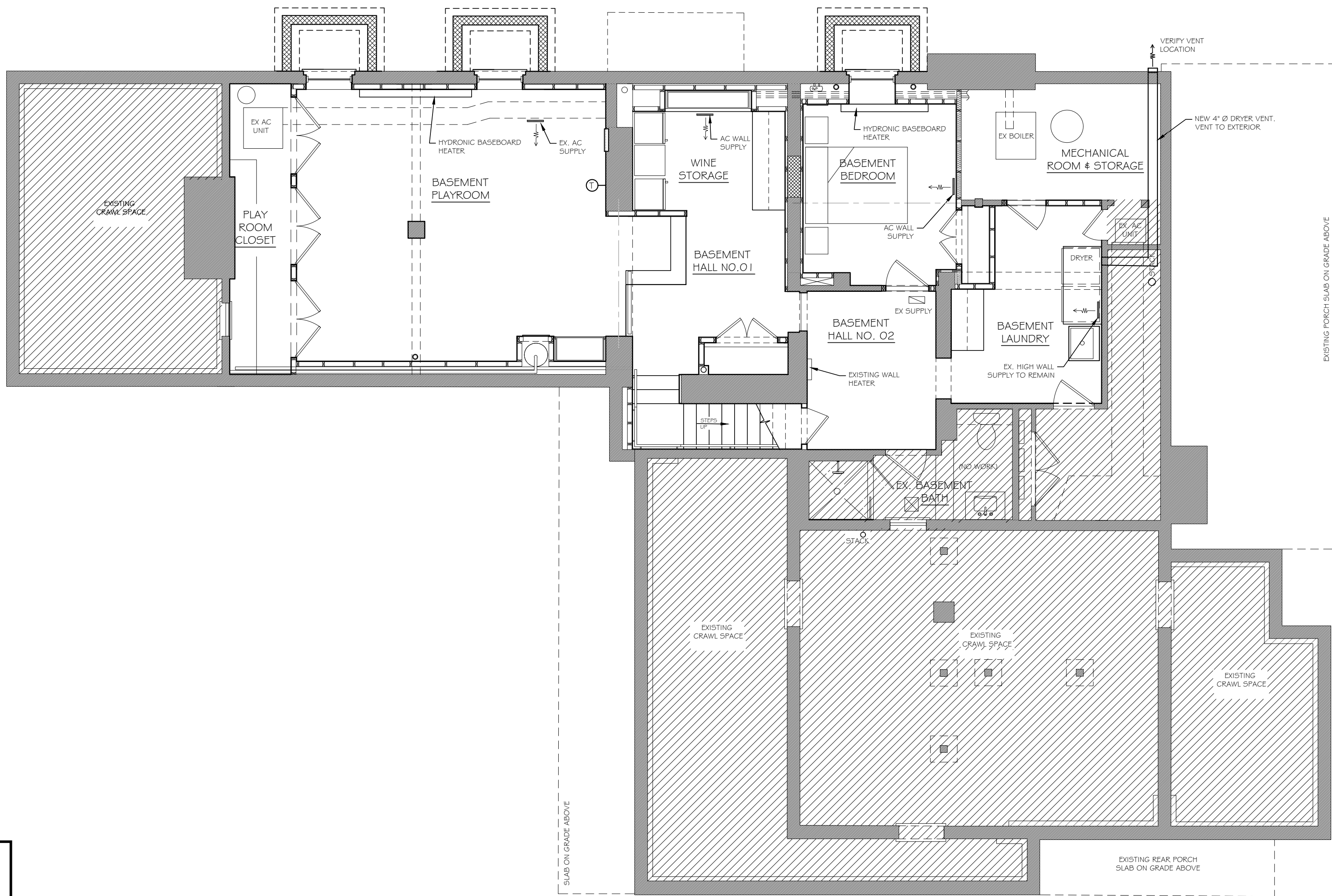
PER TABLE R403.4.1.1 (2012 IECC)

- SHAFTS, PENETRATION: DUCT SHAFTS, UTILITY PENETRATIONS & FLUE SHAFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.
- HVAC REGISTER BOOTS: HVAC REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.

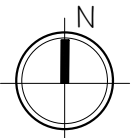
APPROVED
Montgomery County
Historic Preservation Commission



REVIEWED
By Dan.Bruechert at 11:48 am, Dec 19, 2018



1 BASEMENT PLAN
M001 SCALE: 3/16"=1'-0"



PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT IN STATE OF MARYLAND, LICENSE NO. 10633.



REVISION

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5217 WISCONSIN AVENUE NW
WASHINGTON, D.C. 20015
OFFICE: 202-350-0300
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PHASE	DATE	SCALE	DRAWN	REV.
PERMIT SET	12.18.18	AS SHOWN	DTH/AWF	

WILLIAMS-MOORE
RESIDENCE
20 WEST KIRKE STREET
CHEVY CHASE, MD 20815

MECHANICAL-BASEMENT PLAN

SHEET

M001

PLAN LEGEND

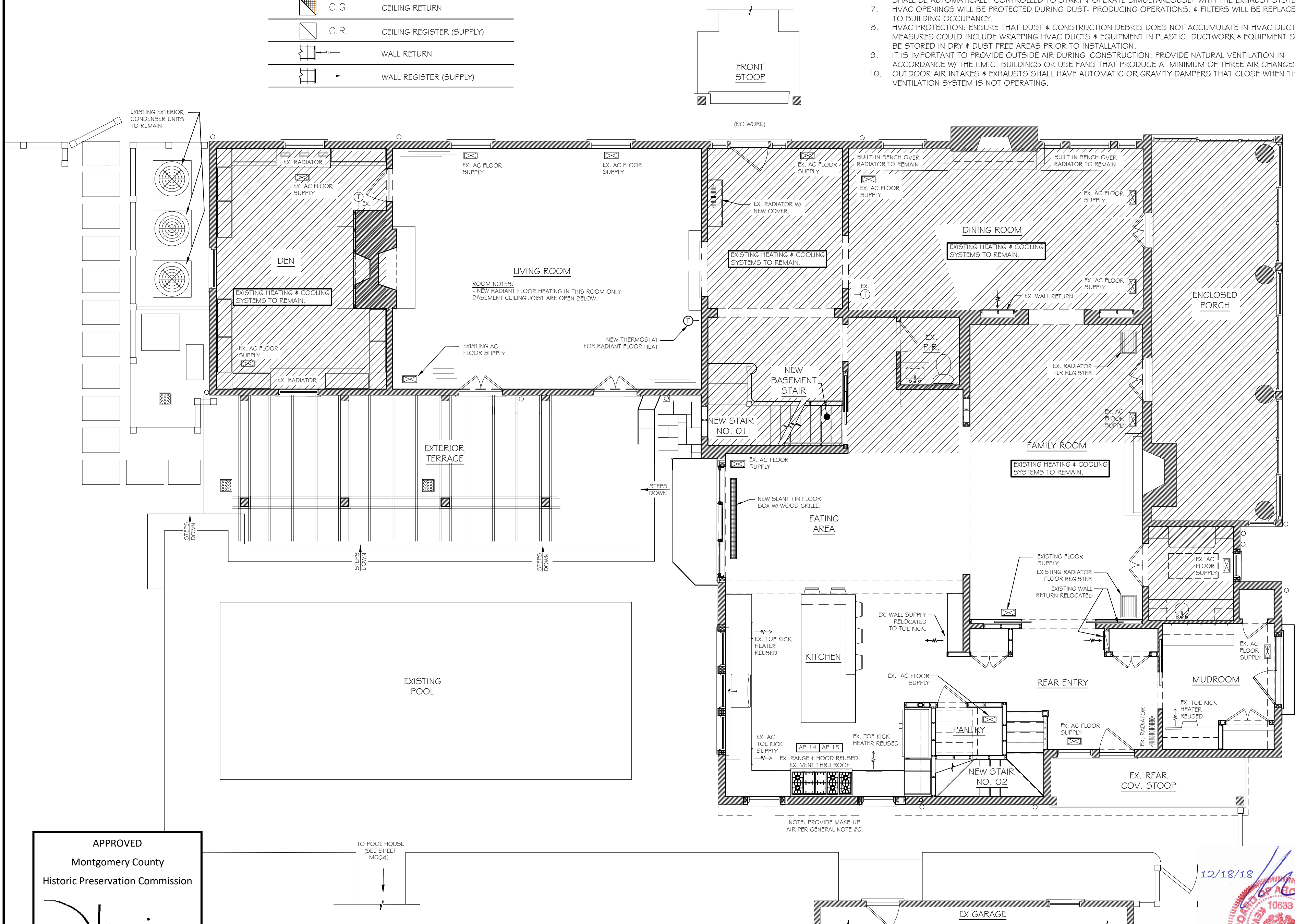
	EXISTING WALL
	NEW WOOD STUD WALL
	NEW CMU OR MASONRY WALL
	BATT INSULATION
	NO WORK IN THIS AREA

MECHANICAL SYMBOLS LEGEND

SYMBOL	DESCRIPTION
	EQUIPMENT IDENTIFICATION
	DEVICE ID.
	SUPPLY, RETURN
	THERMOSTAT @ 4' A.F.F.
	CEILING RETURN
	CEILING REGISTER (SUPPLY)
	WALL RETURN
	WALL REGISTER (SUPPLY)

MECHANICAL GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LOCAL CODES, REGULATIONS & ORDINANCES.
2. THE MECH. CONTRACTOR SHALL OBTAIN & PAY FOR ALL PERMITS & PAY ALL FEES RELATIVE TO THE INSTALLATION OF HIS WORK.
3. THE MECHANICAL CONTRACTOR SHALL VISIT THE SITE & THOROUGHLY SURVEY ALL EXISTING CONDITIONS.
4. THE MECHANICAL CONTRACTOR SHALL BALANCE & TEST THE HEATING, VENTILATING & AIR CONDITIONING SYSTEMS. PLANS ARE SCHEMATIC. CONTRACTOR SHALL PERFORM PROPER LOAD CALCULATION PER IRC RESIDENTIAL DUCT SYSTEMS MANUAL, & MAKE ANY ADJUSTMENTS NEEDED TO PROPERLY HEAT/COOL RESIDENCE.
5. MAKE-UP AIR SHALL BE PROVIDED PER M I 503.4 OF THE 2015 IRC. EXHAUST HOOD SYSTEMS CAPABLE OF EXHAUSTING IN EXCESS OF 400 CUBIC FEET PER MINUTE SHALL BE PROVIDED WITH MAKEUP AIR AT A RATE APPROX. EQUAL TO THE EXHAUST AIR RATE. SUCH MAKEUP AIR SYSTEMS SHALL BE EQUIPPED WITH A MEANS OF CLOSURE & SHALL BE AUTOMATICALLY CONTROLLED TO START & OPERATE SIMULTANEOUSLY WITH THE EXHAUST SYSTEM.
6. HVAC OPENINGS WILL BE PROTECTED DURING DUST- PRODUCING OPERATIONS, & FILTERS WILL BE REPLACED PRIOR TO BUILDING OCCUPANCY.
7. HVAC PROTECTION: ENSURE THAT DUST & CONSTRUCTION DEBRIS DOES NOT ACCUMULATE IN HVAC DUCTS. MEASURES COULD INCLUDE WRAPPING HVAC DUCTS & EQUIPMENT IN PLASTIC. DUCTWORK & EQUIPMENT SHOULD BE STORED IN DRY & DUST FREE AREAS PRIOR TO INSTALLATION.
8. IT IS IMPORTANT TO PROVIDE OUTSIDE AIR DURING CONSTRUCTION. PROVIDE NATURAL VENTILATION IN ACCORDANCE W/ THE I.M.C. BUILDINGS OR USE FANS THAT PRODUCE A MINIMUM OF THREE AIR CHANGES/HOUR.
9. OUTDOOR AIR INTAKES & EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING.



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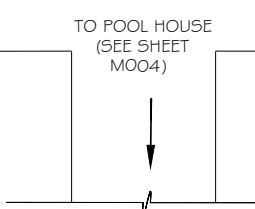
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MECHANICAL-
 FIRST FLOOR
 PLAN
 SHEET

M002

APPROVED
 Montgomery County
 Historic Preservation Commission



1 FIRST FLOOR PLAN
 M002 SCALE: 3/16"=1'-0"

12/18/18

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PLAN LEGEND

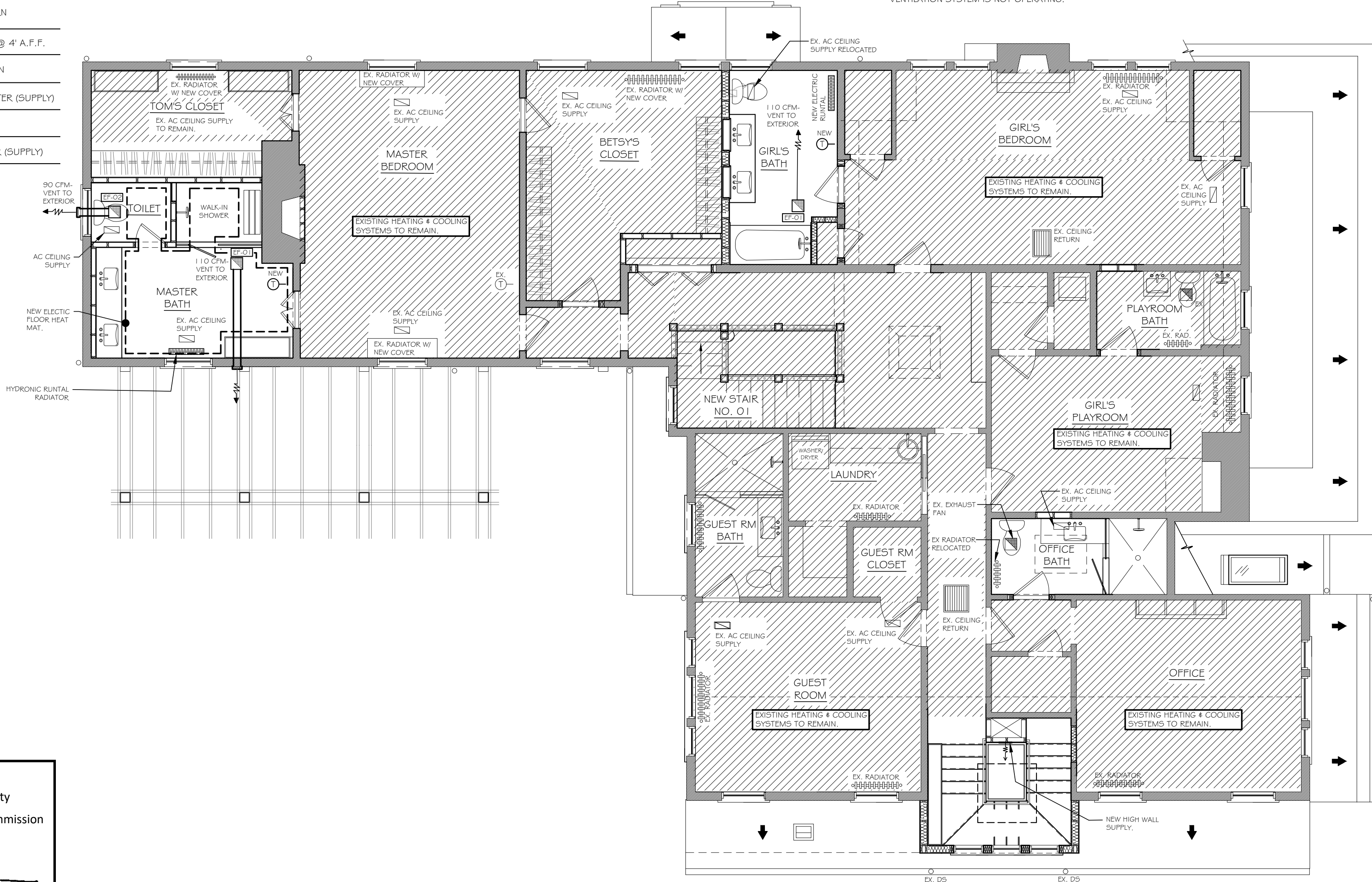
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WILLIAMS-MOORE
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CHEVY CHASE, MD 20815

MECHANICAL-
SECOND FLOOR
PLAN
SHEET

M003

1 SECOND FLOOR PLAN
SCALE: 3/16"=1'-0"

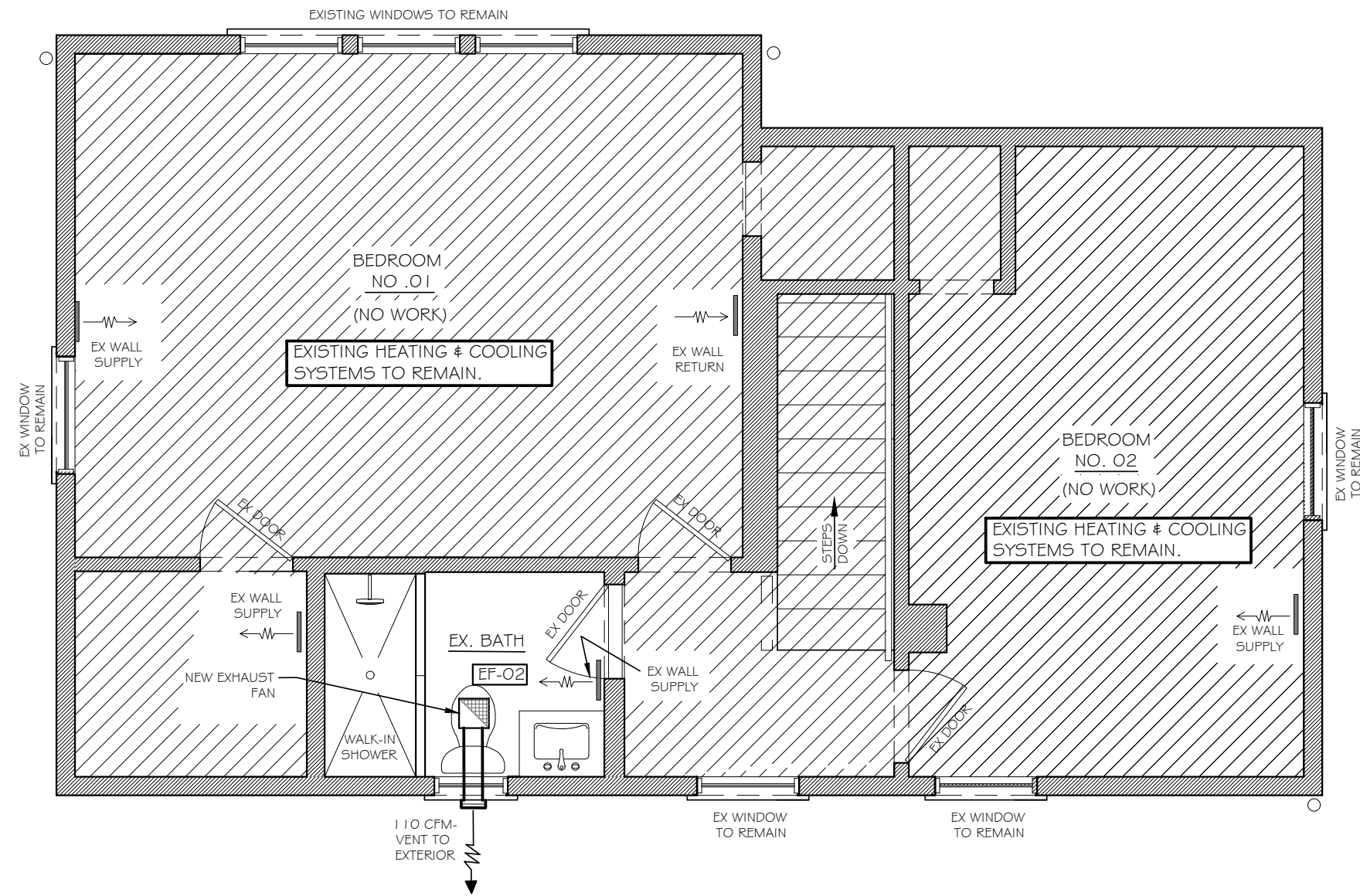
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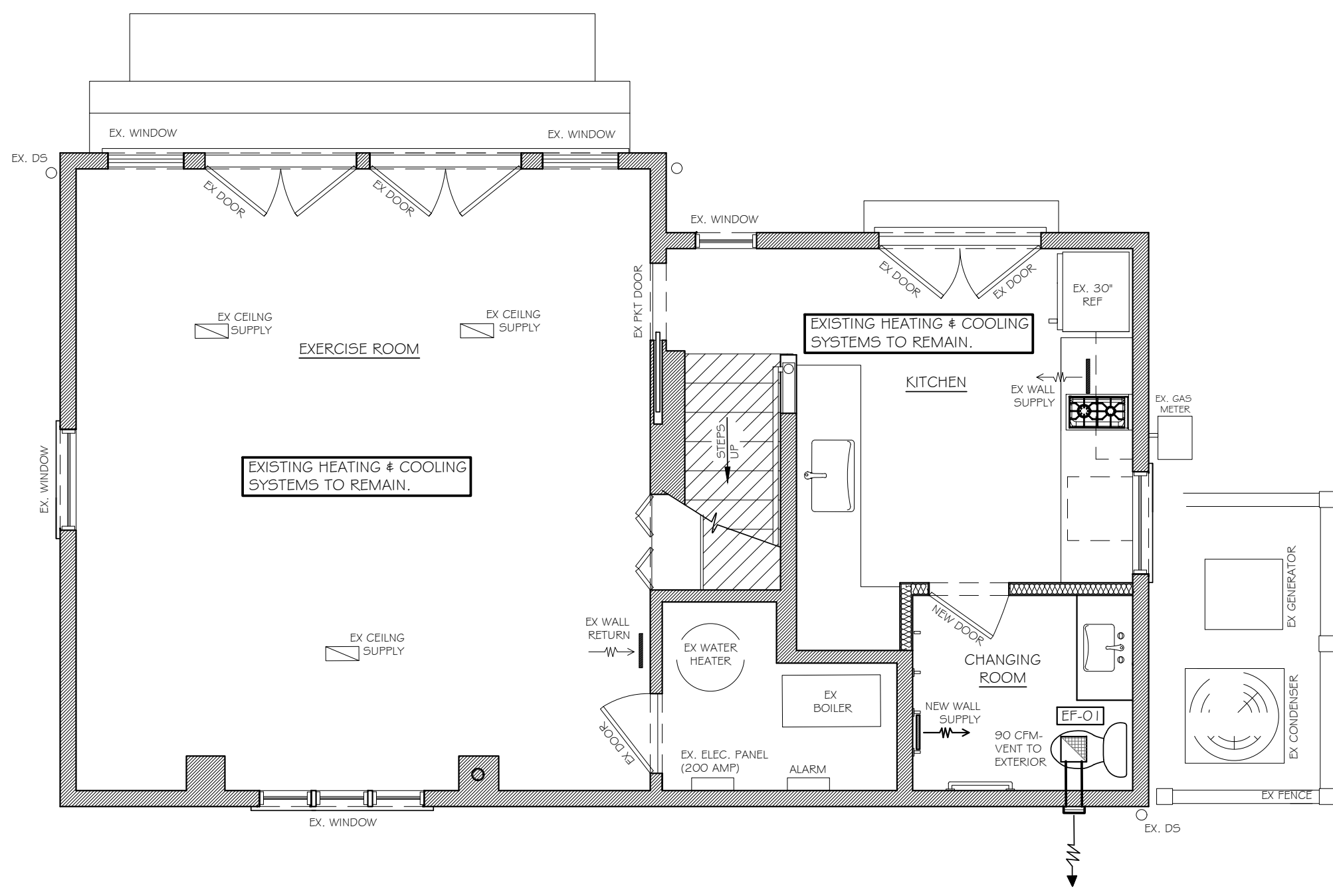
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	CEILING REGISTER (SUPPLY)
	WALL RETURN
	WALL REGISTER (SUPPLY)



