



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Sandra I. Heiler
Chairman

Date: November 18, 2019

MEMORANDUM

TO: Hadi Mansouri
Department of Permitting Services

FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #888773: Porch Enclosure

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the November 13, 2019 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Anil Gupta (Mark Kramer, Architect)
Address: 8000 Overhill Rd., Bethesda

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3400 or Dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.

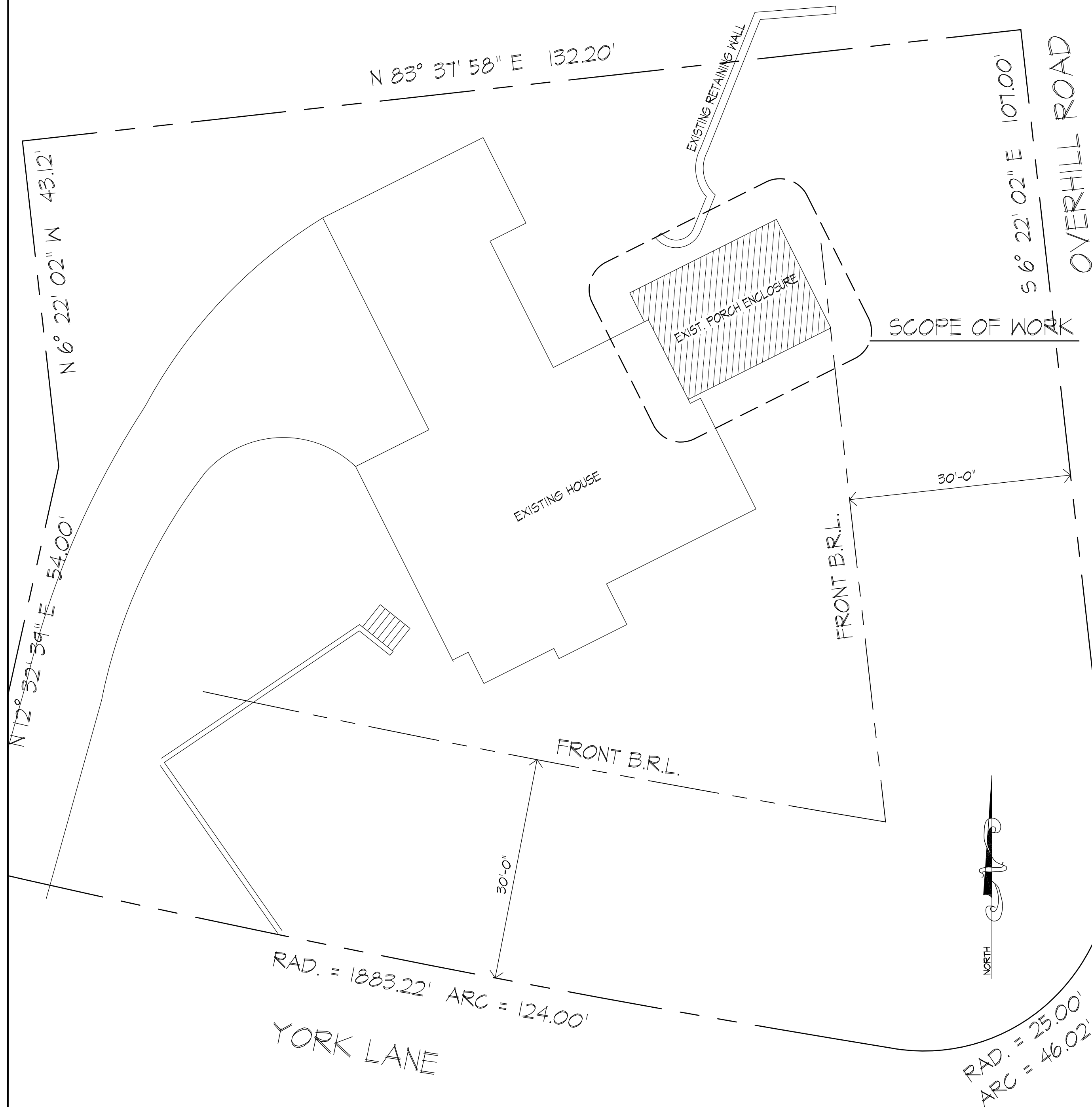


GUPTA-WANG RESIDENCE

8000 OVERHILL ROAD, BETHESDA, MD 20814

SINGLE FAMILY DETACHED HOME - EXISTING PORCH ENCLOSURE

ARCHITECTURAL SITE PLAN



GENERAL NOTES FOR RESIDENTIAL CONSTRUCTION

- All work shall conform to the applicable section of the Montgomery County building code sections of the single family guidelines and all applicable building codes 2015 IRC.
- Stake off area of new construction and designate trees and shrubs for removal. Protect all landscaping beyond the area of construction as required by the site. Protect all shrubs that are to remain.
- Contractor to evaluate the required electrical service. Electrical subcontractor to review the drawings and existing service. And provide the panel to satisfy all load requirements for any new construction as designated on plans.
- Coordinate phasing and time limits for new construction with the owner so as to establish an acceptable payment schedule related to the status of the project.
- Electrical subcontractor to review drawings and bring any questions related to specifications to the attention of the Architect.
- The General Contractor shall obtain permits required for construction, unless otherwise informed by the Architect.
THE GENERAL CITY BUILDING PERMIT SHALL BE FILED BY THE ARCHITECT.
- The Contractor shall store materials and equipment in a safe and suitable area during the construction process. The Owner is not responsible for any loss of construction materials. All debris at the construction site shall be periodically removed from the site at intervals so as not to create a site hazard or create a visual hazard to the Owner.
- General Contractor shall be licensed in Montgomery County and the State of Maryland, and shall guarantee the project, labor and material for a period of one year after the punch list is completed by the Owner or the Architect, as per Maryland laws require.
- The General Contractor shall provide competent daily supervision of the project.
- The General Contractor shall carry Workman's Compensation Insurance in full force during the entire term of this contract. The General Contractor shall carry Comprehensive General and Automobile Liability Insurance and Property Damage Insurance of \$ 500,000. to \$750,000. minimum. The owner can amend these requirements if specified on the contract.
- All drawings, specifications and copies furnished by the Architect are the documents for construction of the project only and shall not be used in any other circumstance.
- The General Contractor shall carefully study and compare the contract documents and report to the Architect any error, inconsistency or omission he/she may discover.
- The General Contractor shall provide and pay for all labor, materials, equipment, tools, construction equipment and machinery and other facilities and services necessary for the proper execution and completion of the Work, whether temporary or permanent and shall guarantee no mechanic liens against such project at completion.
- The Contract Sum is stated in the building agreement and is the total amount payable by the Owner to the General Contractor for the performance of the Work under the Contract Documents. A Change Order is written by the General Contractor and Signed by the Owner, which designates the addition, deletion or revision to the contract. The change order must also designate the change in the original Contract Sum and be accepted by the Owner before it is part of the contract.
- Premises shall be left "broom clean" and exterior shall be free of debris upon completion of work. All subcontractors are required to clean premises and exterior of their debris daily unless specifically exempted by owner or architect. Particular effort is to be taken to minimize debris within existing premises on a daily basis.
- The General Contractor shall submit a progress payment request based on the original contract agreement, to the Architect and the Owner. The Architect shall have seven business days to provide approval to the Owner.

THE PROCEEDING UNLESS AMENDED WITH APPROVAL OF THE OWNER IS TO BE CONSIDERED ALONG WITH THESE DRAWINGS AS PART OF THE CONTRACT DOCUMENTS.

CONTRACTOR _____ (Signature) _____ (Date)

OWNER _____ (Signature) _____ (Date)

MISS UTILITY INSPECTION NOTE:
CALL "MISS UTILITY" TO VERIFY LOCATION OF ALL UTILITIES WITHIN THE FRONT REAR OR SIDE YARD. COORDINATE THE LOCATION OF ANY NEW EXCAVATION WITH THE EXISTING UTILITIES.
PORTA-TOILET FACILITY FOR PROJECT:
GENERAL CONTRACTOR SHALL PROVIDE A PORTA-TOILET FACILITY ON THE JOB SITE AND SHALL COORDINATE ITS LOCATION WITH THE OWNER. MAINTAIN THE FACILITY THROUGHOUT THE DURATION OF CONSTRUCTION PROCESS.

PROJECT DATA

THE GUPTA-WANG RESIDENCE
8000 OVERHILL ROAD
BETHESDA, MARYLAND, 20814
GREENWICH FOREST HISTORIC DISTRICT
MONTGOMERY COUNTY

LOT: 11
BLOCK: J
ZONE: R-90
LOT SIZE= 16,248 SQUARE FEET

SET BACKS:
FRONT: 30' REQ'D.; - NO CHANGE
REAR: 25' REQ'D.; - NO CHANGE
SIDES: 7' MIN.; - NO CHANGE

BUILDING CODE: INT'L RESIDENTIAL CODE 2015

INDEX OF DRAWINGS

- CS-1 COVER SHEET
- A-1 DEMOLITION WORK & PROPOSED FLOOR PLAN & RCP
- A-2 EXTERIOR ELEVATIONS
- A-3 SECTION
- A-4 INTERIOR ELEVATIONS
- S-1 WIND BRACING

SCOPE OF WORK

ENCLOSE EXISTING SCREENED PORCH

SYMBOL LEGEND

	DETAIL SECTION
	DETAIL TAG
	DETAIL SHEET NO.
	BLDG SECTION TAG
	ELEVATION TAG
	GRAVEL FILL
	EARTH
	FIBERGLASS BATT INSULATION
	CONCRETE MASONRY UNITS
	BRICK OR STONE VENEER
	CONCRETE (SOLID/POURED)
	ROCK WOOL INSULATION

