



HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

William Kirwan
Chairman

Date: March 12, 2018

MEMORANDUM

TO: Diane Schwartz Jones
Department of Permitting Services

FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit: Swimming pool, Retaining wall, and fencing

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the February 21, 2018 Historic Preservation Commission meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Julian Mulvey
Address: 18 Montgomery Ave., Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3408 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.





HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Email: TBOWERS@ANTHONYSYLVAN.COM Contact Person: TOM BOWERS
Daytime Phone No.: 757-969-0609

Tax Account No.: _____
Name of Property Owner: JULIAN MULVEY Daytime Phone No.: 202-321-1267

Address: 18 MONTGOMERY AVE TAKOMA PARK MD. 20912
Street Number City State Zip Code

Contractor: ANTHONY + SYLVAN POOLS Phone No.: 301-362-5698

Contractor Registration No.: MD HIGH 129792

Agent for Owner: TOM BOWERS Daytime Phone No.: 757-969-0609

LOCATION OF BUILDING/PREMISE

House Number: 18 Street: MONTGOMERY AVE

Town/City: TAKOMA PARK Nearest Cross Street: HICKORY AVE.

Lot: 9 Block: 18 Subdivision: BF GILBERTS ADD TO TAKOMA PARK

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT/ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|------------------------------------|---|---|---|------------------------------------|---|--|-------------------------------|-------------------------------|
| <input type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input checked="" type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input checked="" type="checkbox"/> Fence/Wall (complete Section 4) | | <input checked="" type="checkbox"/> Other: <u>INGROUND POOL</u> | | | |
- 1B. Construction cost estimate: \$ 105,000
- 1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
- 2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

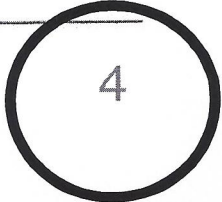
- FENCE 3A. Height 6 feet _____ inches RETAINING WALL - 2' HEIGHT. SEE SURVEY FOR LOCATION
- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

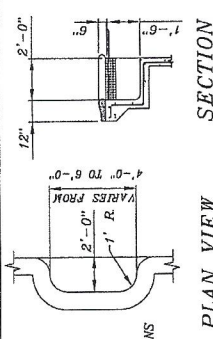
[Signature] Date: 1-29-18

Signature of owner or authorized agent Date

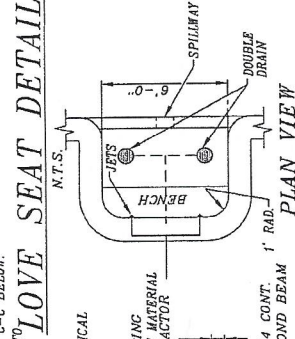
Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: _____ Date Filed: _____ Date Issued: _____



3/12/18
173



LOVE SEAT DETAIL



SPA DETAIL

9/12/17

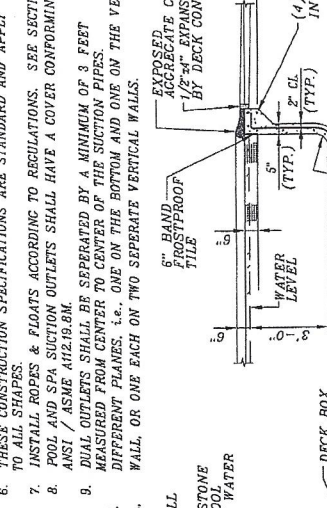
P. ANY ENGINEERING COMPANY
P. LENTZ
 809 Hamilton Street • Allentown, PA 18101
JERREY P. LENTZ, P.E.
 MD LICENSE # 26622

STANDARD CONSTRUCTION DETAILS
 -TYPE 1 POOL-

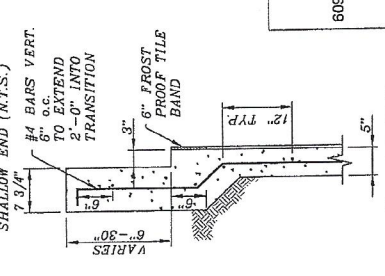
ANTHONY & SYLVAN POOLS
 WHERE AMERICA SWIMS
 Route 611, Doylestown, PA 18901 (800) 499-0963