2 POOL HOUSE- SECOND FLOOR
SCALE: 1/4"= 1'-0"



1 POOL HOUSE- FIRST FLOOR
SCALE: 1/4"= 1'-0"

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MECHANICAL-
POOL HOUSE
PLANS

SHEET

M004

PERMIT SET	12.18.18
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AS SHOWN	SCALE
DTH/AVF	DRAWN
REV.	REV.

**WILLIAMS-MOORE
 RESIDENCE**
 20 WEST KIRKE STREET
 CHEVY CHASE, MD 20815

MECHANICAL
 NOTES &
 SCHEDULES

SHEET

M100

MECHANICAL INSULATION NOTES:

- PROVIDE INSULATION FOR DUCTWORK, PIPING, & EQUIPMENT OF TYPES & THICKNESS SPECIFIED HEREIN. INSULATION SHALL HAVE A FLAME SPREAD RATING NOT EXCEEDING 25 & A SMOKE DEVELOPED RATING NOT EXCEEDING 50. INSTALL INSULATION IN STRICT CONFORMANCE W/ THE MANUFACTURER'S RECOMMENDATIONS. A CONTINUOUS VAPOR BARRIER SHALL BE PROVIDED ON ALL COLD PIPING AND COLD AIR DUCTWORK. INSULATION SHALL BE ARMSTRONG, CERTAINTED OR OWENS-CORNING.
- TYPE I - GLASS FIBER, LB. DENSITY DUCT WRAP, FACED WITH A REINFORCED ALUMINUM FOIL KRAFT WITH VAPOR BARRIER FACING & A 2" TAPING FLANGE. CERTAINTED DUCT WRAP OR OWENS-CORNING ALL SERVICE DUCT WRAP. CUT INSULATION TO STRETCH-OUT DIMENSIONS AS RECOMMENDED BY MANUFACTURER.
- TYPE I I - DUCT LINING- 1" THICK SEMI-RIGID, COATED GLASS FIBER, 2 LB DENSITY. CERTAINTED ULTRALITE OR OWENS-CORNING AEROFLEX DUCT LINER. WHERE DUCTWORK IS ACOUSTICALLY LINED. ADDITIONAL INSULATION IS NOT REQUIRED ON THE EXTERIOR SURFACE UNLESS NOTED. CERTAINTED ULTRALITE OR OWENS-CORNING AEROFLEX DUCT LINER.
- TYPE I I I - INSULATE ALL HOT WATER PIPING THAT CONVEYS FLUIDS THAT HAVE A DESIGN OPERATING RANGE OF LOWER THAN 55 DEGREES F OR GREATER THAN 105 DEGREES F. PIPES SHALL BE INSULATED WITH 1" THICK ARMAFLEX ADHESIVE #520. FLEXIBLE ELASTOMERIC THERMAL INSULATION WITH A MAX. WATER VAPOR TRANSMISSION OF 0.17 PERM-IN WITH A 'K' FACTOR OF 0.27 OR LESS AT 75°F. MEAN TEMPERATURE. ARMACELL PRO BY ARMAFLEX. REFRIGERANT LIQUID AND HOT GAS PIPING WITHIN THE BUILDING SHALL BE INSULATED WITH 1/2" THICK ARMAFLEX FIRE RATED INSULATION OR APPROVED EQUAL. INSULATION LOCATED OUTDOORS SHALL BE COVERED WITH WEATHER RESISTANT PROTECTIVE FINISH, ARMAFLEX FINISH OR EQUAL. INSULATION SHALL BE SUITABLE FOR (-)297°F TO (+)220°F. MINIMUM INSULATION RATING SHALL BE R3. SHALL COMPLY WITH 2012 IECC SEC C403.3. PROTECTIVE COVERING FOR OUTDOOR SHALL BE ARMA-CHEK SILVER MULTILAYER LAMINATE OF ALUMINUM COATED WITH UV PROTECTIVE FILM AND BACKED WITH A FLEXIBLE PVC FILM.
- FOR THE SERVICES INDICATED USE INSULATION THICKNESS AND TYPES AS FOLLOWS:
 - SUPPLY, RETURN AND OUTSIDE AIR DUCTWORK- 1.5" TYPE I, PRIOR TO APPLICATION OF INSULATION, APPLY A UNIFORM COAT OF MASTIC AT ALL JOINTS AT DUCTS, AIR HANDLER JOINTS & FILTER BOX JOINTS. WHERE JOINTS ARE MORE THAN 1/8" WIDE, FIRST APPLY A LAYER OF FIBER GLASS MESH TAPE. COMPLY WITH IECC2012, SEC C403.2.2.
 - REFRIGERANT PIPING- TYPE I I I
 - DUCT LINING- TYPE I I I, WHERE SHOWN ON FLOOR PLANS. WHERE DUCT LINING IS INSTALLED ADDITIONAL INSULATION IS NOT REQUIRED UNLESS OTHERWISE NOTED.

AIR DISTRIBUTION NOTES:

- DUCTWORK SHALL BE CONSTRUCTED OF BEST QUALITY GALVANIZED SHEET METAL & SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER. CONSTRUCTION & INSTALLATION SHALL CONFORM TO THE LATEST DUCT MANUAL OF THE SHEET METAL & AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION (SMACNA). ALL DUCTWORK SHALL BE CONSTRUCTED & SEALED TO MEET 2" PRESSURE CLASSIFICATION.
- SEAL DUCTS TRANSVERSE JOINTS W/ UL LISTED LIQUID OR MASTIC SEALANT IN ACCORDANCE W/ SMACNA DUCT SEALING REQUIREMENTS SEAL CLASS C. DUCT TAPE WILL NOT BE ACCEPTABLE.
- PROVIDE TURNING VANES ON ALL SQUARE ELBOWS EXCEPT FOR GREASE DUCTS.
- MANUAL VOLUME DAMPERS SHALL BE OPPOSED BLADE TYPE W/ LOCKING QUADRANT & INDICATING PLATE. VOLUME DAMPERS FOR ROUND DUCT UP TO 8" Ø. SHALL BE SINGLE BLADE W/ (2) BEARINGS, HANDLE, WASHERS & LOCKING NUT. HART & COOLEY SERIES 60.
- VOLUME DAMPERS FOR DUCTWORK CONCEALED IN WALLS, GYP BOARD CEILINGS ETC. SHALL BE COMPLETE WITH CONNECTING RODS, GEARS & ALL NECESSARY ACCESSORIES TO ADJUST THE VOLUME DAMPER WITHOUT DISTURBING THE FINISHED SURFACE. YOUNG REGULATOR CO. SERIES 912 FOR STRAIGHT CONNECTION, SERIES 914 W/ MITER GEAR FOR OFFSET DAMPER POSITION.

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EXHAUST VENT SCHEDULE

CALL OUT	DESCRIPTION	MODEL NUMBER	VENTING:	ELECTRICAL:
	KITCHEN RANGE HOOD	REUSE EXISTING	VERIFY -- NOTE#1	120 VOLT, 60HZ 15-AMP, FUSED
EF-1	BATH EXHAUST	BROAN, QTXE90E	90 CFM. (1.5 SONES) SEE NOTE #2	36.3 WATTS 0.3 AMPS
EF-2	BATH EXHAUST	BROAN, QTXE110S	110 CFM. (0.7 SONES) SEE NOTE #3	31.4 WATTS 0.3 AMPS

EXHAUST VENT NOTES

- HOOD VENT
 - HOOD VENT SHALL TERMINATE TO THE OUTDOORS. DO NOT TERMINATE THE VENT SYSTEM IN AN ATTIC OR OTHER ENCLOSED AREA.
 - WALL CAP SHALL BE ALUMINUM AND INCLUDE BUILT-IN BACK-DRAFT DAMPER AND BIRD SCREEN.
 - THE LENGTH OF THE VENT SYSTEM AND NUMBER OF ELBOWS SHALL BE KEPT TO A MINIMUM TO PROVIDE EFFICIENT PERFORMANCE. USE NO MORE THAN (3) 90° ELBOWS WITH A MINIMUM OF 24" OF STRAIGHT VENT BETWEEN THE ELBOWS IF MORE THAN (1) IS USED.
 - USE CAULKING TO SEAL EXTERIOR WALL OR ROOF OPENING AROUND THE CAP.
 - MAKE-UP SHALL BE PROVIDED, SEE MECHANICAL GENERAL NOTE, #6
- EXHAUST FAN EF-1:
 - FAN SHALL HAVE CORROSION RESISTANT GALVANIZED STEEL HOUSING WITH FOUR-POINT MOUNTING CAPABILITY. IT SHALL BE DUCTED TO A ROOF OR WALL CAP USING 4" ROUND DUCTWORK.
 - FAN SHALL BE U.L. LISTED FOR USE OVER BATHTUBS AND SHOWERS WHEN CONNECTED TO A GFCI PROTECTED BRANCH CIRCUIT (CEILING MOUNT ONLY).
- EXHAUST FAN EF-2:
 - THE UNIT WILL HAVE A CONTROL THAT WILL AUTOMATICALLY TURN FAN ON WHEN HUMIDITY INCREASE IS RAPID TO MODERATE (USER ADJUSTABLE), OR WHEN HUMIDITY IS HIGHER THAN USER-ADJUSTABLE SET-POINT (50%-80% RELATIVE HUMIDITY), OR WHEN SUPPLY POWER IS CYCLED FROM ON (FOR MORE THAN A SECOND) TO OFF (FOR LESS THAN A SECOND) AND BACK ON. IT SHALL BE USER-ADJUSTABLE TO TURN OFF 5 TO 60 MINUTES AFTER HUMIDITY HAS STABILIZED AND IS BELOW USER-ADJUSTABLE SET-POINT, OR AFTER MANUALLY INITIATED BY SUPPLY POWER CYCLING.
 - FAN SHALL HAVE CORROSION RESISTANT GALVANIZED STEEL HOUSING WITH FOUR-POINT MOUNTING CAPABILITY. IT SHALL BE DUCTED TO A ROOF OR WALL CAP USING 6" ROUND DUCTWORK.
 - FAN SHALL BE U.L. LISTED FOR USE OVER BATHTUBS AND SHOWERS WHEN CONNECTED TO A GFCI PROTECTED BRANCH CIRCUIT.



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PLAN LEGEND

	EXISTING WALL
	NEW WOOD STUD WALL
	NEW CMU OR MASONRY WALL
	BATT INSULATION
	NO WORK IN THIS AREA

ELECTRICAL SYMBOLS LEGEND

SYMBOL	DESCRIPTION
	SINGLE POLE SWITCH, 48" A.F.F.
	THREE-WAY SWITCH, 48" A.F.F.
	SINGLE POLE DIMMER SWITCH, 48" A.F.F.

POWER SYMBOLS LEGEND

SYMBOL	DESCRIPTION
	DUPLEX RECEPTACLE OUTLET ('EX'=EXISTING)
	DUPLEX REC. W/ GFCI
	FLOOR MOUNTED DUPLEX RECEPTACLE OUTLET
	DEDICATED EQUIPT. RECEPTACLE
	COAX/CAT6 CABLE

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AIR BARRIER AND INSULATION NOTES

PER TABLE R403.4.1.1

- RECESSED LIGHTING: RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT, IC RATED, AND SEALED TO THE DRYWALL.
- ELECTRICAL/PHONE BOX ON EXTERIOR: THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR SEALED BOXES SHALL BE INSTALLED.
- WIRING: BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND WIRING.

GROUND-FAULT CIRCUIT INTERRUPTER

GFCI DEVICES PROTECT FROM SHOCK HAZARDS BY DE-ENERGIZING A CIRCUIT OR RECEPTACLE WHEN A FAULT CURRENT TO GROUND IS DETECTED. (E3902) RECEPTACLE OUTLETS OF 125 volts, 15 & 20 AMPS, REQUIRE GFCI PROTECTION AT THE FOLLOWING LOCATIONS: POWDER ROOM, BATHROOM, OVER COUNTERS, KITCHEN ISLAND, DW, LAUNDRY UNFINISHED BASEMENT/STORAGE, UTILITY ROOM, GARAGE, AND ALL OUTDOOR OUTLETS.

ARC-FAULT CIRCUIT INTERRUPTER (AFCI)

AFCI DEVICES DETECT UNWANTED ARCING IN THE WIRING OF THE BRANCH CIRCUIT AND OPENS THE CIRCUIT BEFORE EXCESSIVE HEAT BUILD-UP CAN CAUSE FIRE. THE AFCI DEVICE SHALL BE INSTALLED IN THE SERVICE PANEL OR SUB-PANEL IN ORDER TO PROTECT THE ENTIRE BRANCH CIRCUIT. AFCI PROTECTION OF BRANCH CIRCUITS 120-volt, 15&20 AMP OUTLETS FOR RECEPTACLES, LIGHTING, & SMOKE ALARMS, LOCATED IN THE FOLLOWING ROOMS & AREAS: BEDROOM, LIVING ROOM, DINING ROOM, FAMILY ROOM, REC ROOM, KITCHEN, CLOSET, HALLWAY, DEN, SUNROOM & SIMILAR ROOMS. BATHROOM, UNFINISHED BASEMENT, GARAGE AND OUTDOOR OUTLETS REQUIRE GFCI PROTECTION BUT DO NOT REQUIRE AFCI.

TAMPER RESISTANT RECEPTACLES

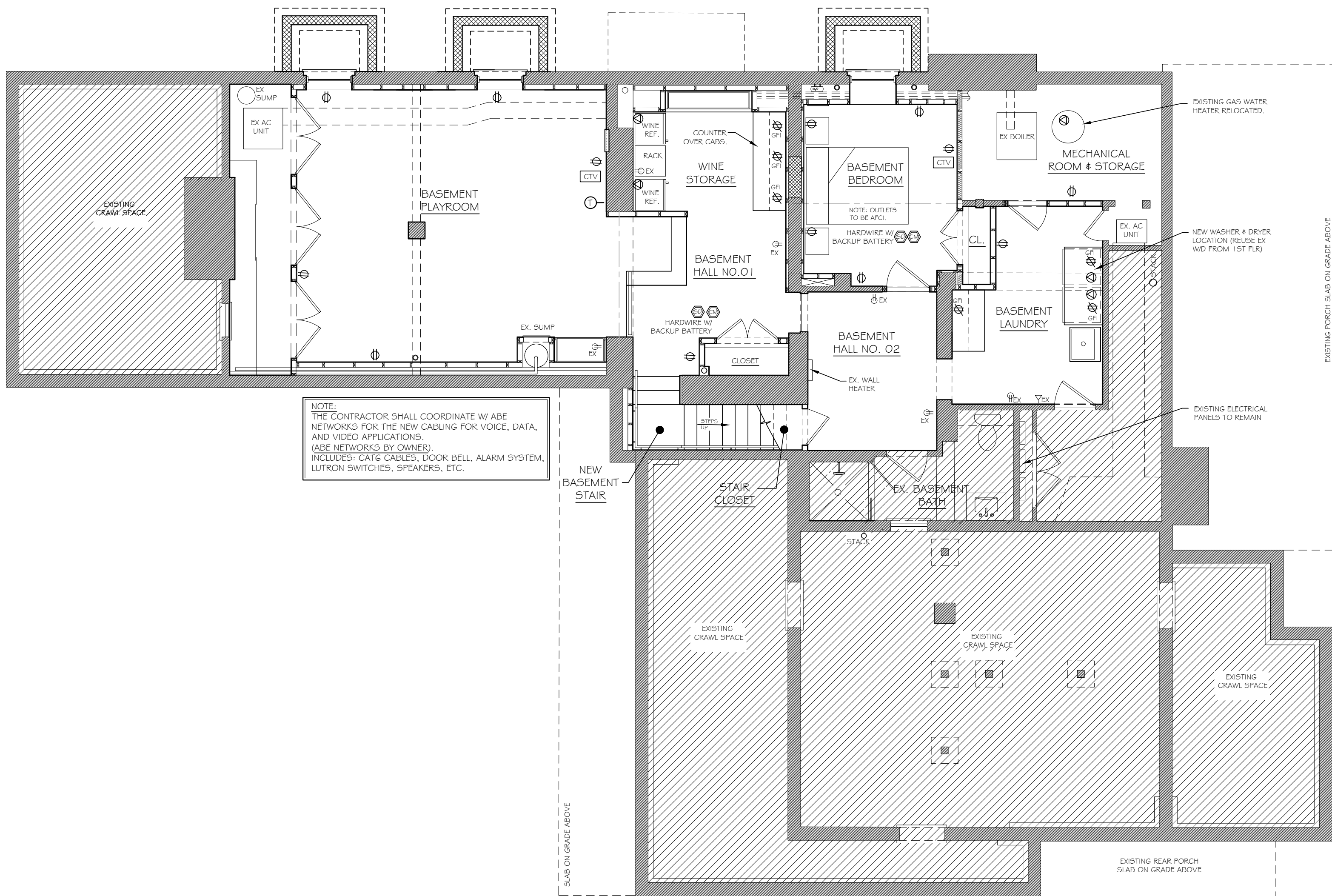
PROVIDE TAMPER RESISTANT RECEPTACLES FOR 125VOLT, 15 & 20 AMP RECEPTACLES INSTALLED IN LOCATIONS ACCESSIBLE TO CHILDREN WITHIN THE DWELLING UNIT, ON THE OUTSIDE OF UNIT, AND IN ATTACHED AND DETACHED GARAGES. NOT REQUIRED WHEN > 5.5ft ABOVE FLOOR OR BEHIND APPLIANCES.