LIST OF ABBREVIATIONS

A.B.	ANCHOR BOLT	F.S.	FAR SIDE	OSB	ORIENTED STRAND BOARD
A.F.F.	ABOVE FINISH FLOOR	F.L.R.	FLOOR	OZ	OUNCE
A.U.	ADJACENT	F.N.	FINISHED	O.A.	OVER ALL
A.H.U.	AIR HANDLER UNIT	F.O.	FOUNDATION	P.N.L.	PANEL
ALUM.	ALUMINUM	F.R.	FIRE RATED	P.B.D.	PARTICLE BOARD
ANCH.	ANCHOR	F.P.	FIREPLACE	PERF.	PERFORATED
ANGL.	ANGLE	FTG.	FOOTING	P.L.	PLYWOOD
ARCH.	ARCHITECTURAL	F/C	FLOOR COVERING CHANGE	P.N.D./PLYM	PREFABRICATED
@	AT	FPHB	FROST PROOF HOSE BIB	PS	POUNDS PER SQ. IN.
BD.	BOARD	GA.	GAUGE	PSF	POUNDS PER SQ. FT.
BDG.	BUILDING	GALV.	GALVANIZED	PSF	POUNDS PER SQ. FT.
BM	BEAM	G.C.	GENERAL CONTRACTOR	P.T.	PRESSURE TREATED
BTM	BOTTOM	GEN.	GENERAL	REF.	REFER TO REFERENCE
BLK'G	BLOCKING	GYP. BD	GYP. BOARD	REIN.	REINFORCING/REINFORCED
BR'G	BEARING	G.L.	GLUE LAM	REQ'D	REQUIRED
BSMT	BASEMENT	HDWR.	HARDWARE	R.A.	RETURN AIR
C.J.	CONTROL JOINT- SAWCUT	HD.WD.	HARDWOOD	R.M.S.	ROOMS
C.	CENTER LINE	HT.	HEIGHT	R.O.	ROUGH OPENING
C.M.U.	CONCRETE MASONRY UNIT	HORIZ.	HORIZONTAL/HORIZONTALLY	R.	RISER
COL.	COLUMN	HR.	HOUR	RND	ROUND
CONC.	CONCRETE	HDR.	HEADER	1/R	ONE ROD
COND.	CONDITION	HOSE BIB	HOSE BIB	S.C.	SAWCUT
CONT.	CONTINUOUS	I.D.	INSIDE DIAMETER	SH.	SHIELD
CONSTR.	CONSTRUCTION	INSUL.	INSULATION	SHI.	SHEET
CNTR.	COUNTER	INT.	INTERIOR	SIM.	SIMILAR
C.TSK.	COUNTERSUNK	I.S.	INSIDE CORNER	S.S.	STAINLESS STEEL
C.O.	CASED OPENING	JT.	JOINT	STL.	STEEL
CANT.	CANTILEVER	LT.	LIGHTWEIGHT	STRUC.	STRUCTURAL
CANT.	CANTILEVER	LT. WT.	LIGHTWEIGHT	S.A.	SUPPLY AIR
C.T.	CERAMIC TILE	LT.	LIGHT	SUSP.	SUSPENSION
GLG.	CEILING	LVR.	LOUVER	SOS	SLIDING GLASS DOOR
DBL.	DOUBLE	L/T	LAUNDRY TUB	1/S	ONE SHELF
DIA.	DIAMETER	M.T.	MARBLE THRESHOLD	TEMP.	TEMPERED
DR.	DOOR	MAS.	MASONRY	T.O.	TOP OF
DWG.	DRAWING	MAT.	MATERIAL	TFW	TOP OF FOUNDATION WALL
D.S.	DOWNSPOUT	MAX.	MAXIMUM	TYP.	TYPICAL
DTL.	DETAIL	MECH.	MECHANICAL	TRP	TRIPLE
D	DRYER	MECH.	MEDIUM DENSITY OVERLAY	U.M.	UNDER-MOUNT
EA.	EACH	MN.	MINIMUM	U.N.O.	UNLESS NOTED OTHERWISE
E.J.	EXPANSION JOINT	M.O.	MASONRY OPENING	VERT.	VERTICAL
ELEC.	ELECTRICAL	M.T.L.	METAL	V.I.F.	VERIFY IN FIELD
ELEV.	ELEVATION	M.U.A.	MAKE-UP AIR	W	WASHER
EQ.	EQUAL	N.S.	NEAR SIDE	W/	WITH
EQUIP	EQUIPMENT	N.I.C.	NOT IN CONTRACT	WD.	WOOD
EXP.	EXPANSION	NTS	NOT TO SCALE	W.W.F.	WELDED WIRE FABRIC
EXT.	EXTERIOR	O.C.	ON CENTER	WO OR W/O	WALKOUT
EXT.	EXTERIOR	O.H.	OVERHANG	W/W.	WALKOUT
E.E.	EACH END	OPER.	OPERATOR	W/W.	WALKOUT
		OPNG.	OPENING	W/W.	WALKOUT

TABLE R301.5
MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS
(IN POUNDS PER SQUARE FOOT)

USE	LIVE LOAD
ATTICS WITH STORAGE ^b	20
ATTICS WITHOUT STORAGE ^b	10
DECKS ^e	40
EXTERIOR BALCONIES	60
FIRE ESCAPES	40
GUARDRAILS AND HANDRAILS ^d	200
GUARDRAILS IN-FILL COMPONENTS ^f	50
PASSENGER VEHICLE GARAGES ^a	50
ROOMS OTHER THAN SLEEPING ROOMS	40
SLEEPING ROOMS	30
STAIRS	40

FOR SI: 1 POUND PER SQUARE FOOT= 0.0497 KN/M², 1 SQUARE INCH=645 mm², 1 POUND= 4.45N

A. ELEVATED GARAGE FLOORS SHALL BE CAPABLE OF SUPPORTING A 2,000 POUND LOAD APPLIED OVER A 20 SQUARE INCH AREA.

B. NO STORAGE WITH ROOF SLOPE NOT OVER 3 UNITS IN 12 UNITS.

C. INDIVIDUAL STAIR TREADS SHALL BE DESIGNED FOR THE UNIFORMLY DISTRIBUTED LIVE LOAD OR A 300 POUND CONCENTRATED LOAD ACTING OVER AN AREA OF 4 SQUARE INCHES, WHICHEVER PRODUCES THE GREATER STRESSES.

D. A SINGLE CONCENTRATED LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP.

E. SEE SECTION R 502. 2. 1 FOR DECKS ATTACHED TO EXTERIOR WALLS

F. GUARD IN-FILL COMPONENTS (ALL THOSE EXCEPT THE HANDRAIL), BLASTERS AND PANEL FILLERS SHALL BE DESIGNED TO WITHSTAND A HORIZONTALLY APPLIED NORMAL LOAD OF 50 POUNDS ON AN AREA EQUAL TO 1 SQUARE FOOT. THIS LOAD NEED NOT BE ASSUMED TO ACT CONCURRENTLY WITH ANY OTHER LIVE LOAD REQUIREMENT.

RESIDENTIAL CODE NOTES= RCN

1. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE INTERNATIONAL CODE (IRC), 2015 EDITION, AS AMENDED BY MONTGOMERY COUNTY EXECUTIVE REGULATION NO 24-04. ALL CHAPTERS, TABLES, SECTIONS, FIGURES AND APPENDICES REFERENCED HERE WITHIN ARE FROM IRC. THIS DOCUMENT CONTAINS ITEMS OFTEN WRITTEN ON APPROVED PLANS AND IS PROVIDED FOR CONVENIENCE ONLY. IT IS NOT INTENDED AS A SUBSTITUTE FOR THE CODE OR ALL OF ITS PROVISIONS.

2. TABLE R 301 . 2 (1) THE RESIDENTIAL CONSTRUCTION DESIGN PARAMETERS ARE SHOWN IN THE FOLLOWING TABLE:

GROUND SNOW LOAD	WIND SPEED	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM WEATHERING			WINTER DESIGN TEMP.	ICE SHIELD UNDER LAYMENT REQ'D	FLOOR HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP	
			WEATHERING	FROST LINE DEPTH	TERMITE						DECAY
30 PSF	115 MPH	B	SEVERE	24 IN	MODERATE TO HEAVY	SLIGHT TO MODERATE	13° F	YES	JULY 2, 1979	300	55° F

INTERNATIONAL BUILDING CODE DATA 2015 IRC

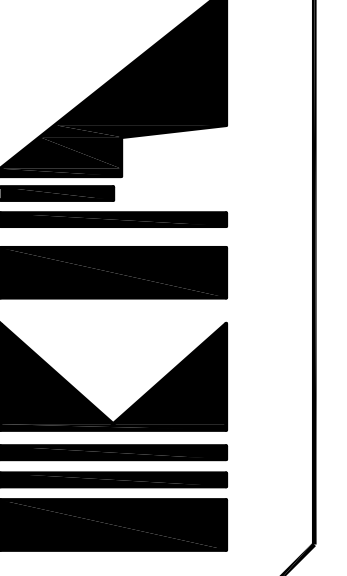
WOOD STUDS TO BE SPF #2
JOIST, RAFTERS, & BEAMS TO BE HEM FIR #2

APPROVED
Montgomery County
Historic Preservation Commission
Sandra L. Heiler

REVIEWED
By Dan.Bruechert at 4:12 pm, Nov 18, 2019

1 SITE PLAN
SCALE: 1/4"=1'-0"

KRAMER ARCHITECTS INC.
7960-B Old Georgetown Road, Bethesda, Md. 20814
Phone: (301) 652-2700 Fax: (301) 913-9254



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PROFESSIONAL CERTIFICATION
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the STATE OF MARYLAND License #4040-A Expiration Date 11.07.2020