9/27/17

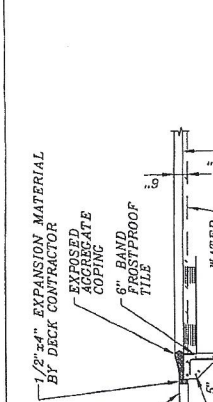
- NOTES:**
1. POOL FLOOR TO BE PLACED ON UNDISTURBED NATURAL SOIL.
 2. POOL STRUCTURE DESIGNED IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE (A.C.I.) STANDARD FOR BUILDING CODE REQUIREMENTS (ACI 308R).
 3. ALL CONCRETE SHALL BE PROPORTIONED PER ACI 308R GUIDE TO SHOTCRETE MIX SHALL BE PROPORTIONED WITH PORTLAND CEMENT, FINE SAND AGGREGATES & WATER.
 4. ALL STEEL REINFORCING SHALL BE DEFORMED BARS COMPLYING WITH AMERICAN SOCIETY FOR TESTING AND MATERIALS (A.S.T.M.) SPECIFICATIONS A615-40. LAP BARS A MINIMUM OF 12 INCHES.
 5. OWNER SHALL INSTALL ADEQUATE FENCE AND ELECTRIC APPROVED BY LOCAL BUILDING DEPARTMENT.
 6. THESE CONSTRUCTION SPECIFICATIONS ARE STANDARD AND APPLY TO ALL SHAPES.
 7. INSTALL ROPES & FLOATS ACCORDING TO REGULATIONS. SEE SECTION C-C BELOW.
 8. POOL AND SPA SUCTION OUTLETS SHALL HAVE A COVER CONFORMING TO ANSI / ASME AH2.19.9M.
 9. DUAL OUTLETS SHALL BE SEPARATED BY A MINIMUM OF 3 FEET MEASURED FROM CENTER TO CENTER OF THE SUCTION PIPES. DIFFERENT PLANES, I.E. ONE ON THE BOTTOM AND ONE ON THE VERTICAL WALL, OR ONE EACH ON TWO SEPARATE VERTICAL WALLS.