LUMINAIRES (LIGHTS)

RECESSED LIGHTS: ALL NEW LIGHTS INSTALLED IN THE THERMAL ENVELOPE SHALL BE TYPE IC RATED FIXTURE LABELED AS MEETING ASTM E 283 WITH 2.0 CFM MAXIMUM AIR MOVEMENT. (N1102.4.5)
LIGHTING: AT LEAST 75% OF ALL LAMPS SHALL BE HIGH-EFFICIENCY LAMPS FOR PERMANENT LIGHTING IN DWELLING UNITS. (IECC 404.1)

ELECTRIC SERVICE OR SUB PANELS

ALL NEW OR RELOCATED PANELS SHALL HAVE A WORKING SPACE IN FRONT OF THE PANEL THAT IS A MINIMUM OF 30" WIDE & 36" DEEP WITH A HEADROOM OF 6'-6". ELECTRIC PANELS SHALL NOT BE INSTALLED IN CLOTHES CLOSETS OR BATHROOMS.



APPROVED
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Historic Preservation Commission

[Signature]

REVIEWED
By Dan.Bruechert at 11:48 am, Dec 19, 2018

1 E001 BASEMENT POWER PLAN
SCALE: 3/16"=1'-0"

12/18/18
[Professional Seal]

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ELECTRICAL-BASEMENT POWER PLAN
SHEET

E001

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	NEW CMU OR MASONRY WALL
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ELECTRICAL SYMBOLS LEGEND

SYMBOL	DESCRIPTION
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\$3	THREE-WAY SWITCH, 48" A.F.F.
\$D	SINGLE POLE DIMMER SWITCH, 48" A.F.F.

LIGHTING SYMBOLS LEGEND

SYMBOL	DESCRIPTION
	EXISTING RECESSED LIGHT
	RECESSED LIGHT FIXTURE
	PENDANT LIGHT FIXTURE
	NEW SURFACE MOUNTED LIGHT
	NEW WALL SCONCE
	UNDER CABINET LIGHT
	FLUSH MOUNT LED W/ DOOR JAMB SWITCH
	EXHAUST FAN (SEE SCHEDULE)
	SMOKE DETECTOR, HARDWIRED WITH BATT. BACK-UP

ELECTRICAL GENERAL NOTES:

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AIR BARRIER AND INSULATION NOTES

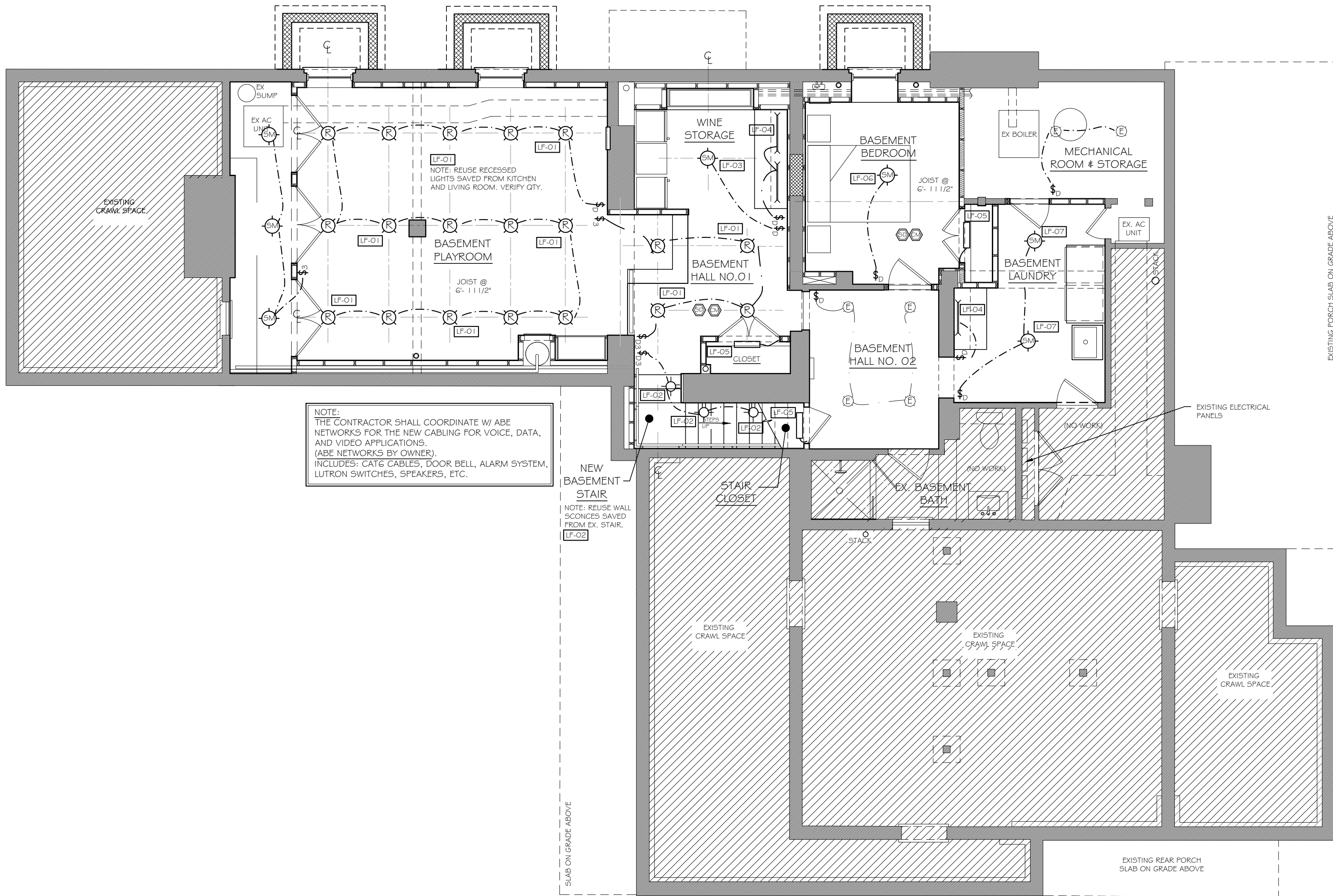
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- RECESSED LIGHTING:
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 - ELECTRICAL/PHONE BOX ON EXTERIOR:
THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR SEALED BOXES SHALL BE INSTALLED.
 - WIRING:
BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND WIRING.

LUMINAIRES (LIGHTS)

RECESSED LIGHTS: ALL NEW LIGHTS INSTALLED IN THE THERMAL ENVELOPE SHALL BE TYPE IC RATED FIXTURE LABELED AS MEETING ASTM E 283 WITH 2.0 CFM MAXIMUM AIR MOVEMENT. (N1102.4.5)
LIGHTING: AT LEAST 75% OF ALL LAMPS SHALL BE HIGH-EFFICIENCY LAMPS FOR PERMANENT LIGHTING IN DWELLING UNITS. (IECC 404.1)

ELECTRIC SERVICE OR SUB PANELS

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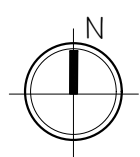


APPROVED
Montgomery County
Historic Preservation Commission

[Signature]

REVIEWED
By Dan.Bruechert at 11:48 am, Dec 19, 2018

1 BASEMENT LIGHTING PLAN
E002 SCALE: 3/16"=1'-0"



12/18/18

PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT IN STATE OF MARYLAND, LICENSE NO. 10633.

[Professional Seal]

REVISION

NO.	DESCRIPTION

SALTBOX
ARCHITECTURE
5217 WISCONSIN AVENUE NW
WASHINGTON, D.C. 20015
OFFICE: 202-350-0300
WWW.SALTBOXDESIGN.COM

PERMIT SET	DATE	SCALE	DRAWN	REV.
	12.18.18	AS SHOWN	DTH/AWF	

WILLIAMS-MOORE
RESIDENCE
20 WEST KIRKE STREET
CHEVY CHASE, MD 20815

ELECTRICAL-BASEMENT LIGHTING PLAN
SHEET

E002

PLAN LEGEND

	EXISTING WALL
	NEW WOOD STUD WALL
	NEW CMU OR MASONRY WALL
	BATT INSULATION
	NO WORK IN THIS AREA

ELECTRICAL SYMBOLS LEGEND

SYMBOL	DESCRIPTION
	SINGLE POLE SWITCH, 48" A.F.F.
	THREE-WAY SWITCH, 48" A.F.F.
	SINGLE POLE DIMMER SWITCH, 48" A.F.F.

POWER SYMBOLS LEGEND

SYMBOL	DESCRIPTION
	DUPLEX RECEPTACLE OUTLET (EX=EXISTING)
	DUPLEX REC. W/ GFCI
	FLOOR MOUNTED DUPLEX RECEPTACLE OUTLET
	DEDICATED EQUIPT. RECEPTACLE
	COAX/CAT6 CABLE

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TAMPER RESISTANT RECEPTACLES

PROVIDE TAMPER RESISTANT RECEPTACLES FOR 125VOLT, 15 & 20 AMP RECEPTACLES INSTALLED IN LOCATIONS ACCESSIBLE TO CHILDREN WITHIN THE DWELLING UNIT, ON THE OUTSIDE OF UNIT, AND IN ATTACHED AND DETACHED GARAGES. NOT REQUIRED WHEN > 5 ft ABOVE FLOOR OR BEHIND APPLIANCES.

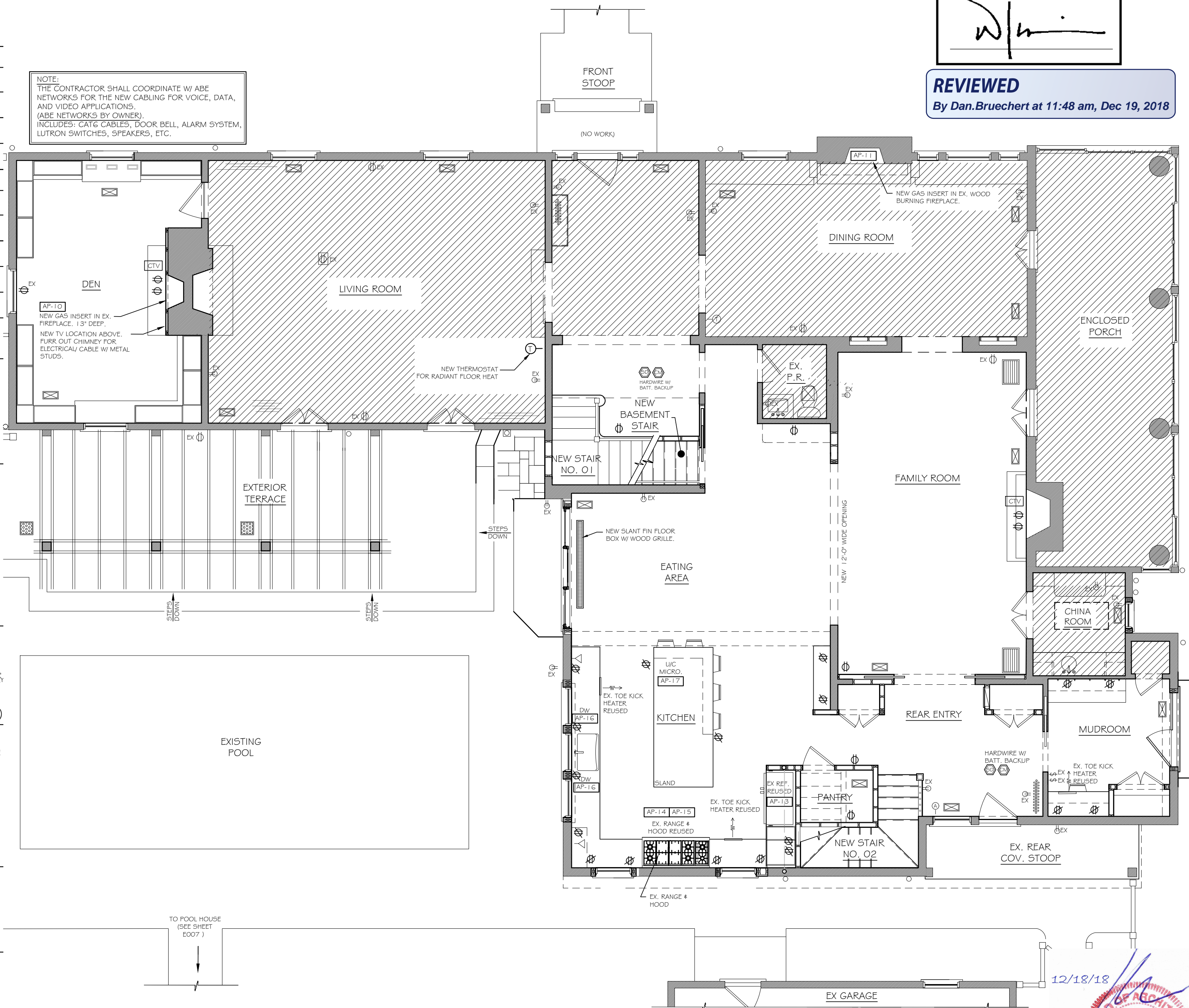
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APPROVED
 Montgomery County
 Historic Preservation Commission

REVIEWED
 By Dan.Bruechert at 11:48 am, Dec 19, 2018

REVISION

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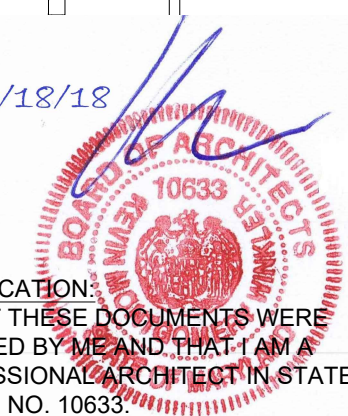
WILLIAMS-MOORE
RESIDENCE
 20 WEST KIRKE STREET
 CHEVY CHASE, MD 20815

ELECTRICAL-
 FIRST FLOOR
 POWER PLAN
 SHEET

E003

FIRST FLOOR POWER PLAN
 SCALE: 3/16"=1'-0"

PROFESSIONAL CERTIFICATION:
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT IN STATE OF MARYLAND, LICENSE NO. 10633.



PLAN LEGEND

	EXISTING WALL
	NEW WOOD STUD WALL
	NEW CMU OR MASONRY WALL
	BATT INSULATION
	NO WORK IN THIS AREA

ELECTRICAL SYMBOLS LEGEND

SYMBOL	DESCRIPTION
	SINGLE POLE SWITCH, 48" A.F.F.
	THREE-WAY SWITCH, 48" A.F.F.
	SINGLE POLE DIMMER SWITCH, 48" A.F.F.

LIGHTING SYMBOLS LEGEND

SYMBOL	DESCRIPTION
	EXISTING RECESSED LIGHT
	RECESSED LIGHT FIXTURE
	PENDANT LIGHT FIXTURE
	NEW SURFACE MOUNTED LIGHT
	NEW WALL SCONCE
	UNDER CABINET LIGHT
	FLUSH MOUNT LED W/ DOOR JAMB SWITCH
	EXHAUST FAN (SEE SCHEDULE)
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LUMINAIRES (LIGHTS)

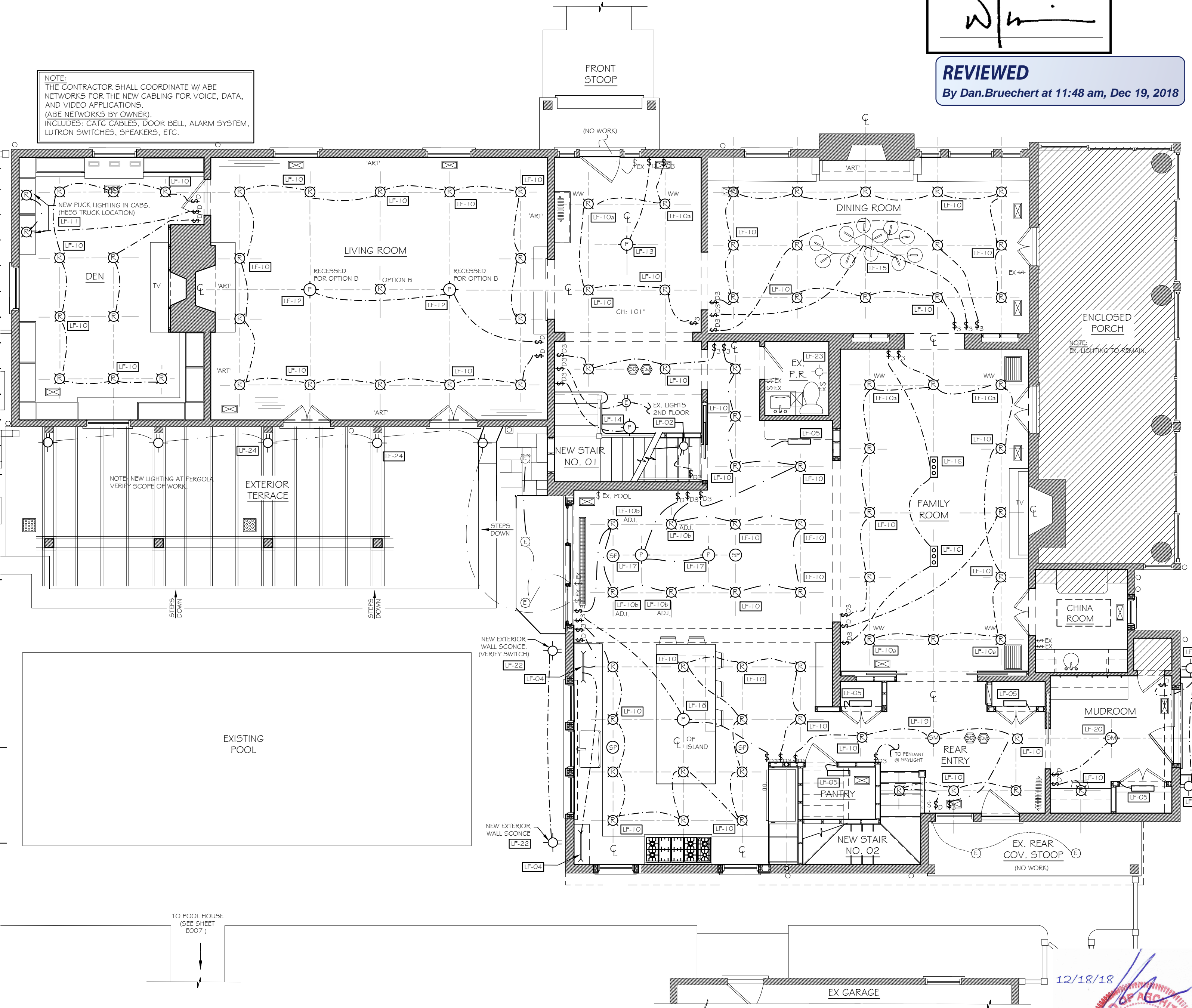
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APPROVED
Montgomery County
Historic Preservation Commission

REVIEWED
By Dan.Bruechert at 11:48 am, Dec 19, 2018

REVISION

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ARCHITECTURE
5217 WISCONSIN AVENUE NW
WASHINGTON, D.C. 20015
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PHASE	DATE	SCALE	DRAWN	REV.
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WILLIAMS-MOORE
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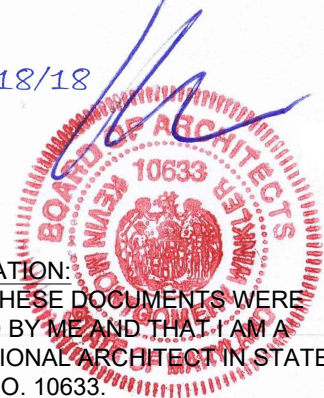
ELECTRICAL-
FIRST FLOOR
LIGHTING PLAN

SHEET

E004

FIRST FLOOR LIGHTING PLAN
SCALE: 3/16" = 1'-0"

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PLAN LEGEND

	EXISTING WALL
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ELECTRICAL SYMBOLS LEGEND

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POWER SYMBOLS LEGEND

SYMBOL	DESCRIPTION
	DUPLEX RECEPTACLE OUTLET ('EX'=EXISTING)
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TAMPER RESISTANT RECEPTACLES