PROJECT:
GUPTA-WANG RESIDENCE
8000 OVERHILL ROAD
BETHESDA, MD. 20814

SHEET TITLE:
COVER SHEET

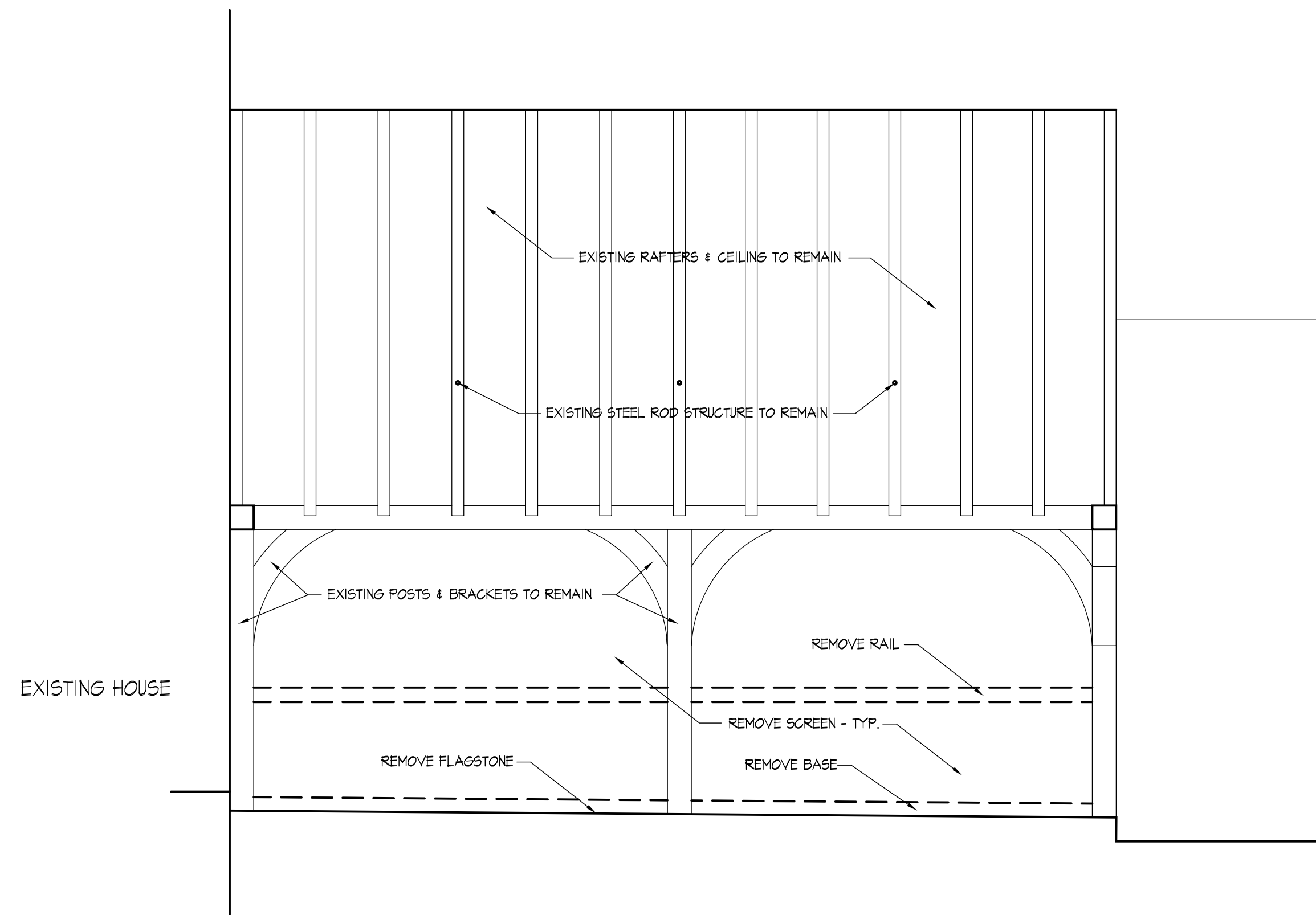
REVISIONS

PERMIT SET
Dates: 10-28-2019

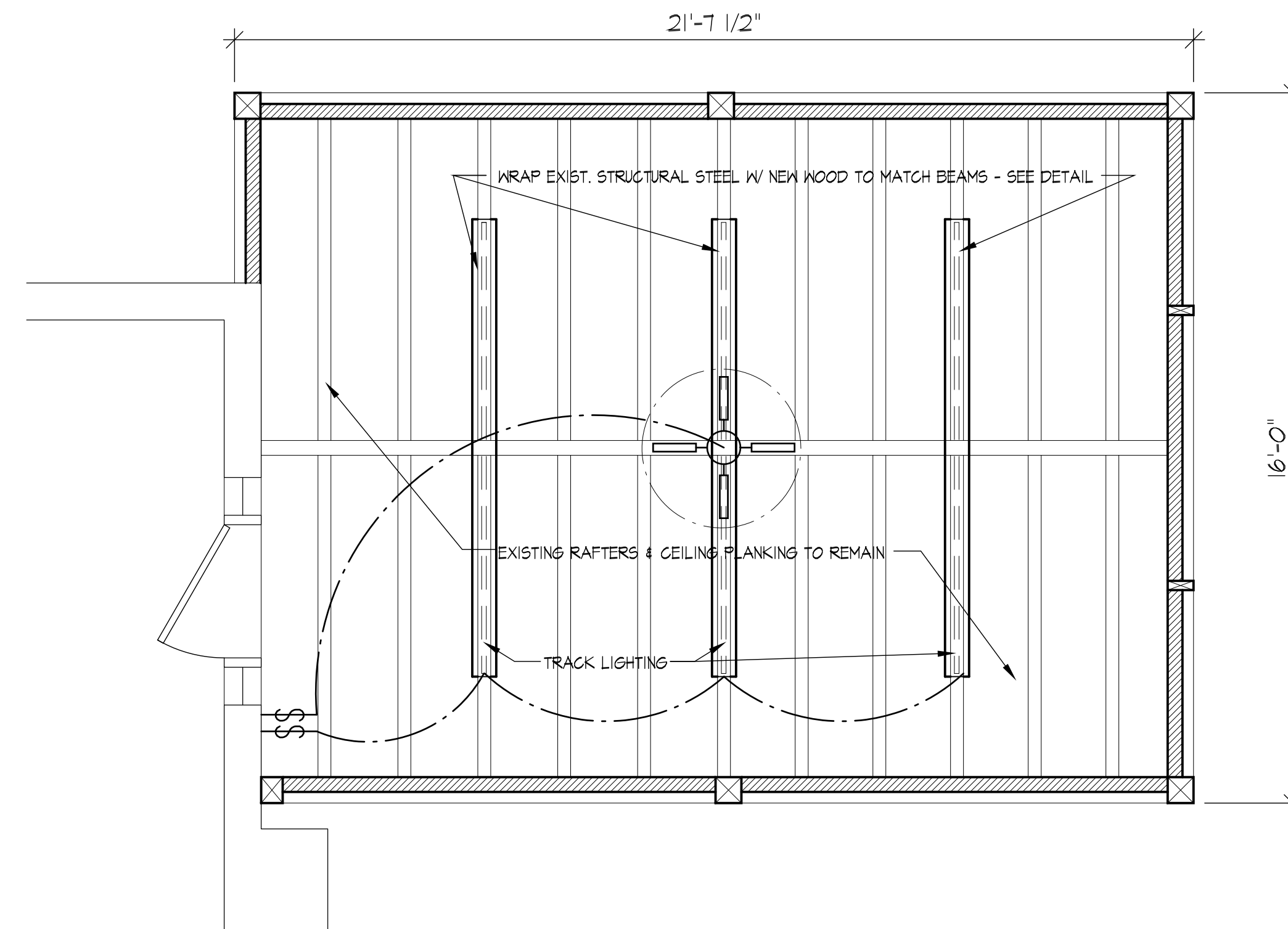
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Scale:
AS NOTED

Project Number
1915

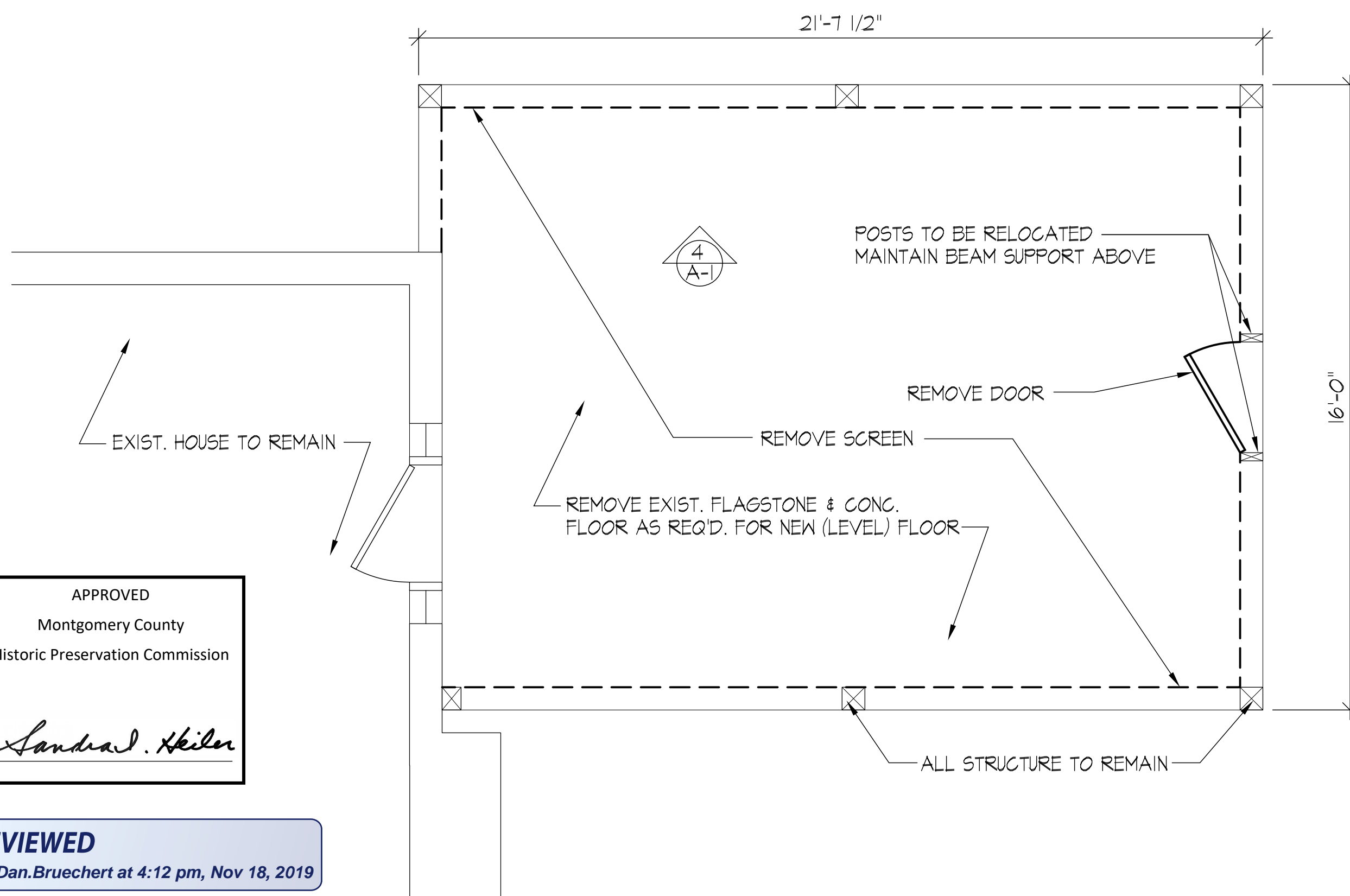
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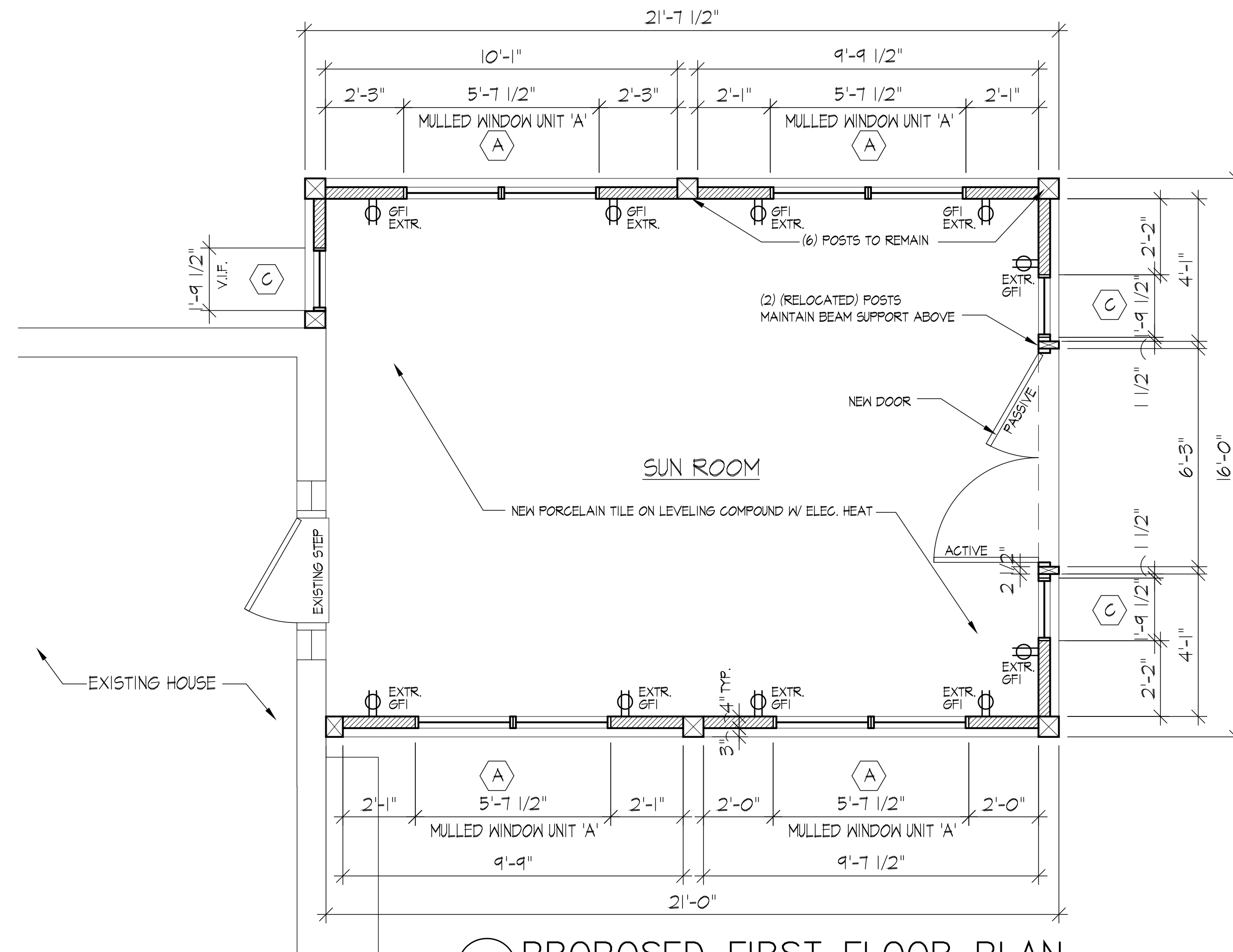
4 DEMOLITION - TYPICAL WALL ELEVATION
SCALE: 3/8"=1'-0"