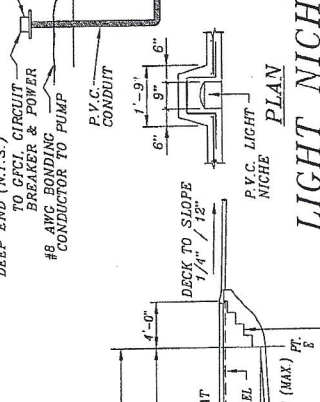
SECTION B-B



SECTION C-C

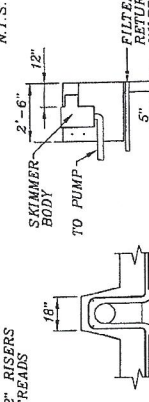


SECTION A-A



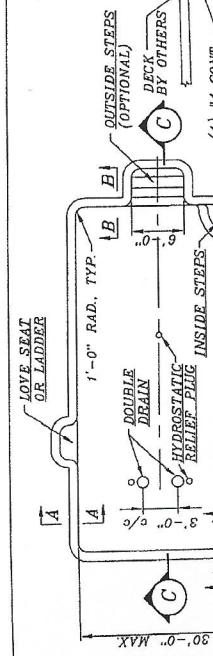
SECTION B-B

LIGHT NICHE DETAIL



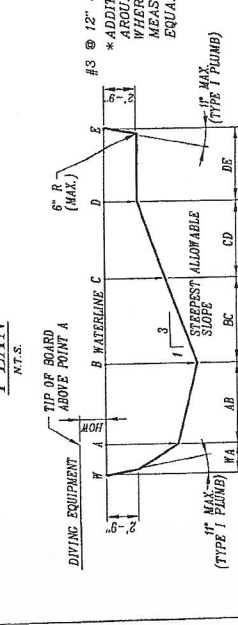
SECTION

SKIMMER DETAIL

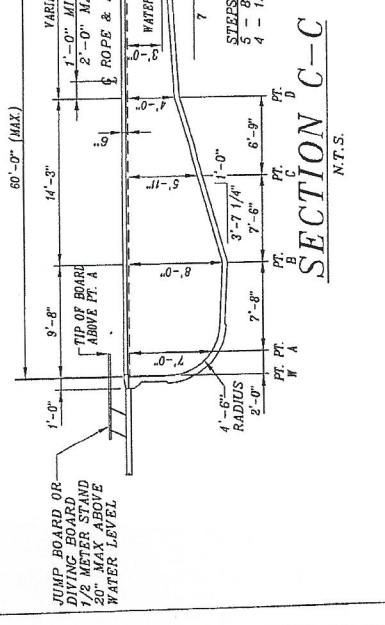


PLAN

SECTION C-C



MINIMUM CONTOUR OF SECTION THROUGH CENTERLINE OF DIVING EQUIPMENT



SECTION C-C

DIVING BOARD MANUFACTURER SHALL CONFIRM DIVING BOARD SPECIFICATIONS.

POOL TYPE	MINIMUM DEPTHS AT POINT				MINIMUM WIDTHS AT POINT				MINIMUM LENGTHS BETWEEN POINTS					
	A	B	C	D	A	B	C	D	WA	AB	BC	CD	DE	WE
I	6'-0"	7'-6"	5'-0"	2'-9"	10'-0"	12'-0"	10'-0"	8'-0"	1'-6"	7'-0"	7'-6"	6'-0"	28'-9"	



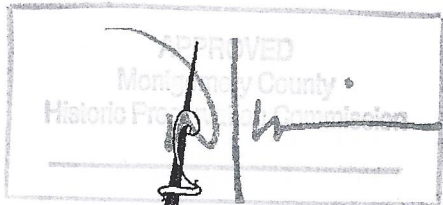
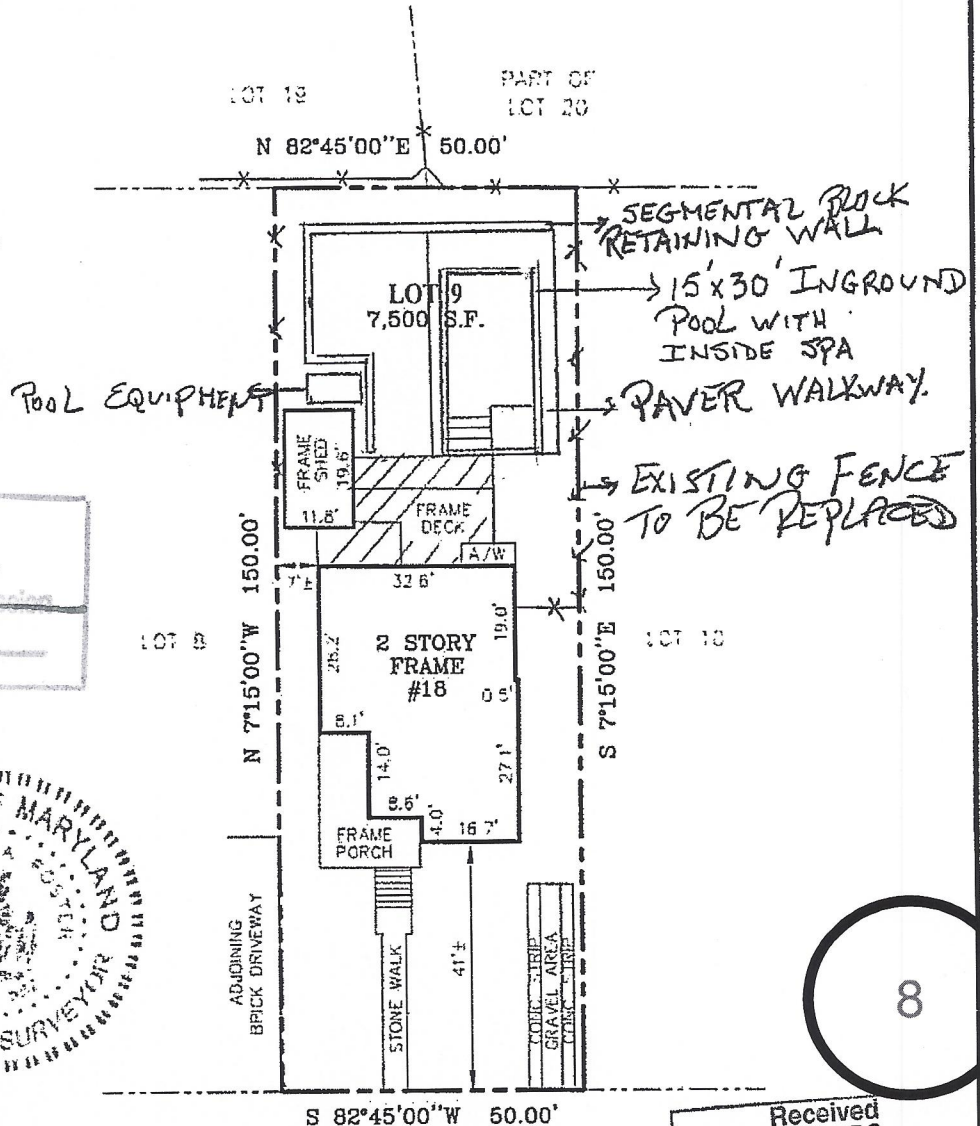
TJB
 3/17-18