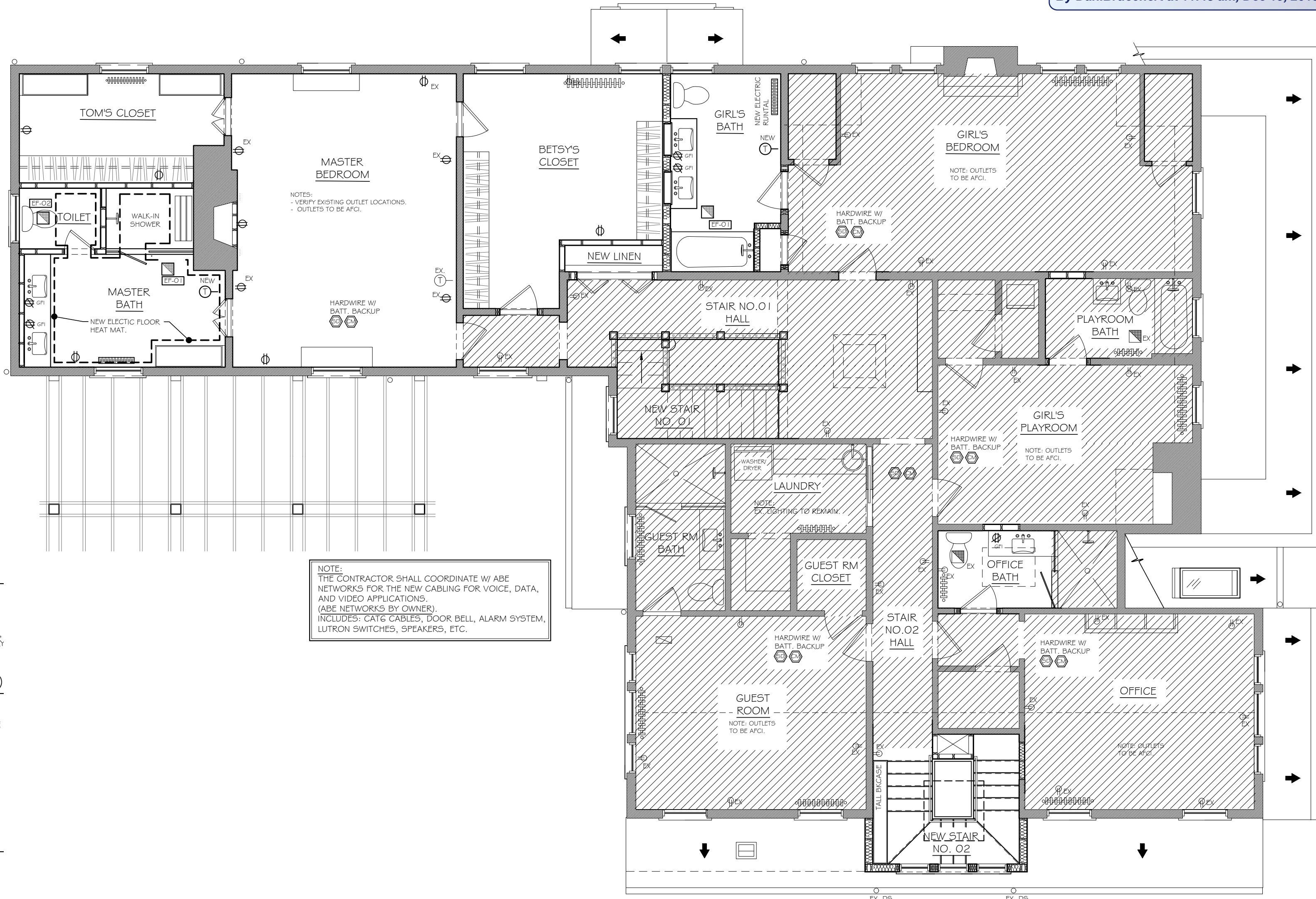
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APPROVED
 Montgomery County
 Historic Preservation Commission

REVIEWED
 By Dan.Bruechert at 11:48 am, Dec 19, 2018

REVISION

NO.	DESCRIPTION

SALTBOX
 ARCHITECTURE
 5217 WISCONSIN AVENUE NW
 WASHINGTON, D.C. 20015
 OFFICE: 202-350-0300
 WWW.SALTBOXDESIGN.COM

PHASE	PERMIT SET	DATE	SCALE	DRAWN	REV.
		12.18.18	AS SHOWN	DTH/AWF	

WILLIAMS-MOORE
RESIDENCE
 20 WEST KIRKE STREET
 CHEVY CHASE, MD 20815

ELECTRICAL-
 SECOND FLOOR
 POWER PLAN
 SHEET

E005

SECOND FLOOR POWER PLAN
 SCALE: 3/16"=1'-0"

12/18/18
 PROFESSIONAL CERTIFICATION:
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT IN STATE OF MARYLAND, LICENSE NO. 106633.

PLAN LEGEND

	EXISTING WALL
	NEW WOOD STUD WALL
	NEW CMU OR MASONRY WALL
	BATT INSULATION
	NO WORK IN THIS AREA

ELECTRICAL SYMBOLS LEGEND

SYMBOL	DESCRIPTION
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LIGHTING SYMBOLS LEGEND

SYMBOL	DESCRIPTION
	EXISTING RECESSED LIGHT
	RECESSED LIGHT FIXTURE
	PENDANT LIGHT FIXTURE
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	NEW WALL SCONCE
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	FLUSH MOUNT LED W/ DOOR JAMB SWITCH
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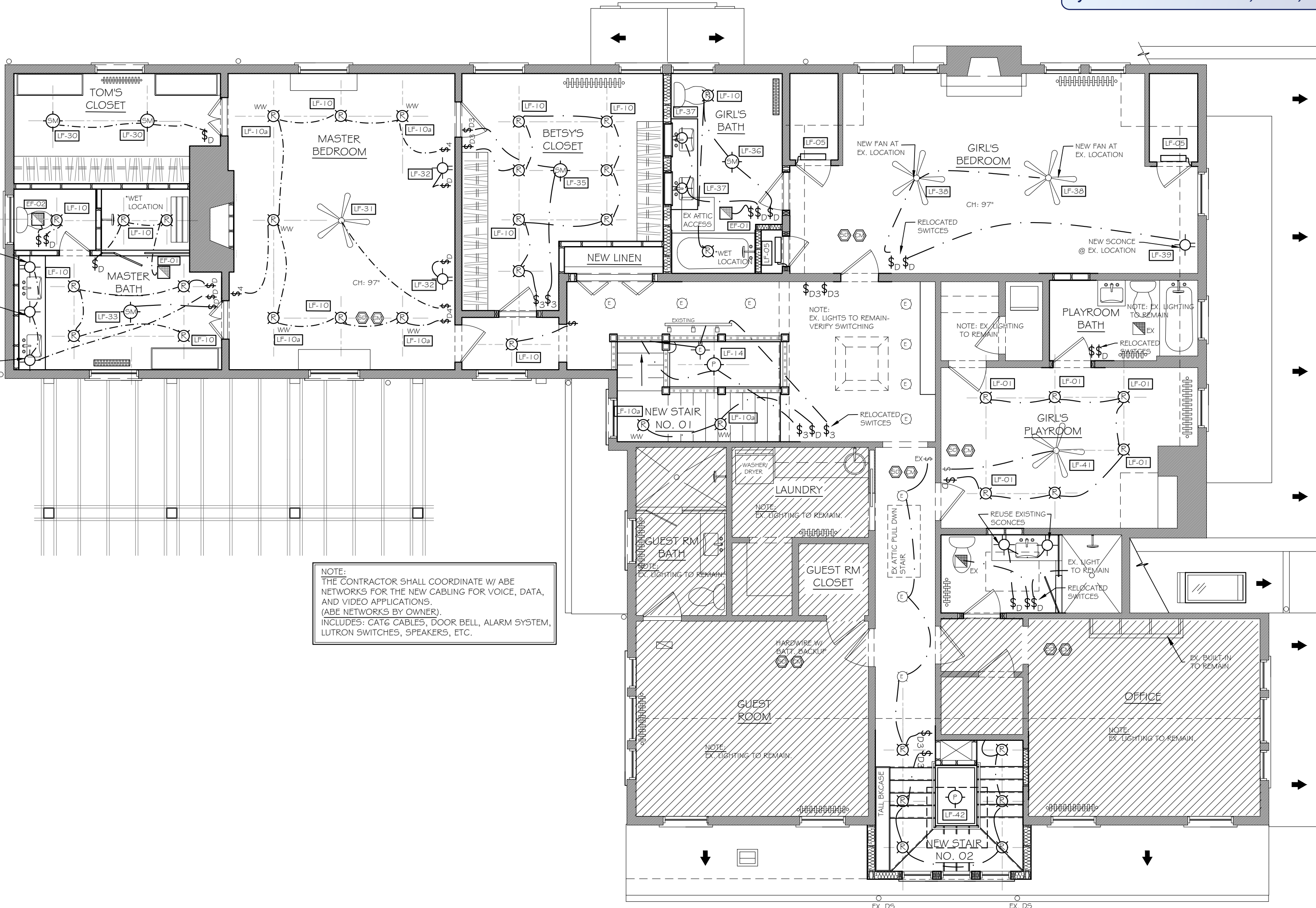
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APPROVED
Montgomery County
Historic Preservation Commission
[Signature]

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REVISION

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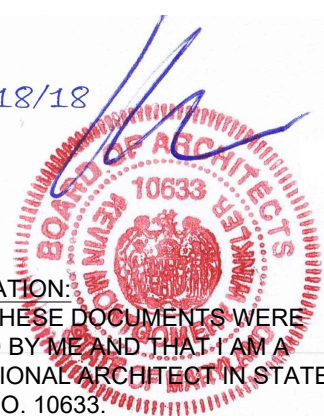
WILLIAMS-MOORE
RESIDENCE
20 WEST KIRKE STREET
CHEVY CHASE, MD 20815

ELECTRICAL-
SECOND FLOOR
LIGHTING PLAN
SHEET

E006

SECOND FLOOR LIGHTING PLAN
SCALE: 3/16"=1'-0"

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ELECTRICAL SYMBOLS LEGEND

SYMBOL	DESCRIPTION
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\$3	THREE-WAY SWITCH, 48" A.F.F.
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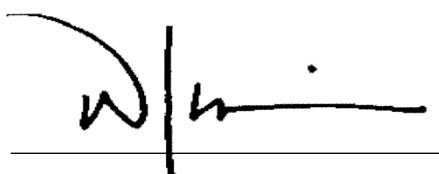
LIGHTING SYMBOLS LEGEND

SYMBOL	DESCRIPTION
(E)	EXISTING RECESSED LIGHT
(R)	RECESSED LIGHT FIXTURE
(P)	PENDANT LIGHT FIXTURE
(SM)	NEW SURFACE MOUNTED LIGHT
(S)	NEW WALL SCONCE
(UC)	UNDER CABINET LIGHT
(FL)	FLUSH MOUNT LED W/ DOOR JAMB SWITCH
(EF)	EXHAUST FAN (SEE SCHEDULE)
(SD)	SMOKE DETECTOR, HARDWIRED WITH BATT. BACK-UP
(CM)	CARBON MONOXIDE ALARM

POWER SYMBOLS LEGEND

SYMBOL	DESCRIPTION
(E)	DUPLEX RECEPTACLE OUTLET (EX=EXISTING)
(GFCI)	DUPLEX REC. W/ GFCI
(F)	FLOOR MOUNTED DUPLEX RECEPTACLE OUTLET
(E)	DEDICATED EQUIPT. RECEPTACLE
(CTV)	COAX/CAT6 CABLE

APPROVED
Montgomery County
Historic Preservation Commission



REVIEWED
By Dan.Bruechert at 11:48 am, Dec 19, 2018

Lighting Schedule

Room	Callout	Fixture Type	Manufacturer	Model #	Qty	Lamp	Color	Allow/each	Comments
Basement									
Throughout	LF-01	Recessed Lights	Reuse existing lights from 1st floor		VERIFY	LED	White	---	Mix between adjustable & standard recessed
Basement Stair	LF-02	Wall Sconce	Reuse existing lights from basement stair		3	LED	---	---	
Wine Storage	LF-03	Surface Mount	TBS		1	LED	---	\$300	
Throughout	LF-04	Undercabinet Lights	Kitcler or EQ	TBD	per plan	LED	---	---	
	LF-05	Surface Mount	TBS		per plan	LED	---	\$300	
Bedroom	LF-06	Surface Mount	TBS		1	LED	---	\$150	
Laundry	LF-07	Surface Mount	TBS		2	LED	---	\$150/each	
First Floor									
Throughout	LF-10	Recessed Lights	USAI Lighting	SilverLED: SR11-BL-16WG1-3022KH-_-S-WH	per plan	LED	White trim with black baffle	---	Allow : \$15 per LED bulb. Warm Glow Dimming.
	LF-10a	Wall Washer		SilverLED Round Wall Wash-SR51-BL-16WG1-3022KH-WH				---	Allow : \$15 per LED bulb. Warm Glow Dimming.
Den	LF-11	Puck Lights	TBS		2	LED	---	\$50/each	
Living Room	LF-12	Pendant	TBS		2	LED	---	\$1000/each	
Entry	LF-13	Pendant	TBS		1	LED	---	\$500	
New Stair No. 01	LF-14	Pendant	TBS		2	---	---	\$1,000	
Dining Room	LF-15	Pendant	TBS		1	LED	---	\$1,000	
Family Room	LF-16	Recessed Box Lights			2	LED	---		
Eating Area	LF-17	Pendant	TBS		2	---	---	\$600/each	
Kitchen	LF-18	Pendant	TBS		1	LED	---	\$800	
	LF-04	Undercabinet Lights	Kitcler or EQ	TBD	per plan	LED	---	---	
Pantry	LF-05	Surface Mount	TBS		per plan	LED	---	\$200	
Rear Entry	LF-19	Surface Mount	TBS		1	LED	---	\$400	
Rear Entry Closets	LF-05	Surface Mount	TBS		per plan	LED	---	\$100	
Mudroom	LF-20	Surface Mount	TBS		1	LED	---	\$150	
Mudroom Closet	LF-05	Surface Mount	TBS		per plan	LED	---	\$100	
Mudroom Exterior	LF-21	Wall Sconces	TBS		2	LED	---	\$150/each	
Kitchen Exterior	LF-22	Wall Sconces	TBS		2	LED	---	\$150/each	
Powder Room	LF-23	Sconce	TBS		2	---	---	\$300/each	
	EF-02	Exhaust Fan	Broan	90 cfm	1	na	White	---	Existing replaced with new. See Mechanical Schedules
Exterior Terrace	LF-24	Wall Sconces	TBS		5	LED	---	\$300/each	Existing replaced with new. Verify scope of work--Need more lighting
Second Floor									
Throughout	LF-10	Recessed Lights	USAI Lighting	SilverLED: SR11-BL-16WG1-3022KH-_-S-WH	per plan	LED	White trim with black baffle	---	Allow : \$15 per LED bulb. Warm Glow Dimming.
	LF-10a	Wall Washer		SilverLED Wall wash-SR51-BL-16WG1-3022KH-WH				---	Allow : \$15 per LED bulb. Warm Glow Dimming.
Tom's Closet	LF-30	Surface Mount	TBS		2	LED	---	\$200/each	
Master Bedroom	LF-31	Ceiling Fan	TBS		1	na	---	\$1,000	Light?
	LF-32	Sconce	TBS		2	LED	---	\$500/each	
Master Bath	LF-33	Surface Mount	TBS		1	LED	---	\$500	
	LF-34	Sconce	TBS		3	LED	---	\$400/each	
Toilet	EF-01	Exhaust Fan	Broan	QTX110 Ultra Quite Fan	1	na	White	---	110cfm, 0.7 Sones, 33.5W, 0.3A
Betsy's Closet	LF-35	Surface Mount	TBS		1	LED	---	\$250	
	LF-36	Surface Mount	TBS		1	LED	---	\$250	
Girl's Bath	LF-37	Wall Sconces	TBS		2	LED	---	\$250/each	
	EF-01	Exhaust Fan	Broan	QTX110 Ultra Quite Fan	1	na	White	---	110cfm, 0.7 Sones, 33.5W, 0.3A
Girl's Bedroom	LF-38	Ceiling Fan + Light	TBS		2	na	---	\$400/each	
	LF-39	Wall Sconce	TBS		1	LED	---	\$150	
Girls Bedroom Closets	LF-05	Surface Mount	TBS		per plan	LED	---	\$100	
Girls Playroom	LF-41	Ceiling Fan + Light	TBS		1	na	---	\$250/each	
New Stair No. 02	LF-42	Pendant	TBS		1	LED	---	\$500	Mount to inside of skylight
Pool House									
First Floor									
Kitchen	LF-01	Recessed Lights	Reuse existing lights from Main house 1st floor		VERIFY	LED	White	---	Mix between adjustable & standard recessed
	LF-50	Surface Mount	TBS		1	LED	---	\$300	
Changing Room	LF-51	Wall Sconces	TBS		1	LED	---	\$250/each	
	LF-52	Surface Mount	TBS		1	LED	---	\$200	
	EF-02	Exhaust Fan	Broan	90 cfm	1	na	White	---	
Second Floor									
Existing Bath	LF-53	Wall Sconces	TBS		1	LED	---	\$250	
	EF-01	Exhaust Fan	Broan	QTX110 Ultra Quite Fan	1	na	White	---	Existing replaced with new

Note: Per IECC 404.1- 75% of all lamps shall be high-efficiency

ELECTRICAL GENERAL NOTES:

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LOCAL CODES, REGULATIONS & ORDINANCES. THE ELECTRICAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND PAY ALL FEES RELATIVE TO THE INSTALLATION OF HIS WORK.
- THE ELECTRICAL CONTRACTOR SHALL VISIT THE SITE AND THOROUGHLY SURVEY ALL EXISTING CONDITIONS.
- ALL EXISTING DEVICES AND PLATES REPLACED WITH NEW.

AIR BARRIER AND INSULATION NOTES

PER TABLE R403.4.1.1

- RECESSED LIGHTING: RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT, IC RATED, AND SEALED TO THE DRYWALL.
- ELECTRICAL/PHONE BOX ON EXTERIOR: THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR SEALED BOXES SHALL BE INSTALLED.
- WIRING: BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND WIRING.

GROUND-FAULT CIRCUIT INTERRUPTER

GFCI DEVICES PROTECT FROM SHOCK HAZARDS BY DE-ENERGIZING A CIRCUIT OR RECEPTACLE WHEN A FAULT CURRENT TO GROUND IS DETECTED. (E3902) RECEPTACLE OUTLETS OF 125 volts, 15 & 20 AMPS, REQUIRE GFCI PROTECTION AT THE FOLLOWING LOCATIONS: POWDER ROOM, BATHROOM, OVER COUNTERS, KITCHEN ISLAND, DW, LAUNDRY, UNFINISHED BASEMENT/STORAGE, UTILITY ROOM, GARAGE, AND ALL OUTDOOR OUTLETS.

ARC-FAULT CIRCUIT INTERRUPTER (AFCI)

AFCI DEVICES DETECT UNWANTED ARCING IN THE WIRING OF THE BRANCH CIRCUIT AND OPENS THE CIRCUIT BEFORE EXCESSIVE HEAT BUILD-UP CAN CAUSE FIRE. THE AFCI DEVICE SHALL BE INSTALLED IN THE SERVICE PANEL OR SUB-PANEL IN ORDER TO PROTECT THE ENTIRE BRANCH CIRCUIT. AFCI PROTECTION OF BRANCH CIRCUITS 120-volt, 15/20 AMP OUTLETS FOR RECEPTACLES, LIGHTING, & SMOKE ALARMS, LOCATED IN THE FOLLOWING ROOMS & AREAS: BEDROOM, LIVING ROOM, DINING ROOM, FAMILY ROOM, REC ROOM, KITCHEN, CLOSET, HALLWAY, DEN, SUNROOM & SIMILAR ROOMS. BATHROOM, UNFINISHED BASEMENT, GARAGE AND OUTDOOR OUTLETS REQUIRE GFCI PROTECTION BUT DO NOT REQUIRE AFCI.

TAMPER RESISTANT RECEPTACLES

PROVIDE TAMPER RESISTANT RECEPTACLES FOR 125VOLT, 15 & 20 AMP RECEPTACLES INSTALLED IN LOCATIONS ACCESSIBLE TO CHILDREN WITHIN THE DWELLING UNIT, ON THE OUTSIDE OF UNIT, AND IN ATTACHED AND DETACHED GARAGES. NOT REQUIRED WHEN > 5.5ft ABOVE FLOOR OR BEHIND APPLIANCES.

LUMINAIRES (LIGHTS)

RECESSED LIGHTS: ALL NEW LIGHTS INSTALLED IN THE THERMAL ENVELOPE SHALL BE TYPE IC RATED FIXTURE LABELED AS MEETING ASTM E 283 WITH 2.0 CFM MAXIMUM AIR MOVEMENT. (N1102.4.5)
LIGHTING: AT LEAST 75% OF ALL LAMPS SHALL BE HIGH-EFFICIENCY LAMPS FOR PERMANENT LIGHTING IN DWELLING UNITS. (IECC 404.1)

ELECTRIC SERVICE OR SUB PANELS

ALL NEW OR RELOCATED PANELS SHALL HAVE A WORKING SPACE IN FRONT OF THE PANEL THAT IS A MINIMUM OF 30" WIDE & 36" DEEP WITH A HEADROOM OF 6'-6". ELECTRIC PANELS SHALL NOT BE INSTALLED IN CLOTHES CLOSETS OR BATHROOMS.