2 PROPOSED REFLECTED CEILING PLAN
SCALE: 3/8"=1'-0"



3 DEMOLITION - FIRST FLOOR PLAN
SCALE: 3/8"=1'-0"



1 PROPOSED FIRST FLOOR PLAN
SCALE: 3/8"=1'-0"

APPROVED
Montgomery County
Historic Preservation Commission

Sandra L. Heiler

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By Dan.Bruechert at 4:12 pm, Nov 18, 2019

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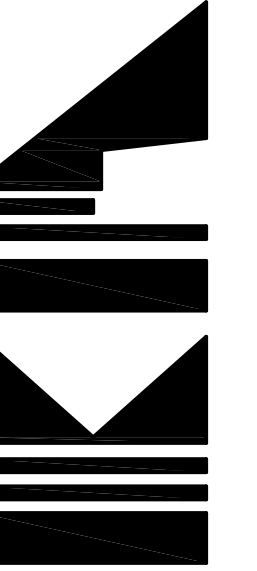
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PROJECT:
GUPTA-WANG RESIDENCE
8000 OVERHILL ROAD
BETHESDA, MD. 20814

SHEET TITLE:
DEMOLITION WORK & RCP
PROPOSED PLAN & RCP

REVISIONS

PERMIT SET
Dates: 10-28-2019
Bids:
Scale:
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Project Number
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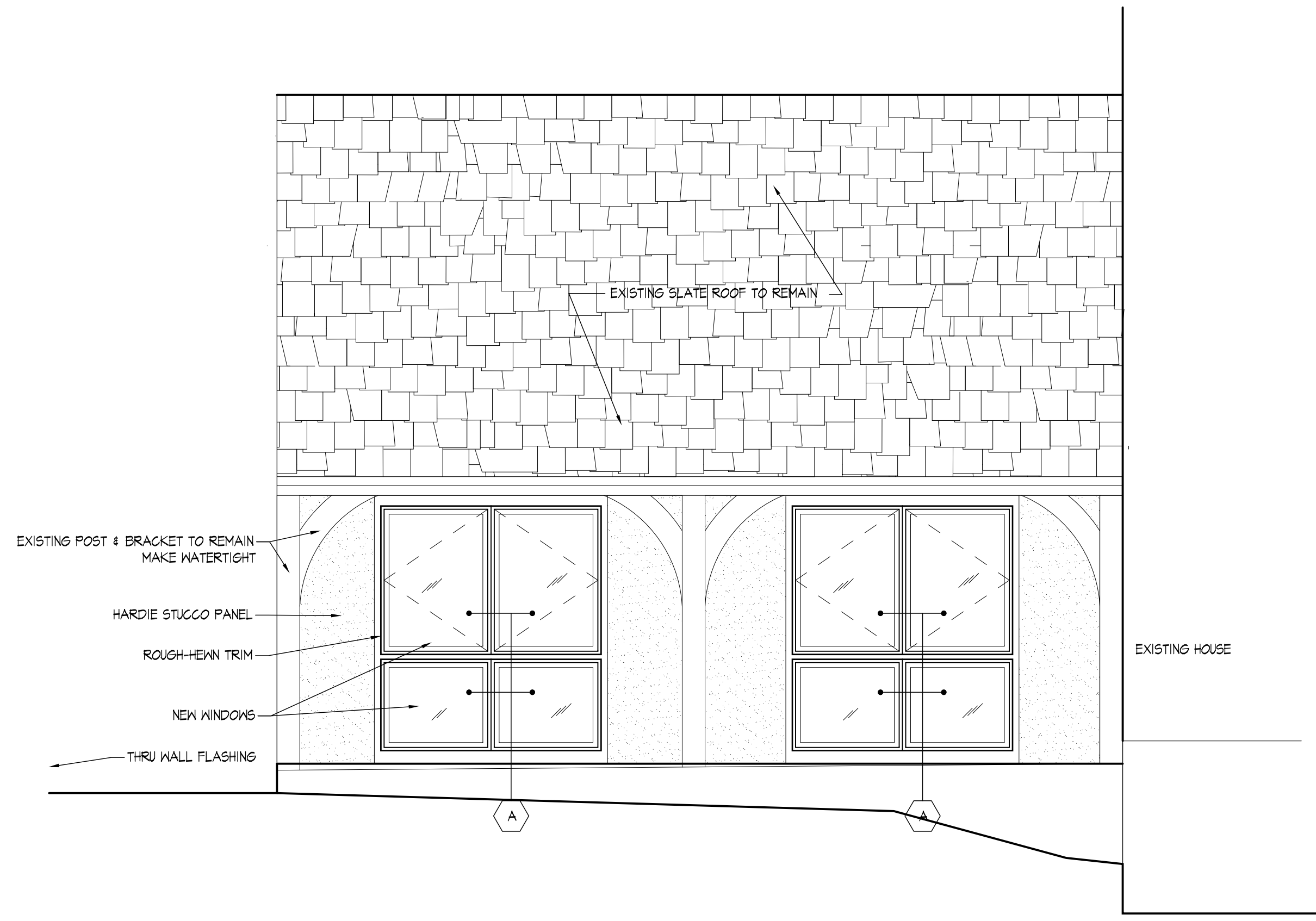
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 GUPTA-WANG RESIDENCE
 8000 OVERHILL ROAD
 BETHESDA, MD. 20814