CONSUMER INFORMATION NOTES:

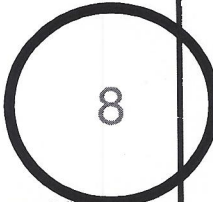
1. This plan is a benefit to a consumer insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. This plan is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. This plan does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
4. Building line and/or Flood Zone information is taken from available sources and is subject to interpretation of originator.
5. No Title Report furnished.

Notes:

1. Setback distances as shown to the principal structure from property lines are approximate. The level of accuracy for this drawing should be taken to be no greater than plus or minus 1.5 feet. No property corners confirmed.
2. Fences, if shown, have been located by approximate methods.




LB
3/12/18



LOCATION DRAWING
LOT 9, BLOCK 18
B.F. GILBERT'S ADDITION TO
TAKOMA PARK
MONTGOMERY COUNTY, MARYLAND

MONTGOMERY AVENUE

Received
M-NCPPC
FEB 09 2018
Montgomery County
Planning Department

SURVEYOR'S CERTIFICATE		REFERENCES		SNIDER & ASSOCIATES LAND SURVEYORS		
"THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD INSPECTION PURSUANT TO THE DEED OR PLAT OF RECORD. EXISTING STRUCTURES SHOWN HAVE BEEN FIELD LOCATED BASED UPON MEASUREMENTS FROM PROPERTY MARKERS FOUND OR FROM EVIDENCE OF LINES OF APPARENT OCCUPATION." <i>Jeffrey A. Foster</i> MARYLAND PROPERTY LINE SURVEYOR REG. NO. 587 EXPIRES: 04-02-2015		PLAT BK.	A		20270 Goldenrod Lane, Suite 110 Germantown, Maryland 20876 301/948-5100 Fax 301/948-1286	
		PLAT NO.	2		DATE OF LOCATIONS	SCALE:
LIBER		FOLIO		WALL CHECK:	DRAWN BY: E.H.	
				HSE. LOC.: 10-4-13	JOB NO.: 08-05057A	