RECEPTACLE OUTLET LOCATIONS:

DESCRIPTION	MAXIMUM SPACING (ft)	MIN. # OF OUTLETS	LOCATION	NOTES
HABITABLE ROOMS	12ft	---	WITHIN 6ft OF A DOOR & ANY POINT ALONG WALL	FOR WALL SPACE ≥ 24" WIDE; WALL RECEPT. ≤ 5.5ft ABV FLR; FLR RECEPT. ≤ 18" FROM WALL
KITCHEN WALL COUNTERS	4ft	---	WITHIN 2ft OF ANY POINT ALONG WALL & ≤ 20" ABV. COUNTER	FOR WALL COUNTERS ≥ 12" WIDE.
KITCHEN ISLAND OR PENINSULA	---	1	≤ 20" ABOVE COUNTER	FOR COUNTER ≥ 12"x24"
HALLWAY	---	1	---	FOR HALLWAYS ≥ 10ft
FOYER	---	1	EACH WALL ≥ 3ft	FOR FOYERS ≥ 60 sq ft
BATHROOM	---	1	≤ 36" FROM SINK	MEASURED FROM THE OUTSIDE EDGE OF SINK.
OUTDOORS	---	1 FRONT & 1 BACK	≤ 6'-6" ABOVE GRADE	WHERE THERE IS ACCESS TO GRADE
DECK/PORCH	---	1	≤ 6'-6" ABOVE FLOOR	APPLIES TO ALL DECKS OR PORCHES ≥ 20 sq ft
LAUNDRY	---	1	≤ 6ft FROM APPLIANCE	
BASEMENT	---	1	---	FOR BASEMENT W/ HABITABLE SPACE, (1) OUTLET FOR EACH SEPARATE UNFINISHED SPACE.
GARAGE	---	1	---	MIN. ONE OUTLET PER VEHICLE SPACE
HVAC EQUIPMENT	---	1	< 25ft FROM EQUIPMENT	

12/18/18



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PHASE	DATE	SCALE	DRAWN
			REV.

WILLIAMS-MOORE
RESIDENCE
20 WEST KIRKE STREET
CHEVY CHASE, MD 20815

ELECTRICAL-
SCHEDULES &
NOTES
SHEET
E100

PLAN LEGEND

	EXISTING WALL
	NEW WOOD STUD WALL
	NEW CMU OR MASONRY WALL
	BATT INSULATION
	NO WORK IN THIS AREA

PLUMBING SYMBOLS LEGEND

SYMBOL	DESCRIPTION
	EXISTING SANITARY PIPE (WASTE)
	SANITARY PIPE (WASTE OR SOIL)
	EXISTING VENT PIPE.
	VENT PIPE. (V)
	EXISTING COLD WATER PIPE
	NEW COLD WATER (CW)
	EXISTING HOT WATER PIPE
	NEW HOT WATER (HW)
	GAS PIPE (G)
	POINT OF CONNECTION BETWEEN NEW AND EXISTING.
	SHUT-OFF VALVE.

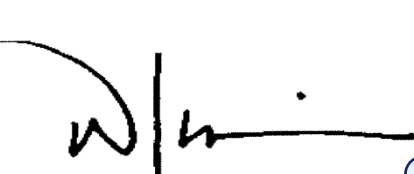
PLUMBING GENERAL NOTES

- PLUMBING SUBCONTRACTOR SHALL COMPLY W/ ALL OSHA & STATE & LOCAL CODES & ALL UTILITY COMPANY REGULATIONS.
- PLUMBING CONTRACTOR SHALL OBTAIN & PAY FOR ALL PERMITS AND PAY ALL FEES RELATIVE TO THE INSTALLATION OF HIS WORK.
- THE PLUMBING CONTRACTOR SHALL VISIT THE SITE & THOROUGHLY SURVEY ALL EXISTING CONDITIONS.
- THE PLUMBING CONTRACTOR SHALL VERIFY POINT OF CONNECTIONS & ELEVATIONS OF EXISTING PIPING PRIOR TO INSTALLATION OF NEW PIPING.
- PLUMBING CONTRACTOR SHALL COORDINATE HIS WORK WITH THAT OF ALL OTHER CONTRACTORS BEFORE INSTALLATION OF HIS WORK IN CHASES, CEILING SPACES & OTHER AREAS WHERE CONFLICTS MAY OCCUR.
- PLUMBING CONTRACTOR SHALL SET ALL FIXTURES UPON COMPLETION OF PROJECT.
- A WATER HAMMER ARRESTOR SHALL BE INSTALLED WHERE QUICK-CLOSING VALVES ARE UTILIZED (E.G. DISHWASHERS, WASHING MACHINES, ICE MAKERS). WATER HAMMER ARRESTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. WATER HAMMER ARRESTORS SHALL CONFORM TO ASSE 1010. MINI-RESTER WATER HAMMER ARRESTER OR EQ.
- INDIVIDUAL SHOWER & TUB/SHOWER COMBINATION VALVES SHALL BE EQUIPPED W/ CONTROL VALVES OF THE PRESSURE-BALANCE, THERMOSTATIC-MIXING OR COMBINATION WITH A HIGH LIMIT STOP IN ACCORDANCE WITH ASSE 1016 OR ASME A112.18.1/CSA B125.1. THE HIGH LIMIT STOP SHALL BE SET TO LIMIT THE WATER TEMPERATURE TO NOT GREATER THAN 120°F (49°C). IN-LINE THERMOSTATIC VALVES SHALL NOT BE USED FOR COMPLIANCE W/ THIS SECTION.
- SANITARY CLEANOUTS SHALL BE PROVIDED AT THE BASE OF EACH SANITARY STACK.

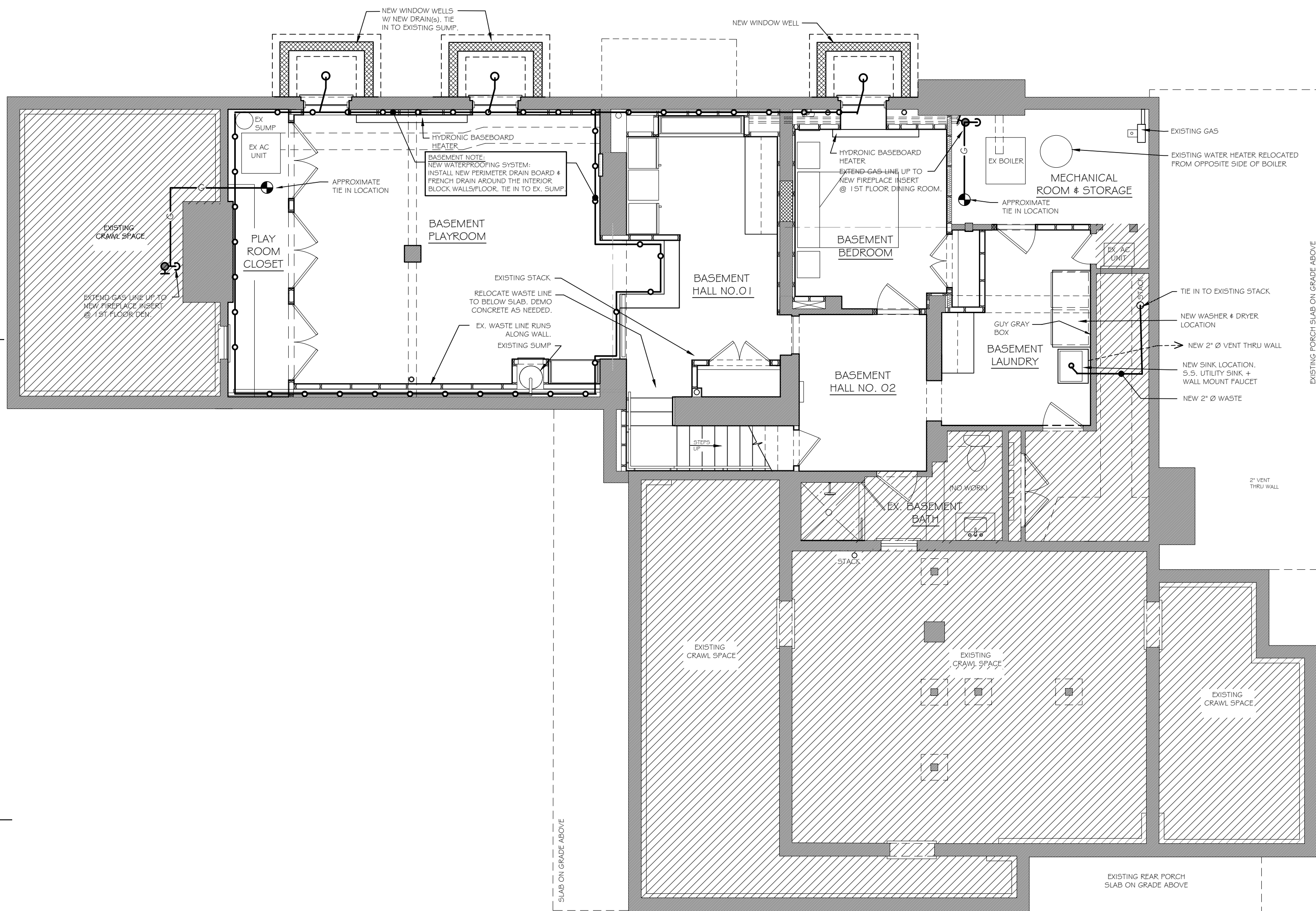
AIR BARRIER AND INSULATION NOTES

- PER TABLE R403.4.1.1 (2012 IECC)
- PLUMBING
BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING.
 - SHOWER/TUB ON EXTERIOR WALL
EXTERIOR WALLS ADJACENT TO SHOWERS & TUBS SHALL BE INSULATED & THE AIR BARRIER INSTALLED SEPARATING THEM FROM THE SHOWERS & THE TUBS.

APPROVED
Montgomery County
Historic Preservation Commission



REVIEWED
By Dan.Bruechert at 11:48 am, Dec 19, 2018



BASEMENT PLAN
SCALE: 3/16" = 1'-0"




PROFESSIONAL CERTIFICATION:
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PERMIT SET	12.18.18	AS SHOWN	DTH/AWF	

WILLIAMS-MOORE
RESIDENCE
20 WEST KIRKE STREET
CHEVY CHASE, MD 20815

PLUMBING PLANS

SHEET

P001

PLAN LEGEND

	EXISTING WALL
	NEW WOOD STUD WALL
	NEW CMU OR MASONRY WALL
	BATT INSULATION
	NO WORK IN THIS AREA

PLUMBING SYMBOLS LEGEND

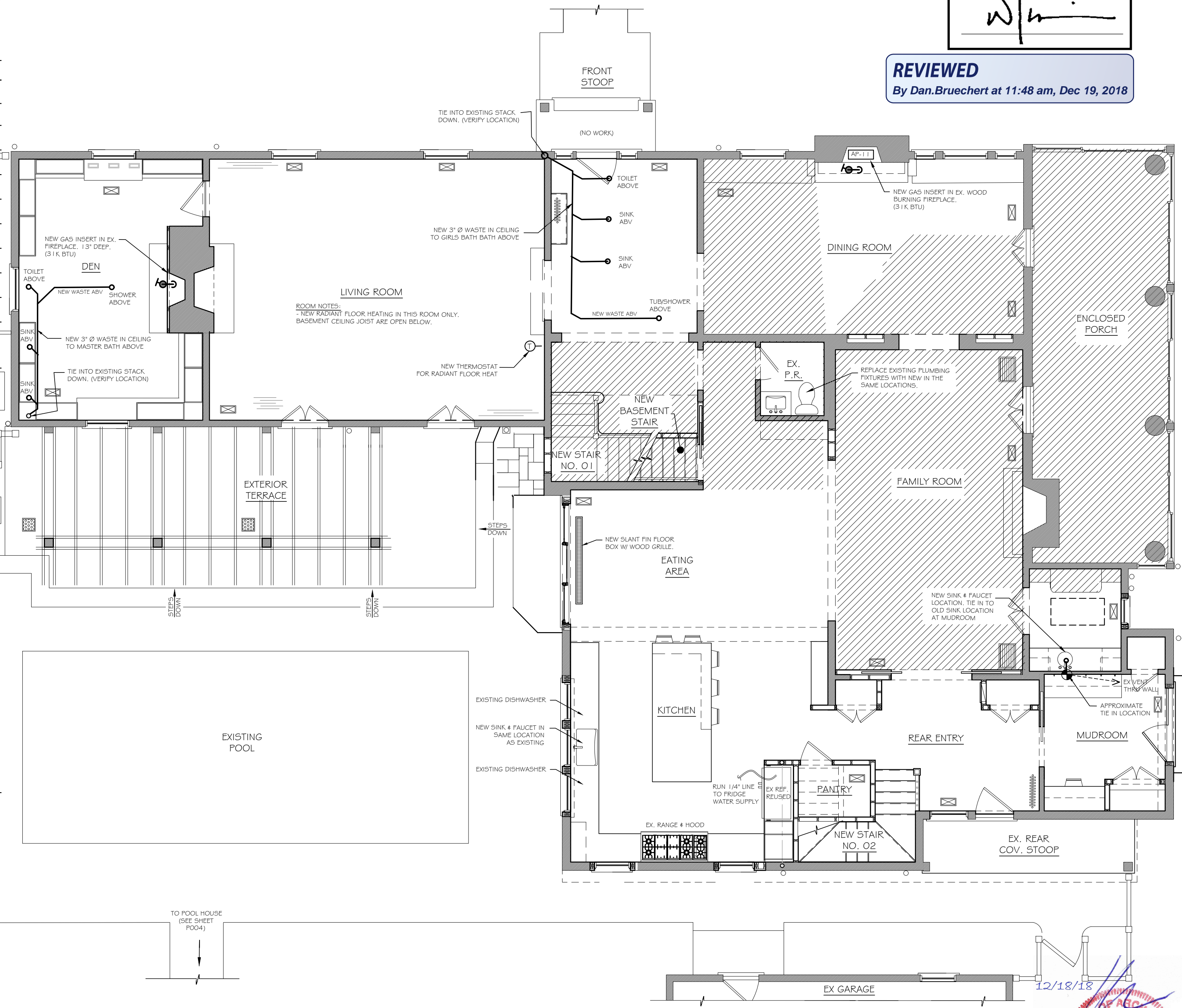
SYMBOL	DESCRIPTION
	EXISTING SANITARY PIPE (WASTE)
	SANITARY PIPE (WASTE OR SOIL)
	EXISTING VENT PIPE.
	VENT PIPE. (V)
	EXISTING COLD WATER PIPE
	NEW COLD WATER (CW)
	EXISTING HOT WATER PIPE
	NEW HOT WATER (HW)
	GAS PIPE (G)
	POINT OF CONNECTION BETWEEN NEW AND EXISTING.
	SHUT-OFF VALVE.

PLUMBING GENERAL NOTES

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- INDIVIDUAL SHOWER & TUB/SHOWER COMBINATION VALVES SHALL BE EQUIPPED W/ CONTROL VALVES OF THE PRESSURE-BALANCE, THERMOSTATIC-MIXING OR COMBINATION WITH A HIGH LIMIT STOP IN ACCORDANCE WITH ASSE 1016 OR ASME A112.18.1/CSA B125.1. THE HIGH LIMIT STOP SHALL BE SET TO LIMIT THE WATER TEMPERATURE TO NOT GREATER THAN 120°F (49°C). IN-LINE THERMOSTATIC VALVES SHALL NOT BE USED FOR COMPLIANCE W/ THIS SECTION.
- SANITARY CLEANOUTS SHALL BE PROVIDED AT THE BASE OF EACH SANITARY STACK.

AIR BARRIER AND INSULATION NOTES

- PER TABLE R403.4.1.1 (2012 IECC)
- PLUMBING
 - BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING.
 - SHOWER/TUB ON EXTERIOR WALL
 - EXTERIOR WALLS ADJACENT TO SHOWERS & TUBS SHALL BE INSULATED & THE AIR BARRIER INSTALLED SEPARATING THEM FROM THE SHOWERS & THE TUBS.



APPROVED
Montgomery County
Historic Preservation Commission

REVIEWED
By Dan.Bruechert at 11:48 am, Dec 19, 2018

REVISION

NO.	DESCRIPTION

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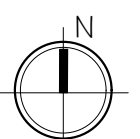
**WILLIAMS-MOORE
RESIDENCE**
20 WEST KIRKE STREET
CHEVY CHASE, MD 20815

PLUMBING PLANS

SHEET

P002

FIRST FLOOR PLAN
SCALE: 3/16"=1'-0"



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PLAN LEGEND

	EXISTING WALL
	NEW WOOD STUD WALL
	NEW CMU OR MASONRY WALL
	BATT INSULATION
	NO WORK IN THIS AREA

PLUMBING SYMBOLS LEGEND

SYMBOL	DESCRIPTION
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	VENT PIPE. (V)
	EXISTING COLD WATER PIPE
	NEW COLD WATER (CW)
	EXISTING HOT WATER PIPE
	NEW HOT WATER (HW)
	GAS PIPE (G)
	POINT OF CONNECTION BETWEEN NEW AND EXISTING.
	SHUT-OFF VALVE.

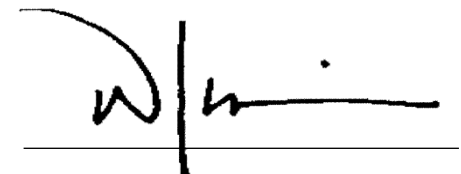
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8. SANITARY CLEANOUTS SHALL BE PROVIDED AT THE BASE OF EACH SANITARY STACK.

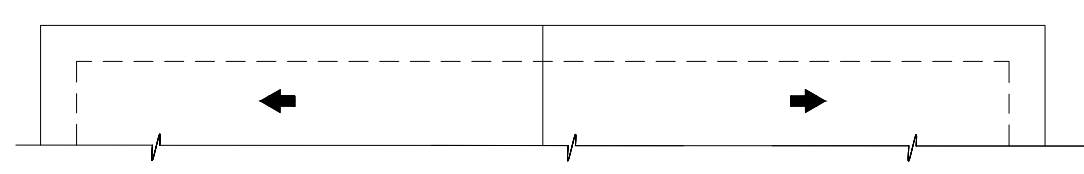
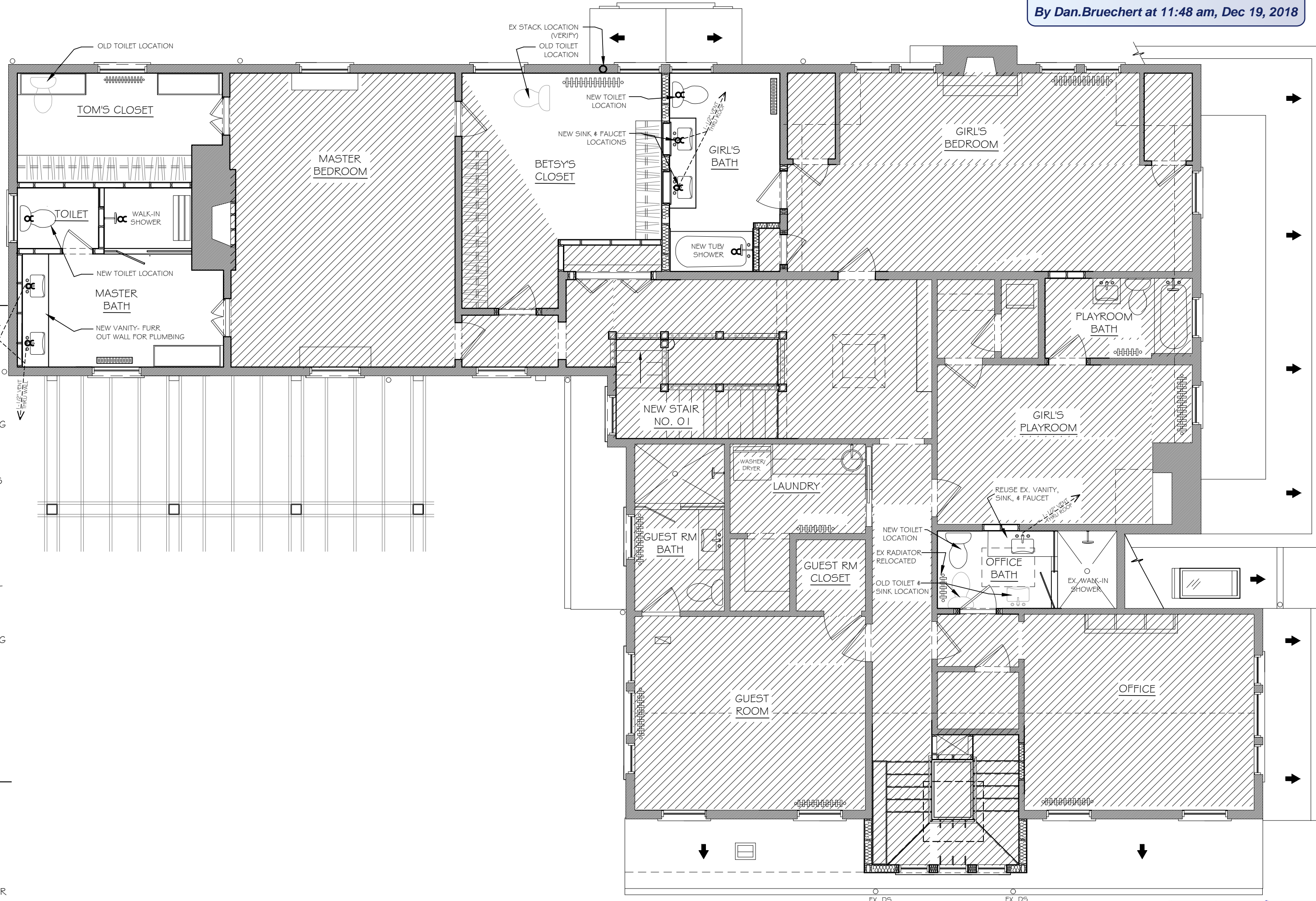
AIR BARRIER AND INSULATION NOTES