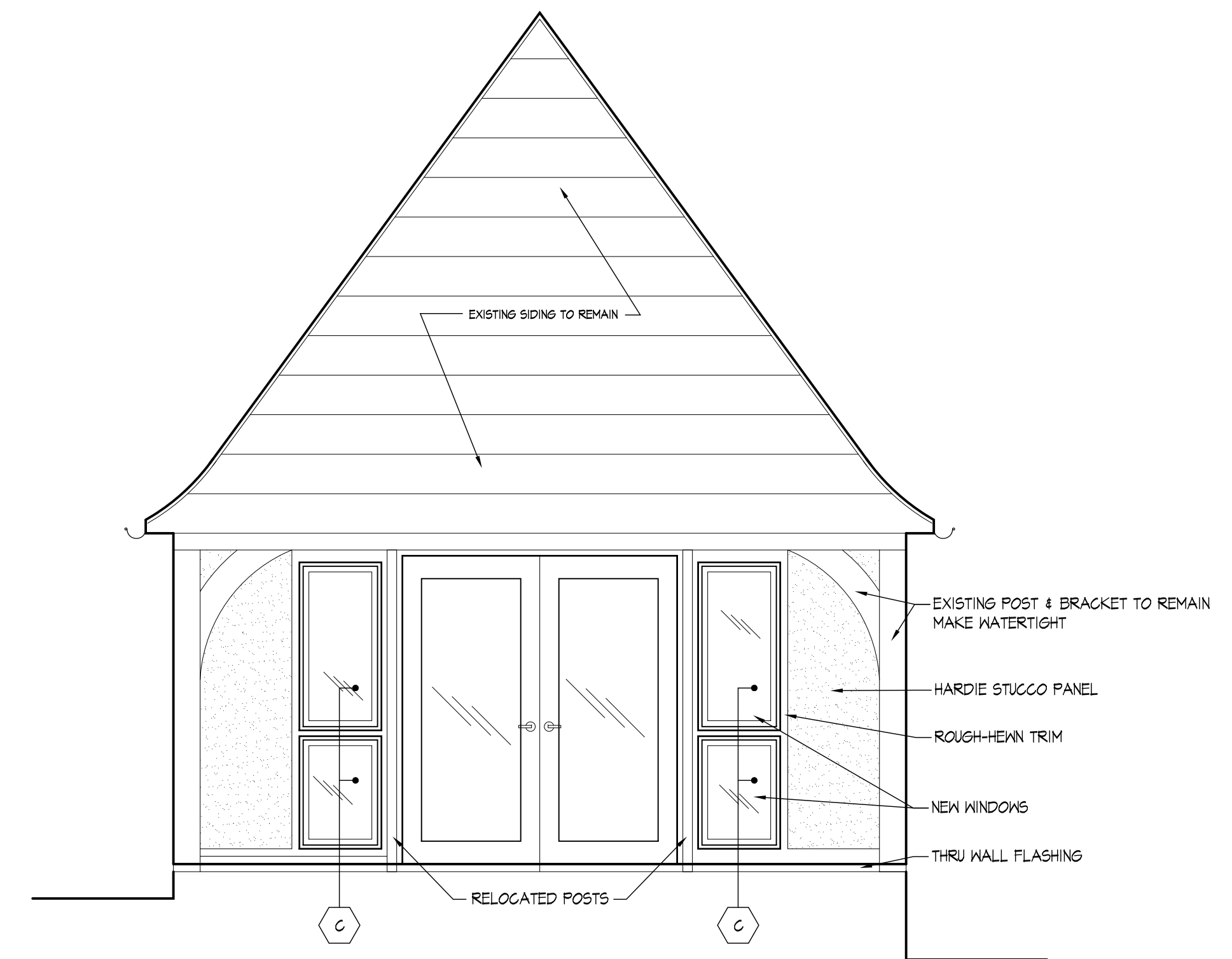
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 EXTERIOR ELEVATIONS

REVISIONS

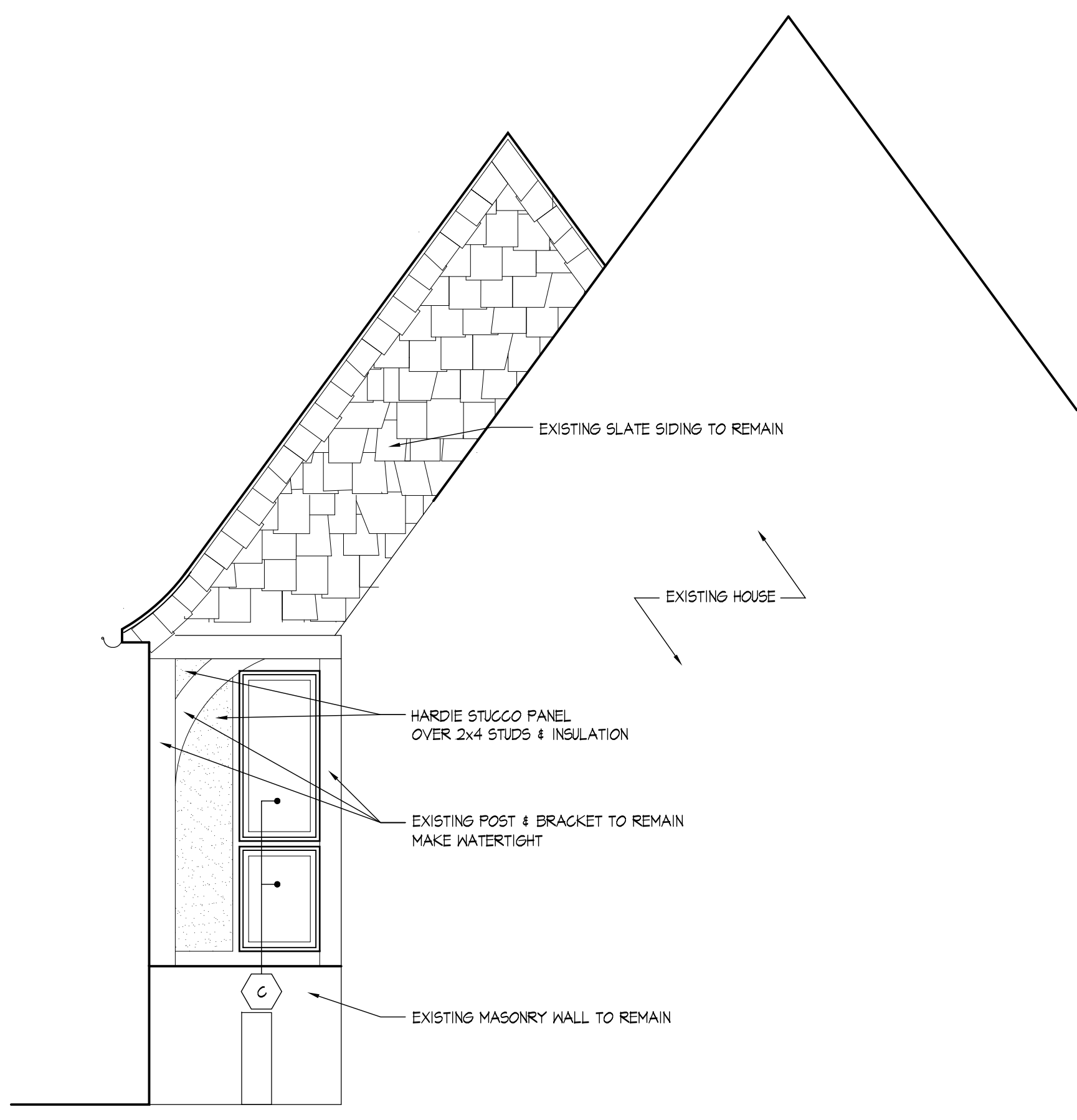
PERMIT SET
 Dates: 10-28-2019
 Bids:
 Scale:
 AS NOTED
 Project Number
 1915



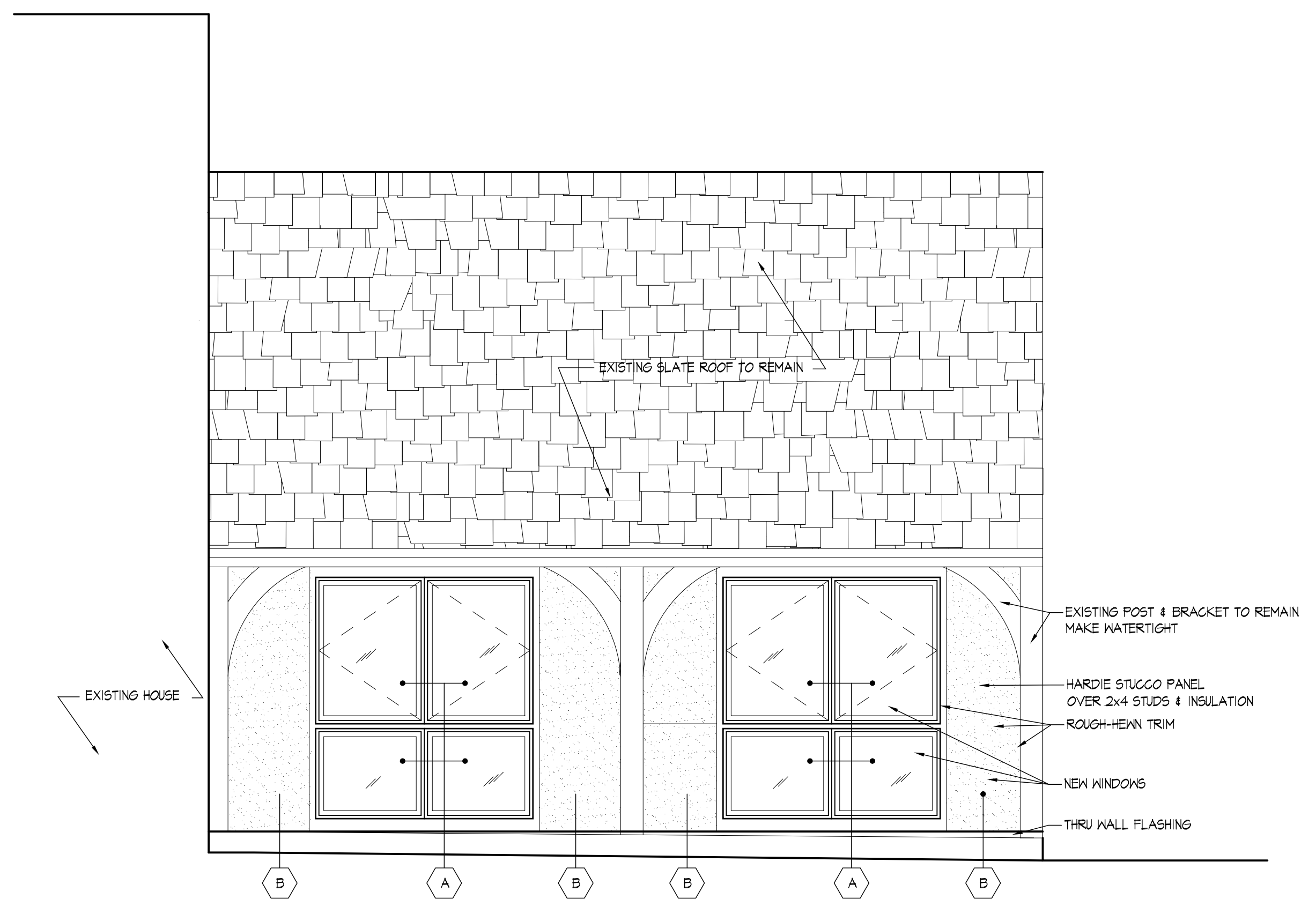
4 EXTERIOR ELEVATION (LOOKING NORTH)
 SCALE: 3/8"=1'-0"



2 EXTERIOR ELEVATION (LOOKING EAST)
 SCALE: 3/8"=1'-0"



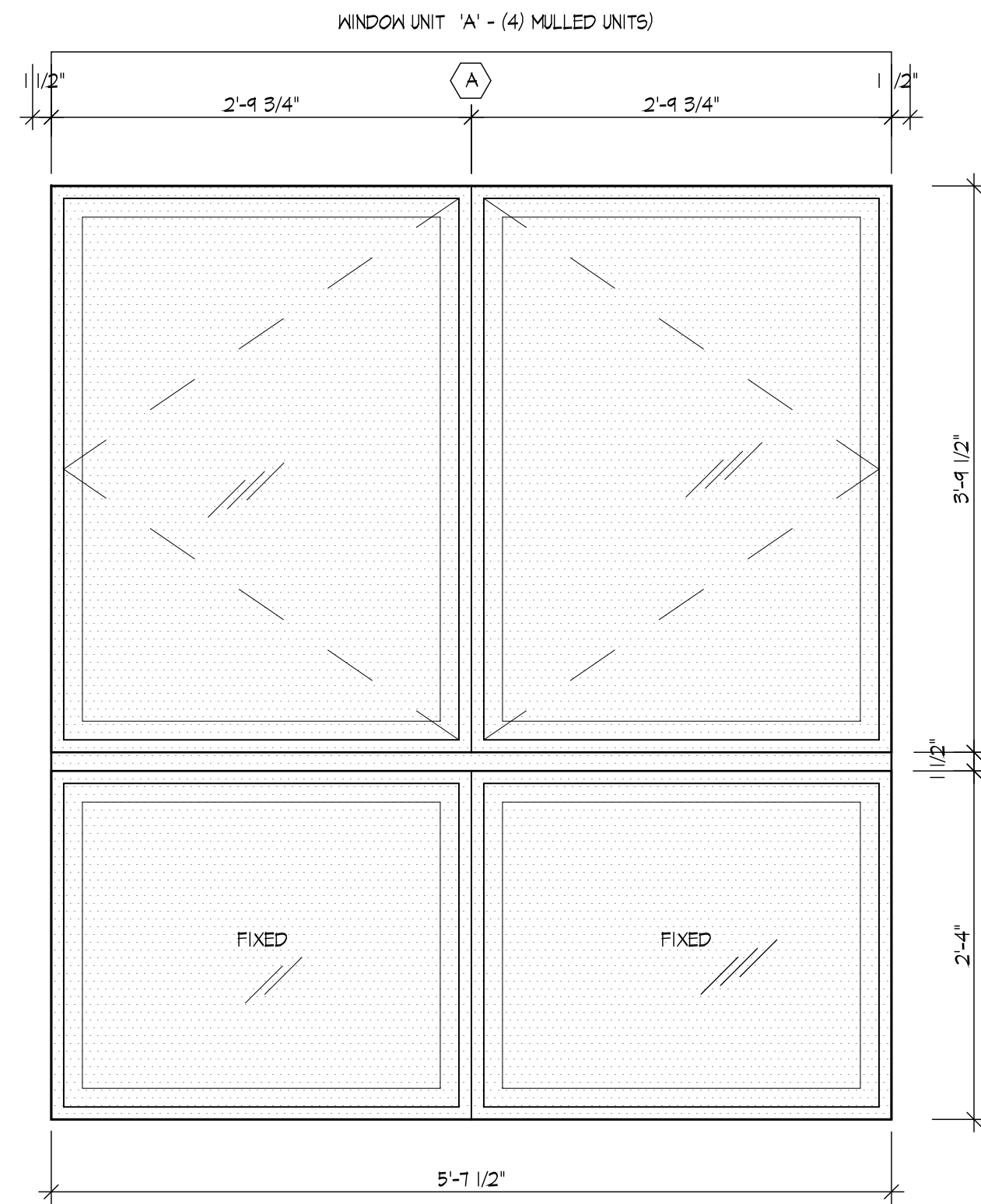
3 EXTERIOR ELEVATION (LOOKING WEST)
 SCALE: 3/8"=1'-0"



1 EXTERIOR ELEVATION (LOOKING SOUTH)
 SCALE: 3/8"=1'-0"

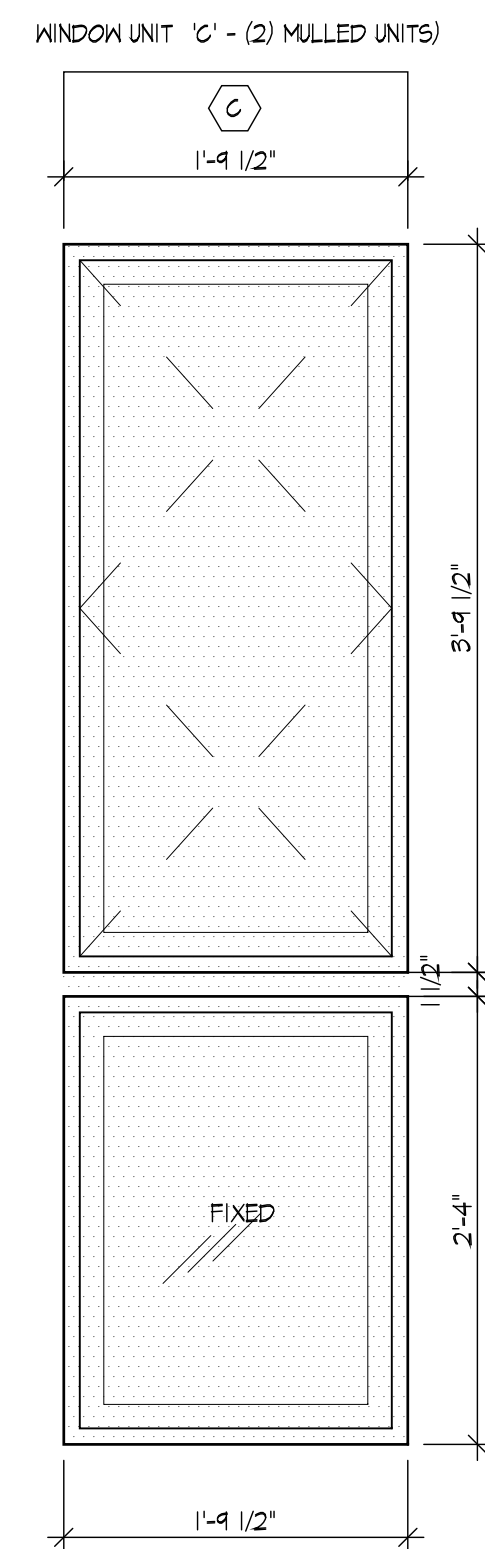
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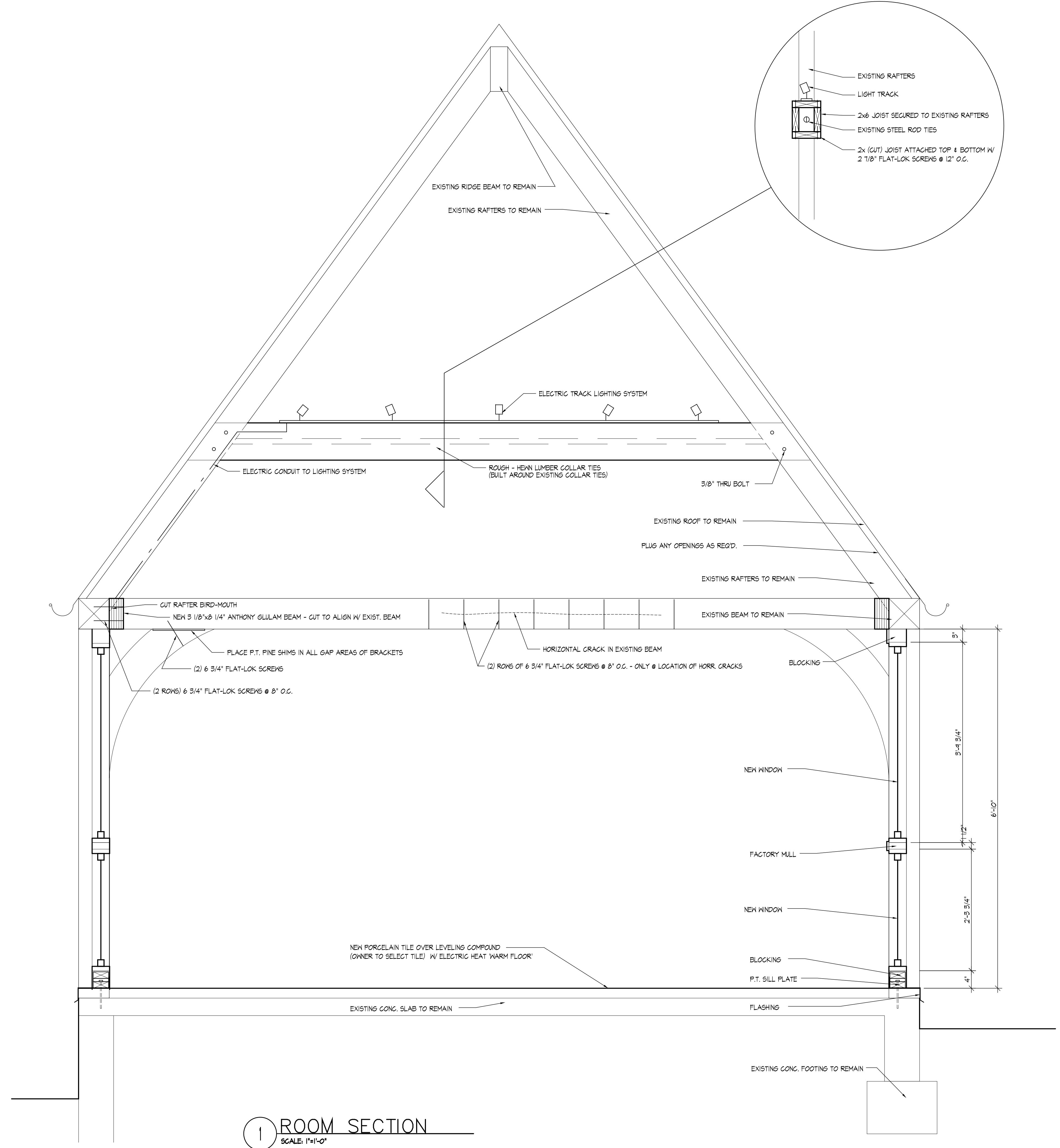
NOTES: ALL WINDOWS & DOOR PRODUCTS TO BE MARVIN & PROVIDED BY OWNER, INSTALLED BY GENERAL CONTRACTOR PROVIDED SHOP DRAWINGS TO ARCHITECT FOR APPROVAL PRIOR TO FINAL ORDER.