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APPROVED
Montgomery County
Historic Preservation Commission

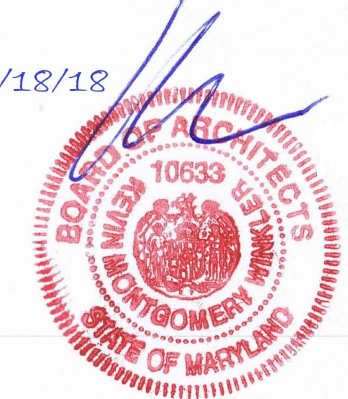


REVIEWED
By Dan.Bruechert at 11:48 am, Dec 19, 2018



SECOND FLOOR PLAN
SCALE: 3/16"=1'-0"

12/18/18



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WILLIAMS-MOORE
RESIDENCE
20 WEST KIRKE STREET
CHEVY CHASE, MD 20815

PLUMBING PLANS

SHEET

P003

PLAN LEGEND

	EXISTING WALL
	NEW WOOD STUD WALL
	NEW CMU OR MASONRY WALL
	BATT INSULATION
	NO WORK IN THIS AREA

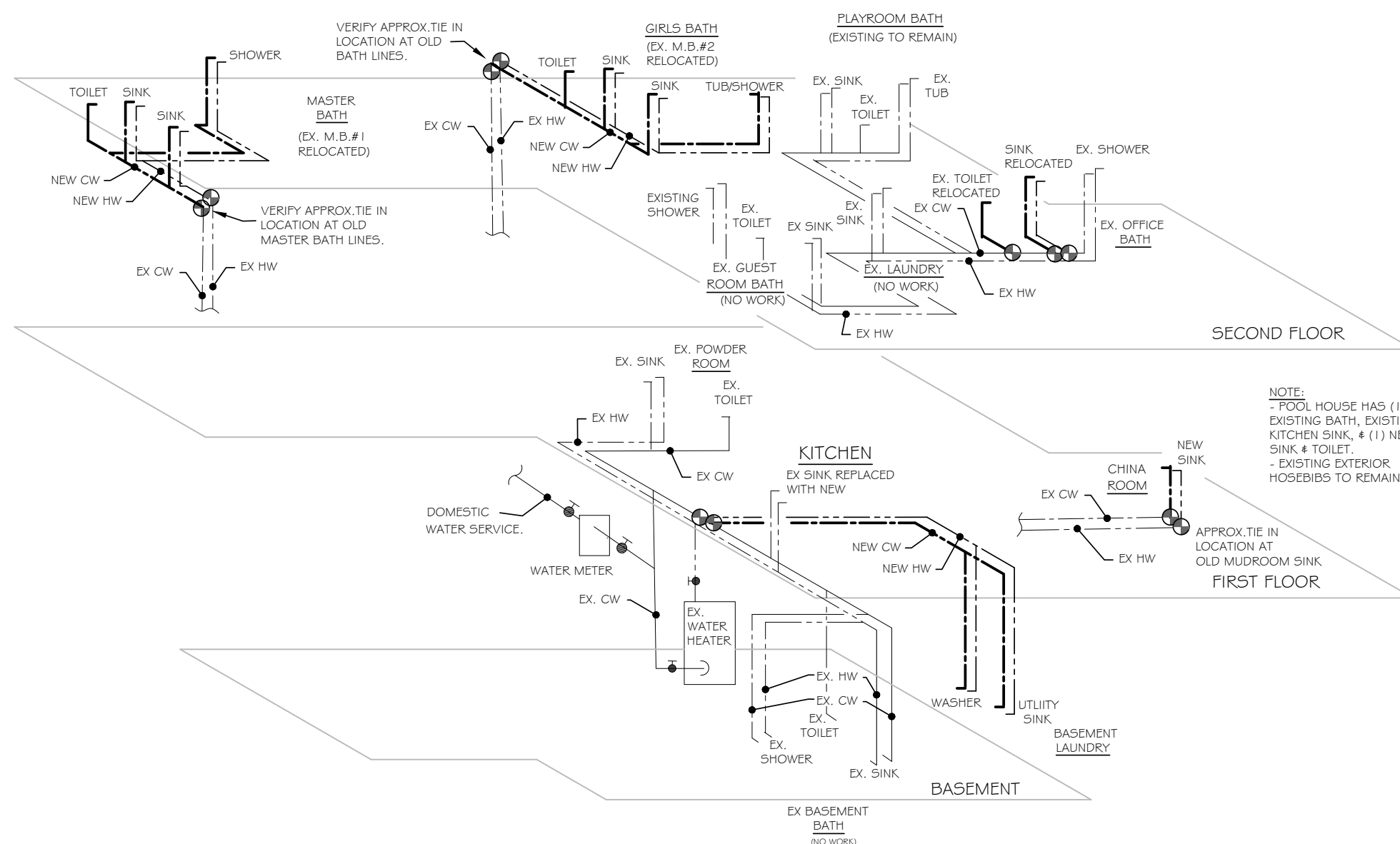
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	VENT PIPE. (V)
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	EXISTING HOT WATER PIPE
	NEW HOT WATER (HW)
	GAS PIPE (G)
	POINT OF CONNECTION BETWEEN NEW AND EXISTING.
	SHUT-OFF VALVE.

APPROVED
Montgomery County
Historic Preservation Commission

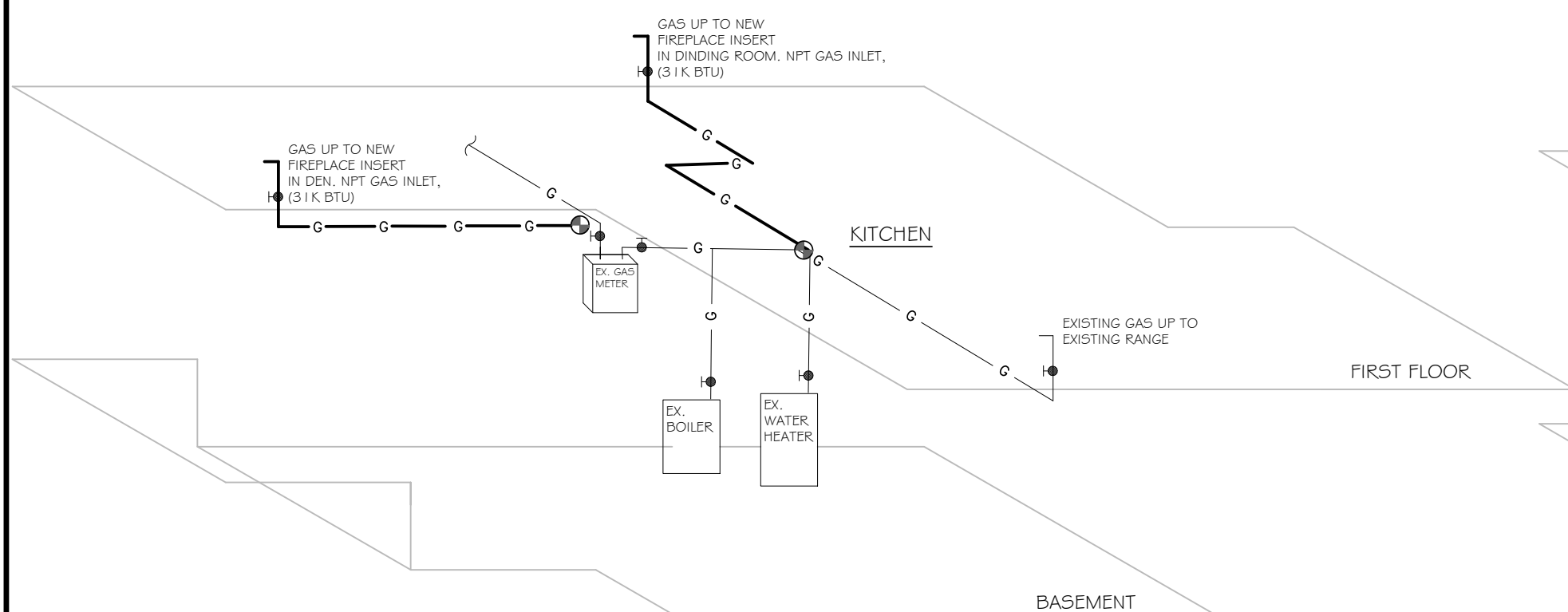
REVIEWED

By Dan.Bruechert at 11:47 am, Dec 19, 2018



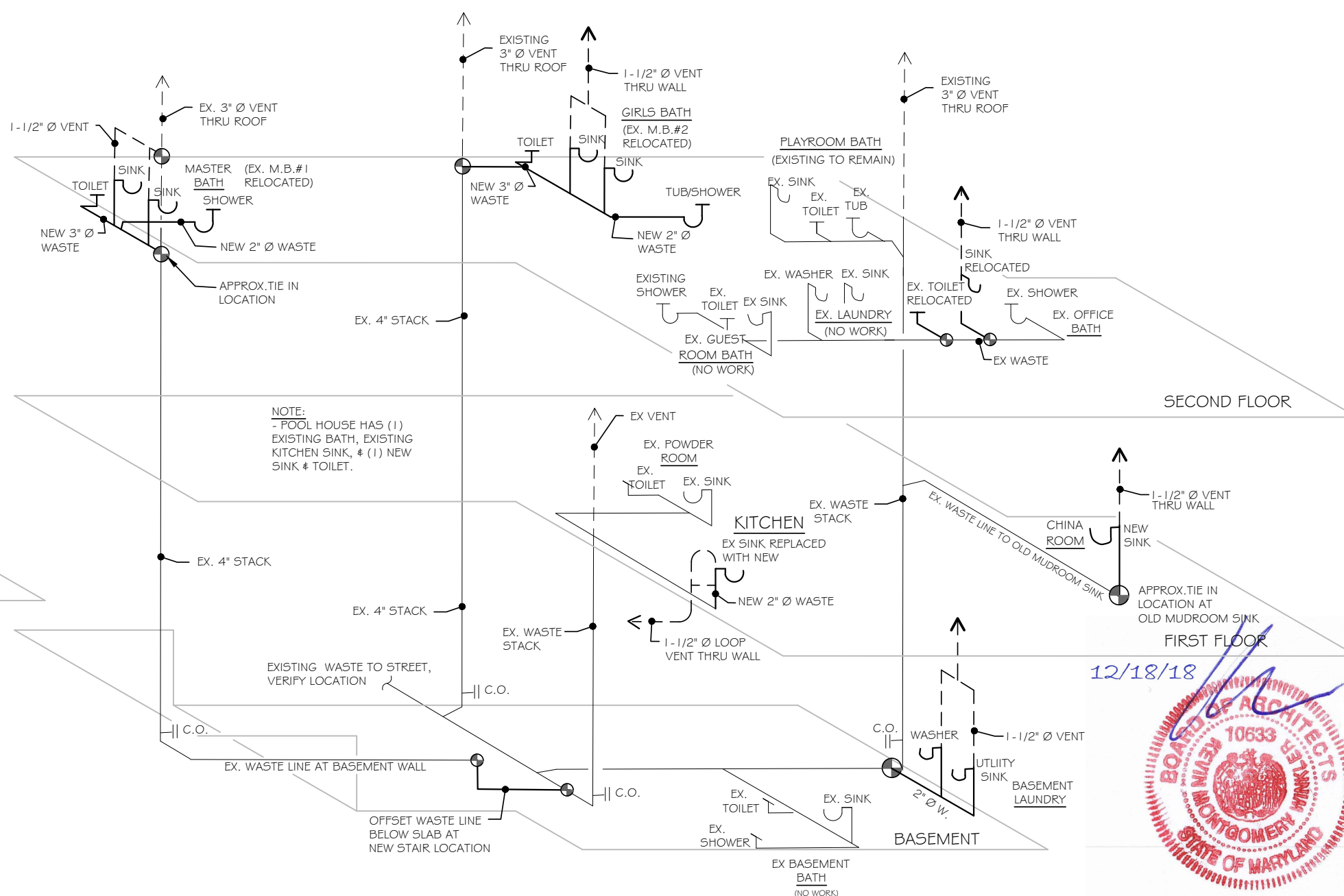
Schematic riser diagram- water

SCALE: NOT TO SCALE



Schematic riser diagram- gas

SCALE: NOT TO SCALE



Schematic riser diagram- waste

SCALE: NOT TO SCALE

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OF MARYLAND, LICENSE NO. 10633.



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5217 WISCONSIN AVENUE NW
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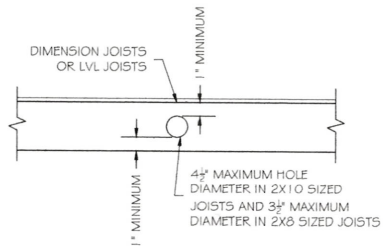
PERMIT SET	DATE	SCALE	DRAWN	REV.
	12.18.18	AS SHOWN	DTH/AWF	

WILLIAMS-MOORE
RESIDENCE
20 WEST KIRKE STREET
CHEVY CHASE, MD 20815

PLUMBING-
SCHEMATIC RISER
DIAGRAMS

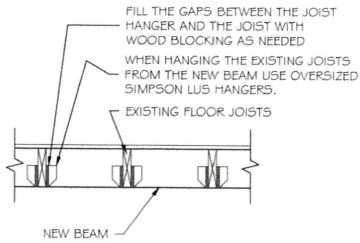
SHEET

P100



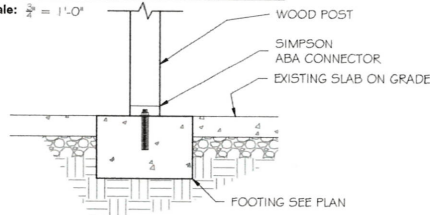
Typical Detail at Floor Joist/LVL Beam Holes

Scale: $\frac{3}{8}'' = 1'-0''$



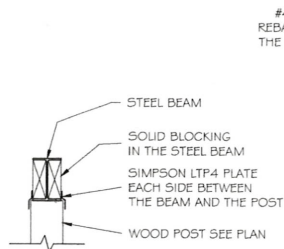
Typical Ex. Joist to New Beam Detail

Scale: $\frac{3}{8}'' = 1'-0''$



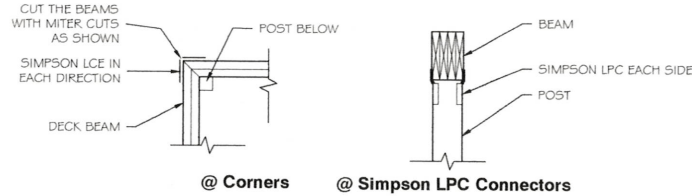
Typical Interior Post to Footing Detail

Scale: $\frac{3}{8}'' = 1'-0''$



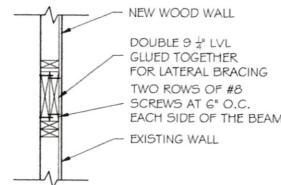
Typical Steel Beam to Wood Post Details

Scale: $\frac{3}{8}'' = 1'-0''$



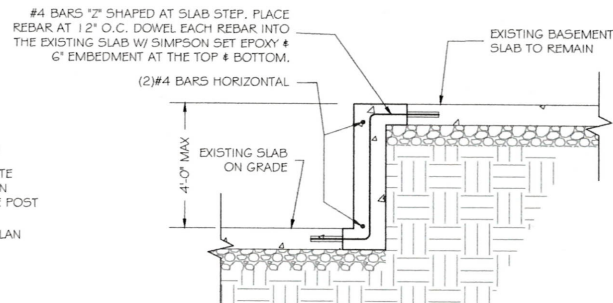
Typ. Wood Post To Beam Details

Scale: $\frac{3}{8}'' = 1'-0''$



Detail at Note S1

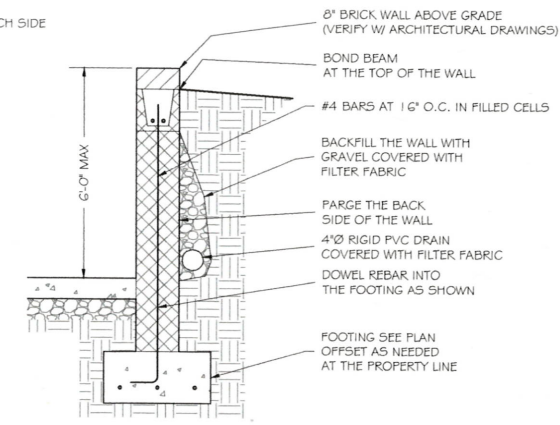
Scale: $\frac{3}{8}'' = 1'-0''$



Typical Detail @ the Basement Slab Step

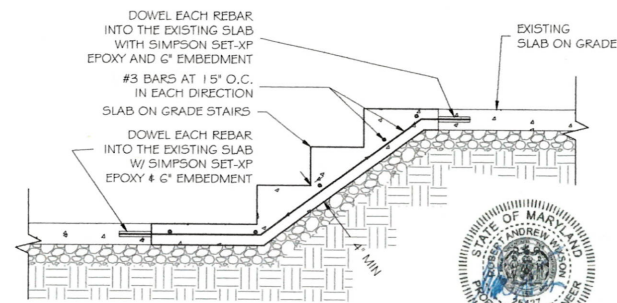
Scale: $\frac{3}{8}'' = 1'-0''$

W/lin.
TJB 12/12/18



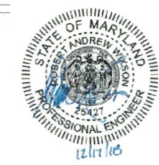
Typical Window Well Detail

Scale: $\frac{3}{8}'' = 1'-0''$



Typical Detail @ the Slab on Grade Stairs

Scale: $\frac{3}{8}'' = 1'-0''$








PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 25422, EXPIRATION DATE, 7/17/20.