2 TYPICAL WINDOW UNITS 'A' & 'B' ELEVATION
SCALE: 1"=1'-0"



3 TYPICAL WINDOW UNITS 'C' ELEVATION
SCALE: 1"=1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
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1 ROOM SECTION
SCALE: 1"=1'-0"

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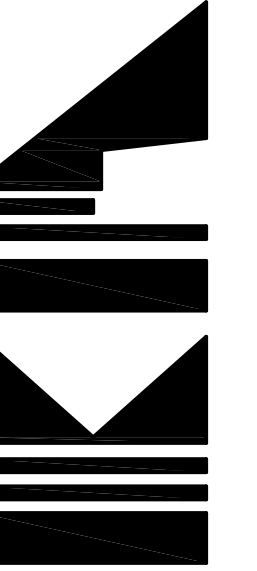
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SHEET TITLE:
INTERIOR ELEVATIONS

REVISIONS

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Dates: 10-28-2019
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AS NOTED
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1915

A-3
OF



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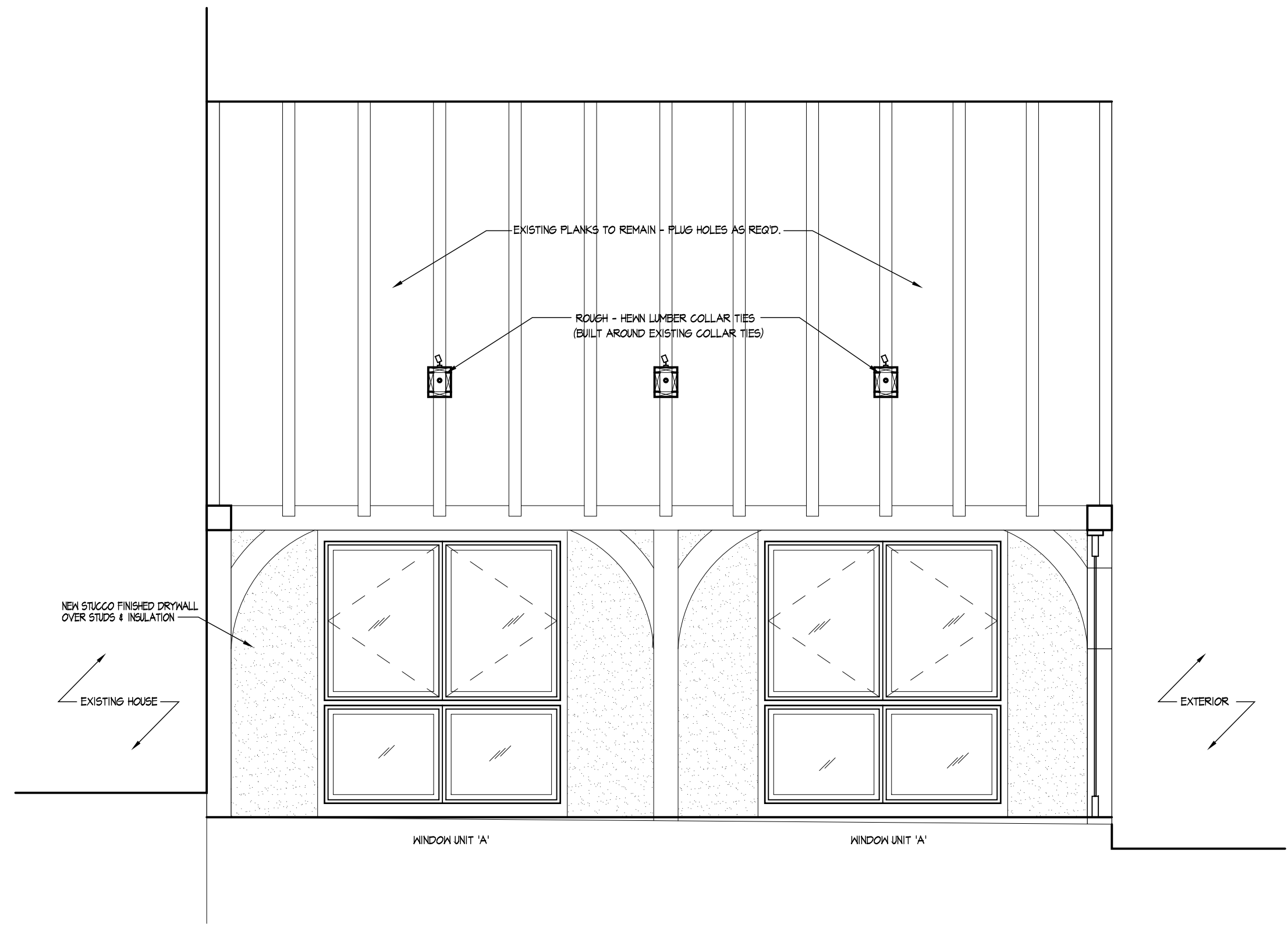
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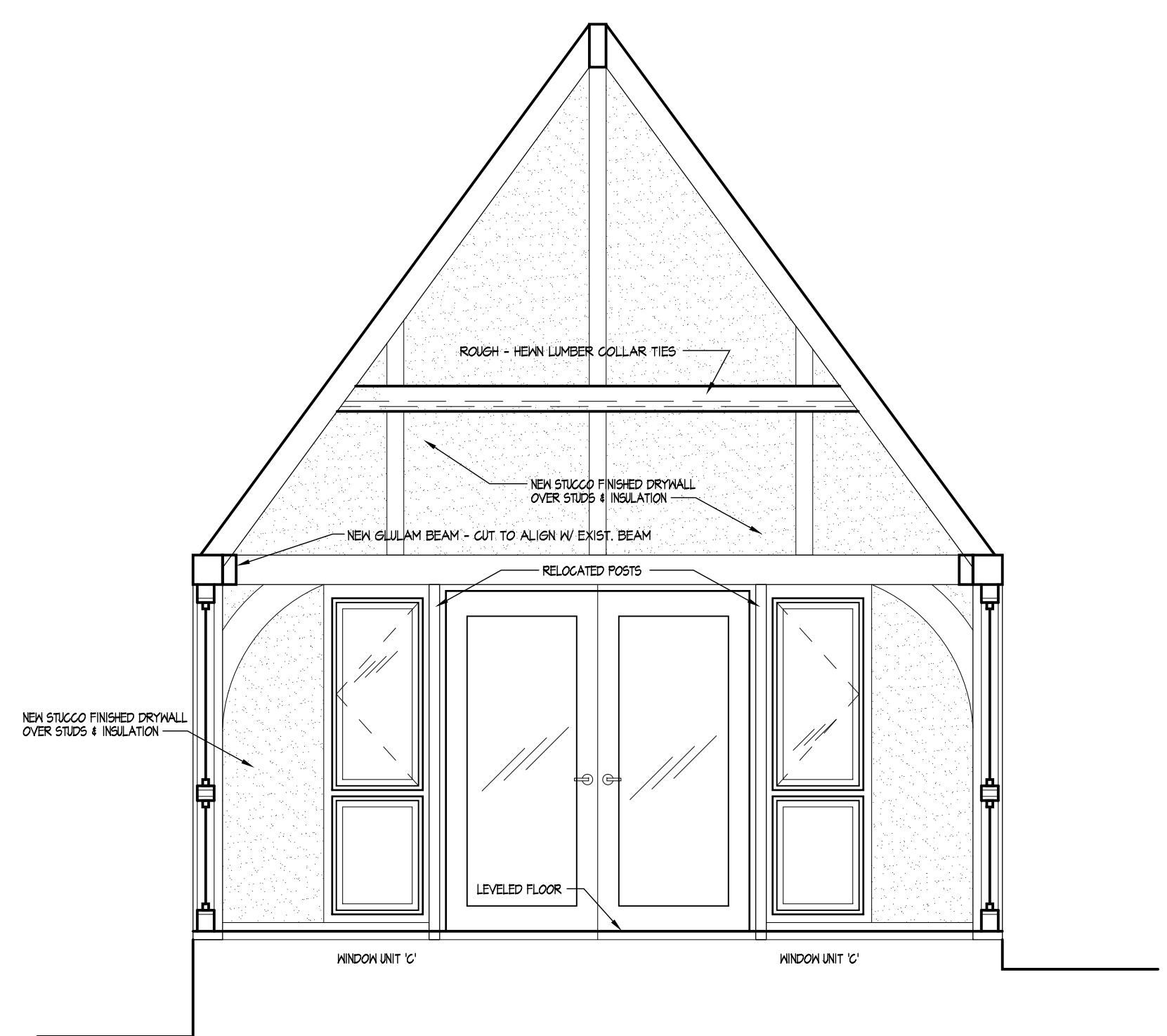
SHEET TITLE:
 INTERIOR ELEVATIONS

REVISIONS

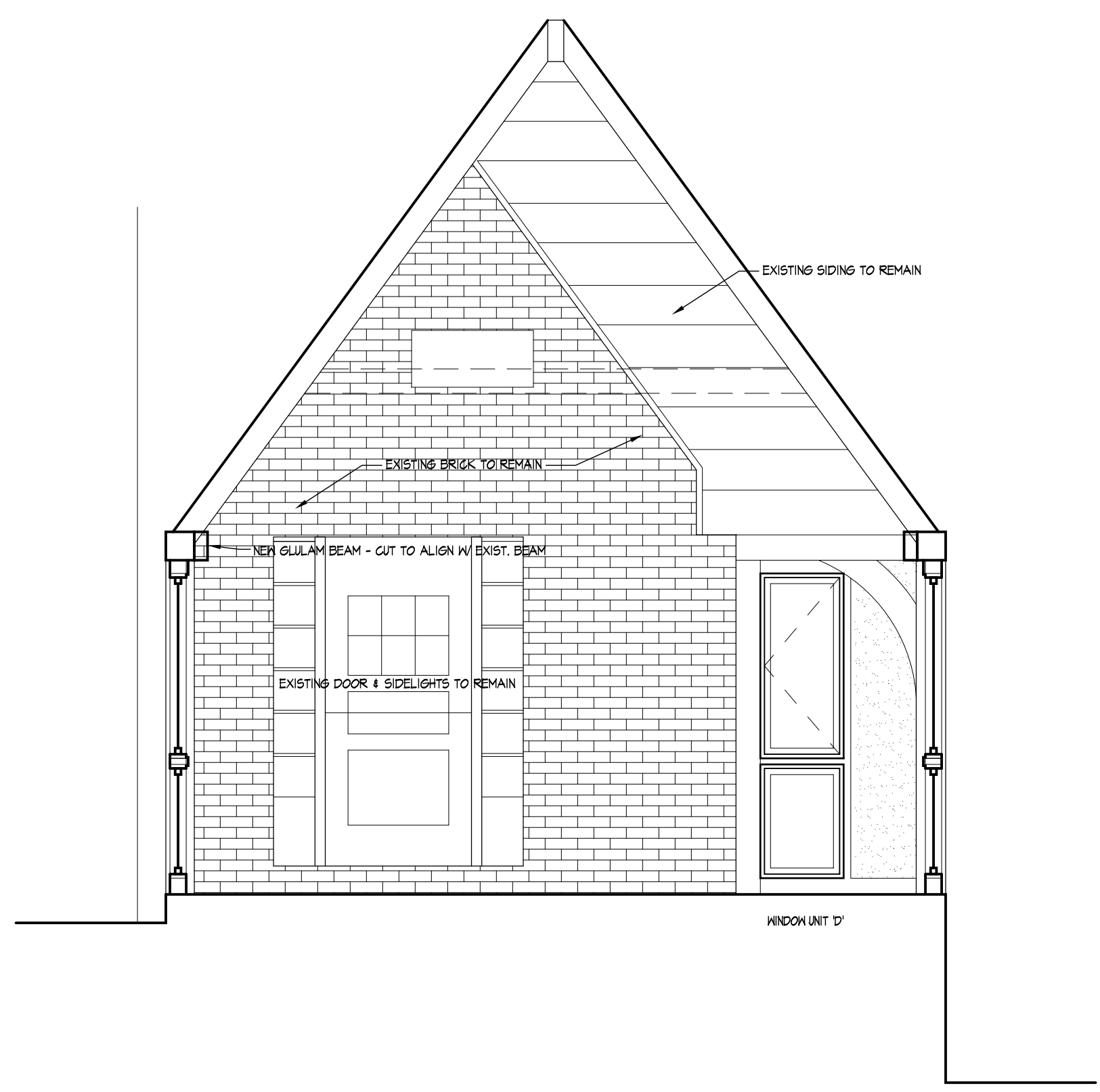
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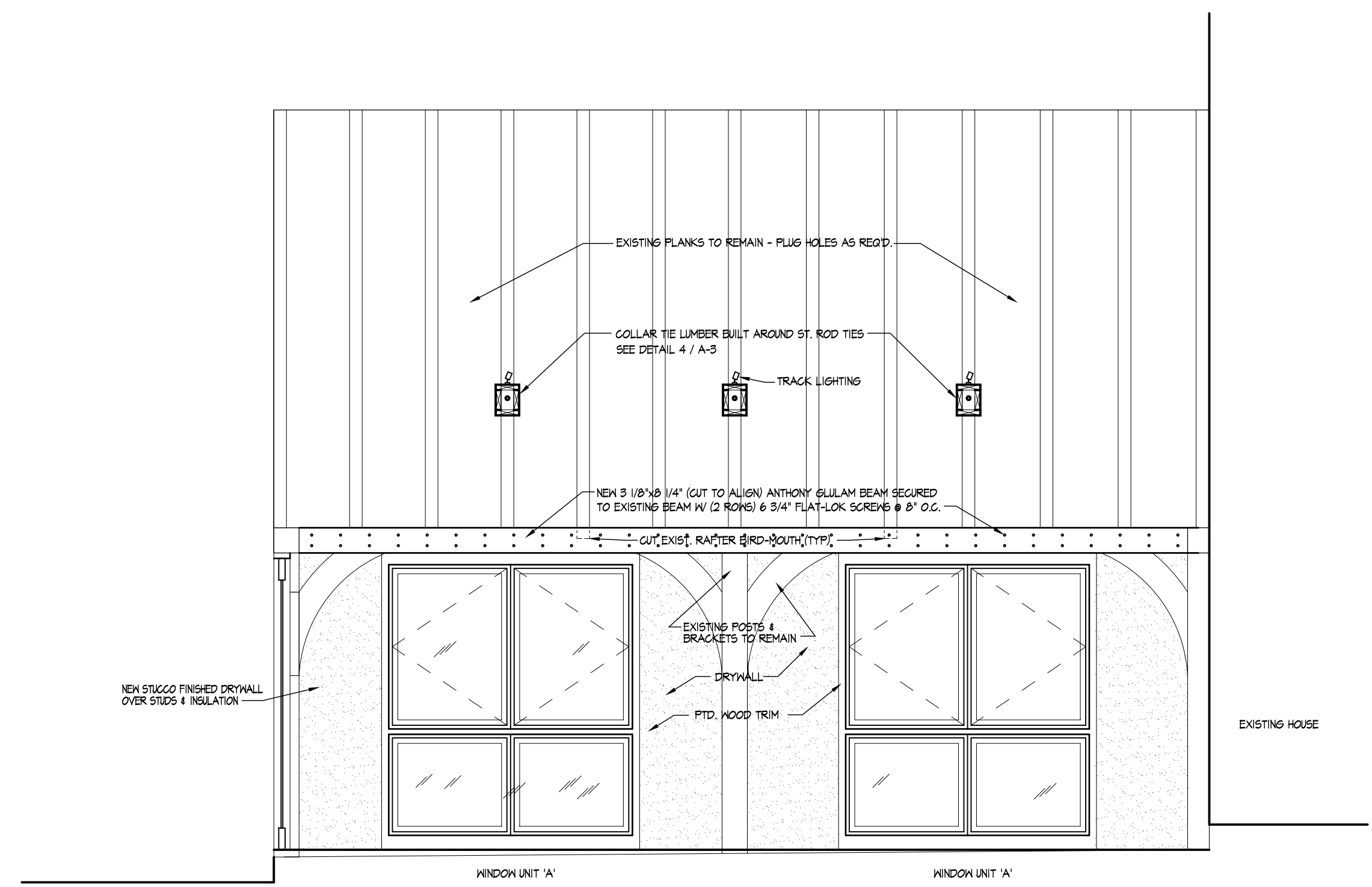
4 INTERIOR ELEVATION (LOOKING NORTH)
 SCALE: 3/8"=1'-0"



2 INTERIOR ELEVATION (LOOKING EAST)
 SCALE: 3/8"=1'-0"



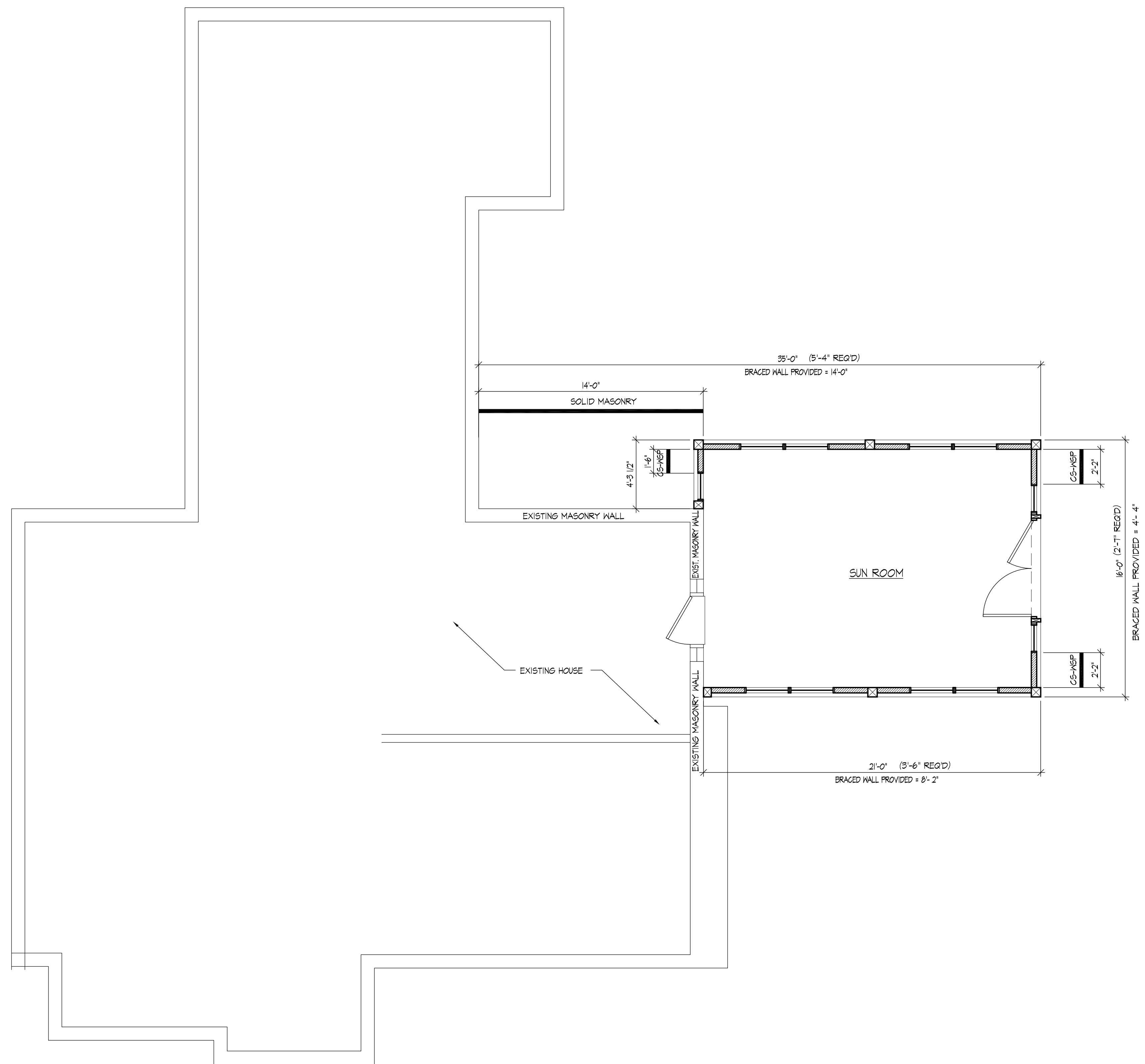
3 INTERIOR ELEVATION (LOOKING WEST)
 SCALE: 3/8"=1'-0"



1 INTERIOR ELEVATION (LOOKING SOUTH)
 SCALE: 3/8"=1'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission
Sandra L. Heiler

REVIEWED
 By Dan.Bruechert at 4:12 pm, Nov 18, 2019



APPROVED
 Montgomery County
 Historic Preservation Commission

Sandra J. Skiles

REVIEWED
 By Dan.Bruechert at 4:12 pm, Nov 18, 2019

1 WIND BRACING PLAN
 SCALE: 1/4"=1'-0"



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