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WILLIAMS-MOORE RESIDENCE	
20 WEST KIRKE STREET CHEVY CHASE, MD 20815	
STRUCTURAL DETAILS	
SHEET	
S200	

PLAN LEGEND:

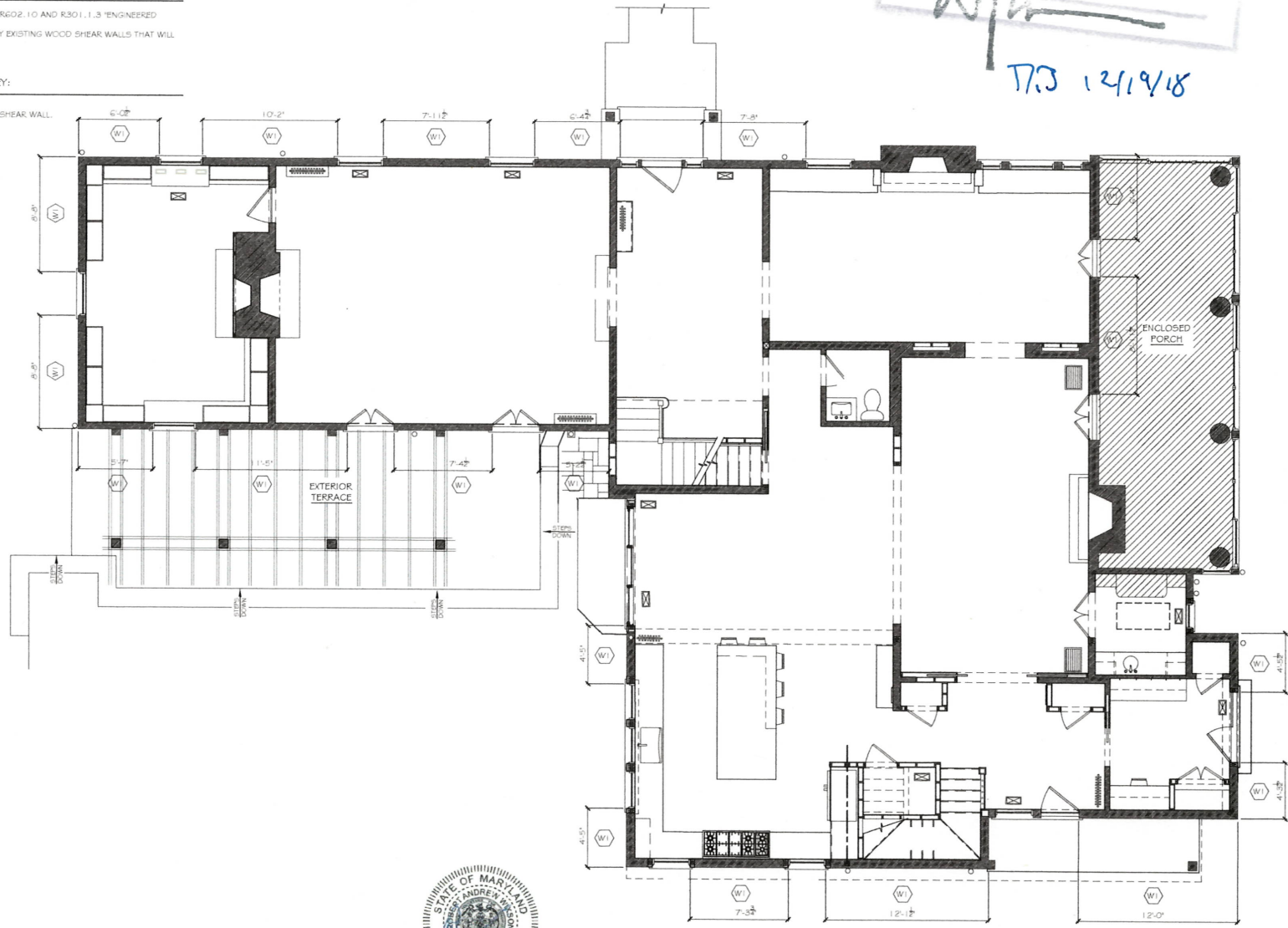
-  EXISTING WALL
-  NEW WOOD STUD WALL
-  NEW CMU WALL
-  BATT INSULATION
-  NO WORK IN THIS AREA

WIND BRACING NOTES:

1. WALLS BRACED PER IRC R602.1.0 AND R301.1.3 "ENGINEERED DESIGN".
2. THE HOME IS BRACED BY EXISTING WOOD SHEAR WALLS THAT WILL REMAIN.

WIND BRACING PLAN KEY:

 EXISTING WOOD SHEAR WALL



APPROVED
 [Signature]
 7/13 12/19/18



1 FIRST FLOOR WIND BRACING PLAN
 SCALE: 3/16"=1'-0"



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 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 25427, EXPIRATION DATE: 7/17/20

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REV.	

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 CHEVY CHASE, MD 20815

WIND BRACING PLANS

SHEET

S100

PLAN LEGEND:

	EXISTING WALL
	NEW WOOD STUD WALL
	NEW CMU WALL
	BATT INSULATION
	NO WORK IN THIS AREA

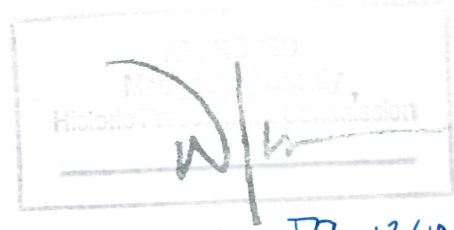
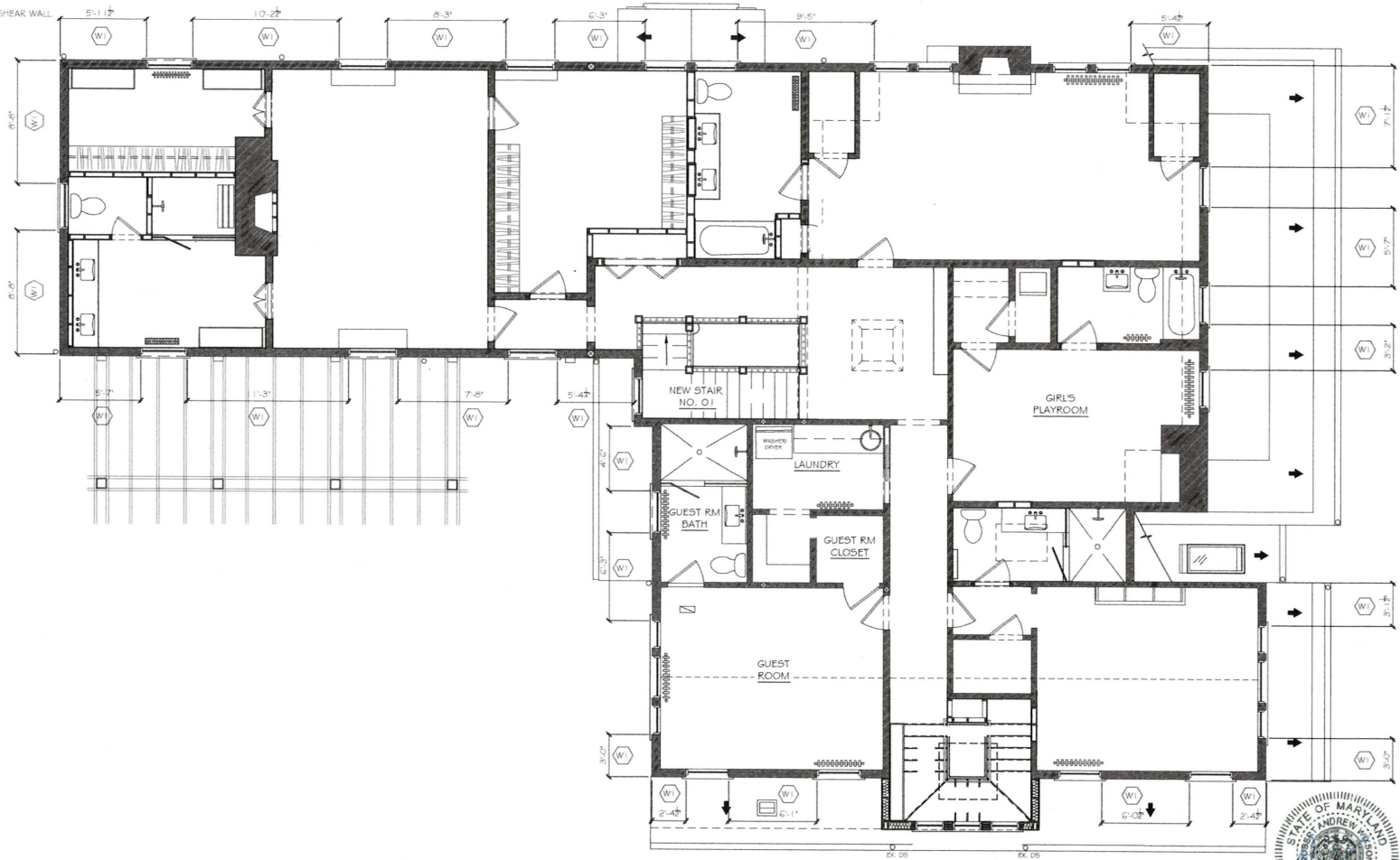
WIND BRACING NOTES:

1. WALLS BRACED PER IRC R602.1.0 AND R301.1.3 "ENGINEERED DESIGN".
2. THE HOME IS BRACED BY EXISTING WOOD SHEAR WALLS THAT WILL REMAIN.

WIND BRACING PLAN KEY:



EXISTING WOOD SHEAR WALL



TRJ 12/19/18

SECOND FLOOR WIND BRACING PLAN
SCALE: 3/16"=1'-0"








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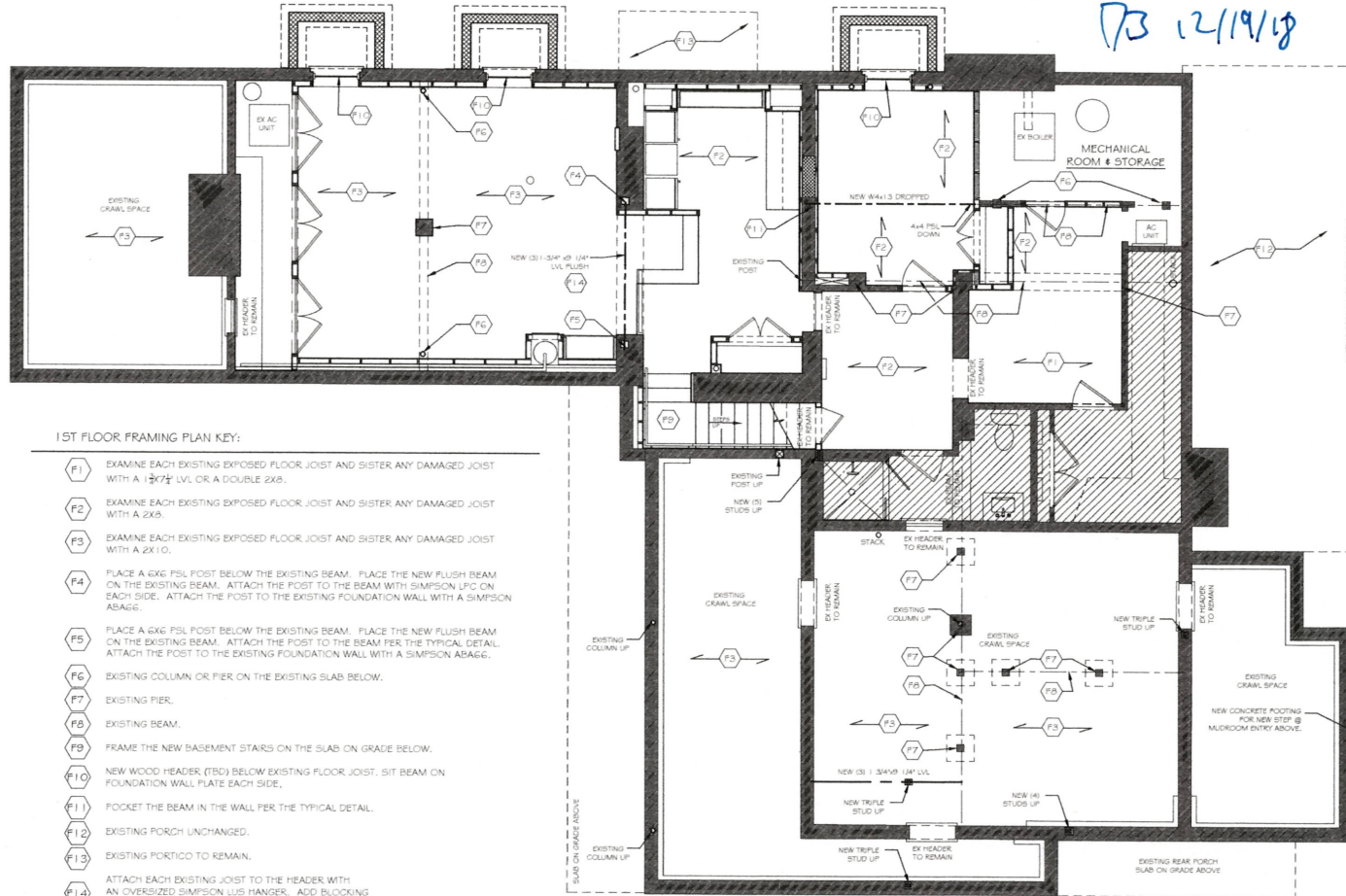
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WIND BRACING PLANS	
SHEET	
S101	

PLAN LEGEND:

-  EXISTING WALL
-  NEW WOOD STUD WALL
-  NEW CMU WALL
-  BATT INSULATION
-  NO WORK IN THIS AREA

FRAMING NOTES:


1. THE BOTTOM OF ALL FOOTINGS SHALL BE 30" MINIMUM BELOW EXTERIOR GRADE.
2. ALL HEADERS ARE ASSUMED TO BE SUPPORTED BY A DOUBLE JACK AND SINGLE KING STUD, UNLESS NOTED OTHERWISE.
3. PROVIDE SQUASH BLOCKING AS NEEDED BELOW ALL POSTS, COLUMNS, AND MULTIPLE STUDS.
4. ATTACH ALL QUADRUPLE AND QUINTUPLE BEAMS TOGETHER WITH 2 ROWS OF #2 BOLTS AT 1' @ O.C.
5. EPOXY BOLTS SHALL BE SIMPSON "SET". FOLLOW MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION AND THE INSTRUCTIONS OF ESK 177Z. EPOXY BOLTS SHALL HAVE 6" EMBEDMENT WITH SCREEN TUBES UNLESS NOTED OTHERWISE.
6. CONTRACTOR SHALL PROVIDE TEMPORARY SHORING DURING CONSTRUCTION AS NEEDED FOR THE EXISTING STRUCTURAL ELEMENTS THAT WILL REMAIN.
7. ALL WOOD BEAMS POCKETED INTO MASONRY WALLS SHALL BE COVERED WITH ROOF PAPER INSIDE THE WALL.
8. WHEN ATTACHING EXISTING JOISTS TO FLUSH BEAMS USE OVERSIZED SIMPSON LUS HANGERS. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE JOIST AND THE HANGER.
9. THE CONTRACTOR SHALL SURVEY ALL EXPOSED MASONRY IN THE HOME AND POINT ANY DETEIORATED JOINT THAT IS DISCOVERED AND REPLACE ANY DETEIORATED BRICKS OR BLOCKS.
10. ALL SLAB CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 4500PSI WITH 4% ± ENTRAINED AIR.



1ST FLOOR FRAMING PLAN KEY:

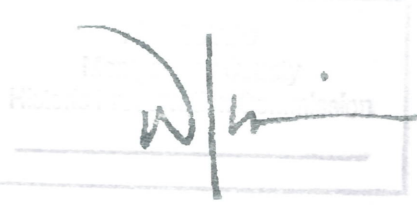
-  EXAMINE EACH EXISTING EXPOSED FLOOR JOIST AND SISTER ANY DAMAGED JOIST WITH A 1 1/2" x 2" LVL OR A DOUBLE 2X8.
-  EXAMINE EACH EXISTING EXPOSED FLOOR JOIST AND SISTER ANY DAMAGED JOIST WITH A 2X8.
-  EXAMINE EACH EXISTING EXPOSED FLOOR JOIST AND SISTER ANY DAMAGED JOIST WITH A 2X10.
-  PLACE A 6X6 PSL POST BELOW THE EXISTING BEAM. PLACE THE NEW FLUSH BEAM ON THE EXISTING BEAM. ATTACH THE POST TO THE BEAM WITH SIMPSON LFC ON EACH SIDE. ATTACH THE POST TO THE EXISTING FOUNDATION WALL WITH A SIMPSON ABAGG.
-  PLACE A 6X6 PSL POST BELOW THE EXISTING BEAM. PLACE THE NEW FLUSH BEAM ON THE EXISTING BEAM. ATTACH THE POST TO THE BEAM PER THE TYPICAL DETAIL. ATTACH THE POST TO THE EXISTING FOUNDATION WALL WITH A SIMPSON ABAGG.
-  EXISTING COLUMN OR PIER ON THE EXISTING SLAB BELOW.
-  EXISTING PIER.
-  EXISTING BEAM.
-  FRAME THE NEW BASEMENT STAIRS ON THE SLAB ON GRADE BELOW.
-  NEW WOOD HEADER (TBD) BELOW EXISTING FLOOR JOIST. SIT BEAM ON FOUNDATION WALL PLATE EACH SIDE.
-  POCKET THE BEAM IN THE WALL PER THE TYPICAL DETAIL.
-  EXISTING PORCH UNCHANGED.
-  EXISTING PORTICO TO REMAIN.
-  ATTACH EACH EXISTING JOIST TO THE HEADER WITH AN OVERSIZED SIMPSON LUS HANGER. ADD BLOCKING AS NEEDED TO FILL IN THE GAPS BETWEEN THE JOISTS AND THE HANGERS.

1 0007 BASEMENT PLAN / 1ST FLR FRAMING SCALE: 3/16" = 1'-0"

REVISION	
	
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WILLIAMS-MOORE RESIDENCE 20 WEST KIRKE STREET CHEVY CHASE, MD 20815	
STRUCTURAL PLANS	
SHEET	
S002	

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TJM 12/19/18

STRUCTURAL NOTES


1. All work and materials to comply with the requirements of the 2015 IBC and IRC codes as revised by Montgomery County.
2. Codes: the following design standards are applicable by reference:
ACI 530-13/ASCE 5-13 Building Code Requirements for Masonry Structures.
AISC - Timber Construction Manual - fifth Ed.
ACI 318-14 Building Code Requirements for Reinforced Concrete
AISC - 360-10 Specifications for Steel Buildings.
3. Foundations: footings, underpinning and slab on grades are designed to bear on native soil type SM or SC with an allowable bearing pressure of 2000 psf. A qualified soil-bearing inspector prior to placement of concrete shall verify all bearing values.
4. Structural steel:
 - A. All structural steel, including detail material shall conform to ASTM A572 Fy = 50ksi, U.N.O.
 - B. All structural tubing shall conform to ASTM A500, grd.B
 - C. All steel pipe shall be ASTM A53, type E or S, grade B
 - D. All welders shop and field, shall be certified. Use E70xx electrodes only.
 - E. All steel exposed to weather and exterior masonry support shall receive one shop coat of corrosion-inhibiting primer.
 - F. Detailing, fabrication and erection shall be in accordance with AISC. Adequately brace all steel against lateral loads during erection.
 - G. All exterior structural steel shall receive rust preventative paint.
 - H. Connections:
 - I. All beam connections shall be simple shear connections, U.N.O. Where no reaction is provided, the beam shall be assumed to carry 120 % of the allowable uniform load in Kips for beams laterally supported, as given in the AISC steel construction manual.
 - II. Except as noted, all fasteners shall be 3/4" diameter ASTM A325 bolts, designed to act in bearing type connections with threads included.
5. Lumber:
 - A. Lumber shall be SPF #2 with a min. Fb = 875psi Min. Fv = 135psi and min. E = 1,400,000psi.
 - B. LVL and PSL shall have a min. Fb = 2850psi; Fv = 285psi; E = 2,000,000psi.
 - C. Floor decking shall be 3/4" APA rated decking. Roof decking shall be 1/2" APA rated decking. Wall sheathing shall be 1/2" APA rated sheathing. Glue and screw the floor decking to the joists.
 - D. Interior wood walls shall be 2x4 studs at 16" O.C. and exterior walls shall be 2x6 studs at 16" O.C. with a double top plate and single bottom plate. Provide solid blocking at the midheight of each wall and at a minimum of 48" O.C. vertically.
 - E. Provide double joists under all walls that run parallel to floor framing.
 - F. Nail all multiple members together per the manufacturer's recommendations and at a minimum use 2-10d nails at 6" O.C. stagger sides that nails are driven from.
 - G. Provide bridging at center of all joist spans Exceeding 8'-0" and at 1/3 points of all joist spans exceeding 16'-0". Provide solid blocking at all bearing points on top of walls or beams.
 - H. Provide solid blocking below all wood posts.
 - I. All posts shall have Simpson Cap and Base Plates typ.
 - J. All joists shall have Simpson Hangers where applicable.
 - K. Glue all multiple studs together. Nail together with 2-10d nails at 3" O.C. Stagger the sides of the studs that the nails are driven from.
 - L. All lumber in contact with masonry or concrete or within 8" of soil shall be pressure treated. All lumber to conform to IRC R319 for protection against corrosion and termite damage.
 - M. All lumber shall be kiln dried. Store lumber on site in such a manner as to prevent the seepage of water into the wood.
 - N. Wood Lintels shall be as follows:
 - Opening ≤ 3'-0" - 2-2x6
 - 3'-0" < Opening ≤ 5'-0" - 2-2x8
 - 5'-0" < Opening ≤ 8'-0" - 2-2x10
 - Greater than 8'-0" - See plans

6. Fasteners:
 - A. All prefabricated angles, bearing plates, and joist hangers shall be installed per the manufacturer recommendations.
 - B. Follow the manufacturer recommendations for setting epoxy bolts.
 - C. Expansion bolts shall be rawl power studs.
7. Masonry:
 - A. Masonry construction shall be in conformance with the applicable sections of ACI 530-13/ASCE5-13, "Specifications for Masonry Structures."
 - B. Concrete masonry units shall be hollow load bearing units (ASTM C90) grade n-1 with a net strength of 2000psi and F'm - 1500psi.
 - C. All joints to be filled solid with mortar.
 - D. Mortar to comply with ASTM C270 (type M or S).
 - E. Provide corrugated masonry ties between brick facia and wood walls or cmu walls at 16" O.C. in each direction.
 - F. Provide 9ga truss style joint reinforcement @ 16" O.C. vertically.
 - G. Lintels shall be as follows:
 - Opening ≤ 3'-0" - L4x3 1/2 x 1/2 LLV/ 4" of wall
 - 3'-0" < Opening ≤ 7'-0" - L6x3 1/2 x 1/2 LLV/ 4" of wall.
 - Opening > 7'-0" - See Plan
8. Cast in place concrete:
 - A. Concrete construction shall be in conformance with the applicable sections of ACI 318-14, "Part 3 - Construction Requirements."
 - B. Concrete shall have a minimum compressive strength at 28 days of 3000psi, UNO (unless noted otherwise).
 - C. All concrete shall be placed with a slump of 4" (± 1/2")
 - D. All concrete shall be normal weight, UNO.
 - E. All concrete exposed to weather shall have 6% +1% entrained air.
 - F. Contractor shall pour extra concrete to account for the deflection of the formwork to provide a flat finished surface.
 - G. Concrete cover for reinforcement shall be:
 - Columns and beams 1 1/2"
 - Slabs 3/4"
 - Footings 3"
9. Reinforcement:
 - A. Reinforcing bars shall be deformed bars conforming to ASTM A615, grade 60 (Fy = 60ksi)
 - B. Welded wire fabric (w/f) shall conform to ASTM a185. Lap edges of wire fabric at least 6" in each direction.
10. Dimensions: The contractor shall field verify all dimensions prior to fabrication of structural components.
11. Coordination: The contractor shall coordinate all sleeves, duct openings and holes between trades. Any conduits or pipes embedded in concrete must be in accordance with ACI 318-14, chapter 6. Where sleeves are closely spaced in a group, the group shall be treated as an opening and reinforced accordingly. Submit drawings showing all opening sizes and locations for the approval by the structural engineer.

Dead Loads:	
SPF #2 -	25 PCF
1/4" Decking -	1.7 PSF
3/4" Decking -	2.5 PSF
Asphalt Shingles -	2.5 PSF
Slate Shingles -	15 PSF
1/2" Drywall -	2.2 PSF
Insulation -	1.5 PSF
Siding -	2.0 PSF
CMU -	87 PCF
Brick -	130 PCF
LIVE LOADS:	
DECK:	40PSF
ATTIC:	20PSF
FLOOR:	40PSF
BALCONY:	60PSF
BEDROOM:	40PSF
ROOF:	30PSF
WIND LOADS:	
WIND SPEED:	Vult = 115mph; Vasd = 89mph
WIND LOAD IMPORTANCE FACTOR:	1.0
WIND EXPOSURE FACTOR:	B
WIND DESIGN PRESSURE:	11PSF
SNOW LOADS:	
GROUND SNOW LOAD (Pg):	30PSF
FLAT ROOF SNOW LOAD(PF):	30PSF
SNOW EXPOSURE FACTOR (Ce):	0.9
SNOW IMPORTANCE FACTOR (I):	1.0
Deflection Limitations:	
Rafters:	L/240
Interior Walls and Partitions:	H/180
Floors and Plastered Ceilings:	L/360
All Other Structural Members:	L/240
Ext. Walls with plaster or stucco finishes:	L/360
Ext. Walls - Wind Loads with Brittle Finishes:	L/240
Ext. walls - Wind Loads with Flexible Finishes:	L/120
SEISMIC DESIGN DATA:	
SEISMIC IMPORTANCE FACTOR (Ie):	1.0
SPECTRAL RESPONSE ACCELERATIONS:	
(Ss):	20.0%
(S1):	8.0%
SPECTRAL RESPONSE COEFFICIENTS:	
(Sds):	33%
(Sd1):	18.7%
SEISMIC DESIGN CATEGORY:	B
SEISMIC SITE CLASSIFICATION:	D
SEISMIC COEFFICIENT (Cs):	0.05
SEISMIC MODIFICATION FACTOR (R):	1.5
BASE SHEAR:	1.5k
ANALYSIS PROCEDURE:	EQUIV. LATERAL FORCE
BASIC SFRS:	LIGHT FRAMED WALLS



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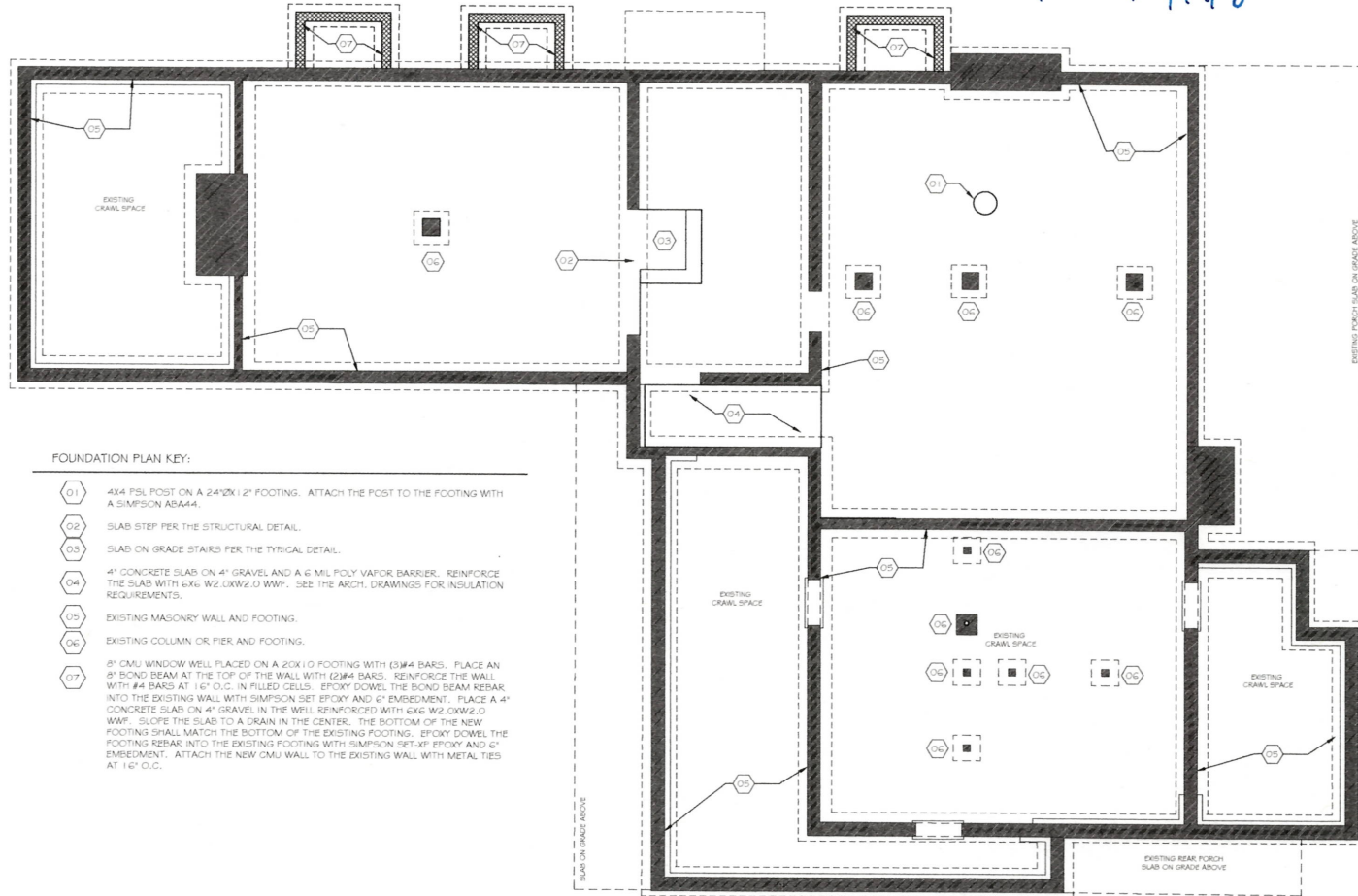
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PHASE DATE SCALE DRAWN REV.	PERMIT SET 12.18.18 AS SHOWN DTHAWF
WILLIAMS-MOORE RESIDENCE 20 WEST KIRKE STREET CHEVY CHASE, MD 20815	
DETAILS & GENERAL NOTES	
SHEET	
S201	

PLAN LEGEND:

	EXISTING WALL
	NEW WOOD STUD WALL
	NEW CMU WALL
	BATT INSULATION
	NO WORK IN THIS AREA

FRAMING NOTES:

1. THE BOTTOM OF ALL FOOTINGS SHALL BE 30" MINIMUM BELOW EXTERIOR GRADE.
2. ALL HEADERS ARE ASSUMED TO BE SUPPORTED BY A DOUBLE JACK AND SINGLE KING STUD, UNLESS NOTED OTHERWISE.
3. PROVIDE SQUASH BLOCKING AS NEEDED BELOW ALL POSTS, COLUMNS, AND MULTIPLE STUDS.
4. ATTACH ALL QUADRUPLE AND QUINTUPLE BEAMS TOGETHER WITH 2 ROWS OF #2 BOLTS AT 16" O.C.
5. EPOXY BOLTS SHALL BE SIMPSON "SET". FOLLOW MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION AND THE INSTRUCTIONS OF ESR-1772. EPOXY BOLTS SHALL HAVE 6" EMBEDMENT WITH SCREEN TUBES UNLESS NOTED OTHERWISE.
6. CONTRACTOR SHALL PROVIDE TEMPORARY SHORING DURING CONSTRUCTION AS NEEDED FOR THE EXISTING STRUCTURAL ELEMENTS THAT WILL REMAIN.
7. ALL WOOD BEAMS POCKETED INTO MASONRY WALLS SHALL BE COVERED WITH ROOF PAPER INSIDE THE WALL.
8. WHEN ATTACHING EXISTING JOISTS TO FLUSH BEAMS USE OVERSIZED SIMPSON LUS HANGERS. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE JOIST AND THE HANGER.
9. THE CONTRACTOR SHALL SURVEY ALL EXPOSED MASONRY IN THE HOME AND POINT ANY DETEIORATED JOINT THAT IS DISCOVERED AND REPLACE ANY DETEIORATED BRICKS OR BLOCKS.
10. ALL SLAB CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 4500PSI WITH 6% ± 1% ENTRAINED AIR.



FOUNDATION PLAN KEY:

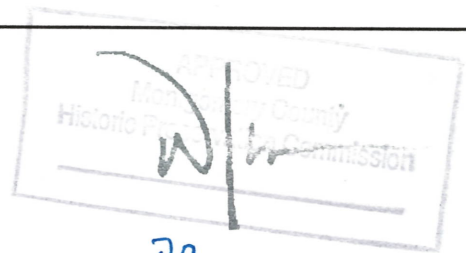
- (01) 4x4 FSL POST ON A 24"x24"x2" FOOTING. ATTACH THE POST TO THE FOOTING WITH A SIMPSON A5A44.
- (02) SLAB STEP PER THE STRUCTURAL DETAIL.
- (03) SLAB ON GRADE STAIRS PER THE TYPICAL DETAIL.
- (04) 4" CONCRETE SLAB ON 4" GRAVEL AND A 6 MIL POLY VAPOR BARRIER. REINFORCE THE SLAB WITH 6X6 W2.0XW2.0 WWF. SEE THE ARCH. DRAWINGS FOR INSULATION REQUIREMENTS.
- (05) EXISTING MASONRY WALL AND FOOTING.
- (06) EXISTING COLUMN OR PIER AND FOOTING.
- (07) 8" CMU WINDOW WELL PLACED ON A 20X10 FOOTING WITH (3)#4 BARS. PLACE AN 8" BOND BEAM AT THE TOP OF THE WALL WITH (3)#4 BARS. REINFORCE THE WALL WITH #4 BARS AT 16" O.C. IN FILLED CELLS. EPOXY DOWEL THE BOND BEAM REBAR INTO THE EXISTING WALL WITH SIMPSON SET EPOXY AND 6" EMBEDMENT. PLACE A 4" CONCRETE SLAB ON 4" GRAVEL IN THE WELL REINFORCED WITH 6X6 W2.0XW2.0 WWF. SLOPE THE SLAB TO A DRAIN IN THE CENTER. THE BOTTOM OF THE NEW FOOTING SHALL MATCH THE BOTTOM OF THE EXISTING FOOTING. EPOXY DOWEL THE FOOTING REBAR INTO THE EXISTING FOOTING WITH SIMPSON SET "X" EPOXY AND 6" EMBEDMENT. ATTACH THE NEW CMU WALL TO THE EXISTING WALL WITH METAL TIES AT 16" O.C.

FOUNDATION PLAN
SCALE: 3/16" = 1'-0"



PROFESSIONAL CERTIFICATION:

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 25421, EXPIRATION DATE: 7/17/20.



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SCALE	AS SHOWN
DRAWN	DTHIAWF
REV.	

WILLIAMS-MOORE
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STRUCTURAL PLANS

SHEET

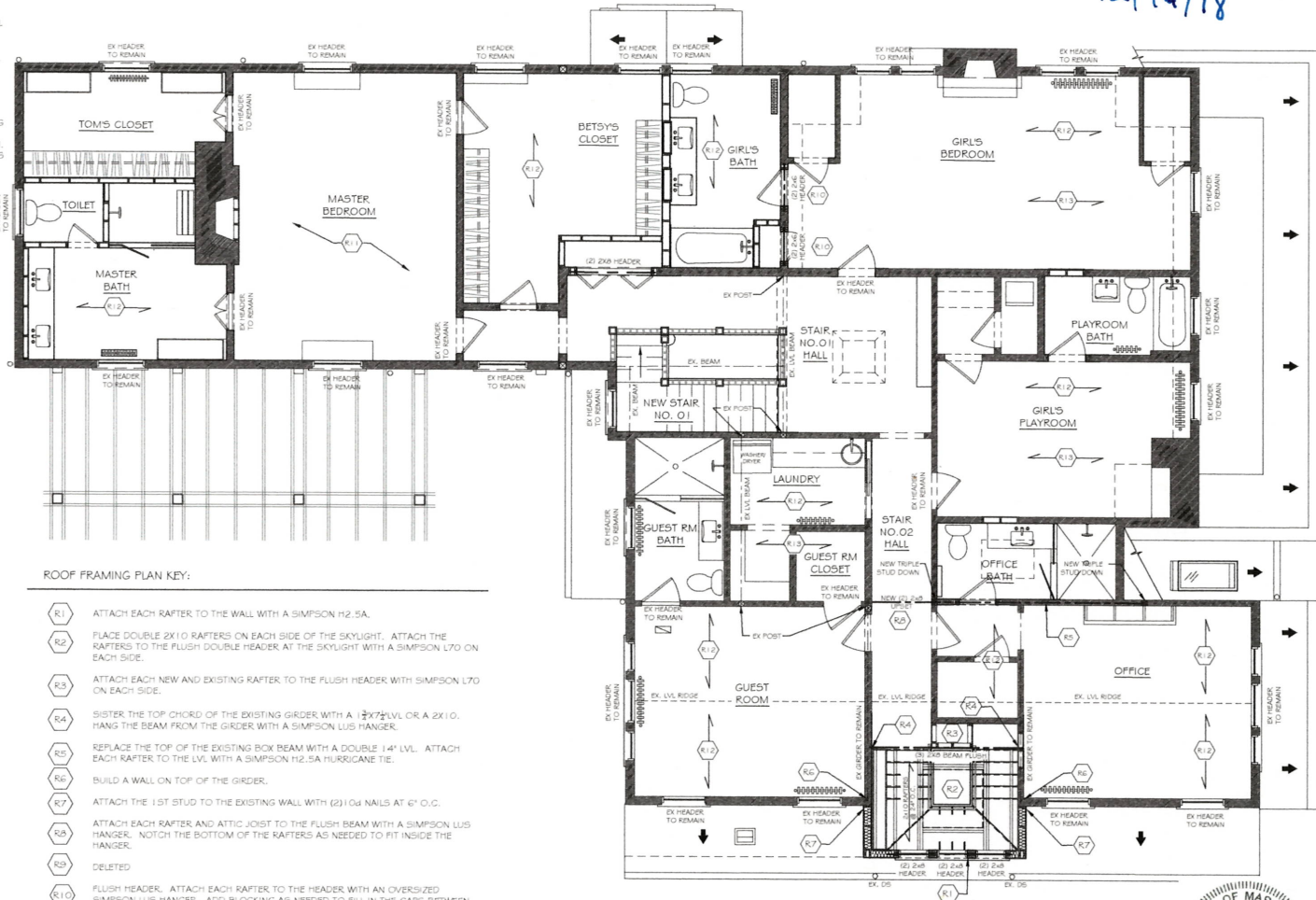
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PLAN LEGEND:

	EXISTING WALL
	NEW WOOD STUD WALL
	NEW CMU WALL
	BATT INSULATION
	NO WORK IN THIS AREA

FRAMING NOTES:

1. THE BOTTOM OF ALL FOOTINGS SHALL BE 30" MINIMUM BELOW EXTERIOR GRADE.
2. ALL HEADERS ARE ASSUMED TO BE SUPPORTED BY A DOUBLE JACK AND SINGLE KING STUD, UNLESS NOTED OTHERWISE.
3. PROVIDE SQUASH BLOCKING AS NEEDED BELOW ALL POSTS, COLUMNS, AND MULTIPLE STUDS.
4. ATTACH ALL QUADRUPLE AND QUANTIPLE BEAMS TOGETHER WITH 2 ROWS OF #2 BOLTS AT 16" O.C. EPOXY BOLTS SHALL BE SIMPSON "SET". FOLLOW MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION AND THE INSTRUCTIONS OF ESR-1772. EPOXY BOLTS SHALL HAVE 6" EMBEDMENT WITH SCREEN TUBES UNLESS NOTED OTHERWISE.
5. CONTRACTOR SHALL PROVIDE TEMPORARY SHORING DURING CONSTRUCTION AS NEEDED. FOR THE EXISTING STRUCTURAL ELEMENTS THAT WILL REMAIN, ALL WOOD BEAMS POCKETED INTO MASONRY WALLS SHALL BE COVERED WITH ROOF PAPER INSIDE THE WALL.
6. WHEN ATTACHING EXISTING JOISTS TO FLUSH BEAMS USE OVERSIZED SIMPSON LUS HANGERS. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE JOIST AND THE HANGER.
7. THE CONTRACTOR SHALL SURVEY ALL EXPOSED MASONRY IN THE HOME AND POINT ANY DETERIORATED JOINT THAT IS DISCOVERED AND REPLACE ANY DETERIORATED BRICKS OR BLOCKS.
8. ALL SLAB CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 4500PSI WITH 6% ± 1% ENTRAINED AIR.



ROOF FRAMING PLAN KEY:

- (R1) ATTACH EACH RAFTER TO THE WALL WITH A SIMPSON H2.5A.
- (R2) PLACE DOUBLE 2X10 RAFTERS ON EACH SIDE OF THE SKYLIGHT. ATTACH THE RAFTERS TO THE FLUSH DOUBLE HEADER AT THE SKYLIGHT WITH A SIMPSON L70 ON EACH SIDE.
- (R3) ATTACH EACH NEW AND EXISTING RAFTER TO THE FLUSH HEADER WITH SIMPSON L70 ON EACH SIDE.
- (R4) SISTER THE TOP CHORD OF THE EXISTING GIRDER WITH A 1 1/2"x7" LVL OR A 2X10. HANG THE BEAM FROM THE GIRDER WITH A SIMPSON LUS HANGER.
- (R5) REPLACE THE TOP OF THE EXISTING BOX BEAM WITH A DOUBLE 14" LVL. ATTACH EACH RAFTER TO THE LVL WITH A SIMPSON H2.5A HURRICANE TIE.
- (R6) BUILD A WALL ON TOP OF THE GIRDER.
- (R7) ATTACH THE 1ST STUD TO THE EXISTING WALL WITH (2) 1/4" NAILS AT 6" O.C.
- (R8) ATTACH EACH RAFTER AND ATTIC JOIST TO THE FLUSH BEAM WITH A SIMPSON LUS HANGER. NOTCH THE BOTTOM OF THE RAFTERS AS NEEDED TO FIT INSIDE THE HANGER.
- (R9) DELETED
- (R10) FLUSH HEADER. ATTACH EACH RAFTER TO THE HEADER WITH AN OVERSIZED SIMPSON LUS HANGER. ADD BLOCKING AS NEEDED TO FILL IN THE GAPS BETWEEN THE RAFTERS AND THE HANGERS.
- (R11) EXISTING HIP ROOF FRAMING TO REMAIN.
- (R12) EXISTING RAFTERS TO REMAIN.
- (R13) EXISTING ATTIC JOISTS TO REMAIN.

2ND FLOOR PLAN/ROOF FRAMING
SCALE: 1/8"=1'-0"



APPROVED
Historic Preservation Commission
WIK
DRS 12/19/18

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STRUCTURAL PLANS

SHEET

S004

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